

**DEVELOPMENT FACILITATIVE TEAM (DFT)**  
**Code Enforcement Comments**

*Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.*

Jeff Palmer-Code Enforcement Supervisor  
Planning Department  
[jppalmer@cabq.gov](mailto:jppalmer@cabq.gov)

**DATE:** 06/05/2024

**AGENDA ITEM NO: 2**

**PROJECT NUMBER:**

**PR-2023-009382**

**SI-2024-00739 – SITE PLAN DFT**

**ADDRESS/LOCATION:** Lot/Tract A-2, CIBOLA LOOP SUBDIVISION zoned MX-L, located at 10751 Cibola Loop NW between Ellison and Coors Blvd containing approximately 9.1379 acre(s). (A-13)

**PROPERTY OWNER:**

**REQUEST:** FBT requests approval of DFT package for permit for Cibola Loop Multigenerational Facility

**IDO:** 2022

**COMMENTS:**

✓ 1. Code enforcement has no comments or objections

DEVELOPMENT FACILITATIVE TEAM (DFT) - **HYDROLOGY SECTION**

Renée Brissette, PE, Senior Engineer | 505-924-3995 [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)

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DRB Project Number: 2023-009382 Hearing Date: 06-05-2024

Project: Cibola Loop Multigenerational Center Agenda Item No: 2

<input type="checkbox"/> Sketch Plat	<input checked="" type="checkbox"/> Site Plan for Bldg. Permit
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**ENGINEERING COMMENTS:**

- ✓ Hydrology has an approved Conceptual Grading & Drainage Plan (A13D011) with engineer's stamp date 03/25/2024.
- ✓ Hydrology has no objection to the Site Plan for Building Permit.
- ✓ Comment – Prior to submitting for Building Permit, a licensed New Mexico civil engineer will need to submit a Grading & Drainage Plan to Hydrology for review & approval if one of these conditions is met. (500 cy of grading, 1,000 sf of proposed building, or 10,000 sf of proposed paving).

APPROVED  
 DENIED

DELEGATED TO:  TRANS  HYD  WUA  PRKS  PLNG  
Delegated For: \_\_\_\_\_  
SIGNED:  I.L.  SPSD  SPBP  FINAL PLAT  
DEFERRED TO \_\_\_\_\_

DEVELOPMENT FACILITATION TEAM

TRANSPORTATION DEVELOPMENT

DRB Project Number: 2023-009382  
10402 West Cibola Loop

AGENDA ITEM NO: 2

SUBJECT: Site Plan

ENGINEERING COMMENTS:

- ✓ 1. Transportation has an approved TIS dated 5/21/2024 and an approved TCL dated 4/11/2024. No objection.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Ernest Armijo, P.E.  
Transportation Development  
505-924-3991 or [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

DATE: June 5, 2024

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ACTION:

APPROVED \_\_; DENIED \_\_; DEFERRED \_\_; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: \_\_\_\_\_ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)



## DEVELOPMENT FACILITATION TEAM

### Planning - Case Comments

**HEARING DATE:** 06/05/24 -- **AGENDA ITEM:** # 2

**Project Number:** PR-2023-009382

**Application Number:** SI-2024-00739

**Project Name:** City Multigenerational Center at 10751 Cibola Loop NW

**Request:**

*Site Plan Administrative DFT*

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*\*These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

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### **BACKGROUND**

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- This is a request to build a multi-generational center on Lot 2 Tract A-2 of the Cibola Loop Subdivision.
- The subject Lot (Lot 2 - 9.14 acres) is zoned MX-L per the IDO conversion.
- The subject Lot, is partially located within a Major Transit Corridor (Ellison Drive) and is not located within any specific City Centers.
- The entire site plan area is within an Area of Change per the Comprehensive Plan. Please see the image below for reference.

*\*(See additional comments on next pages)*



**GENERAL COMMENTS**

Note: Items in orange type require a response.

- Form SP is missing Transportation Department signature. This item must be clarified.  
FBT Response: Form SP has been signed by Transportation and resubmitted with the DFT package.
- ✓ ■ All Site Plan sheets/documents must be signed and stamped by a design professional licensed in the State of NM.  
FBT Response: Completed. See updated sheets in DFT resubmittal.
- ✓ ■ Project and Application numbers must be noted on the Site Plan sheet.  
FBT Response: Completed. See updated sheets in DFT resubmittal.
- ✓ ■ An infrastructure list is included in this application. Planning defers to Transportation and Water Utility Authority for content review.
- Project and application numbers must be added to the Infrastructure List form.  
FBT Response: Already shown on top right of the form.
- ✓ ■ All public notice requirements of IDO section 6, table 6-1-1 have been completed prior to formal site plan submittal.
- ✓ ■ **Demonstrate compliance with section 7 of the DPM, Table 7.2.29, regarding Sidewalk width requirements and its landscape buffer.**  
 Cibola Loop is a Local Street required to have a 5-foot sidewalk and 5–6-foot landscape  
FBT Response: Sidewalks and landscape buffer have been revised and resubmitted with the DFT package.

buffer. Subject property is not in a Center.



\*Verification of required standards per the Transportation section  
 Planning defers to Transportation for review.

- Climatic and Geographic Responsiveness Form is included in this application and most of the items are partially achieved.

**IDO/DPM COMMENTS**

Note: Items in orange type require a response.

Items in blue type are compliant

Where 'Cibola Loop Site Plan for Subdivision' is silent, then provisions of the IDO and the DPM will apply. The most restrictive requirements will be applicable.

**2-4(B) MIXED-USE – LOW INTENSITY ZONE DISTRICT (MX-L)**

- MX-L Zone District Dimensional Standards Summary is as follows:

**2-4(B)(2) Use and Development Standards**

Table 2-4-3: MX-L Zone District Dimensional Standards Summary			
See Table 5-1-2 for complete Dimensional Standards			
Development Location		General	UC-MS-PT
<b>Site Standards</b>			
<b>A</b>	Usable open space, minimum	≤1 BR: 225 sq. ft./unit 2 BR: 285 sq. ft./unit ≥3 BR: 350 sq. ft./unit	50% reduction
<b>Setback Standards</b>			
<b>B</b>	Front, minimum / maximum	5 ft. / N/A	0 ft. / 15 ft.
<b>C</b>	Side, minimum / maximum	Interior: 0 ft.; Street side: 5 ft. / N/A	0 ft. / Street side: 15 ft.
<b>D</b>	Rear, minimum	15 ft.	Street or alley: 0 ft.
<b>Building Height</b>			
<b>E</b>	Building height, maximum	38 ft.	55 ft.



Maximum proposed building height is 34' 10" and is compliant.

- Site standards per Cibola Loop Design Guidelines is as follows:

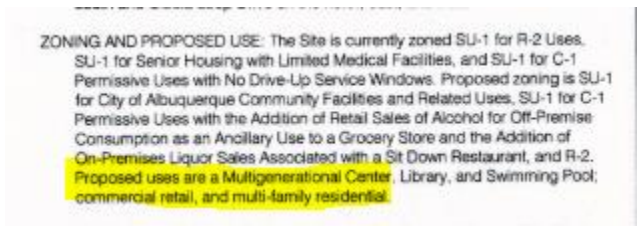
- 4.1 Minimum setback for buildings:
  - › 30 feet from the R.O.W. line of Ellison Drive
  - › 30 feet from the R.O.W. line of Cibola Loop
- 4.2 Minimum setback for parking areas:
  - › 20 feet from the R.O.W. line of Ellison Drive
  - › 20 feet from the R.O.W. line of Cibola Loop
- 4.3 Playground areas:
  - › 30 feet from adjacent street or parking lot, unless a physical barrier, such as walls or fencing is provided to restrict access to the street.

Project complies with all the standards above.

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#### 4-2 ALLOWABLE USES

- The subject site is governed by the ‘Cibola Loop Site Plan for Subdivision’. The site plan identifies a multigenerational center as an approved use for the property (see below).



- ✓ ▪ Per table 4-2-1 Allowed Uses, a community center is **permissive** in the MX-L zone district.
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#### 4-3: USE-SPECIFIC STANDARDS

- ✓ ▪ The standard under 4-3(C)(1) - Community Center or Library - **does not apply** to this project. (No use specific standards are applicable to a community center in a Mixed-Use zone. Only regular IDO provisions apply.)
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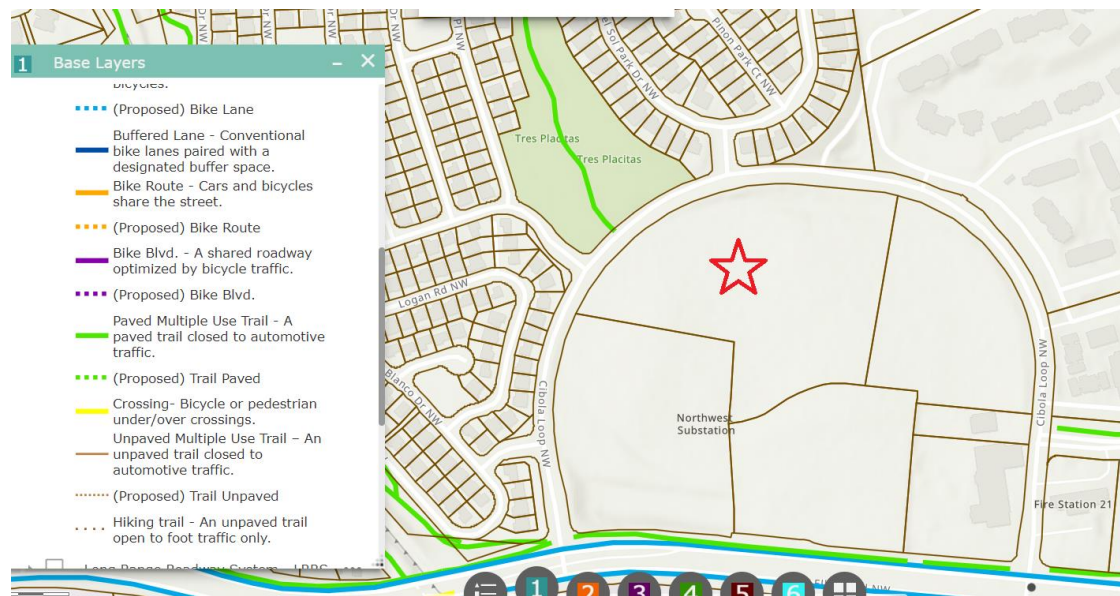
#### 5-3 ACCESS AND CONNECTIVITY

##### 5-3(C)(5) Bicycle Circulation

FBT Response: At the request of Parks and Rec, the sidewalk to the facility from Cibola Loop has been redesigned to align with the existing bike trail to the west of the site. The site plan contained in the DFT submittal has been revised to reflect the alignment.

- Per 5-3(C)(5)(a), new development involving more than 1 lot or sites over 5 acres in size adjacent to existing bikeways shall provide at least 1 access point to the bikeways to allow residents and users of the development to easily and safely access those bikeways. Access location and design shall be coordinated with City Parks and Recreation Department. **Confirm compliance with this code.**
- Per 5-3(C)(5)(b), development shall comply with the bicycle circulation standards in Section 14-16-5-3(E)(4) (Bicycle Facilities) and the DPM.

A paved multiple use trail is located adjacent to the site. Provide information regarding connection of this trail to the community center. Please see the image below for your reference.



### 5-3(D) PEDESTRIAN CIRCULATION

#### 5-3(D)(3) On-site Pedestrian Connections

- Per 5-3(D)(3)(a)3. Shade trees along required pedestrian walkways are required pursuant to Subsection 14-16-5-6(C)(4)(i) (Required Plant Materials and Site Amenities). **Demonstrate compliance with this code.**

FBT Response: Shade trees have been added. See revised landscape drawings.

#### 5-3(D)(3)(b) Network of Pedestrian Walkways

- Per 5-3(D)(3)(b) 4 c. Pedestrian walkways shall be installed along any street-facing façade with a pedestrian entrance of a building. Pedestrian walkways required by this Subsection shall meet the standards of the DPM, except where Table 5-3-1 requires a



wider walkway.

Building Size (sq. ft.)	Minimum Walkway Width (ft.)
≤10,000	8
>10,000 and ≤50,000	10
>50,000 and ≤60,000	11
>60,000 and ≤70,000	12
>70,000 and ≤80,000	13
>80,000 and ≤90,000	14
>90,000	15

d. The width of the required walkway may vary along the entire length of the façade provided that the average required width is maintained and provided that the width of the walkway along the façade is a minimum of 8 feet.

Demonstrate compliance with these codes.

FBT Response: The walkway width is 8'. See updated site plan in DFT submission.

#### 5-5 PARKING AND LOADING

- ✓ Please refer to 5-5 for any parking and loading, and off-street parking requirements. Table 5-1-1 includes minimum off-street parking requirements. Planning defers to Code Enforcement to confirm that the project complies with these codes.

- Reference 5-5(F)(1)(a)(10)

10. Required parking spaces for uses in the Civic and Institutional, Commercial, and Industrial use categories may be located in a designated parking area on a lot within 330 feet in any direction of the premises served by such parking if they meet the standards in Subsection 14-16-5-5(C)(5)(b) (Shared Parking Reduction) or Subsection 14-16-5-5(C)(6)(e) (Off-site Parking ). (See figure below). On-street parking spaces abutting the subject property shall be considered as located on the same lot for the purposes of Subsection 14-16-5-5(C)(6)(d) (On-street Parking Credit).

- ✓ Below please see the 'Cibola Loop Site Plan for Subdivision' Parking guidelines. Provide clarification regarding the marked-up items and the parking requirements.

FBT Response: FBT understands the requirements have a 7 year term and is therefore expired. Design defers to the IDO as the default.

Will parking be phased in as the Community Center is expanded? If so, clarify the phasing.



### 3. PARKING

FBT Response: Parking will be phased and expanded as part of the next phases of construction.

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. The goal for the City facilities is to allow shared parking.

- 3.1 Handicapped parking spaces shall be provided adjacent to building entries.
- 3.2 The number of parking spaces shall be as provided below:
  - › Multigenerational Center: maximum of 300 spaces, including a minimum of 20 handicapped spaces with 10 being van accessible spaces
  - › Library: maximum of 110 spaces, including 8 handicapped spaces with 2 being van accessible spaces
  - › Swimming Pool: maximum of 100 spaces, including 4 handicapped spaces with 1 being van accessible spaces
  - › Commercial retail: minimum number of spaces per the C-1 zone; no minimum number of spaces are required
- 3.3 Bicycle parking shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Comprehensive Zoning Code.
- 3.4 A shared parking agreement shall be required for the three civic uses and the commercial retail use.
- 3.5 Specific design of parking areas and access roads shall be in accordance with the City's Development Process Manual (DPM), and in compliance with the City's Comprehensive Zoning Code, Section 14-16-3-1. Minimum widths and radii for fire access shall be maintained in accordance with 1.2 above.
- 3.6 Alternative surfacing treatments for the parking areas should be explored to allow for water permeability. Opportunities to harvest water in planted islands should also be considered (See Section 14).



FBT Response: The project civil engineer has reviewed and studied this option and is recommending not to consider this due to excessive maintenance and cost.

- Per Table 5-5-1 of the IDO, **2 Spaces/1000 square feet of GFA for a Community Center is required.** See 5-5(C)(5)(a) for a **20 percent parking reduction** for Lot 1 which is in a Major Transit area in an Area of Change.

11,107 GSF > 23 Parking Spaces

23 Total spaces are required – 4 (3+1 Van) accessible spaces are required- 1 Motorcycle Space is required



63 total spaces are provided > 56 + 3 Compact + 4 EV Ready  
6 (5 + 1 Van) Accessible Spaces - 2 Motorcycle spaces

### 5-5(E) BICYCLE PARKING

Table 5-5-5: Minimum Bicycle Parking Requirements	
Use	IDO Bicycle Parking Requirement
Residential use	≥5 multi-family or live-work dwelling units: 3 spaces or 10% of required off-street parking spaces, whichever is greater
Dormitory	1 space / 3 persons design capacity
Elementary or middle school	5 spaces or 20% of required off-street parking spaces, whichever is greater
High school	
Vocational school	3 spaces / 1,000 sq. ft. GFA
Hotel or motel	2 spaces + 1 space / 6,000 sq. ft. GFA of conference, restaurant, bar, and banquet space
Grocery store	1 space / 2,000 sq. ft. of GFA
Non-residential uses not listed in this table	3 spaces or 10% of required off-street parking spaces, whichever is greater

Please demonstrate compliance with this code.



- Per 5-5(E)(4)(b), Required bicycle parking spaces shall be located within 50 feet in any direction of a primary pedestrian entrance. Sites with multiple primary pedestrian entrances shall have distributed bicycle parking locations. Please demonstrate compliance with this code. **FBT Response: Bicycle racks are shown on sheet TCL 02 (submitted with the DFT package) keyed note S30, noting "3 spaces required, 6 spaces provided."**

5-6 LANDSCAPING, BUFFERING, AND SCREENING

- Per City Forester’s comment, replace the Oklahoma Redbud with Pink Pom Poms Redbud. **Oklahoma redbuds have been replaced with Pink Pom Poms**
- The detention pond located on the site must comply with Section 1013: DRAINAGE PONDS: SLOPE STABILIZATION & SEEDING REQUIREMENTS. Information on seeding and slope stabilization for this pond per Section 1013 must be provided. Document link is attached below:  
<https://documents.cabq.gov/planning/online-forms/Drainage%20Ponds%20Slope%20Stabilization%20and%20Seeding%20Requirements.pdf> **Stabilization specification reference added to landscape plans. Pond is temporary, to be coordinated with Civil Engineer (High Mesa).**
- Consider creating a more organic shape for the retention pond on the site plan in place of the rectangular pond. **FBT Response: Civil grading and drainage plans has been redesigned as suggested.**
- Please provide large canopy trees along the north side of the parking lot to provide more shade on the hardscape for heat mitigation purposes. **FBT/GWS Response: Landscape plans have been redesigned to include shade trees.**

INSTALLATION TO GRAVEL SHALL BE 1" THICKER BELOW ADJACENT GRAVEL MULCH FOR ESTABLISHMENT. LIMITS OF REVEGETATION SEEDING SHOWN ARE APPROXIMATE. CONTRACTOR SHALL INSTALL REVEGETATION SEEDING GRANT AND ALL AREAS DISTURBED BY CONSTRUCTION OPERATIONS. BARE UNSEEDING GROUND WILL NOT BE ACCEPTED.

INSTALL 18-84 C.F. SCAPE BOULDERS GROUP INC. (202) 501-1501

CONSIDER SEEDING

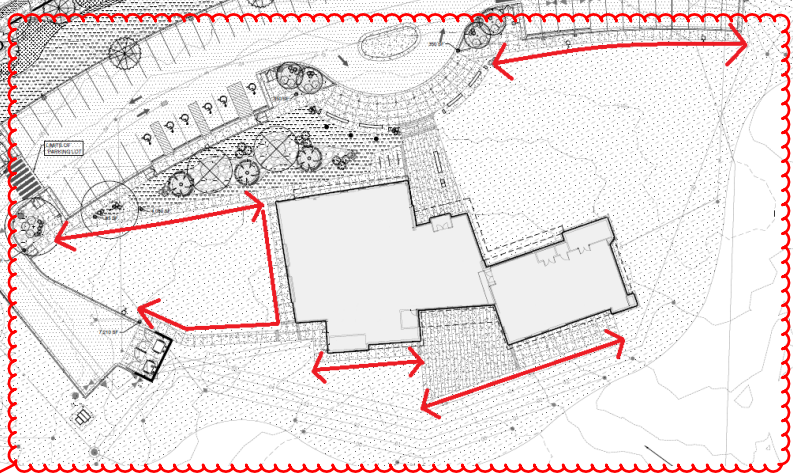
ADD 10-12 LARGE CANOPY TREES

FBT Response: See updated landscape drawings.

- As mentioned in the previous sections, provide shade trees along pedestrian walkways per 5-3(D)(3)(a)3.:

INSTALLATION TO GRAVEL SHALL BE 1" THICKER BELOW ADJACENT GRAVEL MULCH FOR ESTABLISHMENT. LIMITS OF REVEGETATION SEEDING SHOWN ARE APPROXIMATE. CONTRACTOR SHALL INSTALL REVEGETATION SEEDING GRANT AND ALL AREAS DISTURBED BY CONSTRUCTION OPERATIONS. BARE UNSEEDING GROUND WILL NOT BE ACCEPTED.

INSTALL 18-84 C.F. SCAPE BOULDERS GROUP INC. (202) 501-1501



These areas are reserved for future expansion. We recommend maintaining as designed.

- 5-6(C)(2) Minimum Landscape Area** 5-6(C)(2)(a) Except as noted in Subsection (b) below, a minimum of 15 percent of the net lot area of each development shall contain landscaping.

FBT Response: Areas along pedestrian walkways are reserved for future phases.



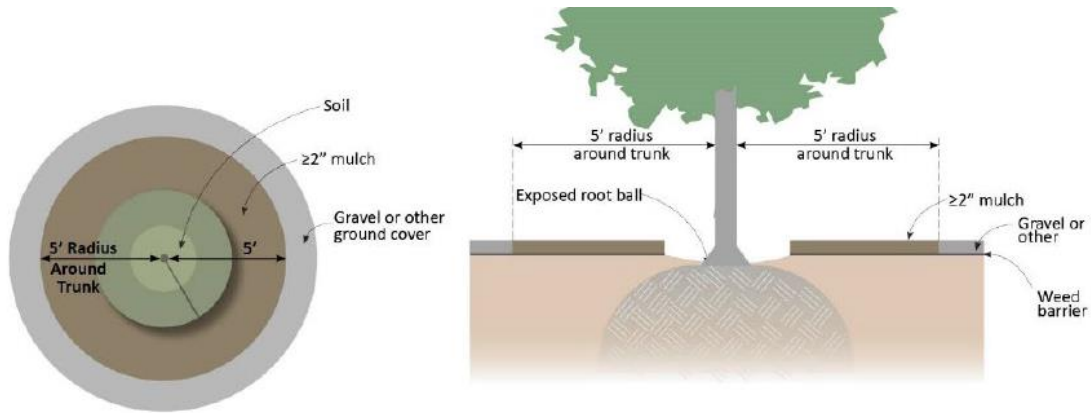
- Per **5-6(C)(2)(c)** The mature realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows.
  1. Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscape area as measured by canopy width or the area beneath the dripline of the mature size of the actual vegetation.
  2. Of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the mature size of the actual vegetation.

	Required	Proposed
Landscape Area .....	57,815 sf	337,675 sf
Landscape Coverage .....	253,256 sf	330,562 sf
Ground level Coverage.....	63,314 sf	270,276 sf



Landscape design is compliant with these requirements.

- Per **5-6(C)(3)(e)** Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-16-5-11(E)(3)(Outdoor Seating and Gathering Areas) may count toward up to 1/3 of required landscaping in Section 14-16-5-6 but shall be subject to standards in Subsection 14-16-5-6(C) (General Landscaping Standards).
- **5-6(C)(4)(i)** Shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or, where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided. [Landscape design is compliant.](#)
- Per 5-6(C)(5)(c) the use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area.  
Design is compliant with this code. [Relevant calculations must be added to the Landscape Plan Data.](#) Calculations are added. Gravel and crusher fines are 11% of landscape areas.
- Per **5-6(C)(5)(e)** Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. (See figure below.)



A tree planting detail must be added to the Landscape Plan to reflect this requirement.

Details are added to LP-501

- Per 5-6(C)(8) Protecting Clear Sight Triangle - The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

Design is compliant with this code.

- 5-6(C)(9)(c) Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way.

It appears that the irrigation design does not comply with this code. Please clarify or make adjustments.

This will be coordinated with parking lot trees with owner. Parking lot trees will be placed on separate valve(s) from street trees. Bubblers with PVC laterals are used for irrigation, rather than drip with polyethylene laterals.

- Per 5-6(C)(13) - Stormwater Management Features - 5-6(C)(13)(a) Required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation.

Please explain how this code has been considered in the landscape design.

### **5-6(C)(10) Planting near Utilities**

Landscape areas that are undisturbed by construction activities, along with landscape areas with restored native vegetation, will serve as the primary stormwater management landscape areas. Future landscape areas downhill from development will be more appropriately sited for stormwater management.

- Per 5-6(C)(10)(a), trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. Please confirm compliance with this code.

Street trees, as required by ROA 1994, will be planted in the utility easement.

- Per 5-6(C)(10)(b), trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line. confirm compliance with this code.

Trees conflicting with this buffer will be relocated or removed from plan.

- Per 5-6(C)(10)(d), if overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.

Confirm if overhead distribution electric lines are present.

No overhead distribution lines are present or proposed on site.

- Please provide information about the existing plants on the site and whether or not any plants will be maintained.

All existing plants on site are native species currently receiving no maintenance or irrigation. These plants will be preserved outside the limits of disturbance and will be restored by reseeded or converted to landscape areas that are stabilized with gravel mulch.

**5-6(D)(1) Required Street Trees**

- Per 5-6(D)(1)(a), all development shall comply with Part 6-6-2 of ROA 1994 (Street Trees) and any standards developed by the Parks and Recreation Department or other City department to implement that Ordinance. Trees are generally required along street frontages every 25 feet on center unless specified otherwise in Part 6-6-2 of ROA 1994 (Street Trees). Along street frontages where street trees are required, trees that are planted within 20 feet of the back of curb of the abutting street may fulfill this requirement. Design complies with this item.

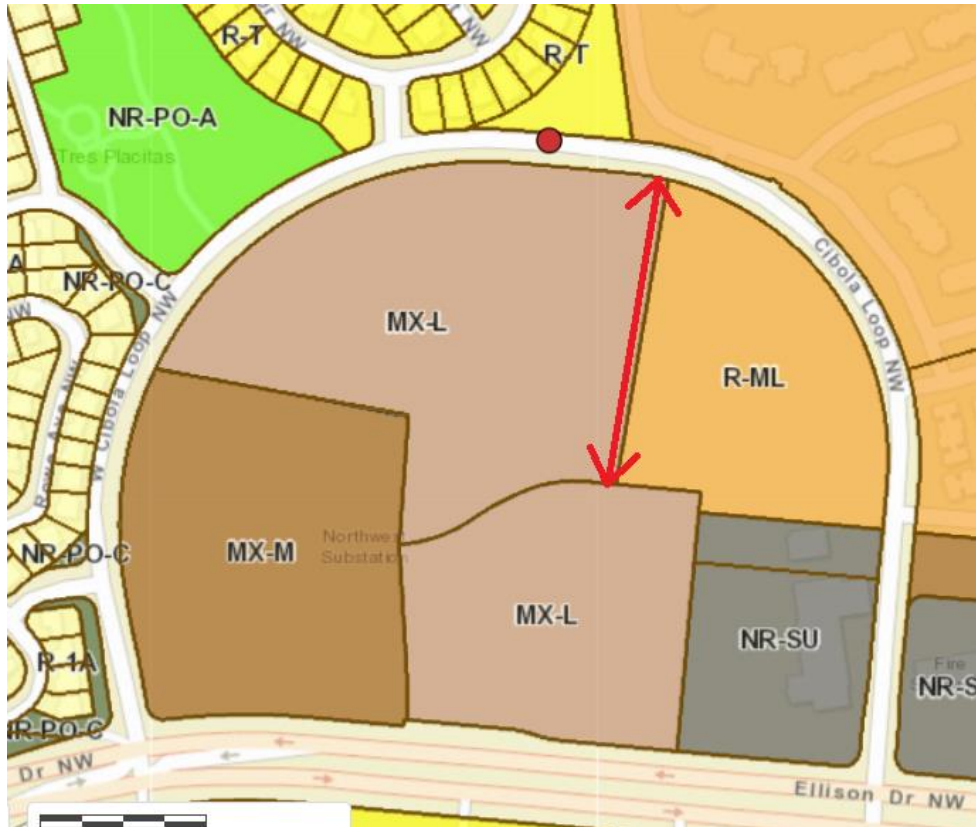
**5-6(E) EDGE BUFFER LANDSCAPING**

Development Type	Development Next to	Specific Standards	General Buffering	Buffering in DT-UC-MS-PT
Industrial	Non-industrial development	14-16-5-6(E)(4)	Landscape buffer area ≥25 ft.	Wall, fence, or vegetative screen ≥6 ft.
Multi-family	Industrial development	14-16-5-6(E)(4)		
Mixed-use or other non-residential	R-ML or R-MH	14-16-5-6(E)(3)	Landscape buffer area ≥20 ft.	
Multi-family, mixed-use, or other non-residential	R-A, R-1, R-MC, R-T, or R-ML	14-16-5-6(E)(2)	Landscape buffer area ≥15 ft.	

[1] See Subsections 14-16-5-6(E)(2), 14-16-5-6(E)(3), and 14-16-5-6(E)(4) for complete edge buffer standards.

- Cibola Loop separates the parcels from low density residential areas, so no landscape buffers appear to be required along that edge.
- 20' Landscape buffer is required along the edge of the lot abutting the R-ML lot.

The R-ML lot is an undeveloped, city owned property that is not planned to be housing. See current master plan for proposed use(s).



### 5-6(E)(2) Development Next to Low-density Residential Zone Districts

- Where multi-family, **mixed-use**, or non-residential development other than industrial development occurs on a lot abutting or across an alley from a lot containing low-density residential development in an R-A, R-1, R-MC, R-T, or **R-ML** zone district, a buffer shall be provided along the lot line, as specified in Table 5-6-4 and for the relevant area below:

#### 5-6(E)(2)(a) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties.

- If a wall at least 3 feet in height is provided or exists along the property line between the 2 properties, 1 tree at least 8 feet high at the time of planting shall be provided every for 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
- If no wall is provided or exists, 1 tree at least 6 feet tall at the time of planting and at least 25 feet tall at maturity and 3 shrubs shall be provided for every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts.

Demonstrate compliance with this code.

FBT Response: There is no current or future planned development for this City-owned property. Per meeting with DSA and Planning, no work is required at this time along this property line.



### 5-6(E)(3) Development Next to a Multi-family Residential Zone District

- Where **mixed-use** or non-residential development other than industrial development occurs on any lot abutting or across an alley from a lot in the **R-ML** or R-MH zone districts with townhouse development or multi-family residential development, a buffer shall be provided along the lot line, as specified in Table 5-6-4 and for the relevant area below:

#### **5-6(E)(3)(a) General**

*An edge buffer area shall be provided on the subject property along the property line between the two properties.*

- If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every for 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.*
- If no wall is provided or exists, 1 tree at least 6 feet tall at the time of planting and at least 25 feet tall at maturity and 3 shrubs shall be provided for every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts.*

Demonstrate compliance with this code.

FBT Response: There is no current or future planned development for this City-owned property. Per meeting with DSA and Planning, no work is required at this time along this property line.

### **5-6(F) PARKING LOT LANDSCAPING**

- 5-6(F)(1)(g) The landscape area may be reduced by up to 25 percent if the surface of the parking or vehicle circulation area is of a permeable material with approval from the Planning Director. **Permeable material is recommended for portions of this parking lot; please confirm if permeable materials are being proposed for this project.**

FBT Response: The design team has reviewed this option. This is not recommended. Review of past performance of this system has proven that this is a high maintenance item due to silt build up. Additionally, the gaps create a tripping hazard for seniors.

#### **5-6(F)(2) Parking Lot Interior**

- ✓ Per 5-6(F)(2)(a) General, at least 10 percent of the parking lot area of lots containing 50 or fewer spaces, and at least 15 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped. **Required parking lot landscaping for this project is 3,578 sf and 3,600 sf is provided.**

#### **5-6(F)(2)(c) Tree Requirements**

- One (1) tree is required per 10 parking spaces. 7 trees are required and 7 trees are being proposed.
- No parking space may be more than 100 feet in any direction from a tree trunk. Compliant.
- At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.

✓ Compliant.

### **5-6(F)(2)(d) Location and Dimension of Landscaped Areas**

- ✓ 1. The minimum size of tree planters within off-street parking areas shall be 60 square feet per tree. This requirement may be reduced to 36 square feet if the surface of a parking or vehicle circulation area abutting the tree planter is of a permeable material and, combined with the tree planter area, meets the 60 square foot per tree requirement. [Compliant](#).

### **5-6(G) SCREENING OF MECHANICAL EQUIPMENT AND SUPPORT AREAS**

#### **5-6(G)(1) Roof-mounted Mechanical Equipment**

- 5-6(G)(1)(b) In any R-ML, R-MH, Mixed-use, NR-C, NR-BP, NR-SU, or NR-PO zone district, roof-mounted mechanical equipment shall be screened by a parapet wall or similar feature that is an integral part of the building's architectural design. The parapet wall or similar feature shall be sufficient to screen the mechanical equipment from all sides when viewed from 5 feet above ground level at any property line abutting a City park or trail, Major Public Open Space, major arroyo, or public street classified as a collector, arterial, or interstate highway. [Confirm compliance with this code](#).

✓ **FBT Response: Confirmed. Drawings indicate screening. See drawing DFT-201 (submitted with DFT package) keyed note DFT12.**

#### **5-6(G)(2) Ground-mounted Mechanical Equipment**

- Per 5-6(G)(2)(a), R-ML, R-MH, and Mixed-use Zone Districts, outdoor ground-mounted mechanical equipment shall be located where it is not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties to the maximum extent practicable. [Confirm compliance with this code](#).

✓ **FBT Response: Not applicable.**

#### **5-6(G)(2)(c) Screening**

- Where it is not practicable to locate ground-mounted mechanical equipment pursuant to Subsections (a) and (b) above, such equipment shall be screened from view by an opaque decorative wall or fence or a vegetative screen.
  1. The wall or fence shall be of a height equal to or greater than the height of the mechanical equipment being screened and shall incorporate at least 1 of the primary materials and colors of the nearest wall of the primary building (but excluding exposed CMU block).
  2. The vegetative screen shall be planted along the full length of the equipment to be screened and shall be of a height equal to or greater than the height of the equipment to be screened at the time of planting.
  3. No screening of ground-mounted solar energy equipment that would reduce the efficiency or effectiveness of the solar energy equipment is required.

✓ Confirm compliance with this code.

FBT Response: Not applicable to this project.

**5-6(G)(2)(d) Safety Exemption**

- Notwithstanding Subsections (a), (b), and (c) above, screening is not required if it would violate any State or federal safety rules.

**5-6(G)(3) Loading, Service, and Refuse Areas**

- Per 5-6(G)(3)(a) Covering Waste Containers, all waste containers and dumpsters shall be in a roofed enclosure or be equipped with and use a lid covering and shall be designed so that stormwater runoff does not reach storm drain inlets.

Confirm compliance with this code.

FBT Response: Drawings indicate CMU wall, 6'-0" high. see Site Plan.

- Per 5-6(G)(3)(c) R-ML, R-MH, and Mixed-use Zone Districts Outdoor loading, service, and refuse areas shall be integrated into the building design if possible, or shall be located where they are not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties to the maximum extent practicable.

Confirm compliance with this code.

✓ FBT Response: 6' high CMU wall is designed as enclosure.

**5-6(G)(3)(e) Screening**

- Where it is not practicable to locate the loading, service, and refuse areas pursuant to Subsections (c) and (d) above, they shall be screened from view by an opaque decorative wall or fence at least 6 feet tall but not more than 8 feet tall that incorporates at least 1 of the primary materials and colors of the nearest wall of the primary building (but excluding exposed CMU block) or a vegetative screen planted along the full length of the area to be screened and at least 8 feet high at the time of planting. Confirm compliance with this code.

✓ FBT Response: Drawings indicate CMU wall, 6'-0" high. see Site Plan sheet AS-104. (Submitted with DFT package)

**5-7 WALLS AND FENCES**

- Please demonstrate compliance with this section if there are any walls or fences being proposed for this project. Development requires separate permitting. Height per table 5-7-1.

✓ FBT Response: No walls are being proposed.

General note O.

**5-9 NEIGHBORHOOD EDGES**

**5-9(A) PURPOSE**

- This Section 14-16-5-9 is intended to preserve the residential neighborhood character of

General note R.

established low-density residential development in any Residential zone district on lots adjacent to any Mixed-use or Non-residential zone district.

### 5-9(B)(1) Protected Lots

The Neighborhood Edges provisions in this Section 14-16-5-9 are intended to protect lots in any R-A, R-1, R-MC, or R-T zone district that contains low-density residential development.

### 5-9(B)(2) Regulated Lots

Lots regulated by this Section 14-16-5-9 include all those in any R-ML, R-MH, Mixed-use, or Non-residential zone district that are adjacent to a Protected Lot. The development is on a regulated lot that can be no taller than 30 feet within 100 feet of low-density residential development zoned R-A, R-1, or R-T.

### Adjacent

Those properties that are abutting or separated only by a street, alley, trail, or utility easement, whether public or private. See also Alley, Multi-use Trail, Private Way, Right-of-way, and Street.

## 5-9(C) BUILDING HEIGHT STEPDOWN

### 5-9(C)(1) General Requirement

- On Regulated Lots, any portion of a primary or accessory building within 100 feet of the nearest Protected Lot property line shall step down to a maximum height of 30 feet.

Please articulate how the project meets this code.



FBT Response: The closest portion of the building to the property line is 154'-8". No part of the building is closer than 100' to the nearest residential unit. The 30' height restriction therefore does not apply. See sheet AS-101, included in this DFT submittal.



## 5-11: BUILDING DESIGN

- 5-11(E) MIXED-USE AND NON-RESIDENTIAL ZONE DISTRICTS

### **5-11(E)(1) Ground Floor Clear Height**

- In any Mixed-use zone district in UC-MS-PT areas, the ground floor of primary buildings for development other than low-density residential development shall have minimum clear height of 10 feet. Compliant

### **5-11(E)(2) Façade Design**

#### **5-11(E)(2)(a) General**

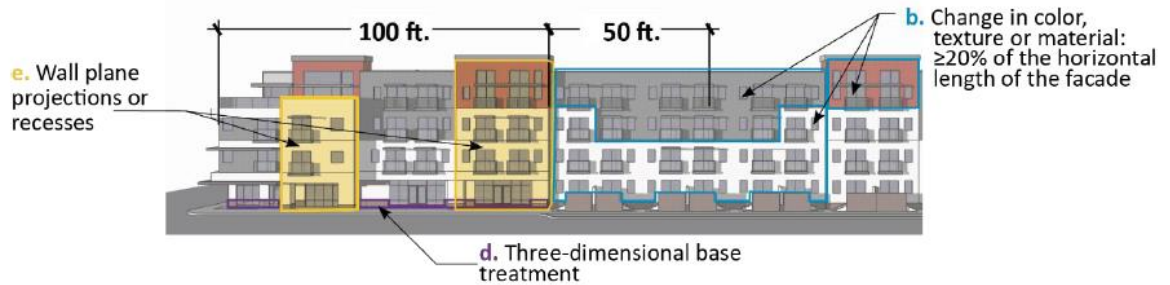
1. Façades shall be designed to provide a sense of human scale at ground level by providing a clear architectural distinction between ground floor levels and all additional levels.

2. Each street-facing façade shall incorporate at least 2 of the following features (illustrated below) along at least 30 percent of the length of the façade, distributed along the façade so that at least 1 of the incorporated features occurs every 40 feet:



- a. Ground-floor transparent windows, with the lower edge of window sills no higher than 30 inches above the finished floor.
- b. Windows on upper floors.
- c. Primary pedestrian entrances.
- d. Portals, arcades, canopies, trellises, awnings over windows, or other elements that provide shade or protection from the weather.
- e. Sun shelves or other exterior building features designed to reflect sunlight into the building and reduce the need for interior lighting.
- f. Raised planters between 12 inches and 28 inches above grade with the surface planted to achieve at least 75 percent vegetative cover at maturity.

3. Each street-facing façade longer than 100 feet shall incorporate at least 1 of the following additional features (illustrated below):



- a. Wall plane projections or recesses of at least 1 foot in depth at least every 100 feet of façade length and extending for at least 25 percent of the length of the façade.
  - b. A change in color, texture, or material at least every 50 feet of façade length and extending at least 20 percent of the length of the façade.
  - c. An offset, reveal, pilaster, or projecting element no less than 2 feet in width, projecting from the façade by at least 6 inches, and repeating at minimum intervals of 30 feet of façade length.
  - d. Three-dimensional cornice or base treatments.
  - e. A projecting gable, hip feature, or change in parapet height at least every 100 feet of façade length.
  - f. Art such as murals or sculpture that is privately-owned or coordinated through the City Public Arts Program.
4. All accessory buildings visible from a public street shall be similar in color, material, distinctive rooflines, finishing details, and accent features to the primary building.

Color rendered facades as well as response to the applicable building design codes are required.



FBT Response: Renderings have been added, please see updated DFT submittal package.

## REQUIRED NOTES

### LANDSCAPING and IRRIGATION

#### ▪ Add the following notes from the IDO to the landscaping and Irrigation plan notes:

- Per 5-6(C)(4)(g), all vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6- 6-2 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.

General note O.

- Per 5-6(C)(4)(h), all required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ASNA) of the American Nursery and Landscape Association.

General note R.

- Per 5-6(C)(5)(a), all vegetated material required by this Section 14-16-5-6 shall be planted in uncompacted soil. General note S.
- Per 5-6(C)(5)(b), if used, weed barriers shall be permeable to optimize stormwater infiltration and prevent runoff. General note K.
- Per 5-6(C)(5)(d), a minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended. General note J.

**5-6(C)(9) Planting in or over the Public Right-of-way** General note T.

- 5-6(C)(9)(a) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of way.
- 5-6(C)(9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8-foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 9-foot clearance over the street surface.
- Per 5-6(C)(9)(c), where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements In Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way.

**5-6(C)(14) Irrigation Systems**

- General note M Per 5-6(C)(14)(a), irrigation systems shall comply with Section 8 of the ABCWUA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).
- Per 5-6(C)(14)(b), all irrigation systems shall be designed to minimize the use of water.
- 5-6(C)(14)(c), all non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.
- Per 5-6(C)(14)(d), the irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.



### **5-6(C)(15) Installation**

- 5-6(C)(15)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of plant materials that have been approved by the applicable public utility as part of a plan for landscaping, screening, or buffering on the public right of way shall be the responsibility of such public utility. If a public utility disturbs landscaping, screening, or buffering in a public right-of-way, private way, or easement, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If the plant materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials. General note U

- 5-6(C)(15)(d) Property owners acknowledge that approved landscaping and trees installed and maintained in a public right-of-way, private way, or easement abutting private properties are the property of the City, and that that the City reserves the right to remove them if necessary for a transportation project without compensation, but at no cost to the property owner. Landscaping installed in an abutting public right-of-way, private way, or easement by property owners and later removed by the City shall not impact previously approved net lot area calculations for required landscaping.

General note V

### **5-13(B)(7) Landscaping, Buffering, and Screening**

General note W

- 5-13(B)(7)(a) Landscaping, screening and buffering areas shall be maintained in compliance with Articles 6-6 and 9-8 of ROA 1994 (Trees, Vegetation, and Landscaping and Weeds, Litter, and Snow) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance).
- 5-13(B)(7)(b) All landscaped areas shall be maintained with a neat and orderly appearance, which includes pruning, removal and replacement of dead or diseased plants and trees, disposal of litter, repair of damaged walls and hard surface areas, and upkeep of irrigation systems.
- 5-13(B)(7)(d) Where landscaping was installed pursuant to a Site Plan or development approval, the landscaping shall be replaced according to any landscaping and maintenance plan under that approval.
- 5-13(B)(7)(e) Trees or plants that die shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 calendar days after notice from the City. The replacement of dead vegetation is the responsibility of the property owner.



- 5-13(B)(7)(f) Street trees shall be maintained alive and healthy. Maintaining and replacing street trees or other trees planted in the public right-of-way are the responsibility of abutting property owners.
- 



*Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.*

FROM: Hannah Aulick/ Jolene Wolfley  
Planning Department

DATE: 6/4/24

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## Development Facilitation Team (DFT) – Review Comments

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**Reviewer: David G. Gutierrez, P.E. | Phone: 505-289-3381 | [dggutierrez@abcwua.org](mailto:dggutierrez@abcwua.org)**

**Project No: PR-2023-009382 Date: 6/05/2024 Agenda Item: #2 Zone Atlas Page: A-13**

**Legal Description: Lot/Track A-2, Cibola Loop Subdivision**

**Request: FBT requests approval of DFT package for permit for Cibola Loop Multigenerational Facility.**

**Location: 10751 Cibola Loop NW Between Ellison Dr NW and Coors Blvd**

### Application For: SI-2024-00739-SITE PLAN (DFT)

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1. Availability Statement 240210 has been executed however some information was written that is not accurate. **FBT Response: See attached revised letter that has been corrected.**
  - a. The site is outside of the Established Service Area and will require a revised letter to be completed and a Service Connection Agreement to be completed.
2. Utility Plan:
  - a. Provide a utility plan that indicates the location of proposed services.
  - b. Show existing public water and public sewer mains and any associated easements on the utility plan.
    - i. There are keyed notes calling out easements but are not shown on the plans.
  - c. Dimension the public water and public sewer easements on the utility plan.
  - d. Please add the following notes to the Master Utility Plan
    - i. Coordination with Water Authority Cross Connection Section will be required to ensure proper backflow containment is in place prior to release of meter for the site. Contact the Cross Connection Section at 505-289-3454.
    - ii. Coordination with the Water Authority Pre-Treatment Engineer is required to ensure the site complies with Water Authority Sewer Use Ordinance. Contact the Pre-Treatment Engineer at 505-289-3439.

**Comment:** (Provide written response explaining how comments were addressed)

**FBT Response: See updated resubmittal of the DFT package which contains the updated utility plan CU-101.**



## DEVELOPMENT FACILITATION TEAM

### Parks and Recreation Department

**PR-2023-009382**

SI-2024-00739 – SITE PLAN DFT

Lot/Tract A-2, CIBOLA LOOP SUBDIVISION zoned MX-L, located at 10751 Cibola Loop NW between Ellison and Coors Blvd containing approximately 9.1379 acre(s). (A-13)

REQUEST: FBT requests approval of DFT package for permit for Cibola Loop Multigenerational Facility

SKETCH PLAT 10-18-2023

IDO -2022

#### **Comments:**

06-05-2024

City Park (Tres Placitas) and paved multi-use trail exist adjacent to the site (northern property line). Please verify with Planning that all requirements for screening, wall design, etc. meet the design standards in the IDO as they relate to adjacency to City park and trails. No additional comments.

**FBT Response: At the request of City Parks and Rec, the sidewalk to the facility from Cibola Loop has been redesigned to align with the existing bike trail to the west of the site.**