

DEVELOPMENT FACILITATION TEAM

PROJECT NUMBER: PR-2023-009382
 APPLICATION NUMBER: SI-2024-00739
 PROJECT NAME: City Multigenerational Center At 10751 Cibola Loop NW

SITE HATCH LEGEND

- NEW STANDARD-DUTY CONCRETE PAVEMENT
 - NEW HEAVY-DUTY ASPHALT PAVEMENT AT RIGHT-OF-WAY WIDENING.
 - NEW HEAVY-DUTY ASPHALT PAVEMENT
 - NEW STANDARD-DUTY ASPHALT PAVEMENT
- *REFER TO GEOTECHNICAL REPORT FOR PAVEMENT SECTION RECOMMENDATIONS.

SITE BOUNDARY LEGEND

- PROPERTY LINE
- EASEMENT

KEYED NOTES

S00	EXISTING ASPHALT CURB.
S02	EXISTING SIDEWALK.
S03	EXISTING ASPHALT DRIVE.
S05	EXISTING STREETLIGHT.
S06	LINE OF EXISTING CURB TO BE REMOVED.
S07	EXISTING METAL SIGN, GENERAL.
S08	EXISTING PAVED MULTIPLE USE TRAIL - CLOSED TO AUTOMOTIVE TRAFFIC.
S09	EXISTING ADA RAMP.
S10	PROPERTY LINE.
S11	10' - 0" PUBLIC UTILITY EASEMENT.
S12	HATCHED AREA INDICATES NEW ASPHALT-PAVED DRIVE LANE FOR EXPANDED RIGHT-OF-WAY. SEE COA STD. DWG. 2405AVB FOR TYPICAL STREET DETAILS.
S59	RETENTION POND, SEE CIVIL.

AS BUILT INFORMATION			
CONTRACTOR	DATE	INSPECTOR'S ACCEPTANCE BY	DATE
MICRO-FILM INFORMATION			
RECORDED BY	NO.	DATE	

fbt architects

6501 Americas Parkway NE, Suite 300
 Albuquerque, NM 87110

505.883.5200
 www.fbtarch.com

CONSULTANTS

- CIVIL**
High Mesa
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250
- LANDSCAPE**
Groundwork Studio
 6501 Americas Parkway NE, Suite 350
 Albuquerque, NM 87110
 p_505.212.9126
- STRUCTURAL**
Chavez-Grievés Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102
 Albuquerque, NM 87109
 p_505.344.4080
- M/E/P/FP**
Bridgers & Paxton
 4600-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111
- LIGHTING**
Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733
- INTERIORS**
Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

PROJECT NUMBER: PR-2023-009382

Application Number: SI-2024-00739

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

CITY OF ALBUQUERQUE

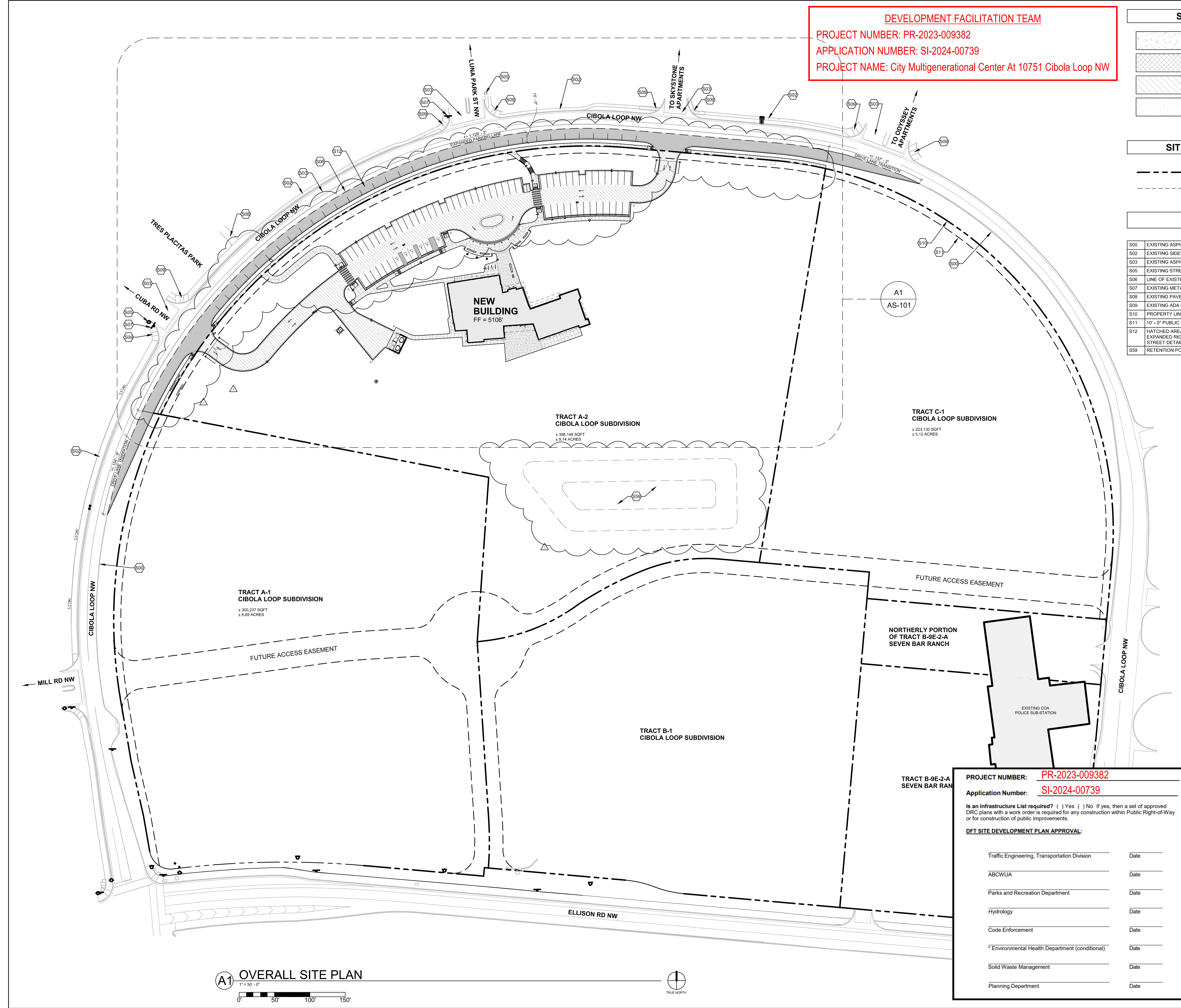
PROJECT TITLE:
COA CIBOLA LOOP MULTIGENERATIONAL CENTER
 10751 Cibola Loop NW
 Albuquerque, NM 87114

CONSTRUCTION DOCUMENTS
 JUNE 12, 2024

DRAWING TITLE: **OVERALL SITE PLAN**

Design Review Committee	City Engineer Approval	Mo. Drawn	Mo. Drawn
		2024.04.30	

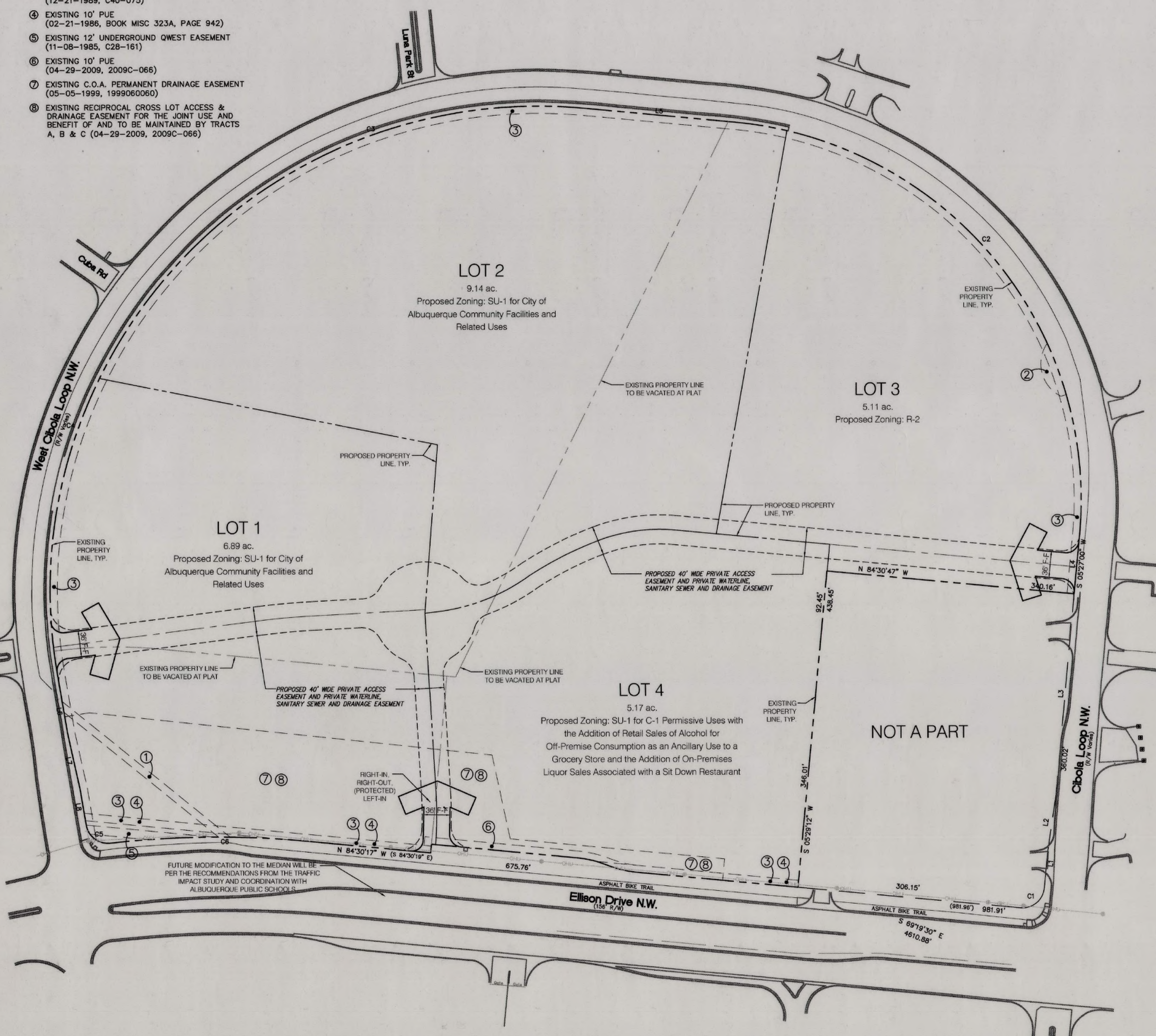
City Project No. P7882.16 Zone Map No. A-13-Z DWG. AS-100 Sheet



A1 OVERALL SITE PLAN
 1" = 50' - 0"
 0' 50' 100' 150'

EASEMENTS

- ① EXISTING 10' ABCWUA SANITARY SEWER EASEMENT (12-05-1974, BOOK MISC 345, PAGE 971)
- ② EXISTING 50' RADIUS TEMPORARY TURNING EASEMENT (11-08-1985, C28-161)
- ③ EXISTING 10' PUE (12-21-1989, C40-075)
- ④ EXISTING 10' PUE (02-21-1986, BOOK MISC 323A, PAGE 942)
- ⑤ EXISTING 12' UNDERGROUND QWEST EASEMENT (11-08-1985, C28-161)
- ⑥ EXISTING 10' PUE (04-29-2009, 2009C-066)
- ⑦ EXISTING C.O.A. PERMANENT DRAINAGE EASEMENT (05-05-1999, 1999060060)
- ⑧ EXISTING RECIPROCAL CROSS LOT ACCESS & DRAINAGE EASEMENT FOR THE JOINT USE AND BENEFIT OF AND TO BE MAINTAINED BY TRACTS A, B & C (04-29-2009, 2009C-066)



SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION:

THE SITE: The Site is Tracts A, B, and C of Cibola Loop Subdivision, consisting of approximately 26 acres. The property boundaries are Ellison Drive on the south and Cibola Loop Drive on the north, east, and west.

ZONING AND PROPOSED USE: The Site is currently zoned SU-1 for R-2 Uses, SU-1 for Senior Housing with Limited Medical Facilities, and SU-1 for C-1 Permissive Uses with No Drive-Up Service Windows. Proposed zoning is SU-1 for City of Albuquerque Community Facilities and Related Uses, SU-1 for C-1 Permissive Uses with the Addition of Retail Sales of Alcohol for Off-Premise Consumption as an Ancillary Use to a Grocery Store and the Addition of On-Premises Liquor Sales Associated with a Sit Down Restaurant, and R-2. Proposed uses are a Multigenerational Center, Library, and Swimming Pool, commercial retail, and multi-family residential.

APPLICABLE PLANS: Seven Bar Ranch Sector Development Plan and the West Side Strategic Plan.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access: The primary access to this site is from Ellison Drive, a Regional Principal Arterial. Secondary access is from Cibola Loop, a local road. The Ellison Drive access is proposed as right-in, right-out, and (protected) left-in.

Transit Access: The site is to the west of the City's Northwest Transit Center. ABQ Ride Routes that serve the Northwest Transit Center include Routes 92, 94, 96, 98, 155, 157, 251, 551, and 790.

Bicycle Access: Bicycle access is provided to this site via the multi-use, paved, McMahon and Tres Placitas Trails. The McMahon Trail runs along the south edge of the site within the Ellison right-of-way and connects to the Black Arroyo Trail that runs along the west side of the Channel. Tres Placitas Trail breaks off from the McMahon Trail at West Cibola Loop intersection and loops around the residential neighborhood to and through Tres Placitas Park and continues to the northern edge of the site.

Pedestrian Access: Internal sidewalks and pedestrian facilities will be designed in compliance with the Design Guidelines included with this Site Plan for Subdivision. The internal pedestrian network will make connections to and from each of the buildings, through the parking areas, and to the public sidewalks within the adjacent rights-of-way. There is an existing 10 foot wide multi-use trail along Ellison Drive. Sidewalks will be constructed around the perimeter of the site per the requirements of the Development Process Manual.

BUILDING HEIGHTS AND SETBACKS: Maximum building height for the three City facilities shall be 38 feet. The maximum building height for the commercial buildings shall be 26 feet. Setbacks for the civic and commercial uses shall be per the Design Guidelines.

MAXIMUM FLOOR AREA RATIO: The maximum FAR for the civic and commercial areas is .50. The FAR for the R-2 tract is per the R-2 zone.

LANDSCAPE PLAN: Landscape plans shall be submitted with future Site Plans for Building Permit (Except for R-2 site) and shall be consistent with the Water Conservation Landscaping and Water Waste Ordinance, Pollen Control Ordinance, and the Design Guidelines.

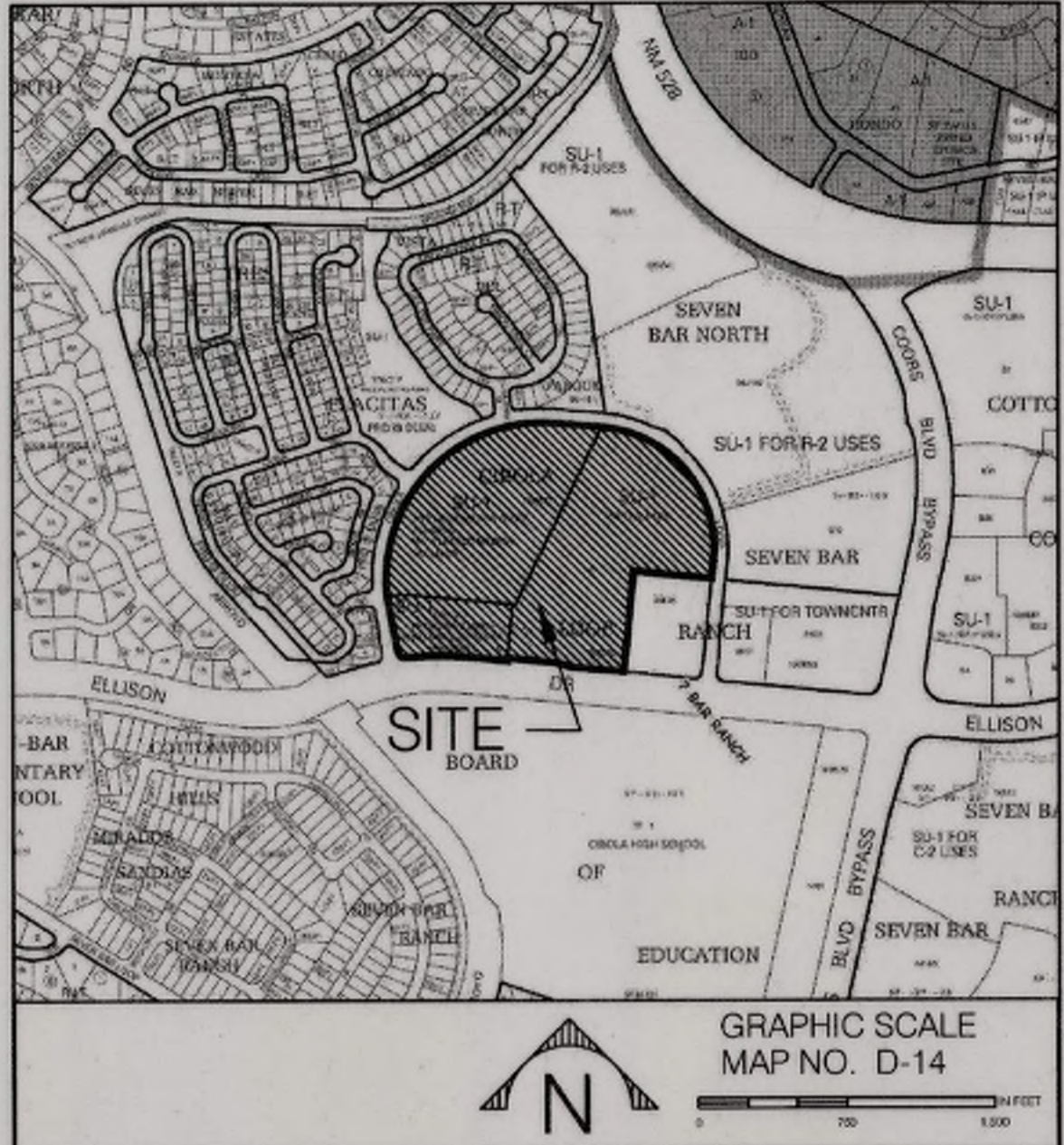
STREETS: All interior streets shall be private.

UTILITIES: All public waterlines that are not within public rights-of-way shall be located in public waterline easements granted to the Albuquerque Bernalillo County Water Utility Authority (ABCWUA). All sanitary sewer lines shall be private.

GENERAL NOTES

- 1. Lot 3 (Multi-Family) is proposes to be zoned R-2, and as such, the Design Guidelines do not apply.
- 2. The build-out of the City facilities will be phased over time. It is anticipated that the Library (located along the Ellison Drive frontage) will be the first City facility built on the property.
- 3. All future Site Development Plans shall contain stormwater control measures designed to manage the first flush and control runoff generated by contributing impervious surfaces.
- 4. A Traffic Circulation Layout (TCL) plan is required for each development as part of the building permit submittal requirements.

VICINITY MAP



PROJECT NUMBER: 1010895
 Application Number: 16EPC-40048

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated October 14, 2016 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

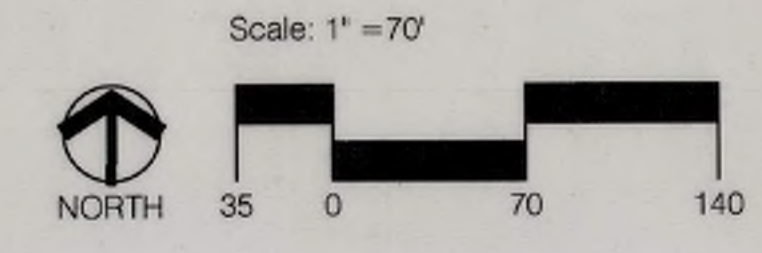
<i>Roger M. Murrill</i>	1/25/17
Traffic Engineering, Transportation Division	Date
<i>Christy Lee</i>	01/31/17
ABCWUA	Date
<i>Carol S. Dumont</i>	1-25-17 cad
Parks and Recreation Department	Date
<i>PS</i>	1-25-17
City Engineer	Date
N/A	
* Environmental Health Department-(conditional)	Date
N/A	
Solid Waste Management	Date
<i>Carl Ch...</i>	2-2-17
DRB Chairperson, Planning Department	Date

CIBOLA LOOP

SITE PLAN FOR SUBDIVISION

Prepared for:
 Vientecillo, LLC
 5995 Alameda Boulevard NE
 Albuquerque, NM 87111

Prepared by:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102



January 25, 2017

DESIGN GUIDELINES

The purpose of these Design Guidelines is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for this multi-use property. The primary goal for this property is to achieve a vibrant destination that fosters pedestrian accessibility and is an asset to the community and the City of Albuquerque as a whole. These Design Guidelines supplement the Architectural Program completed as part of the Westside Multigenerational Center Feasibility Study on behalf of the Department of Senior Affairs and apply to civic and commercial areas only within the SU-1 portions of the site. The multi-family tract zoned (R-2) is not subject to these Design Guidelines.

Subsequent Site Plans for Building Permits shall be consistent with the Design Guidelines established by this Site Plan for Subdivision and shall be approved administratively, with the exception of the 5-acre commercial retail site, which shall be approved by the Environmental Planning Commission. Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-16-2-22 (A)(6) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

1. ACCESS AND CIRCULATION

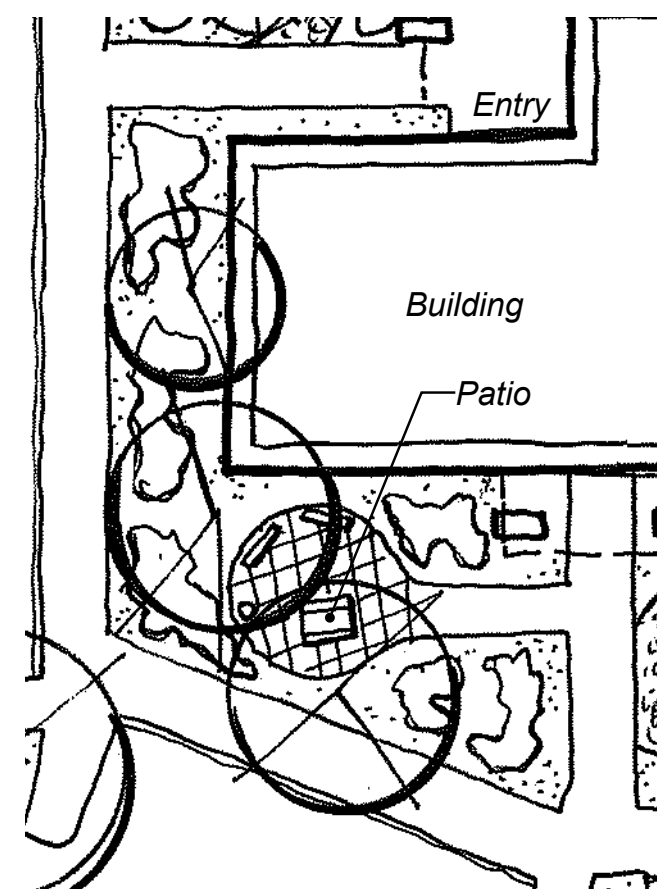
Access is provided from Ellison Drive and Cibola Loop. Primary access will be from Ellison Drive from a right-in, right-out, left-in access point. Secondary access is from Cibola Loop that aligns with existing roadways.

- 1.1 Access and circulation for vehicles required to perform maintenance to recreation areas and buildings shall be maintained.
- 1.2 Fire access shall be provided in accordance with the International Fire Code and adopted and amended by the State of New Mexico and the City of Albuquerque, and with current regulations of the Albuquerque Fire Department.

2. PEDESTRIAN AND SITE AMENITIES

The creation of a pedestrian-friendly environment will depend on creative site design and will be a primary design objective for Cibola Loop.

- 2.1 The use of a consistent design for all types of site furniture will serve to unify different areas of the property. Site furniture will be located in areas of more active recreation or pedestrian movement and consist of the following: benches, picnic tables, trash receptacles, bicycle racks, bollards, and informational signage. Selection of fixtures should be based on design compatibility, durability/maintenance needs, vandal-resistance, cost, comfort, and handicap accessibility.
- 2.2 Pedestrian paths shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design, except where topography makes this unfeasible).
- 2.3 Accessible drop off areas shall be provided at the front entries of each of the three City facilities.
- 2.4 Pedestrian connections shall be provided from parking lots to buildings, adjacent roadways, public sidewalks, and trails.
- 2.5 Pedestrian crossings shall be clearly demarcated with special paving treatment where they cross vehicular entrances and drive aisles. Speed tables and similar traffic-calming devices are encouraged at major crossings.
- 2.6 Freestanding restaurants shall provide outdoor patios shaded by trees and/or a shade structure that is architecturally integrated with building architecture.
- 2.7 Structures and on-site circulation systems should be located to minimize pedestrian/vehicle conflicts.
- 2.8 All sidewalks, ramps (including required truncated domes) curb cuts, and curb and gutter located within City right-of-way shall be built per City of Albuquerque Standard Drawings: sidewalks (2430), ramps (2440), curb cuts (2426), and curb and gutter (2415 A).



Outdoor patio shaded by trees.

3. PARKING

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. The goal for the City facilities is to allow shared parking.

- 3.1 Handicapped parking spaces shall be provided adjacent to building entries.
- 3.2 The number of parking spaces shall be as provided below:
 - › Multigenerational Center: maximum of 300 spaces, including a minimum of 20 handicapped spaces with 10 being van accessible spaces
 - › Library: maximum of 110 spaces, including 8 handicapped spaces with 2 being van accessible spaces
 - › Swimming Pool: maximum of 100 spaces, including 4 handicapped spaces with 1 being van accessible spaces
 - › Commercial retail: minimum number of spaces per the C-1 zone; no minimum number of spaces are required
- 3.3 Bicycle parking shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Comprehensive Zoning Code.
- 3.4 A shared parking agreement shall be required for the three civic uses and the commercial retail use.
- 3.5 Specific design of parking areas and access roads shall be in accordance with the City's Development Process Manual (DPM), and in compliance with the City's Comprehensive Zoning Code, Section 14-16-3-1. Minimum widths and radii for fire access shall be maintained in accordance with 1.2 above.
- 3.6 Alternative surfacing treatments for the parking areas should be explored to allow for water permeability. Opportunities to harvest water in planted islands should also be considered (See Section 14).

4. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes.

- 4.1 Minimum setback for buildings:
 - › 30 feet from the R.O.W. line of Ellison Drive
 - › 30 feet from the R.O.W. line of Cibola Loop
- 4.2 Minimum setback for parking areas:
 - › 20 feet from the R.O.W. line of Ellison Drive
 - › 20 feet from the R.O.W. line of Cibola Loop
- 4.3 Playground areas:
 - › 30 feet from adjacent street or parking lot, unless a physical barrier, such as walls or fencing is provided to restrict access to the street.

5. SITE VISIBILITY AND VIEWS

Visibility from Ellison is important for both the Library and the commercial retail site. The primary views from the site are towards the Sandias to the east and northeast. The west and northwest of the site afford the best views due to the grade differential from west to east and the distance from existing and potential neighboring development, as described in the Architectural Program completed for the three civic uses.

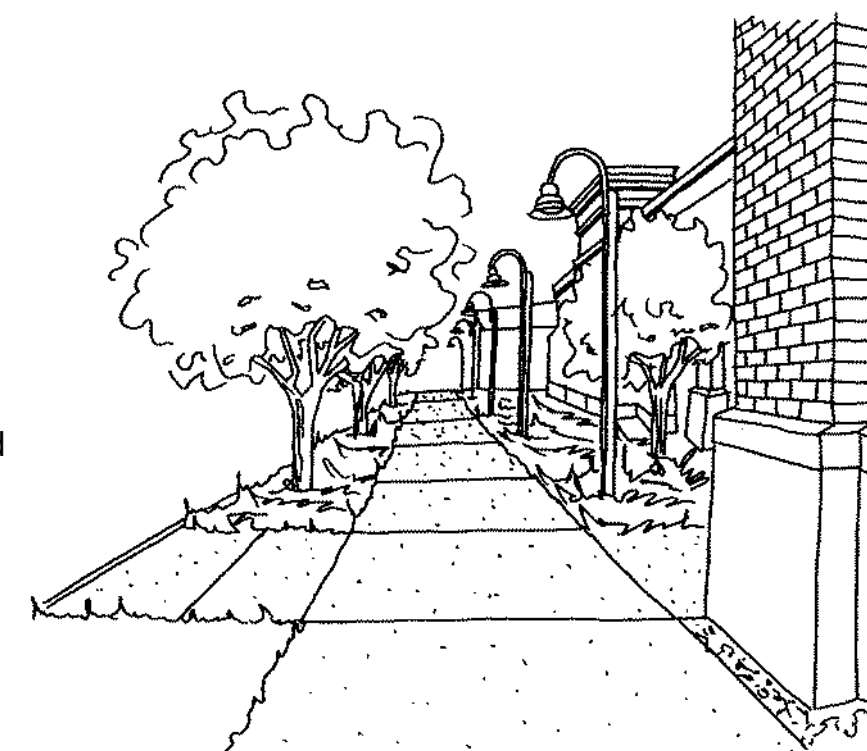
- 5.1 Multigenerational Center: The Multigenerational Center should be easily visible from Ellison Drive and the access to parking and drop-off area should be clear and easy to navigate. Views to the Sandias from many of the Center's primary program areas are important and should be provided from the second level.
- 5.2 Library: Good visibility from Ellison Drive should be provided to the Library. Views from the Library's primary program areas towards the Sandias should be provided.
- 5.3 Swimming Pool: Direct visibility from Ellison Drive is not essential, but good wayfinding for access from Ellison Drive and Cibola Loop should be provided. Views would be a benefit, but are not essential.

6. LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the property. The landscape design should emphasize native and naturalized plant species, but is not limited to those species. All landscaped areas need to be coordinated and responsive to existing environmental conditions and local building policies. These guidelines are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

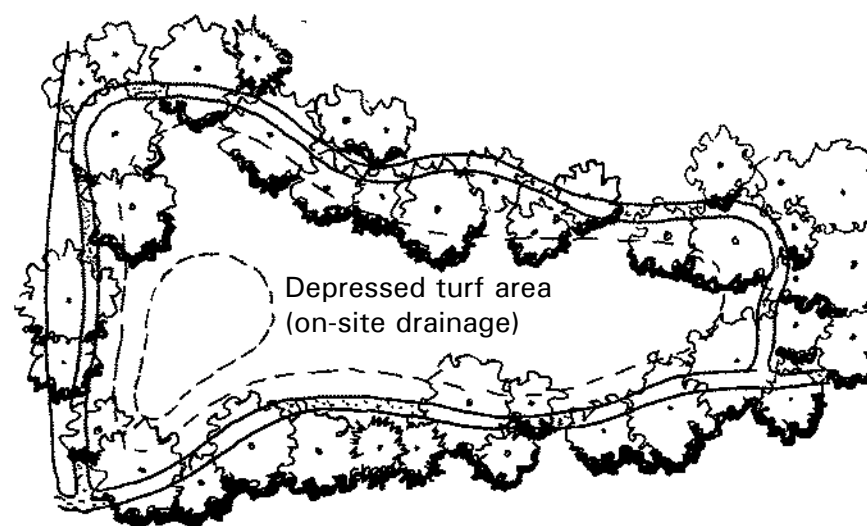
- 6.1 Plant materials will be used for a variety of purposes, including:

- › Buffer/screen - plant materials will be used to buffer certain facilities from noise and wind, and screen views to/from objectionable elements;
- › Shade/climate control - shade trees will be used along pedestrian paths and around activity centers;
- › Define uses or activities - trees and shrubs will be used to define specific areas;
- › Highlight specific features - trees and shrubs will be used to frame elements, provide foreground and background interest, etc.
- › Sensory stimulation - fragrant and flowering trees and shrubs will be used to stimulate the senses of sight, smell, and touch; and
- › Education - native landscape materials appropriate to our high desert environment will be used to demonstrate how natives can be water efficient and attractive in a "designed" landscape.



Shaded walkways.

- 6.2 Individual lot owners shall be responsible for the installation and maintenance of the landscape on their property. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive condition.
- 6.3 Common area landscaping shall be maintained by an association established for that purpose.
- 6.4 A minimum of 15 percent of site area (minus the building square footage) shall be devoted to landscape materials.
- 6.5 Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet. Living, vegetative materials shall cover a minimum of 75 percent of the landscaped areas. The area and percentage is calculated based on the mature canopy size of all plant materials.
- 6.6 All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, gravel mulch, or similar material which extends completely under the plant material.
- 6.7 Appropriate landscape headers (e.g. steel, brick, concrete) shall be used to separate any turf and groundcover areas.
- 6.8 One shade tree shall be planted for every ten parking spaces, with no parking space being more than 100 feet from a tree trunk. Parking area trees shall have a mature height and canopy of at least 25 feet.
- 6.9 Outdoor recreation areas should be designed for dual use (recreation and on-site drainage).



Outdoor recreation areas designed for dual use.

- 6.10 An automatic underground irrigation system shall be provided to support all required landscaping.
- 6.11 Minimum plant sizes at time of installation shall be as follows:
 - › Trees: 1.5 inch caliper, or 10 to 12 feet in height
 - › Shrubs & Groundcovers: 1 gallon
 - › Turf grasses shall provide complete ground coverage within 1 growing season after installation.

7. SCREENING / WALLS AND FENCES

The effective use of screening devices for mechanical equipment, parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on the property.

- 7.1 All mechanical equipment shall meet the screening requirements of Section 14-16-3-1(E)(4) of the Comprehensive City Zoning Code. All mechanical equipment shall be screened from public view by materials of the same nature as the basic materials of the building.
- 7.2 All screening and vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance, and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.
- 7.3 All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections. Trash enclosures shall be screened with plant materials.
- 7.4 The Multigenerational Center shall include a 30 yard self contained compactor and shall be screened with an 8 foot wall.
- 7.5 The design and materials for refuse collection enclosures shall be compatible with the architectural theme and materials of the site and adjacent buildings.
- 7.6 No refuse collection areas shall be allowed between streets and building fronts.
- 7.7 Parking areas shall be screened with plant materials, walls, earthen berming, or a combination of the above. Such screening shall have a minimum height of 3 feet.
- 7.8 Walls and fences shall comply with Section 14-16-3-19, General Height and Design Regulations for Walls, Fences, and Retaining Walls.
- 7.9 Fencing for the Swimming Pool shall comply with Chapter 10 Amusement, Recreation, and Culture, Article 3 Swimming Pools, Section 10-3-2-3 Barrier, which requires pools to be completely surrounded by a barrier at least 48 inches in height, the spaces between bars no greater than 4 inches in width, and the bottom rail or bar to be a maximum of 4 inches above the deck or grade.
- 7.10 Fencing shall be provided for chemical screening at the Swimming Pool area. Fencing materials should allow for passive surveillance of the chemical screening area.
- 7.11 The maximum height of retaining walls is 10 feet facing the interior of the site. Maximum height of retaining walls facing public rights-of-way shall be in compliance with 7.8 above. Areas requiring greater retainage are required to be terraced.
- 7.12 Barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- 7.13 Clear site distances will be maintained at all driveway locations.
- 7.14 Materials acceptable for retaining walls are masonry block (no unfinished), split face block, burnished block, architectural concrete, and stone.

CIBOLA LOOP

DESIGN GUIDELINES

Prepared for:
Vientecillo, LLC
5995 Alameda Boulevard NE
Albuquerque, NM 87111



Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

8. ARCHITECTURE

The architectural design should demonstrate a high quality aesthetic character throughout the property and should respond to climate, views, solar access, and aesthetic considerations. The following guidelines are intended to provide design flexibility while maintaining design consistency for all architectural elements throughout the property.

- 8.1 The maximum height for civic buildings at Cibola Loop shall not exceed 38 feet, as measured from the highest adjacent finished grade. The maximum height for commercial buildings at Cibola Loop shall not exceed 26 feet, as measured from the highest adjacent finished grade.
- 8.2 All non-residential buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive City Zoning Code, as well as other local building and fire codes.
- 8.3 Finished building materials shall be applied to all exterior sides of buildings and structures and shall be consistent on all sides. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- 8.4 Generic franchise building elevations or canopies are prohibited.
- 8.5 Building entry ways shall be clearly defined and include a canopy, portal, or awning that is architecturally integrated with the building. No plastic or vinyl building panels, awnings, or canopies are allowed.
- 8.6 Buildings should employ variety in structural forms to create visual character and interest, and avoid long, unarticulated facades. Facades should have varied front setbacks, with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment.
- 8.7 Building edge treatments shall “step down” to relate to the scale of pedestrians. Building masses should be arranged to cast shadows on each other in order to emphasize the contrast of light and shaded surfaces at corners and edges.
- 8.8 Windows and doors are key elements of any structure’s form and should relate to the scale of the elevation on which they appear. The use of recessed openings helps to provide depth and contrast on elevation planes. Glazing should respond to climate, view, and orientation.
- 8.9 Highly reflective surfaces; exposed, untreated, precision block walls; and materials with high maintenance requirements are undesirable and should be avoided.
- 8.10 Materials should be chosen that can be easily repaired and can withstand abuse by vandals, accidental damage by machinery, heavy sun, or southwest climate.
- 8.11 Cell towers shall be architecturally integrated.

9. LIGHTING AND NOISE

The primary design objective of the site lighting system shall be to maximize public safety, while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

- 9.1 All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and guidelines shall conform to state and local safety and illumination guidelines. All exterior installations must be provided with ground-fault interruption circuits.
- 9.2 All lights shall be shielded source with glare cut off angles of a maximum of 75 degrees to prevent spillage onto adjoining properties or light pollution of the existing “dark sky”. All lighting shall be compliant with the State of New Mexico Night Sky Protection Act, NMSA 1978, 74.12. Cobra and sodium lights are prohibited.
- 9.3 Maximum height for light fixtures shall be as follows:
 - › Parking Areas and Interior Streets: 30 feet
 - › Pedestrian/bicycle paths: 16 feet
 - › Building lighting shall not cause glare or night sky pollution.
 - › 42 inches maximum height for bollard lights
- 9.4 Lighting for all outdoor recreation areas shall be programmed to turn off at 10:00 p.m.
- 9.5 Area lighting should be used to highlight public spaces and walkways. The use of walkway level lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.
- 9.6 Individual site lighting shall blend with the architectural character of the buildings and other site fixtures.
- 9.7 Site lighting shall be restricted to a maximum off-site luminance of 1,000 lamberts from any point and 200 foot lamberts from any residential property line.
- 9.8 Accent lighting is permitted, however, surface lighting is limited to an average of 2 footcandles measured 4 feet from the surface level of any point on the building surface being lighted.
- 9.9 Noise generated from the outdoor recreation areas shall be subject to the City’s Noise Control Ordinance, Article 9: Noise Control.

10. SIGNAGE

The following signage guidelines were developed to regulate the size, location, type, and quality of sign elements within Cibola Loop. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

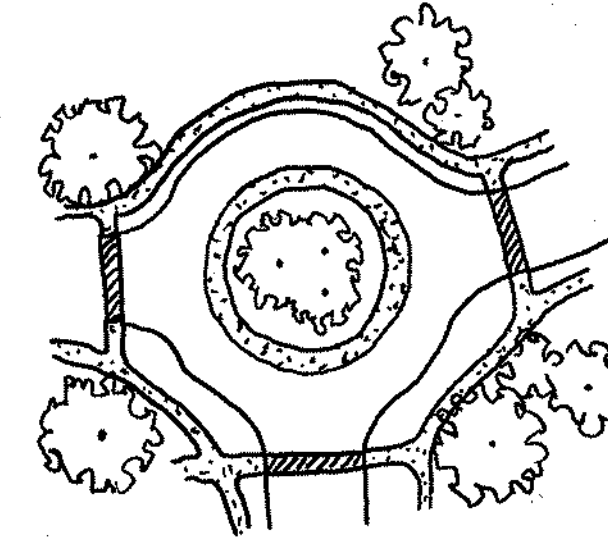
- 10.1 All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code.
- 10.2 Entry signs shall be monument type and shall complement the materials, color, and architectural character of the buildings. A Monument Sign is defined as a freestanding sign where the base of the sign structure is connected to the ground and integrated into the landscape, with no clear space for the full width of the sign between the bottom of the sign and the surface of the ground.
- 10.3 One project monument sign is allowed at each of the project entries at Ellison Drive and Cibola Loop. The monument sign at Ellison Drive shall be a maximum of 15 feet in height, with a maximum sign area of 75 square feet. The monument sign at Cibola Loop shall be a maximum of 10 feet in height, with a maximum sign area of 50 square feet. These project monument signs shall be of similar design and materials.

- 10.4 One individual monument sign is allowed for each civic building and for the commercial parcel. Maximum height for individual monument signs shall not exceed 8 feet and shall have a maximum signage area not to exceed 40 square feet.
- 10.5 Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- 10.6 No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- 10.7 Signs shall not overhang into the public right-of-way or extend above the building roof line.
- 10.8 Off-premise signs and portable signs are prohibited.
- 10.9 Building-mounted signs shall not exceed 6 percent of the facade area. Maximum logo size shall not exceed 3 feet by 5 feet.
- 10.10 Building-mounted signs shall:
 - › Identify the name and address of the building;
 - › Have a maximum of 4 different colors;
 - › Have a significant contrast between the background and the text in order to ensure readability; and
 - › Not intrude upon any architectural features, including windows, columns, mouldings, or other decorative features.
- 10.11 No illuminated plastic panel signs are allowed except business logos.
- 10.12 Lighted signs shall not face residential neighborhood.
- 10.13 Directional signs for pedestrian and bicycle trails, parking areas, etc. may be up to 8 feet in height. Directional signs shall be made of stone/masonry, concrete, or any anodized, oxidized, or powder coated metal.

11. ROUNDABOUT

A roundabout will be utilized as a traffic calming device within the project interior. A character defining element will be located north of the roundabout and may include signage.

- 11.1 Roundabouts shall meet design requirements of Publications FHWA-RD-OO-067 and AASHTO and shall accommodate required fire access.
- 11.2 Raised islands with rolled curbs will be used to direct traffic counter-clockwise and prevent left turn movements. Crosswalks will provide clear separation between vehicular and pedestrian movements.



Roundabout at the internal road intersection.

12. TRANSPORTATION DEMAND MANAGEMENT

In order to reduce single-occupancy vehicles, Transportation Demand Management (TDM) will help mitigate traffic impacts of a development.

- 12.1 Designated carpool parking spaces shall be provided at Cibola Loop civic buildings to encourage carpooling, and shall be noted on future Site Development Plans.
- 12.2 The City departments should work with their employees to encourage carpooling, bus ridership, and alternative modes of transportation.
- 12.3 The City departments should post the City trail map and bus route information in public lobbies, employee break rooms, or other locations easily accessible to employees.
- 12.4 Conveniently located bicycle racks and facilities shall be provided to encourage bicycle commuting.

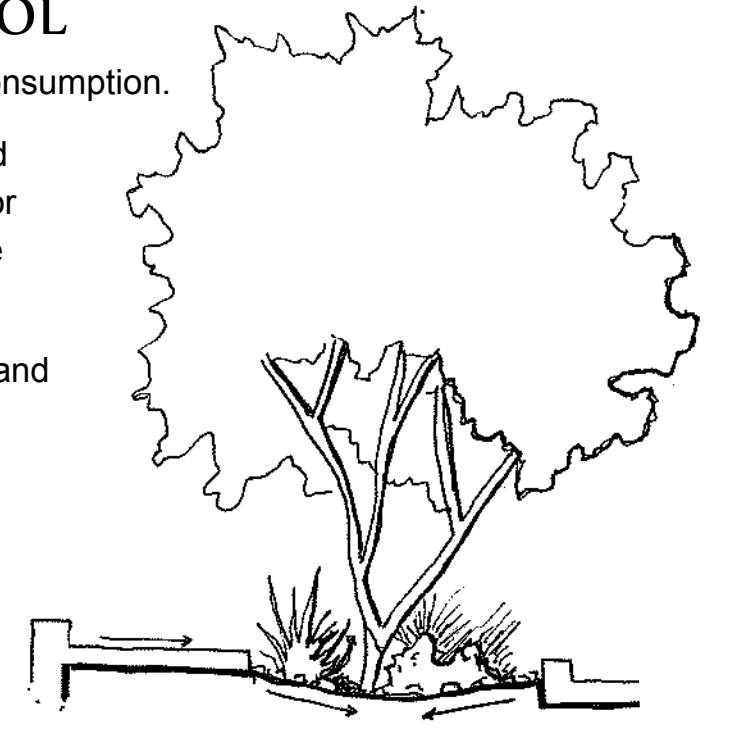
13. UTILITIES

To ensure the overall aesthetic quality of the property, the visual impact of utilities and equipment should be minimized.

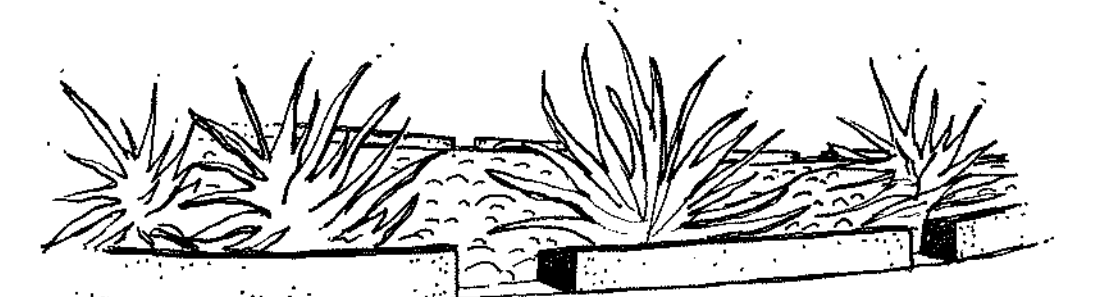
- 13.1 All new electric distribution lines shall be placed underground.
- 13.2 Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, utility boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.
- 13.3 When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- 13.4 PNM Coordination: Development shall abide by all conditions or terms of utility easements prior to development, contact shall be made to PNM’s new Service Delivery Department to coordinate electric service and options for the location of electrical service connection. Any existing or proposed public utility distribution easements are to be indicated on subsequent Site Plan for Building Permit utility sheets.PNM’s standard for public utility distribution easements is 10 feet in width to ensure adequate, safe clearances.

14. SUSTAINABILITY AND STORM WATER CONTROL

- 14.1 Energy efficient techniques shall be utilized to reduce energy and water consumption.
- 14.2 Water harvesting techniques, such as curb cuts for drainage to landscaped areas, permeable paving, bioswales to slow and treat storm water runoff, or cisterns for the collection and reuse of storm water and gray water shall be provided, where appropriate.
- 14.3 Storm water control measures shall be designed to manage the first flush and control runoff generated by contributing impervious surfaces.
- 14.4 Where feasible, roofs shall drain water to areas which are landscaped appropriately for such run-off.
- 14.5 Buildings shall be oriented to take advantage of heat gain in the winter where possible while coordinating with shading strategies to inhibit solar gain in the summer.
- 14.6 Grasses and other ground vegetation should be placed near project edges to help filter and slow runoff as it exits and enters the site.
- 14.7 Convenient recycling collection facilities shall be provided by all tenants of the site.
- 14.8 The use of sustainable design principles, environmentally-responsible building concepts, and earth-friendly procedures is encouraged.



Depressed planting beds for water harvesting.



Curb-cuts allow drainage to landscape areas.

CIBOLA LOOP

DESIGN GUIDELINES

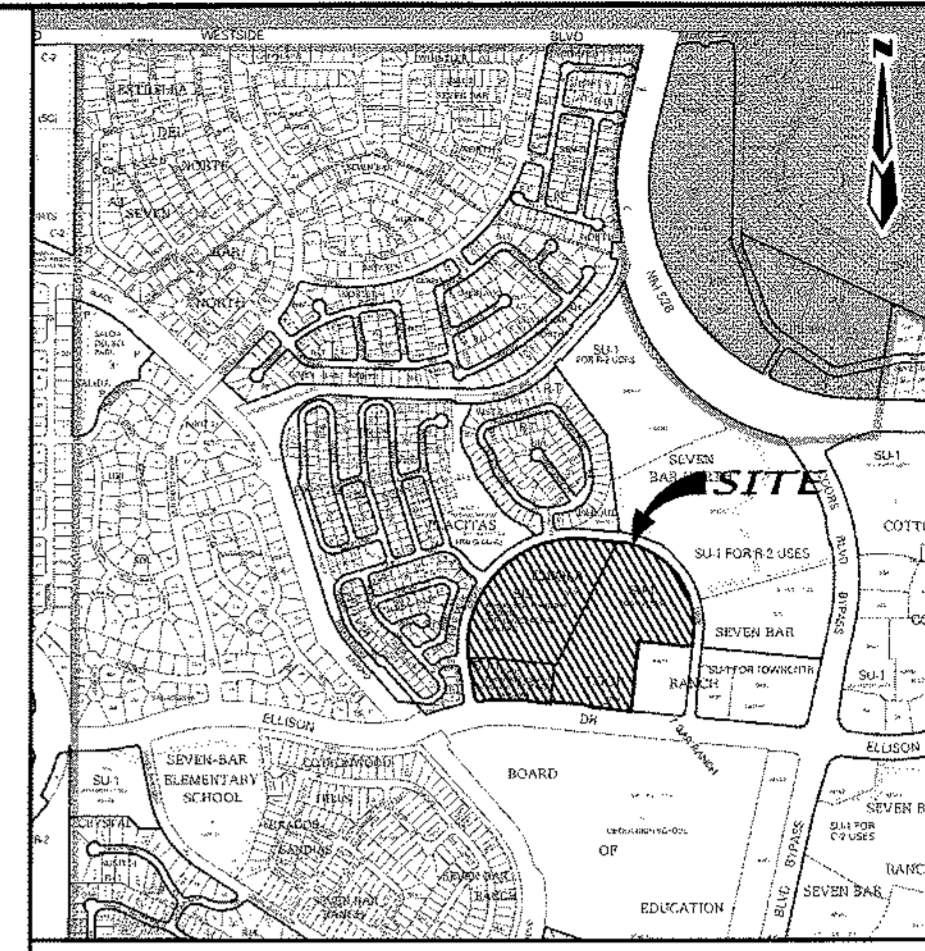
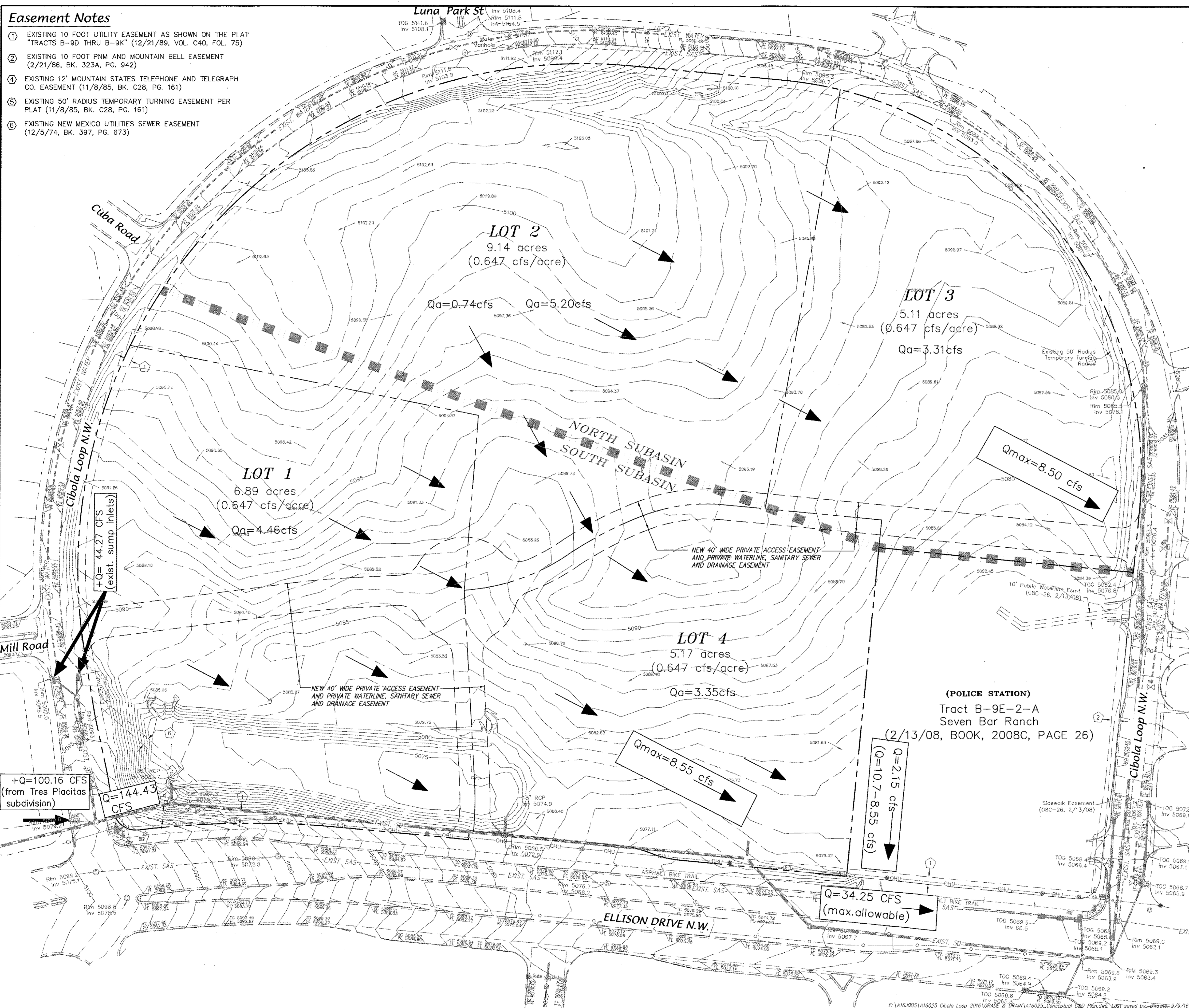
Prepared for:
Vientecillo, LLC
5995 Alameda Boulevard NE
Albuquerque, NM 87111



Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Easement Notes

- ① EXISTING 10 FOOT UTILITY EASEMENT AS SHOWN ON THE PLAT "TRACTS B-9D THRU B-9K" (12/21/89, VOL. C40, FOL. 75)
- ② EXISTING 10 FOOT PNM AND MOUNTAIN BELL EASEMENT (2/21/86, BK. 323A, PG. 942)
- ④ EXISTING 12' MOUNTAIN STATES TELEPHONE AND TELEGRAPH CO. EASEMENT (11/8/85, BK. C28, PG. 161)
- ⑤ EXISTING 50' RADIUS TEMPORARY TURNING EASEMENT PER PLAT (11/8/85, BK. C28, PG. 161)
- ⑥ EXISTING NEW MEXICO UTILITIES SEWER EASEMENT (12/5/74, BK. 397, PG. 673)



VICINITY MAP ZONE ATLAS: A-13

Conceptual Drainage Plan

Existing Drainage Conditions:

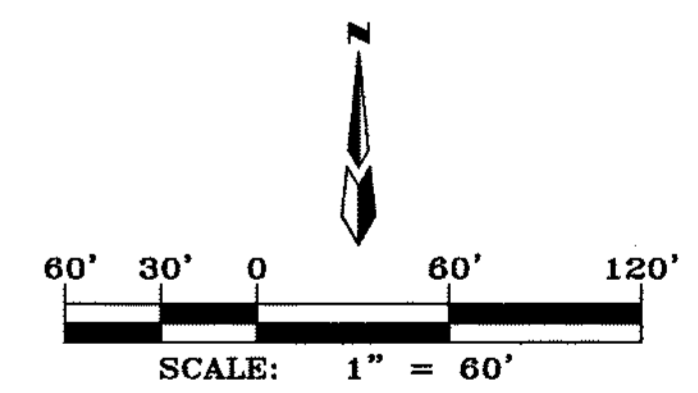
Originally the Cibola project site was part of the larger Seven Bar Ranch Tracts and the regional master drainage plan was developed as part of the 1989 Drainage Report for SAD 223. In that report, the Cibola project site was divided into two subbasins. The NORTH subbasin (12.9 acres) with an allowable discharge of 8.5 cfs was directed to the northeast corner at Cibola Loop Road approximately 200' south of Ellison Road. The South subbasin (16.9 acres) with an allowable discharge of 10.7 cfs was directed to the corner of Cibola Loop and Ellison Road. The detention pond outfall at the southeast corner of the pond conveys runoff to a storm drain in Ellison Road.

In 1998 the offsite area west of the project site was subdivided and developed into a 254 single family subdivision known as Tres Placitas. Developed runoff from a portion of this subdivision drains into an existing detention pond located at the southwest corner of the Cibola project site. The outfall structure from this pond was designed and constructed to accept the "allowable" discharge flows from Subbasin 9E, the allowable peak discharge was determined in the SAS 223 Drainage Report.

Proposed Drainage Conditions:

The proposed conceptual drainage plan is for the north subbasin to discharge a maximum of 8.5 cfs into the existing storm drain in Cibola Loop and the south subbasin to drain into the proposed and relocated detention pond to the south. The maximum allowable discharge from this pond is 34.25 cfs with the allowable contribution from our project of 8.55 cfs. The remaining portion of the allowable 10.7 cfs from the SAD 223 report, or 2.15 cfs, comes from the existing 3.4 acre Police Station to the east.

The existing detention pond at the southwest corner of this property on Lot 1 may be relocated and reconfigured. The future redesign shall be worked out between Lots 1 and 4.



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **CIBOLA LOOP
CONCEPTUAL DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
GITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	A-13-Z	1	1

CONTRACTOR		AS BUILT INFORMATION	
SWAYED BY	DATE	CONTRACTOR	DATE
INSPECTOR'S	DATE	INSPECTOR'S	DATE
FULL REPAIR BY	DATE	FULL REPAIR BY	DATE
VERIFICATION BY	DATE	VERIFICATION BY	DATE
DRAWN BY	DATE	DRAWN BY	DATE
CHECKED BY	DATE	CHECKED BY	DATE
RECORDED BY	DATE	RECORDED BY	DATE
NO.		NO.	

BENCH MARKS	
ACS Monument stamped "M448-NI2"	DATE
MAD 1927 CENTRAL ZONE	DATE
X=387,108.54, Y=1,528,910.94	DATE
Elevation, in feet (MAD 1929)=6023.41	DATE
G-C=0.9967995	DATE
Delta Alpha=-0.07346"	DATE

FIELD NOTES	
NO.	DATE

ENGINEER'S SEAL	

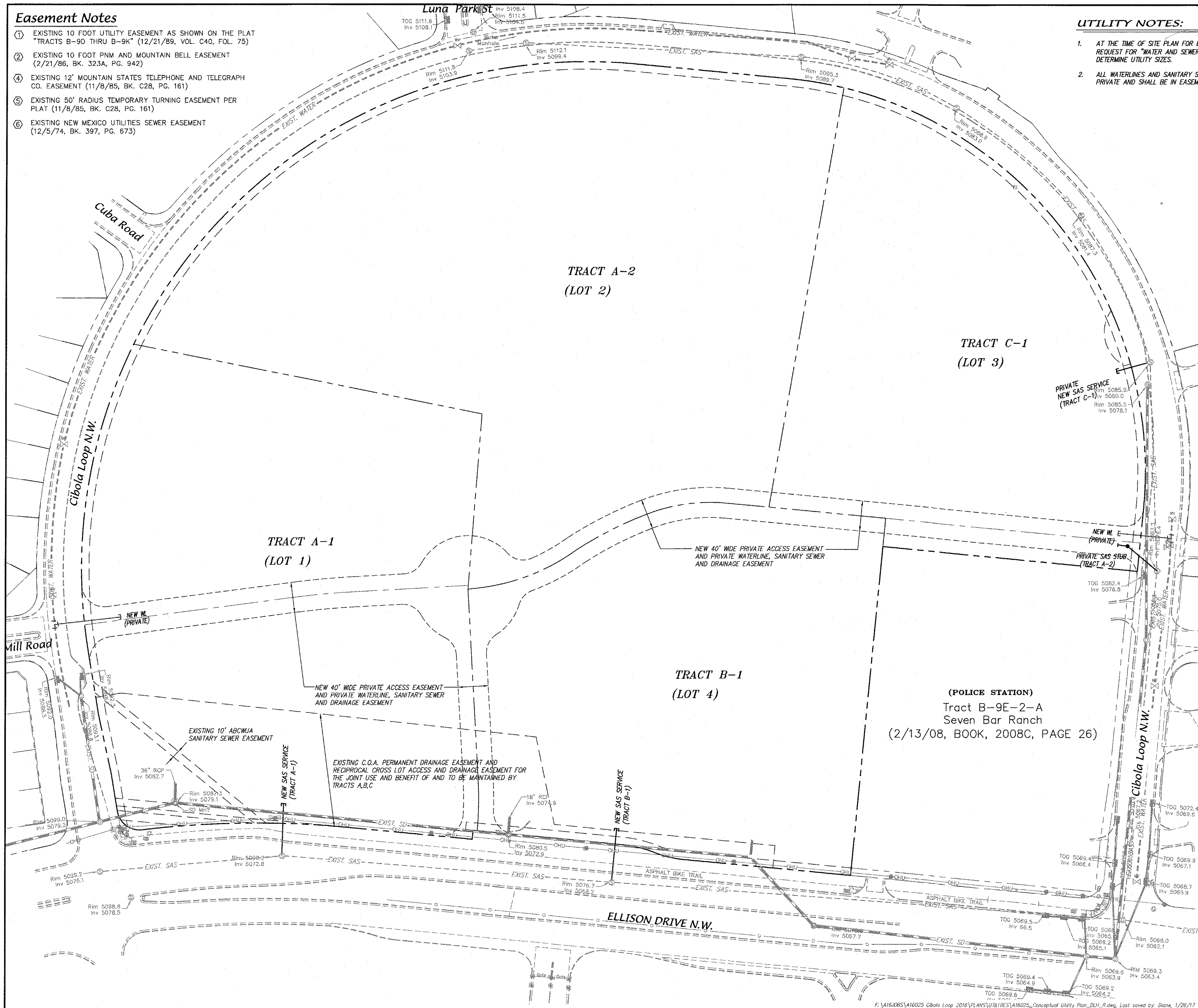
DESIGNED BY	DATE
DMG	08/16
DRAWN BY	DATE
DMG	08/16
CHECKED BY	DATE
DMG	08/16

Easement Notes

- ① EXISTING 10 FOOT UTILITY EASEMENT AS SHOWN ON THE PLAT "TRACTS B-9D THRU B-9K" (12/21/89, VOL. C40, FOL. 75)
- ② EXISTING 10 FOOT PNM AND MOUNTAIN BELL EASEMENT (2/21/86, BK. 323A, PG. 942)
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- ⑥ EXISTING NEW MEXICO UTILITIES SEWER EASEMENT (12/5/74, BK. 397, PG. 673)

UTILITY NOTES:

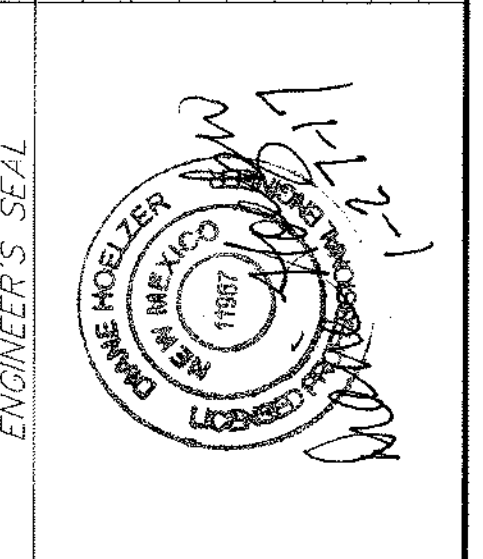
- 1. AT THE TIME OF SITE PLAN FOR BUILDING PERMIT, EACH LOT WILL HAVE TO SUBMIT A REQUEST FOR "WATER AND SEWER AVAILABILITY" FROM A.B.C.W.U.A. IN ORDER TO FURTHER DETERMINE UTILITY SIZES.
- 2. ALL WATERLINES AND SANITARY SEWER LINES NOT IN PUBLIC RIGHT-OF-WAY SHALL BE PRIVATE AND SHALL BE IN EASEMENTS.



AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK STAMPED BY	
FIELD ACCEPTANCE BY	
FIELD DRAWN BY	
CHECKED BY	
RECORDED BY	
NO.	

BENCH MARKS	
MARK	DATE
ACS Monument stamped "MM48-N12"	
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Elevation, in feet (NAD 1929)-5023.41	
G-G=0.8967595	
Delta Alpha=-001346"	

SURVEY INFORMATION	
NO.	DATE
BY	



NO.	DATE	REVISIONS
DESIGNED BY	DLH	08/16
DRAWN BY	DER	08/16
CHECKED BY	DMG	08/16

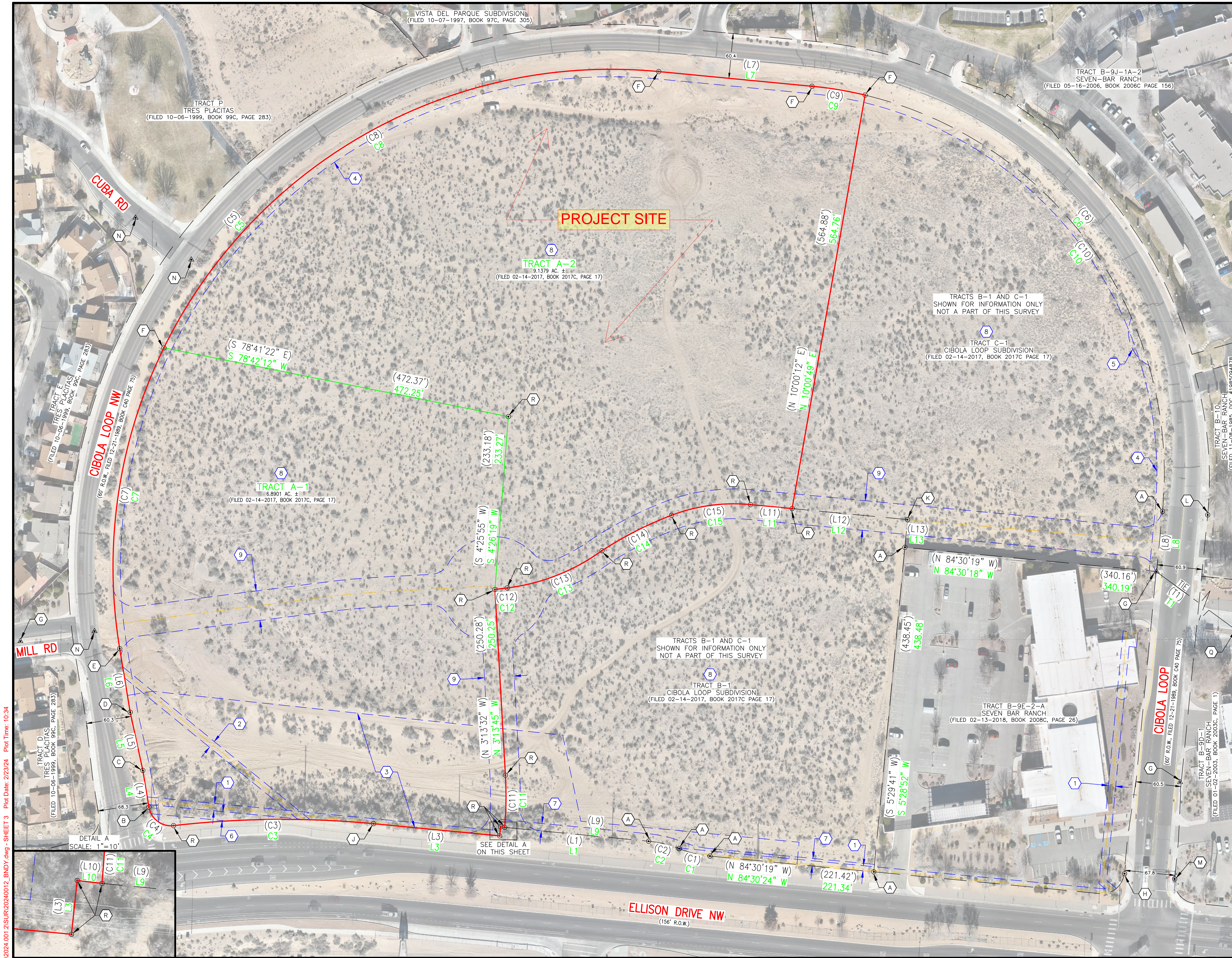
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **CIBOLA LOOP CONCEPTUAL UTILITY PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **A-13-Z** SHEET **1** OF **1**



BOUNDARY TABLE

LINE	DIRECTION	DISTANCE
L1	N 84°27'31" W	200.07'
(L1)	N 84°30'19" W	200.08'
L2	S 6°06'27" W	12.12'
(L2)	S 5°29'41" W	12.00'
L3	N 84°29'47" W	170.35'
(L3)	N 84°30'19" W	170.46'
L4	N 9°23'51" W	50.00'
(L4)	N 9°23'51" W	50.00'
L5	N 12°15'36" W	80.10'
(L5)	N 12°15'36" W	80.10'
L6	N 9°23'51" W	86.78'
(L6)	N 9°23'51" W	86.78'
L7	S 84°31'26" E	207.04'
(L7)	S 84°30'19" E	207.09'
L8	S 5°34'59" E	81.43'
(L8)	S 5°29'41" W	81.50'
L9	N 84°29'26" W	194.48'
(L9)	N 84°30'19" W	194.50'
L10	N 83°20'47" W	5.59'
(L10)	N 84°30'19" W	5.58'
L11	S 84°36'05" E	56.17'
(L11)	S 84°33'00" E	56.18'
L12	S 84°32'08" E	156.00'
(L12)	S 84°33'00" E	156.06'
L13	S 5°29'51" W	37.49'
(L13)	S 5°29'41" W	37.49'
T1	S 53°47'12" E	907.38'
(T1)	S 53°45'54" E	906.69'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	150.00'	42.70'	N 76°22'52" W	42.55'	16°18'35"
(C1)	150.00'	42.57'	N 76°22'31" W	42.43'	16°15'37"
C2	150.00'	42.45'	N 76°26'41" W	42.31'	16°12'50"
(C2)	150.00'	42.57'	N 76°22'31" W	42.43'	16°15'37"
C3	1278.00'	269.51'	S 89°26'54" W	269.01'	12°04'58"
(C3)	1278.00'	269.61'	S 89°27'04" W	269.11'	12°05'14"
C4	30.00'	45.71'	N 53°07'01" W	41.42'	87°18'20"
(C4)	30.00'	45.66'	N 52°59'42" W	41.38'	87°11'42"
C5	670.00'	1226.36'	N 43°02'49" E	1062.19'	104°52'25"
(C5)	670.00'	1226.58'	N 43°02'55" E	1062.33'	104°53'32"
C6	524.00'	823.17'	S 39°30'30" E	741.10'	90°00'30"
(C6)	524.00'	823.10'	S 39°30'19" E	741.05'	90°00'00"
C7	670.00'	415.68'	N 8°21'51" E	409.04'	35°32'49"
(C7)	670.00'	415.66'	N 8°22'32" E	409.03'	35°32'46"
C8	670.00'	810.91'	N 60°49'41" E	762.31'	69°20'44"
(C8)	670.00'	810.91'	N 60°49'18" E	762.32'	69°20'46"
C9	524.00'	72.47'	S 80°31'55" E	72.41'	7°55'28"
(C9)	524.00'	72.42'	S 80°32'46" E	72.36'	7°55'06"
C10	524.00'	750.68'	S 35°32'51" E	688.11'	82°04'54"
(C10)	524.00'	750.68'	S 35°32'46" E	688.11'	82°04'54"
C11	500.06'	70.20'	N 0°46'48" E	70.14'	8°02'37"
(C11)	500.06'	70.19'	N 0°47'43" E	70.13'	8°02'30"
C12	1045.12'	16.64'	N 83°01'28" E	16.64'	0°54'44"
(C12)	1045.12'	16.67'	N 83°23'37" E	16.67'	0°54'49"
C13	274.24'	138.46'	N 68°30'51" E	136.99'	28°55'38"
(C13)	274.24'	138.37'	N 68°28'56" E	136.91'	28°54'34"
C14	492.66'	105.07'	N 63°01'25" E	104.88'	12°13'12"
(C14)	492.66'	105.15'	N 63°02'06" E	104.95'	12°13'45"
C15	236.00'	108.25'	N 82°18'04" E	107.30'	26°16'49"
(C15)	236.00'	108.33'	N 82°17'59" E	107.38'	26°18'02"

MONUMENTS

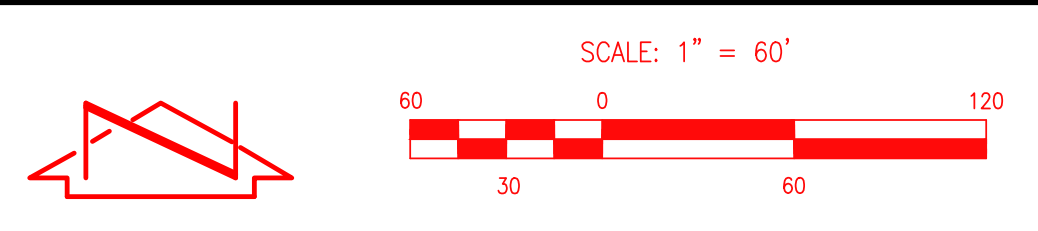
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- (B) FOUND #5 REBAR W/ CAP STAMPED "S TOLER NMPS 11599", TAGGED WITH WASHER STAMPED "PS 11184"
- (C) FOUND #5 REBAR W/ CAP ILLEGIBLE, (BENT), REPLACED WITH #5 REBAR W/ CAP STAMPED "NEW MEXICO PS 11184"
- (D) FOUND #5 REBAR NO CAP, (BENT), WITH WASHER STAMPED "COMBS PS 23200" REPLACED WITH #5 REBAR W/ CAP STAMPED "NEW MEXICO PS 11184"
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- (F) FOUND #4 REBAR W/ CAP STAMPED "ALDRICH NMPS 7719", WITH WASHER STAMPED "COMBS PS 23200", TAGGED WITH WASHER STAMPED "PS 11184"
- (G) FOUND CHISLED "X" IN CONCRETE
- (H) FOUND #5 REBAR W/ CAP STAMPED "HUGG LS 8686"
- (J) FOUND #5 REBAR W/ CAP STAMPED "NMPS 11599", TAGGED WITH WASHER STAMPED "PS 11184"
- (K) FOUND #4 REBAR W/ CAP ILLEGIBLE
- (L) FOUND #5 REBAR NO CAP
- (M) FOUND #4 REBAR W/ CAP STAMPED "L. MEDRANO PS 11993"
- (N) FOUND ALUMINUM CAP STAMPED "COA CL MON PLS 7719 1999"
- (P) FOUND ALUMINUM CAP STAMPED "COA CL MON PLS 6544 1998"
- (Q) FOUND ARGV BRASS DISK STAMPED "5_A13" (HMCG POINT #201)
- (R) FOUND #4 REBAR W/ CAP STAMPED "ALDRICH NMPS 7719", TAGGED WITH WASHER STAMPED "PS 11184"

RECORD BEARINGS AND DISTANCES FROM THE FOLLOWING DOCUMENTS:

- () BOUNDARY SURVEY BULK PLAT OF TRACTS A-1, A-2, B-1 AND C-1, CIBOLA LOOP SUBDIVISION, FILED 02/14/2017, BOOK 2017C, PAGE 17, DOC. #2017013734

File Name: P:\data\2024\0204\001\25\BNDY.dwg - SHEET 3 Plot Date: 2/23/24 Plot Time: 10:34

HIGH MESA
a Bowman company
6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacg.com | bowman.com

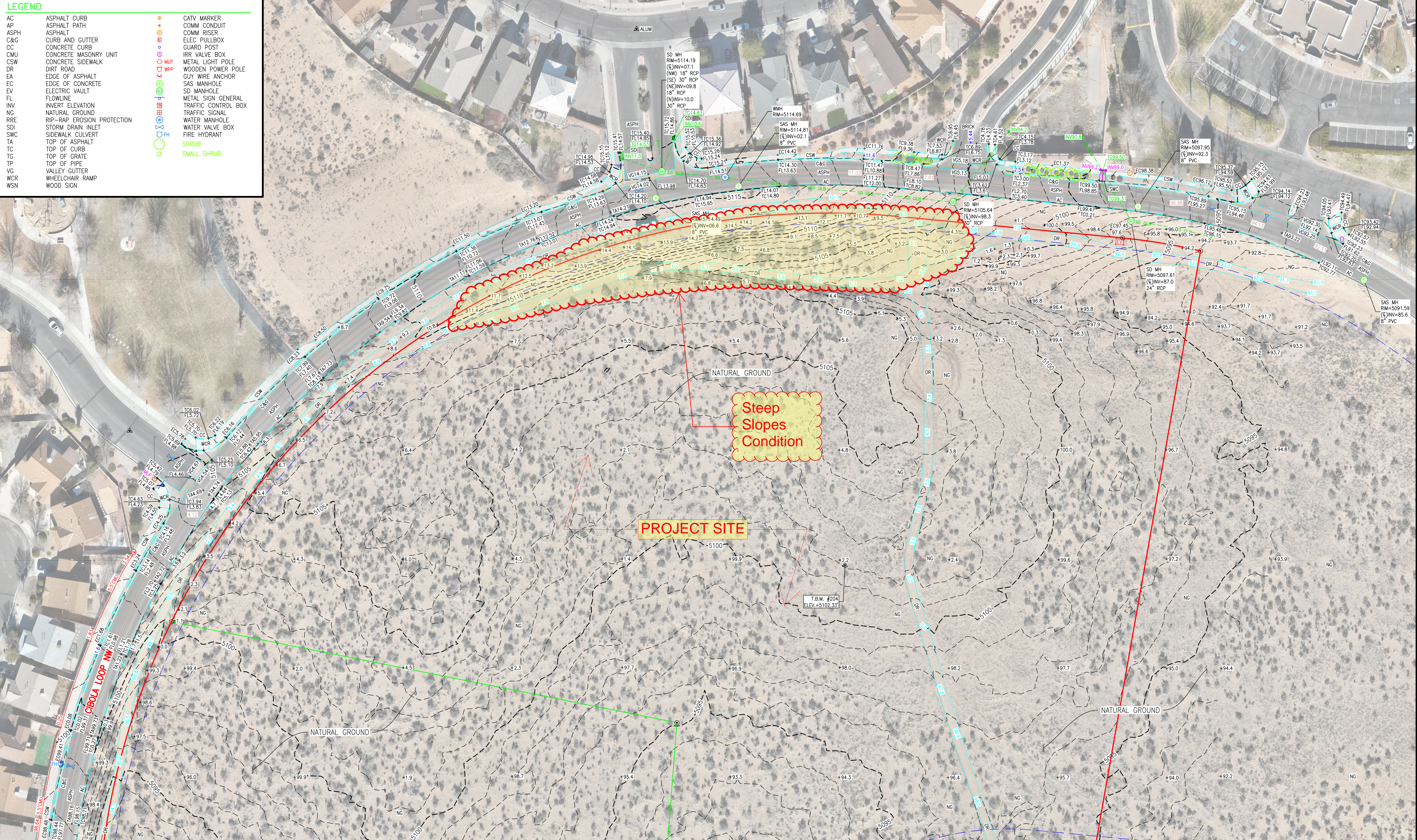


**BOUNDARY SURVEY
CIBOLA LOOP
ALBUQUERQUE, NM**

SURVEYED BY: M.V.Z.
DRAWN BY: A.J.P.
APPROVED BY: C.G.C.

NO.	DATE	BY	REVISIONS	JOB NO.
				2024.001.2
				DATE 02-2024
				SHEET 3 OF 7

LEGEND	
AC	ASPHALT CURB
AP	ASPHALT PATH
ASPH	ASPHALT
C&G	CURB AND GUTTER
CC	CONCRETE CURB
CMU	CONCRETE MASONRY UNIT
CSW	CONCRETE SIDEWALK
DR	DIRT ROAD
EA	EDGE OF ASPHALT
EC	EDGE OF CONCRETE
EV	ELECTRIC VAULT
FL	FLOWLINE
INV	INVERT ELEVATION
NG	NATURAL GROUND
RRE	RIP-RAP EROSION PROTECTION
SDI	STORM DRAIN INLET
SWC	SIDEWALK CULVERT
TA	TOP OF ASPHALT
TC	TOP OF CURB
TG	TOP OF GRATE
TP	TOP OF PIPE
VG	VALLEY GUTTER
WCR	WHEELCHAIR RAMP
WSN	WOOD SIGN
●	CATV MARKER
○	COMM CONDUIT
○	COMM RISER
○	ELEC PULLBOX
○	GUARD POST
○	IRR VALVE BOX
○	METAL LIGHT POLE
○	WOODEN POWER POLE
○	GUY WIRE ANCHOR
○	SAS MANHOLE
○	SD MANHOLE
○	METAL SIGN GENERAL
○	TRAFFIC CONTROL BOX
○	WATER MANHOLE
○	WATER VALVE BOX
○	FIRE HYDRANT
○	SHRUB
○	SMALL SHRUB



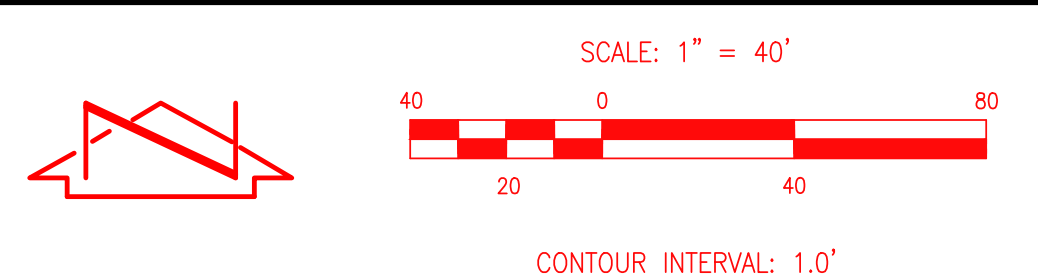
PROJECT SITE

Steep Slopes Condition

MATCHLINE SHEET 5

File Name: P:\data\2024\0204\001_2\SUR\20240012_BNDY.dwg - SHEET 4 Plot Date: 2/23/24 Plot Time: 10:35

HIGH MESA
a Bowman company
6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacg.com | bowman.com



**TOPOGRAPHIC SURVEY - NORTH PORTION
CIBOLA LOOP
ALBUQUERQUE, NM**

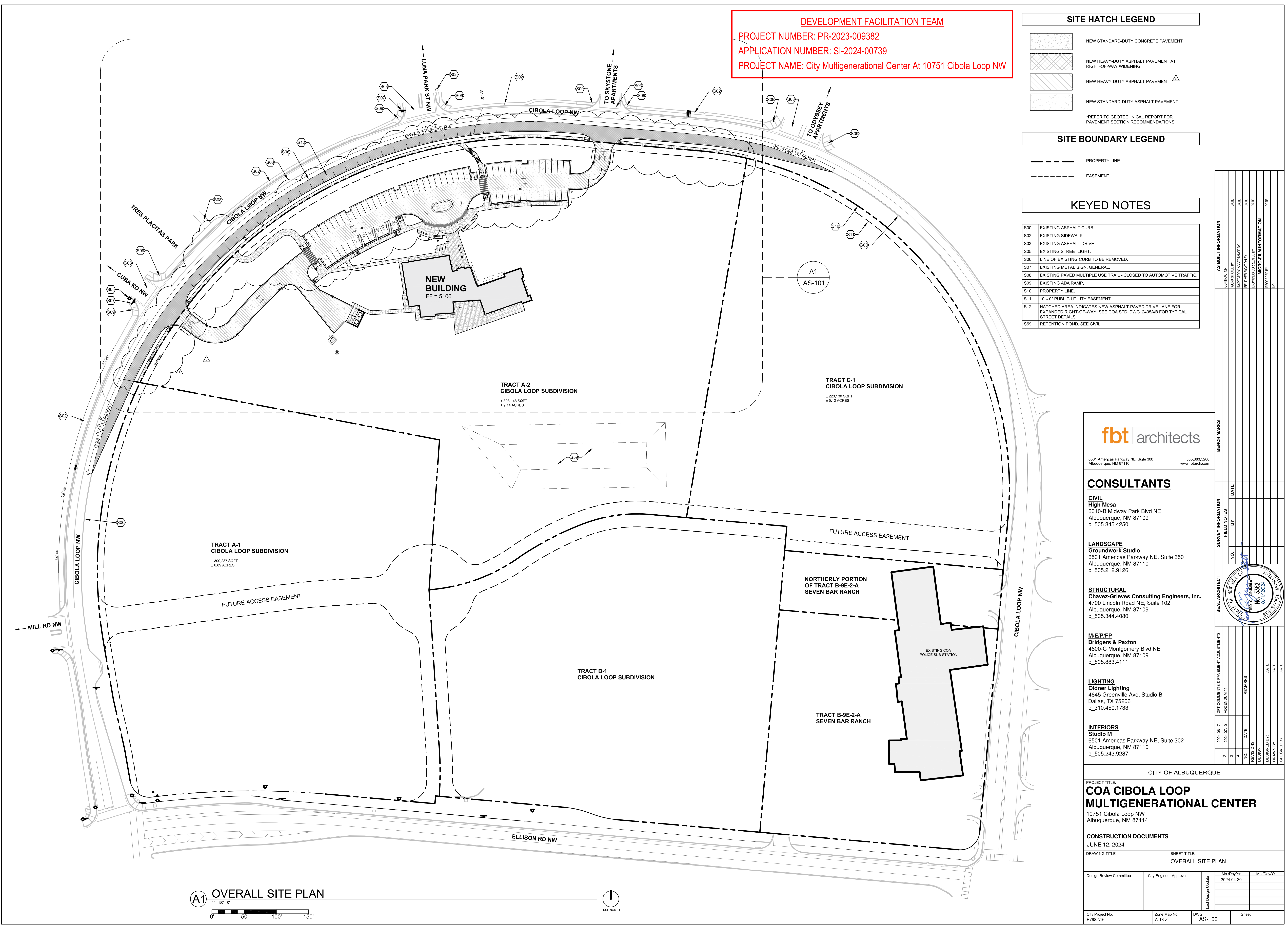
SURVEYED BY: M.V.Z. DRAWN BY: A.J.P. APPROVED BY: C.G.C.	NO.	DATE	BY	REVISIONS	JOB NO.
					2024.001.2
					DATE: 02-2024
					SHEET 4 OF 7

DEVELOPMENT FACILITATION TEAM
 PROJECT NUMBER: PR-2023-009382
 APPLICATION NUMBER: SI-2024-00739
 PROJECT NAME: City Multigenerational Center At 10751 Cibola Loop NW

SITE HATCH LEGEND	
[Hatched Pattern]	NEW STANDARD-DUTY CONCRETE PAVEMENT
[Hatched Pattern]	NEW HEAVY-DUTY ASPHALT PAVEMENT AT RIGHT-OF-WAY WIDENING.
[Hatched Pattern]	NEW HEAVY-DUTY ASPHALT PAVEMENT
[Hatched Pattern]	NEW STANDARD-DUTY ASPHALT PAVEMENT
*REFER TO GEOTECHNICAL REPORT FOR PAVEMENT SECTION RECOMMENDATIONS.	

SITE BOUNDARY LEGEND	
---	PROPERTY LINE
---	EASEMENT

KEYED NOTES	
S00	EXISTING ASPHALT CURB.
S02	EXISTING SIDEWALK.
S03	EXISTING ASPHALT DRIVE.
S05	EXISTING STREETLIGHT.
S06	LINE OF EXISTING CURB TO BE REMOVED.
S07	EXISTING METAL SIGN, GENERAL.
S08	EXISTING PAVED MULTIPLE USE TRAIL - CLOSED TO AUTOMOTIVE TRAFFIC.
S09	EXISTING ADA RAMP.
S10	PROPERTY LINE.
S11	10' - 0" PUBLIC UTILITY EASEMENT.
S12	HATCHED AREA INDICATES NEW ASPHALT-PAVED DRIVE LANE FOR EXPANDED RIGHT-OF-WAY. SEE COA STD. DWG. 2405AVB FOR TYPICAL STREET DETAILS.
S59	RETENTION POND, SEE CIVIL.



A1 OVERALL SITE PLAN
 1" = 50' - 0"
 0' 50' 100' 150'

AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK SPANNED BY	DATE
INSPECTORS ACCEPTANCE BY	DATE
FIELD REPRESENTATIVE BY	DATE
DRAWINGS CORRECTED BY	DATE
RECORDED BY	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

SEAL ARCHITECT	
NO.	DATE

DFT COMMENTS & PAVEMENT ADJUSTMENTS	
ADJUDICUM #1	DATE
NO.	DATE

REVISIONS	
NO.	DATE

DESIGNED BY:	
NO.	DATE

DRAWN BY:	
NO.	DATE

CHECKED BY:	
NO.	DATE

fbt architects
 6501 Americas Parkway NE, Suite 300
 Albuquerque, NM 87110 | 505.883.5200
 www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250

LANDSCAPE
Groundwork Studio
 6501 Americas Parkway NE, Suite 350
 Albuquerque, NM 87110
 p_505.212.9126

STRUCTURAL
Chavez-Grievos Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102
 Albuquerque, NM 87109
 p_505.344.4080

M/E/P/FP
Bridgers & Paxton
 4800-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111

LIGHTING
Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733

INTERIORS
Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

CITY OF ALBUQUERQUE

PROJECT TITLE:
COA CIBOLA LOOP MULTIGENERATIONAL CENTER
 10751 Cibola Loop NW
 Albuquerque, NM 87114

CONSTRUCTION DOCUMENTS
 JUNE 12, 2024

DRAWING TITLE: SHEET TITLE:
OVERALL SITE PLAN

Design Review Committee	City Engineer Approval	Mo. Drawn	Mo. Drawn
		2024.04.30	

City Project No. P7882.16	Zone Map No. A-13-Z	DWG. AS-100	Sheet
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GENERAL NOTES

- A. A SUB GRADE PREPARATION AND SOIL COMPACTION AT ALL CONCRETE WORK SHALL COMPLY WITH REQUIREMENTS ON CIVIL DRAWINGS AND GEOTECHNICAL REPORT.
- B. PROVIDE BROOM FINISH ON CONCRETE SIDEWALK, UNLESS NOTED OTHERWISE.
- C. VERIFY SIDEWALK LAYOUT WITH ARCHITECT PRIOR TO FORMING AND POURING CONCRETE. NO EXCEPTIONS.
- D. FOR INFORMATION ON UTILITIES SEE SITE SURVEY SHEET, CIVIL UTILITY PLANS, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- E. CONTRACTOR SHALL PAY FOR AND COORDINATE WITH LOCAL UTILITY COMPANIES FOR ALL UTILITY DISCONNECT, RECONNECT AND DEMO WORK.
- F. ALL SITE ELEMENTS INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, GROUND COVER MATERIAL, ETC. THAT MUST BE REMOVED FROM THE SITE IN ORDER TO ACCOMPLISH NEW WORK SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH SITE FEATURES TO BE DEMOLISHED.
- G. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING AND PAYING FOR PERMIT FEES ASSOCIATED WITH ENVIRONMENTAL PROTECTION AGENCY AND REQUIREMENTS OF STORM WATER POLLUTION PREVENTION PLAN (SWPPP) COORDINATE WITH ALL REGULATORY AUTHORITIES REGARDING THIS ITEM.
- H. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE FEATURES, PLANTINGS, AND UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING SITE FEATURES, PLANTINGS, AND UTILITIES TO REMAIN DUE TO CONSTRUCTION OPERATIONS SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- I. ALL DOWNSPOUT, LAMBS TONGUE, ETC. THAT ROUTE ROOF WATER TO GRADE SHALL BE DISCHARGED IN A CONCRETE RUN DOWN, TRENCH GRATE, OR SPLASH BULK. SEE CIVIL FIELD COORDINATE LOCATION OF DISCHARGE POINTS PRIOR TO FORMING AND INSTALLING CONCRETE.
- J. FURNISH AND INSTALL CURB MARKING PAINT (RED FIRE LANE OR YELLOW DROP OFF LANE) ENTIRE LENGTH OF CURB AT BUILDING SIDE OF DROP OFF. COORDINATE WITH FIRE MARSHALL FOR LOCATION OF FIRE LANE MARKINGS.
- K. WHERE NEW CONCRETE PAVEMENT AND/OR CURBING IS SHOWN ADJACENT TO EXISTING, CONTRACTOR SHALL PROVIDE NEW CONCRETE PAVEMENT AND/OR CURBING UP TO AND FLUSH WITH EXISTING LIMITS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY.
- L. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS REGARDING NEW ASPHALT AND CONCRETE PAVEMENT.
- M. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND LAYOUT OF BOTH THE SITE AND BUILDING ELEMENTS. COORDINATE FIELD INFORMATION WITH THE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITY.

SITE HATCH LEGEND

- NEW STANDARD-DUTY CONCRETE PAVEMENT
- NEW HEAVY-DUTY ASPHALT PAVEMENT AT RIGHT-OF-WAY WIDENING
- NEW HEAVY-DUTY ASPHALT PAVEMENT
- NEW STANDARD-DUTY ASPHALT PAVEMENT

SITE BOUNDARY LEGEND

- PROPERTY LINE
- EASEMENT

KEYED NOTES

- S01 EXISTING CURB AND GUTTER SYTEM.
- S02 EXISTING SIDEWALK.
- S03 EXISTING ASPHALT DRIVE.
- S04 EXISTING DOUBLE YELLOW PAVEMENT STRIPE.
- S06 LINE OF EXISTING CURB TO BE REMOVED.
- S07 EXISTING METAL SIGN, GENERAL.
- S08 EXISTING PAVED MULTIPLE USE TRAIL - CLOSED TO AUTOMOTIVE TRAFFIC.
- S09 EXISTING ADA RAMP.
- S10 PROPERTY LINE.
- S11 10' - 0" PUBLIC UTILITY EASEMENT.
- S12 HATCHED AREA INDICATES NEW ASPHALT-PAVED DRIVE LANE FOR EXPANDED RIGHT-OF-WAY. SEE COA STD. DWG. 24054B FOR TYPICAL STREET DETAILS.
- S13 STRIPED ON-STREET PARKING (8' - 0" WIDE X 20' - 0" LONG PARKING SPACE, TYPICAL, APPROXIMATELY 31 SPACES TOTAL), AS PART OF A SEPARATE CITY WORK ORDER DESIGN PACKAGE PERTAINING TO OFF-SITE IMPROVEMENTS.
- S14 NEW DRIVE AT EXPANDED ROADWAY.
- S15 ASPHALT PAVING, TYPICAL.

- S16 CONCRETE ISLAND.
- S17 PAINTED PARKING LOT 4" WIDE STRIPING, TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
- S18 PAINTED PARKING LOT 10' - 0" LENGTH ARROWS AND 30" HEIGHT LETTERING, TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
- S19 Z PAINTED BUFFER AT END OF PARKING AISLE, TYPICAL.
- S23 ACCESSIBLE DROP-OFF. INSTALL TRUNCATED DOME TO DESIGNATE THRESHOLD BETWEEN CONCRETE SIDEWALK AND ASPHALT DRIVE. RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.
- S24 COMPACT VEHICLE PARKING, TYPICAL.
- S25 MOTORCYCLE PARKING ON STANDARD-DUTY CONCRETE PAD WITH GROUND-MOUNTED SIGN.
- S26 (4) EV-READY SPACES.
- S27 FUTURE OWNER-PROVIDED EV STATIONS, SEE ELECTRICAL FOR REQUIREMENTS.
- S29 CONCRETE WHEELSTOP, TYPICAL WHERE GROUND-MOUNTED SIGNAGE AND EV CHARGING EQUIPMENT IS PRESENT. SEE SITE DETAILS.
- S31 CONCRETE CURBS & GUTTER SYSTEM, TYPICAL. SEE SITE DETAILS & CIVIL.
- S32 MOUNTABLE CURB AT PARKING ROW ENDS, TYPICAL. SEE COA STD. DWG. 2415B FOR MOUNTABLE ROLL CURB AND GUTTER DETAIL.
- S33 CONCRETE SIDEWALK PER COA STANDARDS.

- S34 4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH TURN DOWN EDGE AT ALL EXPOSED EDGES.
- S35 ACCESSIBLE CURB RAMP. SEE COA STD. DWG. 2443 FOR PARALLEL CURB RAMP DETAILS. INSTALL TRUNCATED DOME IN ALL ADA RAMP. RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.
- S36 ACCESSIBLE PATH TO PUBLIC WAY.
- S37 CONCRETE STAIRS AND STEEL HANDRAILS.
- S38 6" TRAFFIC-RATED BOLLARD.
- S42 ENTRY PLAZA: 4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH 2x8" CONTROL JOINTS IN RUNNING BOND CONFIGURATION, WITH TURN-DOWN EDGE. FOR PATTERN REFER TO DETAIL A5A5-102.
- S43 CONCRETE PATIO: 4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH 2x8" CONTROL JOINTS IN RUNNING BOND CONFIGURATION, WITH TURN-DOWN EDGE. FOR PATTERN REFER TO DETAIL A5A5-102.
- S44 1" - 6" CONCRETE MOW STRIP, TYPICAL. ALL AROUND BUILDING PERIMETER.
- S45 LINE OF BUILDING OVERHANG OR CANOPY ABOVE.
- S47 MAIN ENTRY DOORS. SEE FLOOR PLANS.
- S52 6" CONCRETE APRON, 4,000 PSI, 3/4" AGGREGATE WITH 6x6-10110W OR EQUAL, 1/2" EXPANSION JOINT BETWEEN PAD AND APRON.
- S55 PAINTED ACCESS AISLE, 1' - 6" WIDE X 12' - 0" LONG STRIPING, 3" - 0" O.C., CENTER-ALIGNED TO CENTER OF ACCESSIBLE CURB RAMP. TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
- S61 LANDSCAPING. SEE LANDSCAPE.

- S62 MANUAL DOUBLE SWING PIPE GATE.
- S64 REFUSE ENCLOSURE WITH MANUAL DOUBLE SWING GATES.
- S70 WATER METERS, SEE CIVIL.
- S71 BACKFLOW PREVENTER IN HEATED ENCLOSURE. SEE CIVIL.
- S72 DRAIN INLET, SEE CIVIL.
- S73 STORM DRAIN MANHOLE, SEE CIVIL.
- S80 WALL-MOUNTED KNOX BOX.
- S81 POST-INDICATOR VALVE (PIV), SEE CIVIL.
- S82 REMOTE EJECTOR (RME) GROUND-MOUNTED SIGN. SEE CIVIL.
- S83 FIRE HYDRANT, 3' - 0" MINIMUM FROM BACK OF CURB AND EDGE OF SIDEWALK. SEE CIVIL.
- S96 SPITTING SIGN. SEE ELECTRICAL.
- S91 UTILITY TRANSFORMER, SEE ELECTRICAL.
- S92 SITE LIGHTING. SEE LIGHTING.
- S93 GROUND-MOUNTED WARNING SIGN. SIGN SHALL CONTAIN THE LANGUAGE "TRAIL ENDS".

SITE LIGHTING LEGEND

- SXH: STRUCTURA (8'-0" TALL)
MAC II XL 96 L30 4 S S 277 STD
- SXK: US ARCHITECTURAL (20' - 0" TALL)
RZR-OPTICS-80LED-525MA-NV-VOLTAGE-FINISH
- SXN: LOUIS POULSEN (12' - 0" TALL)
TOLDBOD 11.4 POST 1000014728

PROPOSED DEVELOPMENT

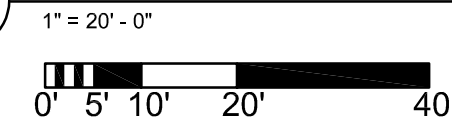
NEW BUILDING: MULTIGENERATIONAL FACILITY
SQUARE FOOTAGE: FIRST LEVEL = 11,107 SF
 SECOND LEVEL = 4,450 SF
 TOTAL = 15,557 GF

PARKING ANALYSIS

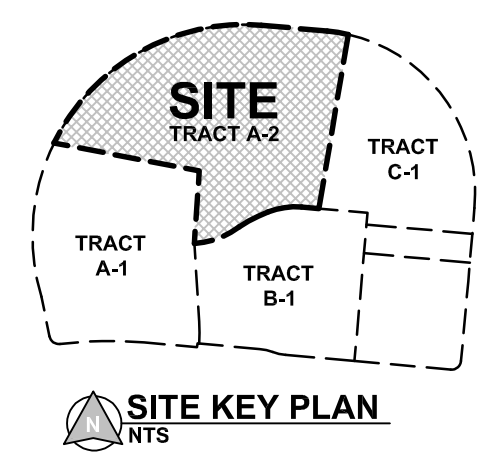
PER COA IDO OFF-STREET PARKING REQUIREMENTS
REQUIRED: MULTI-GEN CENTER (COMMUNITY CENTER)
 2 SPACES / 1,000 SQ FT
 11,107 GSF = 23 PARKING SPACES
 23 TOTAL SPACES REQUIRED
 4 (3+1 VAN) ACCESSIBLE SPACES REQUIRED
 1 MOTORCYCLE SPACE REQUIRED
PROVIDED: 63 (56+3 COMPACT+4 EV READY) TOTAL SPACES
 6 (5+1 VAN) ACCESSIBLE SPACES
 2 MOTORCYCLE SPACES

DEVELOPMENT FACILITATION TEAM
PROJECT NUMBER: PR-2023-009382
APPLICATION NUMBER: SI-2024-00739
PROJECT NAME: City Multigenerational Center At 10751 Cibola Loop NW

A1 ENLARGED SITE PLAN



TO KEYSTONE APARTMENTS



fbt architects
 6501 Americas Parkway NE, Suite 300
 Albuquerque, NM 87110
 505.883.5200
 www.fbtarch.com

CONSULTANTS

- CIVIL**
High Mesa
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250
- LANDSCAPE**
Groundwork Studio
 6501 Americas Parkway NE, Suite 350
 Albuquerque, NM 87110
 p_505.212.9126
- STRUCTURAL**
Chavez-Grievas Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102
 Albuquerque, NM 87109
 p_505.344.4080
- M/E/P/FP**
Bridgers & Paxton
 4500-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111
- LIGHTING**
Older Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733
- INTERIORS**
Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

SURVEY INFORMATION		FIELD NOTES		REVISIONS		DATE	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
1	2024.06.17	1		1		1	
2	2024.07.10	2		2		2	
3		3		3		3	
4		4		4		4	

CITY OF ALBUQUERQUE

PROJECT TITLE:
COA CIBOLA LOOP MULTIGENERATIONAL CENTER
 10751 Cibola Loop NW
 Albuquerque, NM 87114

CONSTRUCTION DOCUMENTS
 JUNE 12, 2024

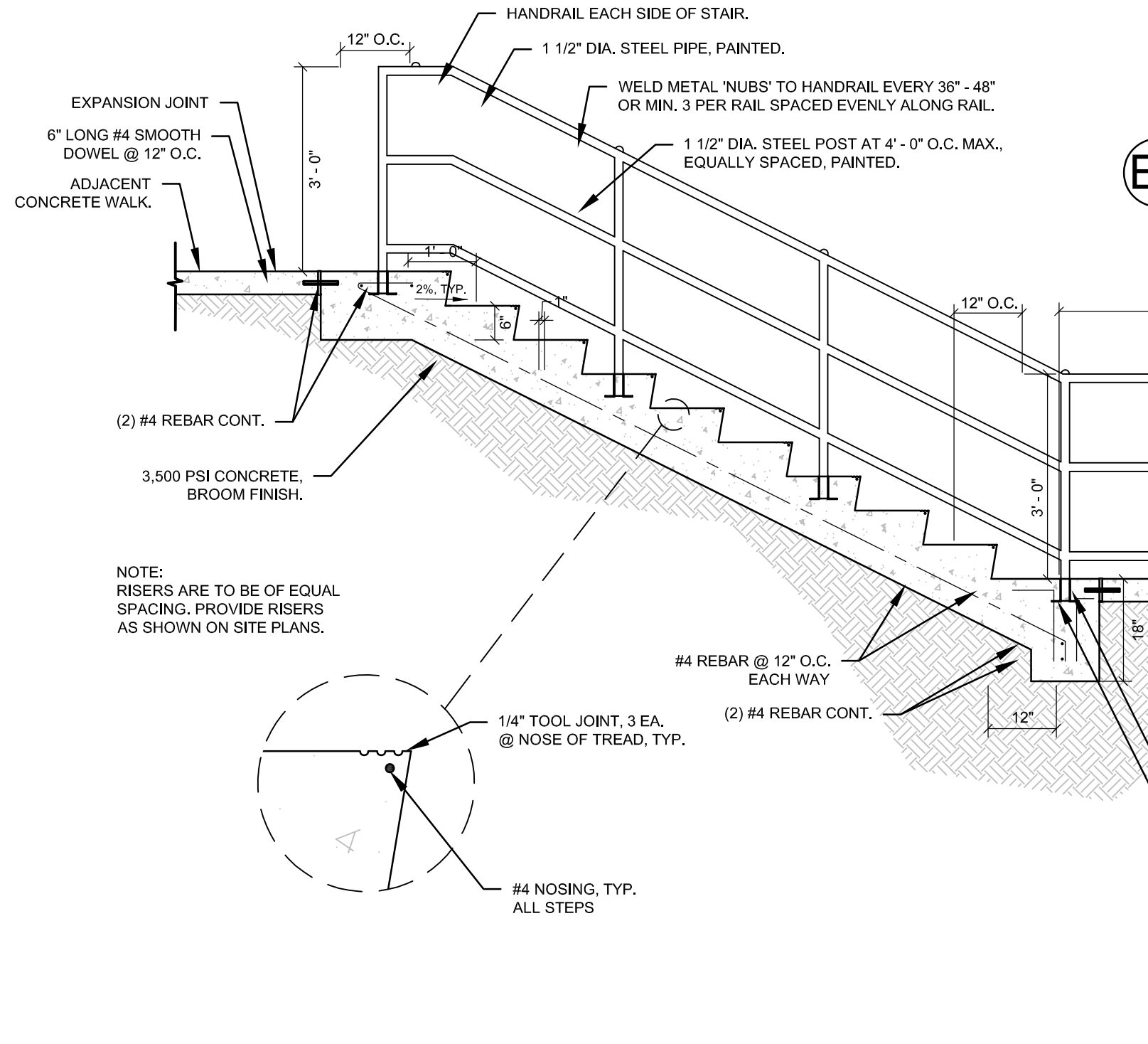
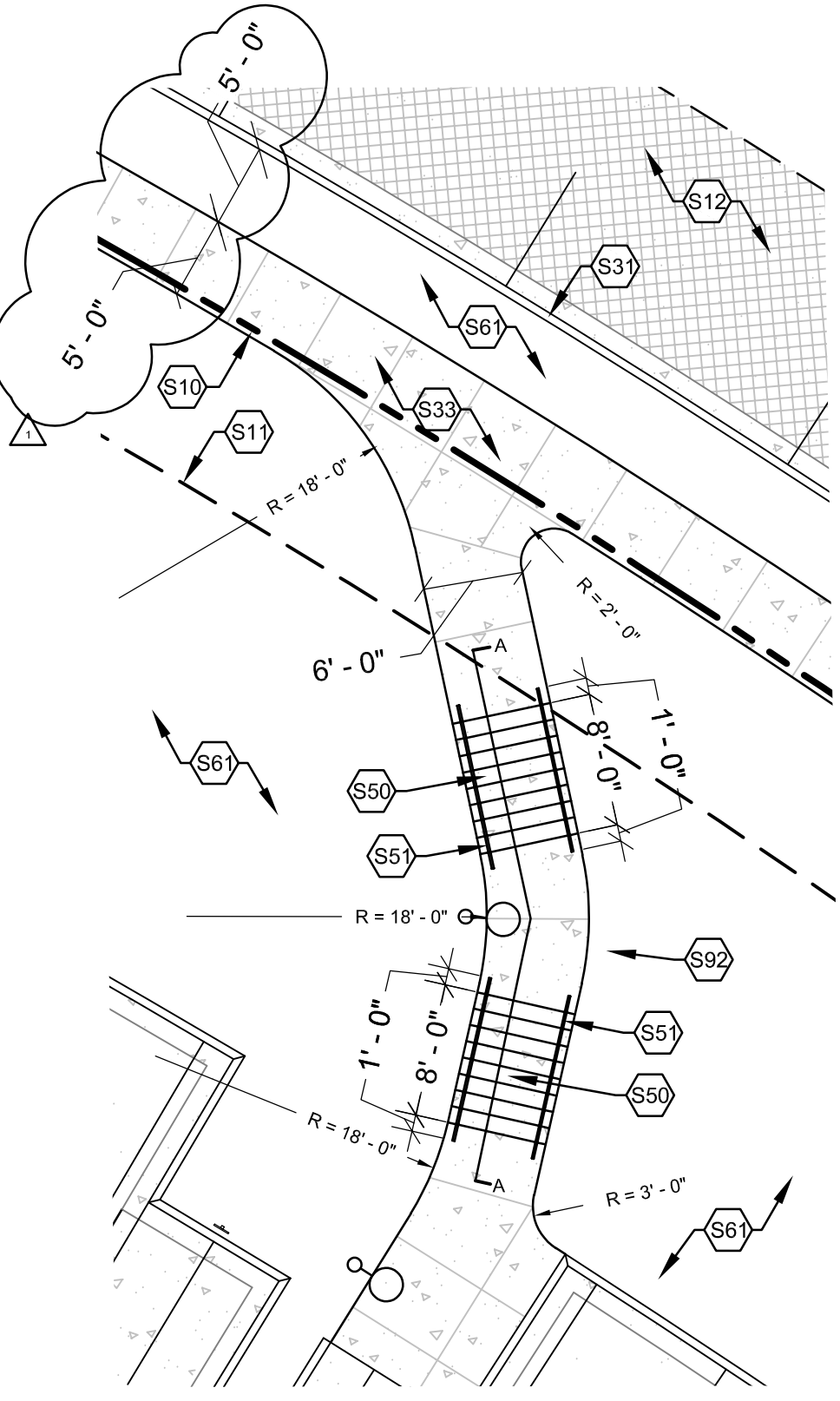
DRAWING TITLE: ENLARGED SITE PLAN

Design Review Committee	City Engineer Approval	Ms. Dwyer	Ms. Dwyer
		2024.04.30	

City Project No. P7882.16 Zone Map No. A-13-Z DWG. AS-101 Sheet

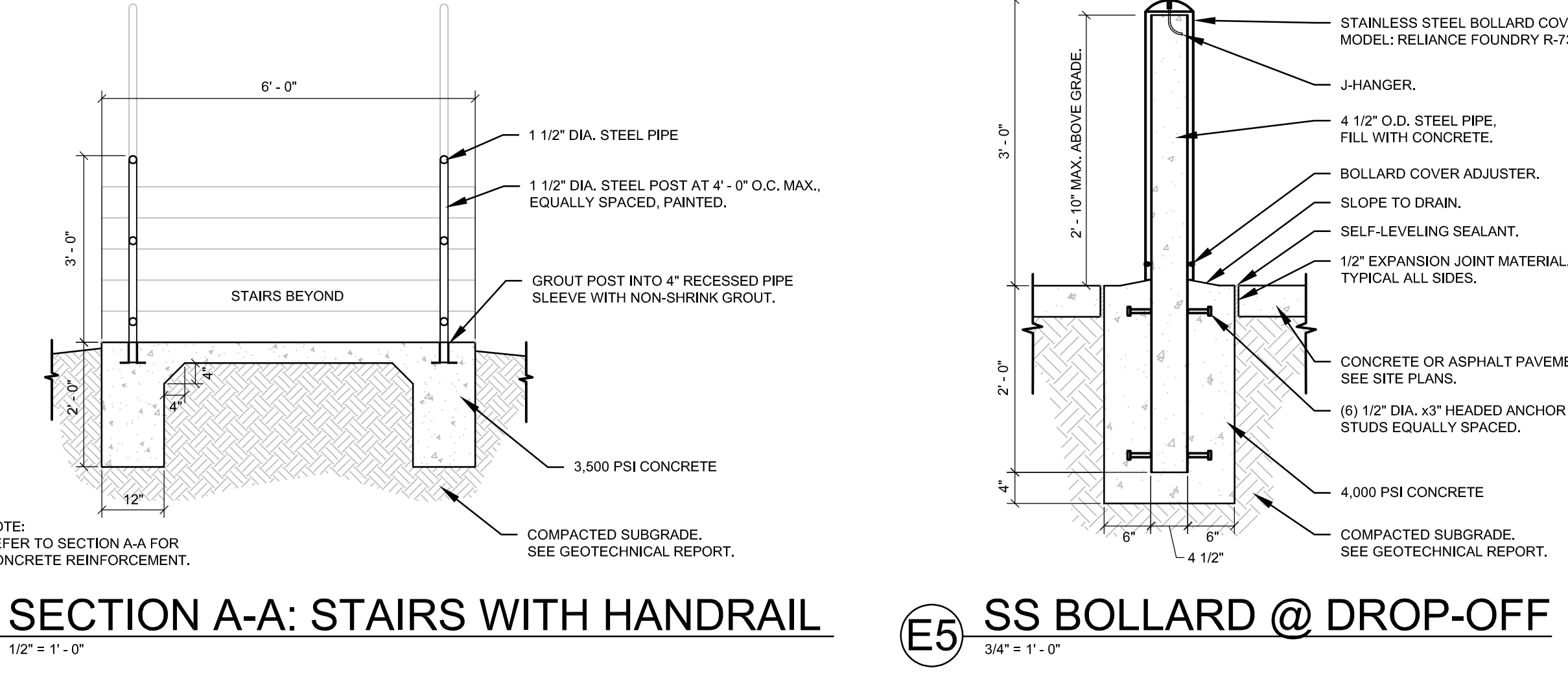
DEVELOPMENT FACILITATION TEAM

PROJECT NUMBER: PR-2023-009382
APPLICATION NUMBER: SI-2024-00739
PROJECT NAME: City Multigenerational Center At 10751 Cibola Loop NW



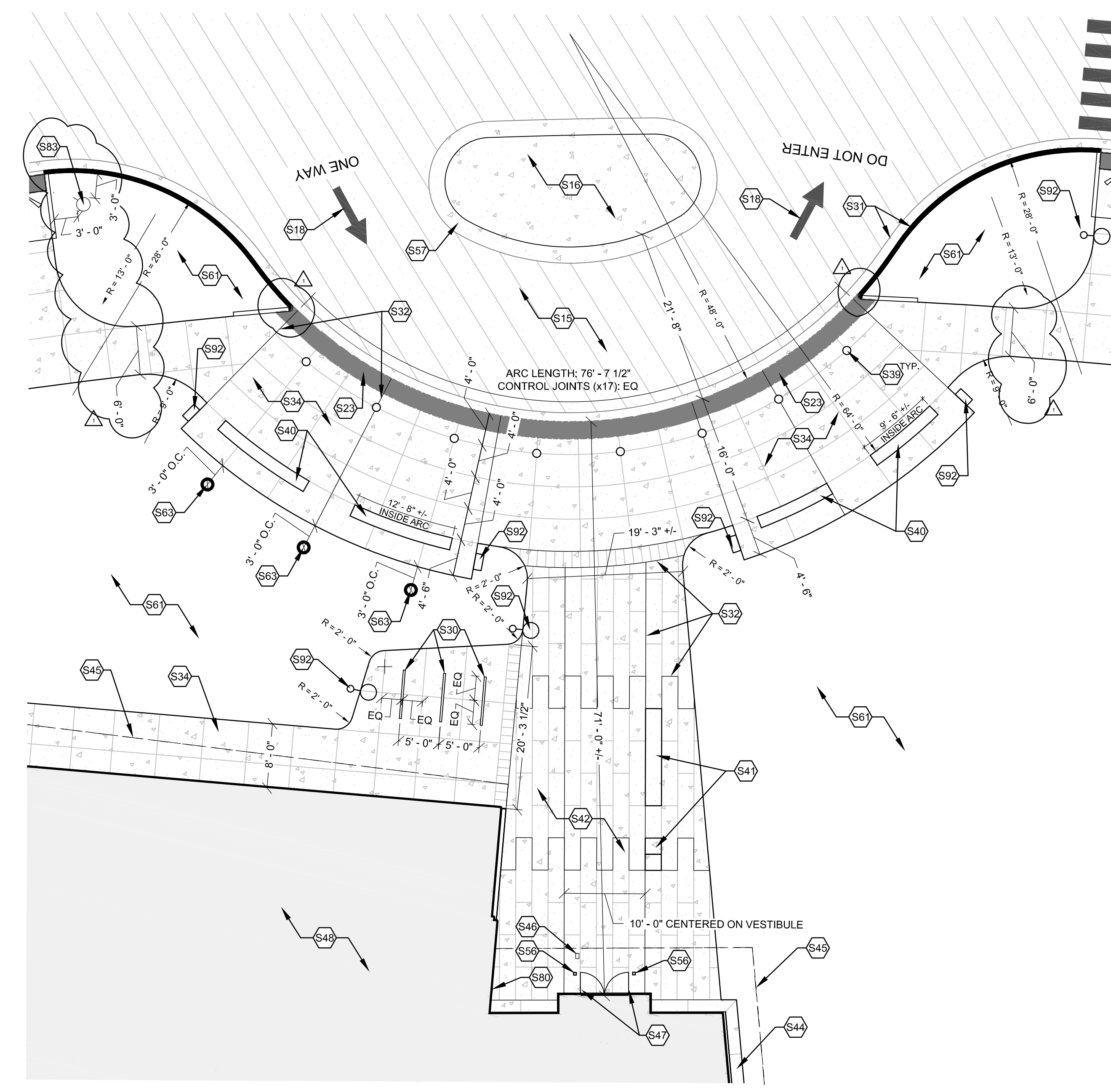
D1 ENLARGED STAIR PLAN
1" = 10'-0"

D2 SECTION A-A: STAIRS WITH HANDRAIL
1/2" = 1'-0"

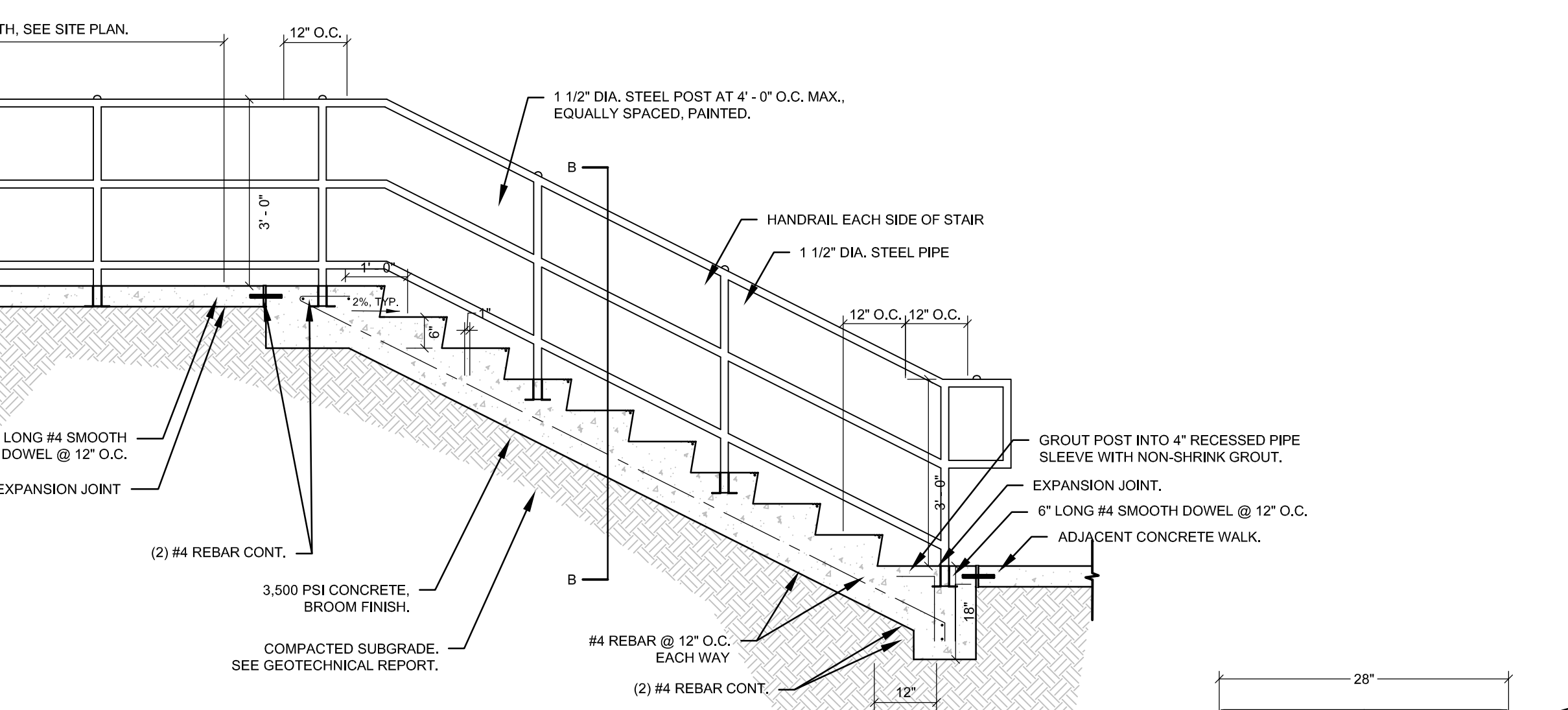


E4 SECTION A-A: STAIRS WITH HANDRAIL
1/2" = 1'-0"

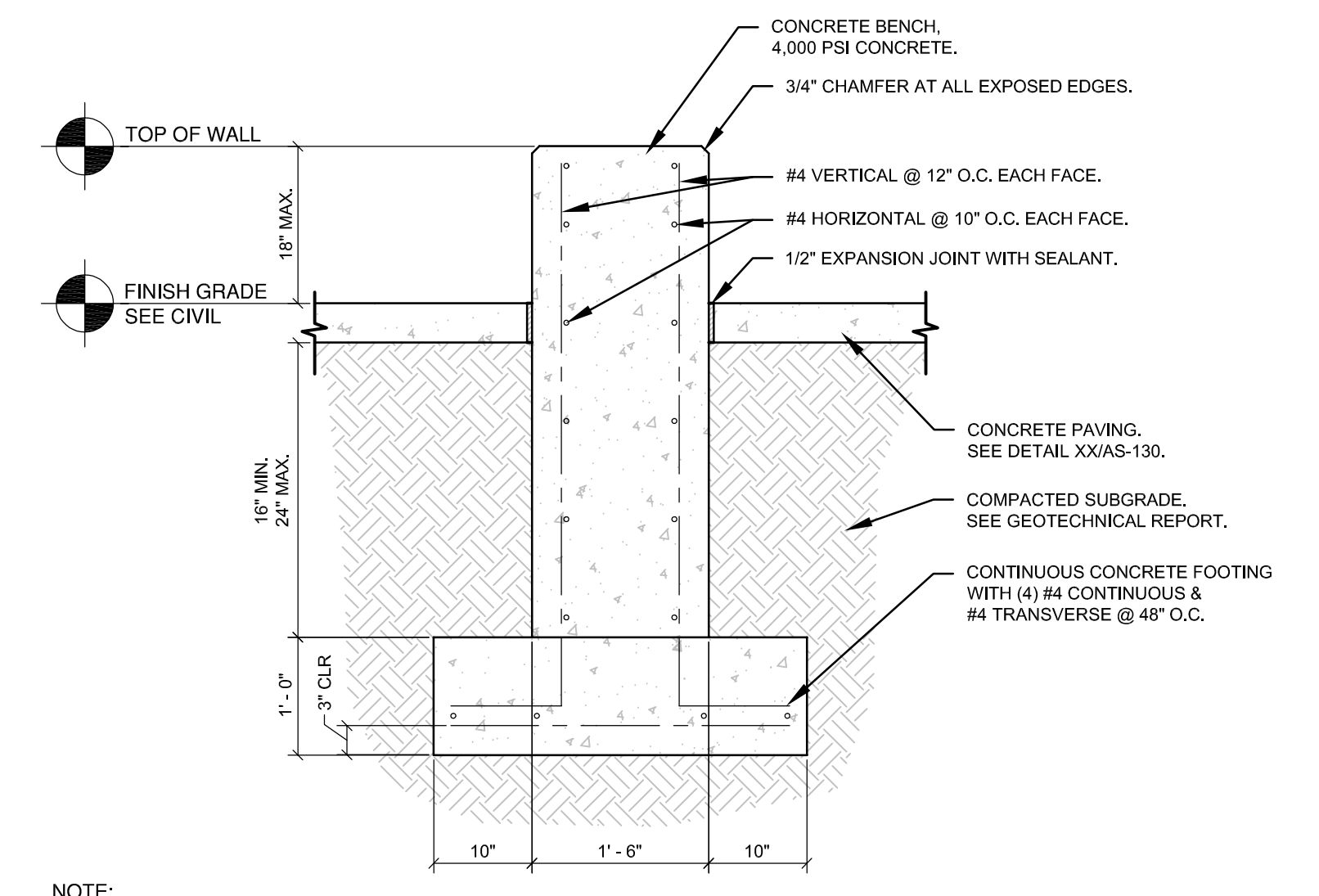
E5 SS BOLLARD @ DROP-OFF
3/4" = 1'-0"



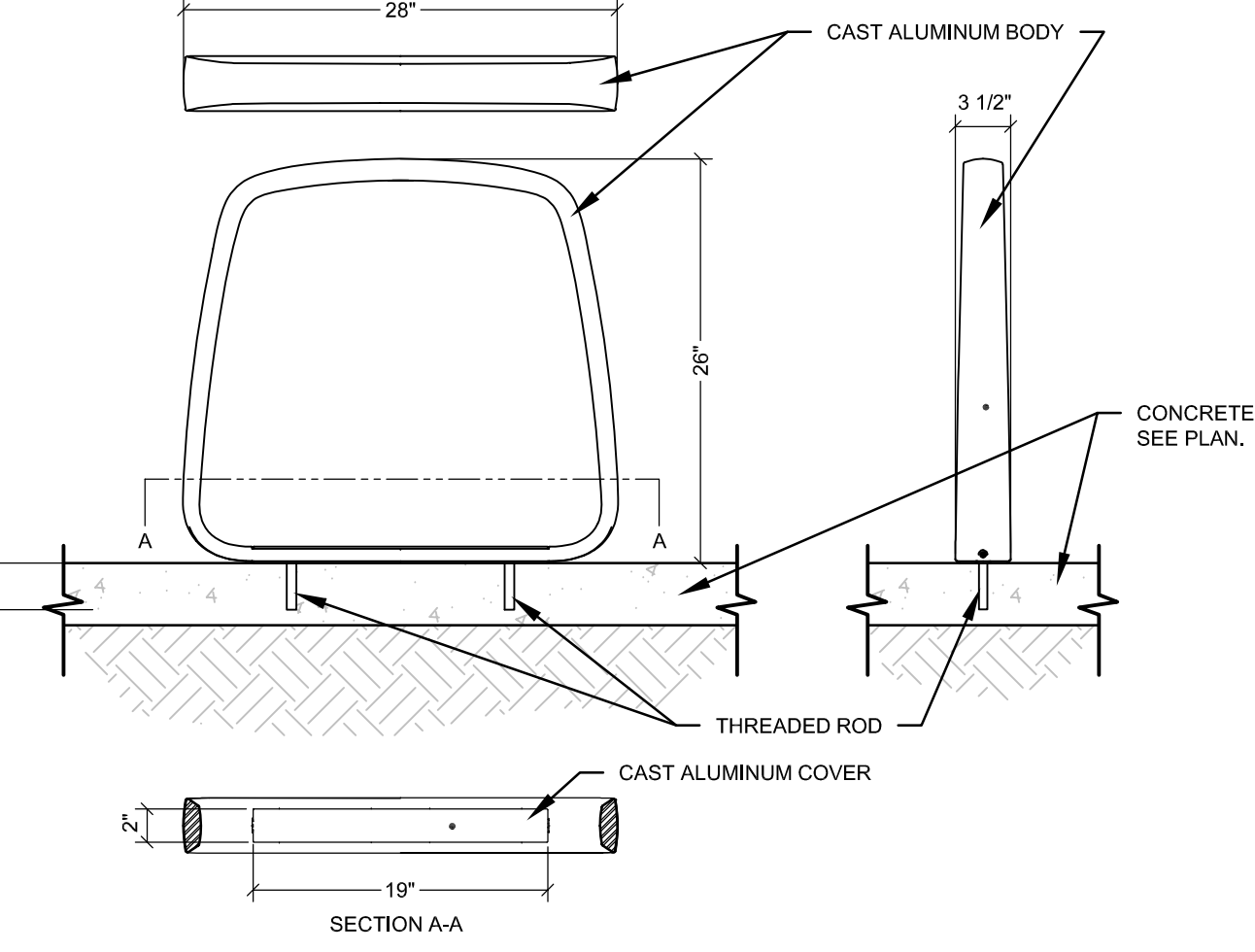
A1 ENLARGED MAIN ENTRY PLAN
1" = 10'-0"



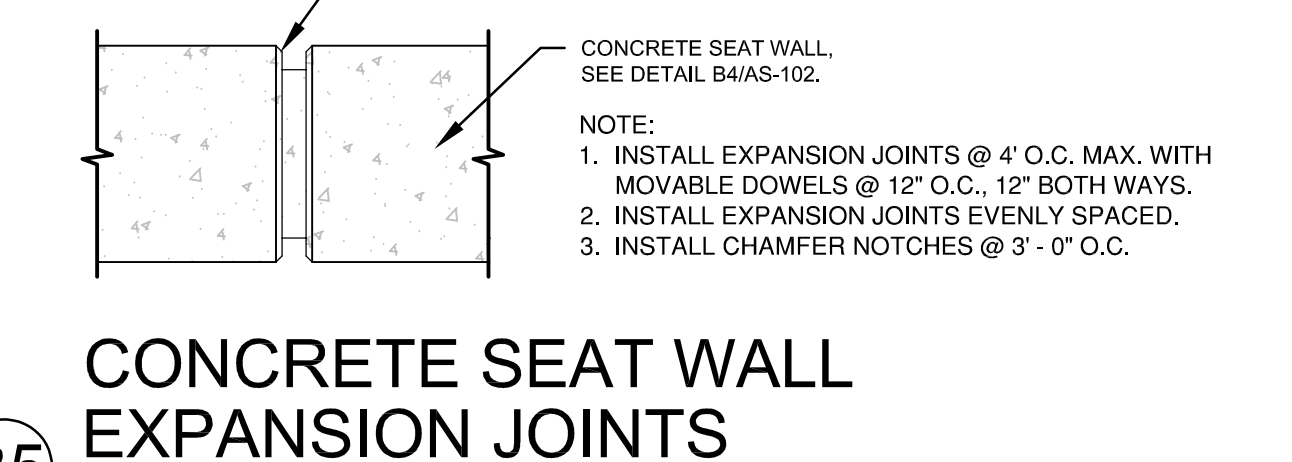
A4 ENLARGED BACK PATIO PLAN
1" = 10'-0"



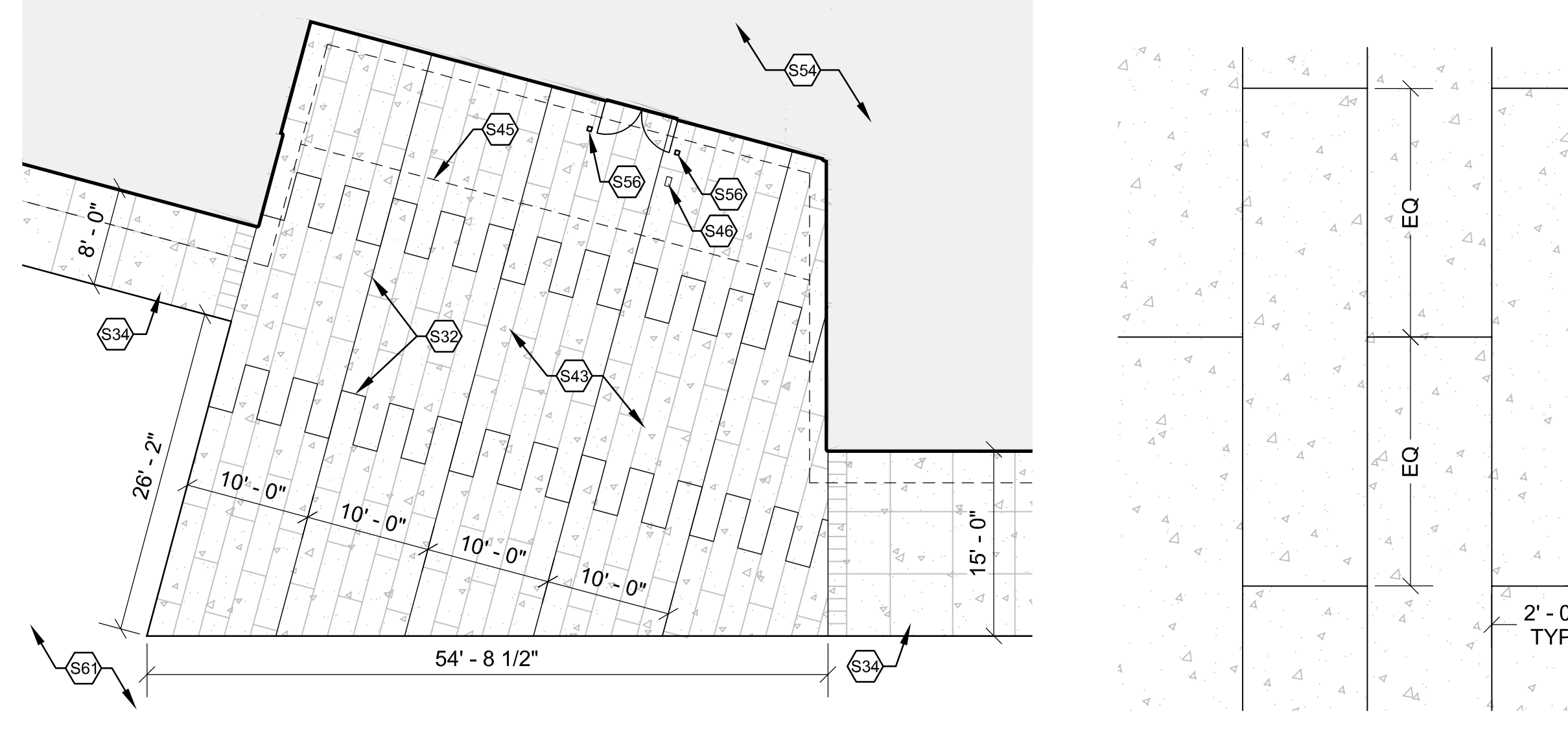
B4 CONCRETE SEAT WALL
3/4" = 1'-0"



C5 BIKE RACK DETAIL
1" = 1'-0"



B5 CONCRETE SEAT WALL EXPANSION JOINTS
3/4" = 1'-0"



A5 CONTROL JOINT DETAIL
1/2" = 1'-0"

KEYED NOTES	
S10	PROPERTY LINE.
S11	10' - 0" PUBLIC UTILITY EASEMENT.
S12	NEW ASPHALT-PAVED DRIVE LANE FOR EXPANDED RIGHT-OF-WAY. SEE COA STD. DWG. 2405A/B FOR TYPICAL LOCAL STREET DETAILS.
S15	ASPHALT PAVING, TYPICAL.
S16	CONCRETE ISLAND.
S18	PAINTED PARKING LOT 10' - 0" LENGTH ARROWS AND 30" HEIGHT LETTERING. TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR - WHITE.
S23	ACCESSIBLE DROP-OFF. INSTALL TRUNCATED DOME TO DESIGNATE THRESHOLD BETWEEN CONCRETE SIDEWALK AND ASPHALT DRIVE. RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2448 FOR DETECTABLE WARNING DEVICE DETAILS.
S30	BICYCLE RACKS, PAINTED, PER COA STANDARDS. (3 SPACES REQUIRED / 6 SPACES PROVIDED). SEE DETAIL CS/AS-102.
S31	CONCRETE CURB & GUTTER SYSTEM, TYPICAL. SEE SITE DETAILS & CIVIL.
S32	EXPANSION JOINT. SEE DETAIL B3/AS-130.
S33	CONCRETE SIDEWALK PER COA STANDARDS.
S34	4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH TURN DOWN EDGE AT ALL EXPOSED EDGES.
S39	STAINLESS STEEL BOLLARD COVER, MODEL: RELIANCE FOUNDARY R-7301. REFER TO DETAIL BS/AS-102.
S40	CAST-IN-PLACE CONCRETE SEAT WALL AT DROP-OFF (16" HIGH x 18" DEEP x LENGTH VARIES, TYPICAL). SEE DETAIL BS/AS-102.
S41	OWNER-PROVIDED SEATING.
S42	ENTRY PLAZA: 4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH 2x8 CONTROL JOINTS IN RUNNING BOND CONFIGURATION, WITH TURN-DOWN EDGE. FOR PATTERN REFER TO DETAIL AS/AS-102, FOR CONTROL JOINT DETAIL REFER TO B3/AS-130.
S43	CONCRETE PATIO: 4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH 2x8 CONTROL JOINTS IN RUNNING BOND CONFIGURATION, WITH TURN-DOWN EDGE. FOR PATTERN REFER TO DETAIL AS/AS-102, FOR CONTROL JOINT DETAIL REFER TO B3/AS-130.
S44	1" - 6" CONCRETE MOW STRIP, TYPICAL. ALL AROUND BUILDING PERIMETER.
S45	LINE OF BUILDING OVERHANG OR CANOPY ABOVE.
S46	FREESTANDING ADA AUTOMATIC DOOR ACTUATOR.
S47	MAIN ENTRY DOORS. SEE FLOOR PLANS.
S48	BUILDING INTERIOR. SEE FLOOR PLANS.
S50	CONCRETE STAIRS.
S51	STEEL HANDRAILS.
S56	DOORSTOP POST.
S57	MOUNTABLE CURB. SEE DETAIL C4/AS-130.
S61	LANDSCAPING. SEE LANDSCAPE.
S63	FLAGPOLES: CENTER POLE: 30' - 0" SIDE POLES: 25' - 0". SEE SITE DETAILS AND LIGHTING FOR ILLUMINATION REQUIREMENTS.
S67	WALL MOUNTED KNEX BOX.
S83	FIRE HYDRANT, 3' - 0" MINIMUM FROM BACK OF CURB AND EDGE OF SIDEWALK. SEE CIVIL.
S92	SITE LIGHTING. SEE LIGHTING.

GENERAL NOTES	
A.	A. SUB GRADE PREPARATION AND SOIL COMPACTION AT ALL CONCRETE WORK SHALL COMPLY WITH REQUIREMENTS ON CIVIL DRAWINGS AND GEOTECHNICAL REPORT.
B.	PROVIDE BROOM FINISH ON CONCRETE SIDEWALK, UNLESS NOTED OTHERWISE.
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D.	FOR INFORMATION ON UTILITIES SEE SITE SURVEY SHEET, CIVIL UTILITY PLANS, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
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6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110 505.893.5200
www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250

LANDSCAPE
Groundwork Studio
 6501 Americas Parkway NE, Suite 300
 Albuquerque, NM 87110
 p_505.212.9126

STRUCTURAL
Chavez-Grieves Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102
 Albuquerque, NM 87109
 p_505.344.4080

M/E/P/P
Bridgers & Paxton
 4800-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111

LIGHTING
Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
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INTERIORS
Studio M
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CITY OF ALBUQUERQUE

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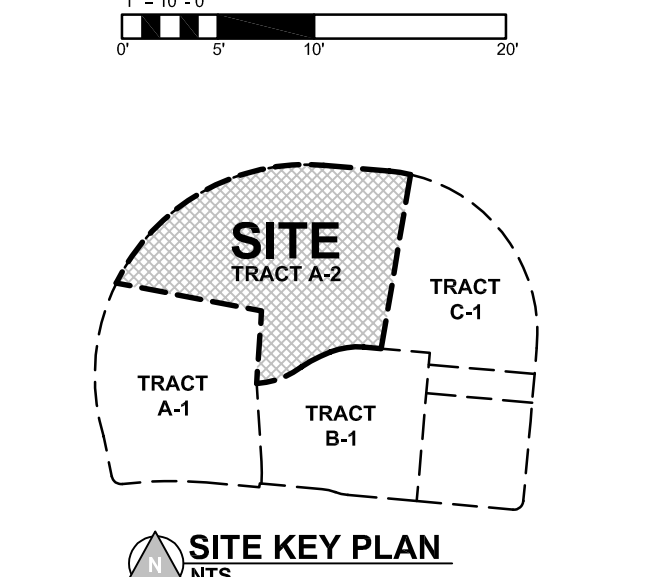
CONSTRUCTION DOCUMENTS
 JUNE 12, 2024

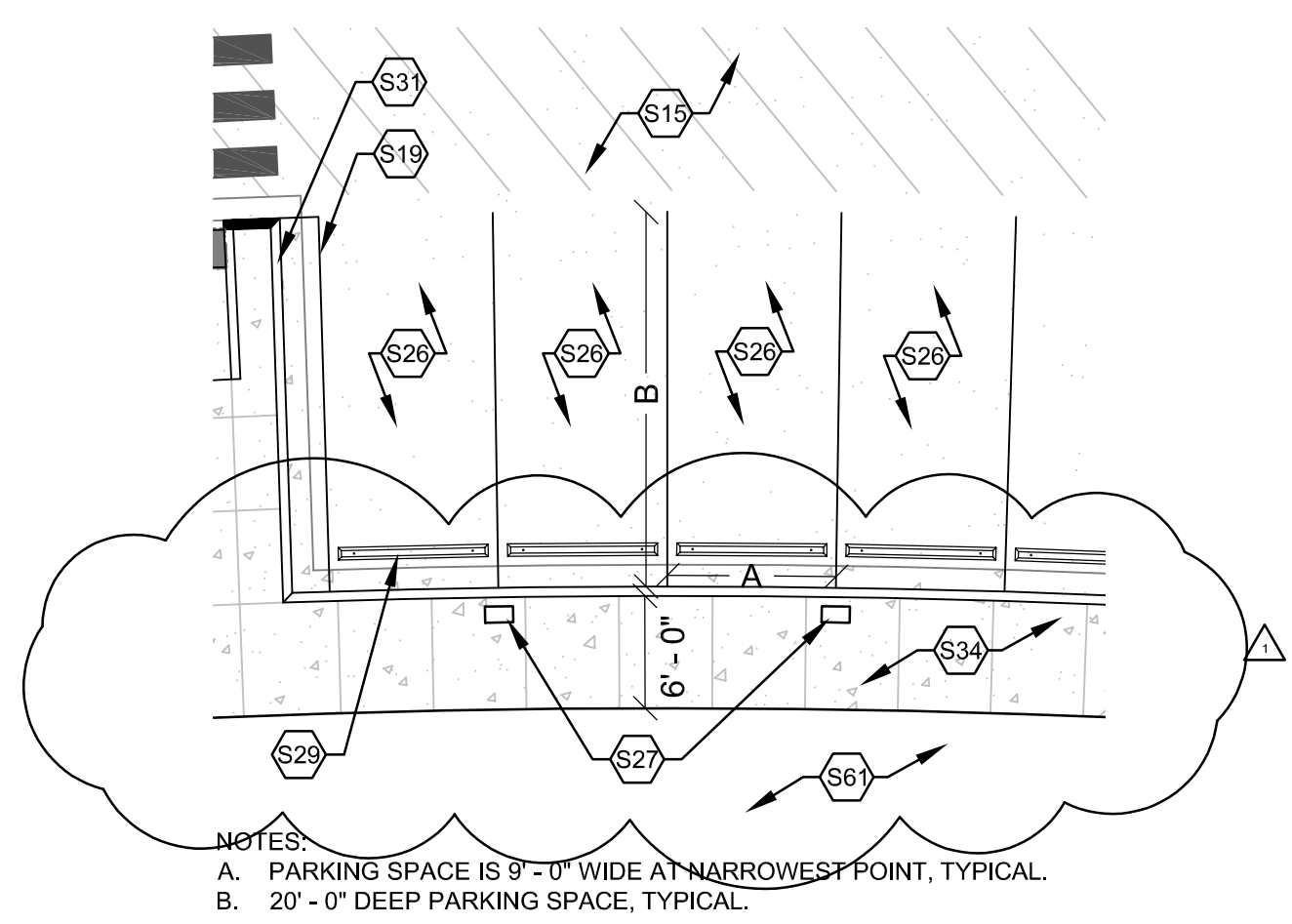
DRAWING TITLE: ENLARGED PATHS & PATIO PLANS

Design Review Committee	City Engineer Approval	Mo. Drawn/yr.	Mo. Drawn/yr.
		2024.04.30	

City Project No. P7882.16 Zone Map No. A-13-Z DWG. AS-102 Sheet

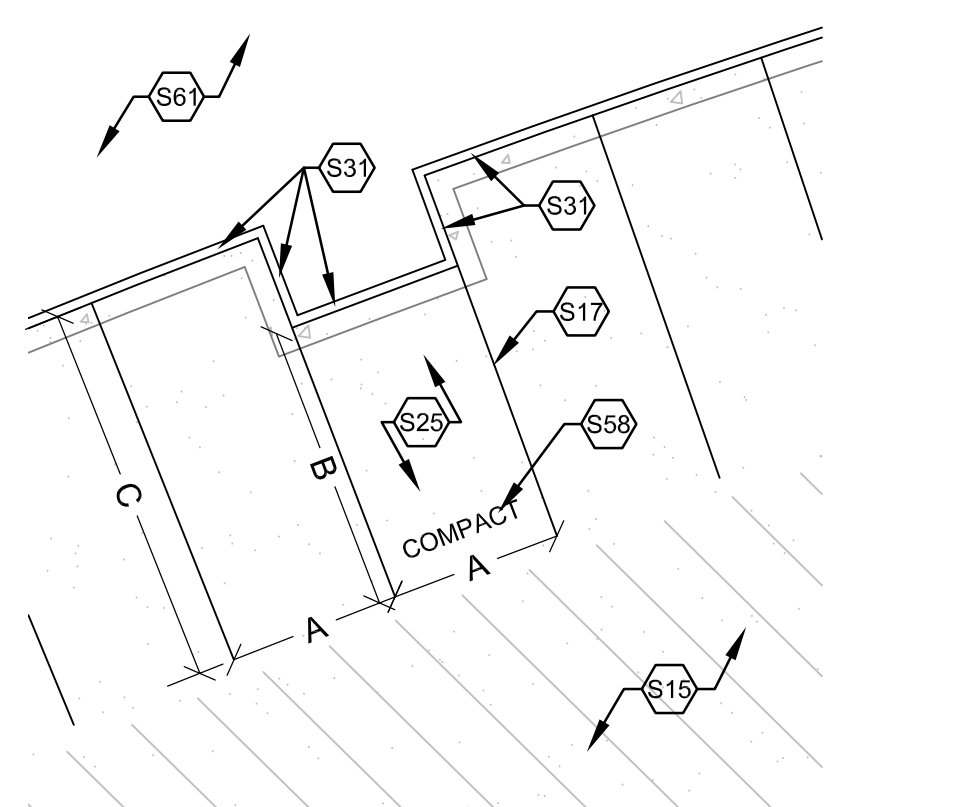
AS BUILT INFORMATION		SURVEY INFORMATION		FIELD NOTES		BENCH MARKS	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE





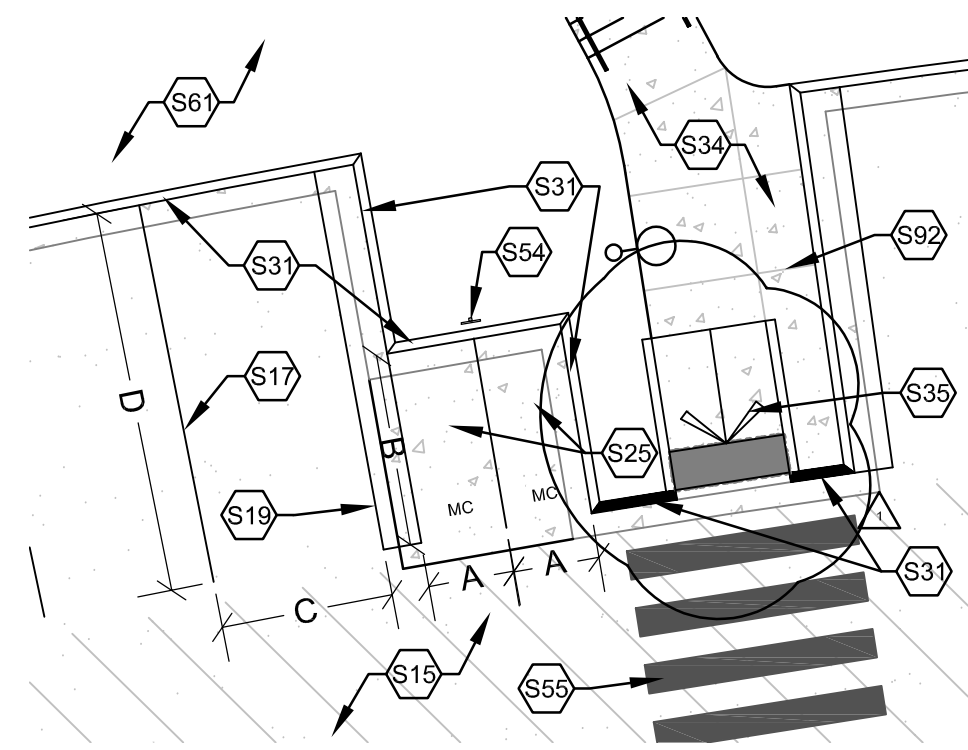
E1 ENLARGED EV PARKING PLAN
1" = 10' - 0"

- NOTES:
 A. PARKING SPACE IS 9' - 0" WIDE AT NARROWEST POINT, TYPICAL.
 B. 20' - 0" DEEP PARKING SPACE, TYPICAL.



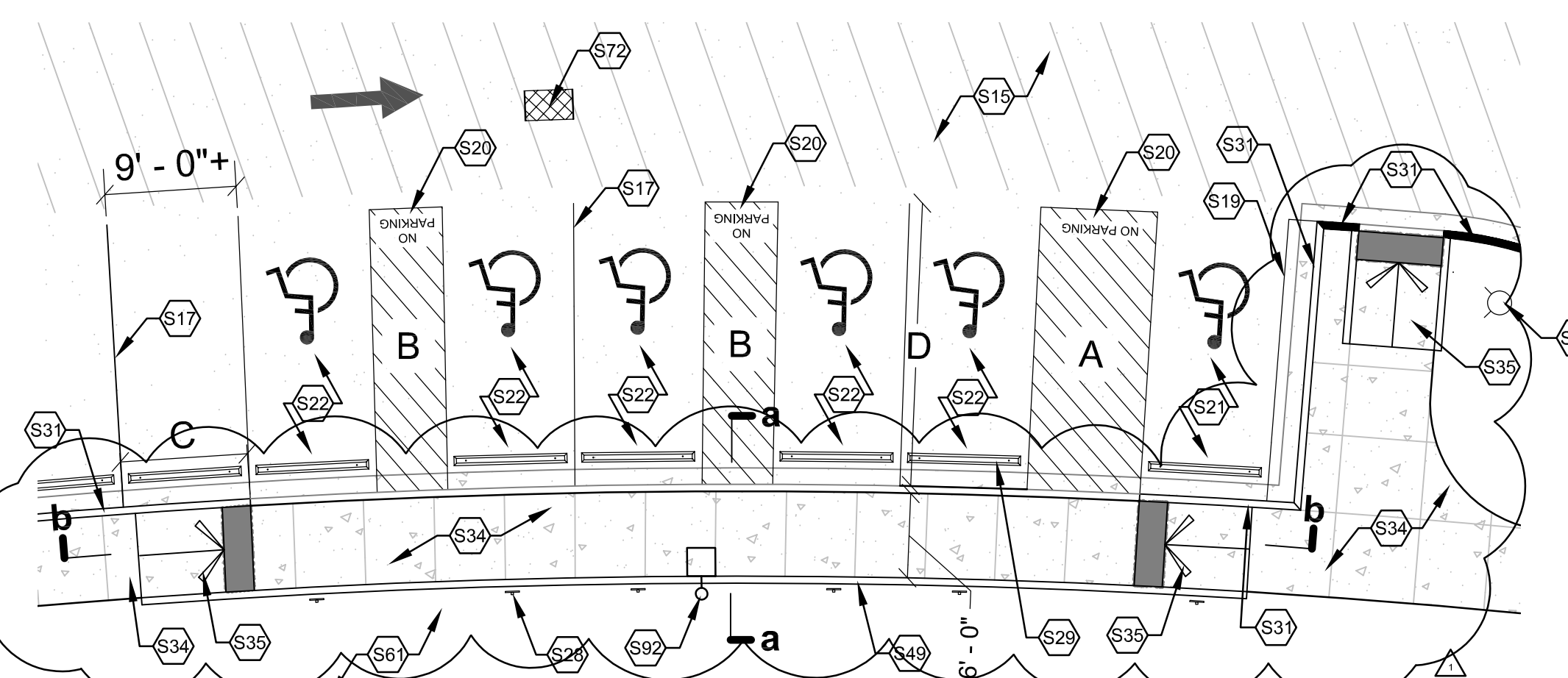
D1 ENLARGED COMPACT PARKING PLAN
1" = 10' - 0"

- NOTES:
 A. PARKING SPACE IS 9' - 0" WIDE AT NARROWEST POINT, TYPICAL.
 B. 15' - 0" DEEP COMPACT PARKING SPACE, TYPICAL.
 C. 20' - 0" DEEP PARKING SPACE, TYPICAL.



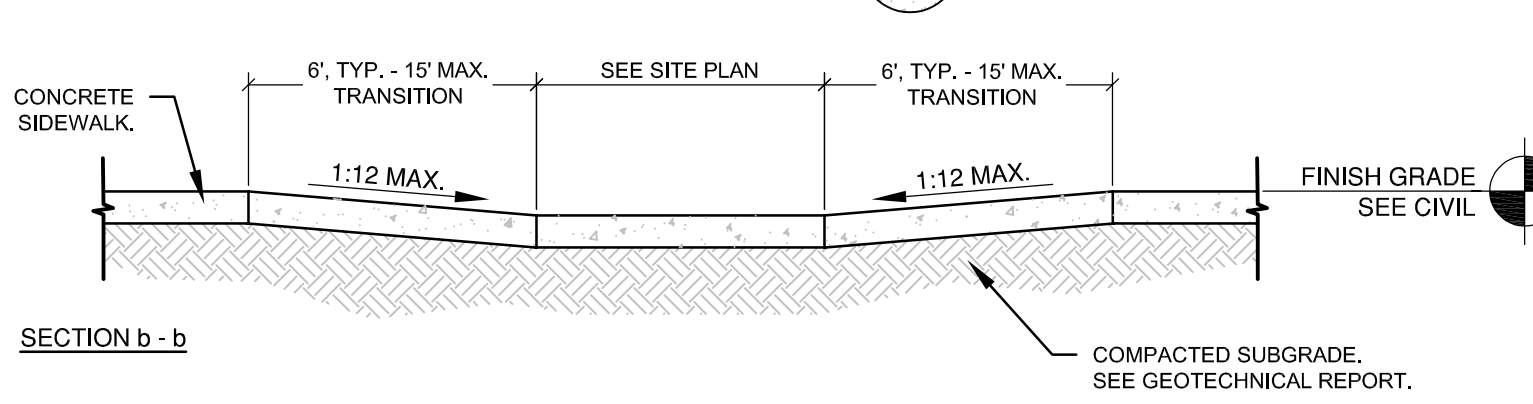
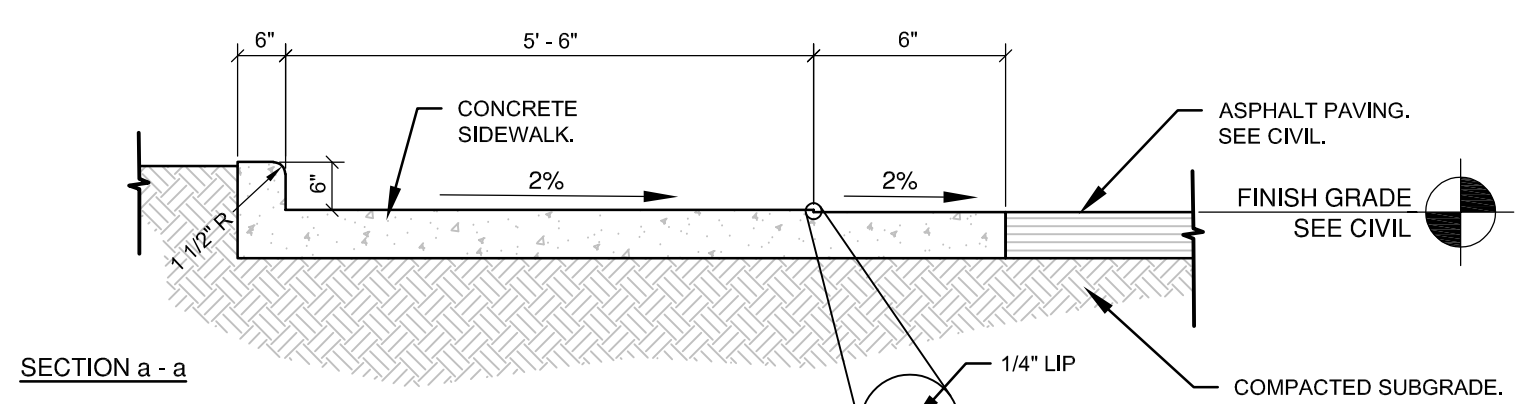
B1 ENLARGED MOTORCYCLE PARKING PLAN
1" = 10' - 0"

- NOTES:
 A. 4' - 6" WIDE MOTORCYCLE PARKING SPACE
 B. 10' - 0" DEEP MOTORCYCLE PARKING SPACE, TYPICAL.
 C. PARKING SPACE IS 9' - 0" WIDE AT NARROWEST POINT, TYPICAL.
 D. 20' - 0" DEEP PARKING SPACE, TYPICAL.



A1 ENLARGED ACCESSIBLE PARKING PLAN
1" = 10' - 0"

- NOTES:
 A. 8' - 0" x 20' - 0" VAN ACCESSIBILITY AISLE
 B. 5' - 0" x 20' - 0" ACCESSIBILITY AISLE
 C. PARKING SPACE IS 9' - 0" WIDE AT NARROWEST POINT, TYPICAL.
 D. 20' - 0" DEEP PARKING SPACE, TYPICAL.
 E. SECTIONS A-A & B-B, SEE A3/AS-103 (THIS SHEET).



- NOTE:
 1. AVOID PLACING DRAINAGE STRUCTURES, TRAFFIC SIGNAL EQUIPMENT, JUNCTION BOXES OR OTHER OBSTRUCTIONS IN FRONT OF RAMP ACCESS AREAS.
 2. RAMP SLOPES SHALL NOT BE STEEPER THAN 2%, THE TRANSITIONS SHALL HAVE A MAXIMUM SLOPE OF 1:12.
 3. DETECTABLE WARNINGS SHALL BE ARMOR-TILE TACTILE SYSTEMS, CAST-IN-PLACE SYSTEMS, BRICK RED OR APPROVED EQUAL. INSTALLATION SHALL BE DONE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

A3 ACCESSIBLE RAMP
1/2" = 1' - 0"

KEYED NOTES	
S15	ASPHALT PAVING, TYPICAL.
S16	CONCRETE ISLAND.
S17	PAINTED PARKING LOT 4" WIDE STRIPING, TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
S18	PAINTED PARKING LOT 10' - 0" LENGTH ARROWS AND 30" HEIGHT LETTERING, TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
S19	2" PAINTED BUFFER AT END OF PARKING AISLE, TYPICAL.
S20	ACCESSIBLE PAINTED ACCESS AISLE WITH BLUE DIAGONAL STRIPING AND CAPITALIZED WORDS "NO PARKING", LETTERING SHALL BE 12" HIGH AND 2" WIDE PLACED NEAREST THE DRIVING AISLE WHERE AN ADJACENT VEHICLE'S TIRES WOULD BE PLACED.
S21	ACCESSIBLE VAN PARKING SPACE WITH GROUND-MOUNTED SIGN.
S22	ACCESSIBLE PARKING SPACE WITH GROUND-MOUNTED SIGN.
S23	ACCESSIBLE DROP-OFF, INSTALL TRUNCATED DOME TO DESIGNATE THRESHOLD BETWEEN CONCRETE SIDEWALK AND ASPHALT DRIVE. RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.
S24	COMPACT VEHICLE PARKING, TYPICAL.
S25	MOTORCYCLE PARKING ON STANDARD-DUTY CONCRETE PAD WITH GROUND-MOUNTED SIGN.
S26	(4) EV-READY SPACES.
S27	FUTURE OWNER-PROVIDED EV STATIONS, SEE ELECTRICAL FOR REQUIREMENTS.
S28	12" x 18" GROUND-MOUNTED ADA SIGN WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY, TYPICAL. SIGN SHALL CONTAIN THE REQUIRED LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PER 66-7-352-4C NMSA 1978.
S29	CONCRETE WHEELSTOP, TYPICAL WHERE GROUND-MOUNTED SIGNAGE AND EV CHARGING EQUIPMENT IS PRESENT, SEE SITE DETAILS.
S31	CONCRETE CURB & GUTTER SYSTEM, TYPICAL. SEE SITE DETAILS & CIVIL.
S32	MOUNTABLE CURB AT PARKING ROW ENDS, TYPICAL. SEE COA STD. DWG. 2415B FOR MOUNTABLE ROLL, CURB AND GUTTER DETAIL.
S34	4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH TURN DOWN EDGE AT ALL EXPOSED EDGES.
S35	ACCESSIBLE CURB RAMP, SEE COA STD. DWG. 2443 FOR PARALLEL CURB RAMP DETAILS. INSTALL TRUNCATED DOME IN ALL ADA RAMP, RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.
S38	6" TRAFFIC-RATED BOLLARD.
S49	CONCRETE HEADER CURB.
S51	6" CONCRETE APRON 4,000 PSI 3/4" AGGREGATE WITH 6X6-10/10WWM OR EQUAL WITH 1/2" EXPANSION JOINT BETWEEN PAD AND APRON.
S52	6" MIN. CONCRETE SLAB 4,000 PSI 3/4" AGGREGATE WITH 6X6-10/10WWM OR EQUAL, SLOPE TO DRAIN 1/8" PER FOOT.
S54	GROUND-MOUNTED MOTORCYCLE PARKING SIGN.
S55	PAINTED ACCESS AISLE, 1' - 6" WIDE x 12' - 0" LONG STRIPING, 3' - 0" O.C., CENTER-ALIGNED TO CENTER OF ACCESSIBLE CURB RAMP, TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
S61	LANDSCAPING, SEE LANDSCAPE.
S71	BACKFLOW PREVENTER IN HEATED ENCLOSURE, SEE CIVIL.
S72	DRAIN INLET, SEE CIVIL.
S83	FIRE HYDRANT, 3' - 0" MINIMUM FROM BACK OF CURB AND EDGE OF SIDEWALK, SEE CIVIL.
S92	SITE LIGHTING, SEE LIGHTING.

GENERAL NOTES	
A.	A. SUB GRADE PREPARATION AND SOIL COMPACTION AT ALL CONCRETE WORK SHALL COMPLY WITH REQUIREMENTS ON CIVIL DRAWINGS AND GEOTECHNICAL REPORT.
B.	PROVIDE BROOM FINISH ON CONCRETE SIDEWALK, UNLESS NOTED OTHERWISE.
C.	VERIFY SIDEWALK LAYOUT WITH ARCHITECT PRIOR TO FORMING AND POURING CONCRETE. NO EXCEPTIONS.
D.	FOR INFORMATION ON UTILITIES SEE SITE SURVEY SHEET, CIVIL, UTILITY PLANS, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
E.	CONTRACTOR SHALL PAY FOR AND COORDINATE WITH LOCAL UTILITY COMPANIES FOR ALL UTILITY DISCONNECT, RECONNECT AND DEMO WORK.
F.	ALL SITE ELEMENTS INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, GROUND COVER MATERIAL, ETC. THAT MUST BE REMOVED FROM THE SITE IN ORDER TO ACCOMPLISH NEW WORK SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH SITE FEATURES TO BE DEMOLISHED.
G.	CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING AND PAYING FOR PERMIT FEES ASSOCIATED WITH ENVIRONMENTAL PROTECTION AGENCY AND REQUIREMENTS OF STORM WATER POLLUTION PREVENTION PLAN (SWPPP) COORDINATE WITH ALL REGULATORY AUTHORITIES REGARDING THIS ITEM.
H.	CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE FEATURES, PLANTINGS, AND UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING SITE FEATURES, PLANTINGS, AND UTILITIES TO REMAIN DUE TO CONSTRUCTION OPERATIONS SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
I.	ALL DOWNSPOUT, LANBSTOPPING, ETC. THAT ROUTE ROOF WATER TO GRADE SHALL BE DISCHARGED IN A CONCRETE RUN DOWN, TRENCH GRATE, OR SPLASH BLOCK. SEE CIVIL. FIELD COORDINATE LOCATION OF DISCHARGE POINTS PRIOR TO FORMING AND INSTALLING CONCRETE.
J.	FURNISH AND INSTALL CURB MARKING PAINT (RED FIRE LANE OR YELLOW DROP OFF LANE) ENTIRE LENGTH OF CURB AT BUILDING SIDE OF DROP OFF. COORDINATE WITH FIRE MARSHALL FOR LOCATION OF FIRE LANE MARKINGS.
K.	WHERE NEW CONCRETE PAVEMENT AND/OR CURBING IS SHOWN ADJACENT TO EXISTING, CONTRACTOR SHALL PROVIDE NEW CONCRETE PAVEMENT AND/OR CURBING UP TO AND FLUSH WITH EXISTING, LIMITS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY.
L.	REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS REGARDING NEW ASPHALT AND CONCRETE PAVEMENT.
M.	CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND LAYOUT OF BOTH THE SITE AND BUILDING ELEMENTS. COORDINATE FIELD INFORMATION WITH THE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITY.

AS BUILT INFORMATION		BENCH MARKS	
CONTRACTOR	DATE	NO.	DATE
WORK SHOWN BY	DATE	NO.	DATE
INSPECTORS ACCEPTANCE BY	DATE	NO.	DATE
FIELD VERIFICATION BY	DATE	NO.	DATE
DRAWINGS CORRECTED BY	DATE	NO.	DATE
MICRO-FILM INFORMATION		NO.	DATE
RECORDED BY		NO.	DATE

fbt architects
 6501 Americas Parkway NE, Suite 300
 Albuquerque, NM 87110 | 505.893.5200 | www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250

LANDSCAPE
Groundwork Studio
 6501 Americas Parkway NE, Suite 350
 Albuquerque, NM 87110
 p_505.212.9126

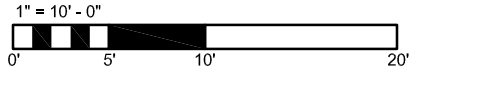
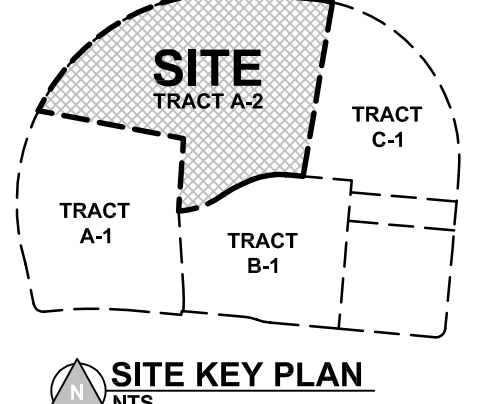
STRUCTURAL
Chavez-Grievens Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102
 Albuquerque, NM 87109
 p_505.344.4080

M/E/P/FP
Bridgers & Paxton
 4500-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111

LIGHTING
Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733

INTERIORS
Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

DEVELOPMENT FACILITATION TEAM
 PROJECT NUMBER: PR-2023-009382
 APPLICATION NUMBER: SI-2024-00739
 PROJECT NAME: City Multigenerational Center At 10751 Cibola Loop NW



CITY OF ALBUQUERQUE

PROJECT TITLE:
COA CIBOLA LOOP MULTIGENERATIONAL CENTER
 10751 Cibola Loop NW
 Albuquerque, NM 87114

CONSTRUCTION DOCUMENTS
 JUNE 12, 2024

DRAWING TITLE: **ENLARGED PARKING PLANS**

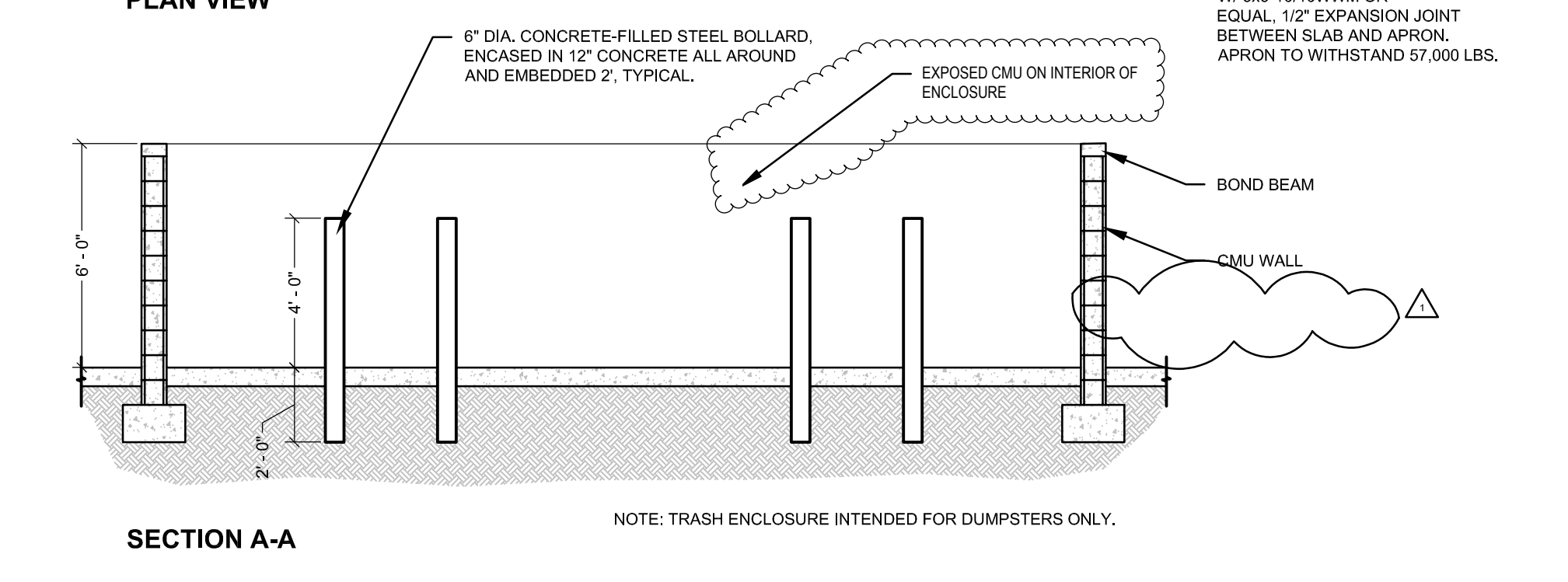
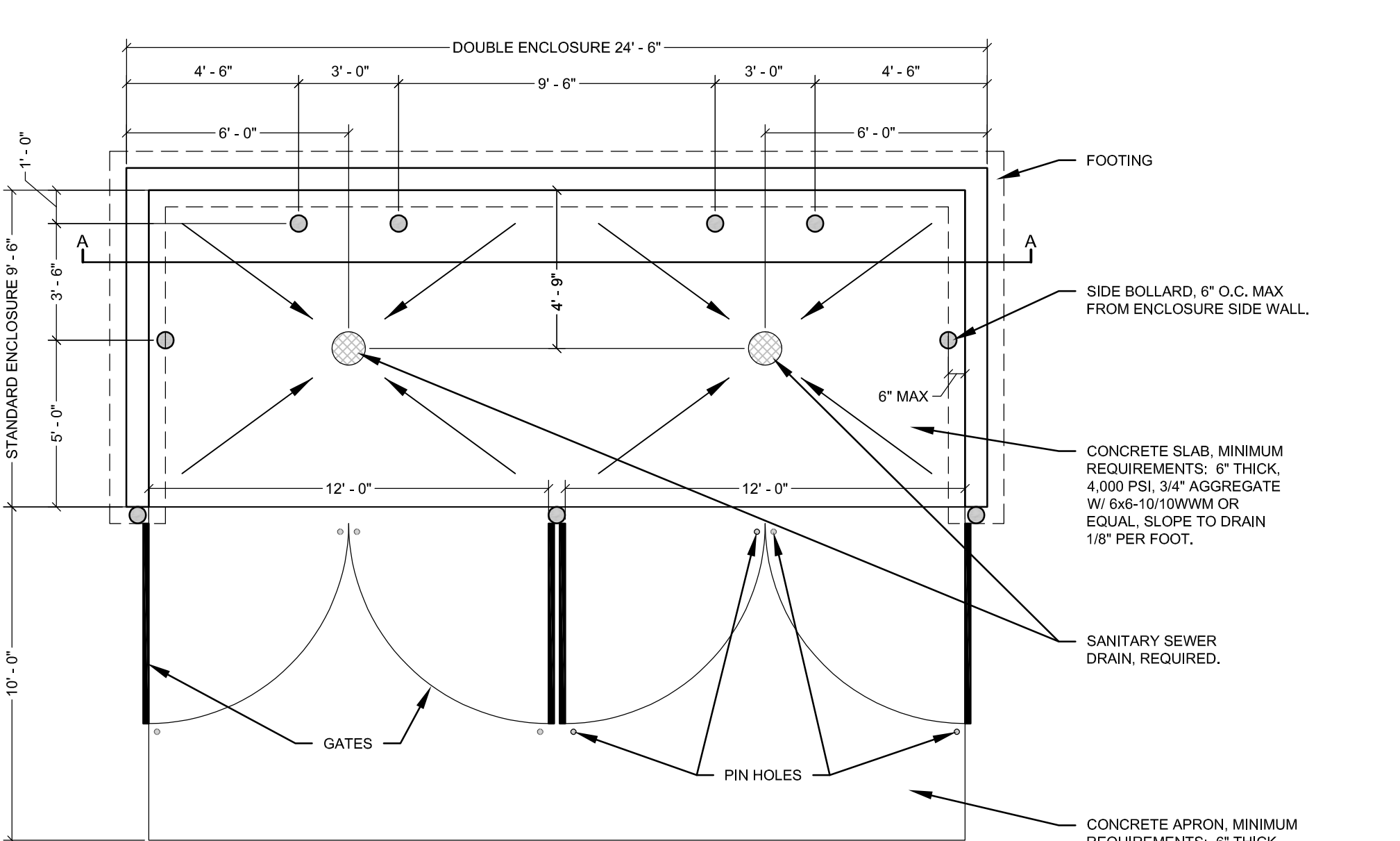
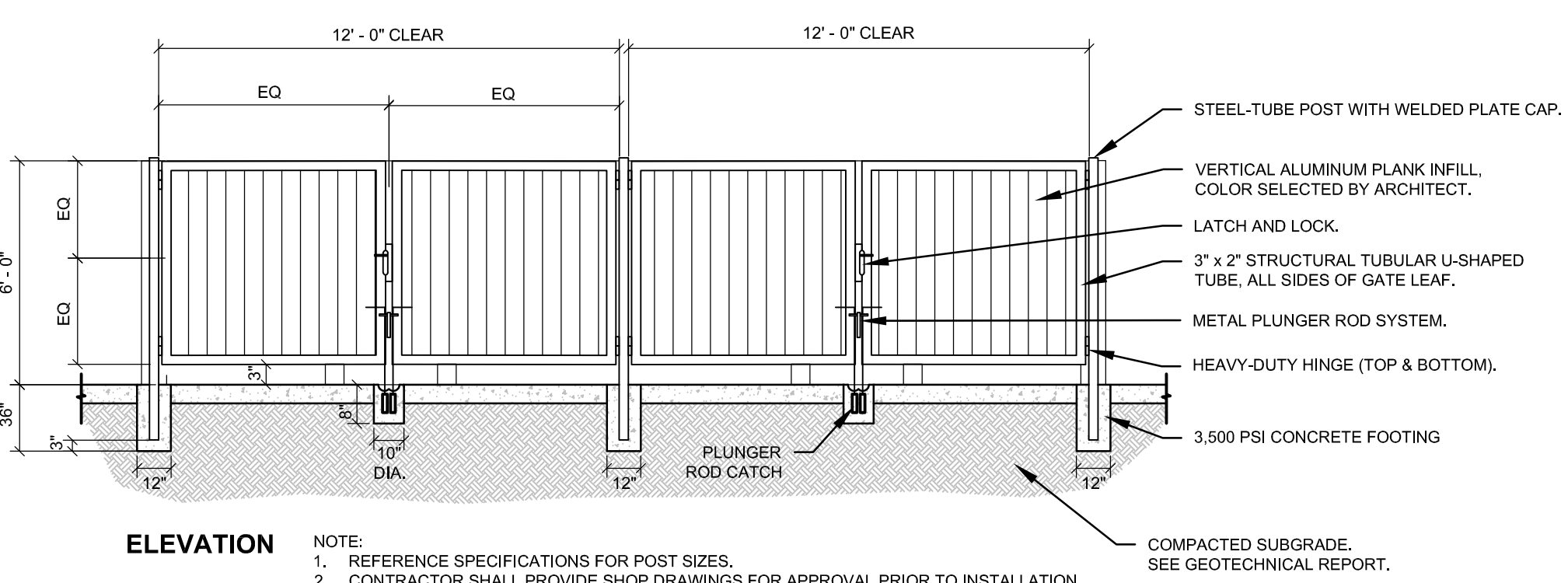
Design Review Committee	City Engineer Approval	Ms./Dwy./Yr.	Ms./Dwy./Yr.
		2024.04.30	
City Project No. P7882.16	Zone Map No. A-13-Z	DWG. AS-103	Sheet

KEYED NOTES

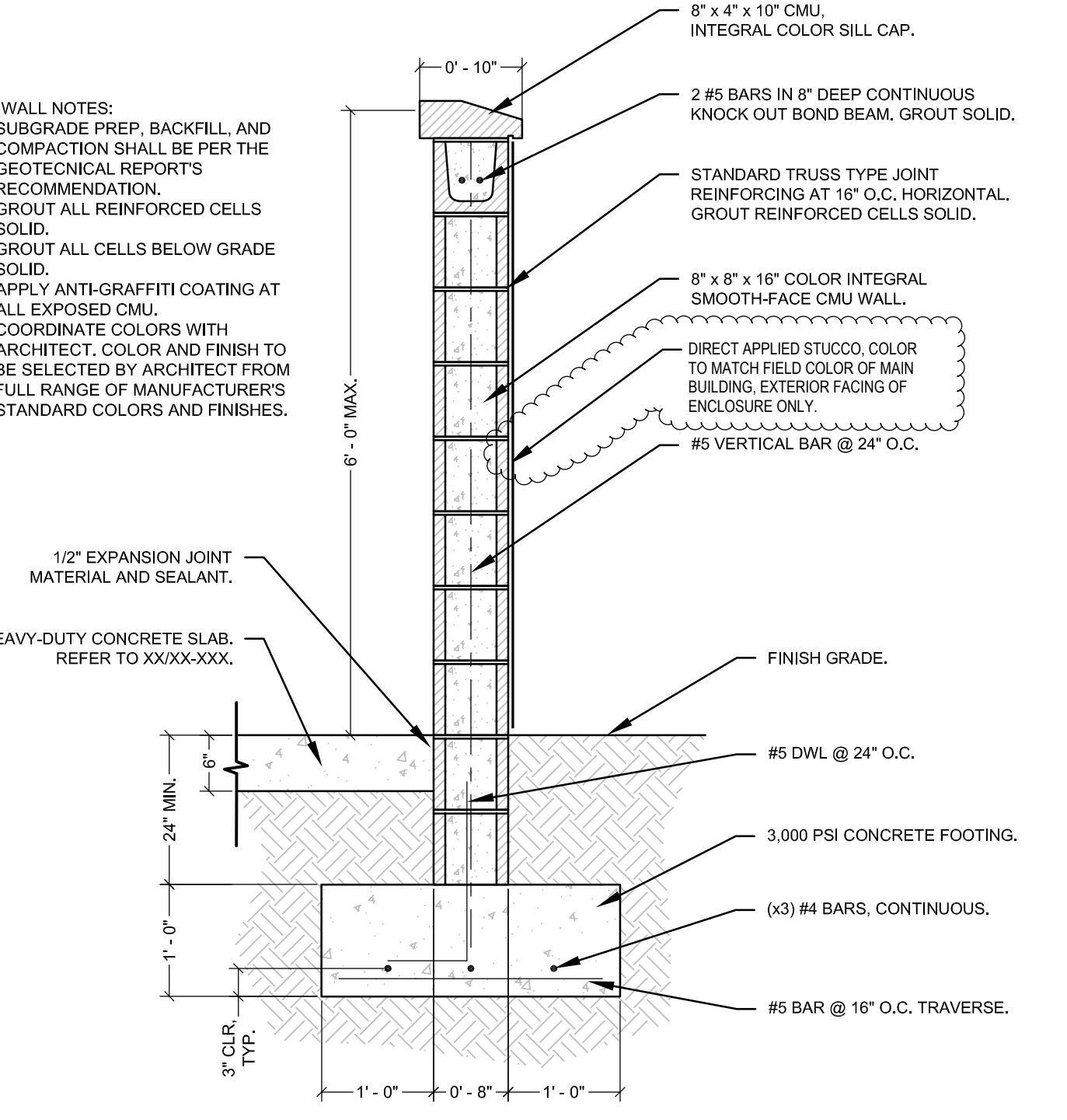
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S61	LANDSCAPING, SEE LANDSCAPE.
S65	REFUSE BIN BY OTHER, NIC.
S66	REFUSE ENCLOSURE CMU WALL.
S67	REFUSE ENCLOSURE SWING GATE.
S68	RECYCLING BIN BY OTHER, NIC.
S71	BACKFLOW PREVENTER IN HEATED ENCLOSURE, SEE CIVIL.
S72	DRAIN INLET, SEE CIVIL.
S74	SANITARY DRAIN, SEE CIVIL.
S81	POST-INDICATOR VALVE (PIV), SEE CIVIL.
S82	REMOTE FDC WITH GROUND-MOUNTED SIGN, SEE CIVIL.
S92	SITE LIGHTING, SEE LIGHTING.

GENERAL NOTES

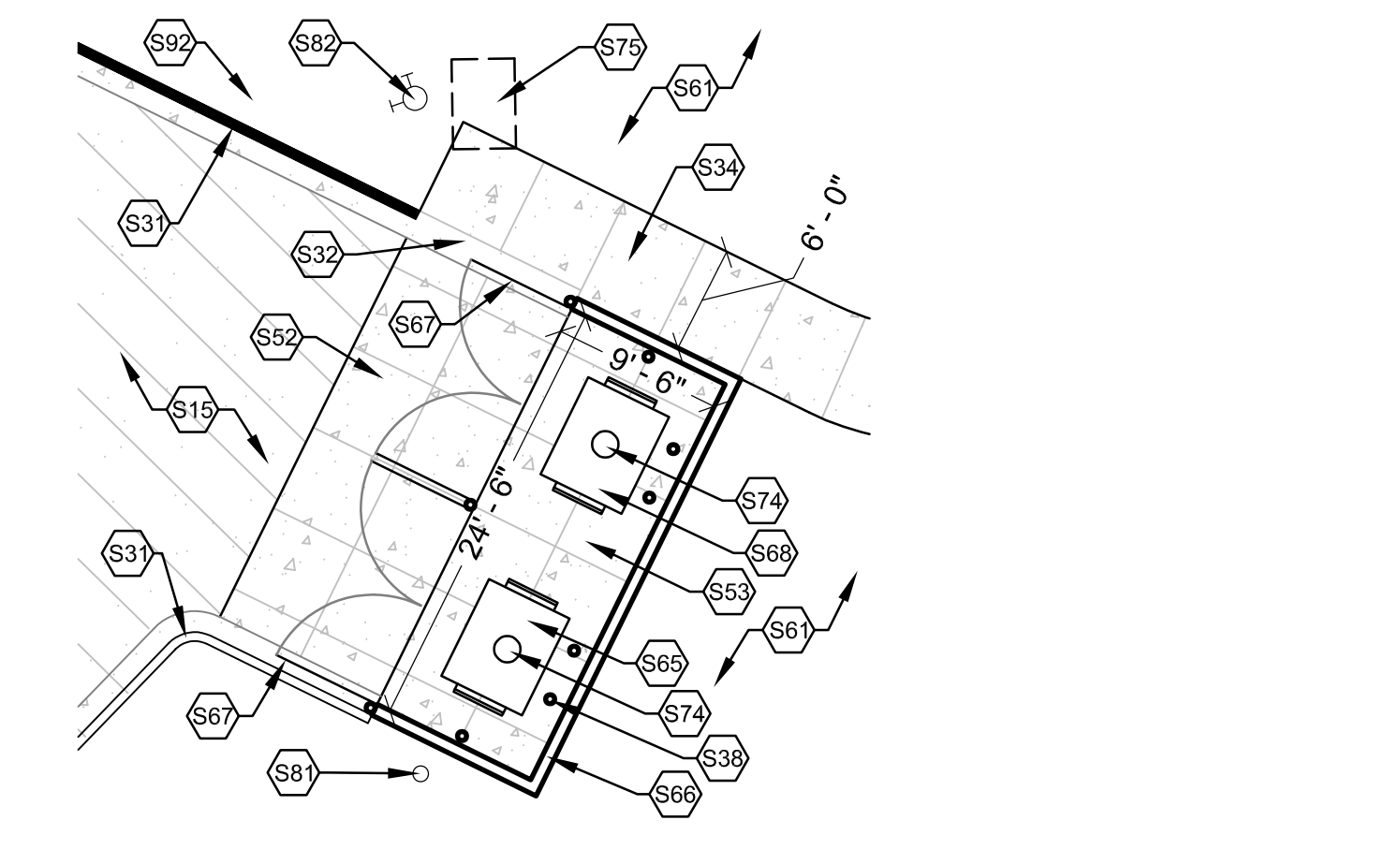
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B1 REFUSE ENCLOSURE DETAIL
1/4" = 1'-0"

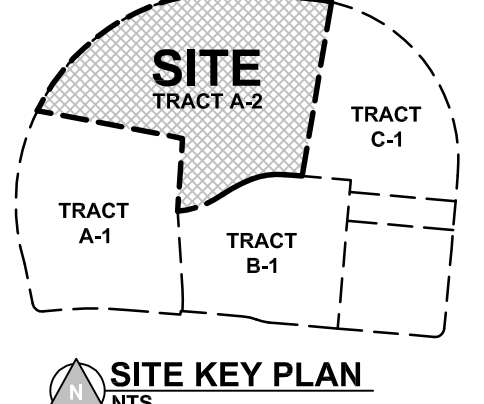


B3 SITE MASONRY WALL
3/4" = 1'-0"



A1 ENLARGED REFUSE ENCLOSURE PLAN
1" = 10'-0"

DEVELOPMENT FACILITATION TEAM
PROJECT NUMBER: PR-2023-009382
APPLICATION NUMBER: SI-2024-00739
PROJECT NAME: City Multigenerational Center At 10751 Cibola Loop NW



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		SEAL ARCHITECT		REGISTERED ARCHITECT	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE



CONSULTANTS
CIVIL
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250
LANDSCAPE
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126
STRUCTURAL
Chavez-Grievos Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080

M/E/P/FP
Bridgers & Paxton
4500-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111
LIGHTING
Oldner Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733

INTERIORS
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

CITY OF ALBUQUERQUE
PROJECT TITLE:
COA CIBOLA LOOP MULTIGENERATIONAL CENTER
10751 Cibola Loop NW
Albuquerque, NM 87114

CONSTRUCTION DOCUMENTS
JUNE 12, 2024
DRAWING TITLE: REFUSE/SOLID WASTE

Design Review Committee	City Engineer Approval	Last Design Update	Mo. Drawn/Yr.	Mo. Issued/Yr.
			2024.04.30	
City Project No. P7882.16	Zone Map No. A-13-Z	DWG. AS-104	Sheet	025 of 145

DRAINAGE CALCULATIONS

Table with columns for SITE CHARACTERISTICS, HYDROLOGY, and CIBOLA LOOP STREET ANALYSIS. Includes calculations for precipitation zone, volume, and discharge for various basins and storm events.

DRAINAGE PLAN

INTRODUCTION AND EXECUTIVE SUMMARY
THIS SITE IS LOCATED IN NORTHWEST ALBUQUERQUE, NORTH OF ELLISON DRIVE NW. THIS CONCEPTUAL DRAINAGE AND ROUGH GRADING PLAN HAS BEEN PREPARED TO SUPPORT DFT SITE PLAN AND ROUGH GRADING APPROVALS FOR THE FIRST PHASE OF SITE WORK AND BUILDING CONSTRUCTION FOR THE PROPOSED CITY OF ALBUQUERQUE MULTI-GENERATIONAL CENTER.

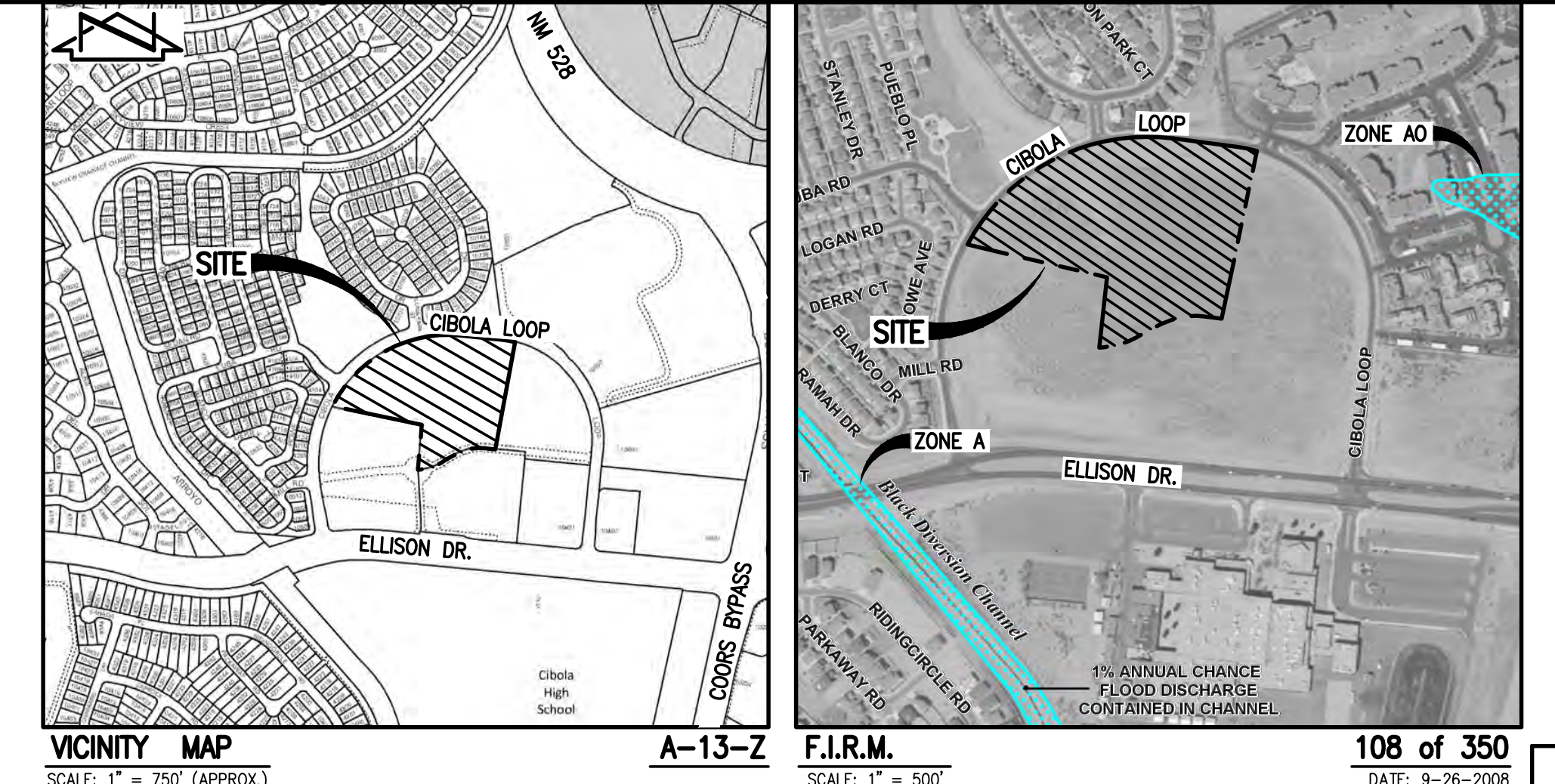
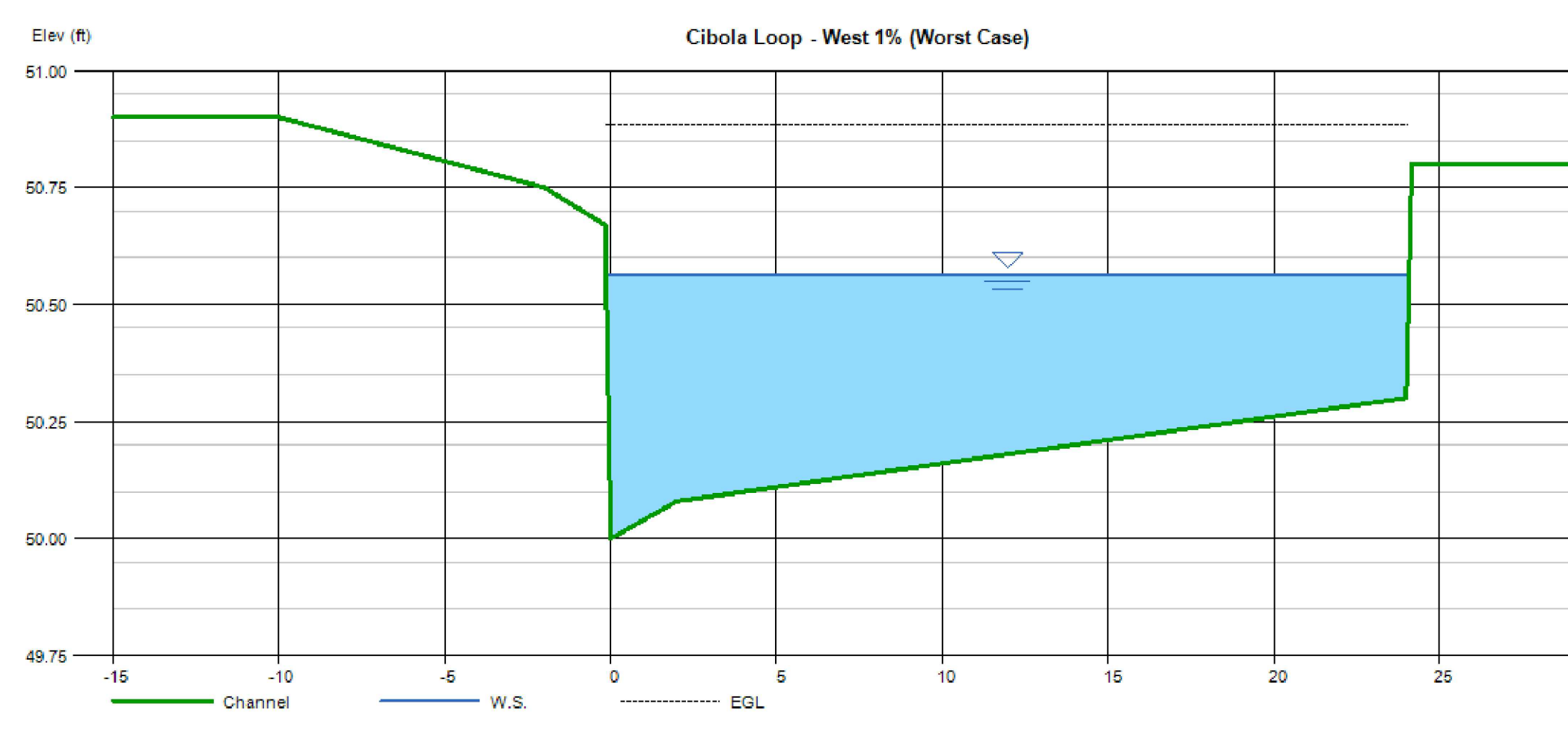
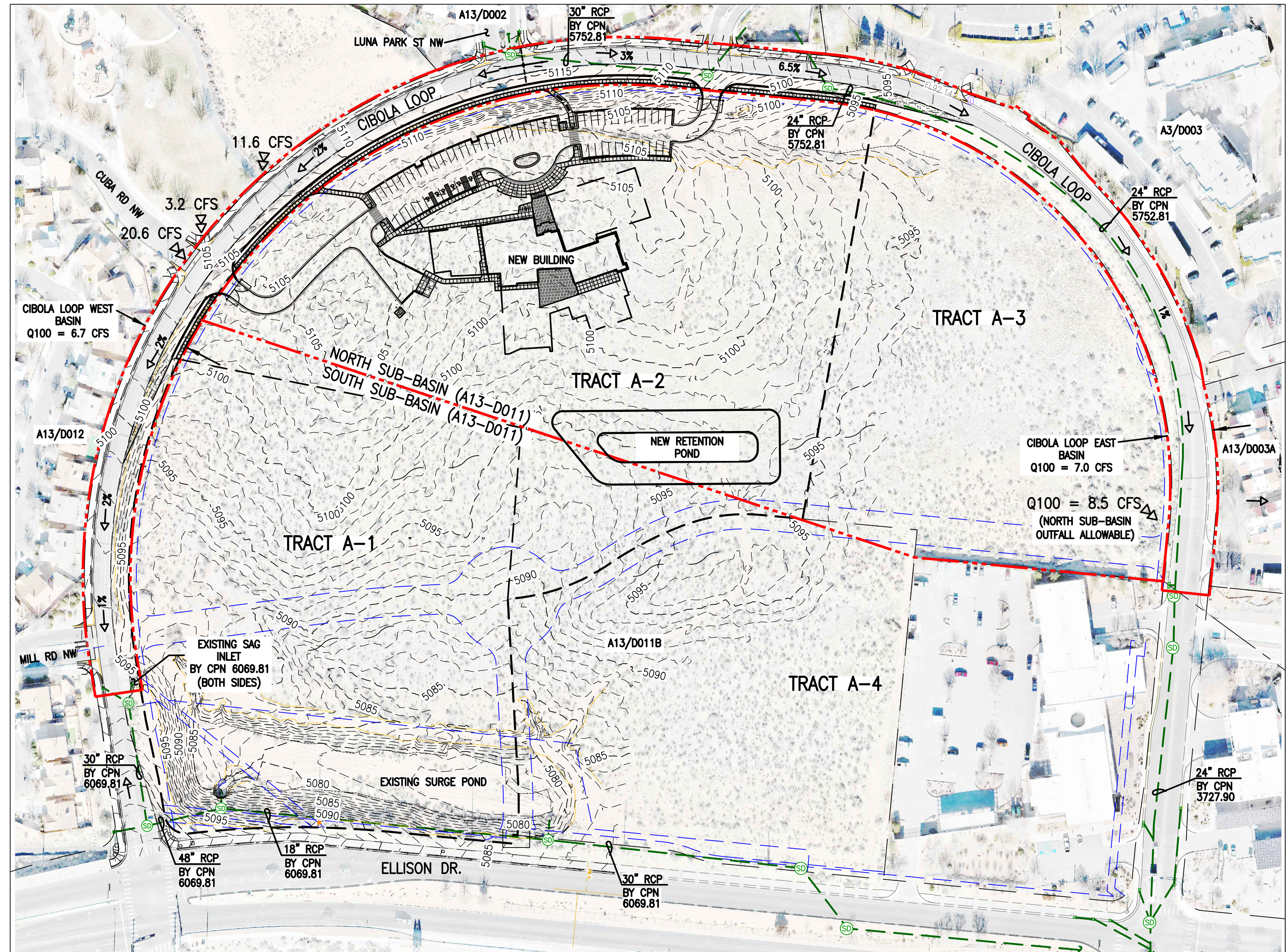
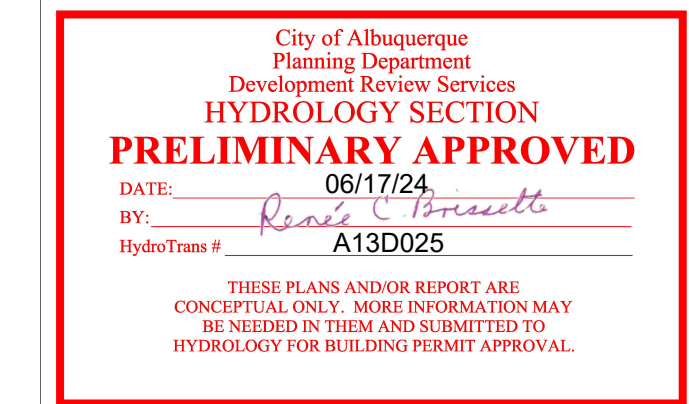


Table with columns for PROJECT BENCHMARK #202 (P.B.M.), TEMPORARY BENCHMARK #203 (T.B.M.), TEMPORARY BENCHMARK #204 (T.B.M.), and TEMPORARY BENCHMARK #206 (T.B.M.). Includes coordinates and elevations for each benchmark.



BASIN AND STORM DRAIN MAP
SCALE: 1" = 100'

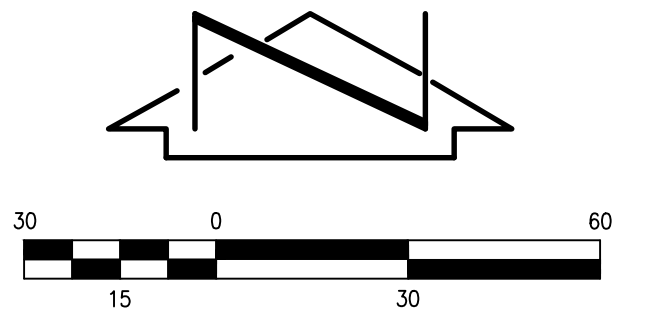
CONSULTANTS section including fbt architects, CIVIL High Mesa, LANDSCAPE Groundwork Studio, STRUCTURAL Chavez-Grievos Consulting Engineers, Inc., M/E/P/P Bridgers & Paxton, and INTERIORS Studio M.

CITY OF ALBUQUERQUE PROJECT TITLE: COA CIBOLA LOOP MULTIGENERATIONAL CENTER
DFT SITE PLAN AND EARLY WORK PACKAGE
MARCH 25, 2024
DRAWING TITLE: CONCEPTUAL GRADING AND DRAINAGE PLAN

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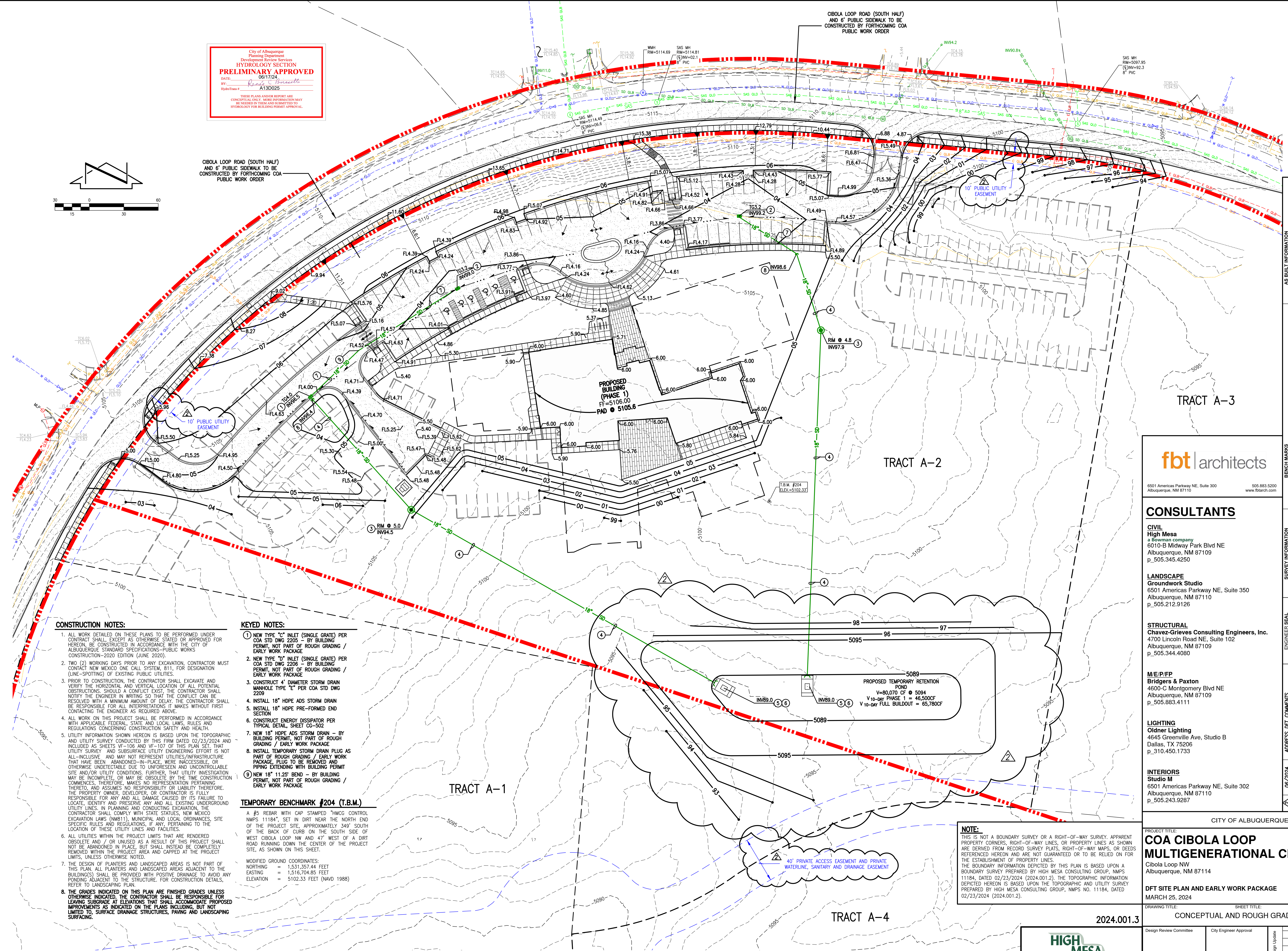
City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 06/17/24
 BY: *Rene Brumitt*
 HYDROLOGIST: A130025

THESE PLANS AND/OR REPORT ARE CONCEPTUAL IN NATURE AND MAY BE REVISED IN THE FUTURE. THE CITY OF ALBUQUERQUE DOES NOT WARRANT THE ACCURACY OF THESE PLANS AND/OR REPORT FOR BUILDING PERMIT APPROVAL.



CIBOLA LOOP ROAD (SOUTH HALF) AND 6' PUBLIC SIDEWALK TO BE CONSTRUCTED BY FORTHCOMING COA PUBLIC WORK ORDER

CIBOLA LOOP ROAD (SOUTH HALF) AND 6' PUBLIC SIDEWALK TO BE CONSTRUCTED BY FORTHCOMING COA PUBLIC WORK ORDER



CONSTRUCTION NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR APPROVED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS-PUBLIC WORKS CONSTRUCTION-2020 EDITION (JUNE 2020).
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING PUBLIC UTILITIES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY THIS FIRM DATED 02/23/2024 AND INCLUDED AS SHEETS VF-106 AND VF-107 OF THIS PLAN SET. THAT UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THAT UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, ASSUMES NO RESPONSIBILITY FOR ANY DAMAGE TO THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.
6. ALL UTILITIES WITHIN THE PROJECT LIMITS THAT ARE RENDERED OBSOLETE AND / OR UNUSED AS A RESULT OF THIS PROJECT SHALL NOT BE ABANDONED IN PLACE, BUT SHALL INSTEAD BE COMPLETELY REMOVED WITHIN THE PROJECT AREA AND CAPPED AT THE PROJECT LIMITS, UNLESS OTHERWISE NOTED.
7. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
8. THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLAN INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.

KEYED NOTES:

1. NEW TYPE "C" INLET (SINGLE GRATE) PER COA STD DWG 2205 - BY BUILDING PERMIT, NOT PART OF ROUGH GRADING / EARLY WORK PACKAGE
2. NEW TYPE "D" INLET (SINGLE GRATE) PER COA STD DWG 2206 - BY BUILDING PERMIT, NOT PART OF ROUGH GRADING / EARLY WORK PACKAGE
3. CONSTRUCT 4' DIAMETER STORM DRAIN MANHOLE TYPE "E" PER COA STD DWG 2209
4. INSTALL 18" HDPE ADS STORM DRAIN
5. INSTALL 18" HDPE PRE-FORMED END SECTION
6. CONSTRUCT ENERGY DISSIPATOR PER TYPICAL DETAIL SHEET CG-502
7. NEW 18" HDPE ADS STORM DRAIN - BY BUILDING PERMIT, NOT PART OF ROUGH GRADING / EARLY WORK PACKAGE
8. INSTALL TEMPORARY STORM DRAIN PLUG AS PART OF ROUGH GRADING / EARLY WORK PACKAGE. PLUG TO BE REMOVED AND PIPING EXTENDING WITH BUILDING PERMIT
9. NEW 18" 11.25' BENCH - BY BUILDING PERMIT, NOT PART OF ROUGH GRADING / EARLY WORK PACKAGE

TEMPORARY BENCHMARK #204 (T.B.M.)

A #5 REBAR WITH CAP STAMPED "MCG CONTROL NMP# 11184" SET IN DIRT NEAR THE NORTH END OF THE BACK OF CURB ON THE SOUTH SIDE OF WEST CIBOLA LOOP NW AND 47' WEST OF A DIRT ROAD RUNNING DOWN THE CENTER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET.

MODIFIED GROUND COORDINATES:
 NORTHING = 1,531,357.44 FEET
 EASTING = 1,516,704.85 FEET
 ELEVATION = 5102.33 FEET (NAVD 1988)

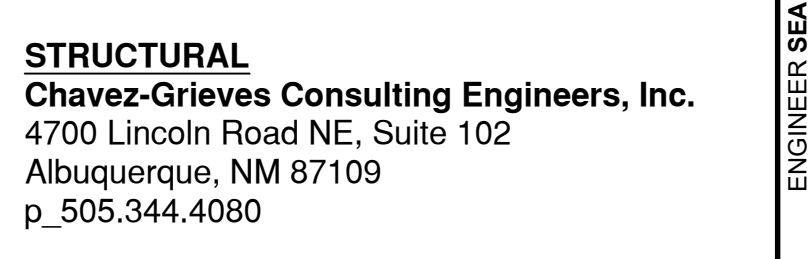
NOTE:

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fbt architects
 6501 Americas Parkway NE, Suite 300
 Albuquerque, NM 87110
 505.883.5200
 www.fbtarch.com

CONSULTANTS

- CIVIL**
High Mesa
 a Bowman company
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250
- LANDSCAPE**
Groundwork Studio
 6501 Americas Parkway NE, Suite 350
 Albuquerque, NM 87110
 p_505.212.9126
- STRUCTURAL**
Chavez-Grievos Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102
 Albuquerque, NM 87109
 p_505.344.4080
- M/E/P/FP**
Bridgers & Paxton
 4600-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111
- LIGHTING**
Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733
- INTERIORS**
Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287



M/E/P/FP
Bridgers & Paxton
 4600-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111

LIGHTING
Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733

INTERIORS
Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

CITY OF ALBUQUERQUE

COA CIBOLA LOOP MULTIGENERATIONAL CENTER

Cibola Loop NW
 Albuquerque, NM 87114

DFT SITE PLAN AND EARLY WORK PACKAGE
 MARCH 25, 2024

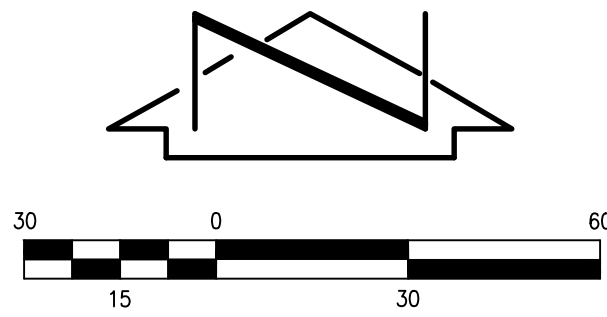
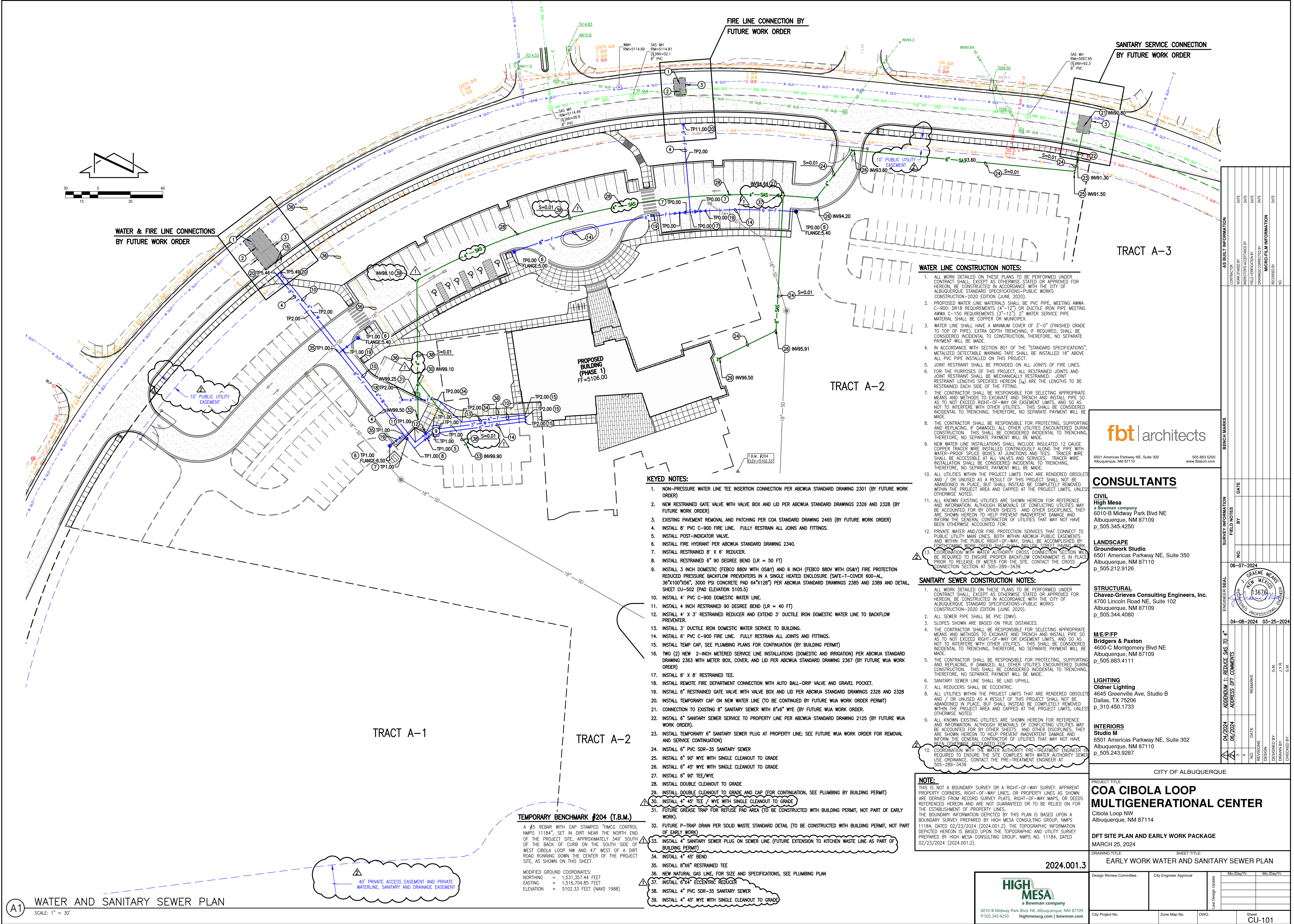
DRAWING TITLE: SHEET TITLE: CONCEPTUAL AND ROUGH GRADING PLAN

Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.
City Project No.	Zone Map No.	DWG.	Sheet CG-101

HIGH MESA
 a Bowman company
 6010-B Midway Park Blvd NE, Albuquerque, NM 87109
 P.505.345.4250 | highmesacg.com | bowman.com

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER SEAL	
CONTRACTOR	DATE	WORK SHOWN BY	DATE	FIELD NOTES	NO.	NO.	NO.
		INSPECTORS ACCEPTANCE BY <td>DATE</td> <td></td> <td></td> <td></td> <td></td>	DATE				
		FIELD VERIFICATION BY <td>DATE</td> <td></td> <td></td> <td></td> <td></td>	DATE				
		DRAWINGS CORRECTED BY <td>DATE</td> <td></td> <td></td> <td></td> <td></td>	DATE				
		MICRO-FILM INFORMATION <td></td> <td></td> <td></td> <td></td> <td></td>					
		RECORDED BY <td>DATE</td> <td></td> <td></td> <td></td> <td></td>	DATE				
		NO.					

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WATER & FIRE LINE CONNECTIONS BY FUTURE WORK ORDER

FIRE LINE CONNECTION BY FUTURE WORK ORDER

SANITARY SERVICE CONNECTION BY FUTURE WORK ORDER

TRACT A-3

TRACT A-2

TRACT A-1

TRACT A-2

WATER LINE CONSTRUCTION NOTES:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR APPROVED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS-PUBLIC WORKS CONSTRUCTION-2020 EDITION (JUNE 2020).
- PROPOSED WATER LINE MATERIALS SHALL BE PVC PIPE, MEETING AWWA C-900, DR18 REQUIREMENTS (14" - 12") OR DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (3" - 12"). WATER SERVICE PIPE MATERIAL SHALL BE COPPER OR MUNICIPEX.
- WATER LINE SHALL HAVE A MINIMUM COVER OF 3'-0" (FINISHED GRADE TO TOP OF PIPE). EXTRA DEPTH TRENCHING, IF REQUIRED, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- IN ACCORDANCE WITH SECTION 801 OF THE "STANDARD SPECIFICATIONS", METALIZED DETECTABLE WARNING TAPE SHALL BE INSTALLED 18" ABOVE ALL PVC PIPE INSTALLED ON THIS PROJECT.
- JOINT RESTRAINT SHALL BE PROVIDED ON ALL JOINTS OF FIRE LINES.
- FOR THE PURPOSES OF THIS PROJECT, ALL RESTRAINED JOINTS AND JOINT RESTRAINT SHALL BE MECHANICALLY RESTRAINED. JOINT RESTRAINT LENGTHS SPECIFIED HEREON (L_a) ARE THE LENGTHS TO BE RESTRAINED EACH SIDE OF THE FITTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- NEW WATER LINE INSTALLATIONS SHALL INCLUDE INSULATED 12 GAUGE COPPER TRACER WIRE INSTALLED CONTINUOUSLY ALONG THE PIPE WITH WATER-PROOF SERVICE BOXES AT JUNCTIONS AND TEES. TRACER WIRE SHALL BE INSTALLED AT ALL VALVES AND SERVICES. TRACER WIRE INSTALLATION SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- ALL UTILITIES WITHIN THE PROJECT LIMITS THAT ARE RENDERED OBSOLETE AND / OR UNUSED AS A RESULT OF THIS PROJECT SHALL NOT BE ABANDONED IN PLACE, BUT SHALL INSTEAD BE COMPLETELY REMOVED WITHIN THE PROJECT AREA AND CAPPED AT THE PROJECT LIMITS, UNLESS OTHERWISE NOTED.
- ALL KNOWN EXISTING UTILITIES ARE SHOWN HEREON FOR REFERENCE AND INFORMATION. ALTHOUGH REMOVALS OF CONFLICTING UTILITIES MAY BE ACCOUNTED FOR BY OTHER SHEETS AND OTHER DISCIPLINES, THEY ARE SHOWN HEREON TO HELP PREVENT INADVERTENT DAMAGE AND INFORM THE GENERAL CONTRACTOR OF UTILITIES THAT MAY NOT HAVE BEEN OTHERWISE ACCOUNTED FOR.
- PRIVATE WATER AND/OR FIRE PROTECTION SERVICES THAT CONNECT TO PUBLIC UTILITY MAIN LINES, BOTH WITHIN ABCWUA PUBLIC EASEMENTS AND WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE ACCOMPLISHED BY FORTHCOMING WORK ORDER THAT SHALL INCLUDE STREET PAVING WORK.
- COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3439.

SANITARY SEWER CONSTRUCTION NOTES:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR APPROVED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS-PUBLIC WORKS CONSTRUCTION-2020 EDITION (JUNE 2020).
- ALL SEWER PIPE SHALL BE PVC (DWN).
- SLOPES SHOWN ARE BASED ON TRUE DISTANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- SANITARY SEWER LINE SHALL BE LAID UPHILL.
- ALL REDUCERS SHALL BE ECCENTRIC.
- ALL UTILITIES WITHIN THE PROJECT LIMITS THAT ARE RENDERED OBSOLETE AND / OR UNUSED AS A RESULT OF THIS PROJECT SHALL NOT BE ABANDONED IN PLACE, BUT SHALL INSTEAD BE COMPLETELY REMOVED WITHIN THE PROJECT AREA AND CAPPED AT THE PROJECT LIMITS, UNLESS OTHERWISE NOTED.
- ALL KNOWN EXISTING UTILITIES ARE SHOWN HEREON FOR REFERENCE AND INFORMATION. ALTHOUGH REMOVALS OF CONFLICTING UTILITIES MAY BE ACCOUNTED FOR BY OTHER SHEETS AND OTHER DISCIPLINES, THEY ARE SHOWN HEREON TO HELP PREVENT INADVERTENT DAMAGE AND INFORM THE GENERAL CONTRACTOR OF UTILITIES THAT MAY NOT HAVE BEEN OTHERWISE ACCOUNTED FOR.
- COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

NOTE:

THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT-OF-WAY LINES, OR PROPERTY LINES AS SHOWN ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS, OR DEEDS REFERENCED HEREON AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMP5 11184, DATED 02/23/2024 (2024.001.2). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMP5 NO. 11184, DATED 02/23/2024 (2024.001.2).

KEYED NOTES:

- NON-PRESSURE WATER LINE TEE INSERTION CONNECTION PER ABCWUA STANDARD DRAWING 2301 (BY FUTURE WORK ORDER)
- NEW RESTRAINED GATE VALVE WITH VALVE BOX AND LID PER ABCWUA STANDARD DRAWINGS 2326 AND 2328 (BY FUTURE WORK ORDER)
- EXISTING PAVEMENT REMOVAL AND PATCHING PER COA STANDARD DRAWING 2465 (BY FUTURE WORK ORDER)
- INSTALL 8" PVC C-900 FIRE LINE. FULLY RESTRAIN ALL JOINTS AND FITTINGS.
- INSTALL POST-INDICATOR VALVE.
- INSTALL FIRE HYDRANT PER ABCWUA STANDARD DRAWING 2340.
- INSTALL RESTRAINED 8" X 6" REDUCER.
- INSTALL RESTRAINED 6" 90 DEGREE BEND (LR = 50 FT)
- INSTALL 3 INCH DOMESTIC (FEBCO 880V WITH OS&Y) AND 6 INCH (FEBCO 880V WITH OS&Y) FIRE PROTECTION REDUCED PRESSURE BACKFLOW PREVENTERS IN A SINGLE HEATED ENCLOSURE (SAFE-T-COVER 600-AL, 36"x100"x56", 3000 PSI CONCRETE PAD 64"x128") PER ABCWUA STANDARD DRAWINGS 2385 AND 2389 AND DETAIL, SHEET CU-502 (PAD ELEVATION 5105.5)
- INSTALL 4" PVC C-900 DOMESTIC WATER LINE.
- INSTALL 4 INCH RESTRAINED 90 DEGREE BEND (LR = 40 FT)
- INSTALL 4" X 3" RESTRAINED REDUCER AND EXTEND 3' DUCTILE IRON DOMESTIC WATER LINE TO BACKFLOW PREVENTER.
- INSTALL 3" DUCTILE IRON DOMESTIC WATER SERVICE TO BUILDING.
- INSTALL 6" PVC C-900 FIRE LINE. FULLY RESTRAIN ALL JOINTS AND FITTINGS.
- INSTALL TEMP CAP, SEE PLUMBING PLANS FOR CONTINUATION (BY BUILDING PERMIT)
- TWO (2) NEW 2-INCH METERED SERVICE LINE INSTALLATIONS (DOMESTIC AND IRRIGATION) PER ABCWUA STANDARD DRAWING 2363 WITH METER BOX, COVER, AND LID PER ABCWUA STANDARD DRAWING 2367 (BY FUTURE WUA WORK ORDER)
- INSTALL 8" X 8" RESTRAINED TEE.
- INSTALL REMOTE FIRE DEPARTMENT CONNECTION WITH AUTO BALL-DRIP VALVE AND GRAVEL POCKET.
- INSTALL 6" RESTRAINED GATE VALVE WITH VALVE BOX AND LID PER ABCWUA STANDARD DRAWINGS 2326 AND 2328
- INSTALL TEMPORARY CAP ON NEW WATER LINE (TO BE CONTINUED BY FUTURE WUA WORK ORDER PERMIT)
- CONNECTION TO EXISTING 8" SANITARY SEWER WITH 8"x6" WYE (BY FUTURE WUA WORK ORDER)
- INSTALL 6" SANITARY SEWER SERVICE TO PROPERTY LINE PER ABCWUA STANDARD DRAWING 2125 (BY FUTURE WUA WORK ORDER).
- INSTALL TEMPORARY 6" SANITARY SEWER PLUG AT PROPERTY LINE; SEE FUTURE WUA WORK ORDER FOR REMOVAL AND SERVICE CONTINUATION)
- INSTALL 6" PVC SDR-35 SANITARY SEWER
- INSTALL 6" 90° WYE WITH SINGLE CLEANOUT TO GRADE
- INSTALL 6" 45° WYE WITH SINGLE CLEANOUT TO GRADE
- INSTALL 6" 90° WYE
- INSTALL DOUBLE CLEANOUT TO GRADE
- INSTALL DOUBLE CLEANOUT TO GRADE (FOR CONTINUATION, SEE PLUMBING BY BUILDING PERMIT)
- INSTALL 4" 45° TEE / WYE WITH SINGLE CLEANOUT TO GRADE
- FUTURE GREASE TRAP FOR REFUSE PAD AREA (TO BE CONSTRUCTED WITH BUILDING PERMIT, NOT PART OF EARLY WORK).
- FUTURE P-TRAP DRAIN PER SOLID WASTE STANDARD DETAIL (TO BE CONSTRUCTED WITH BUILDING PERMIT, NOT PART OF EARLY WORK)
- INSTALL 4" SANITARY SEWER PLUG ON SEWER LINE (FUTURE EXTENSION TO KITCHEN WASTE LINE AS PART OF BUILDING PERMIT)
- INSTALL 4" 45° BEND
- INSTALL 8"x6" RESTRAINED TEE
- NEW NATURAL GAS LINE, FOR SIZE AND SPECIFICATIONS, SEE PLUMBING PLAN
- INSTALL 6"x4" ECCENTRIC REDUCER
- INSTALL 4" PVC SDR-35 SANITARY SEWER
- INSTALL 4" 45° WYE WITH SINGLE CLEANOUT TO GRADE

TEMPORARY BENCHMARK #204 (T.B.M.)

A #5 REBAR WITH CAP STAMPED "HMCC CONTROL NMP5 11184", SET IN DIRT NEAR THE NORTH END OF THE PROJECT SITE, APPROXIMATELY 345' SOUTH OF THE BACK OF CURB ON THE SOUTH SIDE OF WEST CIBOLA LOOP NW AND 47' WEST OF A DIRT ROAD RUNNING DOWN THE CENTER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET.

MODIFIED GROUND COORDINATES:
 NORTHING = 1,531,357.44 FEET
 EASTING = 1,516,704.85 FEET
 ELEVATION = 5102.33 FEET (NAVD 1988)



fbt architects
 6501 Americas Parkway NE, Suite 300
 Albuquerque, NM 87110
 505.883.5200
 www.fbtarch.com

CONSULTANTS
CIVIL
High Mesa
 a Bowman company
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250

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Groundwork Studio
 6501 Americas Parkway NE, Suite 350
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STRUCTURAL
Chavez-Grievos Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102
 Albuquerque, NM 87109
 p_505.344.4080

M/E/P/FP
Bridgers & Paxton
 4800-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111

LIGHTING
Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733

INTERIORS
Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

CITY OF ALBUQUERQUE

PROJECT TITLE:
COA CIBOLA LOOP MULTIGENERATIONAL CENTER
 Cibola Loop NW
 Albuquerque, NM 87114

DFT SITE PLAN AND EARLY WORK PACKAGE
 MARCH 25, 2024

DRAWING TITLE: **EARLY WORK WATER AND SANITARY SEWER PLAN**

2024.001.3

HIGH MESA
 a Bowman company
 6010-B Midway Park Blvd NE, Albuquerque, NM 87109
 P.505.345.4250
 highmesa.com | bowman.com

Design Review Committee	City Engineer Approval	Ms./Jr./Yr.	Ms./Jr./Yr.
City Project No.	Zone Map No.	DWG.	Sheet
			CU-101

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PROJECT DATA

BUILDING ADDRESS 10751 CIBOLA LOOP NW ALBUQUERQUE, NM 87114
LEGAL DESCRIPTION TRACT A-2 CIBOLA LOOP SUBDIVISION WITH THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 6, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
+/- 9.1379 ACRES
CONSTRUCTION TYPE NEW CONSTRUCTION - IIB
OCCUPANT LOAD MIXED OCCUPANCY - NON-SEPARATED USES A-3 (ASSEMBLY GROUP) B (BUSINESS GROUP)
SQUARE FOOTAGE FIRST LEVEL: 11,107 GSF SECOND LEVEL: 4,450 GSF (NON-OCCUPIED) TOTAL BUILDING: 15,557 GSF
BUILDING HEIGHT 31' - 5" ABOVE FINISH FLOOR LEVEL.

KEYED NOTES

- S01 EXISTING CURB AND GUTTER SYSTEM
S02 EXISTING SIDEWALK
S03 EXISTING ASPHALT DRIVE
S04 EXISTING DOUBLE YELLOW PAVEMENT STRIPE
S05 EXISTING STREETLIGHT
S06 LINE OF EXISTING CURB TO BE REMOVED
S10 PROPERTY LINE
S11 10' - 0" PUBLIC UTILITY EASEMENT
S12 NEW ASPHALT-PAVED DRIVE LANE FOR EXPANDED RIGHT-OF-WAY. SEE COA STD. DWG. 2439 FOR TYPICAL LOCAL STREET DETAILS.
S13 STRIPED ON-STREET PARKING (8' - 0" x 20' - 0" PARKING SPACE, TYPICAL, APPROXIMATELY 33 SPACES TOTAL), AS PART OF A SEPARATE CITY WORK ORDER DESIGN PACKAGE PERTAINING TO OFF-SITE IMPROVEMENTS.
S14 NEW ASPHALT-PAVED VEHICULAR ENTRY AT EXPANDED RIGHT-OF-WAY.
S15 ASPHALT PAVING, TYPICAL.

- S18 PAINTED PARKING LOT 10' - 0" LENGTH ARROWS AND 30" HEIGHT LETTERING, TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
S20 PAINTED ACCESS AISLE
S31 CONCRETE CURB & GUTTER SYSTEM, TYPICAL. SEE SITE DETAILS & CIVIL.
S33 CONCRETE SIDEWALK. SEE COA STD. DWG. 2430 FOR OFFSET TYPE SIDEWALK DETAILS.
S34 4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH TURN DOWN EDGE AT ALL EXPOSED EDGES.
S35 ACCESSIBLE CURB RAMP. SEE COA STD. DWG. 2443 FOR PARALLEL CURB RAMP DETAILS. INSTALL TRUNCATED DOME IN ALL ADA RAMP. RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.
S36 ACCESSIBLE PATH TO PUBLIC WAY
S37 CONCRETE STAIRS AND STEEL HANDRAILS
S38 6" TRAFFIC-RATED BOLLARD
S42 ENTRY PLAZA: INTEGRALLY COLORED CONCRETE AND STAMPED TEXTURE WITH INTEGRATED LANDSCAPING & CONCRETE SEATING.
S43 CONCRETE PATIO: INTEGRALLY COLORED CONCRETE AND STAMPED TEXTURE WITH INTEGRATED LANDSCAPING & CONCRETE SEATING.
S44 1' - 6" CONCRETE MOW STRIP. TYPICAL. ALL AROUND BUILDING PERIMETER.
S45 OVERHEAD OVERHANG

- S52 6" CONCRETE APRON. 4,000 PSI, 3/4" AGGREGATE WITH 6X6-10/10WWM OR EQUAL, 1/2" EXPANSION JOINT BETWEEN PAD AND APRON.
S59 DRIVER'S EYE
S60 CLEAR SIGHT TRIANGLE
S61 LANDSCAPING. SEE LANDSCAPE.
S62 MANUAL DOUBLE SWING PIPE GATE
S64 REFUSE ENCLOSURE WITH MANUAL DOUBLE SWING GATES.
S70 WATER METERS, SEE CIVIL.
S72 DRAIN INLET, SEE CIVIL.
S73 STORM DRAIN MANHOLE. SEE CIVIL.
S76 RETENTION POND. SEE CIVIL.
S81 POST-INDICATOR VALVE (PIV), SEE CIVIL.
S82 REMOTE FDC WITH GROUND-MOUNTED SIGN, SEE CIVIL.
S83 FIRE HYDRANT, SEE CIVIL.
S84 PAINTED FIRE LANES, TYPICAL.
S90 SWITCHGEAR, SEE ELECTRICAL.
S91 UTILITY TRANSFORMER, SEE ELECTRICAL.
S92 SITE LIGHTING, SEE ELECTRICAL.

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
B. ALL PARKING DRIVES TO BE ASPHALT CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
C. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.
D. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
E. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

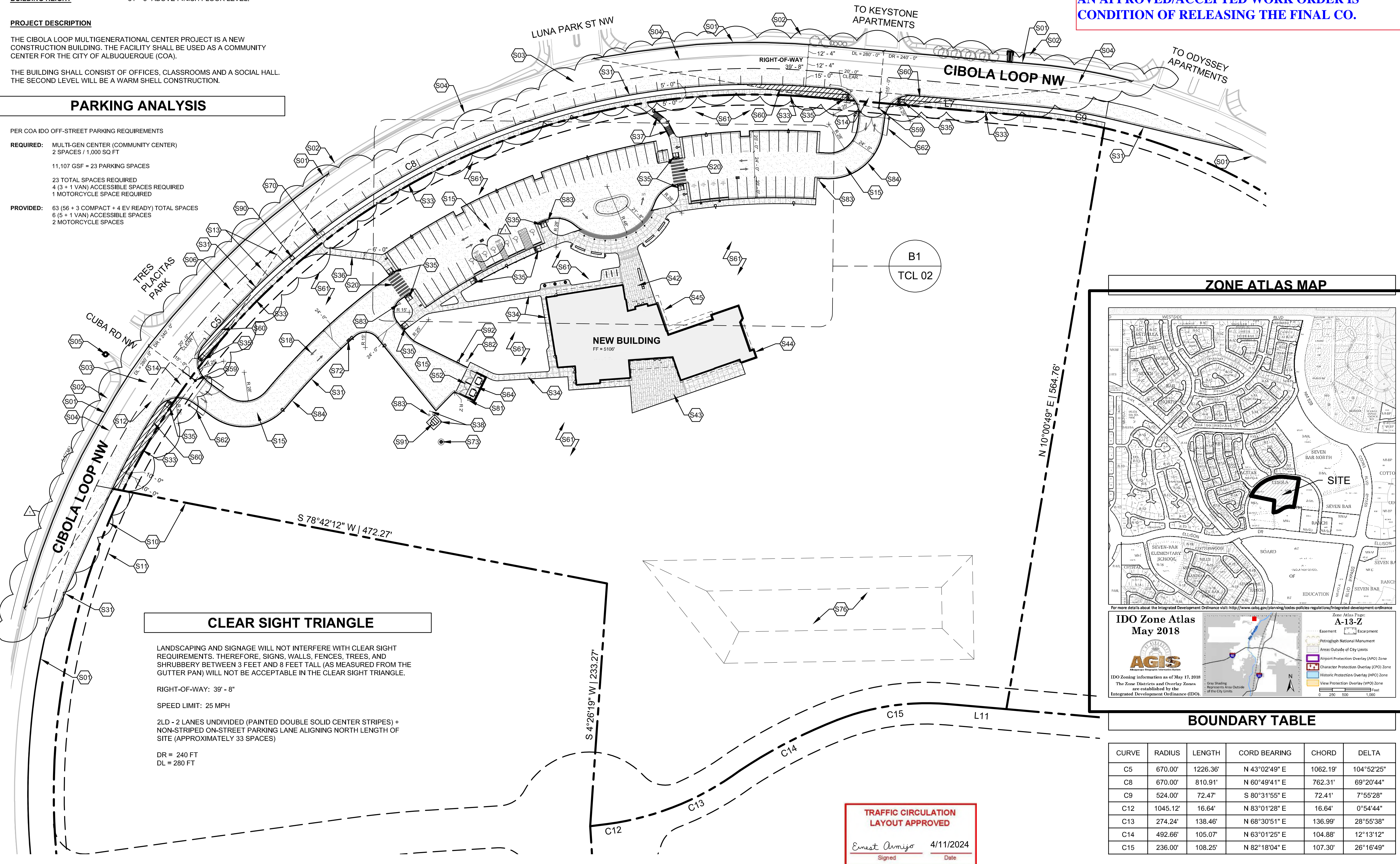
SITE HATCH LEGEND

- NEW BUILDING
NEW STANDARD DUTY CONCRETE PAVEMENT
NEW HEAVY DUTY ASPHALT PAVEMENT
CLEAR SIGHT TRIANGLE

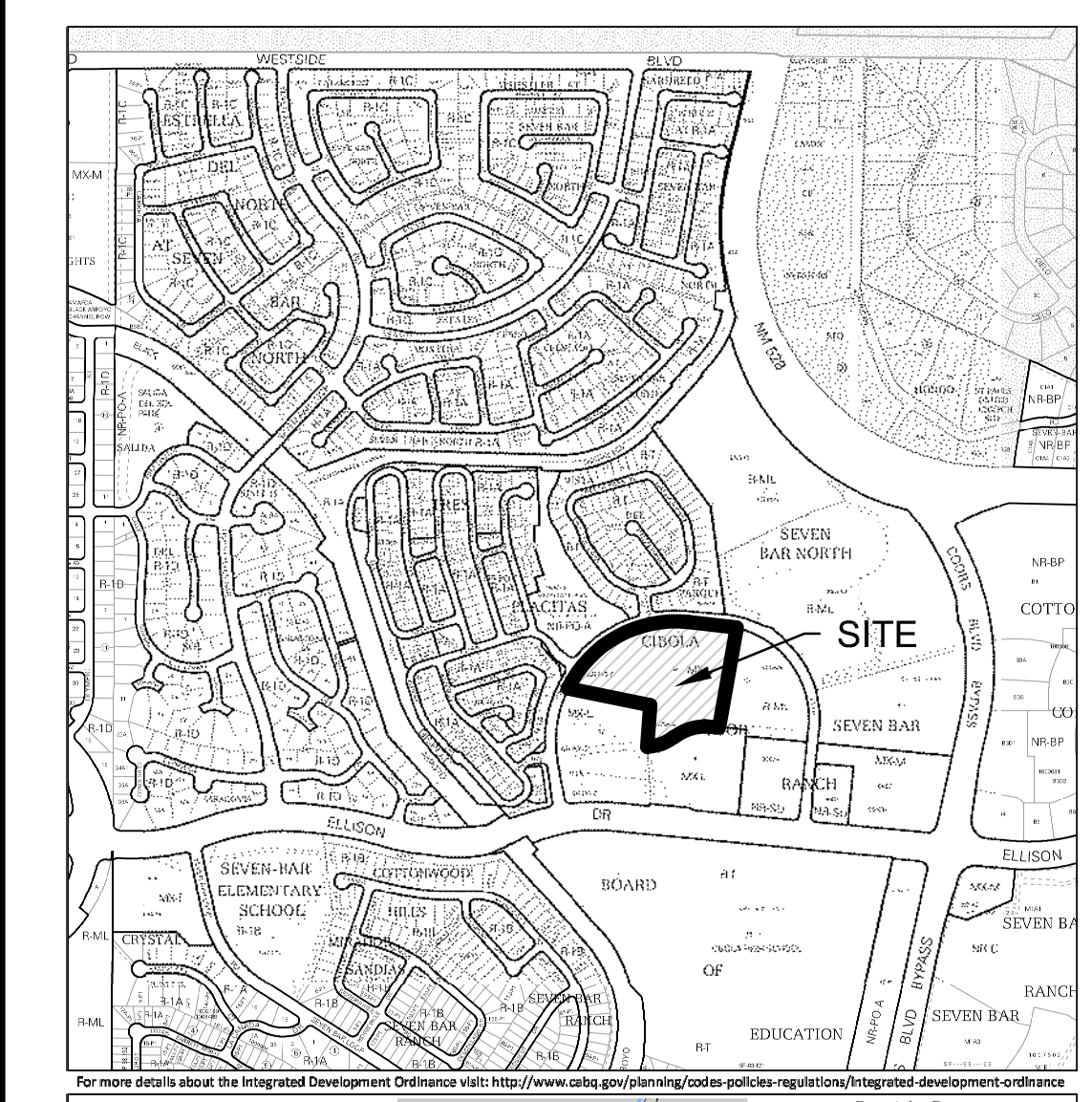
AN APPROVED/ACCEPTED WORK ORDER IS CONDITION OF RELEASING THE FINAL CO.

PARKING ANALYSIS

PER COA IDO OFF-STREET PARKING REQUIREMENTS
REQUIRED: MULT-GEN CENTER (COMMUNITY CENTER) 2 SPACES / 1,000 SQ FT
11,107 GSF = 23 PARKING SPACES
23 TOTAL SPACES REQUIRED
4 (3 + 1 VAN) ACCESSIBLE SPACES REQUIRED
1 MOTORCYCLE SPACE REQUIRED
PROVIDED: 63 (56 + 3 COMPACT + 4 EV READY) TOTAL SPACES
6 (5 + 1 VAN) ACCESSIBLE SPACES
2 MOTORCYCLE SPACES



ZONE ATLAS MAP



CLEAR SIGHT TRIANGLE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
RIGHT-OF-WAY: 39' - 8"
SPEED LIMIT: 25 MPH
2LD - 2 LANES UNDIVIDED (PAINTED DOUBLE SOLID CENTER STRIPES) + NON-STRIPED ON-STREET PARKING LANE ALIGNING NORTH LENGTH OF SITE (APPROXIMATELY 33 SPACES)
DR = 240 FT
DL = 280 FT

IDO Zone Atlas May 2018
AGIS
A-13-Z
For more details about the Integrated Development Ordinance visit: http://www.ci.albuquerque.nm.us/planning/ido-coa-polices-regulations/integrated-development-ordinance

BOUNDARY TABLE

Table with columns: CURVE, RADIUS, LENGTH, CORD BEARING, CHORD, DELTA. Rows C5 through C15.

TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Armijo 4/11/2024
Signed Date

A1 TRAFFIC CIRCULATION LAYOUT PLAN

fbt architects
6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110
505.883.5200
www.fbtarch.com

CONSULTANTS

- CIVIL High Mesa 6010-B Midway Park Blvd NE Albuquerque, NM 87109 p_505.345.4250
LANDSCAPE Groundwork Studio 6501 Americas Parkway NE, Suite 350 Albuquerque, NM 87110 p_505.212.9126
STRUCTURAL Chavez-Grievos Consulting Engineers, Inc. 4700 Lincoln Road NE, Suite 102 Albuquerque, NM 87109 p_505.344.4080
M/E/P/FP Bridgers & Paxton 4600-C Montgomery Blvd NE Albuquerque, NM 87109 p_505.883.4111
LIGHTING Oldner Lighting 4645 Greenville Ave, Studio B Dallas, TX 75206 p_310.450.1733
INTERIORS Studio M 6501 Americas Parkway NE, Suite 302 Albuquerque, NM 87110 p_505.243.9287

CITY OF ALBUQUERQUE

COA CIBOLA LOOP MULTIGENERATIONAL CENTER

10751 Cibola Loop NW Albuquerque, NM 87114

TRAFFIC CIRCULATION LAYOUT (TCL)

MARCH 2024
DRAWING TITLE: TCL 01 SHEET TITLE: TRAFFIC CIRCULATION LAYOUT

Approval table with columns: Design Review Committee, City Engineer Approval, Mo./Day/Yr., and other project details.

Vertical sidebar containing AS BUILT INFORMATION, BENCH MARKS, SURVEY INFORMATION, SEAL ARCHITECT, COA TCL REVIEW COMMENTS, and other administrative data.


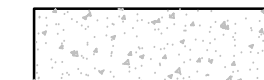


**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Ernest Armijo 4/11/2024
Signed Date

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- B. ALL PARKING DRIVES TO BE ASPHALT CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- C. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.
- D. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- E. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

SITE HATCH LEGEND

-  NEW BUILDING
-  NEW STANDARD DUTY CONCRETE PAVEMENT
-  NEW HEAVY DUTY ASPHALT PAVEMENT
-  CLEAR SIGHT TRIANGLE



6501 Americas Parkway NE, Suite 300 505.883.5200
Albuquerque, NM 87110 www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250

LANDSCAPE
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126

STRUCTURAL
Chavez-Grievess Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080

M/E/P/FP
Bridgers & Paxton
4600-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111

LIGHTING
Oldner Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733

INTERIORS
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

CITY OF ALBUQUERQUE

PROJECT TITLE:
**COA CIBOLA LOOP
MULTIGENERATIONAL CENTER**

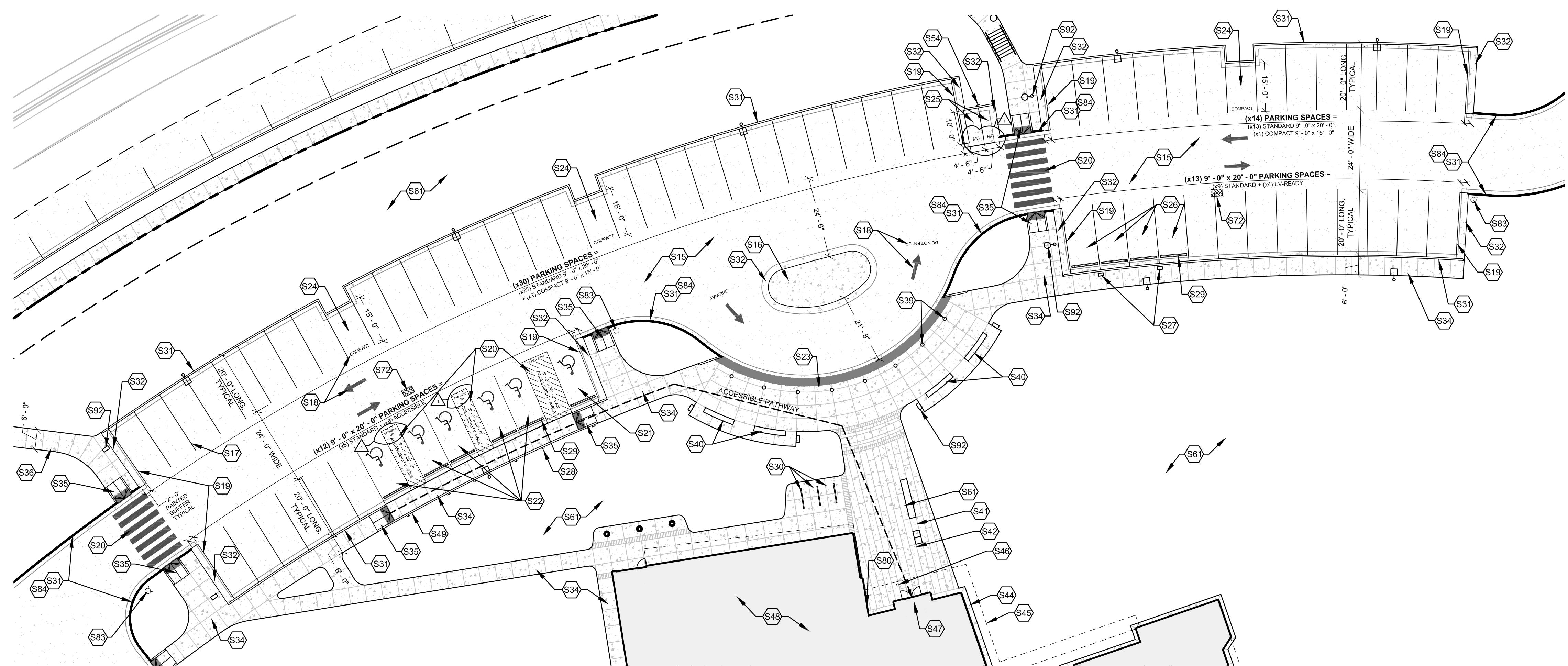
10751 Cibola Loop NW
Albuquerque, NM 87114

TRAFFIC CIRCULATION LAYOUT (TCL)
MARCH 2024

DRAWING TITLE: **TRAFFIC CIRCULATION LAYOUT**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. P7882.16 Zone Map No. A-13-Z DWG. Sheet



(B1) ENLARGED PARKING PLAN
1" = 20' - 0"

KEYED NOTES

S15	ASPHALT PAVING, TYPICAL.
S16	CONCRETE PAD
S17	PAINTED PARKING LOT 4" WIDE STRIPING, TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
S18	PAINTED PARKING LOT 10' - 0" LENGTH ARROWS AND 30" HEIGHT LETTERING, TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
S19	2" PAINTED BUFFER TO MOUNTABLE CURB, TYPICAL.
S20	PAINTED ACCESS AISLE
S21	ACCESSIBLE VAN PARKING SPACE PER TABLE 1106.1 WITH GROUND-MOUNTED SIGN
S22	ACCESSIBLE PARKING SPACE PER TABLE 1106.1 WITH GROUND-MOUNTED SIGN

S23	ACCESSIBLE DROP-OFF. INSTALL TRUNCATED DOME TO DESIGNATE THRESHOLD BETWEEN CONCRETE SIDEWALK AND ASPHALT DRIVE. RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.
S24	COMPACT VEHICLE PARKING, TYPICAL.
S25	MOTORCYCLE PARKING WITH GROUND-MOUNTED SIGN
S26	(4) EV-READY SPACES
S27	FUTURE OWNER PROVIDED BY STATIONS, SEE ELECTRICAL FOR REQUIREMENTS.
S28	GROUND-MOUNTED ADA SIGN, TYPICAL. ACCESSIBLE PARKING SIGNAGE SHALL CONTAIN THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PER 66-7-352.4C NMSA.
S29	CONCRETE WHEELSTOP, TYPICAL WHERE GROUND-MOUNTED SIGNAGE AND EV CHARGING EQUIPMENT IS PRESENT, SEE SITE DETAILS.
S30	TUBE STEEL FRAMED BICYCLE RACKS, PAINTED, PER COA STANDARDS. (3 SPACES REQUIRED / 6 SPACES PROVIDED)
S31	CONCRETE CURB & GUTTER SYSTEM, TYPICAL. SEE SITE DETAILS & CIVIL.
S32	MOUNTABLE CURB AT PARKING ROW ENDS, TYPICAL. SEE COA STD. DWG. 2415B FOR MOUNTABLE ROLL CURB AND GUTTER DETAIL.

S34	4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH TURN DOWN EDGE AT ALL EXPOSED EDGES.
S35	ACCESSIBLE CURB RAMP. SEE COA STD. DWG. 2443 FOR PARALLEL CURB RAMP DETAILS. INSTALL TRUNCATED DOME IN ALL ADA RAMPS, RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.
S36	ACCESSIBLE PATH TO PUBLIC WAY
S37	CONCRETE STAIRS AND STEEL HANDRAILS
S39	TRAFFIC-RATED BOLLARD WITH LIGHTING, SEE LIGHTING.
S40	CAST-IN-PLACE CONCRETE BENCH AT DROPOFF. (16" HIGH x 18" DEEP x +/- 9' LENGTH, TYPICAL)
S41	CAST-IN-PLACE CONCRETE BENCH AT ENTRY/PATIO. (16" HIGH x 16" DEEP, LENGTHS VARY, TYPICAL.)
S42	ENTRY PLAZA: INTEGRALLY COLORED CONCRETE AND STAMPED TEXTURE WITH INTEGRATED LANDSCAPING & CONCRETE SEATING.
S44	1' - 6" CONCRETE MOW STRIP, TYPICAL. ALL AROUND BUILDING PERIMETER.
S45	OVERHEAD OVERHANG
S46	ADA AUTOMATIC DOOR ACTUATOR

S47	MAIN ENTRY
S48	BUILDING INTERIOR
S49	CONCRETE HEADER CURB
S50	CONCRETE STAIRS
S51	STEEL HANDRAILS
S54	GROUND-MOUNTED MOTORCYCLE PARKING SIGN
S61	LANDSCAPING, SEE LANDSCAPE.
S63	ILLUMINATED FLAGPOLE, SEE LIGHTING PLAN.
S72	DRAIN INLET, SEE CIVIL.
S80	WALL-MOUNTED KNOX BOX
S83	FIRE HYDRANT, SEE CIVIL.
S84	PAINTED FIRE LANE, TYPICAL.
S90	SWITCHGEAR, SEE ELECTRICAL.
S91	UTILITY TRANSFORMER, SEE ELECTRICAL.
S92	SITE LIGHTING, SEE LIGHTING.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL ARCHITECT		COA TCL REVIEW COMMENTS	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK STAKED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTOR'S ACCEPTANCE BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
FIELD VERIFICATION BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
DRAWINGS CORRECTED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
MICRO-FILM INFORMATION	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
RECORDED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE



ARCHITECT

DEVELOPMENT FACILITATION TEAM

PROJECT NUMBER: PR-2023-009382

APPLICATION NUMBER: SI-2024-00739

PROJECT NAME: City Multigenerational Center At 10751 Cibola Loop NW

IRRIGATION LEGEND

- LATERAL AND DRIP LINE SLEEVE PIPING: CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC, SEE IRRIGATION NOTE C.
- WIRE SLEEVE PIPING: CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC, SEE IRRIGATION NOTE C.
- IRRIGATION MAIN LINE: SDR11 BUTT FUSION WELD HDPE, SIZE 2", DEPTH OF BURY 36" FOR CONTINUOUS PRESSURE IRRIGATION MAIN, 18" FOR NON-CONTINUOUS.
- IRRIGATION MAIN LINE: SCHEDULE 40, BELL END, SOLVENT WELD PVC, SIZE 2", DEPTH OF BURY 36" FOR CONTINUOUS PRESSURE IRRIGATION MAIN, 18" FOR NON-CONTINUOUS.
- IRRIGATION LATERAL LINE: SCH 40, BELL-END, SOLVENT WELD PVC, DEPTH OF BURY 18", SIZE AS SHOWN ON PLAN. PIPE CONVEYING LESS THAN 5 GPM SHALL BE 3/4".
- ✕ ISOLATION VALVE: SPEARS SCH. 80 PVC BALL VALVE, SIZE 2". INSTALL PER COA STD. DWG. # 2707.
- ✕ BACKFLOW PREVENTER AND MASTER VALVE ASSEMBLY, FEBCO 852Y, 2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER IN HOT BOX MODEL NO. H82 HEATED AND INSULATED BACKFLOW ENCLOSURE AND RAINBIRD 200 PPSB PLASTIC-BODY 24-VOLT MASTER VALVE IN TAN VALVE BOX WITH TAN LID. INSTALL PER COA STD. DWG. # 2702.
- ⊙ REMOTE CONTROL VALVE ASSEMBLY: RAINBIRD FEB SERIES, PLASTIC BODY 24-VOLT AUTOMATIC VALVE (OR APPROVED EQUAL), SIZE AS SHOWN ON PLAN. INSTALL PER COA STD. DWG. # 2705.
- ✕ FLOW METER, MASTER METER, SIZE 2" IN TAN VALVE BOX WITH TAN LID. INSTALL PER CITY STD. DWG. # 2700. CONNECT FLOW METER TO CONTROLLER PER MANUFACTURER'S SPECIFICATIONS.
- ⊕ QUICK COUPLER VALVE, RAIN BIRD 5-RC. INSTALL PER CITY STD. DWG. # 2709.
- ⊙ AIR RELEASE VALVE, CRISPIN AL10. INSTALL AT HIGH POINT ON THE MAIN LINE PER CITY STD. DWG. # 2706.
- ⌒ FUSION WELD CAP: SDR11 HDPE ELONGATED BUTT END CAP, LINE SIZE.
- PVC TO HDPE FITTING: FITTING SHALL BE POLY-CAM 735-SERIES 2" IPS SDR11 BUTT FUSION X 2" SCH80 PVC GLUE COUPLING TRANSITION WITH 304 STAINLESS JOINT. SEE IRRIGATION GENERAL NOTES. INSTALL FITTING IN 1015 VALVE BOX.

- ☐ CONTROLLER SHALL BE RAIN BIRD MODEL ESPLXMEF CONTROLLER WITH GPRS CARTRIDGE # IQ4GUSA AND GPRS EXTERNAL ANTENNA. CONTROLLER SHALL BE MOUNTED IN SIS-16SS STRONGBOX. POWDER COATED COLOR TAN. INSTALL PER DETAIL AIL-501. GROUND CONTROLLER PER MANUFACTURER'S SPECIFICATIONS.
 - ⊞ 2" METER PER CIVIL.
 - PRESSURE COMPENSATING BUBBLER ASSEMBLIES, RAIN BIRD 1400 SERIES, INSTALL PER DETAIL BIL-501 AND COA PRD DESIGN GUIDE APPENDIX 7b, AS FOLLOWS:
- | MODEL NO. | GPM | PSI | NOTE |
|-----------|-----|-----|-------------|
| 1401 | .25 | 30 | 1 PER SHRUB |
| 1402 | .5 | 30 | 1 PER SHRUB |
| 1402 | 1.5 | 30 | 3 PER TREE |

IRRIGATION GENERAL NOTES

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT THE PROPOSED IRRIGATION SYSTEM IN ACCORDANCE WITH THE PLANS, DETAILS, AND SPECIFICATIONS.
- THIS SYSTEM WAS DESIGNED TO OPERATE AT A MINIMUM STATIC PRESSURE OF 84 PSI AT THE POINT OF CONNECTION. THE CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN 84 PSI THE CONTRACTOR SHALL RECEIVE DIRECTION FROM LANDSCAPE ARCHITECT REGARDING POSSIBLE DESIGN MODIFICATIONS PRIOR TO INSTALLATION OF ANY IRRIGATION COMPONENTS. THE PRESSURE READING SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S AUTHORIZED REPRESENTATIVE. RESULTS SHALL BE INCLUDED IN THE CONTRACTOR'S IRRIGATION EQUIPMENT SUBMITTAL INDICATING DATE AND TIME OF PRESSURE READING AND THE NAME OF ATTENDING OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL INSTALL LATERALS IN SLEEVE PIPING AT ALL LOCATIONS WHERE LATERALS CROSS BENEATH PAVING OR RETAINING WALLS. SLEEVES SHALL BE LOCATED A MIN. OF 6" BELOW WALL FOOTINGS AND EXTEND A MIN. 6" BEYOND EACH EDGE OF FOOTINGS. COORDINATE IRRIGATION SLEEVE INSTALLATION WITH ALL TRADES TO ENSURE SLEEVES ARE INSTALLED PRIOR TO INSTALLATION OF CURB AND GUTTER, CONCRETE AND ASPHALT PAVEMENT, SIDEWALKS, SLABS, WALLS, ETC.
- WHERE PVC PIPE CROSSES UNDER PAVING, CONTRACTOR SHALL INSTALL IN CLASS 200, SDR-21, BELL END SOLVENT WELD PVC SLEEVE TWO SIZES LARGER THAN PIPE TO BE CONTAINED, UNLESS OTHERWISE NOTED ON PLAN. SLEEVES FOR PVC SHALL BE AT 18" BURY DEPTH.
- CONTRACTOR SHALL PROVIDE TWO 120V, 20 AMP CIRCUITS FROM ELECTRICAL PANEL TO IRRIGATION BACKFLOW PREVENTER ENCLOSURE AND IRRIGATION CONTROLLER (ONE TO EACH). SEE ELECTRICAL DRAWINGS. WORK AND MATERIALS BE IN COMPLIANCE WITH LOCAL CODES AND THE NATIONAL ELECTRIC CODE (N.E.C.).

IRRIGATION KEYED NOTES

- CONTRACTOR SHALL INSTALL SEVEN (7) ADDITIONAL CONTROL WIRES (ONE (1) COMMON WIRE FROM CONTROLLER TO LOCATION SHOWN AND PROVIDE 10' ADDITIONAL LENGTH OF EACH WIRE NEATLY COILED IN TAN 1730 BOX.



fbt architects
6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110 | 505.883.5200 | www.fbta.com

CONSULTANTS

CIVIL
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250

LANDSCAPE
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126

STRUCTURAL
Chavez-Greaves Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
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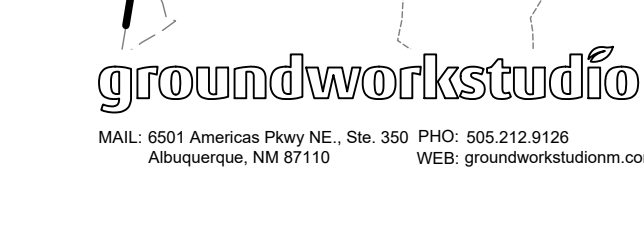
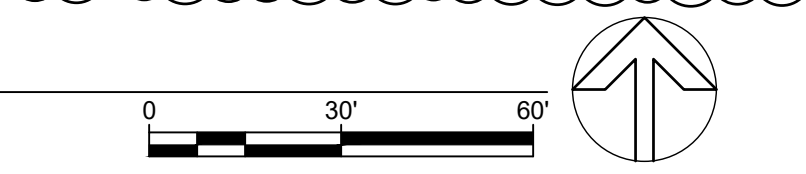
M/E/P/FP
Bridgers & Paxton
4600-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111

LIGHTING
Oldner Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733

INTERIORS
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	WORK STAGED	DATE	NO.	BY	NO.	DATE

A1 IRRIGATION PLAN
1" = 30'-0"



CITY OF ALBUQUERQUE

PROJECT TITLE:
**COA CIBOLA LOOP
MULTIGENERATIONAL CENTER**
10751 Cibola Loop NW
Albuquerque, NM 87114

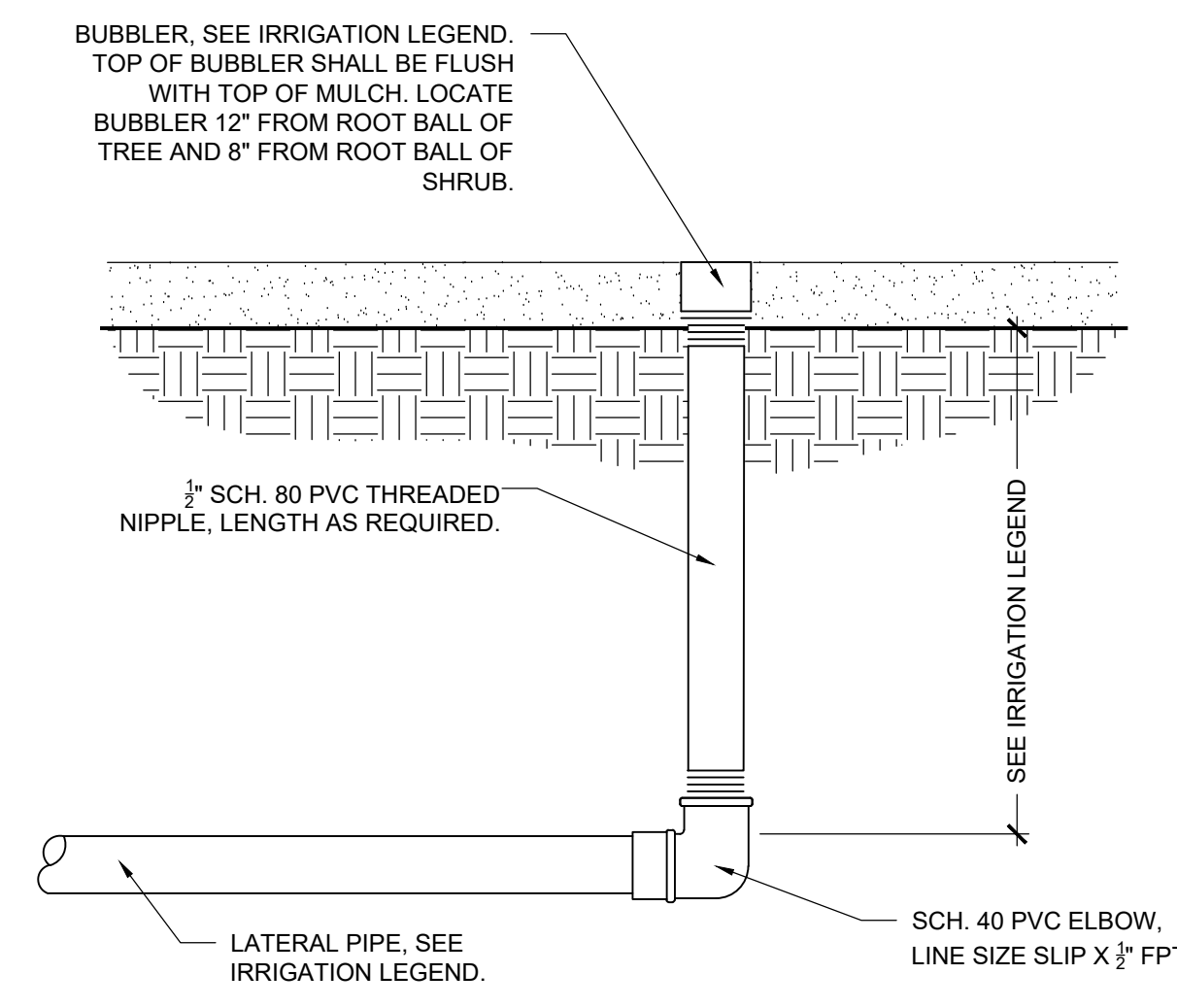
CONSTRUCTION DOCUMENTS - COA DFT COMMENTS
AUGUST 7, 2024

DRAWING TITLE: IRRIGATION PLAN
SHEET TITLE: IRRIGATION PLAN

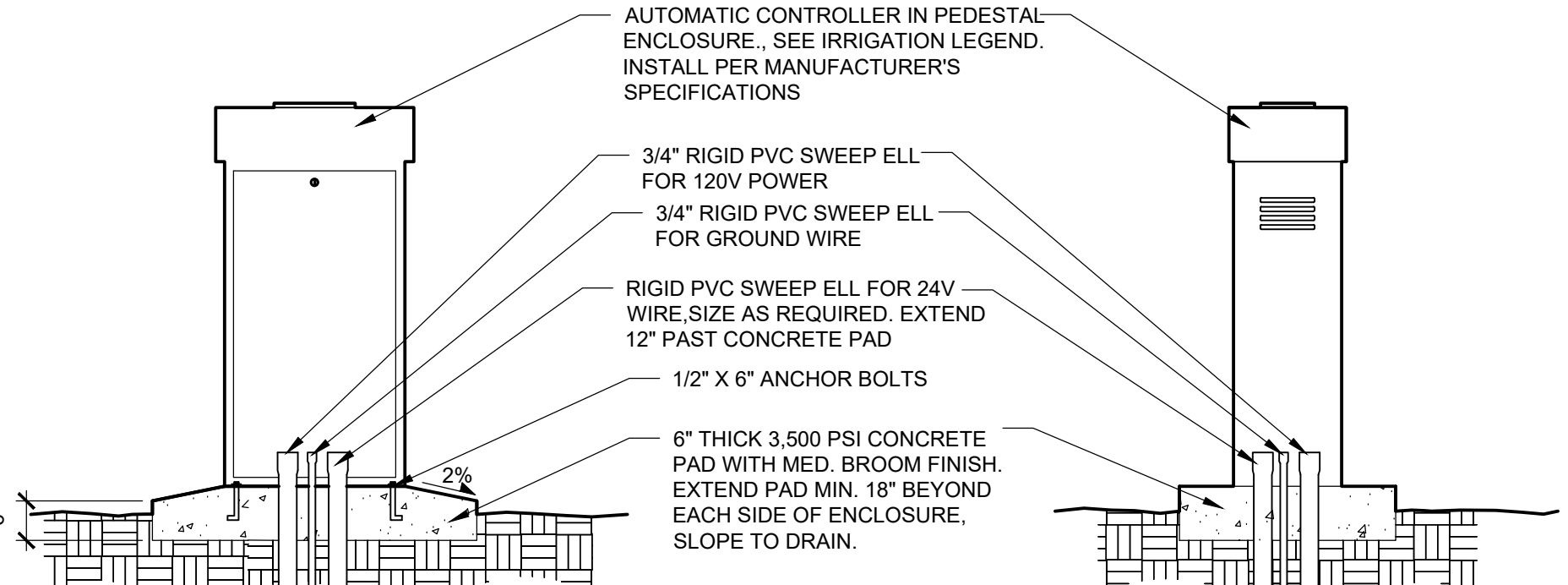
Design Review Committee	City Engineer Approval	Mo: 08/27/24	Mo: 08/27/24

City Project No. P7882.16 | Zone Map No. A-13-Z | DWG. LI-101 | Sheet

DEVELOPMENT FACILITATION TEAM
 PROJECT NUMBER: PR-2023-009382
 APPLICATION NUMBER: SI-2024-00739
 PROJECT NAME: City Multigenerational Center At 10751 Cibola Loop NW



B BUBBLER ASSEMBLY
 SCALE: N.T.S.



A PEDESTAL MOUNTED CONTROLLER
 SCALE: N.T.S.



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CIVIL
 High Mesa
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250

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 6501 Americas Parkway NE, Suite 350
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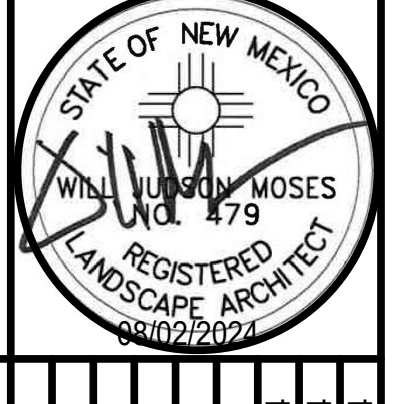
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 Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK STAKED	DATE
INSPECTORS ACCEPTANCE	DATE
FIELD VERIFICATION	DATE
DRAWINGS CORRECTED	DATE
BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED	DATE
NO.	DATE

BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
NO.	DATE

FIELD NOTES	
NO.	DATE



REVISIONS		DATE	
NO.	DATE	DATE	DATE
DESIGN	DATE	DATE	DATE
DRAWN BY:	DATE	DATE	DATE
CHECKED BY:	DATE	DATE	DATE

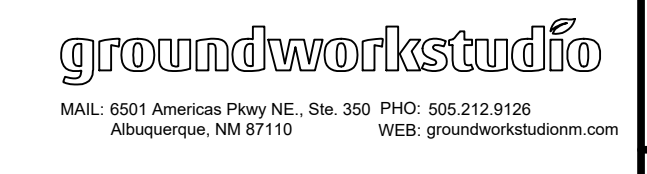
CITY OF ALBUQUERQUE

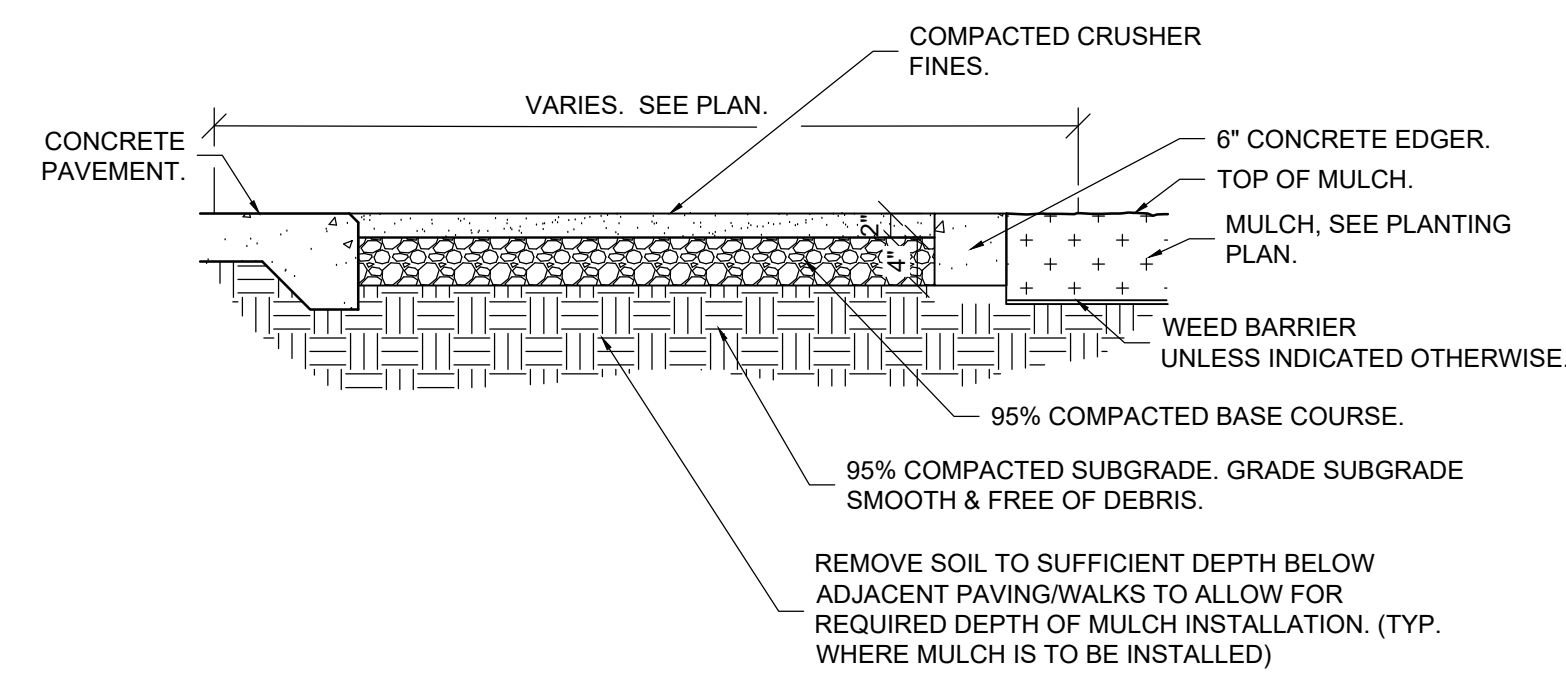
PROJECT TITLE:
COA CIBOLA LOOP MULTIGENERATIONAL CENTER
 10751 Cibola Loop NW
 Albuquerque, NM 87114

CONSTRUCTION DOCUMENTS - COA DFT COMMENTS
 AUGUST 7, 2024

DRAWING TITLE: SHEET TITLE: IRRIGATION DETAILS

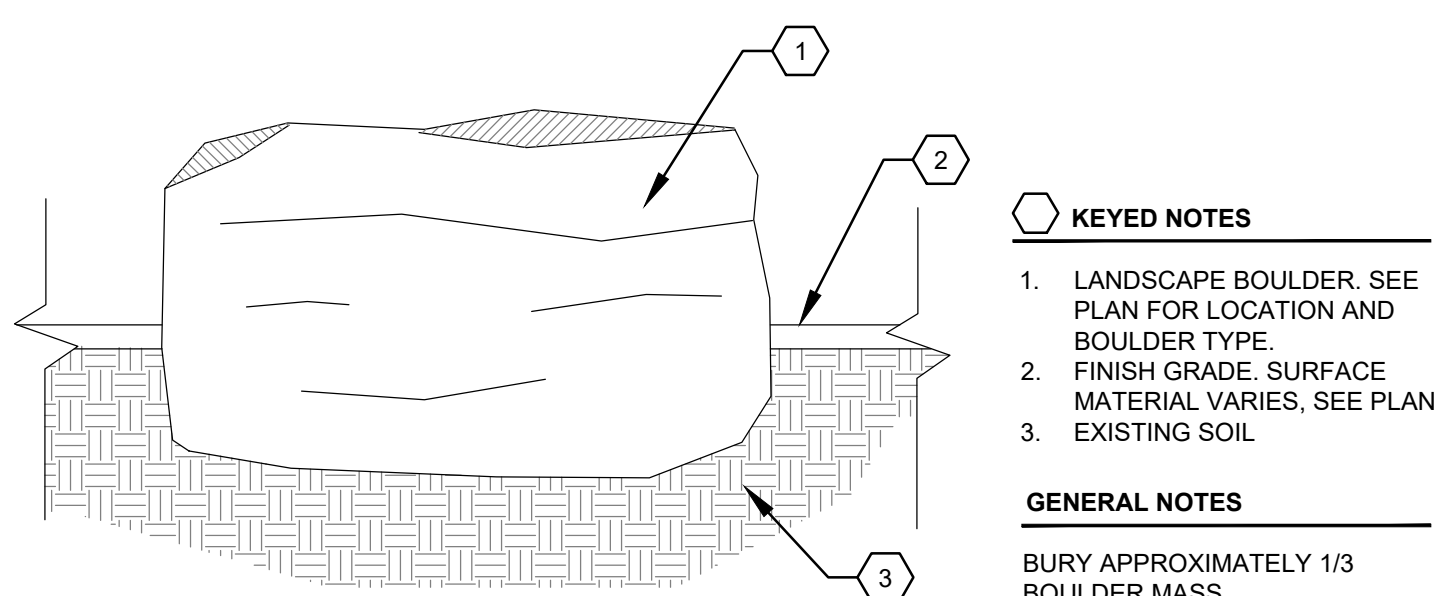
Design Review Committee	City Engineer Approval	Mo/Day/Yr	Mo/Day/Yr





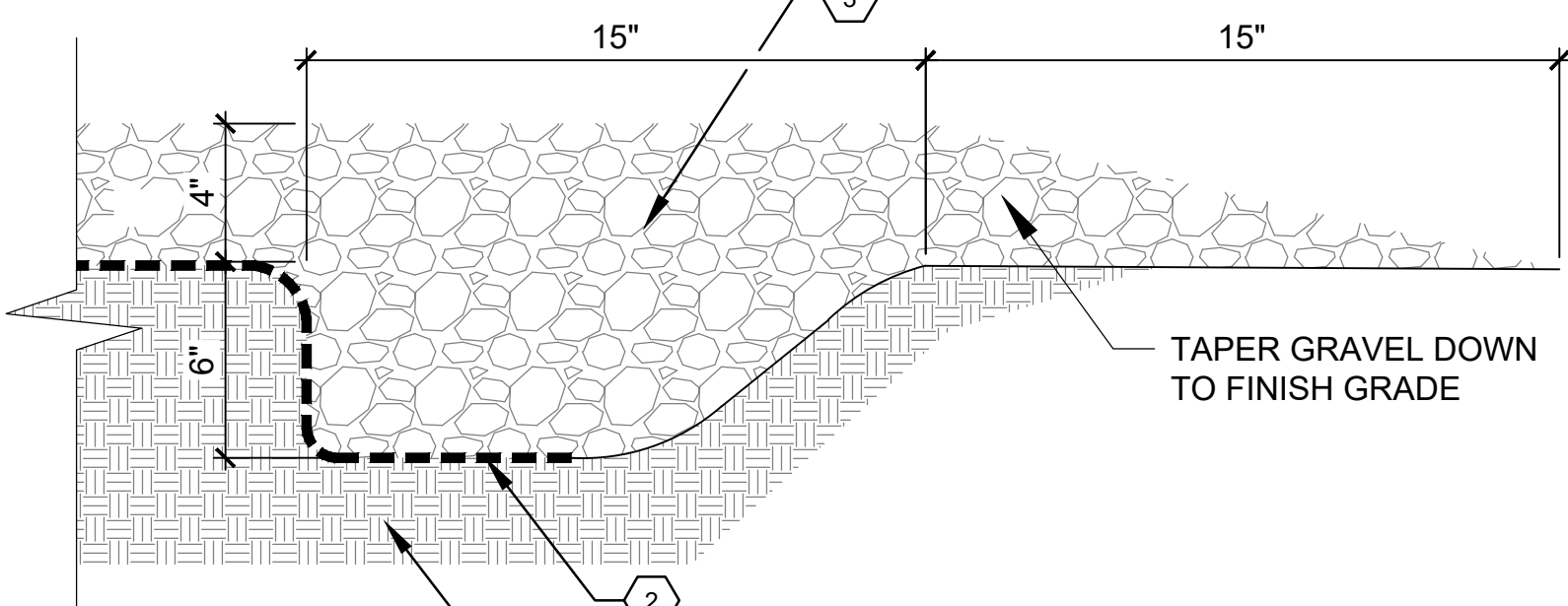
- NOTES:
 1. WET CRUSHER FINES TO 4% - 5% WATER CONTENT.
 2. ROLL CRUSHER FINES WITH WEIGHTED ROLLER IN BOTH DIRECTIONS TO COMPACT.
 3. TOP OF CRUSHER FINES SHALL BE FLUSH WITH TOP OF ADJACENT HARD SURFACE.

C COMPACTED CRUSHER FINE PATH
 SCALE: 3/4" = 1'-0"

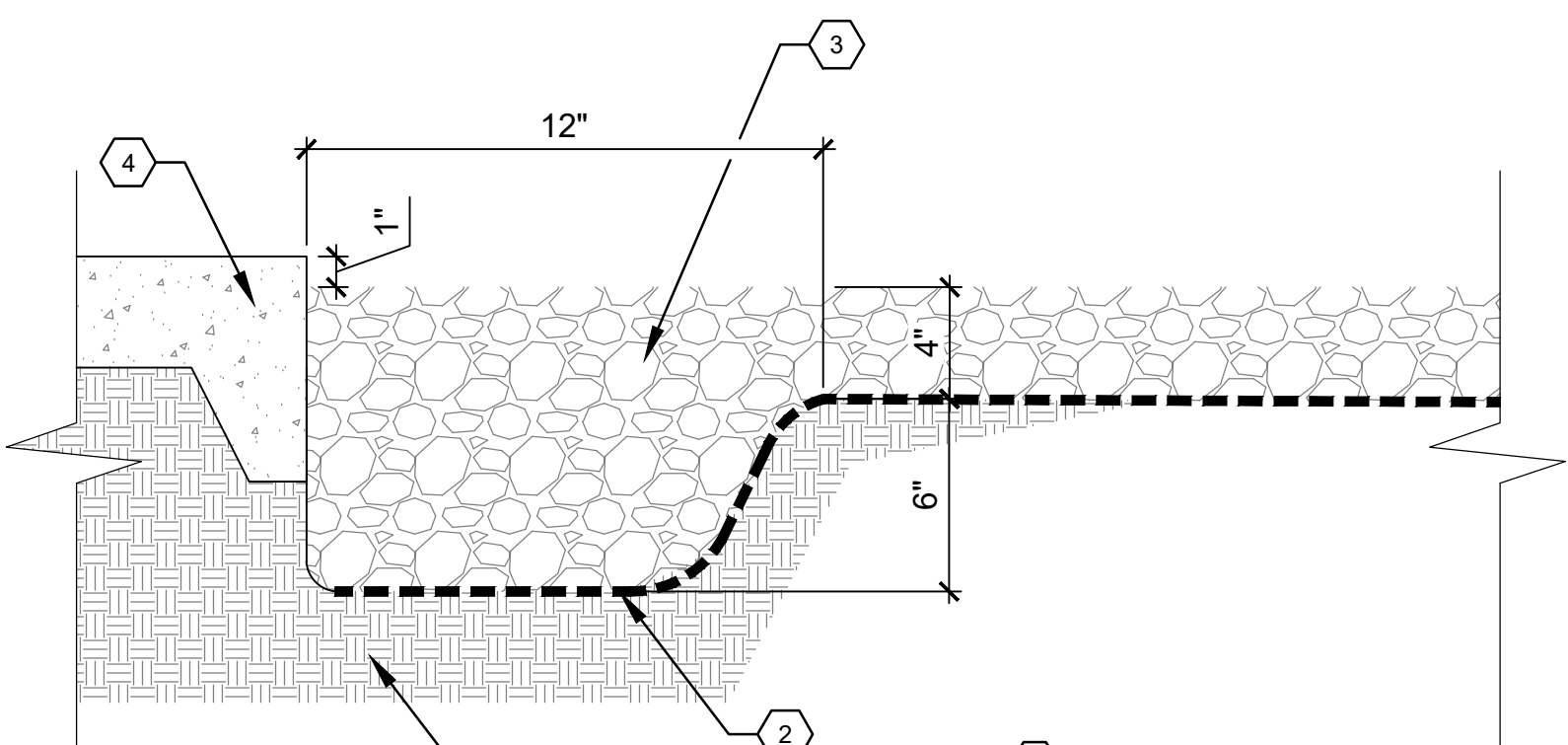


- KEYED NOTES**
 1. LANDSCAPE BOULDER. SEE PLAN FOR LOCATION AND BOULDER TYPE.
 2. FINISH GRADE SURFACE MATERIAL VARIES. SEE PLAN.
 3. EXISTING SOIL.
GENERAL NOTES
 BURY APPROXIMATELY 1/3 BOULDER MASS.

B ACCENT BOULDER
 SCALE: N.T.S.

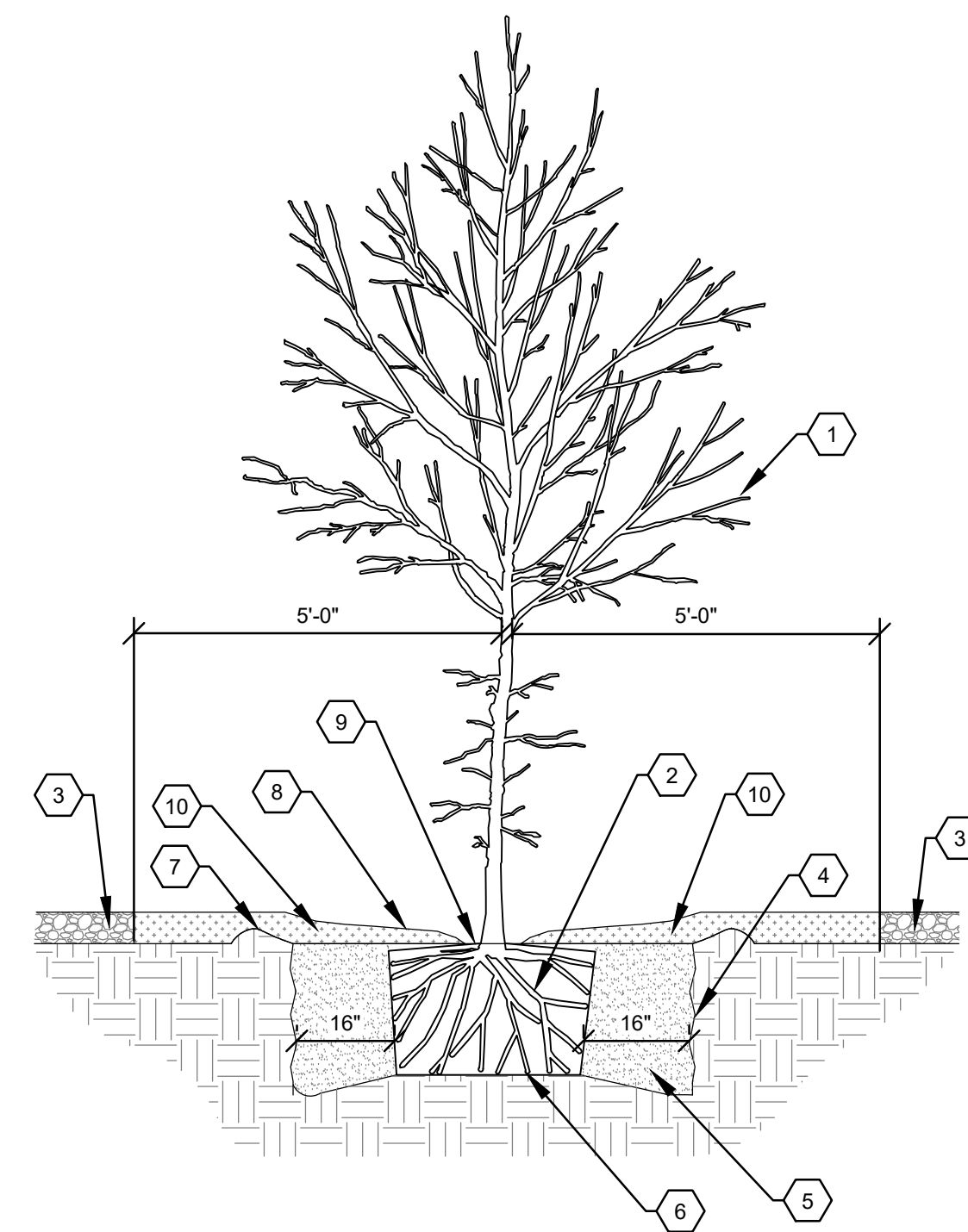


UNCONTAINED EDGE



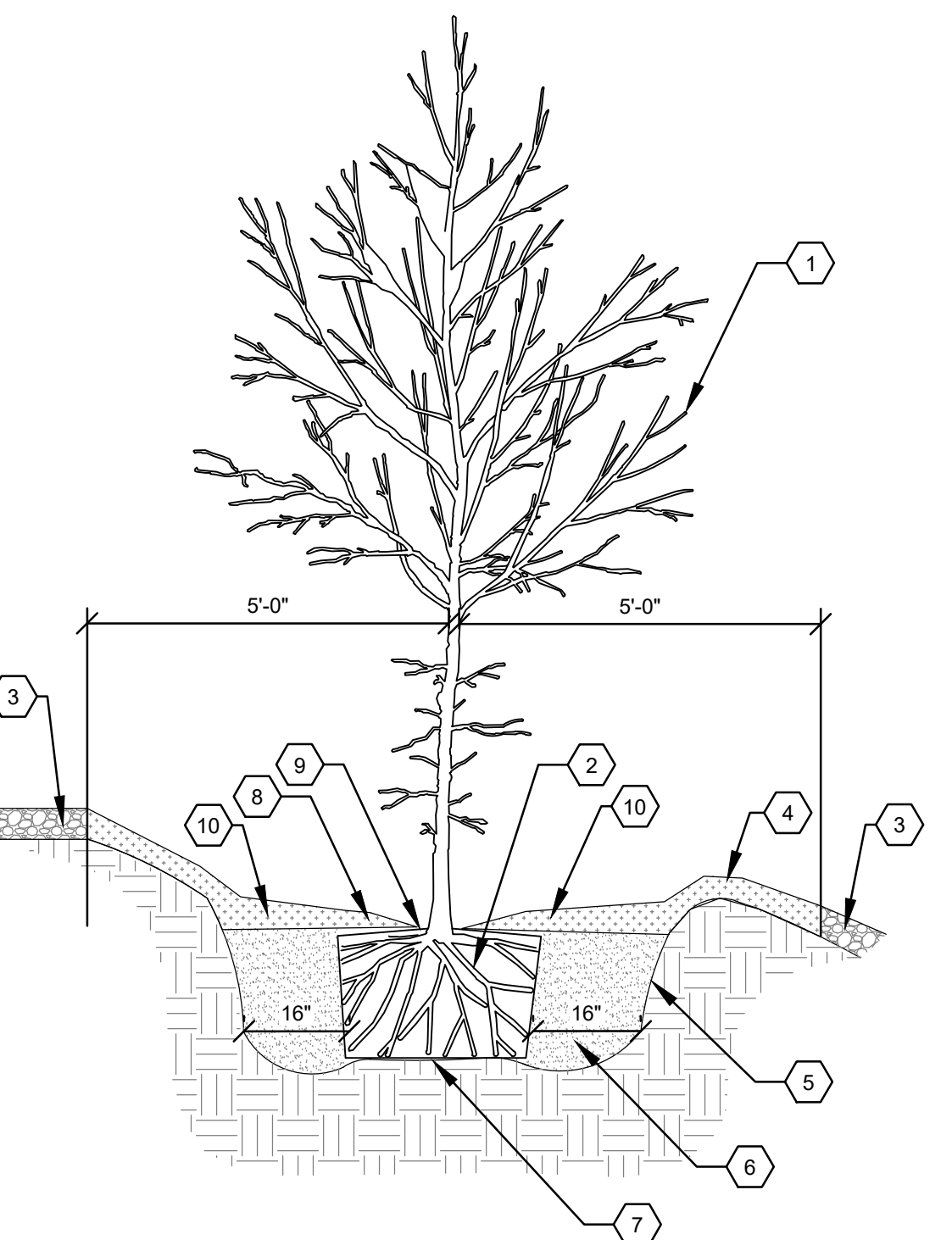
EDGE AT PAVEMENT

A GRAVEL EDGE FINISH CONDITION
 SCALE: N.T.S.



- KEYED NOTES**
 1. TREE. SEE PLANTING PLAN.
 2. CONTAINER GROWN TREES: REMOVE CONTAINER IN ITS ENTIRETY. SHAVE ROOT BALL TO REMOVE ALL CIRCLING ROOTS.
 B&B TREES: REMOVE TOP THIRD OF WIRE BASKET PRIOR TO FINAL BACKFILL OF PLANTING HOLE. AFTER PARTIAL BACKFILL, CUT TWINE AND REMOVE FROM TOP OF ROOT BALL. REMOVE TOP THIRD OF BURLAP. DO NOT FOLD OVER.
 3. MULCH. VARIES. SEE PLANTING PLAN.
 4. SCARIFY ALL SIDES OF PLANTING HOLE.
 5. BACKFILL AND SOIL AMENDMENTS PER SPECIFICATIONS.
 6. BOTTOM OF THE ROOT BALL ON UNDISTURBED SOIL.
 7. 4" HIGH X 8" WIDE BERM. BEGIN BERM AT ROOT BALL PERIPHERY.
 8. DECREASE MULCH TO 1" DEPTH ON TOP OF ROOT BALL AND HOLD MULCH BACK 2" FROM TRUNK.
 9. REMOVE SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE 2'-3" ABOVE GRADE.
 10. ORGANIC MULCH. SEE PLAN.

D TREE PLANTING
 NTS



- KEYED NOTES**
 1. TREE. SEE PLANTING PLAN.
 2. CONTAINER GROWN TREES: REMOVE CONTAINER IN ITS ENTIRETY. SHAVE ROOT BALL TO REMOVE ALL CIRCLING ROOTS.
 B&B TREES: REMOVE TOP THIRD OF WIRE BASKET PRIOR TO FINAL BACKFILL OF PLANTING HOLE. AFTER PARTIAL BACKFILL, CUT TWINE AND REMOVE FROM TOP OF ROOT BALL. REMOVE TOP THIRD OF BURLAP. DO NOT FOLD OVER.
 3. MULCH. SEE PLANTING PLAN.
 4. 4" HIGH X 8" WIDE BERM. BEGIN BERM AT ROOT BALL PERIPHERY.
 5. SCARIFY ALL SIDES OF PLANTING HOLE.
 6. BACKFILL AND SOIL AMENDMENTS PER SPECIFICATIONS.
 7. BOTTOM OF THE ROOT BALL ON UNDISTURBED SOIL.
 8. DECREASE MULCH TO 1" DEPTH ON TOP OF ROOT BALL AND HOLD MULCH BACK 2" FROM TRUNK.
 9. REMOVE SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE 2'-3" ABOVE GRADE.

E TREE PLANTING - ON SLOPE
 NTS

fbt architects
 6501 Americas Parkway NE, Suite 300
 Albuquerque, NM 87110
 505.883.5200
 www.fbtarch.com

CONSULTANTS
CIVIL
 High Mesa
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250
LANDSCAPE
 Groundwork Studio
 6501 Americas Parkway NE, Suite 350
 Albuquerque, NM 87110
 p_505.212.9126

STRUCTURAL
 Chavez-Greaves Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102
 Albuquerque, NM 87109
 p_505.344.4080

M/E/P/FP
 Bridgers & Paxton
 4500-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111

LIGHTING
 Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733

INTERIORS
 Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

CITY OF ALBUQUERQUE
 PROJECT TITLE:
**COA CIBOLA LOOP
 MULTIGENERATIONAL CENTER**
 10751 Cibola Loop NW
 Albuquerque, NM 87114
 CONSTRUCTION DOCUMENTS - COA DFT COMMENTS
 AUGUST 7, 2024

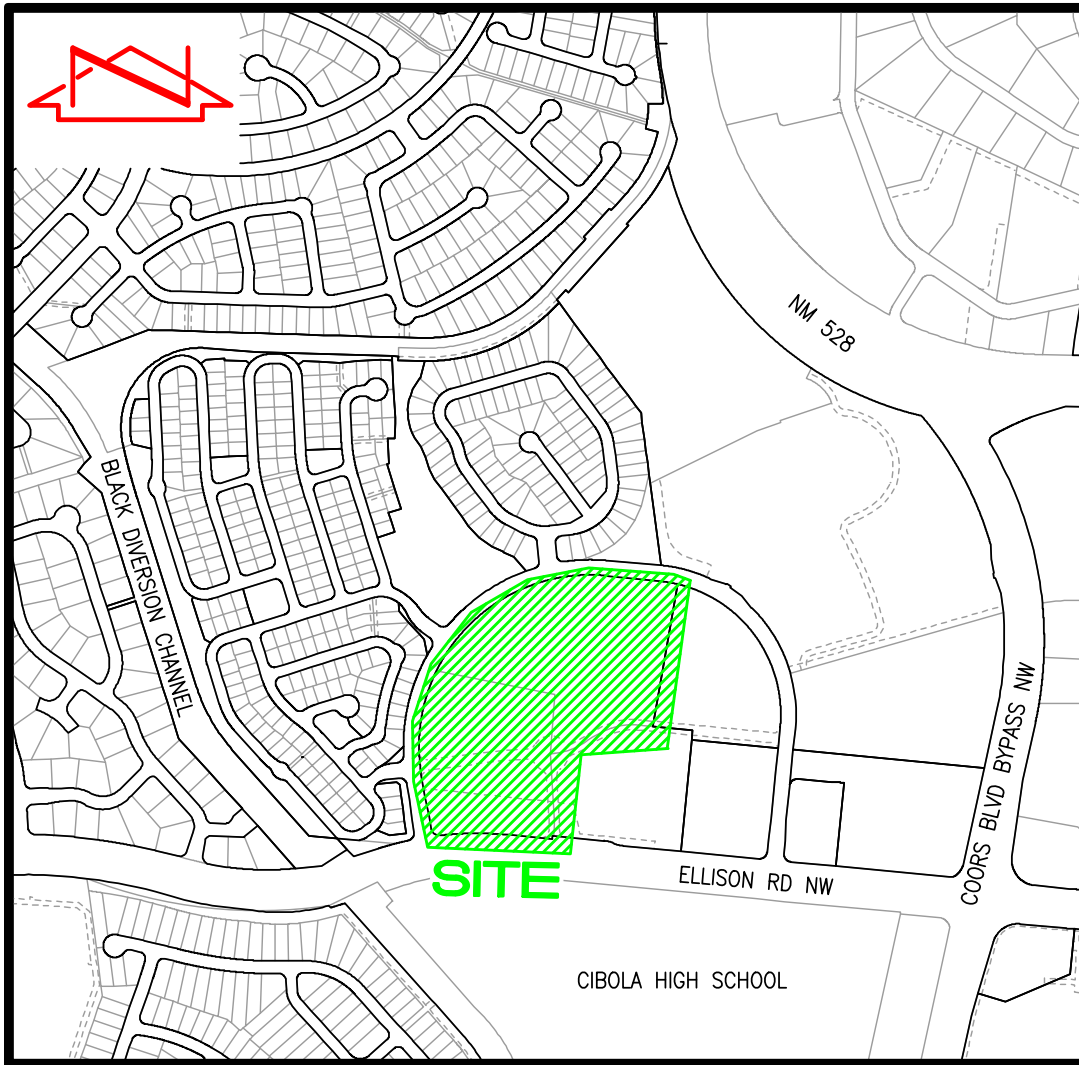
DRAWING TITLE: **LP-501**
 SHEET TITLE: **PLANTING DETAILS**

Design Review Committee	City Engineer Approval	Mo/Day/YY	Mo/Day/YY

City Project No.	Zone Map No.	DWG.	Sheet
P7882.16	A-13-Z	LP-501	

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK STAKED	DATE						
INSPECTORS ACCEPTANCE	DATE						
FIELD VERIFICATION	DATE						
DRAWINGS CORRECTED	DATE						
BY MICRO-FILM INFORMATION	DATE						
RECORDED	DATE						
NO.							

STATE OF NEW MEXICO
 REGISTERED LANDSCAPE ARCHITECT
 68107027



VICINITY MAP
SCALE: 1"=750'

A-13

INDEX OF DRAWINGS

- COVER SHEET, NOTES, VICINITY MAP
- DIGITAL ORTHOPHOTO
- BOUNDARY SURVEY
- TOPOGRAPHIC SURVEY - NORTH PORTION
- TOPOGRAPHIC SURVEY - SOUTH PORTION
- UTILITY SURVEY - NORTH PORTION
- UTILITY SURVEY - SOUTH PORTION

GENERAL NOTES

- A BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY WAS PERFORMED IN JANUARY, 2024. PROPERTY CORNERS WERE FOUND OR SET AS INDICATED.
- SITE LOCATED WITHIN PROJECTED SECTION 6, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M. (TOWN OF ALAMEDA GRANT).
- ORTHOGRAPHY WAS CAPTURED BY HMCG UNMANNED AERIAL VEHICLE (UAV) ON JANUARY 12, 2024.
- ALL DISTANCES ARE GROUND DISTANCES.
- BEARINGS SHOWN HEREON ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE (NAD 83). THESE BEARINGS ARE POSITIONED FROM AGRS CONTROL STATION "5-A13".
- RECORD BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS.
- THIS SURVEY HAS BEEN PREPARED BASED UPON NAVD 88 DATUM. PREVIOUS SURVEYS OF THIS AREA CONDUCTED BY OTHER CONSULTANTS MAY HAVE BEEN CONDUCTED BASED UPON NGVD 29 DATUM. SPECIAL CARE SHOULD BE EXERCISED WHEN COMPARING ELEVATIONS FROM THIS SURVEY TO CURRENT AND PREVIOUS SURVEYS, PLANS AND AS-BUILT DOCUMENTS.
- THE FOLLOWING DOCUMENTS AND INSTRUMENTS WERE USED FOR THE PERFORMANCE AND PREPARATION OF THIS SURVEY:
 - PLAT OF TRACTS B-9 THROUGH B-12, SEVEN-BAR RANCH, FILED NOVEMBER 08, 1985, VOLUME C28, FOLIO 161, DOC. NO. 1985094878.
 - EASEMENT FILED FEBRUARY 21, 1986, DOC. NO. 1986015530.
 - PLAT OF TRACTS B-9D THROUGH B-9K, SEVEN-BAR RANCH, FILED DECEMBER 21, 1989, VOLUME C40, FOLIO 75, DOC. NO. 1989107837.
 - PLAT OF TRACTS B-9H-1 AND B-9J-1, SEVEN-BAR RANCH, FILED NOVEMBER 17, 1994, VOLUME 94C, FOLIO 387, DOC. NO. 1994136793.
 - PLAT OF VISTA DEL PARQUE SUBDIVISION, FILED OCTOBER 07, 1997, VOLUME 97C, FOLIO 305, DOC. NO. 1997105217.
 - DRAINAGE EASEMENT FILED MAY 05, 1999, DOC. NO. 1999060060.
 - PLAT OF TRES PLACITAS, FILED OCTOBER 06, 1999, BOOK 99C, PAGE 283, DOC. NO. 1999128384.
 - PLAT OF TRACTS B-9D-1 AND TRACT B-9D-2, SEVEN-BAR RANCH, FILED JANUARY 02, 2003, BOOK 2003C, PAGE 1, DOC. NO. 2003000507.
 - PLAT OF TRACTS B-9J-1A-1 AND B-9J-1A-2, SEVEN-BAR RANCH, FILED MAY 16, 2006, BOOK 2006C, PAGE 156, DOC. NO. 2006071228.
 - PLAT OF TRACTS B-9E-1-A, B-9F-1 AND B-9E-2-A, SEVEN BAR RANCH, FILED FEBRUARY 13, 2008, BOOK 2008C, PAGE 26, DOC. NO. 2008016817.
 - BULK LAND PLAT OF CIBOLA LOOP SUBDIVISION, FILED APRIL 29, 2009, BOOK 2009C, PAGE 66, DOC. NO. 2009046789.
 - BULK PLAT OF TRACTS A-1, A-2, B-1 AND C-1, CIBOLA LOOP SUBDIVISION, FILED FEBRUARY 14, 2017, BOOK 2017C, PAGE 17, DOC. NO. 2017013734.
 - THE PROPERTY SURVEYED HEREON MAY BE SUBJECT TO THE RESERVATIONS CONTAINED IN THE ORIGINAL PATENT FROM THE UNITED STATES OF AMERICA.
 - THE PROPERTY SURVEYED HEREON MAY BE SUBJECT TO THE TEMPORARY TURNING EASEMENT FILLED ON 11/08/1985 SEE EASEMENT KEY NOTE 5.

A.G.R.S. BENCHMARK #201

AN AGRS BRASS DISK STAMPED "5-A13", SET IN CONCRETE, ON THE SOUTHEAST CORNER OF THE ISLAND NORTHWEST OF THE INTERSECTION OF COORS BLVD BYPASS NW AND ELLISON DR NW. NOT SHOWN

MODIFIED GROUND COORDINATES:	PUBLISHED COORDINATES:
NORTHING = 1,530,468.50 FEET	NORTHING = 1,530,468.63 FEET
EASTING = 1,518,154.32 FEET	EASTING = 1,518,153.56 FEET
ELEVATION = 5057.85 FEET (NAVD 1988)	ELLIPSOID HEIGHT = 4987.95 FEET (NAD 83)

PROJECT BENCHMARK #202 (P.B.M.)

A #5 REBAR W/CAP STAMPED "HMCG CONTROL NMPS 11184", SET IN DIRT NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE, APPROXIMATELY 136' EAST OF THE STORM DRAIN INLET ON THE EAST SIDE OF WEST CIBOLA LOOP NW AND 233' NORTH OF THE BACK OF CURB ON THE NORTH SIDE OF ELLISON DR NW, AS SHOWN ON THIS SHEET AND SHEET 5.

MODIFIED GROUND COORDINATES:
NORTHING = 1,530,887.18 FEET
EASTING = 1,516,155.43 FEET
ELEVATION = 5090.57 FEET (NAVD 1988)

TEMPORARY BENCHMARK #203 (T.B.M.)

A #5 REBAR W/CAP STAMPED "HMCG CONTROL NMPS 11184", SET IN DIRT NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE, APPROXIMATELY 200' EAST OF THE STORM DRAIN INLET ON THE EAST SIDE OF WEST CIBOLA LOOP NW AND 200' NORTH OF THE BACK OF CURB ON THE NORTH SIDE OF ELLISON DR NW, AS SHOWN ON THIS SHEET AND SHEET 5.

MODIFIED GROUND COORDINATES:
NORTHING = 1,530,854.64 FEET
EASTING = 1,516,222.95 FEET
ELEVATION = 5089.64 FEET (NAVD 1988)

TEMPORARY BENCHMARK #204 (T.B.M.)

A #5 REBAR W/CAP STAMPED "HMCG CONTROL NMPS 11184", SET IN DIRT NEAR THE NORTH END OF THE PROJECT SITE, APPROXIMATELY 349' SOUTH OF THE BACK OF CURB ON THE SOUTH SIDE OF WEST CIBOLA LOOP NW AND 47' WEST OF A DIRT ROAD RUNNING DOWN THE CENTER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET AND SHEET 4.

MODIFIED GROUND COORDINATES:
NORTHING = 1,531,357.44 FEET
EASTING = 1,516,704.85 FEET
ELEVATION = 5102.33 FEET (NAVD 1988)

TEMPORARY BENCHMARK #206 (T.B.M.)

A #5 REBAR W/CAP STAMPED "HMCG CONTROL NMPS 11184", SET IN DIRT NEAR THE SOUTHEAST CORNER OF THE PROJECT SITE, APPROXIMATELY 66' EAST OF A DIRT ROAD RUNNING DOWN THE CENTER OF THE PROJECT SITE AND 170' NORTH OF THE BACK OF CURB ON THE NORTH SIDE OF ELLISON DR NW, AS SHOWN ON THIS SHEET AND SHEET 5.

MODIFIED GROUND COORDINATES:
NORTHING = 1,530,781.43 FEET
EASTING = 1,516,671.67 FEET
ELEVATION = 5086.13 FEET (NAVD 1988)

LEGAL DESCRIPTION

TRACTS A-1, AND A-2, CIBOLA LOOP SUBDIVISION, ALBUQUERQUE, NEW MEXICO, PROJECTED SECTION 6, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M. (TOWN OF ALAMEDA GRANT). AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 14, 2017, BK. 2017C, PG. 17, DOC. NO. 2017013734.

EASEMENT

- 10' MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY EASEMENT, BEING 5' ON EACH SIDE OF CENTERLINE GRANTED BY DOCUMENT FILED 02-21-1986, BOOK 323A PAGE 942, DOC. NO. 1986015530.
- 10' NEW MEXICO UTILITIES SEWERLINE EASEMENT, GRANTED BY DOCUMENTS FILED 12-05-1974, BOOK 345 PAGE 971 AND AS DEPICTED ON PLAT FILED 02-14-2017, BOOK 2017C, PAGE 17.
- PUBLIC DRAINAGE EASEMENT, GRANTED BY DOCUMENTS FILED 05-05-1999, BOOK 9906 PAGE 9917, DOC. NO. 1999060060.
- 10' PUBLIC UTILITY EASEMENT, AS SHOWN ON PLAT FILED 12-21-1989, BOOK C40 PAGE 75.
- 50' RADIUS TEMPORARY TURNING EASEMENT, AS SHOWN ON PLAT FILED 11-08-1985, BOOK C28 PAGE 161.
- 12' MOUNTAIN BELL UNDERGROUND TELEPHONE EASEMENT, AS SHOWN ON PLAT FILED 11-08-1985, BOOK C28 PAGE 161.
- 10' PUBLIC UTILITY EASEMENT, GRANTED BY PLAT FILED 04-29-2009, BOOK 2009C PAGE 66.
- RECIPROCAL CROSS LOT ACCESS AND DRAINAGE EASEMENT FOR TRACTS A, B, C, THE JOINT USE AND BENEFIT OF AND TO BE MAINTAINED BY SAID BENEFICIARIES, GRANTED BY PLAT FILED 04-29-2009, BOOK 2009C PAGE 66.
- 40' WIDE PRIVATE ACCESS EASEMENT AND PRIVATE WATERLINE, SANITARY AND DRAINAGE EASEMENT, GRANTED BY DOCUMENTS FILED 02-14-2017, BOOK 2017C, PAGE 17.

CONTROL SURVEY NOTE

A CONTROL SURVEY WAS CONDUCTED AT THE SITE ON JANUARY 10, 2024. CONTROL WAS PROJECTED ONTO THE SUBJECT SITE UTILIZING RTK GPS OBSERVATIONS COMBINED WITH GEOID MODEL 18(CONUS) TO ESTABLISH HORIZONTAL AND VERTICAL POSITIONS BASED UPON NAD 83/NAVD 88 DATUM. THE RTK OBSERVATIONS WERE USED TO ESTABLISH THE TEMPORARY BENCHMARKS AT THE PROJECT SITE.

THE POINTS OBSERVED HAVE BEEN QUALITY CONTROLLED FOR RELATIVE ACCURACY. AN AGRS BENCHMARK "5-A13" IN THE VICINITY OF THE PROJECT WAS OBSERVED IN ORDER TO PROVIDE REFERENCE TIES TO THE SITE. ALL HORIZONTAL COORDINATES ARE MODIFIED NAD 83 GRID VALUES AND HAVE BEEN ADJUSTED TO THE GROUND AT THE PROJECTION POINT (THE SCALE FACTOR USED IS 1/CF=1.0003225529). THE CONTROL STATION USED TO PROJECT FROM GRID TO GROUND FOR THIS PROJECT IS THE PROJECT BENCHMARK "202" WITH NAD GRID COORDINATES OF:

NORTHING= 1,530,887.18 FEET
EASTING= 1,516,155.43 FEET
ELEVATION= 5090.57 FEET

THE ELEVATIONS ARE BASED UPON THE NAVD DATUM AND REQUIRE NO FURTHER ADJUSTMENT.

SUBSURFACE UTILITY ENGINEERING (SUE) QUALITY LEVEL DESCRIPTIONS

- QUALITY LEVEL A (QLA) - UTILITY COMPOSITION, SIZE AND PRECISE VERTICAL AND HORIZONTAL POSITION OF DESIGNATED UTILITY LINE OBTAINED THROUGH NON-DESTRUCTIVE METHODS OF EXCAVATION. ALSO REFERRED TO AS POTHOLING OR DAYLIGHTING.
- QUALITY LEVEL B (QLB) - HORIZONTAL UTILITY LOCATIONS ASCERTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODOLOGIES AND UTILITY LOCATING TECHNIQUES. ALSO REFERRED TO AS DESIGNATION OR LINE-SPOTTING.
- QUALITY LEVEL C (QLC) - SURVEYING OF VISIBLE SURFACE FEATURES.
- QUALITY LEVEL D (QLD) - UTILITY INFORMATION DERIVED FROM EXISTING UTILITY RECORDS AND VARIOUS OTHER RESOURCES OF UTILITY INFORMATION INCLUDING BUT NOT LIMITED TO: RECORD OR AS-BUILT DRAWINGS, SITE UTILITY PLANS, DISTRIBUTION AND SERVICE MAPS, EXISTING GEOGRAPHIC INFORMATION SYSTEM (GIS) DATABASES, ORAL RECOLLECTIONS, ETC.

SUBSURFACE UTILITY NOTES

- UTILITIES SHOWN ARE A DEPICTION OF VISIBLE UTILITY FEATURES AND ASCERTAINABLE SUBSURFACE UTILITY LOCATIONS THAT HAVE BEEN DESIGNATED AND/OR OBSERVED BY, AND SUBSEQUENTLY SURVEYED BY HIGH MESA CONSULTING GROUP, AS A GENERAL GUIDELINE, ASCE STANDARD 38-22 (STANDARD GUIDELINE FOR INVESTIGATING AND DOCUMENTING EXISTING UTILITIES) HAS BEEN FOLLOWED FOR GATHERING AND PRESENTING THE LEVEL OF UTILITY INFORMATION THAT HAS BEEN REQUESTED FOR THIS PROJECT. SUBSURFACE UTILITY ENGINEERING (SUE) QUALITY LEVELS B, C AND D HAVE BEEN COMPLETED AT THIS TIME.
- SURFACE GEOPHYSICAL LOCATING AND SUBSURFACE UTILITY DESIGNATION (SUE - QLB) EFFORTS HAVE BEEN BASED UPON VARIOUS RESOURCES OF UTILITY INFORMATION ALONG WITH CURRENT SITE CONDITIONS INCLUDING ACCESSIBLE SURFACE FEATURES OBSERVED WITHIN THE PROJECT LIMITS. RESULTS OF THIS EFFORT HAVE BEEN CORRELATED TO EXISTING RECORD DRAWINGS (OR OTHER RESOURCES OF UTILITY INFORMATION) THAT WERE AVAILABLE AT THE TIME THIS WORK WAS PERFORMED. UTILITY LOCATIONS THAT COULD NOT BE ASCERTAINED THROUGH SURFACE GEOPHYSICAL LOCATING METHODS, BUT WERE RECONCILED FROM UTILITY RECORDS, HAVE BEEN IDENTIFIED AND LABELED ON THIS SURVEY ACCORDINGLY. ADDITIONALLY, ANY DISCOVERED DISCREPANCIES RELATED TO THE RECORD DRAWINGS, UTILITY CONNECTIVITY OR PUBLIC UTILITY RESPONSE HAVE BEEN DOCUMENTED. REFER TO KEYED SUBSURFACE UTILITY NOTES ON SHEET 6 AND 7 FOR LOCATIONS AND SUBSURFACE UTILITY KEYED NOTES FOR DETAILS.
- PUBLICLY-OWNED UTILITIES REPRESENTED ON THIS SURVEY HAVE BEEN IDENTIFIED BY THE OWNER IN RESPONSE TO HMCG NM811 DESIGN LOCATE REQUEST (NM811 TICKET 24JAO30354 01/03/24 11:38AM) AND/OR THROUGH SUPPLEMENTAL DESIGNATION EFFORTS BY HMCG BASED UPON SURFACE EVIDENCE AND VARIOUS OTHER RESOURCES OF UTILITY INFORMATION OBTAINED FROM THE OWNER AT THE ONSET OF THE PROJECT. A LIST OF UTILITY OWNERS REGISTERED WITH NM811 HAS BEEN PROVIDED BELOW:

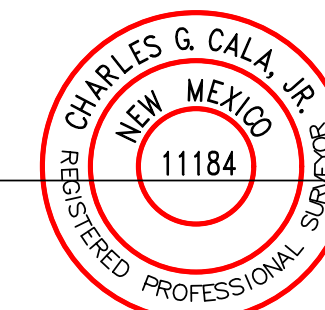
NM811 UTILITY OWNER/OPERATOR LIST	
NAME	*TELEPHONE NUMBER
ALBUQUERQUE/BERNALILLO COUNTY WUA	1-505-842-9287
CENTURYLINK LOCAL NETWORK CENTRAL	1-800-283-4237
CITY OF ALBUQUERQUE (C.O.A.)	1-505-857-8044
C.O.A.-STORM DRAINS	1-505-857-8022
C.O.A.- STREET LIGHTING DEPT.	1-505-508-0744
C.O.A.- STREET LIGHTING DEPT.	1-505-857-8689
COMCAST - ALBUQUERQUE	1-800-778-9140
MCI CABLE SEC	1-919-414-2782
NEW MEXICO GAS COMPANY - ALBUQUERQUE	1-505-934-5853
PNM ELECTRIC - ALBUQUERQUE	1-505-463-0024
UNITE PRIVATE NETWORKS, LLC	1-816-368-9039

*TELEPHONE NUMBERS OBTAINED THROUGH NM811 WEB PORTAL
- THIS UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THIS UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.

SURVEYORS CERTIFICATION

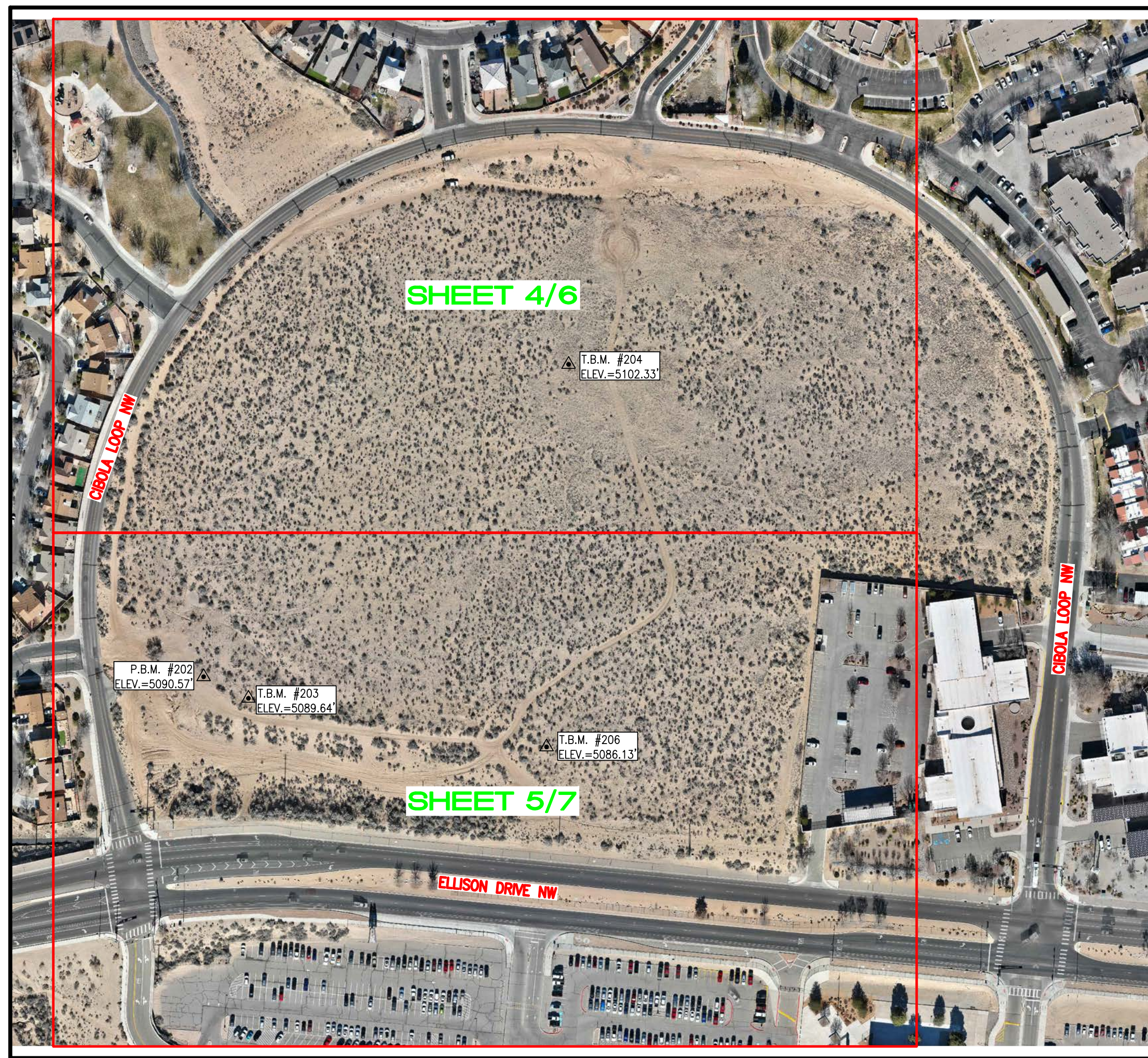
I, CHARLES G. CALA, JR., NEW MEXICO PROFESSIONAL SURVEYOR NO. 11184, DO HEREBY CERTIFY: THAT THIS BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Charles G. Cala, Jr.
CHARLES G. CALA, JR., NMPS 11184

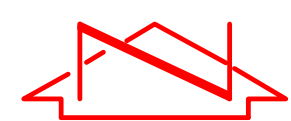


February 23, 2024
DATE

SHEET LAYOUT
SCALE: 1"=150'



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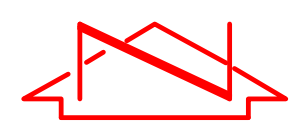
SURVEYED BY M.V.Z.	NO.	DATE	BY	REVISIONS	JOB NO. 2024.001.2
	DRAWN BY A.J.P.				DATE 02-2024
	APPROVED BY C.G.C.				SHEET 1 OF 7



File Name: P:\data\2024\2024.001.2\SUB\20240012_BNDY.dwg - SHEET 2 Plot Date: 2/23/24 Plot Time: 10:34



6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacg.com | bowman.com



SCALE: 1" = 60'

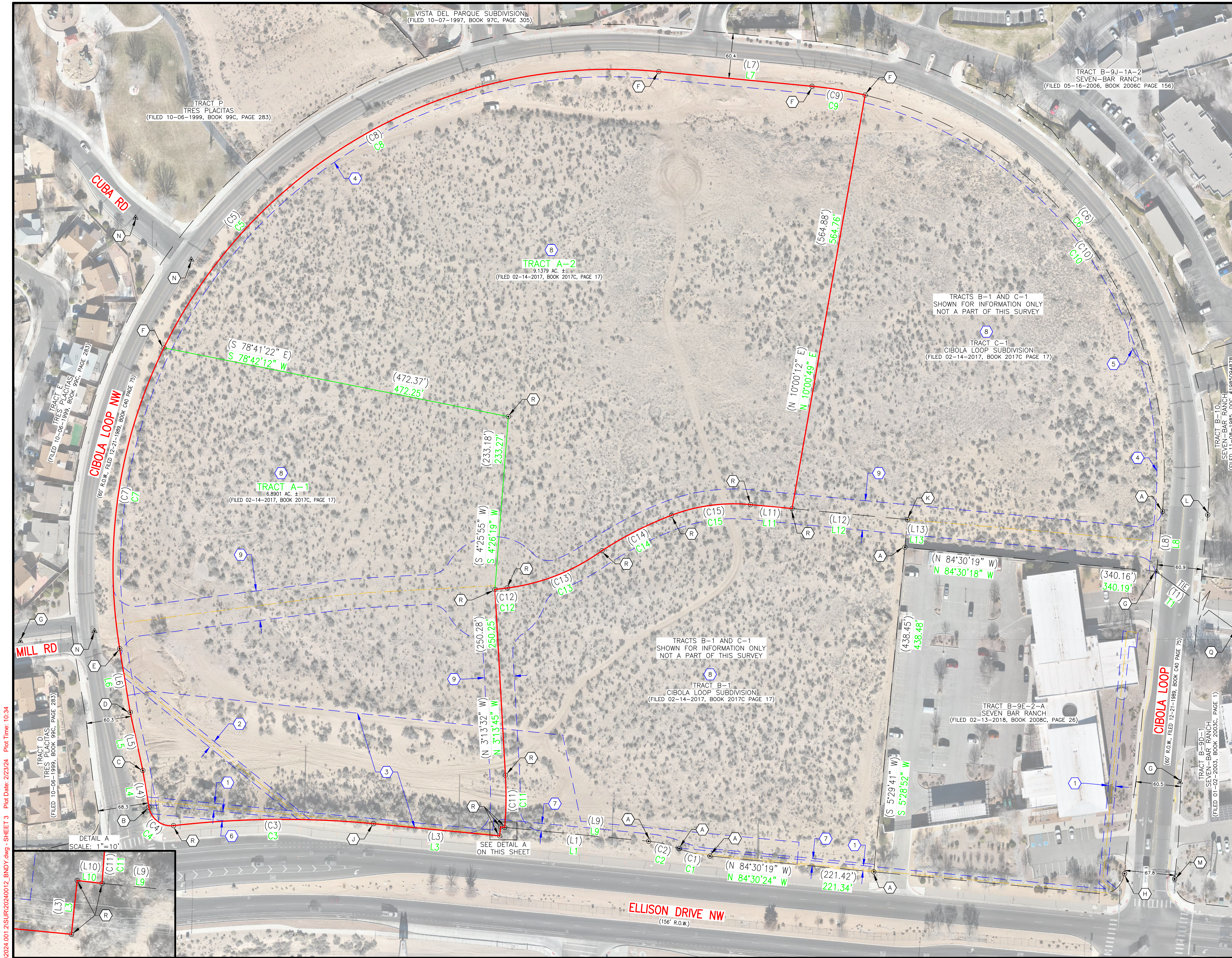


**DIGITAL ORTHOPHOTO
CIBOLA LOOP
ALBUQUERQUE, NM**

SURVEYED BY M.V.Z.
DRAWN BY A.J.P.
APPROVED BY C.G.C.

NO.	DATE	BY	REVISIONS

JOB NO. **2024.001.2**
DATE **02-2024**
SHEET **2** OF **7**



BOUNDARY TABLE

LINE	DIRECTION	DISTANCE
L1	N 84°27'31" W	200.07'
(L1)	N 84°30'19" W	200.08'
L2	S 6°06'27" W	12.12'
(L2)	S 5°29'41" W	12.00'
L3	N 84°29'47" W	170.35'
(L3)	N 84°30'19" W	170.46'
L4	N 9°23'51" W	50.00'
(L4)	N 9°23'51" W	50.00'
L5	N 12°15'36" W	80.10'
(L5)	N 12°15'36" W	80.10'
L6	N 9°23'51" W	86.78'
(L6)	N 9°23'51" W	86.78'
L7	S 84°31'26" E	207.04'
(L7)	S 84°30'19" E	207.09'
L8	S 5°34'59" E	81.43'
(L8)	S 5°29'41" W	81.50'
L9	N 84°29'26" W	194.48'
(L9)	N 84°30'19" W	194.50'
L10	N 83°20'47" W	5.59'
(L10)	N 84°30'19" W	5.58'
L11	S 84°36'05" E	56.17'
(L11)	S 84°33'00" E	56.18'
L12	S 84°32'08" E	156.00'
(L12)	S 84°33'00" E	156.06'
L13	S 5°29'51" W	37.49'
(L13)	S 5°29'41" W	37.49'
T1	S 53°47'12" E	907.38'
(T1)	S 53°45'54" E	906.69'

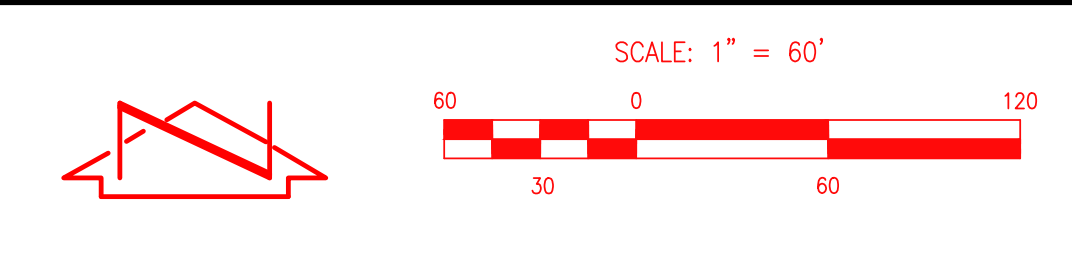
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	150.00'	42.70'	N 76°22'52" W	42.55'	16°18'35"
(C1)	150.00'	42.57'	N 76°22'31" W	42.43'	16°15'37"
C2	150.00'	42.45'	N 76°26'41" W	42.31'	16°12'50"
(C2)	150.00'	42.57'	N 76°22'31" W	42.43'	16°15'37"
C3	1278.00'	269.51'	S 89°26'54" W	269.01'	12°04'58"
(C3)	1278.00'	269.61'	S 89°27'04" W	269.11'	12°05'14"
C4	30.00'	45.71'	N 53°07'01" W	41.42'	87°18'20"
(C4)	30.00'	45.66'	N 52°59'42" W	41.38'	87°11'42"
C5	670.00'	1226.36'	N 43°02'49" E	1062.19'	104°52'25"
(C5)	670.00'	1226.58'	N 43°02'55" E	1062.33'	104°53'32"
C6	524.00'	823.17'	S 39°30'30" E	741.10'	90°00'30"
(C6)	524.00'	823.10'	S 39°30'19" E	741.05'	90°00'00"
C7	670.00'	415.68'	N 8°21'51" E	409.04'	35°32'49"
(C7)	670.00'	415.66'	N 8°22'32" E	409.03'	35°32'46"
C8	670.00'	810.91'	N 60°49'41" E	762.31'	69°20'44"
(C8)	670.00'	810.91'	N 60°49'18" E	762.32'	69°20'46"
C9	524.00'	72.47'	S 80°31'55" E	72.41'	7°55'28"
(C9)	524.00'	72.42'	S 80°32'46" E	72.36'	7°55'06"
C10	524.00'	750.68'	S 35°32'51" E	688.11'	82°04'54"
(C10)	524.00'	750.68'	S 35°32'46" E	688.11'	82°04'54"
C11	500.06'	70.20'	N 0°46'48" E	70.14'	8°02'37"
(C11)	500.06'	70.19'	N 0°47'43" E	70.13'	8°02'30"
C12	1045.12'	16.64'	N 83°01'28" E	16.64'	0°54'44"
(C12)	1045.12'	16.67'	N 83°23'37" E	16.67'	0°54'49"
C13	274.24'	138.46'	N 68°30'51" E	136.99'	28°55'38"
(C13)	274.24'	138.37'	N 68°28'56" E	136.91'	28°54'34"
C14	492.66'	105.07'	N 63°01'25" E	104.88'	12°13'12"
(C14)	492.66'	105.15'	N 63°02'06" E	104.95'	12°13'45"
C15	236.00'	108.25'	N 82°18'04" E	107.30'	26°16'49"
(C15)	236.00'	108.33'	N 82°17'59" E	107.38'	26°18'02"

- MONUMENTS**
- (A) FOUND #4 REBAR W/ CAP STAMPED "ALDRICH NMPS 7719"
 - (B) FOUND #5 REBAR W/ CAP STAMPED "S TOLER NMPS 11599", TAGGED WITH WASHER STAMPED "PS 11184"
 - (C) FOUND #5 REBAR W/ CAP ILLEGIBLE, (BENT), REPLACED WITH #5 REBAR W/ CAP STAMPED "NEW MEXICO PS 11184"
 - (D) FOUND #5 REBAR NO CAP, (BENT), WITH WASHER STAMPED "COMBS PS 23200" REPLACED WITH #5 REBAR W/ CAP STAMPED "NEW MEXICO PS 11184"
 - (E) FOUND #4 REBAR W/ CAP ILLEGIBLE, (BENT), REPLACED WITH #5 REBAR W/ CAP STAMPED "NEW MEXICO PS 11184"
 - (F) FOUND #4 REBAR W/ CAP STAMPED "ALDRICH NMPS 7719", WITH WASHER STAMPED "COMBS PS 23200", TAGGED WITH WASHER STAMPED "PS 11184"
 - (G) FOUND CHISLED "X" IN CONCRETE
 - (H) FOUND #5 REBAR W/ CAP STAMPED "HUGG LS 8686"
 - (J) FOUND #5 REBAR W/ CAP STAMPED "NMPS 11599", TAGGED WITH WASHER STAMPED "PS 11184"
 - (K) FOUND #4 REBAR W/ CAP ILLEGIBLE
 - (L) FOUND #5 REBAR NO CAP
 - (M) FOUND #4 REBAR W/ CAP STAMPED "L. MEDRANO PS 11993"
 - (N) FOUND ALUMINUM CAP STAMPED "COA CL MON PLS 7719 1999"
 - (P) FOUND ALUMINUM CAP STAMPED "COA CL MON PLS 6544 1998"
 - (Q) FOUND ARGV BRASS DISK STAMPED "5_A13" (HMCG POINT #201)
 - (R) FOUND #4 REBAR W/ CAP STAMPED "ALDRICH NMPS 7719", TAGGED WITH WASHER STAMPED "PS 11184"

RECORD BEARINGS AND DISTANCES FROM THE FOLLOWING DOCUMENTS:
 () BOUNDARY SURVEY BULK PLAT OF TRACTS A-1, A-2, B-1 AND C-1, CIBOLA LOOP SUBDIVISION, FILED 02/14/2017, BOOK 2017C, PAGE 17, DOC. #2017013734

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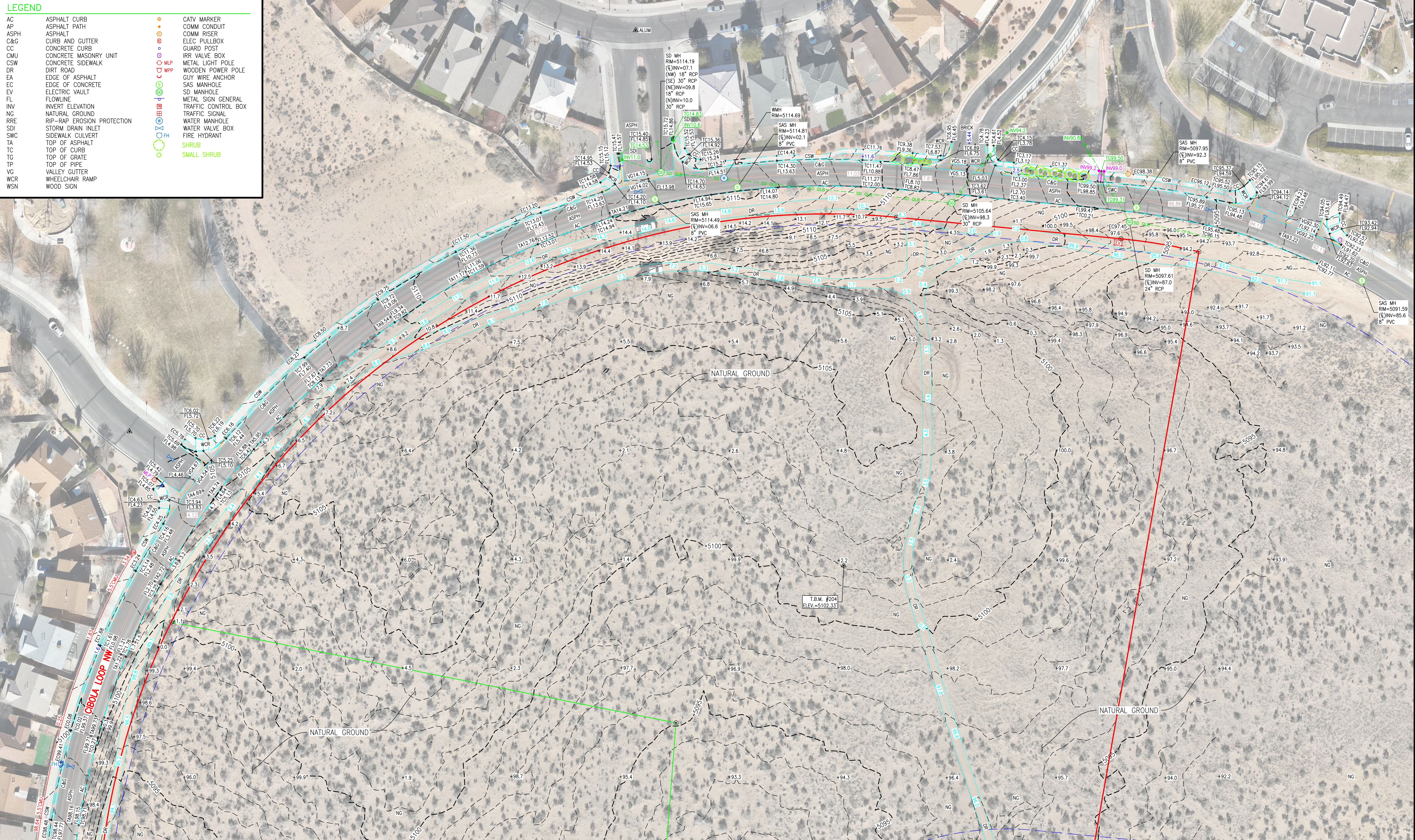
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 6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
 P:505.345.4250 highmesacg.com | bowman.com



**BOUNDARY SURVEY
 CIBOLA LOOP
 ALBUQUERQUE, NM**

NO.	DATE	BY	REVISIONS	JOB NO.
				2024.001.2
				02-2024
				SHEET 3 OF 7

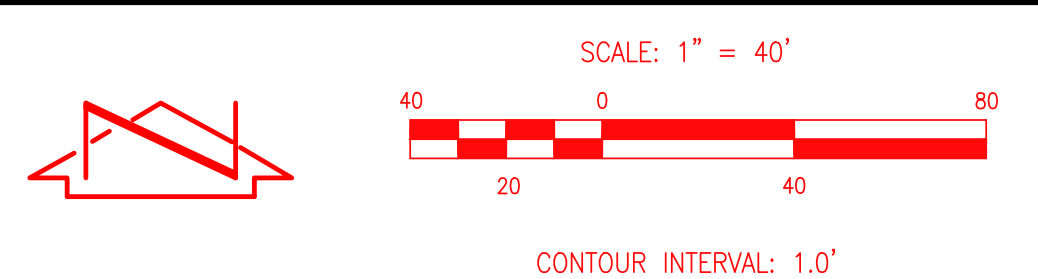
LEGEND	
AC	ASPHALT CURB
AP	ASPHALT PATH
ASPH	ASPHALT
C&G	CURB AND GUTTER
CC	CONCRETE CURB
CMU	CONCRETE MASONRY UNIT
CSW	CONCRETE SIDEWALK
DR	DIRT ROAD
EA	EDGE OF ASPHALT
EC	EDGE OF CONCRETE
EV	ELECTRIC VAULT
FL	FLOWLINE
INV	INVERT ELEVATION
NG	NATURAL GROUND
RRE	RIP-RAP EROSION PROTECTION
SDI	STORM DRAIN INLET
SWC	SIDEWALK CULVERT
TA	TOP OF ASPHALT
TC	TOP OF CURB
TG	TOP OF GRATE
TP	TOP OF PIPE
VG	VALLEY GUTTER
WCR	WHEELCHAIR RAMP
WSN	WOOD SIGN
●	CATV MARKER
○	COMM CONDUIT
○	COMM RISER
○	ELEC PULLBOX
○	GUARD POST
○	IRR VALVE BOX
○	METAL LIGHT POLE
○	WOODEN POWER POLE
○	GUY WIRE ANCHOR
○	SAS MANHOLE
○	SD MANHOLE
○	METAL SIGN GENERAL
○	TRAFFIC CONTROL BOX
○	WATER MANHOLE
○	WATER VALVE BOX
○	FIRE HYDRANT
○	SHRUB
○	SMALL SHRUB



MATCHLINE SHEET 5

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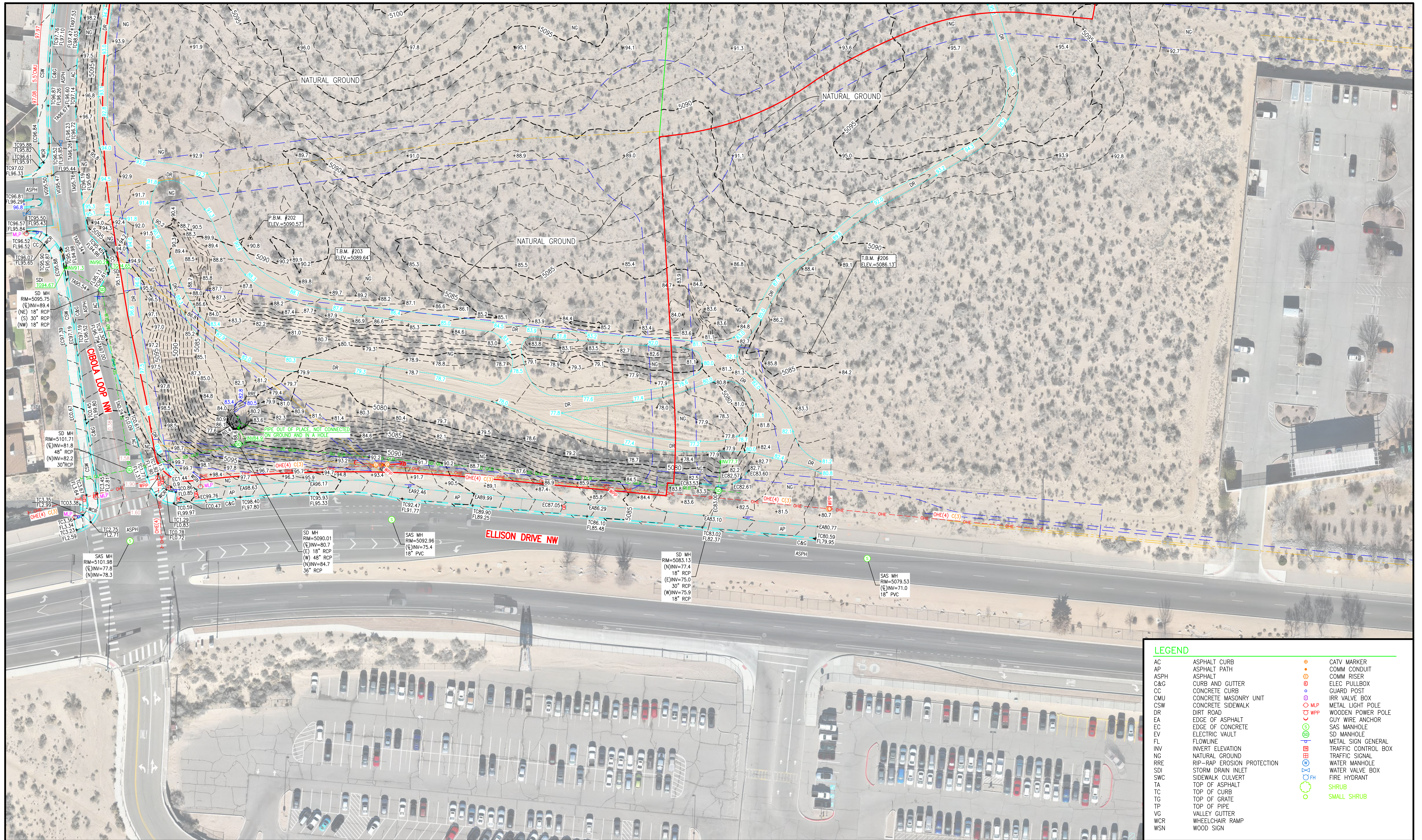
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**TOPOGRAPHIC SURVEY - NORTH PORTION
CIBOLA LOOP
ALBUQUERQUE, NM**

SURVEYED BY: M.V.Z. DRAWN BY: A.J.P. APPROVED BY: C.G.C.	NO.	DATE	BY	REVISIONS	JOB NO.
					2024.001.2
					DATE: 02-2024
					SHEET 4 OF 7

MATCHLINE SHEET 4

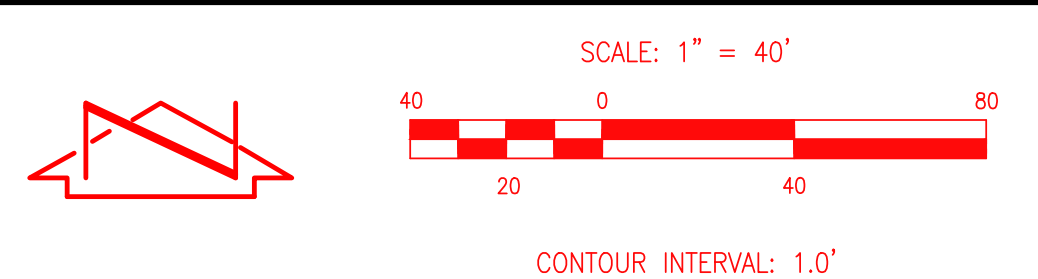


LEGEND

AC	ASPHALT CURB	●	CATY MARKER
AP	ASPHALT PATH	○	COMM CONDUIT
ASPH	ASPHALT	○	COMM RISER
C&G	CURB AND GUTTER	○	ELEC PULLBOX
CC	CONCRETE CURB	○	GUARD POST
CMU	CONCRETE MASONRY UNIT	○	IRR VALVE BOX
CSW	CONCRETE SIDEWALK	○	METAL LIGHT POLE
DR	DIRT ROAD	○	WOODEN POWER POLE
EA	EDGE OF ASPHALT	○	CUY WIRE ANCHOR
EC	EDGE OF CONCRETE	○	SAS MANHOLE
EV	ELECTRIC VAULT	○	SD MANHOLE
FL	FLOWLINE	○	METAL SIGN GENERAL
INV	INVERT ELEVATION	○	TRAFFIC CONTROL BOX
NG	NATURAL GROUND	○	TRAFFIC SIGNAL
RRE	RIP-RAP EROSION PROTECTION	○	WATER MANHOLE
SDI	STORM DRAIN INLET	○	WATER VALVE BOX
SWC	SIDEWALK CULVERT	○	FIRE HYDRANT
TA	TOP OF ASPHALT	○	SHRUB
TC	TOP OF CURB	○	SMALL SHRUB
TG	TOP OF GRATE	○	
TP	TOP OF PIPE	○	
VG	VALLEY GUTTER	○	
WCR	WHEELCHAIR RAMP	○	
WSN	WOOD SIGN	○	

File Name: P:\data\2024\0024.001.2\SUR\20240012_BNDY.dwg - SHEET 5 Plot Date: 2/23/24 Plot Time: 10:35

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**TOPOGRAPHIC SURVEY - SOUTH PORTION
CIBOLA LOOP
ALBUQUERQUE, NM**

SURVEYED BY	M.V.Z.	NO.	DATE	BY	REVISIONS	JOB NO.	2024.001.2
DRAWN BY	A.J.P.					DATE	02-2024
APPROVED BY	C.G.C.					SHEET	5 OF 7



MATCHLINE SHEET 7

APWA UTILITY COLOR CODE UTILITY LINE TYPES

SUE QUALITY LEVEL B (QLB) - SOURCE: DESIGNATION/PAINT MARK	
RED - ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES	--- E QLB --- E QLB --- E QLB ---
YELLOW - GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS	--- G QLB --- G QLB --- G QLB ---
ORANGE - COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT	--- C QLB --- C QLB --- C QLB ---
ORANGE - COMMUNICATION, FIBER OPTIC LINES	--- FO QLB --- FO QLB --- FO QLB ---
ORANGE - CABLE TELEVISION	--- CTV QLB --- CTV QLB --- CTV QLB ---
BLUE - POTABLE WATER	--- W QLB --- W QLB --- W QLB ---
GREEN - SANITARY SEWER AND DRAIN LINES	--- SAS QLB --- SAS QLB --- SAS QLB ---
GREEN - STORM SEWER AND DRAIN LINES	--- SD QLB --- SD QLB --- SD QLB ---
RED - TRAFFIC SIGNALS	--- TS QLB --- TS QLB --- TS QLB ---
SUE QUALITY LEVEL D (QLD) - SOURCE: RECORD DRAWING/RESOURCE OF UTILITY INFORMATION	
BLUE - WATER	--- W QLD --- W QLD --- W QLD ---
GREEN - SANITARY SEWER AND DRAIN LINES	--- SAS QLD --- SAS QLD --- SAS QLD ---
ELECTRIC OVERHEAD LINE	--- OHE --- OHE --- OHE ---

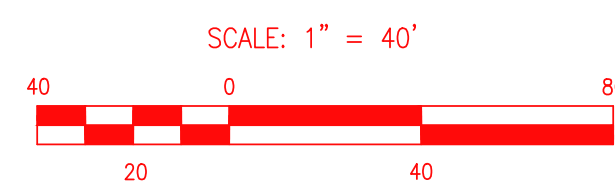
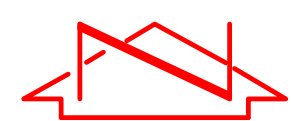
SUBSURFACE UTILITY KEY NOTES

- ① THE EXACT LOCATION OF THE WATER LINE COULD NOT BE ASCERTAINED THROUGH THIS GEOPHYSICAL INVESTIGATION. THE WATER LINE IS DEPICTED ON THIS SURVEY IN AN APPROXIMATE MANNER BASED UPON RECORD DRAWINGS OR OTHER RESOURCES OF UTILITY INFORMATION.
- ② THE EXACT LOCATION OF THE GAS LINE COULD NOT BE ASCERTAINED THROUGH THIS GEOPHYSICAL INVESTIGATION. THE GAS LINE IS DEPICTED ON THIS SURVEY IN AN APPROXIMATE MANNER BASED UPON RECORD DRAWINGS OR OTHER RESOURCES OF UTILITY INFORMATION.
- ③ DETECTABLE DUCT ROD COULD NOT BE INSERTED BEYOND THIS POINT TO COMPLETE DESIGNATION OF STORM DRAIN PIPELINE. DESIGNATION IS INCOMPLETE.
- ④ PUBLICLY OWNED WATER LINE DESIGNATED BY OTHERS.

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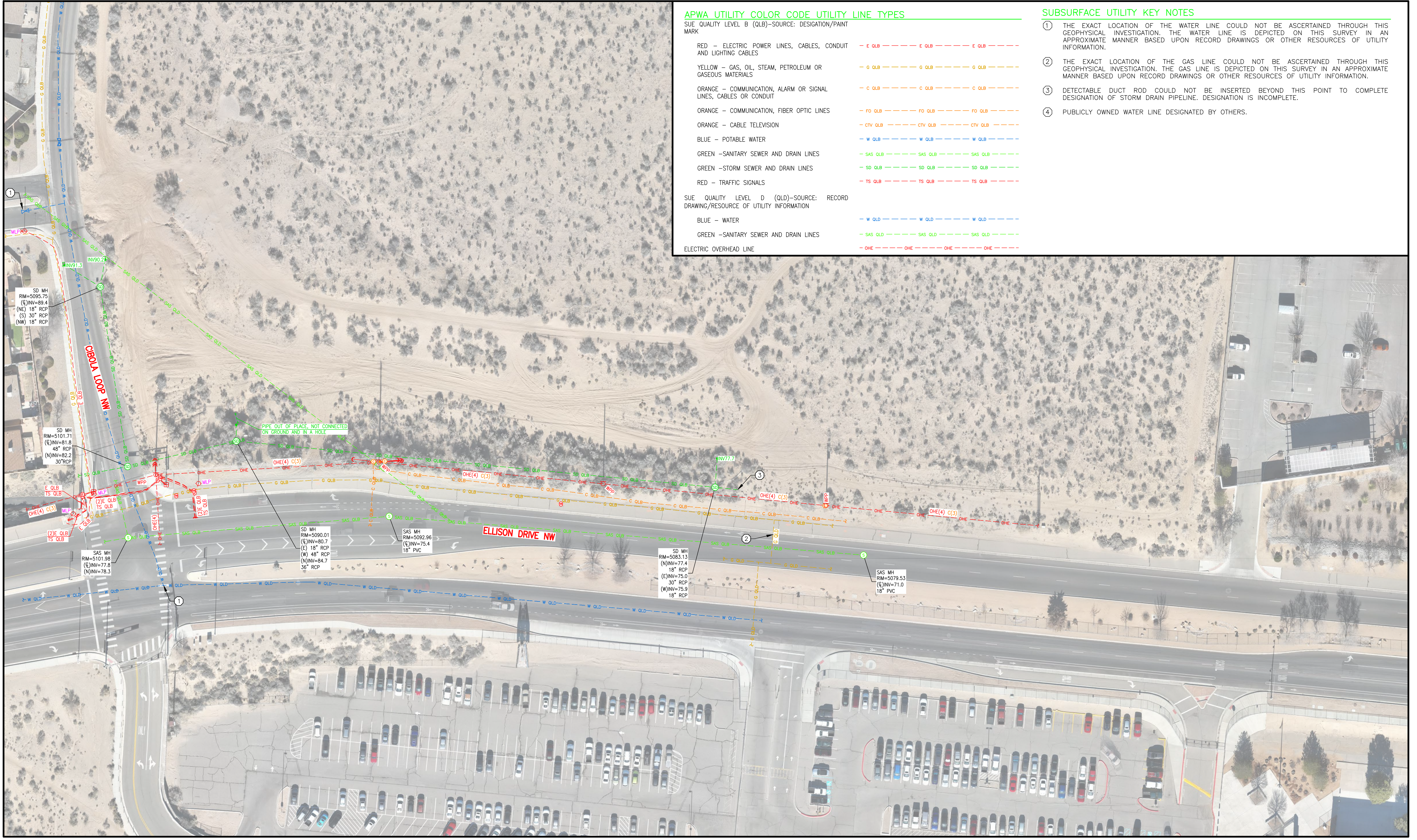
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**UTILITY SURVEY - NORTH PORTION
CIBOLA LOOP
ALBUQUERQUE, NM**

SURVEYED BY M.V.Z.	NO. DATE BY REVISIONS				JOB NO. 2024.001.2
	DATE 02-2024				
	SHEET 6 OF 7				
DRAWN BY A.J.P.					
APPROVED BY C.G.C.					

MATCHLINE SHEET 6



APWA UTILITY COLOR CODE UTILITY LINE TYPES

SUE QUALITY LEVEL B (QLB)–SOURCE: DESIGNATION/PAINT MARK

RED – ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES	---	E QLB	---	E QLB	---	E QLB
YELLOW – GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS	---	G QLB	---	G QLB	---	G QLB
ORANGE – COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT	---	C QLB	---	C QLB	---	C QLB
ORANGE – COMMUNICATION, FIBER OPTIC LINES	---	FO QLB	---	FO QLB	---	FO QLB
ORANGE – CABLE TELEVISION	---	CTV QLB	---	CTV QLB	---	CTV QLB
BLUE – POTABLE WATER	---	W QLB	---	W QLB	---	W QLB
GREEN –SANITARY SEWER AND DRAIN LINES	---	SAS QLB	---	SAS QLB	---	SAS QLB
GREEN –STORM SEWER AND DRAIN LINES	---	SD QLB	---	SD QLB	---	SD QLB
RED – TRAFFIC SIGNALS	---	TS QLB	---	TS QLB	---	TS QLB

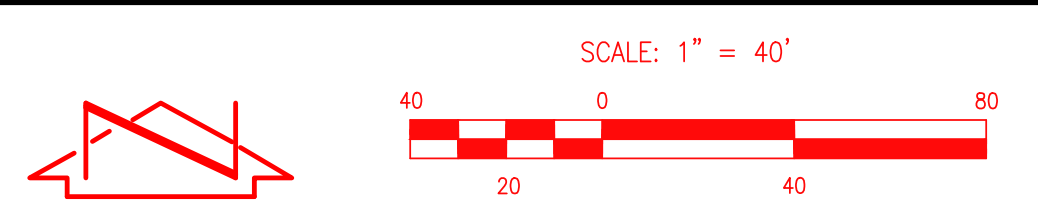
SUE QUALITY LEVEL D (QLD)–SOURCE: RECORD DRAWING/RESOURCE OF UTILITY INFORMATION

BLUE – WATER	---	W QLD	---	W QLD	---	W QLD
GREEN –SANITARY SEWER AND DRAIN LINES	---	SAS QLD	---	SAS QLD	---	SAS QLD
ELECTRIC OVERHEAD LINE	---	OHE	---	OHE	---	OHE

- SUBSURFACE UTILITY KEY NOTES**
- THE EXACT LOCATION OF THE WATER LINE COULD NOT BE ASCERTAINED THROUGH THIS GEOPHYSICAL INVESTIGATION. THE WATER LINE IS DEPICTED ON THIS SURVEY IN AN APPROXIMATE MANNER BASED UPON RECORD DRAWINGS OR OTHER RESOURCES OF UTILITY INFORMATION.
 - THE EXACT LOCATION OF THE GAS LINE COULD NOT BE ASCERTAINED THROUGH THIS GEOPHYSICAL INVESTIGATION. THE GAS LINE IS DEPICTED ON THIS SURVEY IN AN APPROXIMATE MANNER BASED UPON RECORD DRAWINGS OR OTHER RESOURCES OF UTILITY INFORMATION.
 - DETECTABLE DUCT ROD COULD NOT BE INSERTED BEYOND THIS POINT TO COMPLETE DESIGNATION OF STORM DRAIN PIPELINE. DESIGNATION IS INCOMPLETE.
 - PUBLICLY OWNED WATER LINE DESIGNATED BY OTHERS.

File Name: P:\data\2024\001-2\SUR\20240012_BNDY.dwg - SHEET 7 Plot Date: 2/23/24 Plot Time: 10:36

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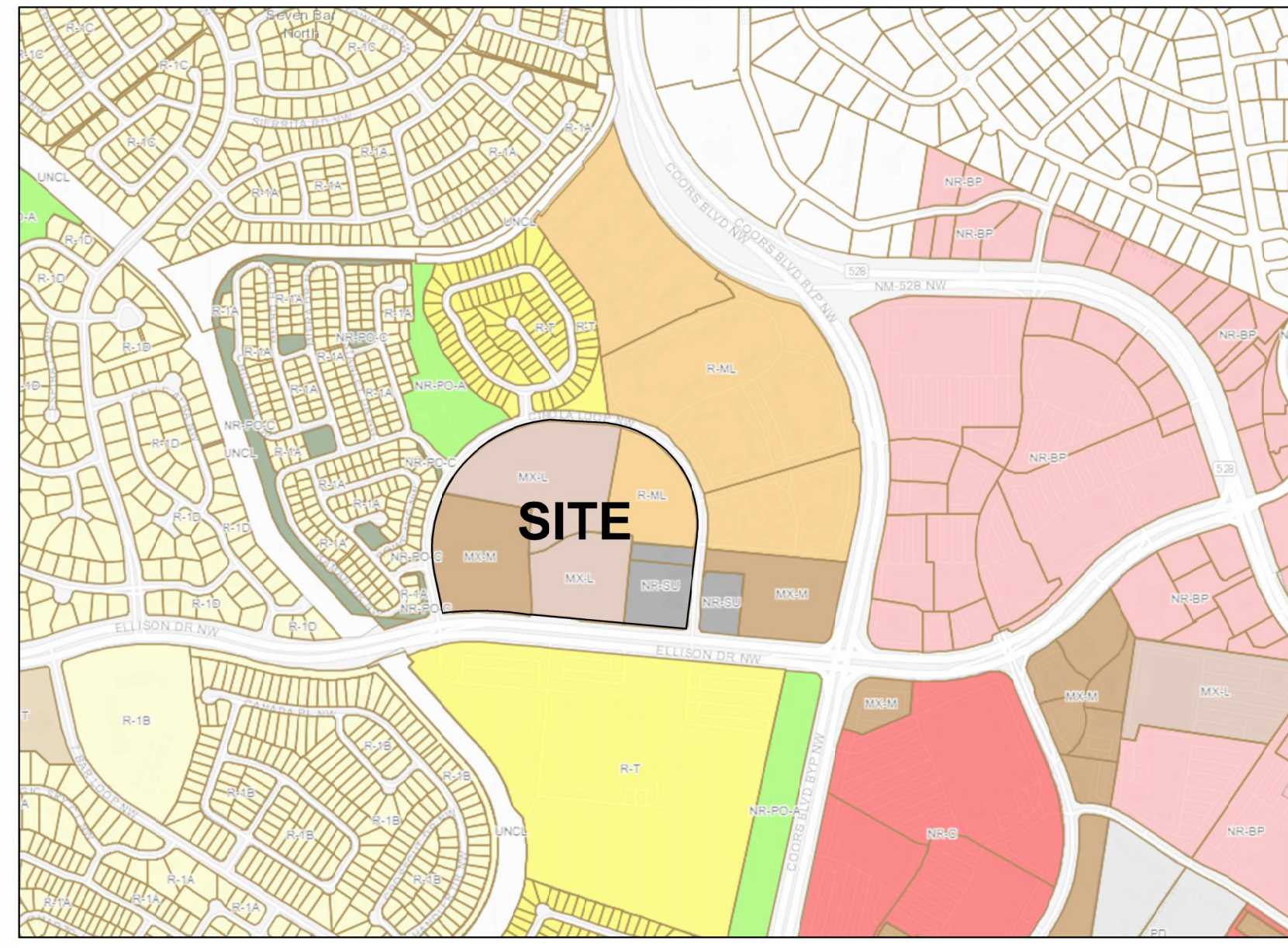


**UTILITY SURVEY - SOUTH PORTION
CIBOLA LOOP
ALBUQUERQUE, NM**

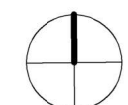
SURVEYED BY: M.V.Z.
DRAWN BY: A.J.P.
APPROVED BY: C.G.C.

NO.	DATE	BY	REVISIONS

JOB NO. **2024.001.2**
DATE **02-2024**
SHEET **7** OF **7**

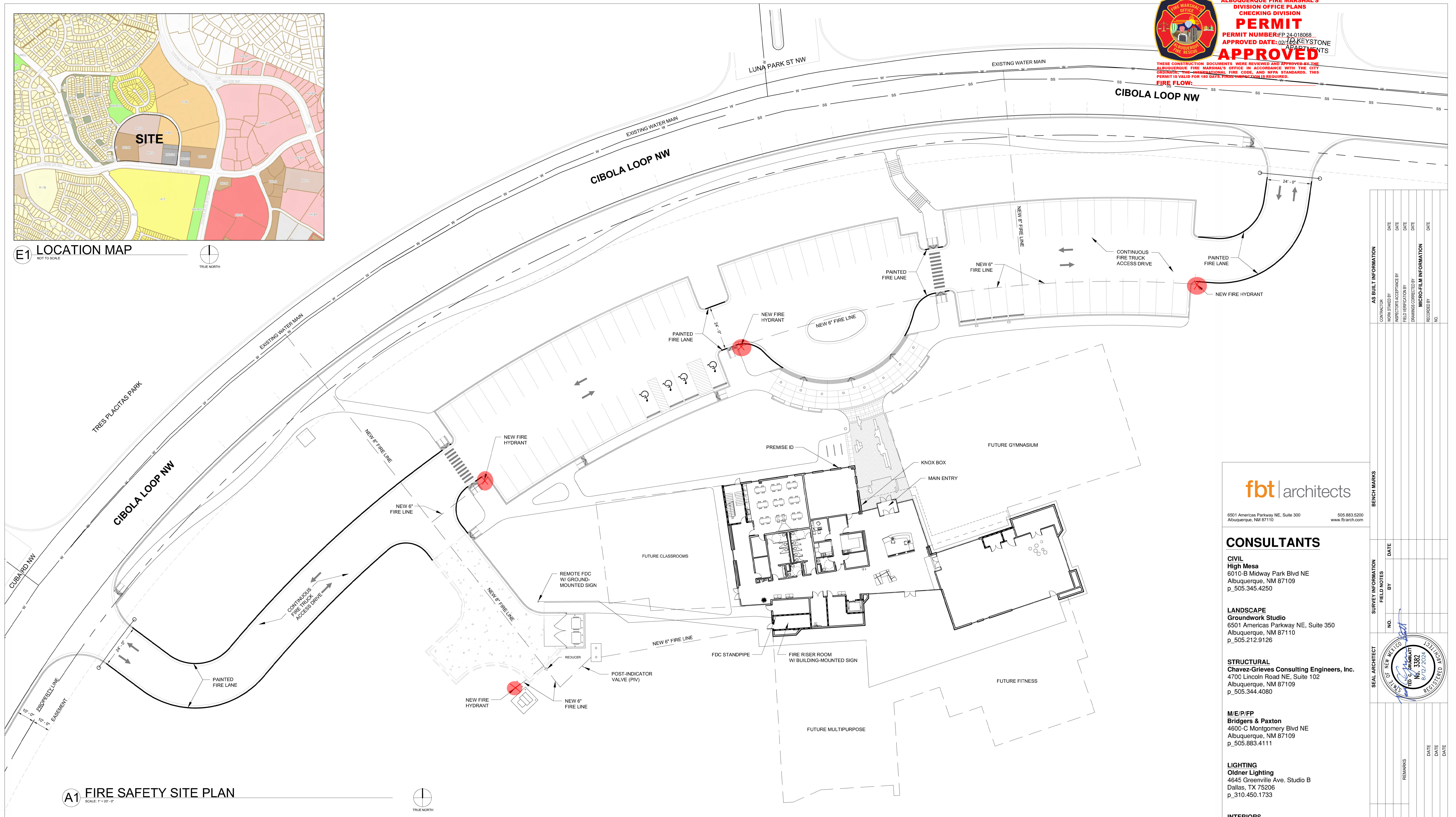


E1 LOCATION MAP
NOT TO SCALE

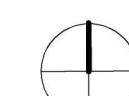


**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**
PERMIT
PERMIT NUMBER: EP-24-018988
APPROVED DATE: 02/14/2024
APPROVED
KEYSTONE
APARTMENTS

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FIRE INSPECTION IS REQUIRED.
FIRE FLOW:



A1 FIRE SAFETY SITE PLAN
SCALE: 1" = 20'-0"



CODE DATA

BUILDING ADDRESS	10751 CIBOLA LOOP NW ALBUQUERQUE, NM 87114
CONSTRUCTION TYPE	NEW CONSTRUCTION - IIB
OCCUPANT LOAD	MIXED OCCUPANCY - NON-SEPARATED USES A3 (ASSEMBLY GROUP) B (BUSINESS GROUP)
SQUARE FOOTAGE	FIRST LEVEL (PHASE 01): 11,107 GSF SECOND LEVEL (PHASE 01): 4,450 GSF (NON-OCCUPIED) TOTAL BUILDING (PHASE 01): 15,557 GSF FUTURE ADDITION: 38,443 GSF TOTAL BUILDING (COMPLETE BUILD): 55,000 GSF
FIRE PROTECTION	NEW AUTOMATIC SPRINKLERED SYSTEM + FIRE ALARM WITH AUDIO & VISUAL NOTIFICATION COMPLYING WITH NFPA 13 AND SECTIONS 904.2 AND 903.3.1.1 INSTALLED THROUGHOUT NON-RESIDENTIAL BUILDING.

SHOP DRAWINGS WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, KITCHEN SUPPRESSION SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM.	
THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED WHEN REQUIRED BY THE 2021 INTERNATIONAL FIRE CODE.	
BUILDING HEIGHT	30' - 0" ABOVE FINISH FLOOR LEVEL.
FIRE SEPARATION	NO FIRE SEPARATION REQUIRED.
FIRE FLOW CALCULATIONS	PER 2015 IFC, APPENDIX B, TABLE B105.1 PROPOSED SHELL BUILDING: IIB @ 55,000 SF (COMPLETE BUILD) = 5,000 GALLONS/MINUTE (4-HOUR DURATION) 50% REDUCTION = 2,500 GPM REQUIRED (2-HOUR DURATION)

FIRE HYDRANT DISTRIBUTION	PER 2015 IFC, APPENDIX C, TABLE C102.1 3 FIRE HYDRANT REQUIRED 4 FIRE HYDRANTS PROVIDED AVERAGE SPACING BETWEEN HYDRANTS SHALL BE 675 FEET (450 FT + 50% SPACING INCREASE PER C102.1 F). MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO HYDRANT SHALL BE 337.5 FEET (225 FT + 50% SPACING INCREASE PER C102.1 F).
----------------------------------	--

GENERAL NOTES:

- ALL PARKING DRIVES TO BE ASPHALT CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.

fbt architects

6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110
505.883.5200
www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250

LANDSCAPE
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126

STRUCTURAL
Chavez-Grievies Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080

M/E/P/FP
Bridgers & Paxton
4600-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111

LIGHTING
Oldner Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733

INTERIORS
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

CITY OF ALBUQUERQUE

PROJECT TITLE:
**COA CIBOLA LOOP
MULTIGENERATIONAL CENTER**
10751 Cibola Loop NW
Albuquerque, NM 87114

DESIGN DEVELOPMENT
FEBRUARY 2024

DRAWING TITLE: SHEET TITLE:
FIRE 1 FIRE 1 - ENLARGED SITE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. P7882.16	Zone Map No. A-13-Z	DWG. FIRE 1	Sheet N.MORSE
------------------------------	------------------------	----------------	------------------

AS BUILT INFORMATION	
CONTRACTOR	DATE
WORKING BY	DATE
INSPECTORS ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CHECKED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	DATE
NO.	DATE

SEAL ARCHITECT	
STATE OF NEW MEXICO	REGISTERED
NO. C. 33382	8/17/2024

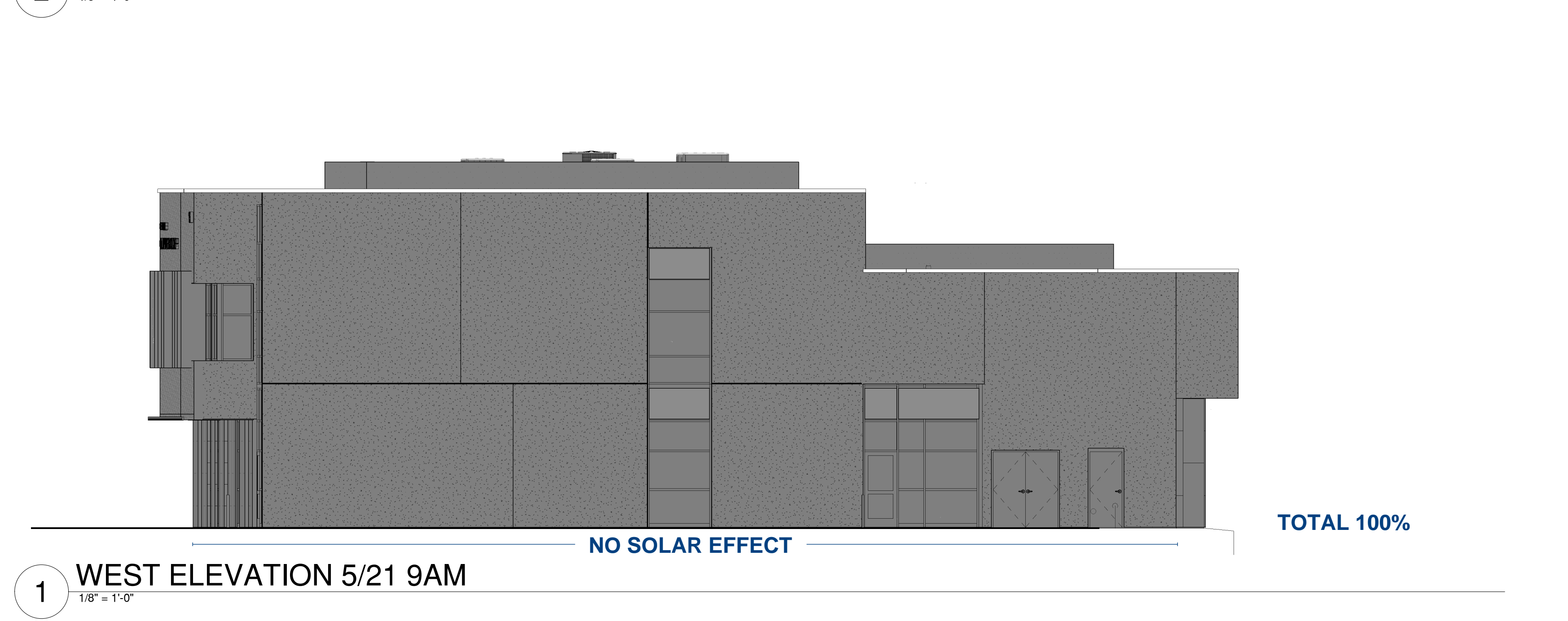
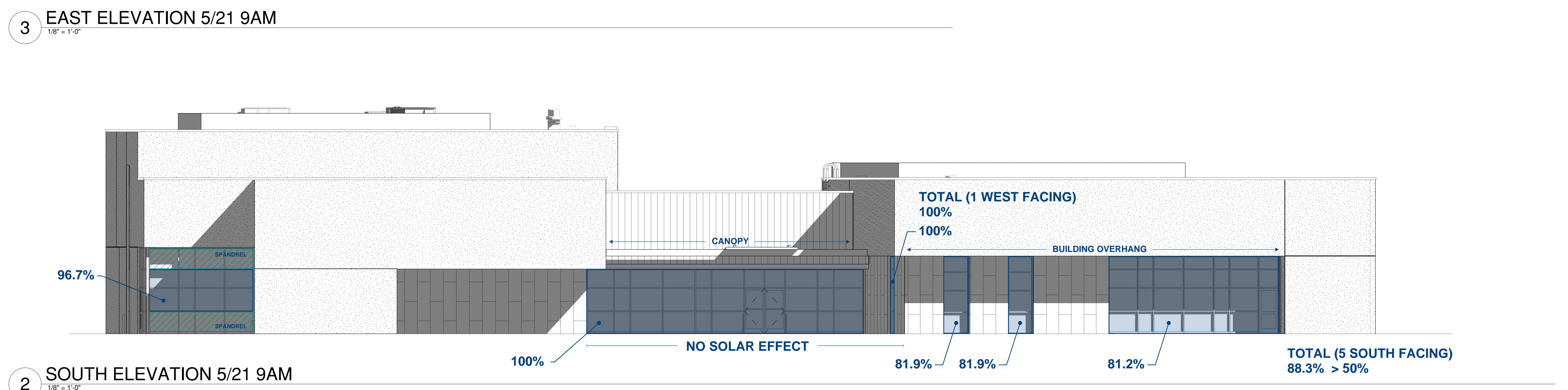
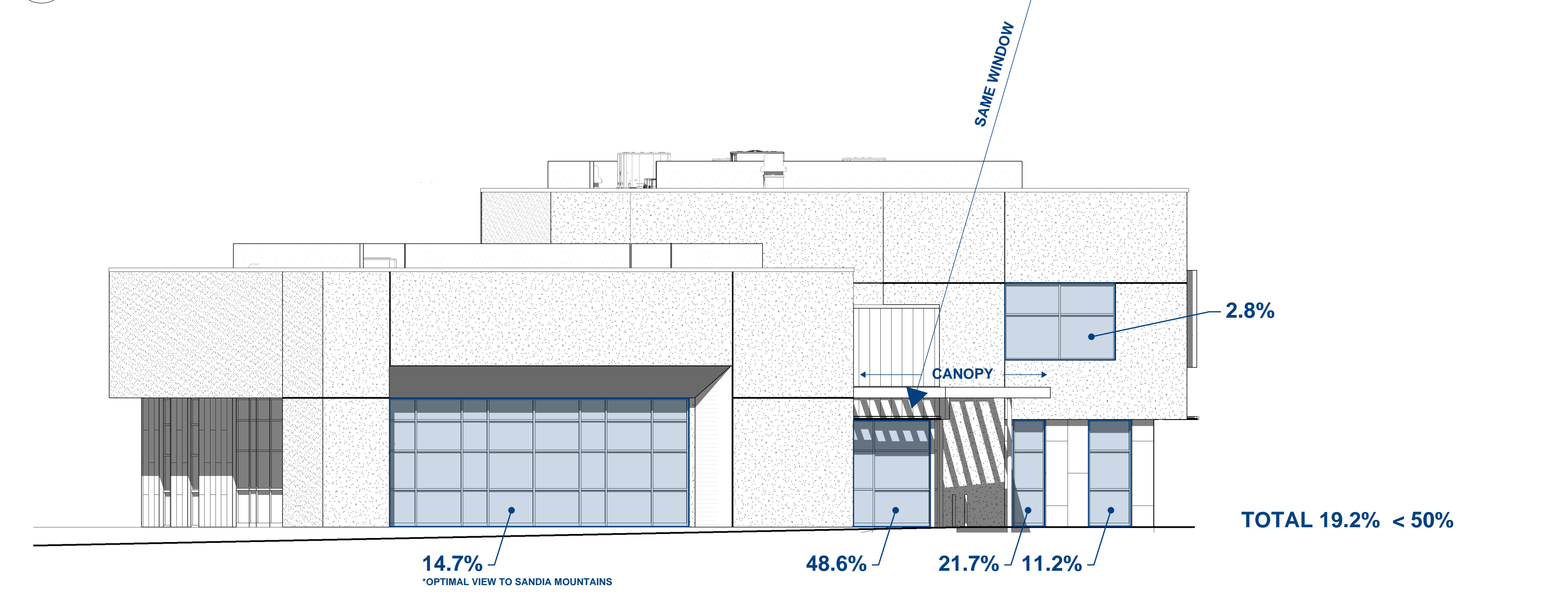
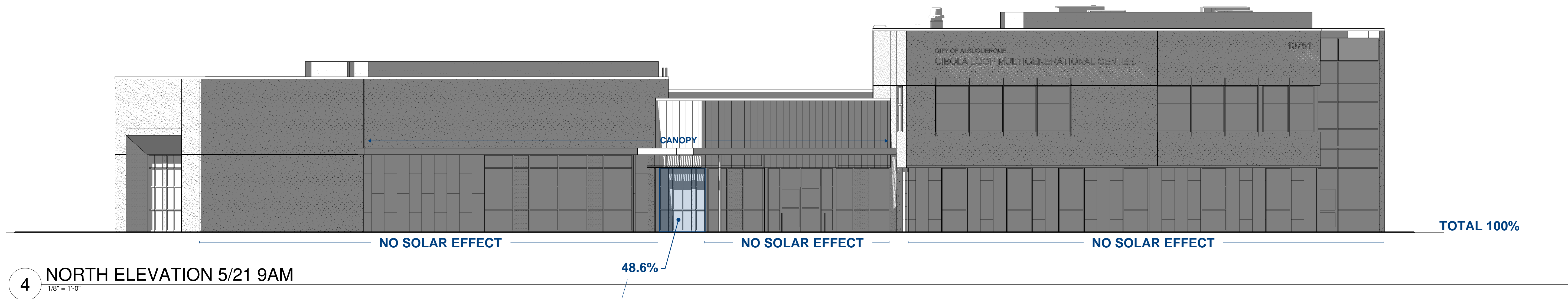
BENCH MARKS	
NO.	DATE
NO.	DATE

REMARKS	
NO.	DATE
DESIGNED BY:	DATE
DRAWN BY:	DATE
CHECKED BY:	DATE

DEVELOPMENT FACILITATION TEAM
PROJECT NUMBER: PR-2023-009382
APPLICATION NUMBER: SI-2024-00739
PROJECT NAME: City Multigenerational Center At 10751 Cibola Loop NW

SUN/SHADE ANALYSIS - 5-2(D)(1)

APPROXIMATE PERCENTAGE OF SHADING



DEVELOPMENT FACILITATION TEAM

PROJECT NUMBER: PR-2023-009382
 APPLICATION NUMBER: SI-2024-00739
 PROJECT NAME: City Multigenerational Center At 10751 Cibola Loop NW

GENERAL NOTES

- A. CIVIL ELEVATIONS OF 5106.0' = 100' - 0" ON ARCHITECTURAL SHEETS. BEARING HEIGHTS ARE SHOWN FOR REFERENCE TO 100'-0" AND NOT INDIVIDUAL HEIGHTS ABOVE FINISHED FLOORS. COORDINATED WITH FLOOR PLAN DRAWINGS AND STRUCTURAL.
- B. ANY EXPOSED PENETRATIONS, FLASHINGS, VENTS, UNFINISHED MECHANICAL EQUIPMENT, UTILITY LINES, ETC. SHALL BE PAINTED TO COLOR AS SELECTED BY THE ARCHITECT. DO NOT PAINT PRE FINISHED ITEMS.
- C. FURNISH AND INSTALL SEALANT AT INTERSECTION OF ALL DISSIMILAR MATERIALS.
- D. REFER TO CIVIL FOR ALL GRADING INFORMATION AROUND THE BUILDING.

EXTERIOR FINISH LEGEND

- EXTERIOR INSULATION AND FINISH SYSTEM (EIFS), WITH ANTI-GRAFFITI COATING. FIELD COLOR, COLOR TO BE SELECTED BY ARCHITECT.
- 1" - 0" WIDE FLUSH ALUMINUM WALL PANELS, COLOR TO BE SELECTED BY ARCHITECT.
- 2x6" ALUMINUM WALL PANELS WITH REVEAL JOINTS, RUNNING BOND (1/2 OFFSET), TYPICAL. COLOR VARIATION, TYPICAL. COLORS TO BE SELECTED BY ARCHITECT.

KEYED NOTES

fbt | architects

6501 Americas Parkway NE, Suite 300 Albuquerque, NM 87110 505.883.5200 www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
 6010-B Midway Park Blvd NE
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 p_505.883.4111

LIGHTING
Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733

INTERIORS
Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

CITY OF ALBUQUERQUE

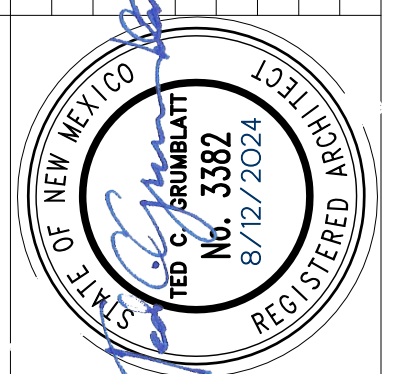
PROJECT TITLE:
**COA CIBOLA LOOP
 MULTIGENERATIONAL CENTER**
 10751 Cibola Loop NW
 Albuquerque, NM 87114

75% CONSTRUCTION DOCUMENTS
 MAY, 2024

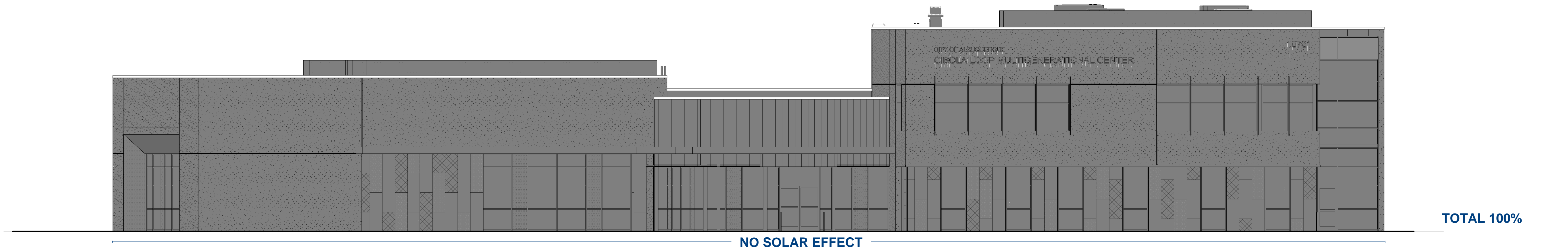
DRAWING TITLE: SHEET TITLE:
**BUILDING ELEVATIONS SOLAR STUDY
 5/21 9AM**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	DWG.	Sheet
P7882.16	A-13-Z	A-204	

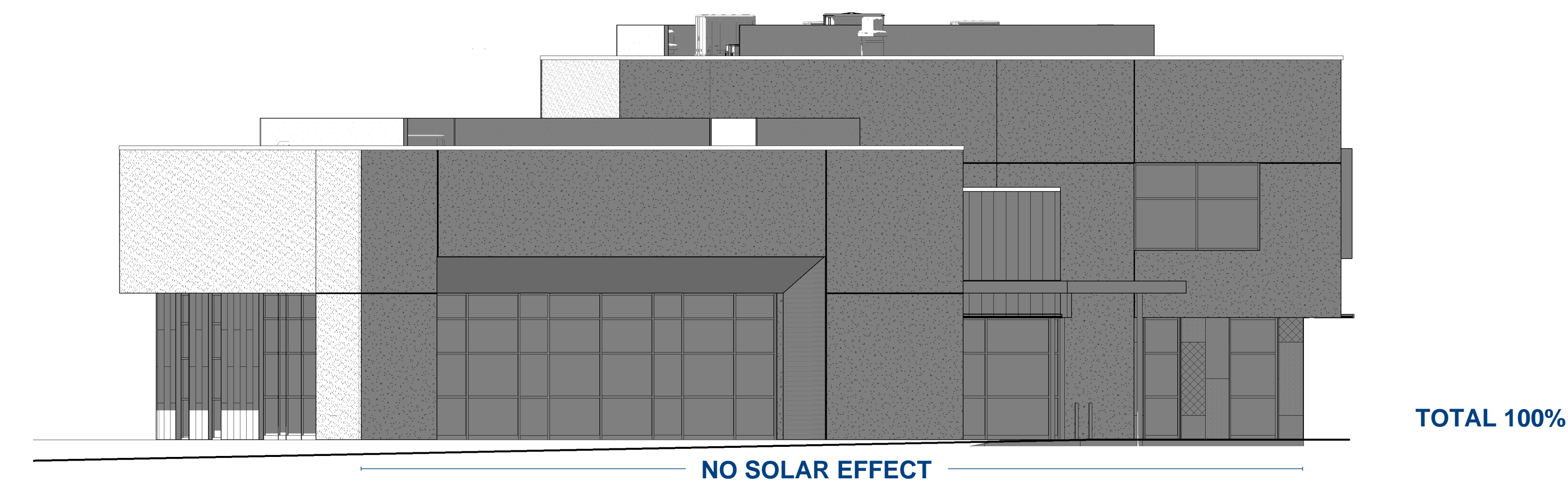
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CONTRACTOR	DATE	NO.	BY	NO.	DATE	NO.	DATE
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INSPECTORS ACCEPTANCE BY							
FIELD VERIFICATION BY							
DRAWINGS CORRECTED BY							
MICRO-FILM INFORMATION							
RECORDED BY							
NO.							



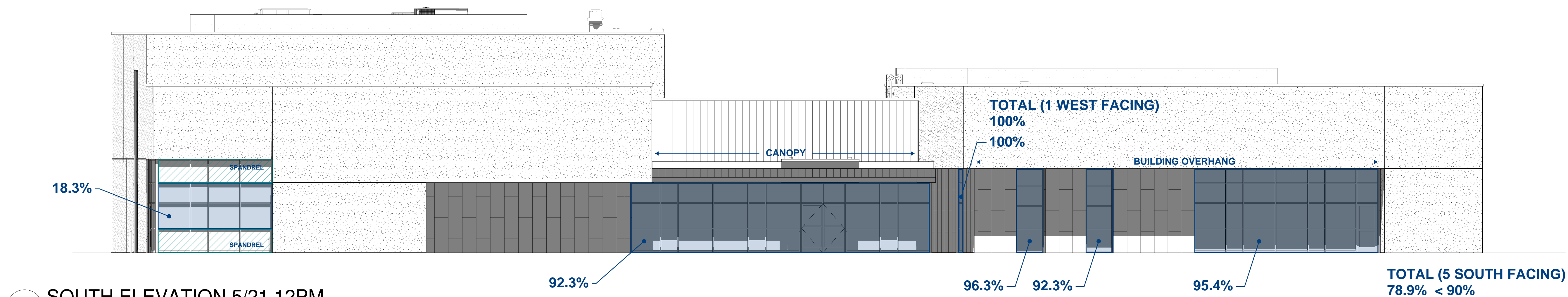
SUN/SHADE ANALYSIS - 5-2(D)(1)
APPROXIMATE PERCENTAGE OF SHADING



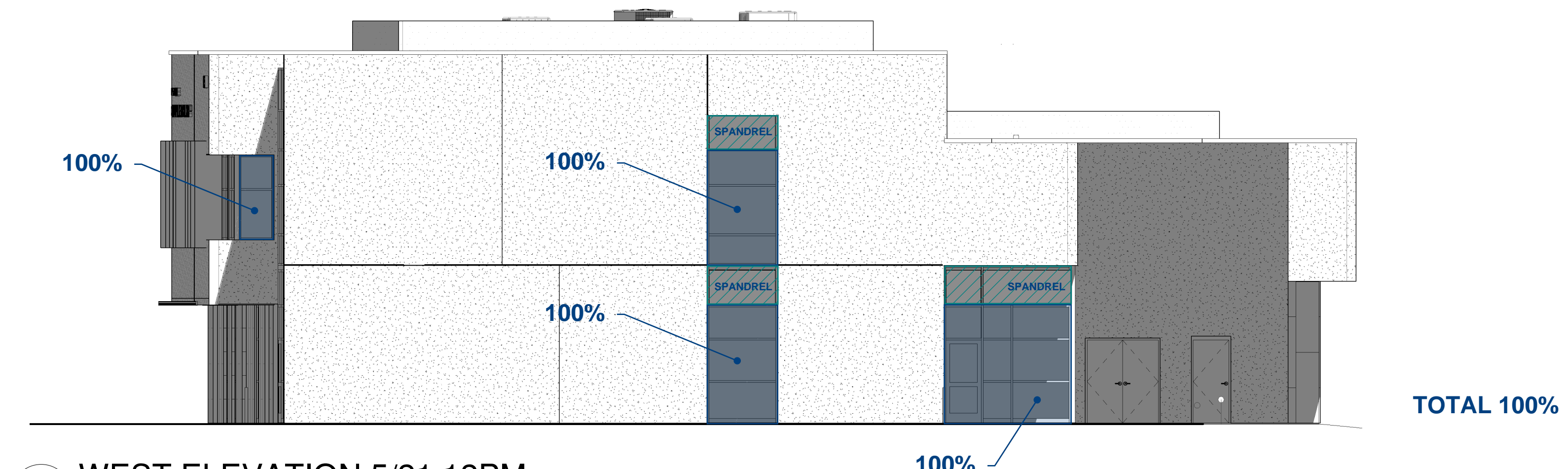
4 NORTH ELEVATION 5/21 12PM
 1/8" = 1'-0"



3 EAST ELEVATION 5/21 12PM
 1/8" = 1'-0"



2 SOUTH ELEVATION 5/21 12PM
 1/8" = 1'-0"



1 WEST ELEVATION 5/21 12PM
 1/8" = 1'-0"

GENERAL NOTES

- A. CIVIL ELEVATIONS OF 5106.0' = 100' - 0" ON ARCHITECTURAL SHEETS. BEARING HEIGHTS ARE SHOWN FOR REFERENCE TO 100'-0" AND NOT INVOLVED HEIGHTS ABOVE FINISHED FLOORS. COORDINATED WITH FLOOR PLAN DRAWINGS AND STRUCTURAL.
- B. ANY EXPOSED PENETRATIONS, FLASHINGS, VENTS, UNFINISHED MECHANICAL EQUIPMENT, UTILITY LINES, ETC. SHALL BE PAINTED TO COLOR AS SELECTED BY THE ARCHITECT. DO NOT PAINT PRE FINISHED ITEMS.
- C. FURNISH AND INSTALL SEALANT AT INTERSECTION OF ALL DISSIMILAR MATERIALS.
- D. REFER TO CIVIL FOR ALL GRADING INFORMATION AROUND THE BUILDING.

EXTERIOR FINISH LEGEND

- EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) WITH ANTI-GRAFFITI COATING. FIELD COLOR, COLOR TO BE SELECTED BY ARCHITECT.
- 1" - 0" WIDE FLUSH ALUMINUM WALL PANELS, COLOR TO BE SELECTED BY ARCHITECT.
- 2x6" ALUMINUM WALL PANELS WITH REVEAL JOINTS, RUNNING BOND (1/2 OFFSET), TYPICAL. COLOR VARIATION, TYPICAL. COLORS TO BE SELECTED BY ARCHITECT.

KEYED NOTES

fbt | architects

6501 Americas Parkway NE, Suite 300
 Albuquerque, NM 87110 505.883.5200
 www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250

LANDSCAPE
Groundwork Studio
 6501 Americas Parkway NE, Suite 350
 Albuquerque, NM 87110
 p_505.212.9126

STRUCTURAL
Chavez-Grievas Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102
 Albuquerque, NM 87109
 p_505.344.4080

M/E/P/FP
Bridgers & Paxton
 4500-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111

LIGHTING
Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733

INTERIORS
Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

DEVELOPMENT FACILITATION TEAM

PROJECT NUMBER: PR-2023-009382
 APPLICATION NUMBER: SI-2024-00739
 PROJECT NAME: City Multigenerational Center At 10751 Cibola Loop NW

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK SHOWN BY							
INSPECTORS ACCEPTANCE BY							
FIELD VERIFICATION BY							
DRAWINGS CORRECTED BY							
MICRO-FILM INFORMATION							
RECORDED BY							
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CITY OF ALBUQUERQUE

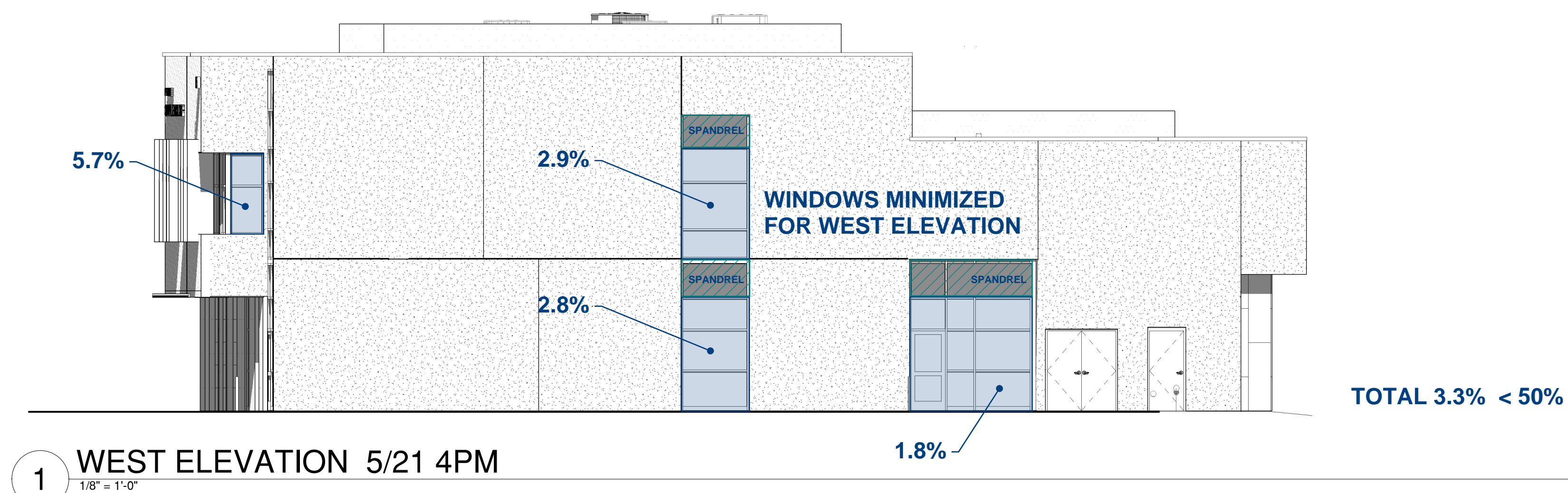
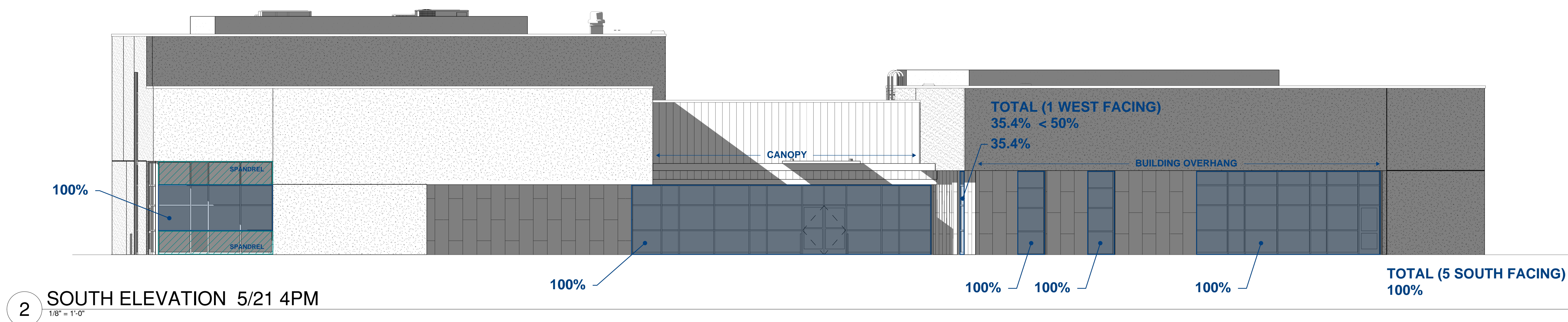
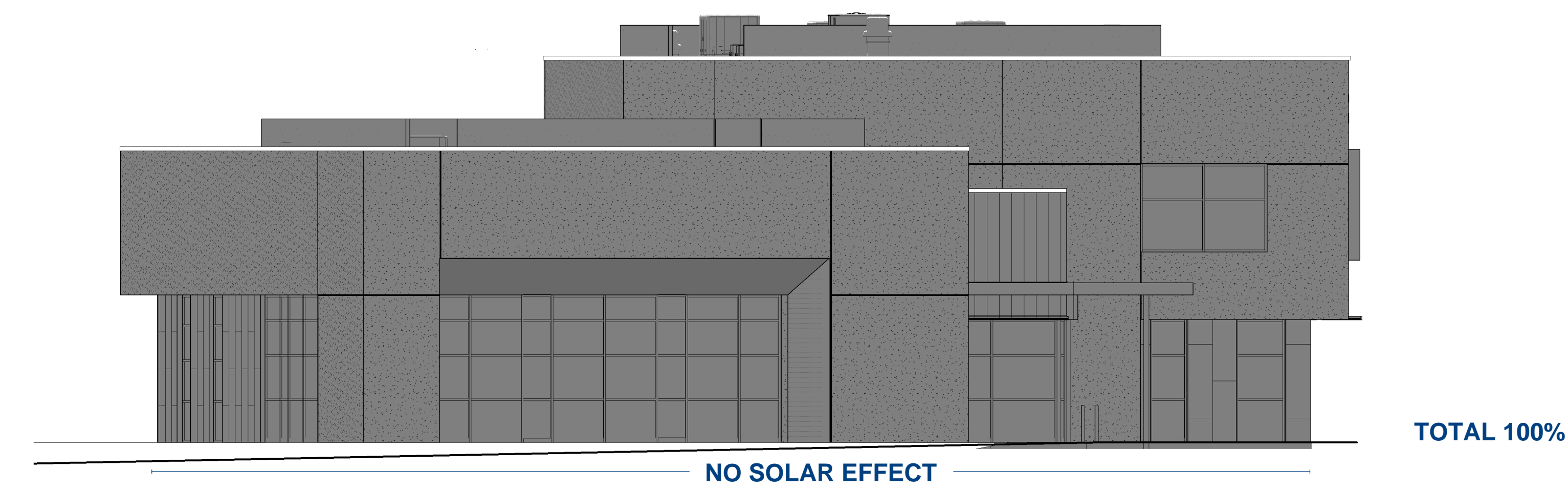
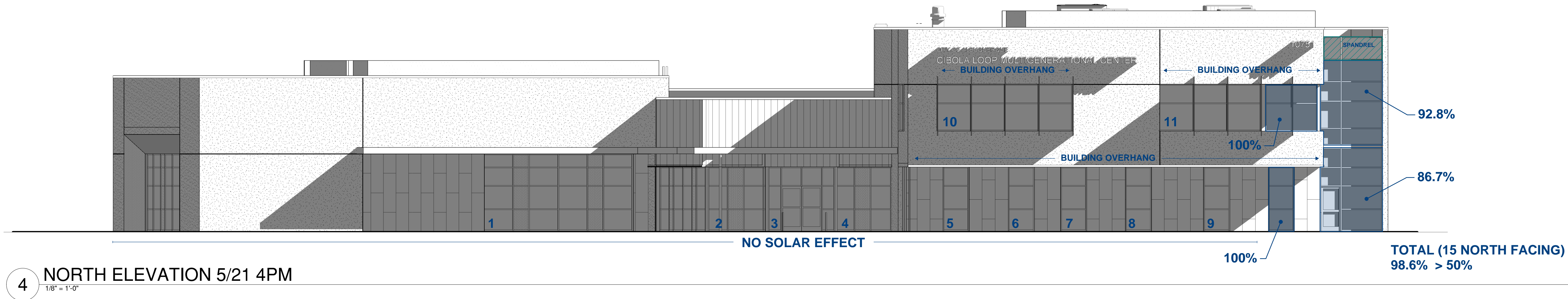
PROJECT TITLE:
COA CIBOLA LOOP MULTIGENERATIONAL CENTER
 10751 Cibola Loop NW
 Albuquerque, NM 87114

75% CONSTRUCTION DOCUMENTS
 MAY, 2024

DRAWING TITLE:		SHEET TITLE:	
BUILDING ELEVATIONS SOLAR STUDY		5/21 12PM	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	DWG.	Sheet
P7882.16	A-13-Z	A-205	

SUN/SHADE ANALYSIS - 5-2(D)(1)

APPROXIMATE PERCENTAGE OF SHADING



GENERAL NOTES

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KEYED NOTES

fbt architects

6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110

505.883.5200
www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250

LANDSCAPE
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126

STRUCTURAL
Chavez-Grievos Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080

M/E/P/FP
Bridgers & Paxton
4500-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111

LIGHTING
Oldner Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733

INTERIORS
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

DEVELOPMENT FACILITATION TEAM

PROJECT NUMBER: PR-2023-009382
APPLICATION NUMBER: SI-2024-00739
PROJECT NAME: City Multigenerational Center At 10751 Cibola Loop NW

CITY OF ALBUQUERQUE

PROJECT TITLE:
**COA CIBOLA LOOP
MULTIGENERATIONAL CENTER**
10751 Cibola Loop NW
Albuquerque, NM 87114

75% CONSTRUCTION DOCUMENTS
MAY, 2024

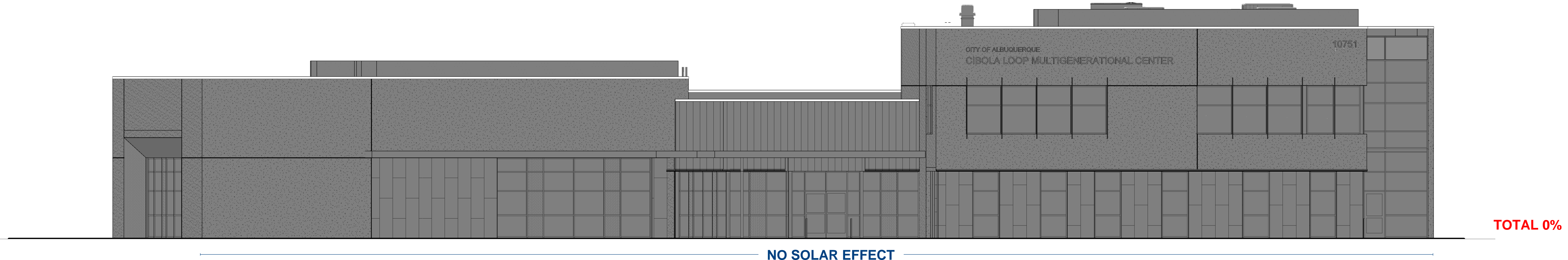
DRAWING TITLE: BUILDING ELEVATIONS SOLAR STUDY
5/21 4PM

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	DWG.	Sheet
P7882.16	A-13-Z	A-206	

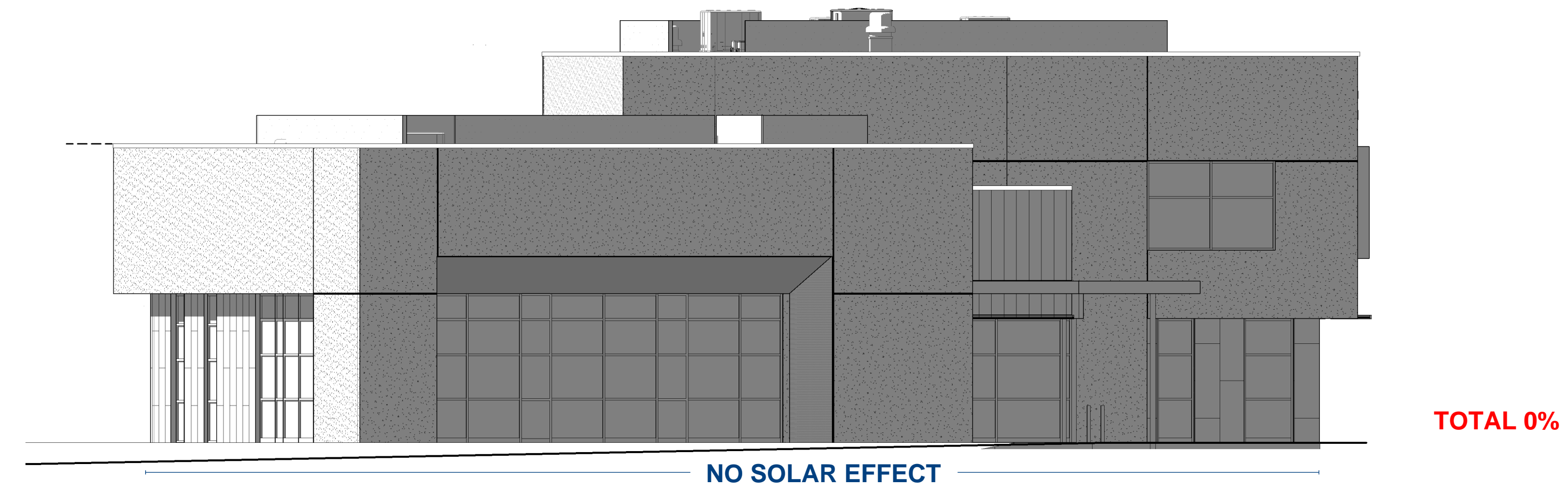
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INSPECTORS ACCEPTANCE BY									
FIELD VERIFICATION BY									
DRAWINGS CORRECTED BY									
MICRO-FILM INFORMATION									
RECORDED BY									
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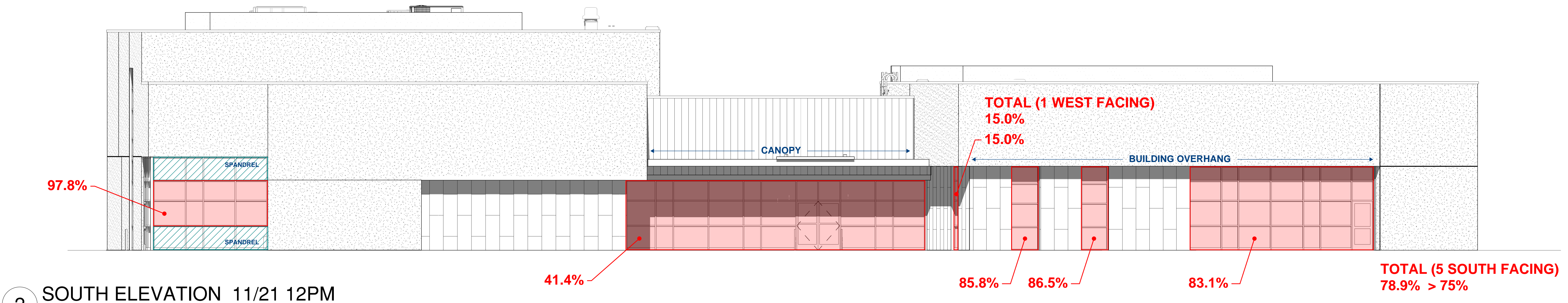
APPROXIMATE PERCENTAGE OF SOLAR ACCESS



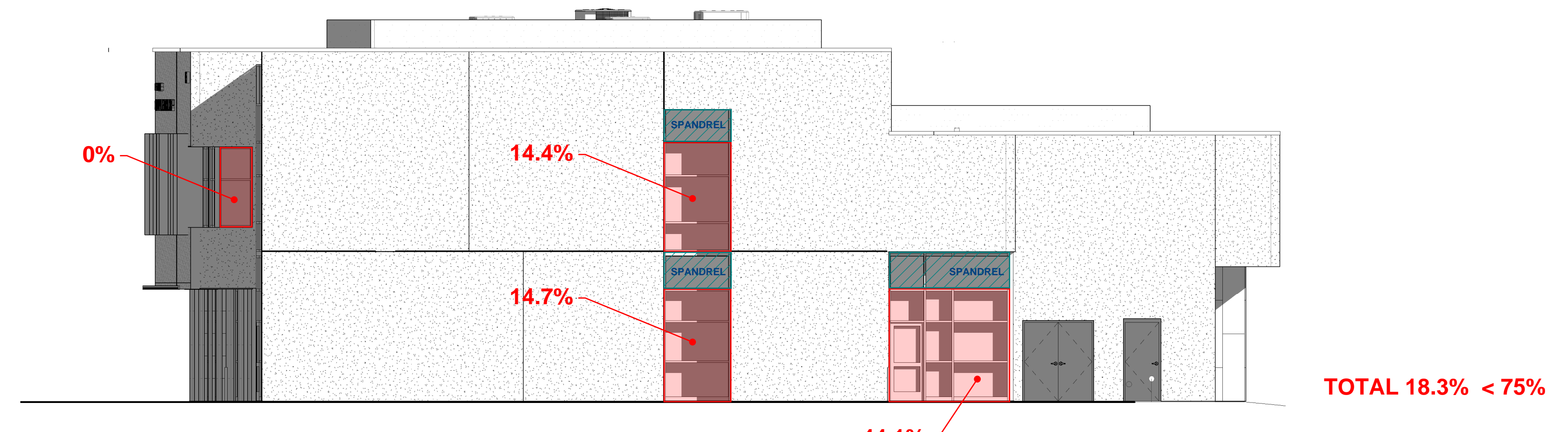
4 NORTH ELEVATION 11/21 12PM
1/8" = 1'-0"



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KEYED NOTES



6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110
505.883.5200
www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250

LANDSCAPE
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126

STRUCTURAL
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Albuquerque, NM 87109
p_505.344.4080

M/E/P/FP
Bridgers & Paxton
4500-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111

LIGHTING
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Dallas, TX 75206
p_310.450.1733

INTERIORS
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p_505.243.9287

DEVELOPMENT FACILITATION TEAM
 PROJECT NUMBER: PR-2023-009382
 APPLICATION NUMBER: SI-2024-00739
 PROJECT NAME: City Multigenerational Center At 10751 Cibola Loop NW

AS BUILT INFORMATION		BENCH MARKS	
CONTRACTOR	DATE	NO.	DATE
WORK SHOWN BY			
INSPECTORS ACCEPTANCE BY			
FIELD VERIFICATION BY			
DRAWINGS CORRECTED BY			
MICRO-FILM INFORMATION			
RECORDED BY			
NO.			

SURVEY INFORMATION		FIELD NOTES	
NO.	DATE	NO.	DATE
1			
2			
3			
4			
REVISIONS	DATE	REVISIONS	DATE
DESIGN		DESIGNED BY:	
DRAWN BY:		DRAWN BY:	
CHECKED BY:		CHECKED BY:	

CITY OF ALBUQUERQUE

PROJECT TITLE:
COA CIBOLA LOOP MULTIGENERATIONAL CENTER
10751 Cibola Loop NW
Albuquerque, NM 87114

75% CONSTRUCTION DOCUMENTS
MAY, 2024

DRAWING TITLE: BUILDING ELEVATIONS SOLAR STUDY
11/21 12PM

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. P7882.16 Zone Map No. A-13-Z DWG. A-203 Sheet

GENERAL NOTES

- A. CIVIL ELEVATIONS OF 5106.0' = 107'-0" ON ARCHITECTURAL SHEETS. BEARING HEIGHTS ARE SHOWN FOR REFERENCE TO 100'-0" AND NOT INVIDUAL HEIGHTS ABOVE FINISHED FLOORS. COORDINATED WITH FLOOR PLAN DRAWINGS AND STRUCTURAL.
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- D. REFER TO CIVIL FOR ALL GRADING INFORMATION AROUND THE BUILDING.

EXTERIOR FINISH LEGEND

- EXTERIOR INSULATION AND FINISH SYSTEM (EIFS), WITH ANTI-GRAFFITI COATING. FIELD COLOR: SANDY SL33 (TAN). ACCENT COLOR: FALL FOLIAGE (BURNT ORANGE).
- 1" - 0" WIDE FLUSH ALUMINUM WALL PANELS. COLOR: WEATHERED COPPER (SPECKLED).
- 2"x6" ALUMINUM WALL PANELS WITH REVEAL JOINTS, RUNNING BOND (1/2 OFFSET). TYPICAL COLOR: GREEN (3 VARIATIONS), TYPICAL COLORS TO BE SELECTED BY ARCHITECT.

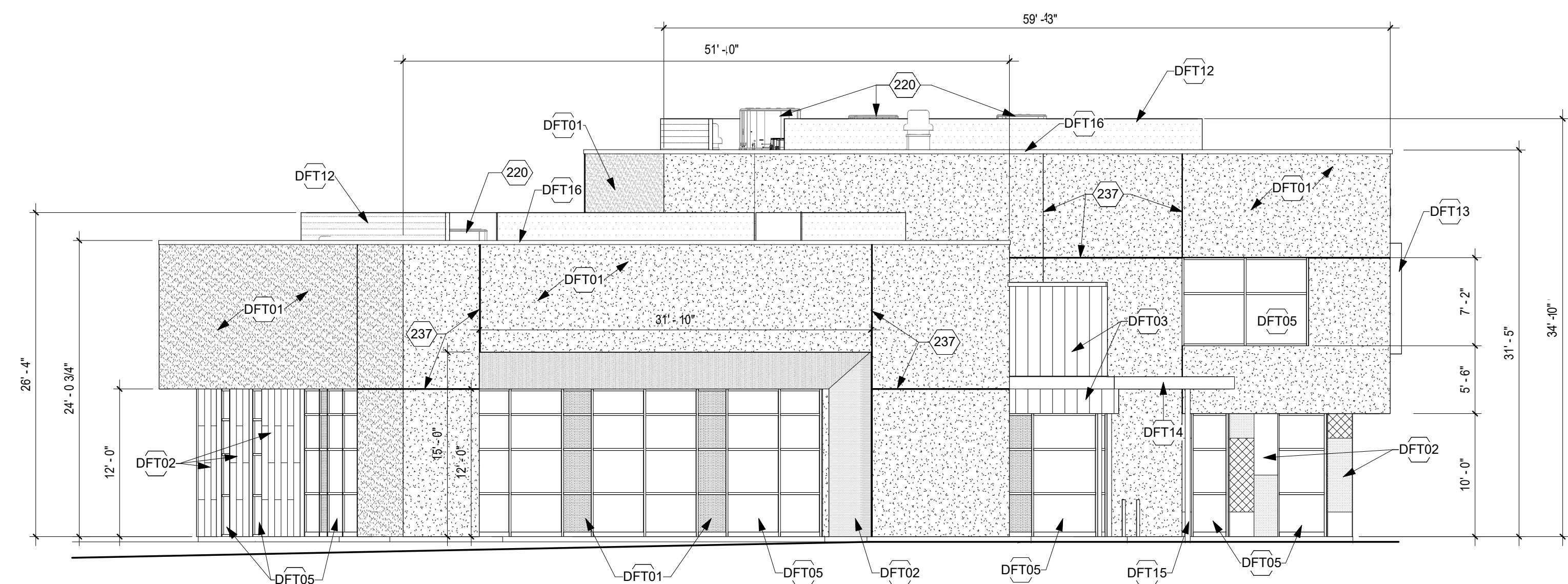
SIGN RESTRICTIONS PER IDO

- ON-PREMISES SIGNS IN MIXED-USE AND NON-RESIDENTIAL ZONE DISTRICTS:
 - WALL SIGN NUMBER, MAXIMUM: N/A
 - AREA, MAXIMUM: MX-L: 10%
- *SHALL NOT EXCEED THE PERCENTAGE OF FACADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS
- LOCATION: WHERE THERE IS NO SIDE SETBACK BETWEEN 2 ESTABLISHMENT FRONTAGES IN THE SAME OR ABUTTING BUILDINGS, NO WALL SIGN MAY EXTEND CLOSER THAN 2 FEET TO THE SHARED EDGE OF THE FRONTAGE.

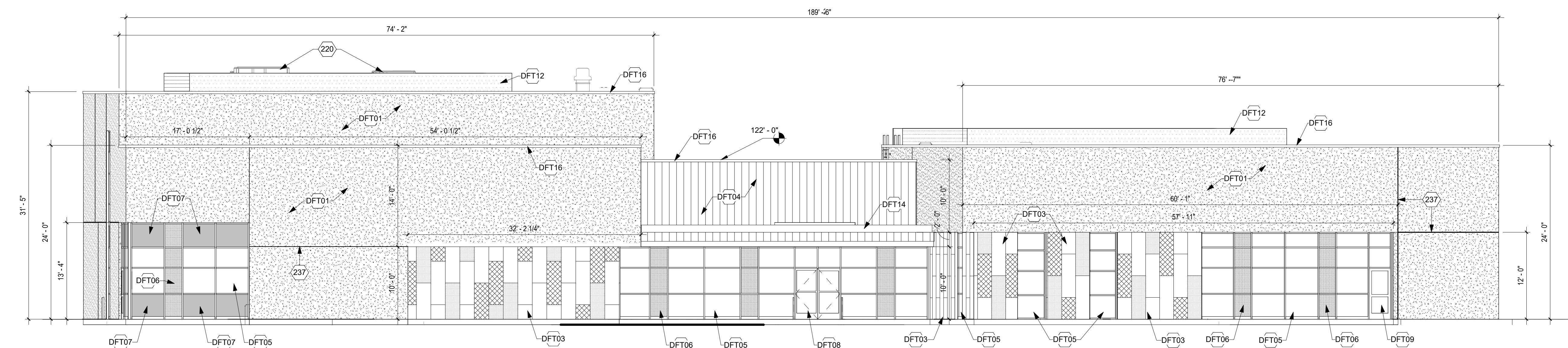
CONTRACTOR	DATE	INSPECTOR'S ACCEPTANCE BY	DATE	DRAWINGS CORRECTED BY	DATE	RECORDED BY	DATE

AS BUILT INFORMATION	DATE	REVISIONS	DATE

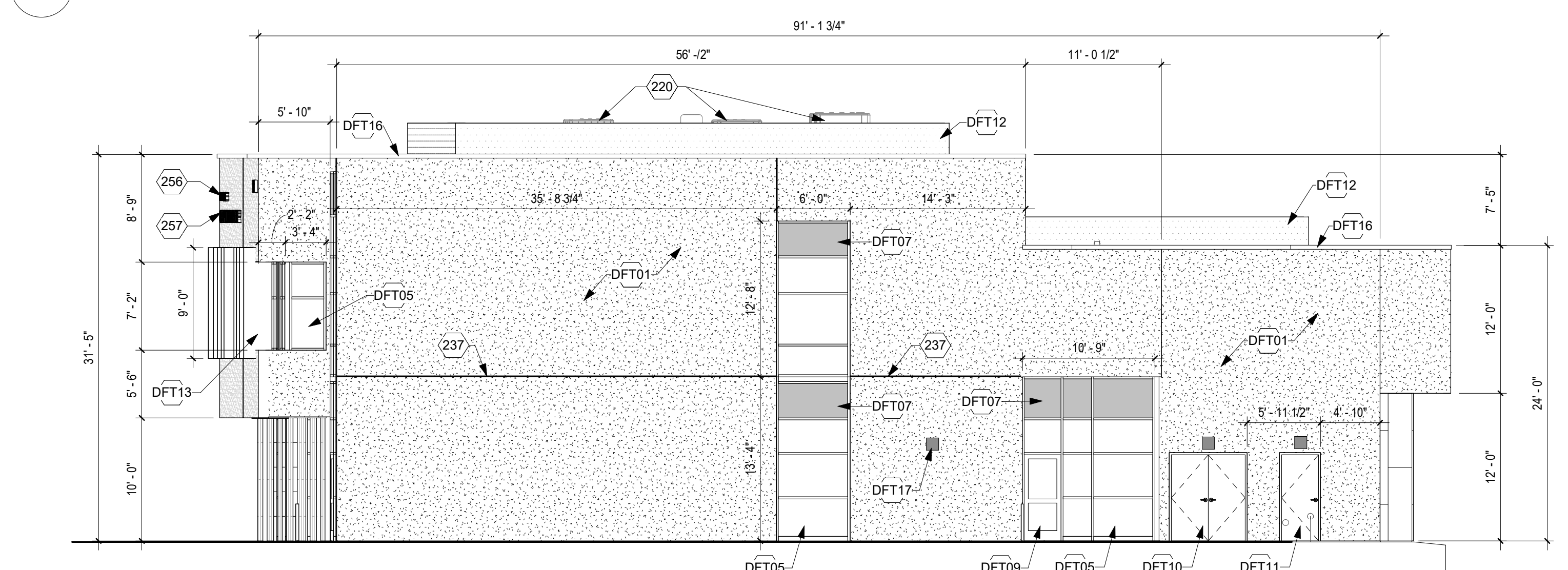
E1 NORTH ELEVATION
1/8" = 1'-0"



C1 EAST ELEVATION
1/8" = 1'-0"



B1 SOUTH ELEVATION
1/8" = 1'-0"



A1 WEST ELEVATION
1/8" = 1'-0"

KEYED NOTES

- D20 MECHANICAL EQUIPMENT: MOUNT PER ARCHITECTURAL ROOF DETAILS. COORDINATE WITH MECHANICAL REQUIREMENTS. SEE MECHANICAL.
- 236 METAL PANEL WALL SYSTEM.
- 237 CONTROL JOINT. SEE MISCELLANEOUS DETAILS.
- 256 BUILDING SIGNAGE. 8" HIGH PRE-FINISHED ALUMINUM LETTERS. FINAL TEXT TO BE APPROVED BY ARCHITECT AND OWNER. BLIND STUD MOUNT TO SUBSTRATE OR SUPPORT PER MANUFACTURER'S RECOMMENDATIONS.
- 257 BUILDING SIGNAGE. 12" HIGH PRE-FINISHED ALUMINUM LETTERS. FINAL TEXT TO BE APPROVED BY ARCHITECT AND OWNER. BLIND STUD MOUNT TO SUBSTRATE OR SUPPORT PER MANUFACTURER'S RECOMMENDATIONS.
- DFT01 EXTERIOR INSULATION AND FINISH SYSTEM (EIFS). FIELD COLOR: SAND.
- DFT02 EXTERIOR INSULATION AND FINISH SYSTEM (EIFS). ACCENT COLOR: BURNT ORANGE.
- DFT03 METAL PANEL WALL SYSTEM. COLOR: GREEN (3 DIFFERING SHADES).
- DFT04 METAL PANEL WALL SYSTEM. COLOR: COPPER.
- DFT05 ALUMINUM STOREFRONT ASSEMBLY. MULLION COLOR: CLEAR ANODIZED. 1" INSULATED SAFETY GLAZING. COLOR: CLEAR, TYPICAL.
- DFT06 1" INSULATED SAFETY GLAZING. COLOR: LIGHT ORANGE.
- DFT07 SPANDREL PANEL. COLOR: MATCH 1" INSULATED SAFETY GLAZING.
- DFT08 ALUMINUM STOREFRONT DOUBLE DOOR AND FRAME WITH REMOVABLE CENTER MULLION. 6'-2" x 7'-0".
- DFT09 ALUMINUM STOREFRONT DOOR AND FRAME. 3'-0" x 7'-0".
- DFT10 HOLLOW METAL DOUBLE DOOR AND FRAME. 6'-0" x 7'-0".
- DFT11 HOLLOW METAL DOOR AND FRAME. 3'-0" x 7'-0".
- DFT12 PERFORATED METAL PANEL SCREEN WALL ON TUBE STEEL FRAME. COLOR: GREY.
- DFT13 PREFINISHED ALUMINUM VERTICAL SUNSHADE FIN. COLOR: GREY.
- DFT14 PAINTED STEEL SHADE CANOPY. COLOR: GREY.
- DFT15 PAINTED STEEL COLUMN. COLOR: GREY.
- DFT16 METAL COPING CAP. COLOR: MATCH EIFS FIELD COLOR.
- DFT17 SQUARE WALL MOUNT LED. MANUFACTURER: PERFORMANCE IN LIGHTING - BLK62AC.
- DFT18 LINEAR LED DOWNLIGHT. MANUFACTURER: NEOTEC - PS-351-HO.
- DFT19 SURFACE-MOUNTED LINEAR LED (DOWNLIGHT). MANUFACTURER: FC LIGHTING - BLK62AC.
- DFT20 STEM-MOUNTED LINEAR LED (DOWNLIGHT). MANUFACTURER: FC LIGHTING - BLK62AC.

DEVELOPMENT FACILITATION TEAM
PROJECT NUMBER: PR-2023-009382
APPLICATION NUMBER: SI-2024-00739
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fbt architects

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CONSULTANTS

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High Mesa
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Albuquerque, NM 87109
p_505.345.4250

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Bridgers & Paxton
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p_505.883.4111

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Dallas, TX 75206
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INTERIORS
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
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CITY OF ALBUQUERQUE

PROJECT TITLE:
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MULTIGENERATIONAL CENTER**
10751 Cibola Loop NW
Albuquerque, NM 87114

75% CONSTRUCTION DOCUMENTS (FOR DFT SUBMITTAL ONLY)
MAY, 2024

DRAWING TITLE: BUILDING ELEVATIONS

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	DWG.	Sheet
P7882.16	A-13-2	DFT-201	

SEAL ARCHITECT	SURVEY INFORMATION	FIELD NOTES	DATE

NO.	DATE	REVISIONS	DATE
1			
2			
3			
4			

DESIGNED BY	DATE	CHECKED BY	DATE



GENERAL NOTES

- A. COORDINATE DUCT ROUTING AND EQUIPMENT INSTALLATION WITH STRUCTURAL PLANS, ARCHITECTURAL PLANS AND ELECTRICAL PLANS. GIVE SPECIAL ATTENTION TO STRUCTURAL BEAM ELEVATIONS, CEILING HEIGHTS, CABLE TRAYS, AND ROOF DRAIN LEADERS. SUBMIT 3D COORDINATION DRAWINGS FOR REVIEW PER SPECIFICATIONS 23 0550.
- B. ALL DUCT SIZES SHOWN ON THE DRAWING ARE NET INSIDE DIMENSIONS. SEE SPECIFICATION 230700 FOR INSULATION AND ACOUSTICAL LINING REQUIREMENTS.
- C. REFER TO SHEET M-501 FOR MECHANICAL DETAILS.
- D. CONTRACTOR SHALL PROVIDE COMPLETE HVAC MAINTENANCE FOR THE FIRST YEAR AFTER CERTIFICATE OF OCCUPANCY AND ARE RESPONSIBLE FOR THE MAINTENANCE OF ALL INSTALLED HVAC UNITS FOR THE FIRST YEAR AFTER CERTIFICATE OF OCCUPANCY IS ISSUED. REFER TO SPECIFICATION 23 0500.

KEYED NOTES

- 1. CONDENSING UNIT INSTALLED ON ROOF SKID PER DETAIL C2M-501. ROUTE REFRIGERANT PIPING TO ROOF PENETRATION HOUSING PER DETAIL A3M-501. PROVIDE REFRIGERANT PIPING AND ALL ACCESSORIES FOR A COMPLETE AND FUNCTIONAL SYSTEM PER MANUFACTURER'S INSTALLATION MANUAL.
- 2. ROOF PENETRATION HOUSING PER DETAIL A3M-501.
- 3. ROOFTOP AIR HANDLING UNIT PER EQUIPMENT SCHEDULE. INSTALL ON 24" HIGH ROOF CURB PER DETAIL C4M-501.
- 4. ROOFTOP EXHAUST FAN PER EQUIPMENT SCHEDULE. INSTALL ON 24" HIGH ROOF CURB PER DETAIL B3M-501.
- 5. 3/8" WATER HEATER VENT AND COMBUSTION AIR PIPING. VENT PIPING MATERIAL SHALL BE STAINLESS STEEL DOUBLE-WALLED CATEGORY IV CONSTRUCTION. COMBUSTION AIR PIPING MATERIAL SHALL BE PVC SCHEDULE 40. SLOPE COMBUSTION AIR PIPING DOWN TOWARDS WATER HEATER PER MANUFACTURER'S INSTALLATION MANUAL. ALL JOINTS AND SEAMS MUST BE SEALED GAS TIGHT. INSTALL PER MANUFACTURER'S INSTALLATION MANUAL.



fbt | architects
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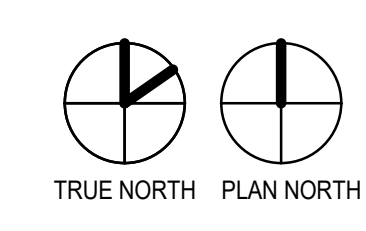
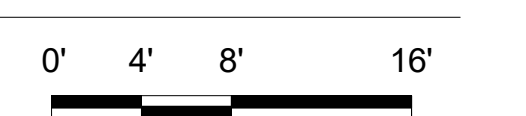
CONSULTANTS

- CIVIL**
High Mesa
 6010-B Midway Park Blvd NE
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Chavez-Grievos Consulting Engineers, Inc.
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 Albuquerque, NM 87109
 p_505.344.4080
- M/E/P/FP**
Bridgers & Paxton
 4500-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111
- LIGHTING**
Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733
- INTERIORS**
Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

DEVELOPMENT FACILITATION TEAM

PROJECT NUMBER: PR-2023-009382
 APPLICATION NUMBER: SI-2024-00739
 PROJECT NAME: City Multigenerational Center At 10751 Cibola Loop NW

A1 MECHANICAL ROOF PLAN
 1/8" = 1'-0"



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		SEAL ENGINEER	
CONTRACTOR	DATE	NO.	BY	NO.	DATE	NO.	DATE	NO.	DATE

CITY OF ALBUQUERQUE

PROJECT TITLE:
**COA CIBOLA LOOP
 MULTIGENERATIONAL CENTER**
 10751 Cibola Loop NW
 Albuquerque, NM 87114

June 07, 2024
CONSTRUCTION DOCUMENTS (FOR DFT SUBMITTAL ONLY)

DRAWING TITLE: **MECHANICAL ROOF PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. P7882.16 Zone Map No. A-13-Z DWG. MH131 Sheet

Cibola Loop Multigenerational Center - North Entry



Cibola Loop Multigenerational Center - South Facade



PROJECT DATA

BUILDING ADDRESS 10751 CIBOLA LOOP NW
ALBUQUERQUE, NM 87114

LEGAL DESCRIPTION
TRACT A-2 CIBOLA LOOP SUBDIVISION WITH THE TOWN OF ALAMEDA GRANT
PROJECTED SECTION 6, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M. CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

+/- 9.1379 ACRES

CONSTRUCTION TYPE NEW CONSTRUCTION - IIB

OCCUPANT LOAD MIXED OCCUPANCY - NON-SEPARATED USES
A-3 (ASSEMBLY GROUP)
B (BUSINESS GROUP)

SQUARE FOOTAGE
FIRST LEVEL: 11,107 GSF
SECOND LEVEL: 4,450 GSF (NON-OCCUPIED)
TOTAL BUILDING: 15,557 GSF

BUILDING HEIGHT 31' - 5" ABOVE FINISH FLOOR LEVEL.

KEYED NOTES

- S01 EXISTING CURB AND GUTTER SYSTEM
- S02 EXISTING SIDEWALK
- S03 EXISTING ASPHALT DRIVE
- S04 EXISTING DOUBLE YELLOW PAVEMENT STRIPE
- S05 EXISTING STREETLIGHT
- S06 LINE OF EXISTING ASPHALT CURB TO BE REMOVED
- S10 PROPERTY LINE
- S11 10' - 0" PUBLIC UTILITY EASEMENT
- S12 ASPHALT DRIVE FOR EXPANDED ROADWAY
- S13 NON-STRIPED ON-STREET PARKING (APPROXIMATELY 33 SPACES)
- S14 NEW DRIVE AT EXPANDED ROADWAY
- S15 ASPHALT PAVING, TYPICAL.
- S18 PAINTED PARKING LOT 10' - 0" LENGTH ARROWS AND 30" HEIGHT LETTERING, TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
- S20 PAINTED ACCESS AISLE
- S31 CONCRETE CURB & GUTTER SYSTEM, TYPICAL. SEE SITE DETAILS & CIVIL.

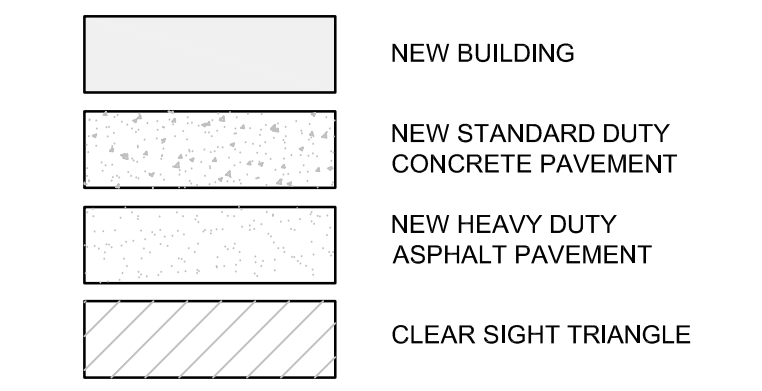
- S33 CONCRETE SIDEWALK PER COA STANDARDS
- S34 4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH TURN DOWN EDGE AT ALL EXPOSED EDGES.
- S35 ACCESSIBLE CURB RAMP. SEE COA STD. DWG. 2443 FOR PARALLEL CURB RAMP DETAILS. INSTALL TRUNCATED DOME IN ALL ADA RAMP, RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.
- S36 ACCESSIBLE PATH TO PUBLIC WAY
- S37 CONCRETE STAIRS AND STEEL HANDRAILS
- S38 6" TRAFFIC-RATED BOLLARD
- S42 ENTRY PLAZA: INTEGRALLY COLORED CONCRETE AND STAMPED TEXTURE WITH INTEGRATED LANDSCAPING & CONCRETE SEATING.
- S43 CONCRETE PATIO: INTEGRALLY COLORED CONCRETE AND STAMPED TEXTURE WITH INTEGRATED LANDSCAPING & CONCRETE SEATING.
- S44 1" - 6" CONCRETE MOW STRIP, TYPICAL. ALL AROUND BUILDING PERIMETER.
- S45 OVERHEAD OVERHANG
- S52 6" CONCRETE APRON 4,000 PSI 3/4" AGGREGATE WITH 6X6-10/10WWM OR EQUAL WITH 1/2" EXPANSION JOINT BETWEEN PAD AND APRON.
- S53 6" MIN. CONCRETE SLAB 4,000 PSI 3/4" AGGREGATE WITH 6X6-10/10WWM OR EQUAL. SLOPE TO DRAIN 1/8" PER FOOT.
- S60 CLEAR SIGHT TRIANGLE
- S61 LANDSCAPING. SEE LANDSCAPE.

- S62 MANUAL DOUBLE SWING PIPE GATE
- S64 REFUSE: DOUBLE ENCLOSURE WITH TWO MANUAL DOUBLE SWING GATES, PER COA SOLID WASTE MANAGEMENT DEPARTMENT STANDARDS.
- S65 REFUSE BIN BY OTHER, NIC.
- S66 REFUSE ENCLOSURE CMU WALL
- S67 REFUSE ENCLOSURE SWING GATE
- S68 RECYCLING BIN BY OTHER, NIC.
- S70 WATER METERS, SEE CIVIL.
- S72 DRAIN INLET, SEE CIVIL.
- S73 STORM DRAIN MANHOLE. SEE CIVIL.
- S74 SANITARY DRAIN
- S75 GREASE TRAP
- S76 RETENTION POND
- S81 POST-INDICATOR VALVE (PIV)
- S82 REMOTE FDC WITH GROUND-MOUNTED SIGN
- S83 FIRE HYDRANT
- S90 SWITCHGEAR, SEE ELECTRICAL
- S91 UTILITY TRANSFORMER, SEE ELECTRICAL.
- S92 SITE LIGHTING, SEE LIGHTING.

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- B. ALL PARKING DRIVES TO BE ASPHALT CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- C. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.
- D. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.

SITE HATCH LEGEND



PARKING ANALYSIS

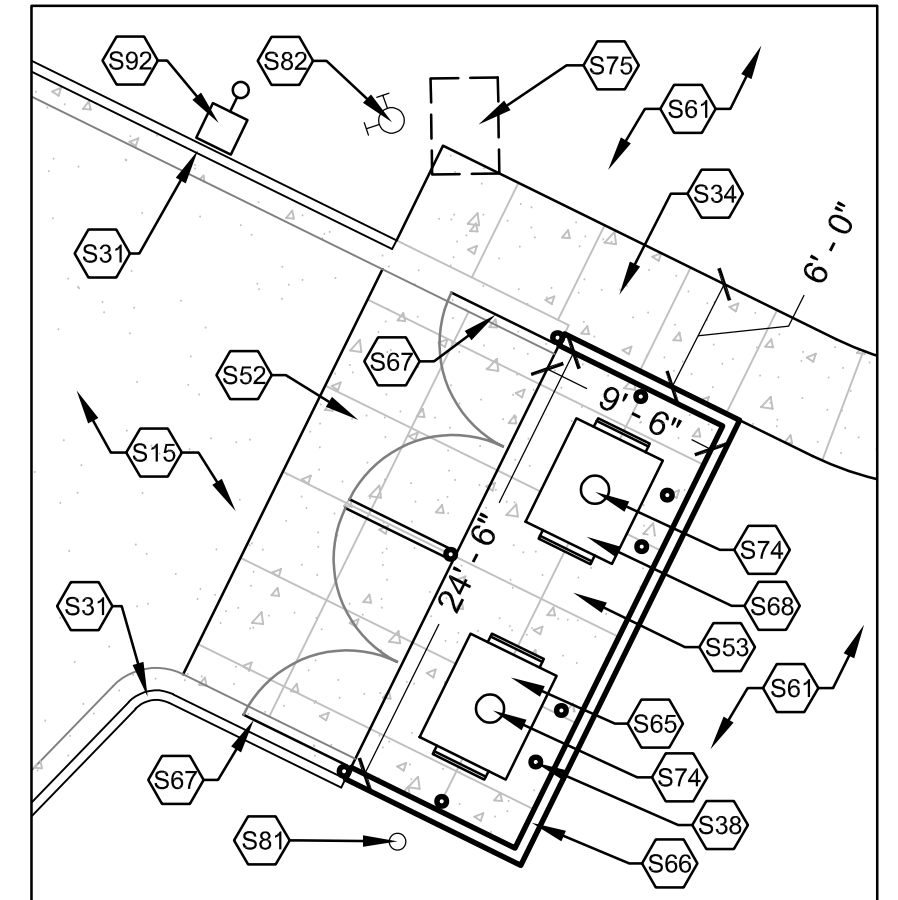
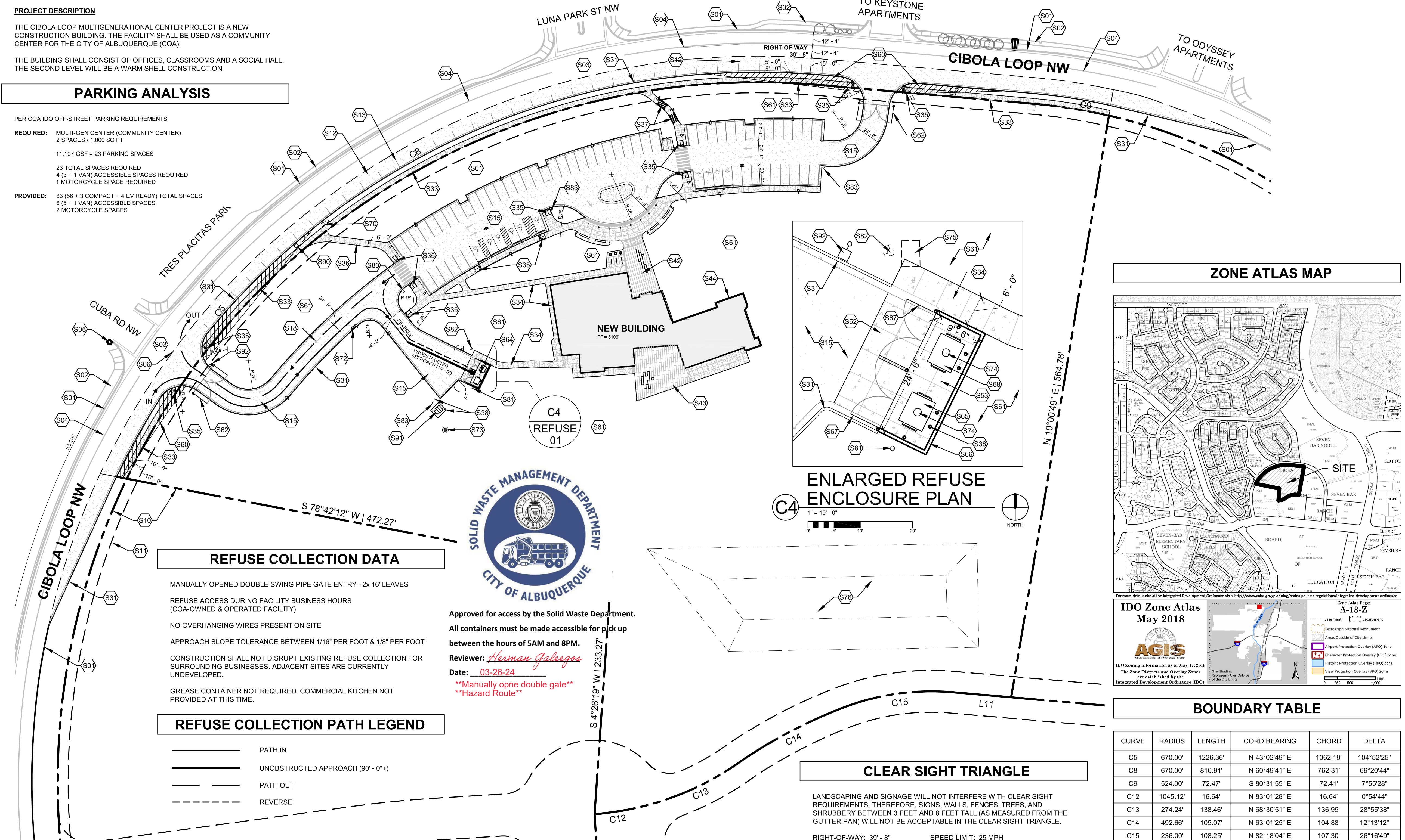
PER COA IDO OFF-STREET PARKING REQUIREMENTS

REQUIRED: MULTIGEN CENTER (COMMUNITY CENTER)
2 SPACES / 1,000 SQ FT

11,107 GSF = 23 PARKING SPACES

23 TOTAL SPACES REQUIRED
4 (3 + 1 VAN) ACCESSIBLE SPACES REQUIRED
1 MOTORCYCLE SPACE REQUIRED

PROVIDED: 63 (56 + 3 COMPACT + 4 EV READY) TOTAL SPACES
6 (5 + 1 VAN) ACCESSIBLE SPACES
2 MOTORCYCLE SPACES



ZONE ATLAS MAP



IDO Zone Atlas
May 2018

A-13-Z

For more details about the Integrated Development Ordinance visit: <http://www.ci.albuquerque.nm.us/planning/ido-portal/development-ordinance>

Legend:
 - Eastment
 - Encumbrance
 - Geographical National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone

Scale: 1" = 100' (Horizontal), 1" = 20' (Vertical)

REFUSE COLLECTION DATA

MANUALLY OPENED DOUBLE SWING PIPE GATE ENTRY - 2x 16" LEAVES

REFUSE ACCESS DURING FACILITY BUSINESS HOURS (COA-OWNED & OPERATED FACILITY)

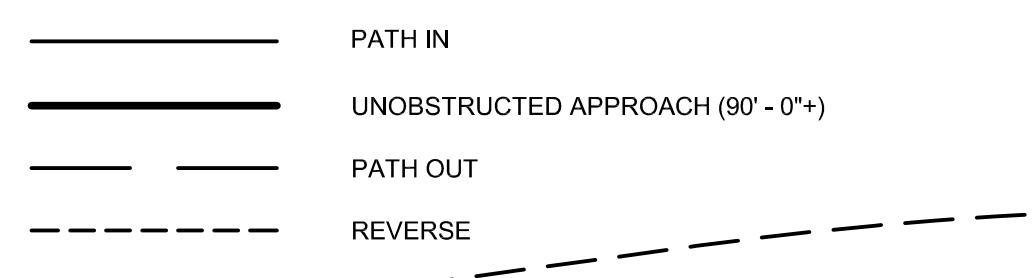
NO OVERHANGING WIRES PRESENT ON SITE

APPROACH SLOPE TOLERANCE BETWEEN 1/16" PER FOOT & 1/8" PER FOOT

CONSTRUCTION SHALL NOT DISRUPT EXISTING REFUSE COLLECTION FOR SURROUNDING BUSINESSES. ADJACENT SITES ARE CURRENTLY UNDEVELOPED.

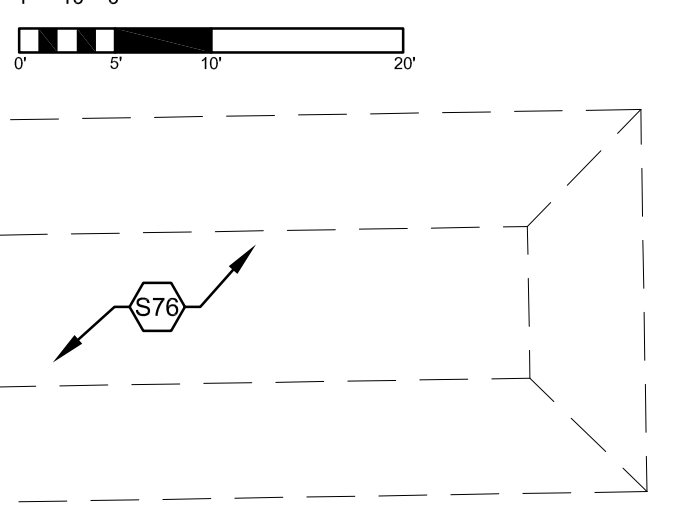
GREASE CONTAINER NOT REQUIRED. COMMERCIAL KITCHEN NOT PROVIDED AT THIS TIME.

REFUSE COLLECTION PATH LEGEND



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up between the hours of 5AM and 8PM.
Reviewer: *Herman Gallegos*
Date: 03-26-24
Manually open double gate
Hazardous Route

ENLARGED REFUSE ENCLOSURE PLAN



CLEAR SIGHT TRIANGLE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

RIGHT-OF-WAY: 39' - 8" SPEED LIMIT: 25 MPH

2LD - 2 LANES, DIVIDED BY PAINTED DOUBLE SOLID STRIPES + NON-STRIPED ON-STREET PARKING LANE ALIGNING NORTH LENGTH OF SITE (APPROXIMATELY 33 SPACES)

DR = 240 FT DL = 300 FT

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CORD BEARING	CHORD	DELTA
C5	670.00'	1226.36'	N 43°02'49" E	1062.19'	104°52'25"
C8	670.00'	810.91'	N 60°49'41" E	762.31'	69°20'44"
C9	524.00'	72.47'	S 80°31'55" E	72.41'	7°55'28"
C12	1045.12'	16.64'	N 83°01'28" E	16.64'	0°54'44"
C13	274.24'	138.46'	N 68°30'51" E	136.99'	28°55'38"
C14	492.66'	105.07'	N 63°01'25" E	104.88'	12°13'12"
C15	236.00'	108.25'	N 82°18'04" E	107.30'	26°16'49"

LINE	DIRECTION	DISTANCE
L7	S 84°31'26" E	207.04'
L11	S 84°36'05" E	56.17'

A1 TRAFFIC CIRCULATION LAYOUT PLAN



6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110 505.883.5200
www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250

LANDSCAPE
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126

STRUCTURAL
Chavez-Grievos Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080

M/E/P/FP
Bridgers & Paxton
4600-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111

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Oldner Lighting
4645 Greenville Ave, Studio B
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Studio M
6501 Americas Parkway NE, Suite 302
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p_505.243.9287

CITY OF ALBUQUERQUE

PROJECT TITLE:
COA CIBOLA LOOP MULTIGENERATIONAL CENTER
10751 Cibola Loop NW
Albuquerque, NM 87114

TRAFFIC CIRCULATION LAYOUT (TCL)
MARCH 2024

DRAWING TITLE: REFUSE 01 SHEET TITLE: REFUSE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. P7882.16	Zone Map No. A-13-Z	DWG.	Sheet

AS BUILT INFORMATION

CONTRACTOR: _____ DATE: _____

INSPECTOR'S ACCEPTANCE BY: _____ DATE: _____

FIELD VERIFICATION BY: _____ DATE: _____

DRAWING CORRECTED BY: _____ DATE: _____

RECORDED BY: _____ DATE: _____

NO. _____

SEAL ARCHITECT

1. 01 NEW ME CO
FED. C. BRIMLATT
No. 3382
3/22/2024
REGISTERED ARCHITECT

ARCHITECT

REVISIONS

NO.	DATE	REMARKS
1		
2		
3		
4		

DESIGNED BY: _____ DATE: _____

DRAWN BY: _____ DATE: _____

CHECKED BY: _____ DATE: _____