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**DEKKER  
PERICH  
SABATINI**

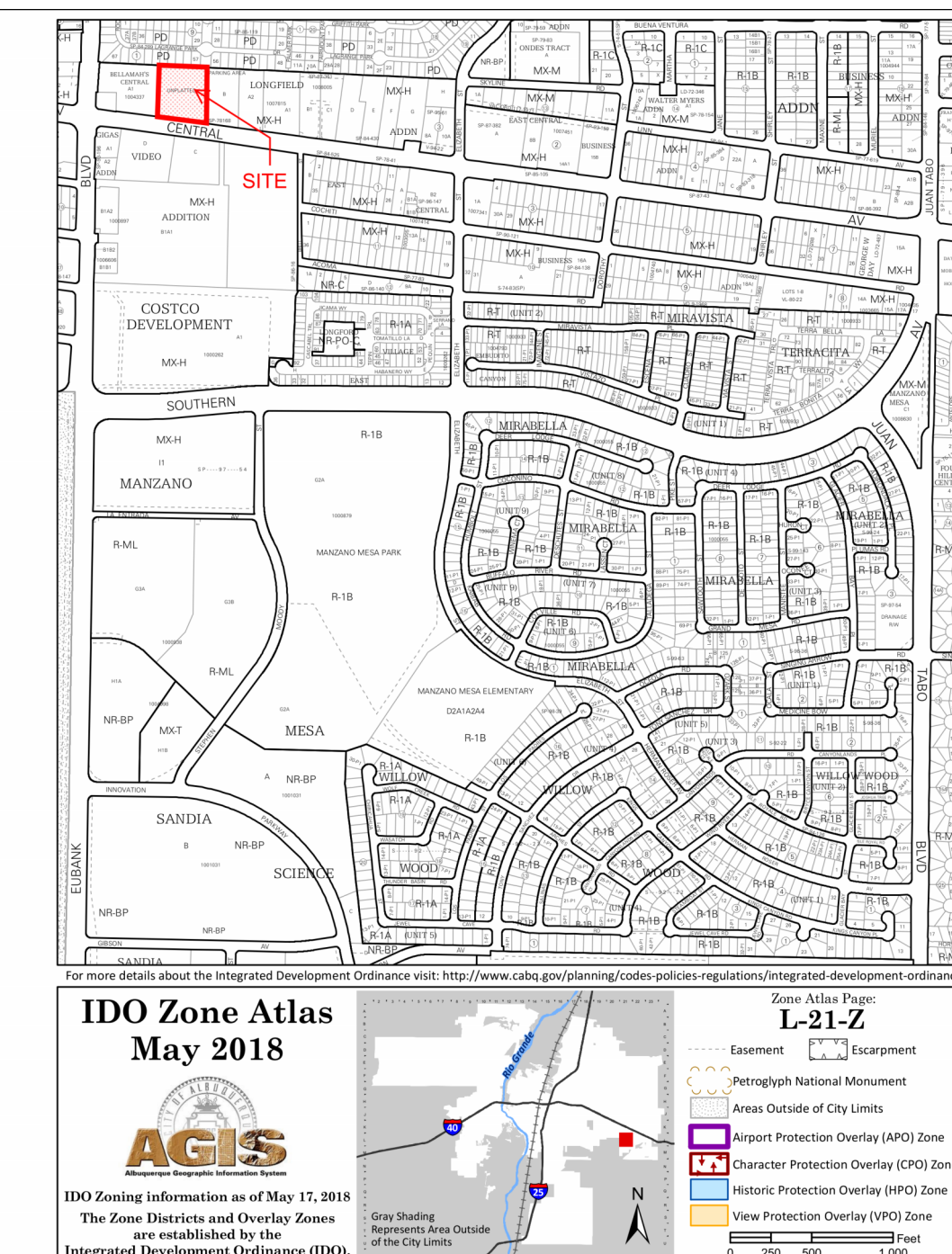
**Architecture  
in Progress**



ARCHITECT

PROJECT

**VICINITY MAP**



# FAROLITO SENIOR COMMUNITY

**PROJECT TEAM**

**OWNER**  
 FAROLITO APARTMENTS  
 LIMITED PARTNERSHIP LLLP  
 320 GOLD AVENUE SW  
 ALBUQUERQUE, NM 87102  
 (505) 244-1614

**ARCHITECT**  
 DEKKER PERICH SABATINI  
 7601 JEFFERSON NE, SUITE 100  
 ALBUQUERQUE, NM 87109  
 (505) 761-9700

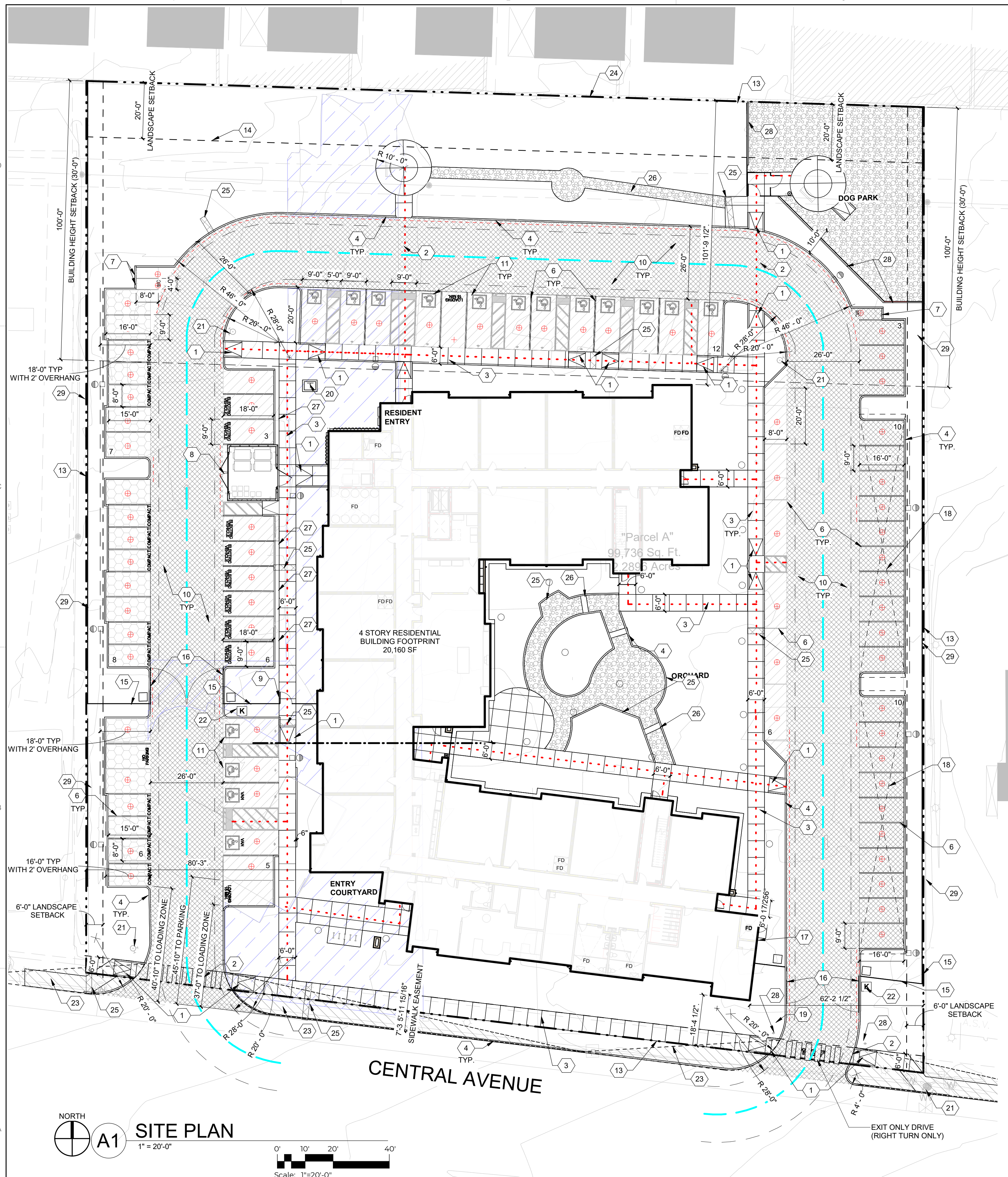
**LANDSCAPE ARCHITECT**  
 DEKKER PERICH SABATINI  
 7601 JEFFERSON NE, SUITE 100  
 ALBUQUERQUE, NM 87109  
 (505) 761-9700

**CIVIL ENGINEER**  
 ISAACSON & ARFMAN, INC.  
 128 MONROE STREET NE  
 ALBUQUERQUE, NM 87108  
 (505) 268-8828

DATE 07/28/2023  
 PROJECT NO: 22-0083

ISSUE PURPOSE  
**COVER**

**FAROLITO SENIOR COMMUNITY  
 10501 CENTRAL AVENUE NE  
 ALBUQUERQUE, NM 87123**



**11/2/2023 11:53:19 AM**

**5-11(D)(1) - PRIMARY PEDESTRIAN ENTRANCES ARE EMPHASIZED WITH WAYFINDING ELEMENTS INCLUDING COLOR AND WEATHER PROTECTION.**

**5-11(D)(2)(1) - GROUND FLOOR WINDOW COMPRISE 20% SURFACE AREA ALONG THE STREET FACING ELEVATION.**

**5-11(D)(2)(2) - UPPER LEVEL WINDOWS SHALL BE RECESSED 2".**

**5-11(D)(2)(3) - AN OPTION FOR ADDITIONAL WEATHER PROTECTION ON WEST FACING ELEVATIONS IS PROVIDED AS AN ADD ALTERNATE PER THE SUGGESTION OF PLANNING DEPARTMENT AND OWNER.**

**5-11(D)(2)(b) - BUILDING COLOR SELECTION IS MADE TO COMPLIMENT THE SISTER PROJECT TO THE SOUTH OF THIS PROPERTY.**

**5-11(D)(2)(3) - 2" CHANGES IN PARAPET HEIGHT ARE PROVIDED NO LESS THAN EVERY 60".**

### PROJECT INFORMATION

**LOCATION:**  
10501 CENTRAL AVENUE NE  
ALBUQUERQUE, NM 87123

**ZONING:**  
IDO - MIXED-USE - HIGH INTENSITY ZONE DISTRICT (MX-H)  
METROPOLITAN REDEVELOPMENT AREA (MRA) - EAST GATEWAY  
MAJOR TRANSIT CORRIDOR AREA  
ROUTE 66 ACTION PLAN

**LEGAL DESCRIPTION:**  
TRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC MLTRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC ML

**ZONE ATLAS:**  
1-21

**SITE AREA:**  
2.285 ACRES (99,532 SQ. FT.)

**DENSITY:**  
35.9 DU / ACRES

**OCCUPANCY AND CONSTRUCTION TYPE:**  
APARTMENTS R-2, B (RETAIL, LEASING, & AMENITY)  
CONSTRUCTION TYPE: 5-A (4 STORY APARTMENT BUILDINGS)

**BUILDING SETBACKS:**  
FRONT = 5' MIN. / N/A MAX.  
SIDE = 5' MIN. / N/A MAX.  
REAR = 15'

**BUILDING HEIGHT:**  
MAXIMUM ALLOWED = 65'-0"  
MAXIMUM PROVIDED = 51'-6"

**BUILDING AREA:**  
LEVEL 1 = 20,160 GSF  
LEVEL 2 = 17,532 GSF  
LEVEL 3 = 18,814 GSF  
LEVEL 4 = 18,814 GSF  
TOTAL = 75,320 GSF

**SPRINKLER:**  
YES, NFPA 13R

**FIRE FLOW:**  
3,750 GPM

**HYDRANTS REQUIRED:**  
4

**SOLID WASTE NARRATIVE:**  
TRASH SHALL BE PROVIDED ON SITE WITH AN INTERNAL COMPACTOR AND TRASH CHUTE SERVING THE RESIDENTS. THE INTERNAL COMPACTOR SHALL BE SERVED WITH TWO CY CARTS ON CASTERS (4 TOTAL ON SITE) COLLECTING UPPER LEVEL REFUSE COLLECTED AT THE CHUTE AND WHEELED OUT TO THE REFUSE CONTAINER BY BUILDING MANAGEMENT AND BY SOLID WASTE PERSONNEL ON SERVICE DAYS.

RECYCLING SHALL BE MANAGED ON EACH LEVEL BY TWO (2) 50 GALLON ROLLING RECYCLING BINS (8 TOTAL ON SITE) COLLECTED BY BUILDING MANAGEMENT ON THE SITE REFUSE CONTAINER AND SERVICED ON SITE ON COLLECTION DAYS.

**PARKING CALCULATION: (TABLE 5-5-1)**  
REQUIRED SPACES: 76 SPACES  
1BR UNITS = 1.2 SPACES/DWELLING UNIT: 1.2 X 72 = 86.4 PARKING SPACES  
2BR UNITS = 1.8 SPACES/DWELLING UNIT: 1.8 X 10 = 18 PARKING SPACES  
PARKING REDUCTIONS =  
AREA OF CHANGE (IDO 5-5(C)(5)(A)) = 20% REDUCTION = 21 SPACES  
WITHIN 330' OF TRANSIT STOP (IDO 5-5(C)(4)(B)) = 10% REDUCTION = 11 SPACES  
EV PARKING = 2 CREDIT FOR 1 EV SPACE = 8 EV SPACES = 16 SPACES  
TOTAL REQUIRED SPACES = 103 SPACES - 47 = 56 REQUIRED SPACES

PROVIDED SPACES: 76 TOTAL SPACES  
(60 STANDARD SPACES + 12 ACCESSIBLE SPACES + 4 VAN ACCESSIBLE)

**MOTORCYCLE PARKING CALCULATION:**  
REQUIRED SPACES: 204 (3 SPACES)  
PROVIDED SPACES: 3 SPACES

**BICYCLE PARKING**  
REQUIRED SPACES: 0.25 / UNIT (82 X 0.25 = 20.5 BICYCLE PARKING SPACES)  
PROVIDED SPACES: 28 TOTAL SPACES PROVIDED  
(18 INDOOR SPACES + 10 OUTDOOR BICYCLE SPACES)

NOTE: 10 OUTDOOR SPACES ARE PROVIDED FOR VISITORS THAT ARE FIXED, PERMANENT AND ARE LOCATED AT MULTIPLE RACKS SERVING THE LEASING OFFICE, AND ALONG CENTRAL AVENUE PER THE ROUTE 66 ACTION PLAN.

### OPEN SPACE CALCULATIONS

**REQUIRED USABLE OPEN SPACE: (TABLE 2-4-7) MX-H ZONING**  
1 BEDROOM UNIT = 200 SF OPEN SPACE REQUIRED  
2 BEDROOM UNIT = 250 SF OPEN SPACE REQUIRED  
1 BEDROOM UNITS PROVIDED: 72 UNITS X 200 = 14,400 SF  
2 BEDROOM UNITS PROVIDED: 10 UNITS X 250 = 2,500 SF  
TOTAL OPEN SPACE REQUIRED: 16,900 SF

**PROVIDED USABLE OPEN SPACE:**  
38,052 SF OF USABLE OPEN SPACE PROVIDED

### UNIT DATA

UNIT TYPE	GROSS HEATED SQUARE FOOTAGE (GHSF)	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	TOTAL QUANTITY	TOTAL AREA (GHSF)
UNIT 1	650	14	18	20	20	72	46,800
UNIT 2	790	1	3	3	3	10	7,900
<b>TOTAL GHSF PER FLOOR</b>	<b>9,890</b>	<b>14,070</b>	<b>15,370</b>	<b>15,370</b>		<b>82</b>	<b>54,700</b>

### SHEET KEYNOTES

- CONCRETE ACCESSIBLE RAMP TYP.
- PAINTED PEDESTRIAN CROSSWALK, RE: C4/SDP1.2
- CONCRETE SIDEWALK WITH CONTROL JOINTS, WIDTH AS NOTED
- CONCRETE CURB, SEE CIVIL
- 6" CMU WALL
- PARKING STRIPING
- MOTORCYCLE ONLY PARKING SIGNAGE
- REFUSE ENCLOSURE, RE: SDP-5.7
- PEDESTRIAN GATE W/ KEYCARD ACCESS
- ASPHALT PAVING, RE: CIVIL FOR PAVEMENT SECTIONS
- ACCESSIBLE PARKING STALL, RE: D2/SDP1.2
- CONCRETE SEAT WALL, RE: C3/SDP1.2
- PROPERTY LINE
- 6" PUBLIC UTILITY EASEMENT
- 6" VIEW FENCING
- VEHICULAR GATE ON FOBBED SENSOR & CALL BOX
- FIRE DEPARTMENT CONNECTION (FDC)
- PV CAPABLE PARKING CANOPY (OPTIONAL - ALTERNATE BID)
- POST INDICATOR VALVE (PIV)
- TRANSFORMER, RE: ELECTRICAL
- FIRE HYDRANT, RE: CIVIL
- LOCATION OF KNOX BOX
- CLEAR SIGHT TRIANGLE (PER COA) LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- EXISTING MASONRY WALL TO REMAIN
- SIDEWALK CULVERT, RE: CIVIL
- STABILIZED CRUSHER FINE PATH RE: B1/SDP1.3
- E.V. CAPABLE CHARGING STATION
- EXIT ONLY SIGNAGE DO NOT ENTER, RE: D1/SDP1.3

### GENERAL SHEET NOTES

- SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- REPAIR AREAS TO MATCH PRE-CONSTRUCTION CONDITION WHERE UTILITY WORK, GRADING AND/OR STAGING OCCURS, INCLUDING AREAS OUTSIDE OF LIMIT OF WORK BOUNDARY.
- ALL EXISTING ASPHALT AND CONCRETE TO BE REMOVED PRIOR TO CONSTRUCTION.
- REMOVE EXISTING TREES PRIOR TO CONSTRUCTION.
- UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL.
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.
- ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DESIGN ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- REFER TO CIVIL AND ELECTRICAL FOR DEMOLITION ITEMS.
- REFER TO CIVIL FOR PAVING PLAN AND PAVING DETAILS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN. TYP. RE: CIVIL FOR SPOT ELEVATIONS, AND GRADING AND DRAINAGE REQUIREMENTS.
- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED A DEMOLITION AND CONSTRUCTION.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS PER CITY OF ALBUQUERQUE.
- ALL RAMPS, SIDEWALKS, CURBS AND GUTTERS IN THE R.O.W. SHALL BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD DRAWINGS.
- SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- DURING CONSTRUCTION, COORDINATE WITH CITY OF ALBUQUERQUE'S MEDIAN LANDSCAPING PROJECT AT THIS LOCATION.

**PROJECT NUMBER:** PR-2023-009368

**Application Number:** SI-2023-01642

**Is an Infrastructure List required? ( ) Yes ( ) No** If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DFT SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

### LEGEND

- LANDSCAPED AREA
- HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
- LIGHT DUTY ASPHALT
- STABILIZED DECOMPOSED GRANITE PATH (ACCESSIBLE)
- PERMIABLE PAVING
- PROPERTY LINE
- SETBACK (SEE DEMENTION FOR ADDITIONAL DETAILS)
- ACCESSIBLE ROUTE
- FIRELANE STRIPPING MARKING FIRE ACCESS LANE, RE: XX/SDP 1.2
- REFUSE TRUCK ROUTE
- EXISTING FIRE HYDRANT LOCATION
- PROPOSED FIRE HYDRANT LOCATION
- FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNTED
- PROPOSED TRANSFORMER LOCATION
- PROPOSED 20' LIGHT POLE
- OPTIONAL PHOTOVOLTAIC (PV) CARPORT, (SEPARATE PERMIT REQUIRED)
- BIKE RACK (4 BIKE CAPACITY) RE: XX/SDP 1.2

**ISSUED FOR PERMIT**

**REVISIONS**

**DRAWN BY:** BH  
**REVIEWED BY:** CWW  
**DATE:** 05/12/23  
**PROJECT NO.:** 22-0083

**DRAWING NAME:** SITE DEVELOPMENT PLAN

**SHEET NO.:** SDP 1.1

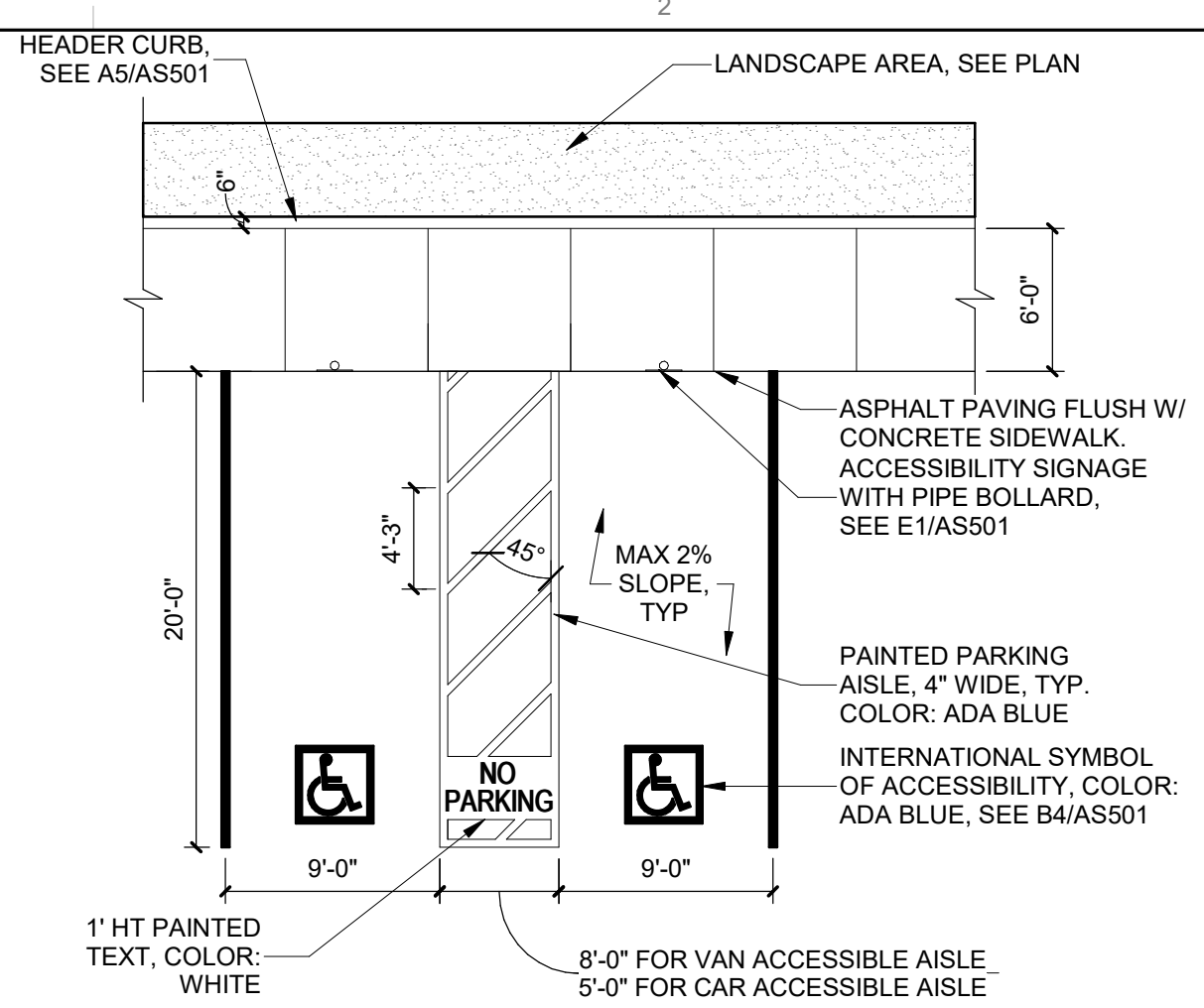
**DEKKER PERICH SABATINI**

**Architecture in Progress**

**HANNAH FEIL GREENHOOD**  
No. 5594  
11/09/2023  
REGISTERED ARCHITECT

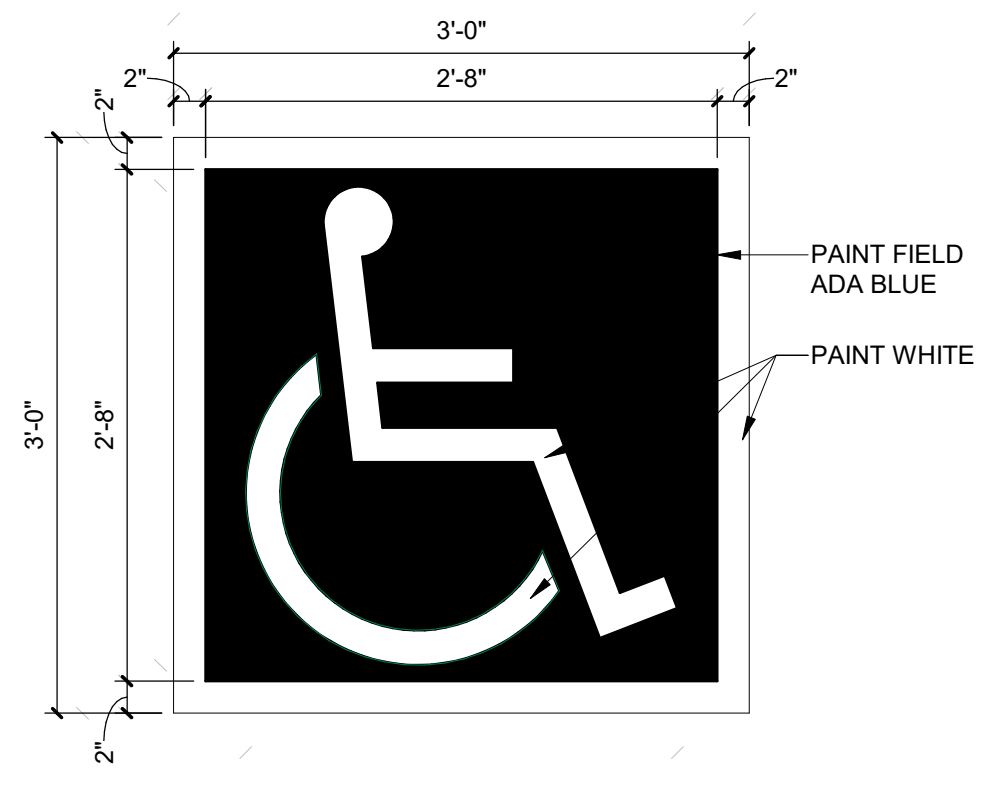
SEAL

**FAROLITO SENIOR COMMUNITY**  
10501 CENTRAL AVENUE NE  
ALBUQUERQUE, NM 87123



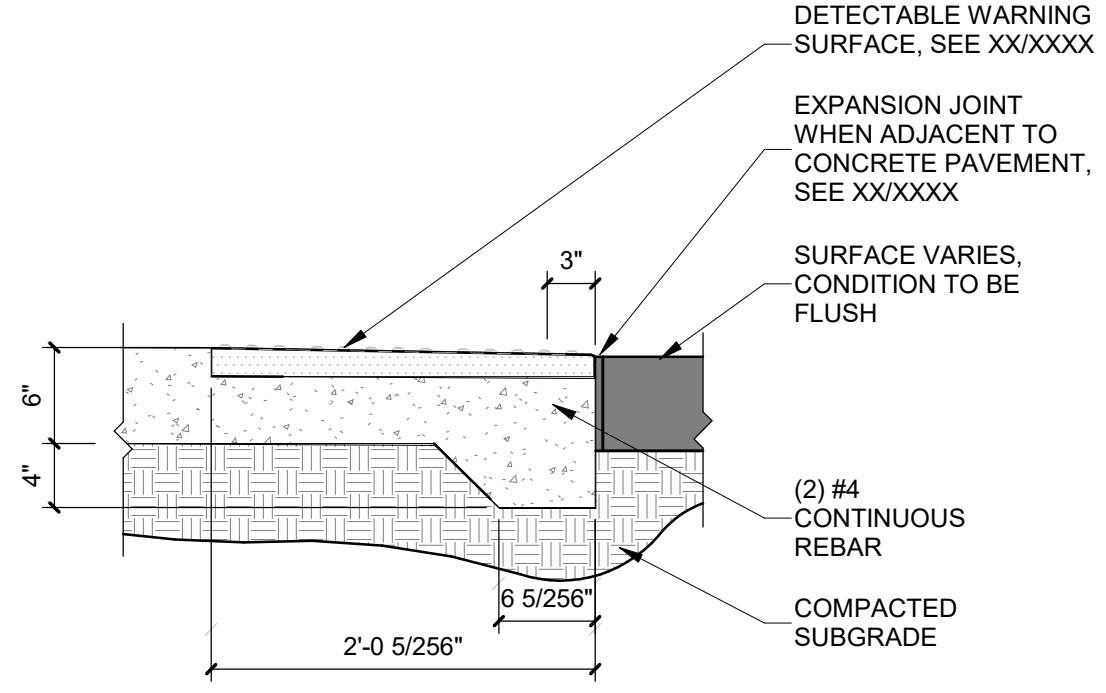
**D2 ACCESSIBLE PARKING**  
1/8" = 1'-0"

NOTES:  
1. SEE PLANS FOR EXTENTS OF CURB PAINT

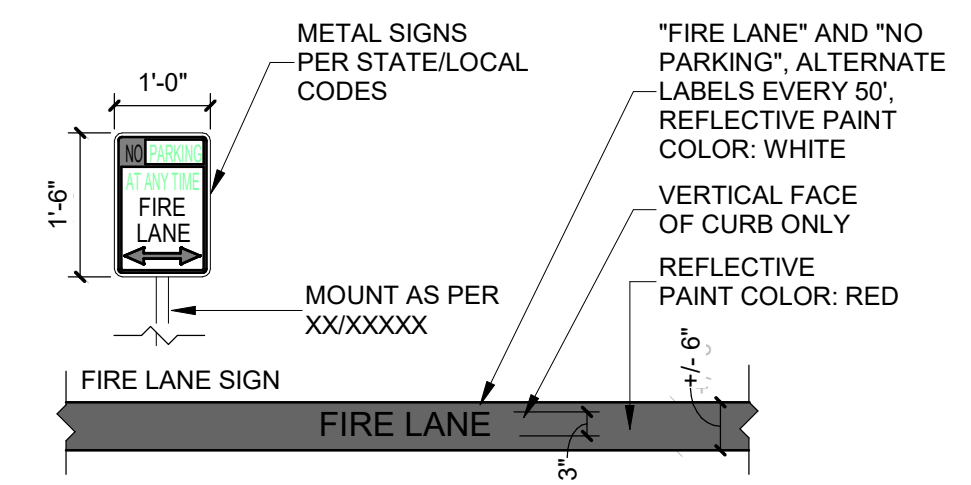


**D3 ACCESSIBLE PAVEMENT MARKING**  
1" = 1'-0"

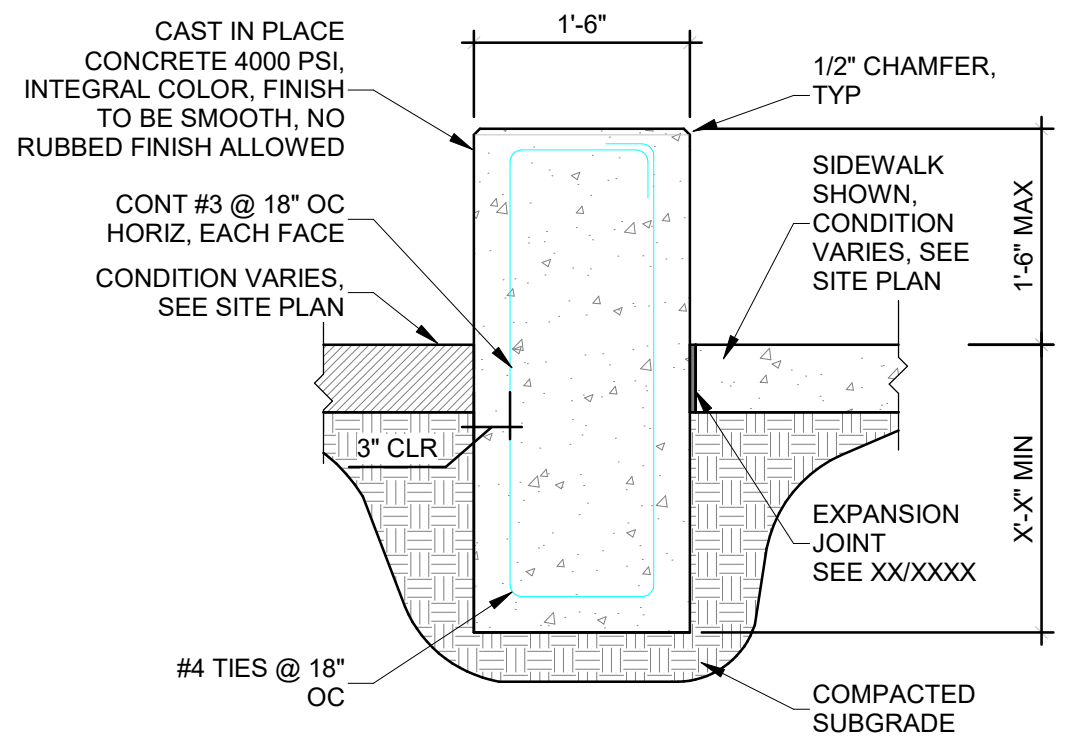
NOTES:  
1. SLOPE TOP OF WALL AT 1% TOWARD PAVEMENT  
2. TOP OF WALL TO BE CONSTANT FOR EACH INDIVIDUAL WALL



**C1 DETECTABLE / TACTILE SURFACE TRANSITION**  
1" = 1'-0"

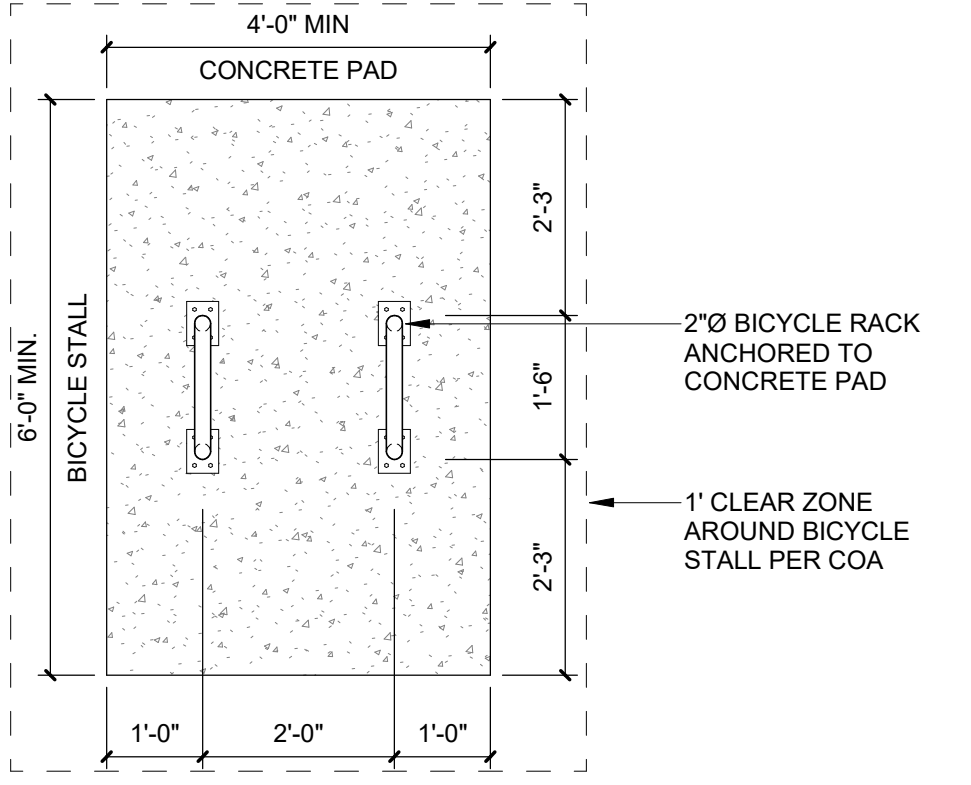


**C2 FIRE STRIPING AND SIGNAGE**  
1/2" = 1'-0"

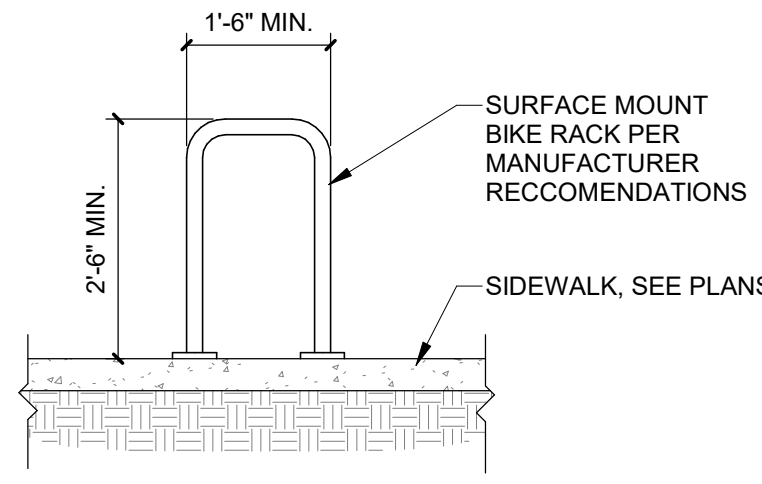


**C3 CONCRETE SEAT WALL**  
3/4" = 1'-0"

NOTES:  
1. BASIS OF DESIGN, ANOVA U-BIKE RACK, COLOR: TBD  
2. BIKE CAPACITY PER RACK: 4 TOTAL PER PAD

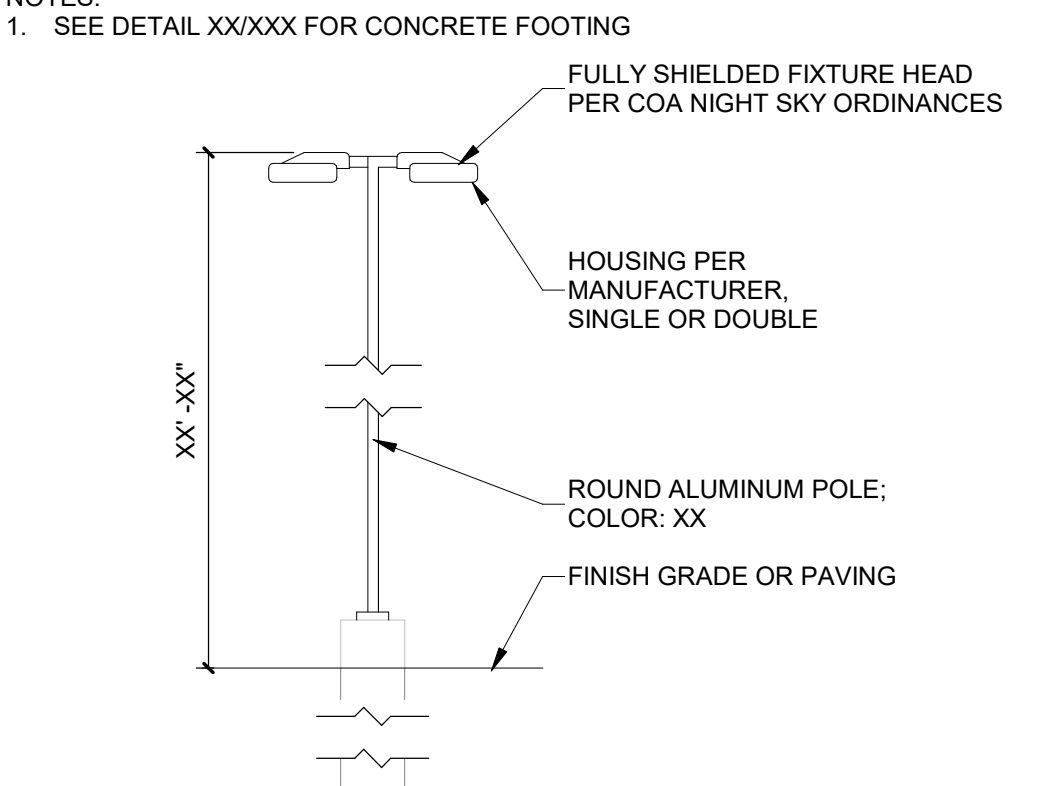


**B2 BICYCLE RACK PLAN**  
1/2" = 1'-0"

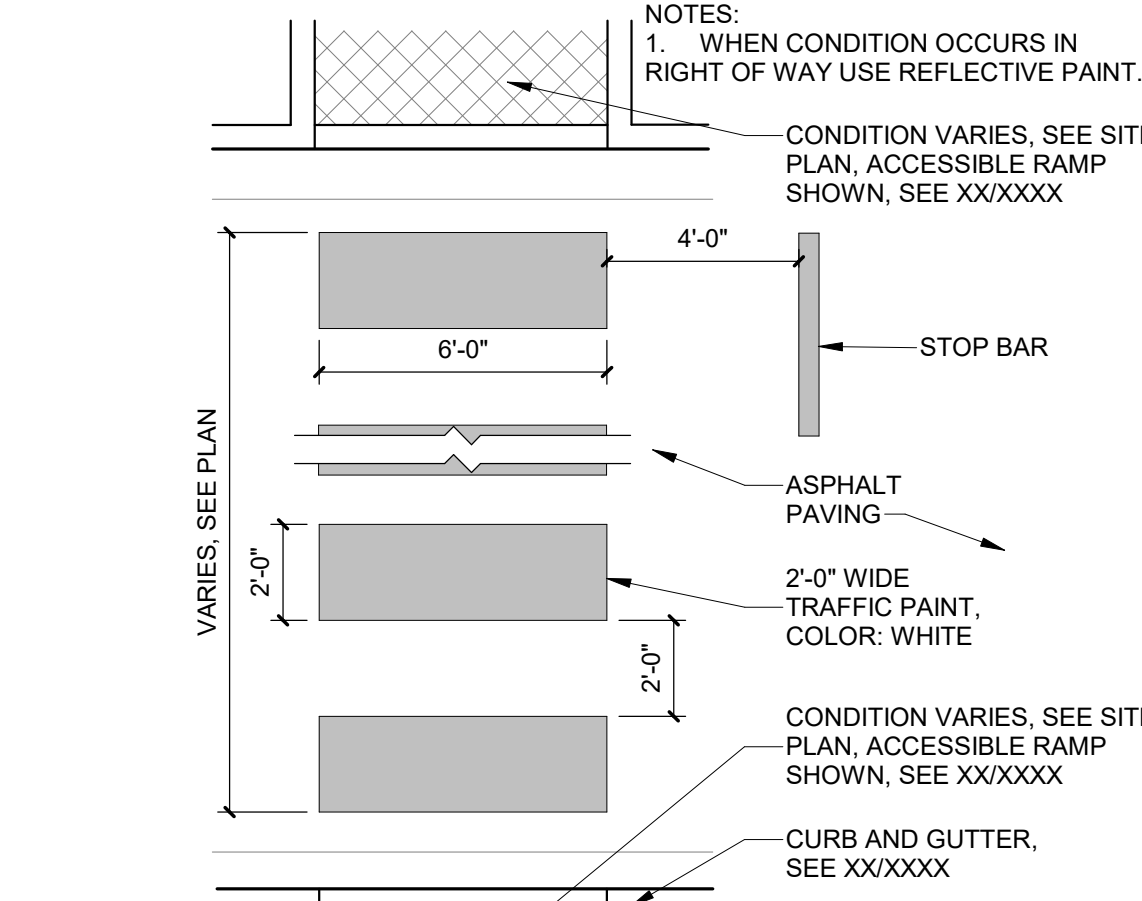


**B3 BICYCLE RACK**  
1/2" = 1'-0"

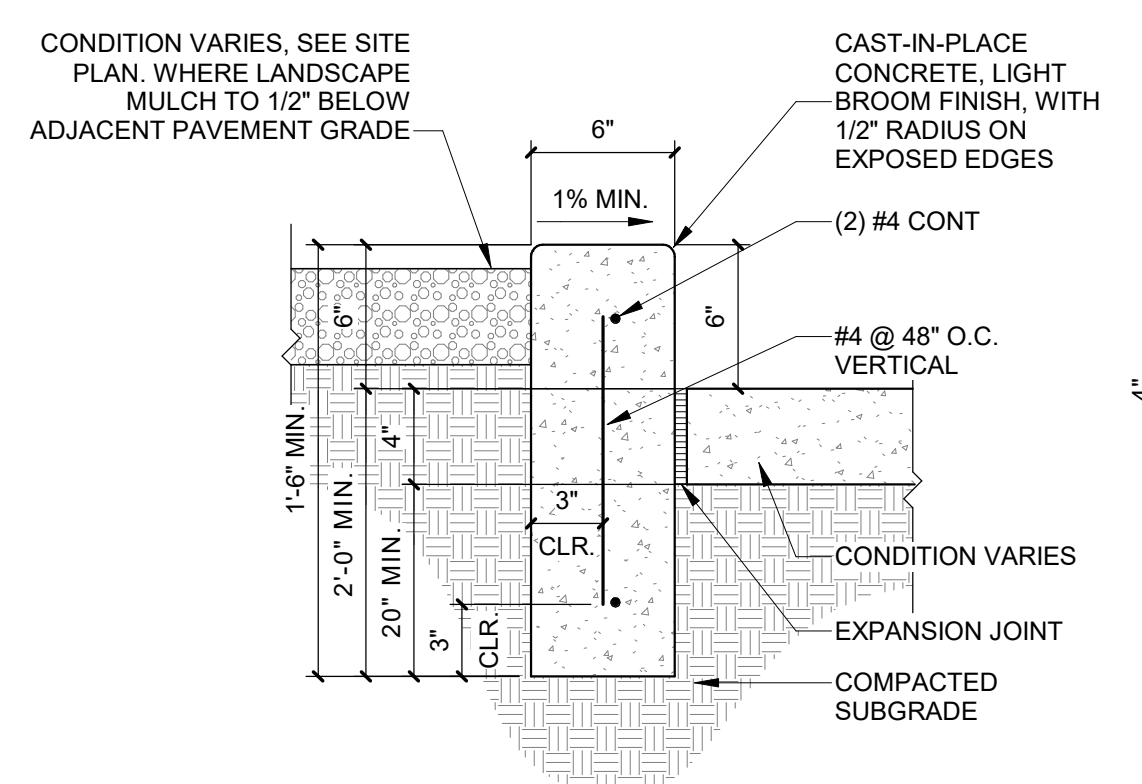
DESIGN NOTE:  
1. MODIFY LUMINAIRE / FIXTURE TO MATCH STYLE & SIZE SELECTED



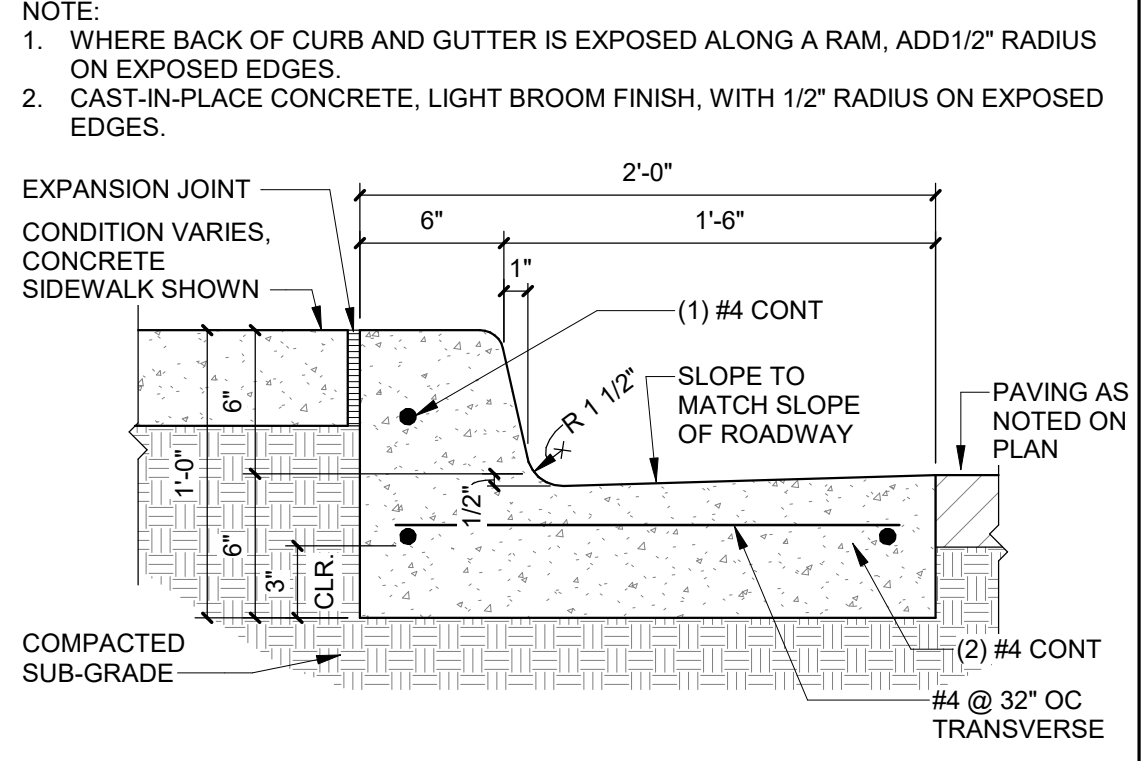
**A3 PARKING LIGHT POLE**  
1/4" = 1'-0"



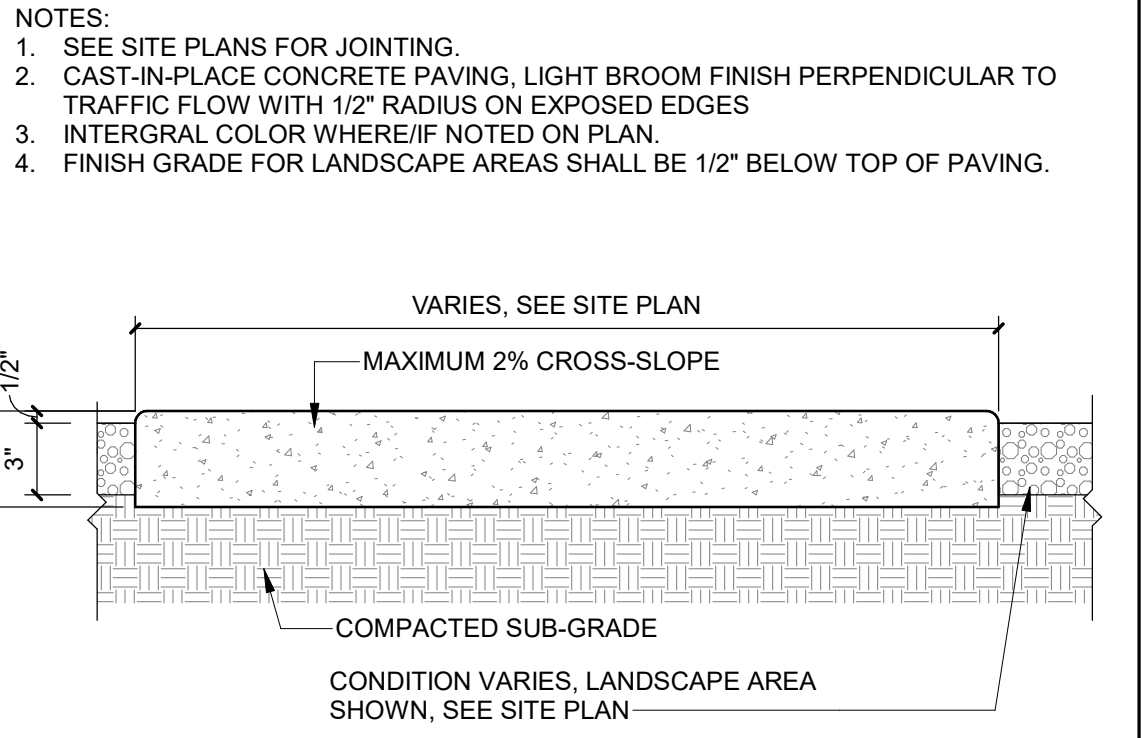
**C4 PAINTED CROSSWALK**  
1/4" = 1'-0"



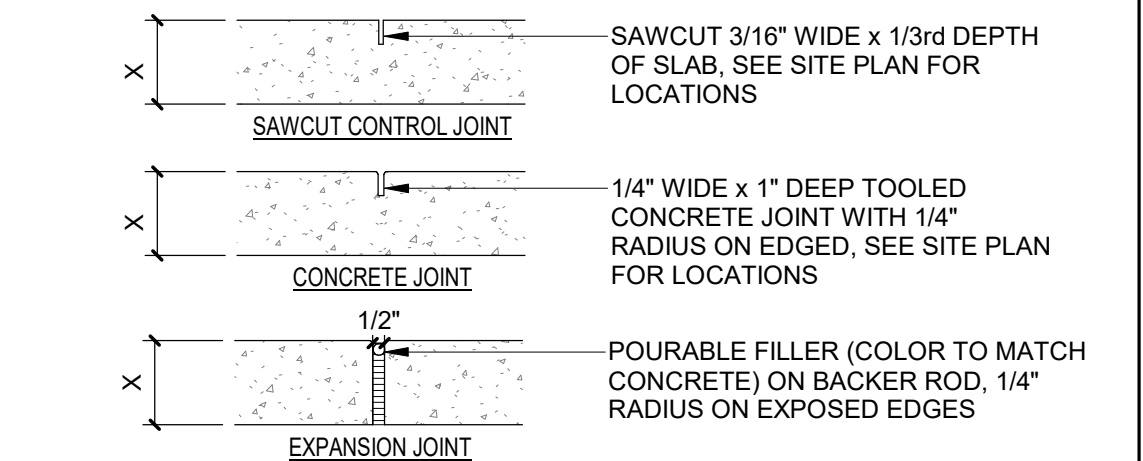
**B4 CONCRETE HEADER CURB**  
1 1/2" = 1'-0"



**C5 CONCRETE CURB & GUTTER**  
1 1/2" = 1'-0"

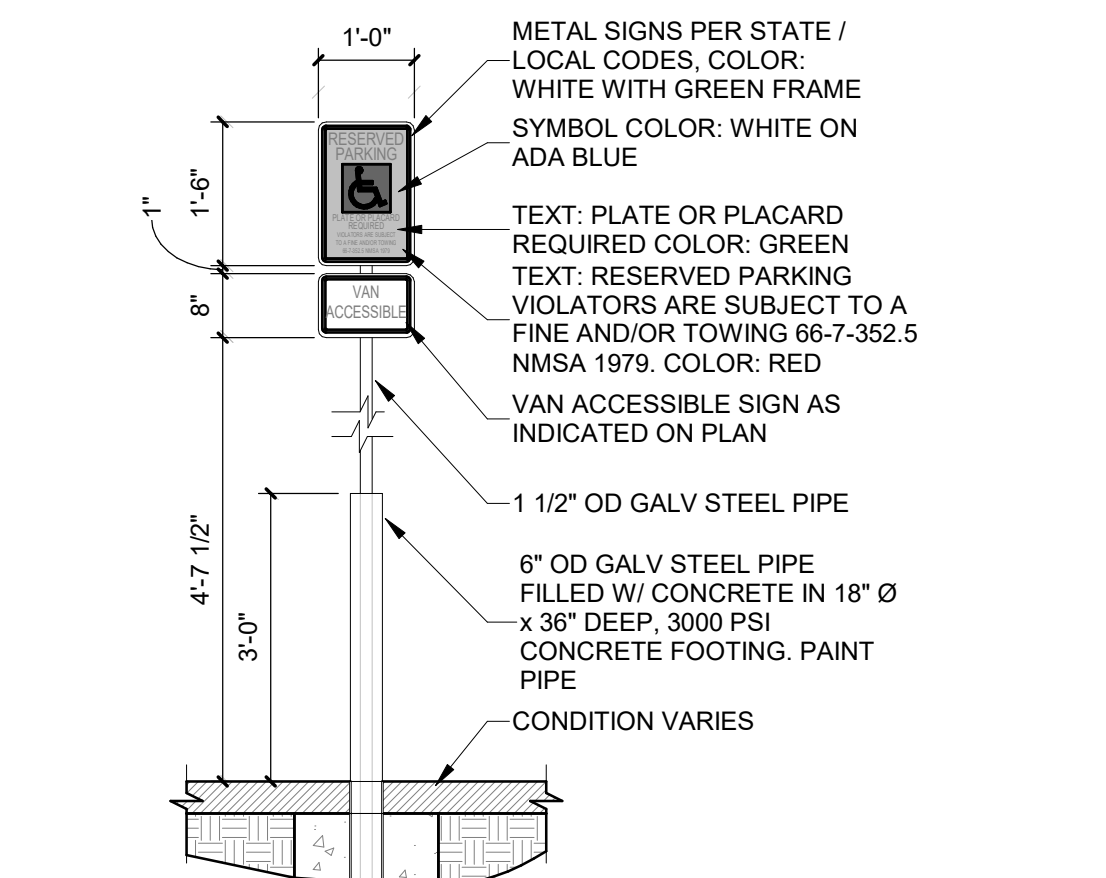


**B5 CONCRETE SIDEWALK**  
1 1/2" = 1'-0"

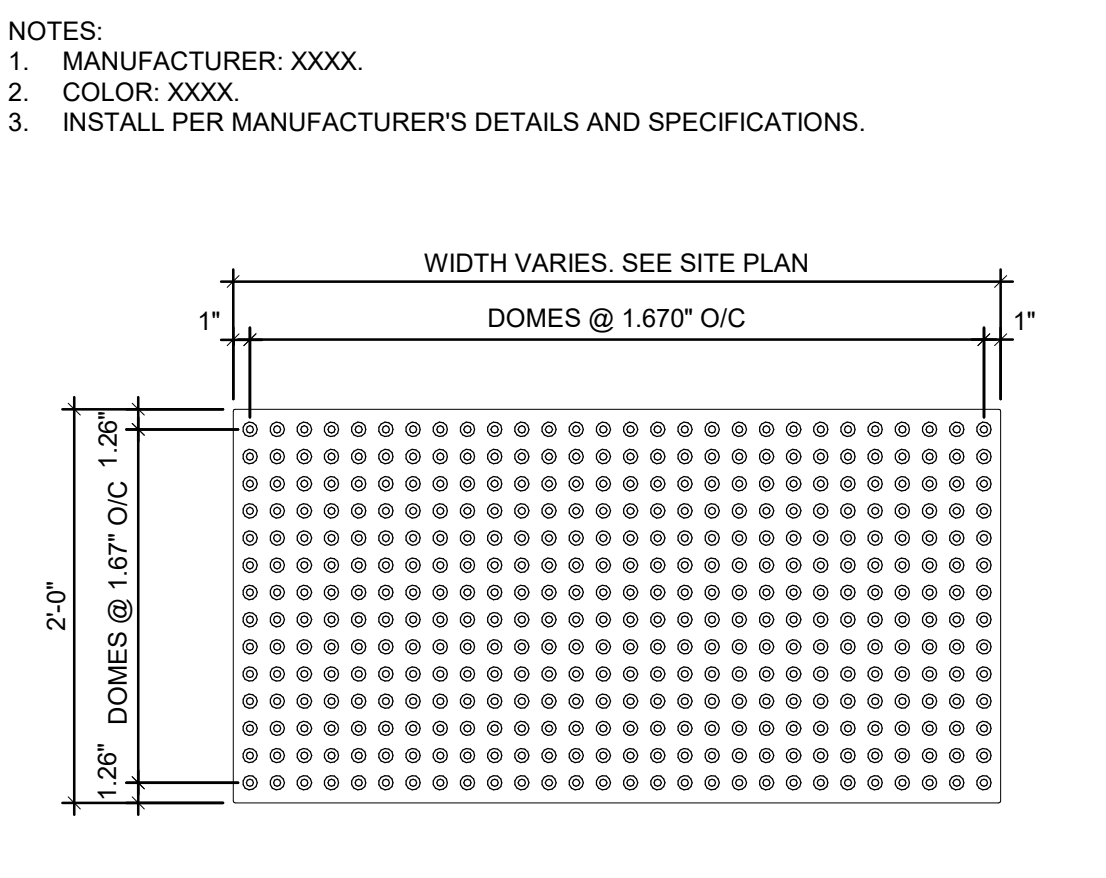


CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4" O.C.	5" O.C.	8" O.C.	6" O.C.
EXPANSION JOINTS	4" O.C.	5" O.C.	8" O.C.	6" O.C.

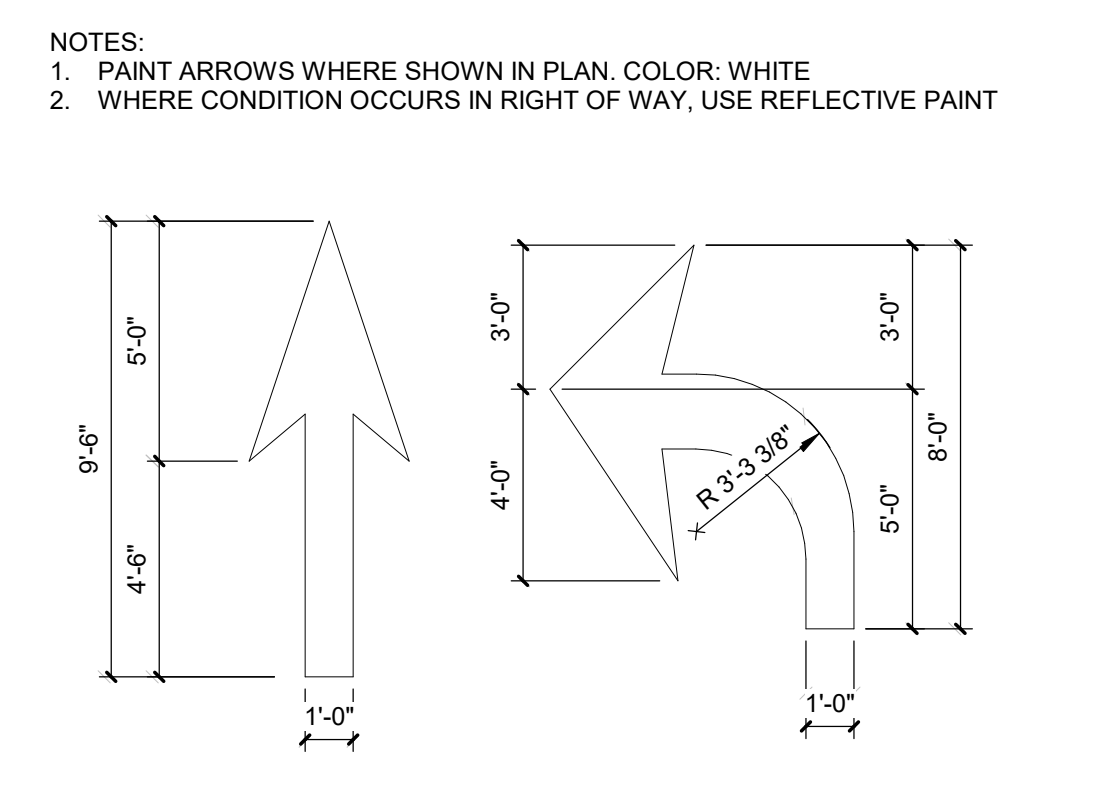
**A5 CONCRETE JOINTS & JOINT SPACING**  
1 1/2" = 1'-0"



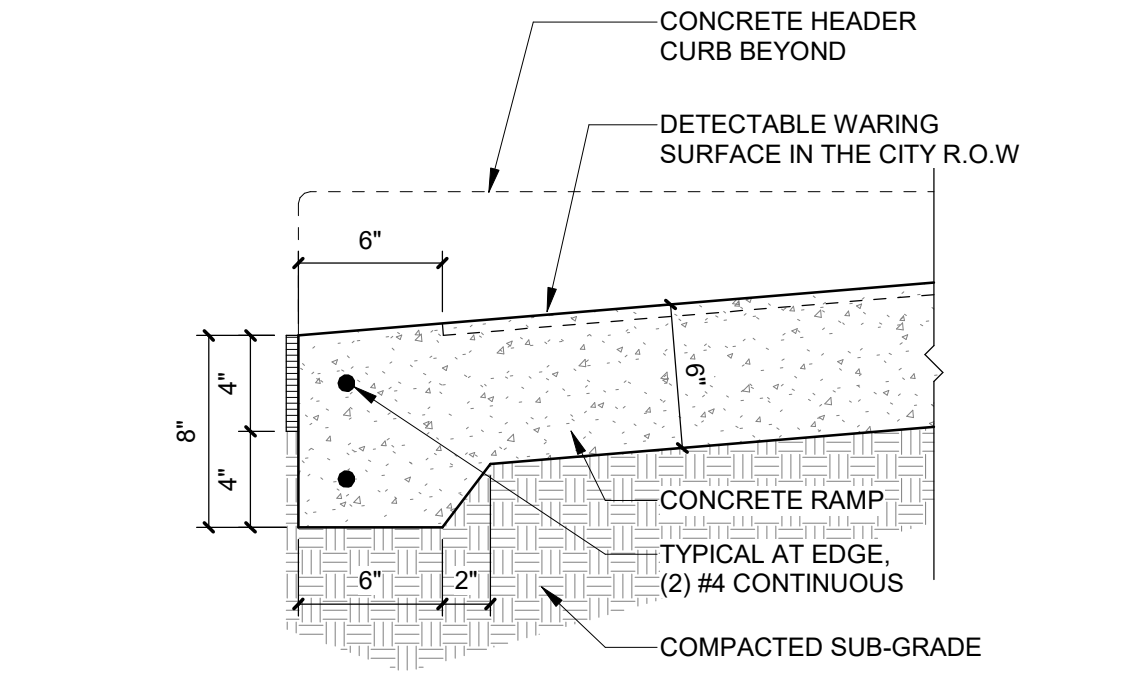
**B1 PIPE BOLLARD AND ACCESSIBLE SIGNAGE**  
1/2" = 1'-0"



**A1 TACTILE SURFACE**  
1" = 1'-0"



**A2 DIRECTIONAL PAVEMENT ARROW**  
1/4" = 1'-0"



**A4 RAMP TRANSITION**  
1 1/2" = 1'-0"



SEAL  
PROJECT

**FAROLITO SENIOR COMMUNITY**  
10501 CENTRAL AVENUE NE  
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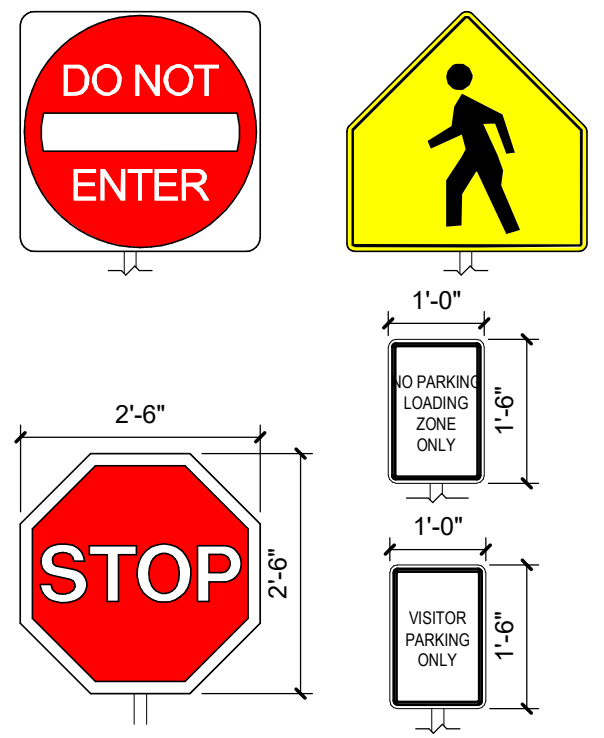
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- REVISIONS
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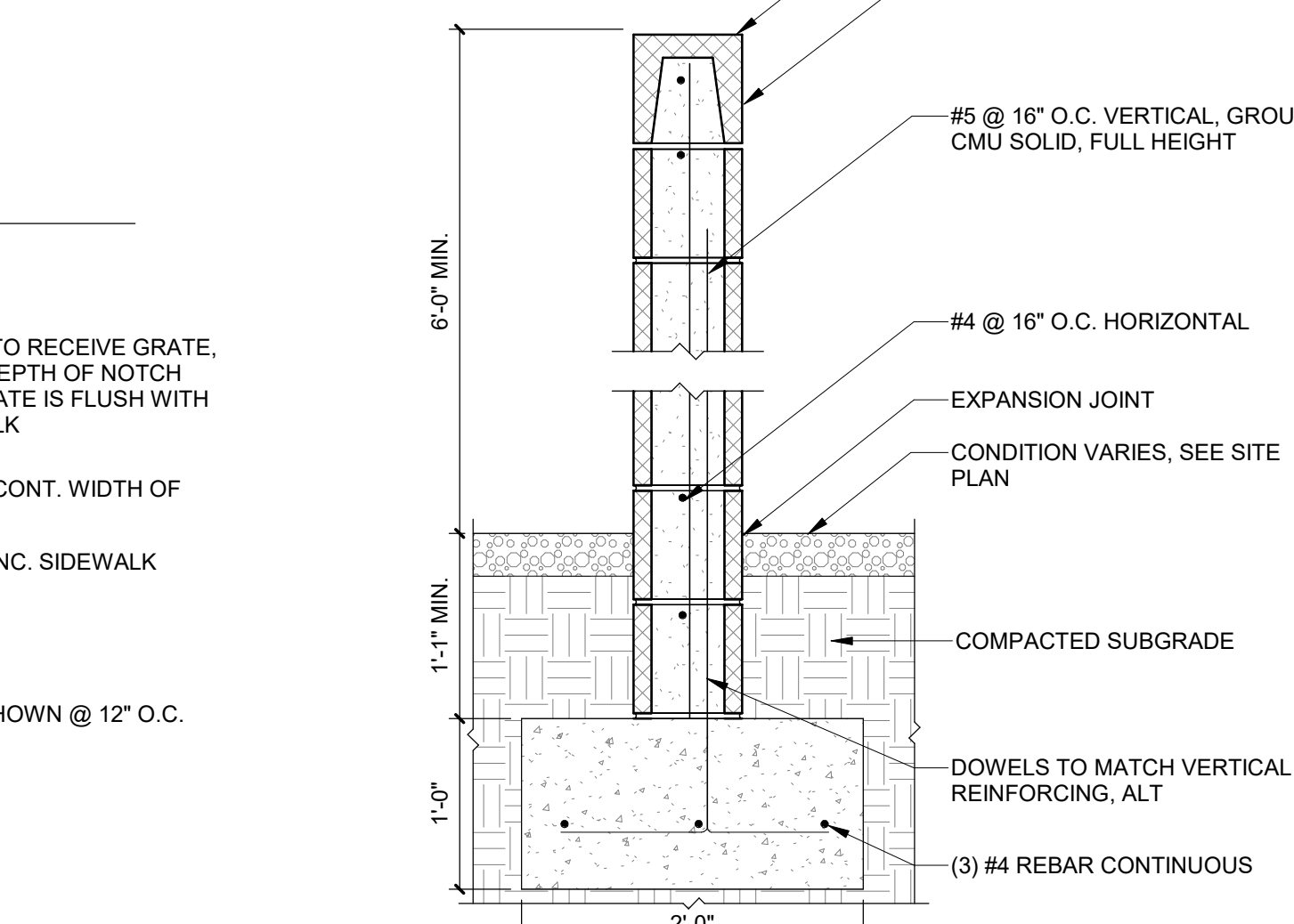
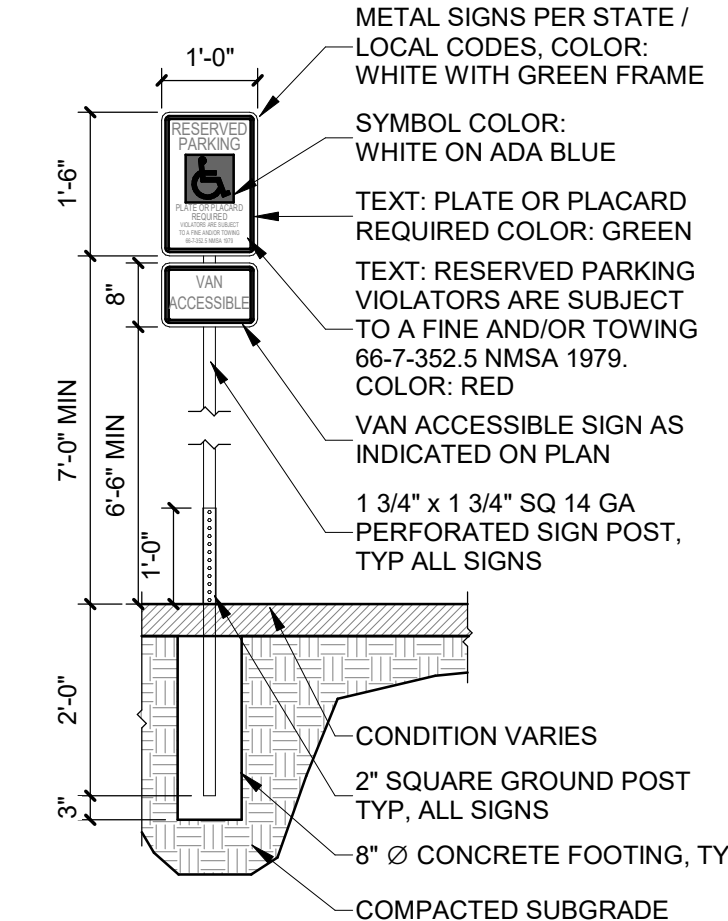
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REVIEWED BY CWW  
DATE 07/10/23  
PROJECT NO: 22-0083

DRAWING NAME  
**ENLARGED PLANS AND DETAILS**

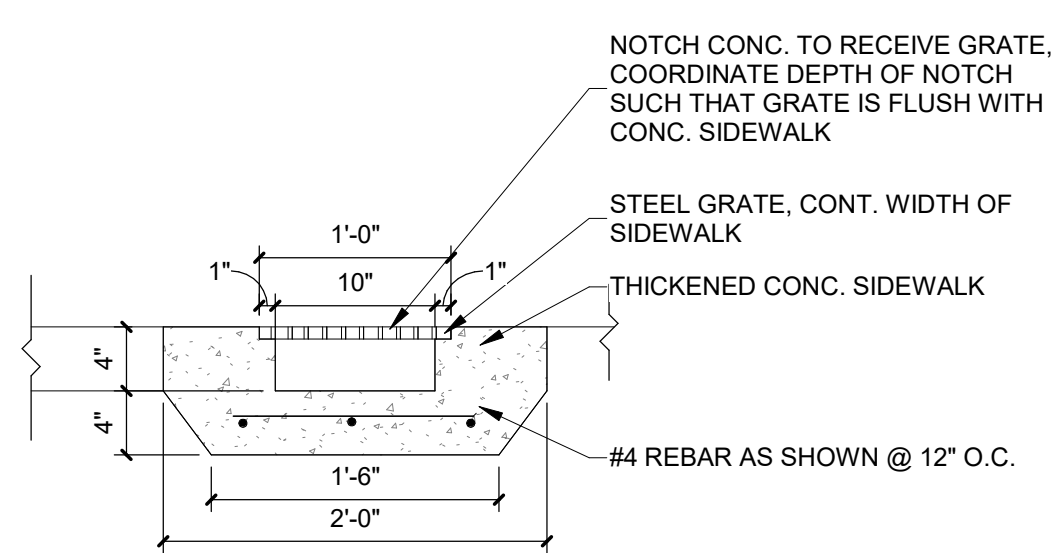
SHEET NO  
**SDP 1.2**



**D1 TRAFFIC SIGNAGE**  
1/2" = 1'-0"

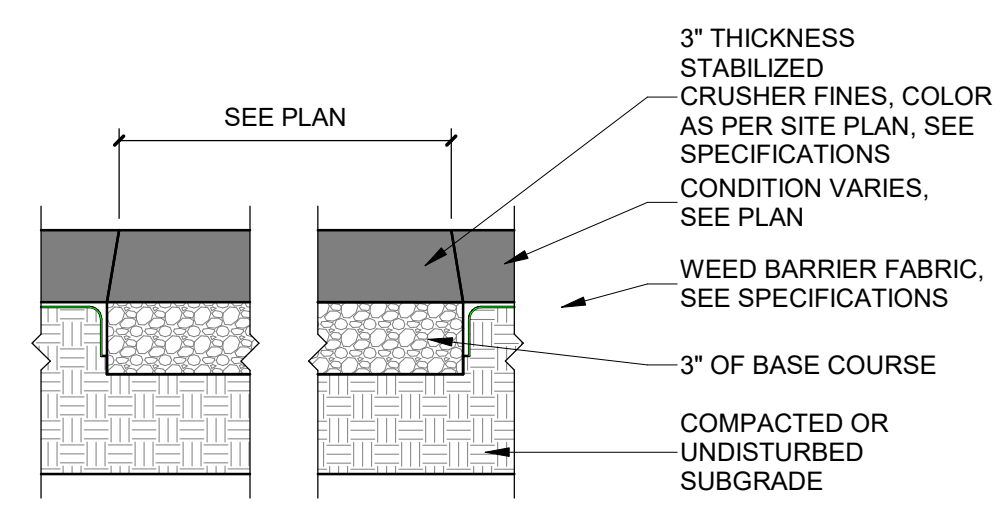


**C2 SDP - GARDEN WALL CMU**  
1" = 1'-0"

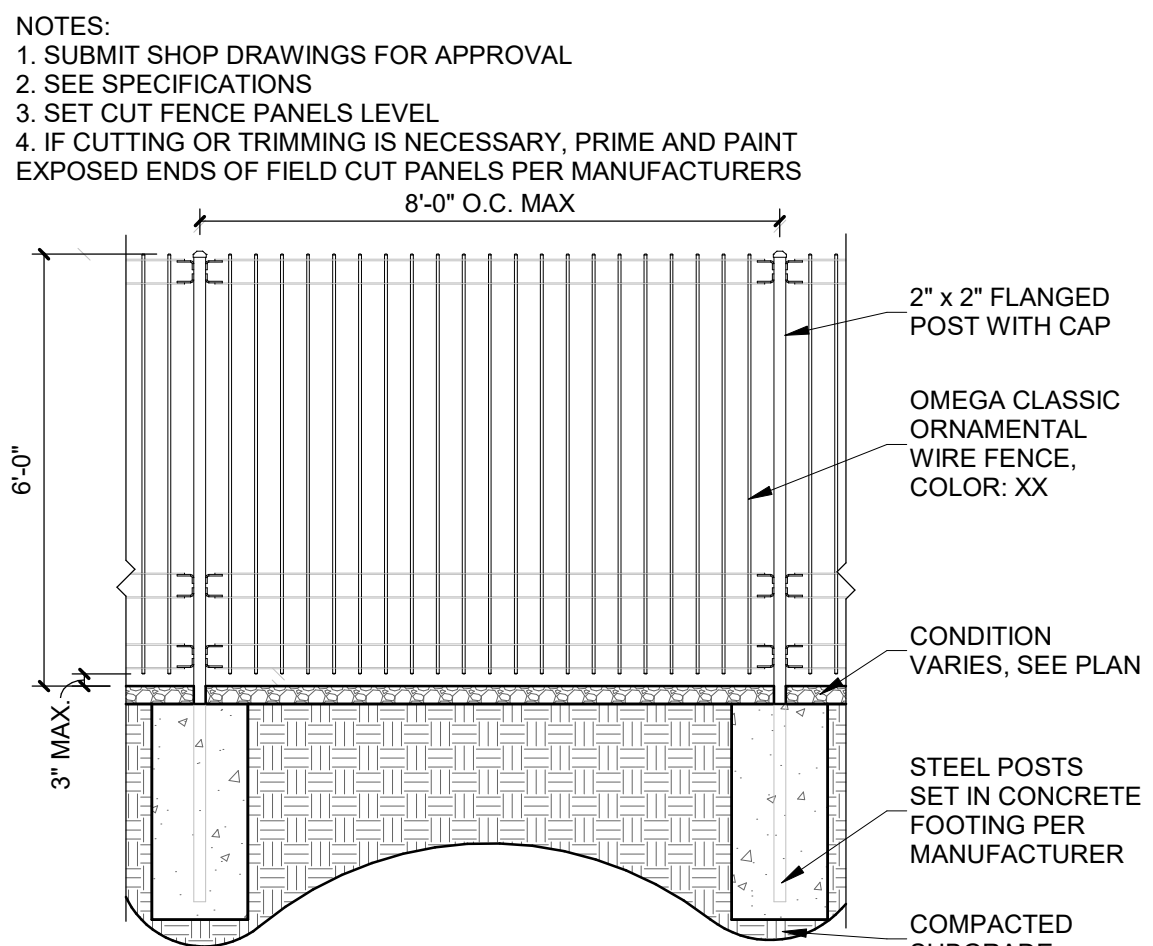


**C1 SIDEWALK CULVERT**  
1" = 1'-0"

- NOTES:
1. STABILIZED CRUSHER FINES SHALL BE FLUSH WITH TOP OF TOP OF ADJACENT CONCRETE PAVEMENT, CURB OR FINISH GRADE, AND TO MATCH FINISH GRADES ON CIVIL DRAWINGS.
  2. INSTALL BASE COURSE AND CRUSHER FINES FIRST, THEN INSTALL AND COMPACT ADJACENT MULCH.

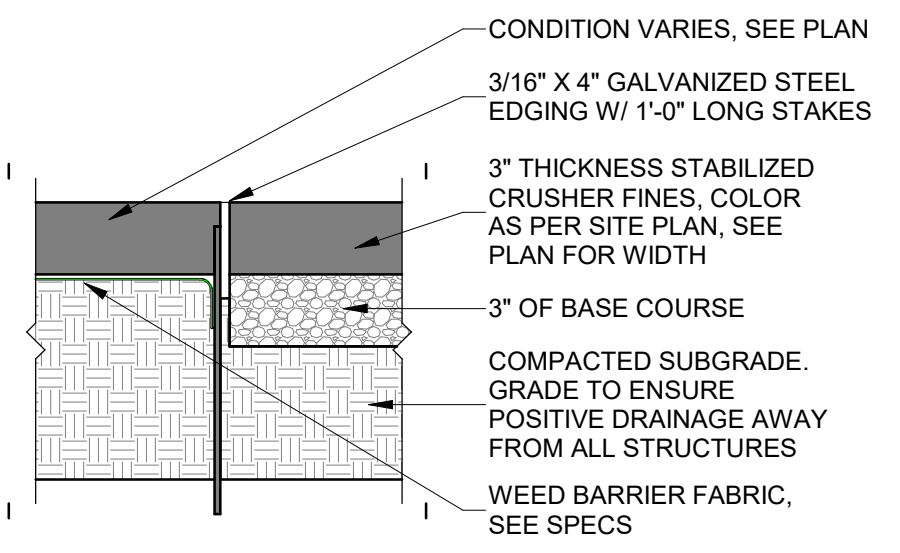


**B1 STABILIZED CRUSHER FINES**  
1 1/2" = 1'-0"

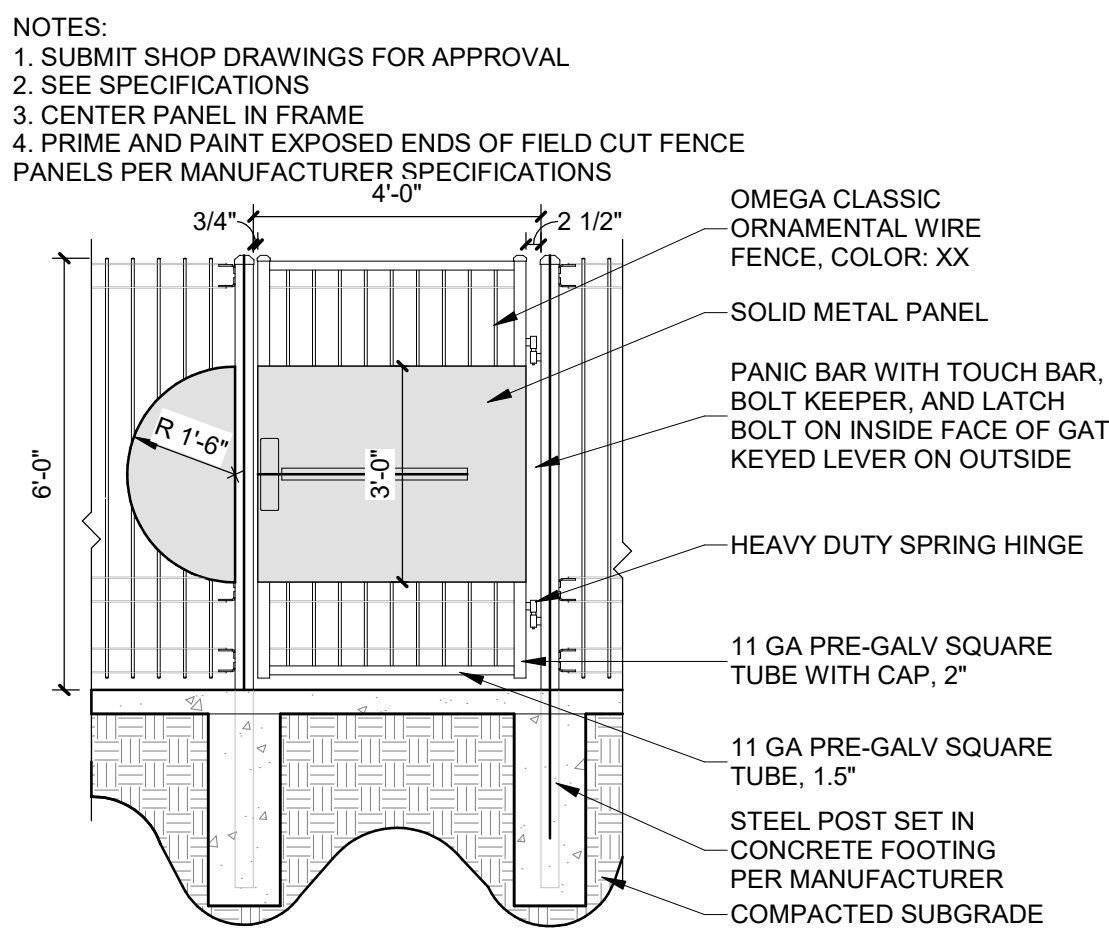


**A1 STEEL PICKET FENCE**  
3/8" = 1'-0"

- NOTES:
1. STABILIZED CRUSHER FINES SHALL BE FLUSH WITH TOP OF ADJACENT CONCRETE PAVEMENT, CURB OR FINISH GRADE, AND TO MATCH FINISH GRADES ON CIVIL DRAWINGS.
  2. STEEL EDGING TO BE LOCATED ALONG BOTH SIDES OF PATH EXCEPT WHERE CONCRETE, PAVING OR RAISED PLANTER MATERIAL IS PRESENT
  3. SEE SPECIFICATIONS

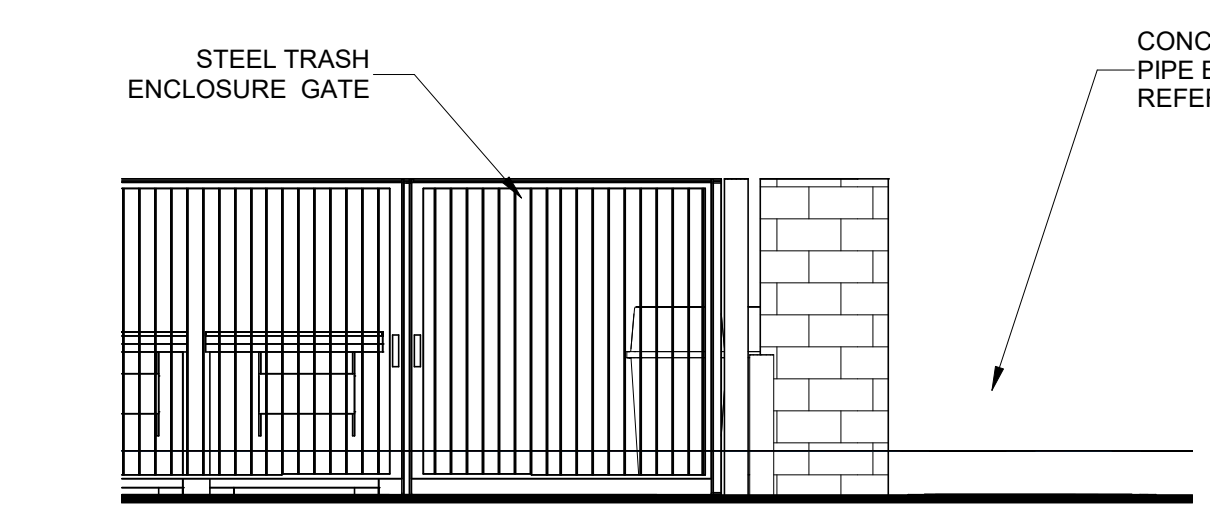


**B2 CRUSHER FINE PATH WITH STEEL EDGE**  
1 1/2" = 1'-0"



**A2 STEEL PICKET GATE**  
3/8" = 1'-0"

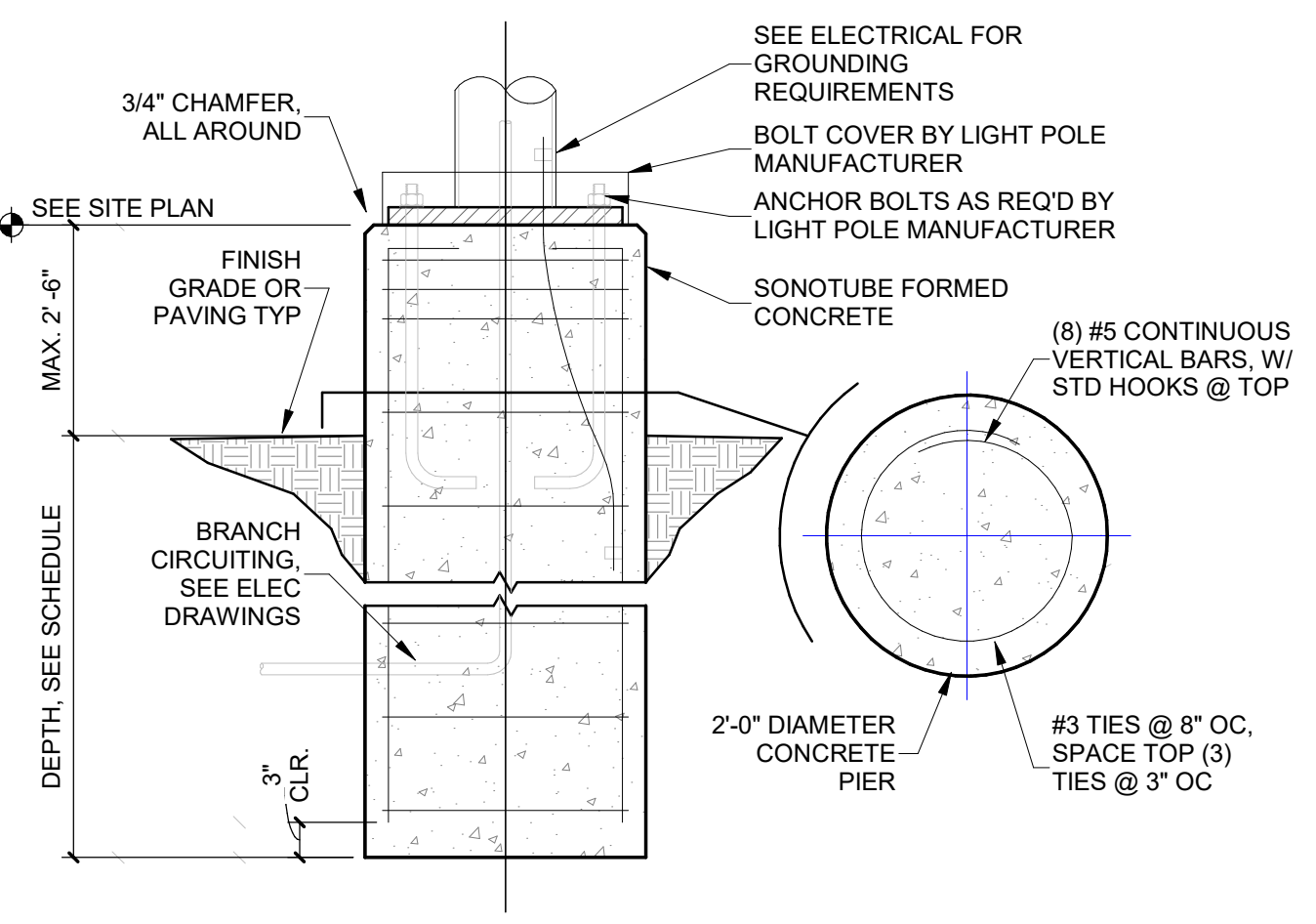
**D3 TRASH ENCLOSURE - NORTH/SOUTH - TYP.**  
1/4" = 1'-0"



**C3 REFUSE ENCLOSURE - WEST**  
1/4" = 1'-0"



**B3 REFUSE ENCLOSURE - EAST**  
1/4" = 1'-0"

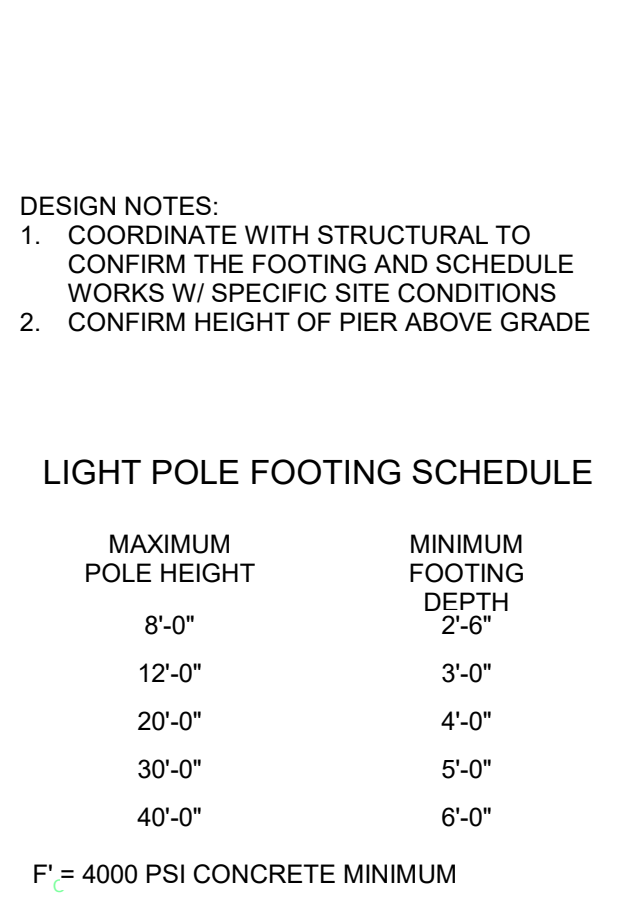


**A3 FOUNDATION AT LIGHTPOLE**  
3/4" = 1'-0"

**D2 REFUSE BOLLARD CONNECTION**  
1" = 1'-0"



**B4 TRASH ENCLOSURE**  
1/4" = 1'-0"

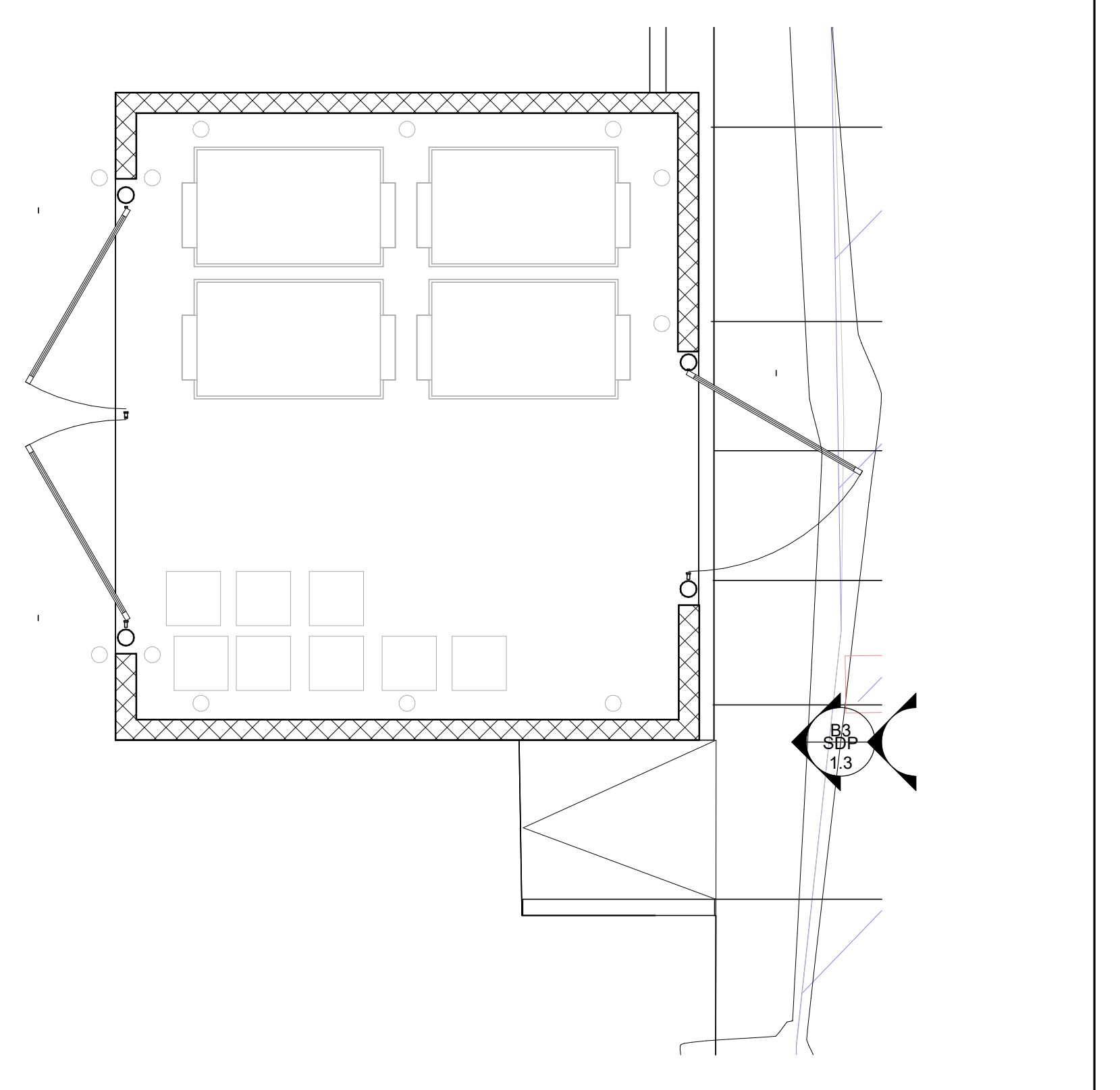


- DESIGN NOTES:
1. COORDINATE WITH STRUCTURAL TO CONFIRM THE FOOTING AND SCHEDULE WORKS W/ SPECIFIC SITE CONDITIONS
  2. CONFIRM HEIGHT OF PIER ABOVE GRADE

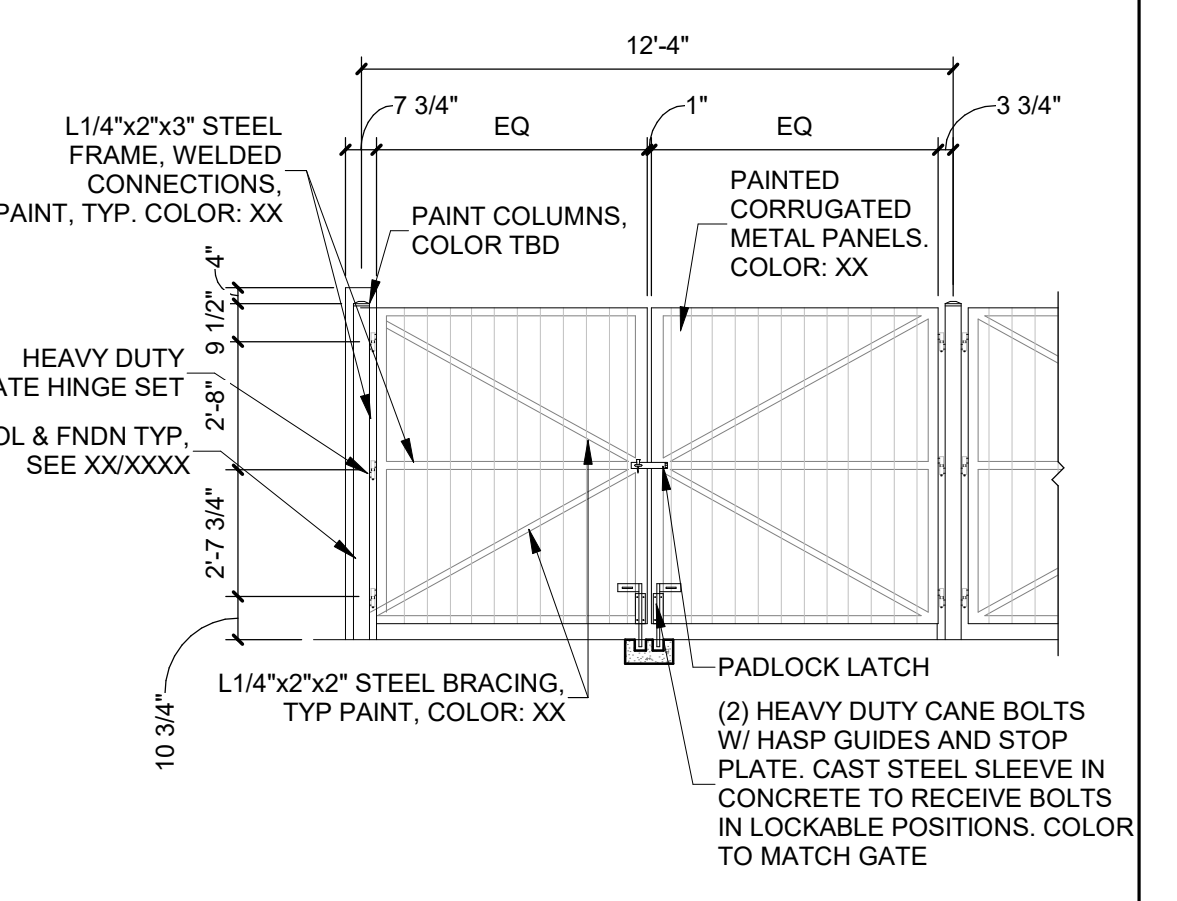
MAXIMUM POLE HEIGHT	MINIMUM FOOTING DEPTH
8'-0"	2'-6"
12'-0"	3'-0"
20'-0"	4'-0"
30'-0"	5'-0"
40'-0"	6'-0"

F' = 4000 PSI CONCRETE MINIMUM

**D4 REFUSE ENCLOSURE SECTION**  
1/2" = 1'-0"



**A5 REFUSE ENCLOSURE GATE**  
1/4" = 1'-0"



**DEKKER PERICH SABATINI**  
Architecture in Progress



SEAL  
PROJECT

**FAROLITO SENIOR COMMUNITY**  
10501 CENTRAL AVENUE NE  
ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT

- REVISIONS
- △
  - △
  - △
  - △
  - △
  - △

DRAWN BY: BH  
REVIEWED BY: CWW  
DATE: 07/10/23  
PROJECT NO: 22-0083

DRAWING NAME  
**ENLARGED PLANS AND DETAILS**

SHEET NO  
**SDP 1.3**

10/30/2023	ADD 003
11/17/2023	ADD 004

DRAWN BY	EH
REVIEWED BY	DS
DATE	08/18/2023
PROJECT NO.	22-0083
DRAWING NAME	PLANTING PLAN

**GENERAL SHEET NOTES**

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND/OR MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA DRIFLINE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 5-6-1 OF THE IDO.
- AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- ALL SCREENING VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS MUST ALLOW 10 FEET OF CLEARANCE FOR ACCESS AN TO ENSURE THE SAFETY OF THE WORK CREWS AND PUBLIC DURING MAINTENANCE AND REPAIR.
- TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.
- NO EXISTING PLANT MATERIAL IS TO BE PRESERVED ON THE PROPERTY. ALL PLANT MATERIALS ILLUSTRATED ARE NEW.
- ALL PLANTING MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT OF WAY.
- TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER LINE.

**IRRIGATION NOTES**

- PLANTS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING, AND LOADING AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED BY THE OWNER ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.

**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA = 2.29 AC = 99,736 SF  
 AREA OF LOT COVERED BY BUILDINGS = 20,270 SF  
 NET LOT AREA = 79,466 SF

**REQUIRED LANDSCAPE**  
 REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 11,920 SF  
 PROVIDED LANDSCAPE AREA = 34,987 SF = 44%  
 (see hatch legend for exclusions from landscape areas)

**REQUIRED TREES**  
 TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES  
 TOTAL NUMBER OF PARKING = 82 SPACES  
 REQUIRED NUMBER OF PARKING LOT TREES = 8 TREES  
 PROVIDED NUMBER OF PARKING LOT TREES = 10 TREES  
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = 9.5 placed at 20' on center (192' of street frontage)  
 PROVIDED STREET TREES = 8

REQUIRED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 38 TREES  
 1 TREE PER GROUND FLOOR DWELLING UNIT (15) AND 1 TREE PER SECOND-STORY UNIT (23)  
 PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 38 TREES

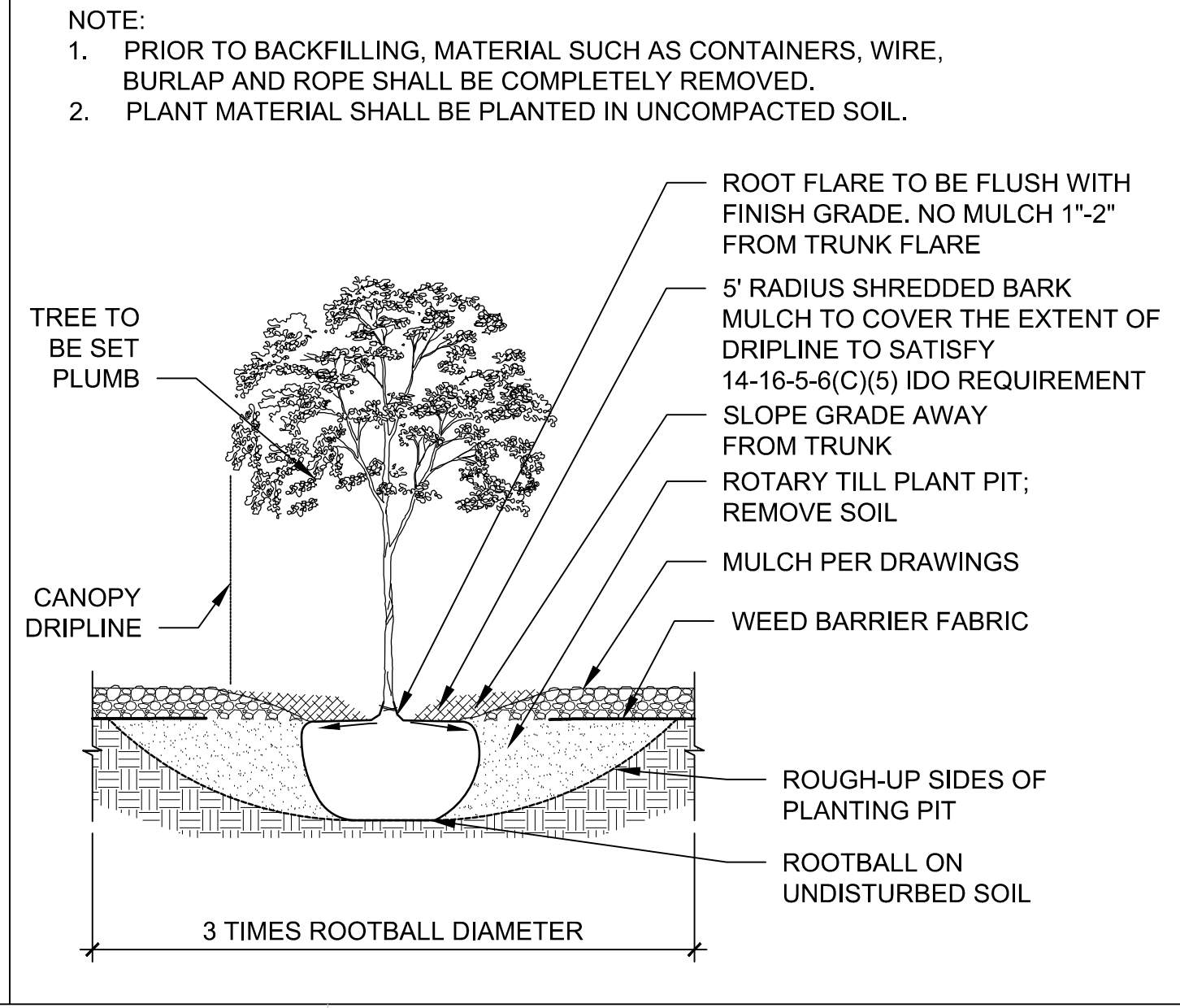
**REQUIRED VEGETATIVE COVERAGE**  
 REQUIRED VEGETATIVE COVERAGE = 23,812 SF = 75% OF PROVIDED LANDSCAPE AREA  
 A MINIMUM 25% OF REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS  
 TREE CANOPY COVERAGE = 40,312 SF  
 GROUND PLANT COVERAGE = 3,526 SF = 25% OF REQUIRED VEGETATIVE COVERAGE

PARKING LOT AREA = 33,434 SF  
 PARKING LOT LANDSCAPING PROVIDED = 6,262 SF = 18.7%  
 MIN. 15% OF PARKING LOT AREA TO BE LANDSCAPED

**GROUND COVER MATERIAL**  
 TOTAL ROCK MULCH GROUND COVER = 19,669 SF = 56.2%  
 TOTAL ORGANIC MULCH GROUND COVER = 6,675.9 SF = 19%  
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-6(C)(5)(d)

**PARKING LOT EDGE LANDSCAPE**  
 2 TREES AND 6 SHRUBS PER 25' ARE PROVIDED ALONG THE WEST PROPERTY LINE TO SCREEN PARKING.

**TREE PLANTING DETAIL**



**PLANT SCHEDULE**

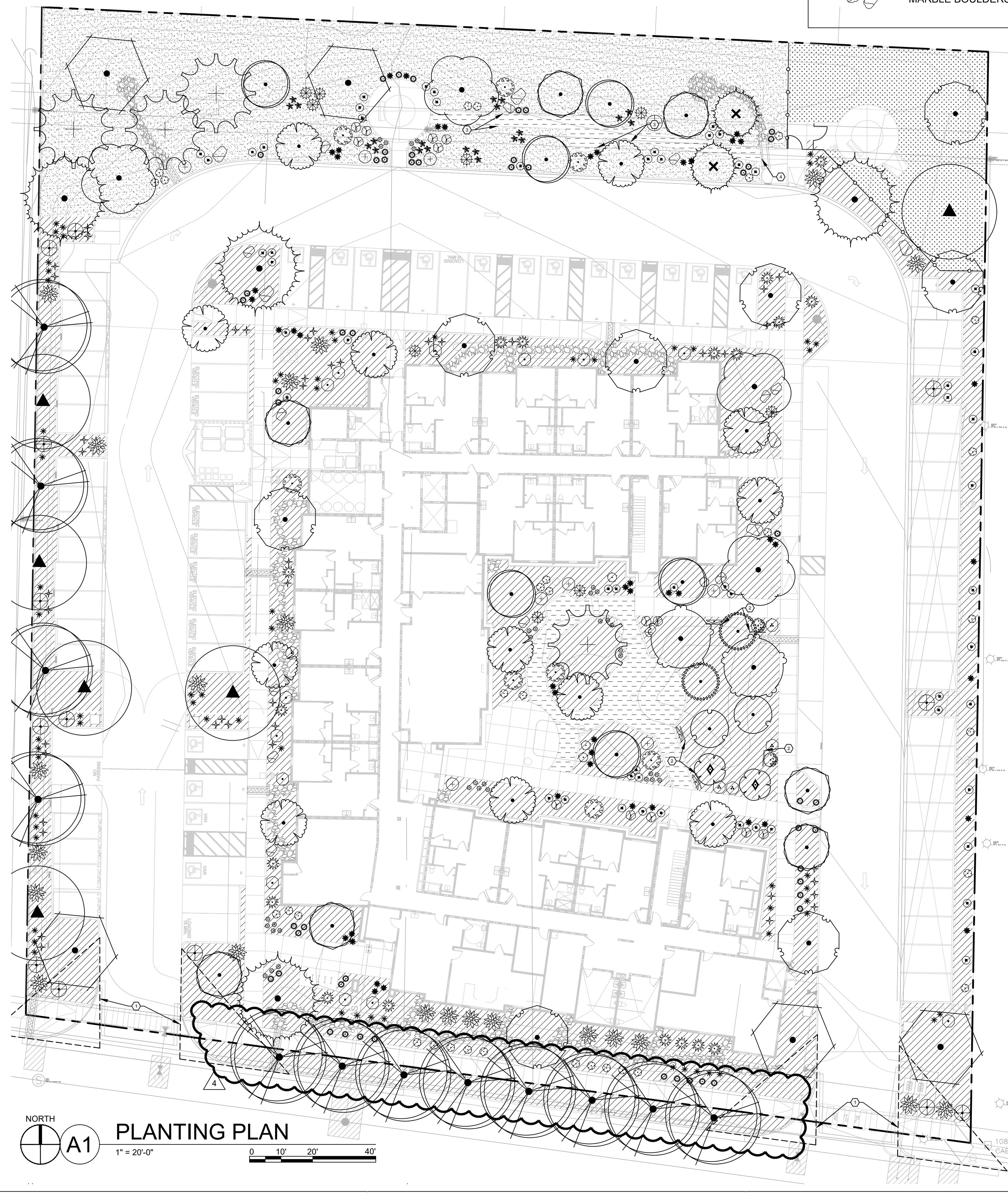
TREES	COMMON NAME
	AUTUMN BLAZE MAPLE
	NEW MEXICO OLIVE
	RAYWOOD ASH
	TRUESHADE HONEY LOCUST
	CHINESE PISTACHE
	ACCOLADE ELM
EVERGREEN TREES	COMMON NAME
	AFGHAN PINE
	AUSTRIAN BLACK PINE
FLOWERING TREES	COMMON NAME
	OKLAHOMA TEXAS REDBUD
	BUBBA DESERT WILLOW
	PURPLE ROBE LOCUST
FRUIT TREES	COMMON NAME
	CHICAGO HARDY FIG
	CRESTHAVEN PEACH
	METHLEY PLUM
	WONDERFUL POMEGRANATE
SHRUBS	COMMON NAME
	HOT RASPBERRY BUTTERFLY BUSH
	LITTLE LEAF MOUNTAIN MAHOGANY
	FERNBUSH
	GROSSO LAVENDER
	BLUE DWARF SCOTCH PINE
	DWARF GOLDEN ALPINE CURRANT
	ARP ROSEMARY
	DORMAN RED THORNLESS RASPBERRY
DESERT ACCENTS	COMMON NAME
	BRAKELIGHTS RED YUCCA
	BEARGRASS
	ENGELMANN PRICKLY PEAR
	TWISTLEAF YUCCA
PERENNIALS	COMMON NAME
	YERBA MANSА
	CHOCOLATE FLOWER
	SISKIYOU PINK GAURA
	DESERT BEARDTONGUE
	ULTRA VIOLET AUTUMN SAGE
VINES	COMMON NAME
	HIMROD GRAPE
ORNAMENTAL GRASSES	COMMON NAME
	'BLONDE AMBITION' BLUE GRAMA
	DEER GRASS

**SHEET KEYED NOTES**

CODE	DESCRIPTION
1	CLEAR SIGHT TRIANGLE; LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
2	HIMROD GRAPES AND THORNLESS RASPBERRIES MUST BE PLANTED ALONG TRELIS SYSTEM, SEE C1/LP501
3	STEEL EDGING ALONG PATH, SEE SPECS.
4	CRUSHER FINE TRAIL MUST GRADUALLY TRANSITION TO EDGE OF CONCRETE TO ENSURE ACCESSIBLE ROUTE.

**LEGEND**

SYMBOL	NOTES	EST QTY
	7/8" ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC. COLOR: SANTA FE BROWN AVAILABLE FROM BUILDOLGY.	20,073 SF
	UNIRRIGATED SANTA FE TRAIL SEED MIX SEEDING RATE 2 LBS / 1000 SF AVAILABLE FROM CURTIS AND CURTIS SEED	10,539 SF
	SCREENED TREE MULCH, 3" DEPTH. AVAILABLE FROM BARELAS LANDSCAPING MATERIALS	6,676 SF
	SEE CIVIL FOR STORMWATER INFRASTRUCTURE	
	STABILIZED CRUSHER FINES EXCLUDED FROM LANDSCAPE AREA CALCULATIONS, SEE SITE PLAN BASIS OF DESIGN: SANTA FE BROWN THROUGH BUILDOLGY, SEE E3 & E4/AS501	1,762 SF
	DOG PARK: SHREDDED WOOD MULCH, PLAYGROUND MULCH FROM SOILUTIONS, 6" DEPTH	2,791 SF
	PROPERTY LINE	
	MARBLE BOULDERS FROM JPR GRAVEL	EST QTY 19



NORTH  
**A1 PLANTING PLAN**  
 1" = 20'-0"  
 0 10' 20' 40'

## LANDSCAPE MATERIALS

SYMBOL	NOTES	EST. QTY
	7/8"Ø ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC BASIS. COLOR: SANTA FE BROWN AVAILABLE FROM BUILDLOGY	20,073 SF
	UNIRRIGATED SANTA FE TRAIL SEED MIX SEEDING RATE 2 LBS / 1000 SF AVAILABLE FROM CURTIS AND CURTIS SEED	10,539 SF
	SCREENED TREE MULCH, 3" DEPTH. AVAILABLE FROM BARELAS LANDSCAPING MATERIALS	6,676 SF
	SEE CIVIL FOR STORMWATER INFRASTRUCTURE	
	STABILIZED CRUSHER FINES EXCLUDED FROM LANDSCAPE AREA CALCULATIONS. SEE SITE PLAN. BASIS OF DESIGN: SANTA FE BROWN THROUGH BUILDLOGY. SEE E3 & E4/AS501	1,762 SF
	DOG PARK: SHREDDED WOOD MULCH. PLAYGROUND MULCH FROM SOLUTIONS, 6" DEPTH	2,791 SF
<b>BOULDERS:</b> MARBLE BOULDER, AVAILABLE FROM JPR GRAVEL BOULDERS TO BE SELECTED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE SEE DETAIL B1/LP501		
	4'x4' BOULDER	6 EA
	3'x3' BOULDER	13 EA

## PLANT SCHEDULE

TREES	SEE A2/LP501	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.	WATER USE
		4	ACER FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2" CAL.	40.00	30.00	LOW
	SEE A3/LP501	12	FORESTIERA NEOMEXICANA	NEW MEXICO OLIVE	24" BOX, MULTI-TRUNK	15.00	15.00	MED
		8	FRAXINUS OXYCARPA 'RAYWOOD'	RAYWOOD ASH	2" CAL.	35.00	25.00	
	SEE A3/LP501	6	GLEDITSIA TRIACANTHOS INERMIS 'TRUESHADE'	TRUESHADE HONEY LOCUST	24" BOX MULTI-TRUNK, 3 TRUNK MIN.	30.00	45.00	
		5	PISTACIA CHINENSIS	CHINESE PISTACHE	2" CAL.	40.00	30.00	
		13	ULMUS X 'ACCOLADE'	ACCOLADE ELM	2" CAL.	50.00	40.00	
<b>EVERGREEN TREES</b>								
	SEE A2/LP501	2	PINUS ELGARICA	AFGHAN PINE	6" HT.	35.00	20.00	
		4	PINUS NIGRA NIGRA	AUSTRIAN BLACK PINE	6" HT.	50.00	25.00	
<b>FLOWERING TREES</b>								
	SEE A2/LP501	6	CERCIS CANADENSIS TEXENSIS 'OKLAHOMA'	OKLAHOMA TEXAS REDBUD	2" CAL, B&B	15.00	15.00	
	SEE A3/LP501	7	CHILOPSIS LINEARIS 'BUBBA'	BUBBA DESERT WILLOW	24" BOX MULTI-TRUNK, 3 TRUNK MIN.	20.00	20.00	
		4	ROBINIA PSEUDOACACIA 'PURPLE ROBE'	PURPLE ROBE LOCUST	2" CAL.	35.00	25.00	LOW
<b>FRUIT TREES</b>								
	SEE A2/LP501	2	FICUS CARICA 'CHICAGO HARDY'	CHICAGO HARDY FIG	15 GAL	15.00	12.00	
		2	PRUNUS PERSICA 'CRESTHAVEN'	CRESTHAVEN PEACH	2" CAL.	15.00	15.00	
		2	PRUNUS SALICINA 'METHLEY'	METHLEY PLUM	15 GAL	20.00	20.00	
		2	PUNICA GRANATUM 'WONDERFUL'	WONDERFUL POMEGRANATE	15 GAL	10.00	10.00	
<b>SHRUBS</b>								
	SEE A1/LP501	4	BUDDLEJA X 'HOT RASPBERRY'	HOT RASPBERRY BUTTERFLY BUSH	5 GAL	3.00	3.00	
		14	CERCOCARPUS INTRICATUS	LITTLE LEAF MOUNTAIN MAHOGANY	5 GAL	8.00	5.00	
		8	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH	5 GAL	6.00	6.00	LOW
		13	LAVANDULA X INTERMEDIA 'GROSSO'	GROSSO LAVENDER	5 GAL	3.00	3.00	
		9	PINUS SYLVESTRIS 'GLAUCA NANA'	BLUE DWARF SCOTCH PINE	15 GAL	6.00	6.00	
		4	RIBES ALPINUM 'AUREUM'	DWARF GOLDEN ALPINE CURRANT	5 GAL	3.00	4.00	
		8	ROSMARINUS OFFICINALIS 'ARP'	ARP ROSEMARY	5 GAL	3.50	4.00	
		2	RUBUS X 'DORMAN RED'	DORMAN RED THORNLESS RASPBERRY	5 GAL	5.00	4.00	
<b>DESERT ACCENTS</b>								
	SEE B2/LP501	44	HESPERALOE PARVIFLORA 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	5 GAL	2.50	2.50	LOW
		22	NOLINA MICROCARPA	BEARGRASS	5 GAL	5.00	5.00	LOW
		14	OPUNTIA ENGELMANNII	ENGELMANN PRICKLY PEAR	5 GAL	3.00	5.00	LOW
		64	YUCCA PALLIDA	TWISTLEAF YUCCA	5 GAL	2.00	2.00	
<b>PERENNIALS</b>								
	SEE A1/LP501	21	ANEMOPSIS CALIFORNICA	YERBA MANSA	1 GAL	1.50	2.00	
		35	BERLANDIERA LYRATA	CHOCOLATE FLOWER	1 GAL	1.50	1.50	
		47	GAURA LINDHEIMERI 'SISKIYOU PINK'	SISKIYOU PINK GAURA	1 GAL	2.50	2.50	MED
		50	PENSTEMON PSEUDOSPECTABILIS	DESERT BEARDTONGUE	5 GAL	2.00	2.00	
		32	SALVIA GREGGII 'ULTRA VIOLET'	ULTRA VIOLET AUTUMN SAGE	1 GAL	1.50	2.50	LOW
<b>VINES</b>								
	SEE C1/LP501	3	VITIS LABRUSCA 'HIMROD'	HIMROD GRAPE	5 GAL	15.00	10.00	
<b>ORNAMENTAL GRASSES</b>								
	SEE A1/LP501	56	BOUTELOUA GRACILIS 'BLONDE AMBITION'	'BLONDE AMBITION' BLUE GRAMA	5 GAL	2.50	2.50	LOW
		18	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	4.00	4.00	LOW



SEAL

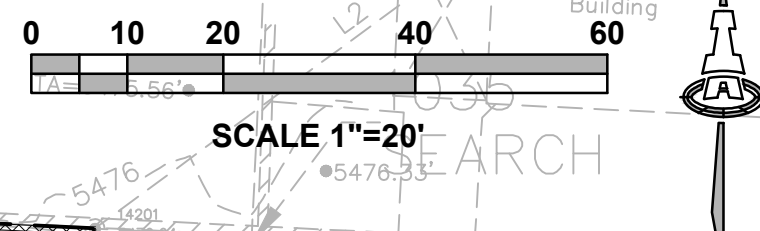
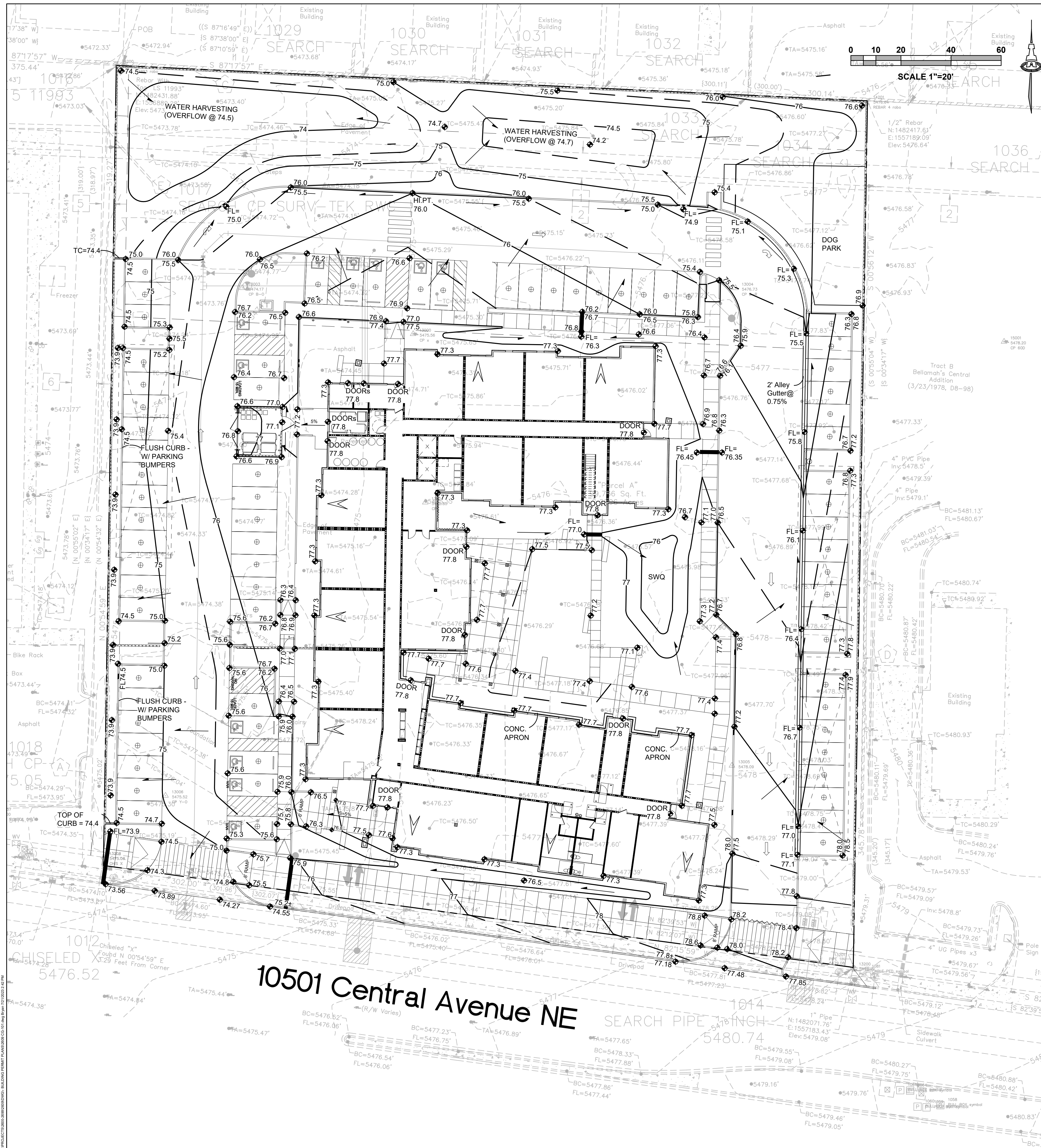
PROJECT

APPLICATION TO DESIGN REVIEW BOARD (DRB)

REVISIONS		
	9/22/23	ADD 001
	10/30/2023	ADD 003

DRAWN BY	EH/TC
REVIEWED BY	CM
DATE	09/01/2023
PROJECT NO.	22-0083

DRAWING NAME  
**PLANTING DETAILS**



### STORMWATER QUALITY

STORMWATER QUALITY CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF FIRST FLUSH.

REDEVELOPMENT: THIS SITE WAS PREVIOUSLY FULLY DEVELOPED. REDEVELOPMENT IS SUBJECT TO A REDUCED STORMWATER QUALITY VOLUME REQUIREMENT OF 0.26"/SF OF IMPERVIOUS AREA.

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 70% OF TOTAL AREA. (0.70 \* 101930) = 69,815 SF. THE REQUIRED FIRST FLUSH RETENTION VOLUME = 0.26"/12" TYPE 'D' AREA = 1,513 CF.

STORMWATER QUALITY RETENTION WILL BE PROVIDED AS POSSIBLE. FINAL LOCATIONS AND VOLUMES WILL BE PROVIDED AS PART OF BUILDING PERMIT CONSTRUCTION DOCUMENTS.

IF NECESSARY, A "PAYMENT IN-LIEU FOR STORMWATER QUALITY VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP WILL BE PROVIDED BY C.O.A. HYDROLOGY BASED ON THE PORTION OF STORMWATER QUALITY VOLUME THAT IS NOT RETAINED ON-SITE. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO BUILDING PERMIT APPROVAL.

### ADA COMPLIANCE

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%

ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).

ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

### LEGEND

- 5478 --- EXISTING CONTOUR
- 5478.21 EXISTING SPOT ELEVATION
- 77 --- PROPOSED 1.0' CONTOUR
- 77.5 --- PROPOSED 0.5' CONTOUR
- ◆ 77.0 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF = 5479.00 FINISH FLOOR ELEVATION



### C.O.A VICINITY MAP L-21



### PROJECT INFORMATION

PROPERTY: THE PROPERTY IS A PREVIOUSLY DEVELOPED COMMERCIAL PROPERTY BOUNDED ON THE NORTH BY SINGLE FAMILY RESIDENTIAL, TO THE EAST AND WEST BY DEVELOPED COMMERCIAL PROPERTY, AND TO THE SOUTH BY CENTRAL AVENUE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE CONSTRUCTION OF MULTI-FAMILY HOUSING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LOT SIZE: 2.2896 ACRES ±

LEGAL: PARCEL A AS SHOWN ON THE BOUNDARY SURVEY OF TRACT C, VIDEO ADDITION AND PARCELS OF LAND OWNED BY THE STATE OF NEW MEXICO

BENCHMARK: VERTICAL DATUM SHOWN HEREON WAS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "5-K20" HAVING AN ELEVATION OF 5429.995.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0359G DATED 9/26/2008, THE SITE IS LOCATED WITHIN ZONE "X", DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

SURVEYOR: BRIAN J. MARTINEZ, CSI-CARTESIAN SURVEYS INC. P.O. BOX 44414 RIO RANCHO, NEW MEXICO 87174

DRAINAGE PLAN CONCEPT: ONSITE FLOW ON THE EAST AND NORTH SIDES OF THE PROPOSED BUILDING WILL BE ROUTED NORTH TO SHALLOW (6") WATER HARVESTING (STORMWATER QUALITY) BASINS ON THE NORTH END OF THE PROPERTY WHICH IS INTENDED TO BE USED AS A NATURAL AREA FOR PLANTS, ANIMALS, AND INSECTS.

ONSITE FLOW ON THE WEST SIDE OF THE PROPOSED BUILDING WILL BE DIRECTED TO A SHALLOW STORMWATER QUALITY POND ALONG THE WEST PROPERTY LINE.

A PORTION OF ROOF FLOW TO THE SOUTH SIDE OF THE PROPOSED BUILDING WILL BE DIRECTED TO A COVERED SIDEWALK CULVERT TO CENTRAL AVE.

ONCE THE STORMWATER QUALITY / WATER HARVESTING BASINS FILL, EXCESS STORMWATER WILL BE RELEASED TO CENTRAL AVE. VIA A NEW COVERED SIDEWALK CULVERT AT THE SW CORNER OF THE PROPERTY.

TOTAL DISCHARGE FROM THE SITE WILL BE LESS THAN HISTORIC DUE TO A REDUCTION OF IMPERVIOUS AREA AS WELL AS THE ADDITION OF ONSITE WATER HARVESTING.

**Isaacson & Arman, Inc.**  
Civil Engineering Consultants



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Engineer

**FAROLITO SENIOR COMMUNITY**  
**10501 CENTRAL AVE. NE**

**CALCULATIONS: Farolito Senior Community : July 21, 2023**  
Based on City of Albuquerque DMP, Article 6-2 Hydrology dated June 26, 2020

100-YEAR, 6-HOUR CALCULATIONS			
AREA OF SITE:	99735.6859	SF	= 2.29 ACRE
<b>HISTORIC FLOWS:</b>			
Area A	Treatment SF	%	Area A = 0 0%
Area B	0	0%	Area B = 0 0%
Area C	14960	15%	Area C = 29921 30%
Area D	84775	85%	Area D = 69815 70%
Total Area	99736	100%	Total Area = 99736 100%
<b>EXCESS PRECIP:</b>			
			EA = 0.67
			EB = 0.86
			EC = 1.09
			ED = 2.58
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)			
Weighted E =	$\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$		
Historic E =	2.36 in.	Developed E =	2.13 in.
On-Site Volume of Runoff: V360 = $\frac{E^* A}{12}$			
Historic V <sub>360</sub> =	19586 CF	Developed V <sub>360</sub> =	17728 CF
On-Site Peak Discharge Rate: Q <sub>p</sub> = Q <sub>pA</sub> A + Q <sub>pB</sub> B + Q <sub>pC</sub> C + Q <sub>pD</sub> D / 43,560			
For Precipitation Zone 3			
Q <sub>pA</sub> =	1.84	Q <sub>pC</sub> =	3.17
Q <sub>pB</sub> =	2.49	Q <sub>pD</sub> =	4.49
Historic Q <sub>p</sub> =	9.8 CFS	Developed Q <sub>p</sub> =	9.4 CFS

DESIGN DEVELOPMENT	ISSUE:
PROJECT NUMBER: IA 2609	PROJECT NUMBER:
FILE:	FILE:
DRAWN BY:	DRAWN BY:
CHECKED BY:	CHECKED BY:
DATE: 07/20/23	DATE:

No.	Date	Description

**GRADING & DRAINAGE PLAN**

SHEET NUMBER  
**CG-101**

REVISIONS

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DRAWN BY: JTSB,BDEC  
REVIEWED BY: FCAMA  
DATE: 08/01/2023  
PROJECT NO.: IA 2609 22-0083  
DRAWING NAME:

**GENERAL NOTES**

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.
- WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.
- SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.
- COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
- COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

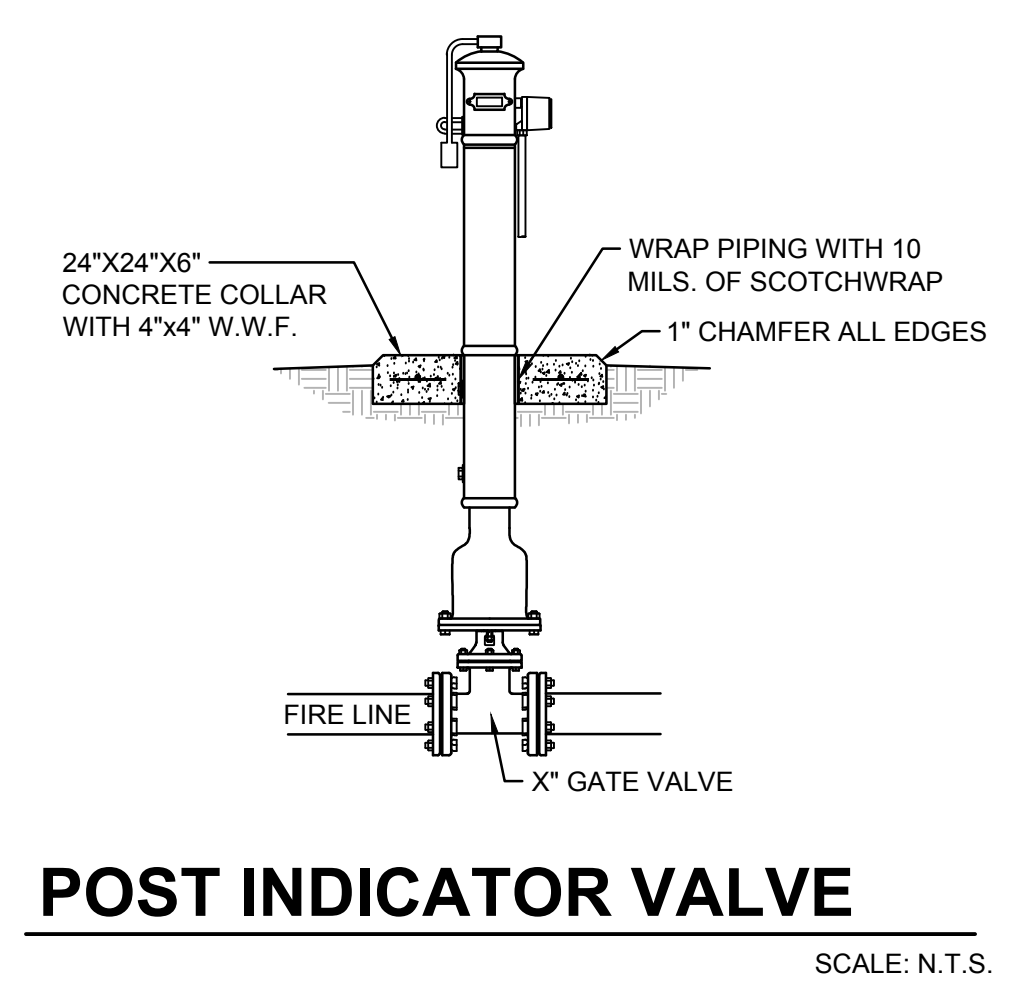
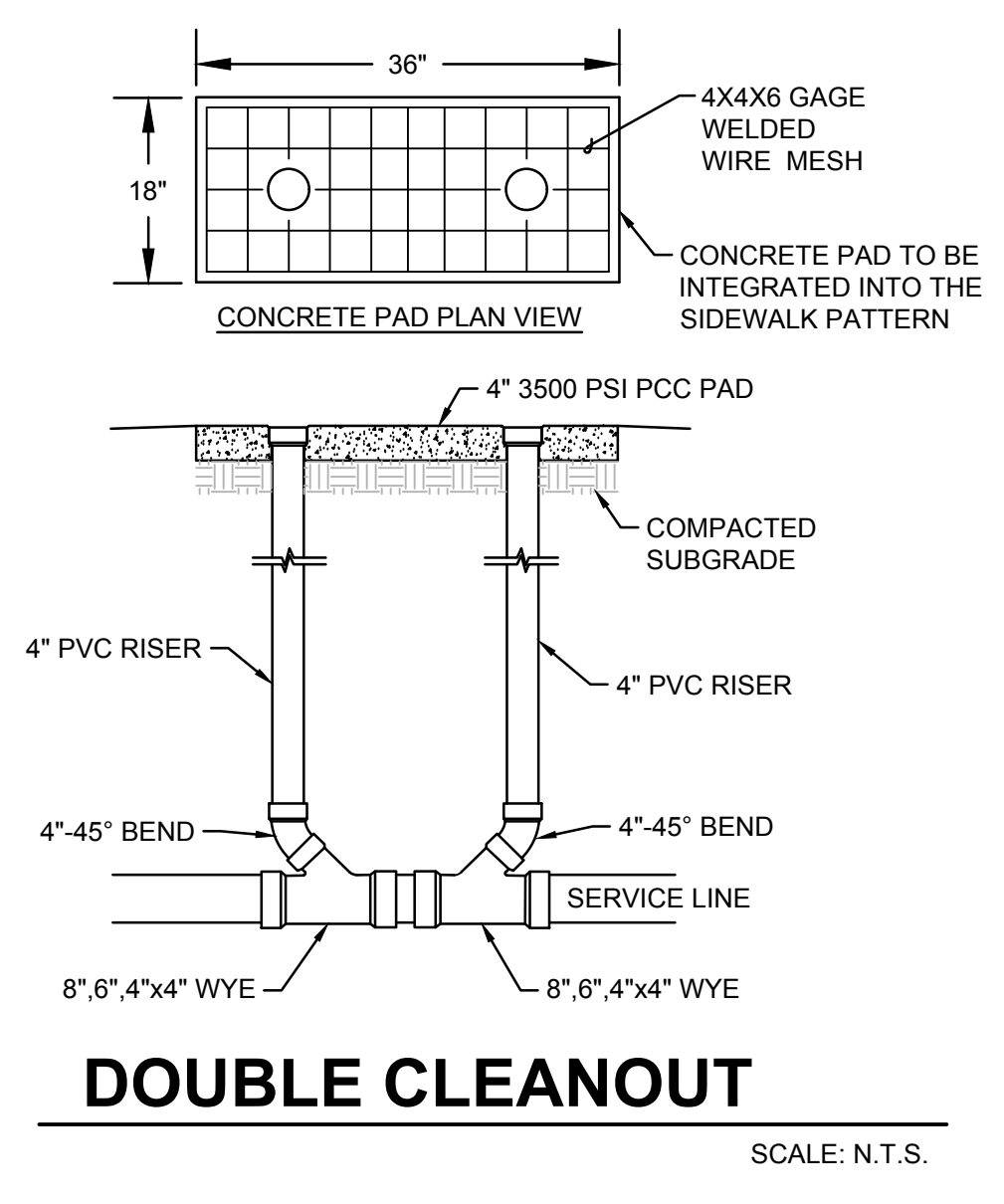
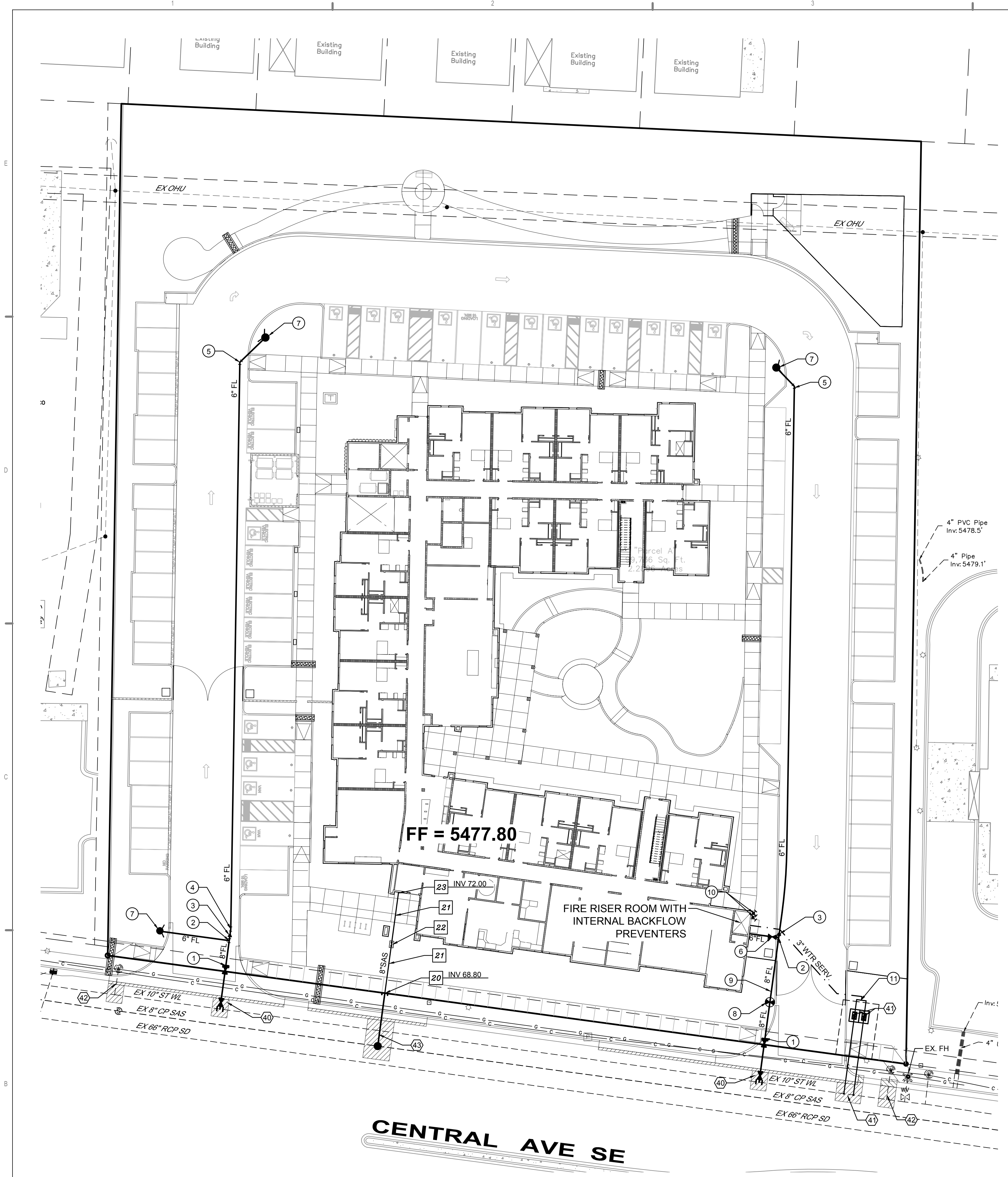
**RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS**

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
- THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

DEPTH OF BURY: 3.0 FT. MINIMUM  
FACTOR OF SAFETY: 1.5  
MATERIAL: PVC  
SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.  
TEST PRESSURE: 150 PSI  
TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.  
  
DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

**KEYED NOTES**

- WATER KEYED NOTES**
- REMOVE EXISTING 8" CAP AND CONNECT NEW 6" WATERLINE.
  - 8" x 6" TEE.
  - 8" x 6" REDUCER.
  - 6" - 11 1/2" BEND. (LT=3)
  - 6" - 45" BEND. (LT=9)
  - PRIVATE 6" GATE VALVE W/ BOX. (LT=46") PER ABCWUA STD DWG 2326, 2328 & 2329
  - PRIVATE FIRE HYDRANT PER ABCWUA STD DWG 2340. PAINTED SAFETY ORANGE.
  - PIV (POST INDICATOR VALVE).
  - 3/4" ELECTRICAL CONDUIT W/ PULL STRING FROM PIV TO FIRE ROOM.
  - WALL MOUNT FDC (FIRE DEPARTMENT CONNECTION).
  - REMOVE 2 EXISTING 2" CAPS AND MANIFOLD TOGETHER INTO 1 - 3" WATER SERVICE LINE.
- SEWER KEYED NOTES**
- INSTALL 4" DIA. TYPE E MANHOLE PER ABCWUA STD DWGS #2102 & #2109.
  - 8" SANITARY SEWER SERVICE AT 8.44% (2% MIN. SLOPE).
  - INSTALL DOUBLE CLEAN OUT PER DETAIL THIS SHEET.
  - SEE MECHANICAL PLAN FOR CONTINUATION. (INV.=5472.0)
- DRY UTILITY KEYED NOTES**
- ELECTRIC LINE. SEE SITE ELECTRIC PLAN.
  - GAS LINE. SIZE TO BE DETERMINED.
  - EXTERNAL GAS METER WITH FULL-BORE GAS SHUT OFF VALVE DOWN STREAM OF GAS METER.
- ABCWUA CONNECTION PERMIT ITEMS (NOT PART OF THIS PLAN)**
- PUBLIC WATERLINE AND 8" GATE VALVES W/BOX, PART OF PRIVATE FIRE SUPPRESSION LINE CONNECTION TO 10" PUBLIC WATER LINE.
  - 2 NEW PUBLIC 2" WATER METERS
  - REMOVE AND DISPOSE EXISTING WATER METER BOX. CLOSE CORP STOP AT MAIN.
  - 4" SANITARY SEWER MANHOLE AND NEW 8" SERVICE LINE TO ROW.



**LEGEND**

---	EXISTING WATERLINE
⊗	EXISTING FIRE HYDANT
⊗	EXISTING WATER VALVE
---	EXISTING SEWER LINE
⊗	EXISTING SEWER MANHOLE
---	NEW FIRE LINE
---	NEW WATER VALVE
⊗	NEW FIRE HYDANT
---	NEW FDC
⊗	NEW PIV
---	NEW SEWER LINE
⊗	PUBLIC WATER VALVE
⊗	PUBLIC FIRE HYDANT
(LT=X)	DISTANCE JOINTS TO BE RESTRAINED FROM FITTING OR VALVE

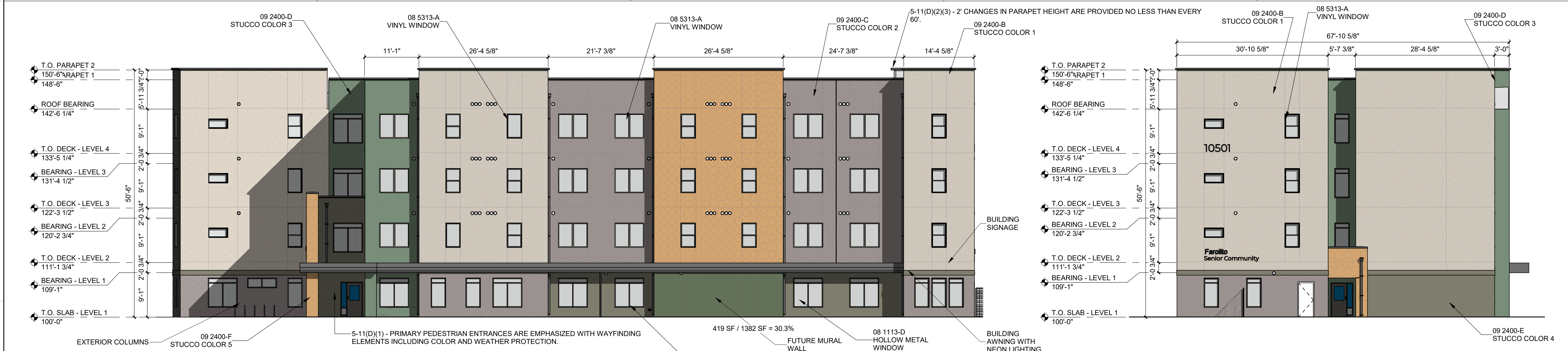
**Isaacson & Arfman, Inc.**  
Civil Engineering Consultants  
128 Monroe Street NE  
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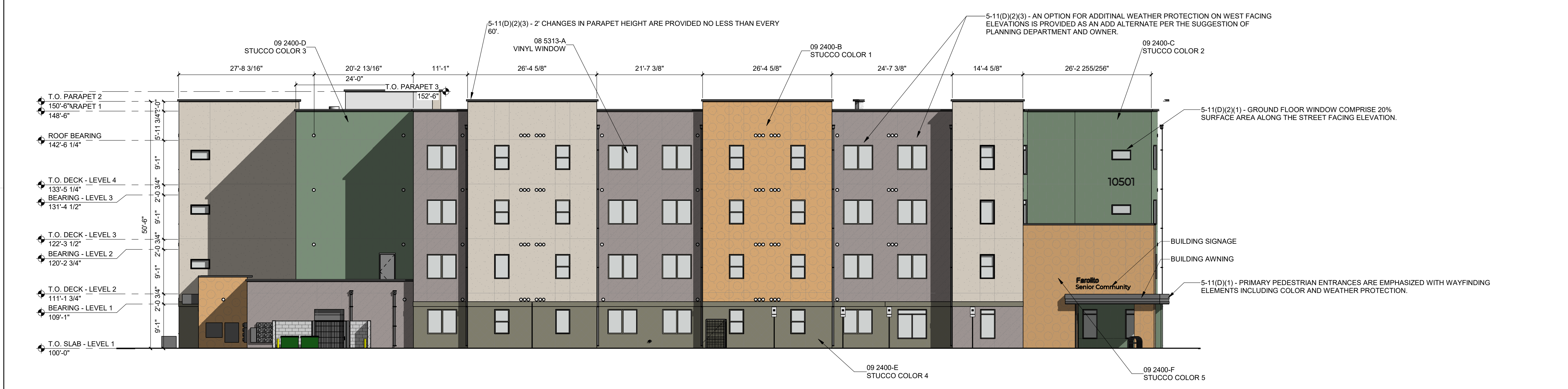


<p><b>GENERAL SHEET NOTES</b></p> <p>A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.</p> <p>B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.</p> <p>C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.</p> <p>D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.</p> <p>E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY BUILDING PARAPETS.</p>	<p><b>SHEET KEYNOTES</b></p>	<p><b>REFERENCE KEYNOTES</b></p> <p>08 1113-D HOLLOW METAL WINDOW          08 5313-A VINYL WINDOW          09 2400-B STUCCO COLOR 1          09 2400-C STUCCO COLOR 2          09 2400-D STUCCO COLOR 3          09 2400-E STUCCO COLOR 4          09 2400-F STUCCO COLOR 5</p>	<p><b>LEGEND</b></p> <p>STUCCO: COLOR 1          STUCCO: COLOR 2          STUCCO: COLOR 3          STUCCO: COLOR 4          STUCCO: COLOR 5</p>	<p><b>KEY PLAN</b></p>
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**C1 SOUTH ELEVATION**  
3/32" = 1'-0"

**C3 SOUTHEAST ELEVATION**  
3/32" = 1'-0"



**A1 WEST ELEVATION**  
3/32" = 1'-0"

**DEKKER PERICH SABATINI**  
 Architecture in Progress



SEAL

PROJECT

**FAROLITO SENIOR COMMUNITY**  
 10501 CENTRAL AVENUE NE  
 ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT

REVISIONS

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DRAWN BY	BH
REVIEWED BY	CWW
DATE	05/14/23
PROJECT NO.	22-0083

DRAWING NAME

**EXTERIOR ELEVATIONS - SOUTH AND WEST**

SHEET NO

**SDP 4.1**

<p><b>GENERAL SHEET NOTES</b></p> <p>A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.</p> <p>B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.</p> <p>C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.</p> <p>D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.</p> <p>E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY BUILDING PARAPETS.</p>	<p><b>SHEET KEYNOTES</b> ◻</p>	<p><b>REFERENCE KEYNOTES</b></p> <p>08 5313-A VINYL WINDOW          09 2400-B STUCCO COLOR 1          09 2400-C STUCCO COLOR 2          09 2400-D STUCCO COLOR 3          09 2400-E STUCCO COLOR 4          09 2400-F STUCCO COLOR 5          10 1400-C01 EXTERIOR BUILDING SIGNAGE</p>	<p><b>LEGEND</b></p> <p>STUCCO: COLOR 1          STUCCO: COLOR 2          STUCCO: COLOR 3          STUCCO: COLOR 4          STUCCO: COLOR 5</p>	<p><b>KEY PLAN</b></p>
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**DEKKER PERICH SABATINI**

**Architecture in Progress**



SEAL

PROJECT

**FAROLITO SENIOR COMMUNITY**  
 10501 CENTRAL AVENUE NE  
 ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT

REVISIONS

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DRAWN BY	BH
REVIEWED BY	CWW
DATE	05/14/23
PROJECT NO:	22-0083

DRAWING NAME  
**EXTERIOR ELEVATIONS - NORTH AND EAST**

SHEET NO  
**SDP 4.2**

**C3 NORTH ELEVATION**  
 $\frac{3}{32}'' = 1'-0''$

**A1 EAST ELEVATION**  
 $\frac{3}{32}'' = 1'-0''$

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