

Site Plan Documentation



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

BRIEF DESCRIPTION OF REQUEST

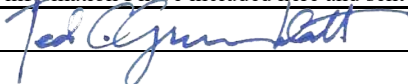
APPLICATION INFORMATION		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: Tract A-2 , Cibola Loop Subdivision
Cibola Loop NW

Request Description: DFT Site Plan Approval

Hydrology:

- Sensitive Lands Analysis (5-2(C)) Approved NA
- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Renee C. Brissette
 Hydrology Department

04/02/24
 Date

Transportation:

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- MRCOG Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

 Transportation Department

 Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? Yes No NA
- Availability Statement/Serviceability Letter Number 240210
- Note: Commitment for service is required prior to application approval.

[Signature]
 ABCWUA

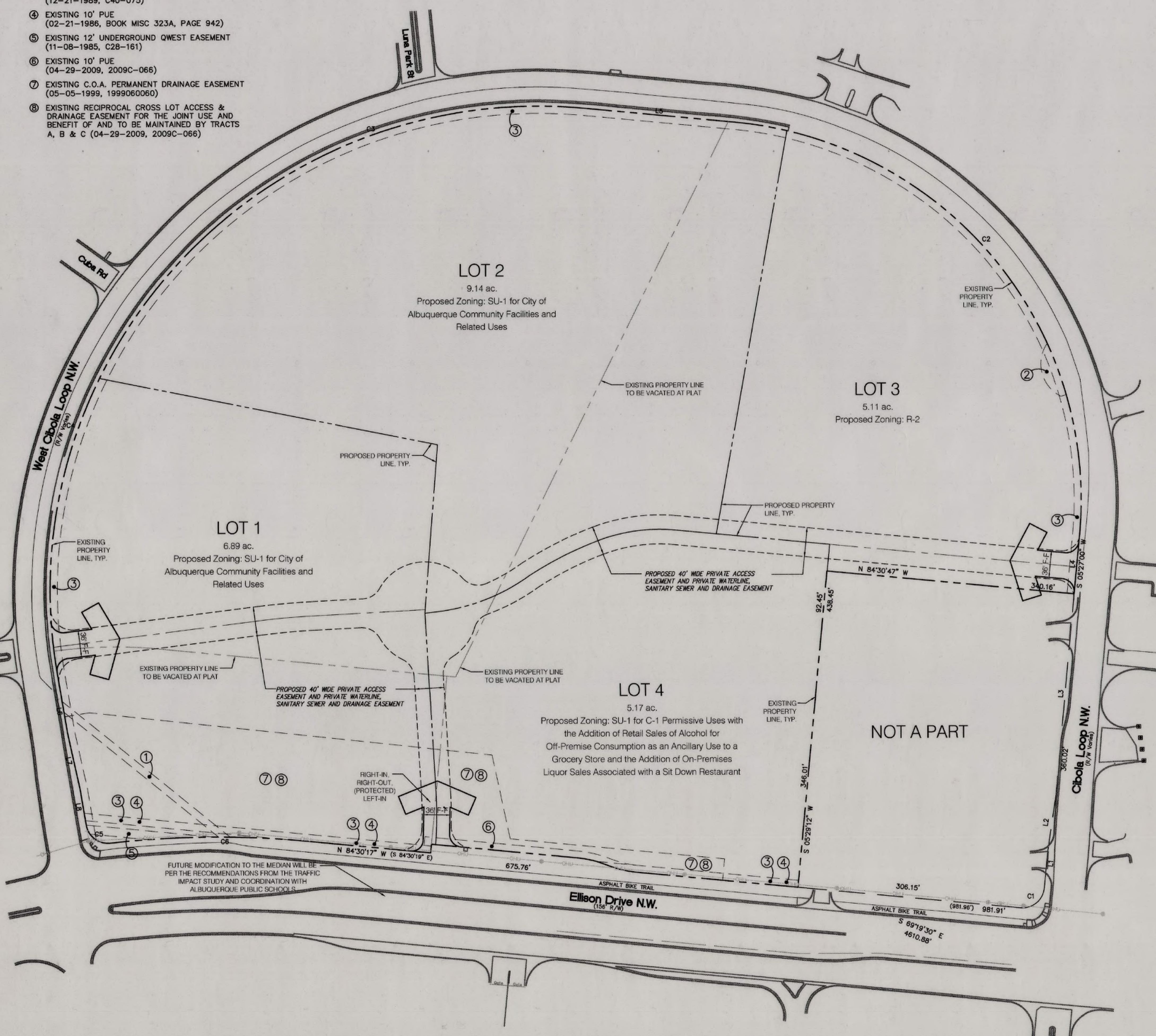
4/6/2024
 Date

- Infrastructure Improvements Agreement (IIA*) Approved NA (Director of Dept of Senior Affairs to Guarantee)
- Solid Waste Department Signature on the Plan Approved NA
- Fire Marshall Signature on the Plan Approved NA (FMO signed Fire 1 Plan)

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

EASEMENTS

- ① EXISTING 10' ABCWUA SANITARY SEWER EASEMENT (12-05-1974, BOOK MISC 345, PAGE 971)
- ② EXISTING 50' RADIUS TEMPORARY TURNING EASEMENT (11-08-1985, C28-161)
- ③ EXISTING 10' PUE (12-21-1989, C40-075)
- ④ EXISTING 10' PUE (02-21-1986, BOOK MISC 323A, PAGE 942)
- ⑤ EXISTING 12' UNDERGROUND QWEST EASEMENT (11-08-1985, C28-161)
- ⑥ EXISTING 10' PUE (04-29-2009, 2009C-066)
- ⑦ EXISTING C.O.A. PERMANENT DRAINAGE EASEMENT (05-05-1999, 1999060060)
- ⑧ EXISTING RECIPROCAL CROSS LOT ACCESS & DRAINAGE EASEMENT FOR THE JOINT USE AND BENEFIT OF AND TO BE MAINTAINED BY TRACTS A, B & C (04-29-2009, 2009C-066)



SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION:

THE SITE: The Site is Tracts A, B, and C of Cibola Loop Subdivision, consisting of approximately 26 acres. The property boundaries are Ellison Drive on the south and Cibola Loop Drive on the north, east, and west.

ZONING AND PROPOSED USE: The Site is currently zoned SU-1 for R-2 Uses, SU-1 for Senior Housing with Limited Medical Facilities, and SU-1 for C-1 Permissive Uses with No Drive-Up Service Windows. Proposed zoning is SU-1 for City of Albuquerque Community Facilities and Related Uses, SU-1 for C-1 Permissive Uses with the Addition of Retail Sales of Alcohol for Off-Premise Consumption as an Ancillary Use to a Grocery Store and the Addition of On-Premises Liquor Sales Associated with a Sit Down Restaurant, and R-2. Proposed uses are a Multigenerational Center, Library, and Swimming Pool, commercial retail, and multi-family residential.

APPLICABLE PLANS: Seven Bar Ranch Sector Development Plan and the West Side Strategic Plan.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access: The primary access to this site is from Ellison Drive, a Regional Principal Arterial. Secondary access is from Cibola Loop, a local road. The Ellison Drive access is proposed as right-in, right-out, and (protected) left-in.

Transit Access: The site is to the west of the City's Northwest Transit Center. ABQ Ride Routes that serve the Northwest Transit Center include Routes 92, 94, 96, 98, 155, 157, 251, 551, and 790.

Bicycle Access: Bicycle access is provided to this site via the multi-use, paved, McMahon and Tres Placitas Trails. The McMahon Trail runs along the south edge of the site within the Ellison right-of-way and connects to the Black Arroyo Trail that runs along the west side of the Channel. Tres Placitas Trail breaks off from the McMahon Trail at West Cibola Loop intersection and loops around the residential neighborhood to and through Tres Placitas Park and continues to the northern edge of the site.

Pedestrian Access: Internal sidewalks and pedestrian facilities will be designed in compliance with the Design Guidelines included with this Site Plan for Subdivision. The internal pedestrian network will make connections to and from each of the buildings, through the parking areas, and to the public sidewalks within the adjacent rights-of-way. There is an existing 10 foot wide multi-use trail along Ellison Drive. Sidewalks will be constructed around the perimeter of the site per the requirements of the Development Process Manual.

BUILDING HEIGHTS AND SETBACKS: Maximum building height for the three City facilities shall be 38 feet. The maximum building height for the commercial buildings shall be 26 feet. Setbacks for the civic and commercial uses shall be per the Design Guidelines.

MAXIMUM FLOOR AREA RATIO: The maximum FAR for the civic and commercial areas is .50. The FAR for the R-2 tract is per the R-2 zone.

LANDSCAPE PLAN: Landscape plans shall be submitted with future Site Plans for Building Permit (Except for R-2 site) and shall be consistent with the Water Conservation Landscaping and Water Waste Ordinance, Pollen Control Ordinance, and the Design Guidelines.

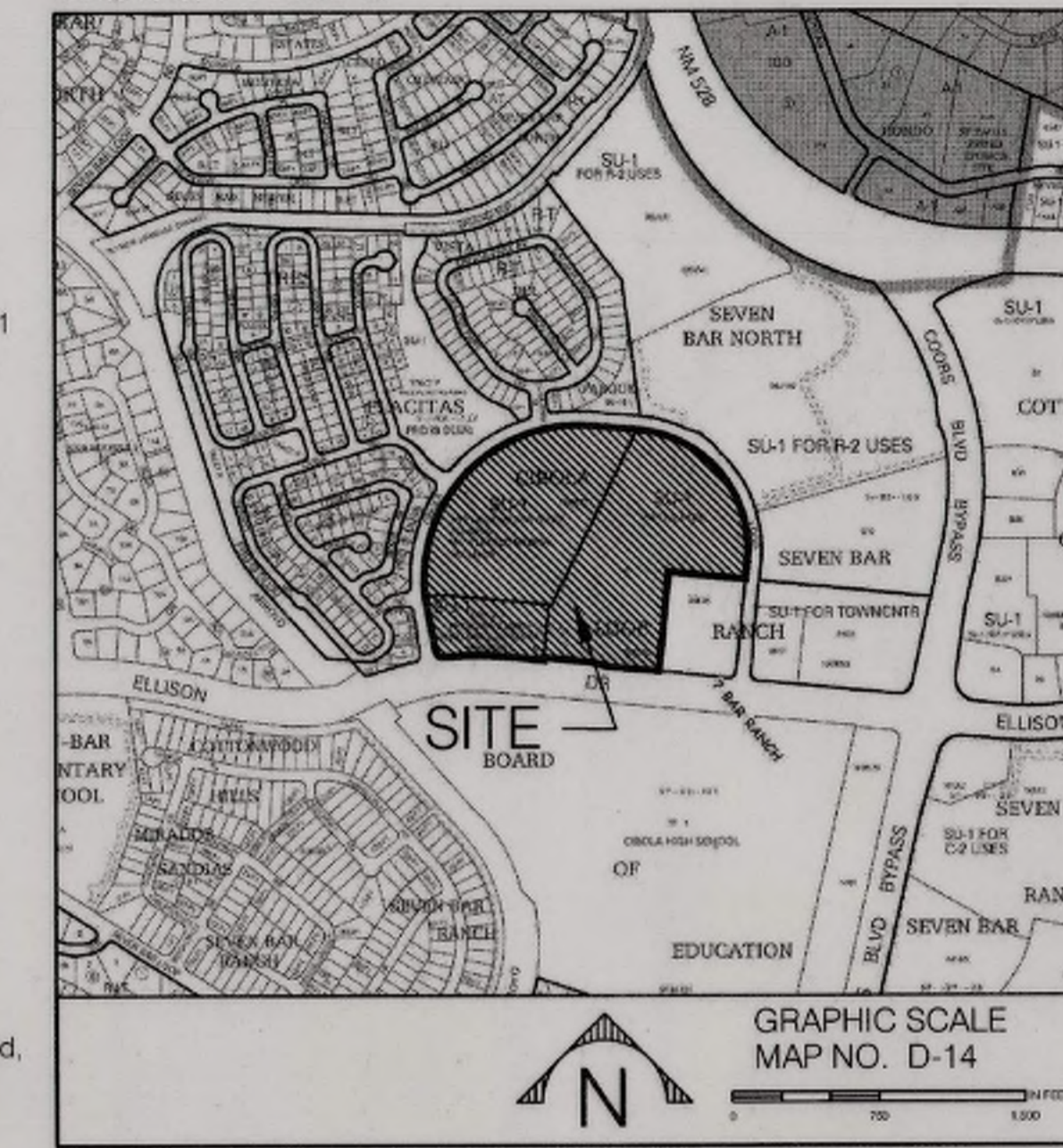
STREETS: All interior streets shall be private.

UTILITIES: All public waterlines that are not within public rights-of-way shall be located in public waterline easements granted to the Albuquerque Bernalillo County Water Utility Authority (ABCWUA). All sanitary sewer lines shall be private.

GENERAL NOTES

- 1. Lot 3 (Multi-Family) is proposes to be zoned R-2, and as such, the Design Guidelines do not apply.
- 2. The build-out of the City facilities will be phased over time. It is anticipated that the Library (located along the Ellison Drive frontage) will be the first City facility built on the property.
- 3. All future Site Development Plans shall contain stormwater control measures designed to manage the first flush and control runoff generated by contributing impervious surfaces.
- 4. A Traffic Circulation Layout (TCL) plan is required for each development as part of the building permit submittal requirements.

VICINITY MAP



PROJECT NUMBER: 1010895

Application Number: 16EPC-40048

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated October 14, 2016 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Roger M. Murrill</i>	1/25/17
Traffic Engineering, Transportation Division	Date
<i>Christy Lee</i>	01/31/17
ABCWUA	Date
<i>Carol S. Dument</i>	1-25-17 cad
Parks and Recreation Department	Date
<i>PS</i>	1-25-17
City Engineer	Date
N/A	
* Environmental Health Department-(conditional)	Date
N/A	
Solid Waste Management	Date
<i>Carl Ch...</i>	2-2-17
DRB Chairperson, Planning Department	Date

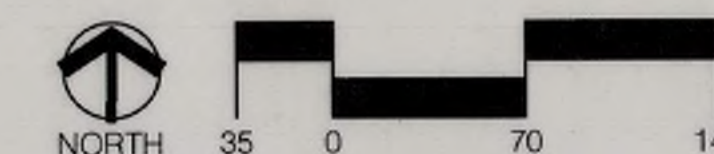
CIBOLA LOOP

SITE PLAN FOR SUBDIVISION

Prepared for:
 Vientecillo, LLC
 5995 Alameda Boulevard NE
 Albuquerque, NM 87111

Prepared by:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102

Scale: 1" = 70'



January 25, 2017

DESIGN GUIDELINES

The purpose of these Design Guidelines is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for this multi-use property. The primary goal for this property is to achieve a vibrant destination that fosters pedestrian accessibility and is an asset to the community and the City of Albuquerque as a whole. These Design Guidelines supplement the Architectural Program completed as part of the Westside Multigenerational Center Feasibility Study on behalf of the Department of Senior Affairs and apply to civic and commercial areas only within the SU-1 portions of the site. The multi-family tract zoned (R-2) is not subject to these Design Guidelines.

Subsequent Site Plans for Building Permits shall be consistent with the Design Guidelines established by this Site Plan for Subdivision and shall be approved administratively, with the exception of the 5-acre commercial retail site, which shall be approved by the Environmental Planning Commission. Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-16-2-22 (A)(6) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

1. ACCESS AND CIRCULATION

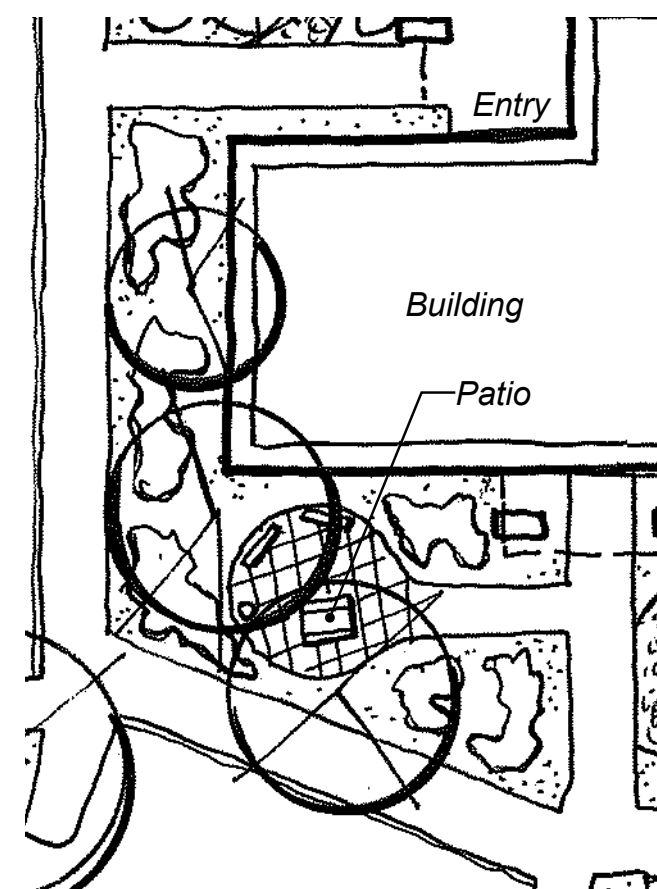
Access is provided from Ellison Drive and Cibola Loop. Primary access will be from Ellison Drive from a right-in, right-out, left-in access point. Secondary access is from Cibola Loop that aligns with existing roadways.

- 1.1 Access and circulation for vehicles required to perform maintenance to recreation areas and buildings shall be maintained.
- 1.2 Fire access shall be provided in accordance with the International Fire Code and adopted and amended by the State of New Mexico and the City of Albuquerque, and with current regulations of the Albuquerque Fire Department.

2. PEDESTRIAN AND SITE AMENITIES

The creation of a pedestrian-friendly environment will depend on creative site design and will be a primary design objective for Cibola Loop.

- 2.1 The use of a consistent design for all types of site furniture will serve to unify different areas of the property. Site furniture will be located in areas of more active recreation or pedestrian movement and consist of the following: benches, picnic tables, trash receptacles, bicycle racks, bollards, and informational signage. Selection of fixtures should be based on design compatibility, durability/maintenance needs, vandal-resistance, cost, comfort, and handicap accessibility.
- 2.2 Pedestrian paths shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design, except where topography makes this unfeasible).
- 2.3 Accessible drop off areas shall be provided at the front entries of each of the three City facilities.
- 2.4 Pedestrian connections shall be provided from parking lots to buildings, adjacent roadways, public sidewalks, and trails.
- 2.5 Pedestrian crossings shall be clearly demarcated with special paving treatment where they cross vehicular entrances and drive aisles. Speed tables and similar traffic-calming devices are encouraged at major crossings.
- 2.6 Freestanding restaurants shall provide outdoor patios shaded by trees and/or a shade structure that is architecturally integrated with building architecture.
- 2.7 Structures and on-site circulation systems should be located to minimize pedestrian/vehicle conflicts.
- 2.8 All sidewalks, ramps (including required truncated domes) curb cuts, and curb and gutter located within City right-of-way shall be built per City of Albuquerque Standard Drawings: sidewalks (2430), ramps (2440), curb cuts (2426), and curb and gutter (2415 A).



Outdoor patio shaded by trees.

3. PARKING

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. The goal for the City facilities is to allow shared parking.

- 3.1 Handicapped parking spaces shall be provided adjacent to building entries.
- 3.2 The number of parking spaces shall be as provided below:
 - > Multigenerational Center: maximum of 300 spaces, including a minimum of 20 handicapped spaces with 10 being van accessible spaces
 - > Library: maximum of 110 spaces, including 8 handicapped spaces with 2 being van accessible spaces
 - > Swimming Pool: maximum of 100 spaces, including 4 handicapped spaces with 1 being van accessible spaces
 - > Commercial retail: minimum number of spaces per the C-1 zone; no minimum number of spaces are required
- 3.3 Bicycle parking shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Comprehensive Zoning Code.
- 3.4 A shared parking agreement shall be required for the three civic uses and the commercial retail use.
- 3.5 Specific design of parking areas and access roads shall be in accordance with the City's Development Process Manual (DPM), and in compliance with the City's Comprehensive Zoning Code, Section 14-16-3-1. Minimum widths and radii for fire access shall be maintained in accordance with 1.2 above.
- 3.6 Alternative surfacing treatments for the parking areas should be explored to allow for water permeability. Opportunities to harvest water in planted islands should also be considered (See Section 14).

4. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes.

- 4.1 Minimum setback for buildings:
 - > 30 feet from the R.O.W. line of Ellison Drive
 - > 30 feet from the R.O.W. line of Cibola Loop
- 4.2 Minimum setback for parking areas:
 - > 20 feet from the R.O.W. line of Ellison Drive
 - > 20 feet from the R.O.W. line of Cibola Loop
- 4.3 Playground areas:
 - > 30 feet from adjacent street or parking lot, unless a physical barrier, such as walls or fencing is provided to restrict access to the street.

5. SITE VISIBILITY AND VIEWS

Visibility from Ellison is important for both the Library and the commercial retail site. The primary views from the site are towards the Sandias to the east and northeast. The west and northwest of the site afford the best views due to the grade differential from west to east and the distance from existing and potential neighboring development, as described in the Architectural Program completed for the three civic uses.

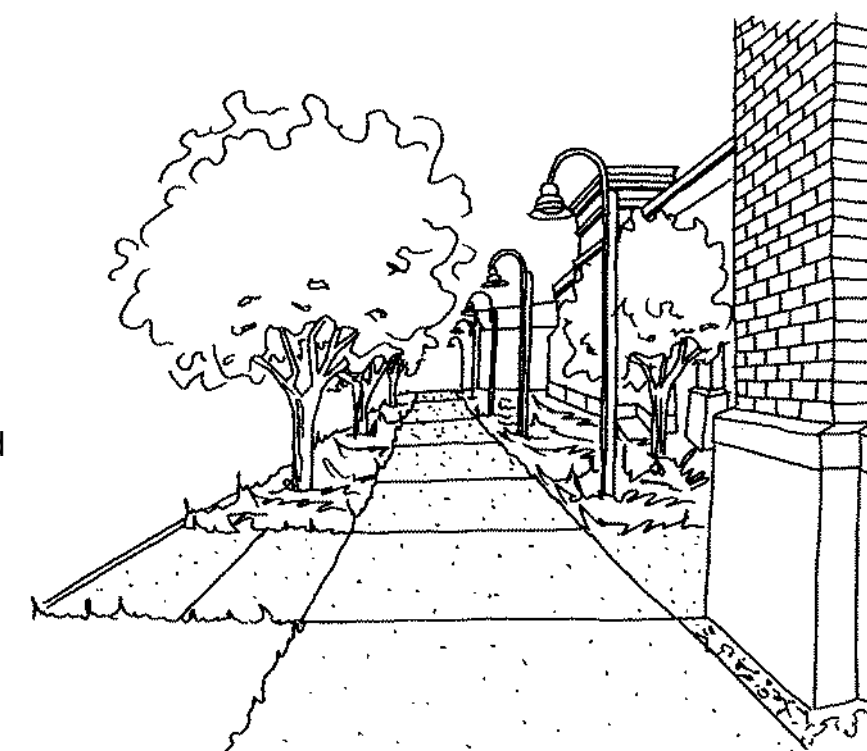
- 5.1 Multigenerational Center: The Multigenerational Center should be easily visible from Ellison Drive and the access to parking and drop-off area should be clear and easy to navigate. Views to the Sandias from many of the Center's primary program areas are important and should be provided from the second level.
- 5.2 Library: Good visibility from Ellison Drive should be provided to the Library. Views from the Library's primary program areas towards the Sandias should be provided.
- 5.3 Swimming Pool: Direct visibility from Ellison Drive is not essential, but good wayfinding for access from Ellison Drive and Cibola Loop should be provided. Views would be a benefit, but are not essential.

6. LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the property. The landscape design should emphasize native and naturalized plant species, but is not limited to those species. All landscaped areas need to be coordinated and responsive to existing environmental conditions and local building policies. These guidelines are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

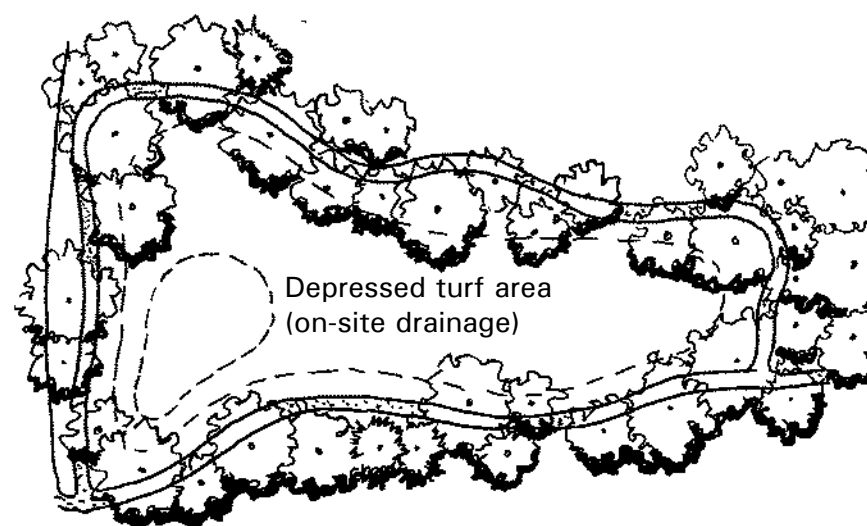
- 6.1 Plant materials will be used for a variety of purposes, including:

- > Buffer/screen - plant materials will be used to buffer certain facilities from noise and wind, and screen views to/from objectionable elements;
- > Shade/climate control - shade trees will be used along pedestrian paths and around activity centers;
- > Define uses or activities - trees and shrubs will be used to define specific areas;
- > Highlight specific features - trees and shrubs will be used to frame elements, provide foreground and background interest, etc.
- > Sensory stimulation - fragrant and flowering trees and shrubs will be used to stimulate the senses of sight, smell, and touch; and
- > Education - native landscape materials appropriate to our high desert environment will be used to demonstrate how natives can be water efficient and attractive in a "designed" landscape.



Shaded walkways.

- 6.2 Individual lot owners shall be responsible for the installation and maintenance of the landscape on their property. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive condition.
- 6.3 Common area landscaping shall be maintained by an association established for that purpose.
- 6.4 A minimum of 15 percent of site area (minus the building square footage) shall be devoted to landscape materials.
- 6.5 Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet. Living, vegetative materials shall cover a minimum of 75 percent of the landscaped areas. The area and percentage is calculated based on the mature canopy size of all plant materials.
- 6.6 All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, gravel mulch, or similar material which extends completely under the plant material.
- 6.7 Appropriate landscape headers (e.g. steel, brick, concrete) shall be used to separate any turf and groundcover areas.
- 6.8 One shade tree shall be planted for every ten parking spaces, with no parking space being more than 100 feet from a tree trunk. Parking area trees shall have a mature height and canopy of at least 25 feet.
- 6.9 Outdoor recreation areas should be designed for dual use (recreation and on-site drainage).



Outdoor recreation areas designed for dual use.

- 6.10 An automatic underground irrigation system shall be provided to support all required landscaping.
- 6.11 Minimum plant sizes at time of installation shall be as follows:
 - > Trees: 1.5 inch caliper, or 10 to 12 feet in height
 - > Shrubs & Groundcovers: 1 gallon
 - > Turf grasses shall provide complete ground coverage within 1 growing season after installation.

7. SCREENING / WALLS AND FENCES

The effective use of screening devices for mechanical equipment, parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on the property.

- 7.1 All mechanical equipment shall meet the screening requirements of Section 14-16-3-1(E)(4) of the Comprehensive City Zoning Code. All mechanical equipment shall be screened from public view by materials of the same nature as the basic materials of the building.
- 7.2 All screening and vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance, and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.
- 7.3 All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections. Trash enclosures shall be screened with plant materials.
- 7.4 The Multigenerational Center shall include a 30 yard self contained compactor and shall be screened with an 8 foot wall.
- 7.5 The design and materials for refuse collection enclosures shall be compatible with the architectural theme and materials of the site and adjacent buildings.
- 7.6 No refuse collection areas shall be allowed between streets and building fronts.
- 7.7 Parking areas shall be screened with plant materials, walls, earthen berming, or a combination of the above. Such screening shall have a minimum height of 3 feet.
- 7.8 Walls and fences shall comply with Section 14-16-3-19, General Height and Design Regulations for Walls, Fences, and Retaining Walls.
- 7.9 Fencing for the Swimming Pool shall comply with Chapter 10 Amusement, Recreation, and Culture, Article 3 Swimming Pools, Section 10-3-2-3 Barrier, which requires pools to be completely surrounded by a barrier at least 48 inches in height, the spaces between bars no greater than 4 inches in width, and the bottom rail or bar to be a maximum of 4 inches above the deck or grade.
- 7.10 Fencing shall be provided for chemical screening at the Swimming Pool area. Fencing materials should allow for passive surveillance of the chemical screening area.
- 7.11 The maximum height of retaining walls is 10 feet facing the interior of the site. Maximum height of retaining walls facing public rights-of-way shall be in compliance with 7.8 above. Areas requiring greater retainage are required to be terraced.
- 7.12 Barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- 7.13 Clear site distances will be maintained at all driveway locations.
- 7.14 Materials acceptable for retaining walls are masonry block (no unfinished), split face block, burnished block, architectural concrete, and stone.

CIBOLA LOOP

DESIGN GUIDELINES

Prepared for:
Vientecillo, LLC
5995 Alameda Boulevard NE
Albuquerque, NM 87111



Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

8. ARCHITECTURE

The architectural design should demonstrate a high quality aesthetic character throughout the property and should respond to climate, views, solar access, and aesthetic considerations. The following guidelines are intended to provide design flexibility while maintaining design consistency for all architectural elements throughout the property.

- 8.1 The maximum height for civic buildings at Cibola Loop shall not exceed 38 feet, as measured from the highest adjacent finished grade. The maximum height for commercial buildings at Cibola Loop shall not exceed 26 feet, as measured from the highest adjacent finished grade.
- 8.2 All non-residential buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive City Zoning Code, as well as other local building and fire codes.
- 8.3 Finished building materials shall be applied to all exterior sides of buildings and structures and shall be consistent on all sides. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- 8.4 Generic franchise building elevations or canopies are prohibited.
- 8.5 Building entry ways shall be clearly defined and include a canopy, portal, or awning that is architecturally integrated with the building. No plastic or vinyl building panels, awnings, or canopies are allowed.
- 8.6 Buildings should employ variety in structural forms to create visual character and interest, and avoid long, unarticulated facades. Facades should have varied front setbacks, with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment.
- 8.7 Building edge treatments shall “step down” to relate to the scale of pedestrians. Building masses should be arranged to cast shadows on each other in order to emphasize the contrast of light and shaded surfaces at corners and edges.
- 8.8 Windows and doors are key elements of any structure’s form and should relate to the scale of the elevation on which they appear. The use of recessed openings helps to provide depth and contrast on elevation planes. Glazing should respond to climate, view, and orientation.
- 8.9 Highly reflective surfaces; exposed, untreated, precision block walls; and materials with high maintenance requirements are undesirable and should be avoided.
- 8.10 Materials should be chosen that can be easily repaired and can withstand abuse by vandals, accidental damage by machinery, heavy sun, or southwest climate.
- 8.11 Cell towers shall be architecturally integrated.

9. LIGHTING AND NOISE

The primary design objective of the site lighting system shall be to maximize public safety, while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

- 9.1 All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and guidelines shall conform to state and local safety and illumination guidelines. All exterior installations must be provided with ground-fault interruption circuits.
- 9.2 All lights shall be shielded source with glare cut off angles of a maximum of 75 degrees to prevent spillage onto adjoining properties or light pollution of the existing “dark sky”. All lighting shall be compliant with the State of New Mexico Night Sky Protection Act, NMSA 1978, 74.12. Cobra and sodium lights are prohibited.
- 9.3 Maximum height for light fixtures shall be as follows:
 - › Parking Areas and Interior Streets: 30 feet
 - › Pedestrian/bicycle paths: 16 feet
 - › Building lighting shall not cause glare or night sky pollution.
 - › 42 inches maximum height for bollard lights
- 9.4 Lighting for all outdoor recreation areas shall be programmed to turn off at 10:00 p.m.
- 9.5 Area lighting should be used to highlight public spaces and walkways. The use of walkway level lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.
- 9.6 Individual site lighting shall blend with the architectural character of the buildings and other site fixtures.
- 9.7 Site lighting shall be restricted to a maximum off-site luminance of 1,000 lamberts from any point and 200 foot lamberts from any residential property line.
- 9.8 Accent lighting is permitted, however, surface lighting is limited to an average of 2 footcandles measured 4 feet from the surface level of any point on the building surface being lighted.
- 9.9 Noise generated from the outdoor recreation areas shall be subject to the City’s Noise Control Ordinance, Article 9: Noise Control.

10. SIGNAGE

The following signage guidelines were developed to regulate the size, location, type, and quality of sign elements within Cibola Loop. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

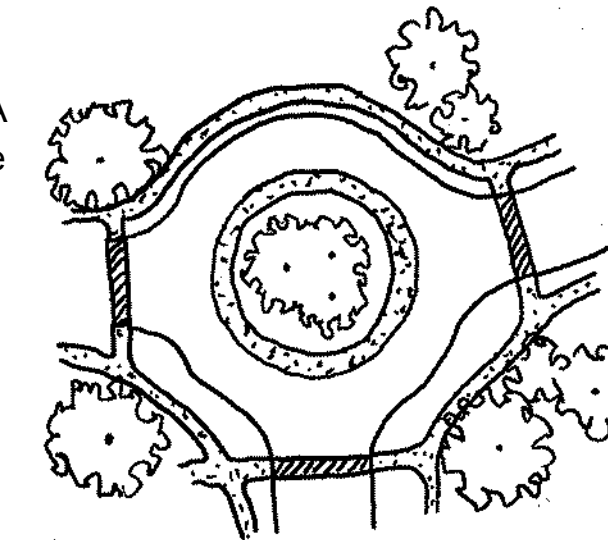
- 10.1 All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code.
- 10.2 Entry signs shall be monument type and shall complement the materials, color, and architectural character of the buildings. A Monument Sign is defined as a freestanding sign where the base of the sign structure is connected to the ground and integrated into the landscape, with no clear space for the full width of the sign between the bottom of the sign and the surface of the ground.
- 10.3 One project monument sign is allowed at each of the project entries at Ellison Drive and Cibola Loop. The monument sign at Ellison Drive shall be a maximum of 15 feet in height, with a maximum sign area of 75 square feet. The monument sign at Cibola Loop shall be a maximum of 10 feet in height, with a maximum sign area of 50 square feet. These project monument signs shall be of similar design and materials.

- 10.4 One individual monument sign is allowed for each civic building and for the commercial parcel. Maximum height for individual monument signs shall not exceed 8 feet and shall have a maximum signage area not to exceed 40 square feet.
- 10.5 Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- 10.6 No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- 10.7 Signs shall not overhang into the public right-of-way or extend above the building roof line.
- 10.8 Off-premise signs and portable signs are prohibited.
- 10.9 Building-mounted signs shall not exceed 6 percent of the facade area. Maximum logo size shall not exceed 3 feet by 5 feet.
- 10.10 Building-mounted signs shall:
 - › Identify the name and address of the building;
 - › Have a maximum of 4 different colors;
 - › Have a significant contrast between the background and the text in order to ensure readability; and
 - › Not intrude upon any architectural features, including windows, columns, mouldings, or other decorative features.
- 10.11 No illuminated plastic panel signs are allowed except business logos.
- 10.12 Lighted signs shall not face residential neighborhood.
- 10.13 Directional signs for pedestrian and bicycle trails, parking areas, etc. may be up to 8 feet in height. Directional signs shall be made of stone/masonry, concrete, or any anodized, oxidized, or powder coated metal.

11. ROUNDABOUT

A roundabout will be utilized as a traffic calming device within the project interior. A character defining element will be located north of the roundabout and may include signage.

- 11.1 Roundabouts shall meet design requirements of Publications FHWA-RD-OO-067 and AASHTO and shall accommodate required fire access.
- 11.2 Raised islands with rolled curbs will be used to direct traffic counter-clockwise and prevent left turn movements. Crosswalks will provide clear separation between vehicular and pedestrian movements.



Roundabout at the internal road intersection.

12. TRANSPORTATION DEMAND MANAGEMENT

In order to reduce single-occupancy vehicles, Transportation Demand Management (TDM) will help mitigate traffic impacts of a development.

- 12.1 Designated carpool parking spaces shall be provided at Cibola Loop civic buildings to encourage carpooling, and shall be noted on future Site Development Plans.
- 12.2 The City departments should work with their employees to encourage carpooling, bus ridership, and alternative modes of transportation.
- 12.3 The City departments should post the City trail map and bus route information in public lobbies, employee break rooms, or other locations easily accessible to employees.
- 12.4 Conveniently located bicycle racks and facilities shall be provided to encourage bicycle commuting.

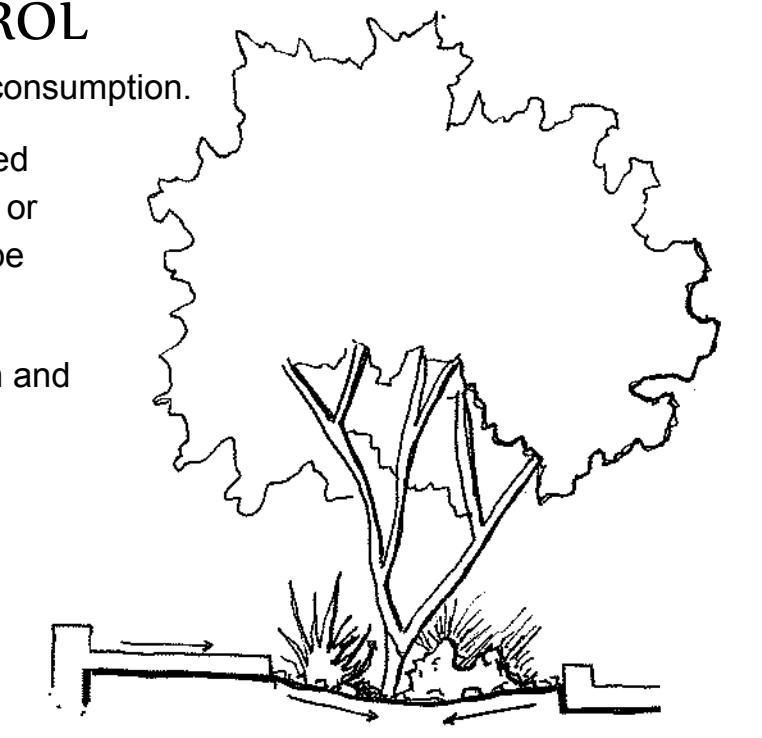
13. UTILITIES

To ensure the overall aesthetic quality of the property, the visual impact of utilities and equipment should be minimized.

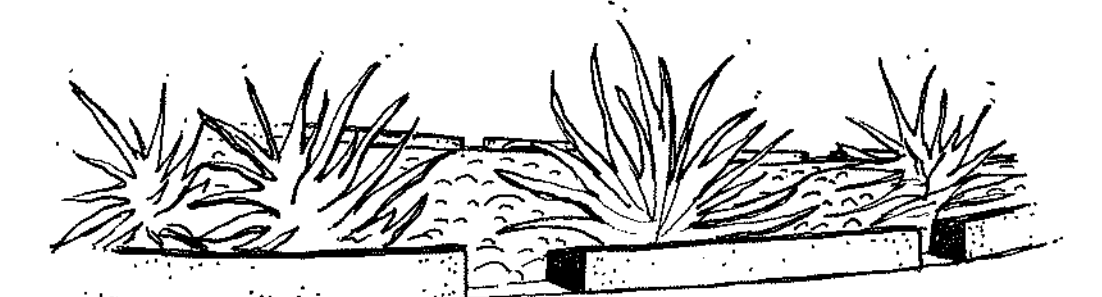
- 13.1 All new electric distribution lines shall be placed underground.
- 13.2 Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, utility boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.
- 13.3 When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- 13.4 PNM Coordination: Development shall abide by all conditions or terms of utility easements prior to development, contact shall be made to PNM’s new Service Delivery Department to coordinate electric service and options for the location of electrical service connection. Any existing or proposed public utility distribution easements are to be indicated on subsequent Site Plan for Building Permit utility sheets.PNM’s standard for public utility distribution easements is 10 feet in width to ensure adequate, safe clearances.

14. SUSTAINABILITY AND STORM WATER CONTROL

- 14.1 Energy efficient techniques shall be utilized to reduce energy and water consumption.
- 14.2 Water harvesting techniques, such as curb cuts for drainage to landscaped areas, permeable paving, bioswales to slow and treat storm water runoff, or cisterns for the collection and reuse of storm water and gray water shall be provided, where appropriate.
- 14.3 Storm water control measures shall be designed to manage the first flush and control runoff generated by contributing impervious surfaces.
- 14.4 Where feasible, roofs shall drain water to areas which are landscaped appropriately for such run-off.
- 14.5 Buildings shall be oriented to take advantage of heat gain in the winter where possible while coordinating with shading strategies to inhibit solar gain in the summer.
- 14.6 Grasses and other ground vegetation should be placed near project edges to help filter and slow runoff as it exits and enters the site.
- 14.7 Convenient recycling collection facilities shall be provided by all tenants of the site.
- 14.8 The use of sustainable design principles, environmentally-responsible building concepts, and earth-friendly procedures is encouraged.



Depressed planting beds for water harvesting.



Curb-cuts allow drainage to landscape areas.

CIBOLA LOOP

DESIGN GUIDELINES

Prepared for:
Vientecillo, LLC
5995 Alameda Boulevard NE
Albuquerque, NM 87111



Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT HEARING OFFICER (DHO) REQUIRED INFRASTRUCTURE LIST

CIBOLA LOOP MULTIGENERATIONAL CENTER

PROPOSED NAME OF PROJECT

TRACT A-2, CIBOLA LOOP SUBDIVISION

EXISTING LEGAL DESCRIPTION

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DHO Project No.: _____
DHO Application No.: _____

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	20' CL TO FACE OF CURB	HALF ROAD WIDTH PERMANENT ASPHALT PAVEMENT AND CONCRETE CURB AND GUTTER	CIBOLA LOOP NW	SW PROPERTY CORNER TRACT A-2	NE PROPERTY CORNER TRACT A-2	/	/	/
<input type="text"/>	<input type="text"/>	5' WIDTH	CONCRETE SIDEWALK	CIBOLA LOOP NW	SW PROPERTY CORNER TRACT A-2	NE PROPERTY CORNER TRACT A-2	/	/	/
<input type="text"/>	<input type="text"/>	160' TAPER	TEMPORARY ASPHALT PAVEMENT TAPER WITH EXTRUDED ASPHALT CURB	CIBOLA LOOP NW	SW PROPERTY CORNER TRACT A-2	160' TO WEST (DOWNSTREAM)	/	/	/
<input type="text"/>	<input type="text"/>	140' TAPER	TEMPORARY ASPHALT PAVEMENT TAPER WITH EXTRUDED ASPHALT CURB	CIBOLA LOOP NW	NE PROPERTY CORNER TRACT A-2	140' TO EAST (DOWNSTREAM)	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
							Approval of Creditable Items:	Approval of Creditable Items:		
							Impact Fee Administrator Signature Date	City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 _____

2 _____

3 _____

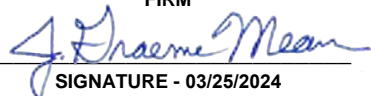
AGENT / OWNER	DEVELOPMENT FACILITATION TEAM APPROVALS	
---------------	---	--

J. GRAEME MEANS

NAME (print)

HIGH MESA, A BOWMAN COMPANY

FIRM



SIGNATURE - 03/25/2024

ANNA SANCHEZ, DIRECTOR, DEPT OF SENIOR AFFAIRS

PLANNING - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

CORPORATE OFFICE:

MAIL One Park Square
6501 Americas Pkwy NE, Ste. 300
Albuquerque, NM 87110
PHO 505.883.5200
WEB fbtarch.com

REGIONAL OFFICES:

MAIL 4416 W Lovers Lane, Ste. 100
Dallas, Texas 75209
PHO 469.998.5542
MAIL 415 N. Tejon St.
Colorado Springs, CO 80903
PHO 719.309.9440

May 8, 2024

Project: C.O.A. Project No. 7882.16: Cibola Loop Multigenerational Facility

Subject: SITE PLAN ADMINISTRATIVE DFT, SENSITIVE LANDS ANALYSIS Per IDO 16-6-5-2

The design team has reviewed the Sensitive Lands Table as a requirement of the Site Plan Administrative DFT submission. The only items that may apply to this project site is the "Steep slopes." All others are not applicable.

The existing topography has a change of elevation or 14' over 626' distance or a 2% slope across the entire site. The street frontage has a significant elevation change with a slope of approximately 40% for the first 17' from the edge of the property.

The site's topography is being designed to reduce the steep slope conditions and will have a maximum slope no greater than 26%. Landscape material including 4-8" angular cobble mulch and ¾" gravel mulch which will reduce the potential of erosive forces.

There are no unique outcroppings or land features that require special attention or necessary preservation on this site. See site aerial with topographic mapping of the site following this letter.

Again, all the other items listed are not applicable for this project site.

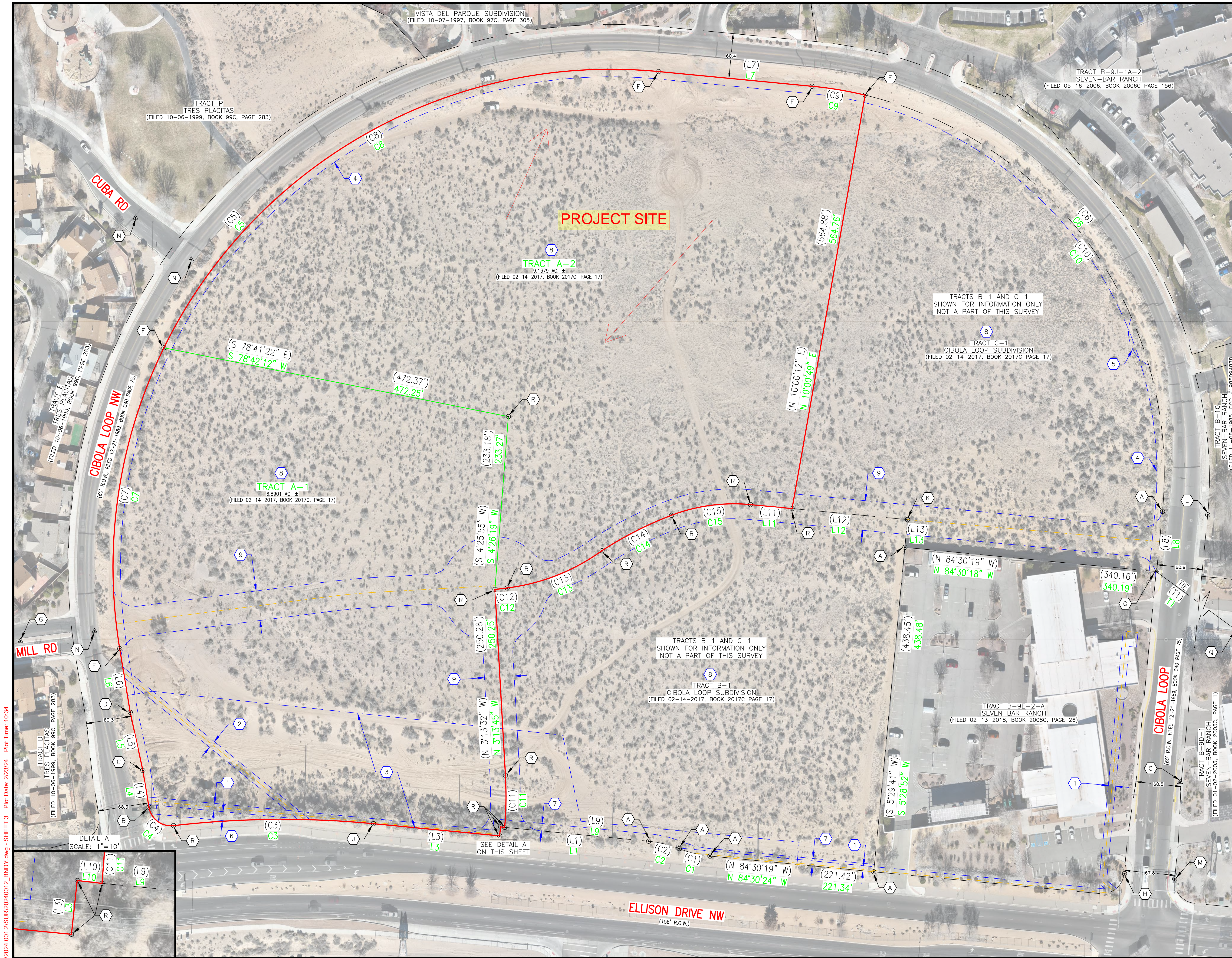
Please let us know if more information is required.

Architect:
FBT Architects



Ted C Grumblatt, Principal

5/8/2024



BOUNDARY TABLE

LINE	DIRECTION	DISTANCE
L1	N 84°27'31" W	200.07'
(L1)	N 84°30'19" W	200.08'
L2	S 6°06'27" W	12.12'
(L2)	S 5°29'41" W	12.00'
L3	N 84°29'47" W	170.35'
(L3)	N 84°30'19" W	170.46'
L4	N 9°23'51" W	50.00'
(L4)	N 9°23'51" W	50.00'
L5	N 12°15'36" W	80.10'
(L5)	N 12°15'36" W	80.10'
L6	N 9°23'51" W	86.78'
(L6)	N 9°23'51" W	86.78'
L7	S 84°31'26" E	207.04'
(L7)	S 84°30'19" E	207.09'
L8	S 5°34'59" E	81.43'
(L8)	S 5°29'41" W	81.50'
L9	N 84°29'26" W	194.48'
(L9)	N 84°30'19" W	194.50'
L10	N 83°20'47" W	5.59'
(L10)	N 84°30'19" W	5.58'
L11	S 84°36'05" E	56.17'
(L11)	S 84°33'00" E	56.18'
L12	S 84°32'08" E	156.00'
(L12)	S 84°33'00" E	156.06'
L13	S 5°29'51" W	37.49'
(L13)	S 5°29'41" W	37.49'
T1	S 53°47'12" E	907.38'
(T1)	S 53°45'54" E	906.69'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	150.00'	42.70'	N 76°22'52" W	42.55'	16°18'35"
(C1)	150.00'	42.57'	N 76°22'31" W	42.43'	16°15'37"
C2	150.00'	42.45'	N 76°26'41" W	42.31'	16°12'50"
(C2)	150.00'	42.57'	N 76°22'31" W	42.43'	16°15'37"
C3	1278.00'	269.51'	S 89°26'54" W	269.01'	12°04'58"
(C3)	1278.00'	269.61'	S 89°27'04" W	269.11'	12°05'14"
C4	30.00'	45.71'	N 53°07'01" W	41.42'	87°18'20"
(C4)	30.00'	45.66'	N 52°59'42" W	41.38'	87°11'42"
C5	670.00'	1226.36'	N 43°02'49" E	1062.19'	104°52'25"
(C5)	670.00'	1226.58'	N 43°02'55" E	1062.33'	104°53'32"
C6	524.00'	823.17'	S 39°30'30" E	741.10'	90°00'30"
(C6)	524.00'	823.10'	S 39°30'19" E	741.05'	90°00'00"
C7	670.00'	415.68'	N 8°21'51" E	409.04'	35°32'49"
(C7)	670.00'	415.66'	N 8°22'32" E	409.03'	35°32'46"
C8	670.00'	810.91'	N 60°49'41" E	762.31'	69°20'44"
(C8)	670.00'	810.91'	N 60°49'18" E	762.32'	69°20'46"
C9	524.00'	72.47'	S 80°31'55" E	72.41'	7°55'28"
(C9)	524.00'	72.42'	S 80°32'46" E	72.36'	7°55'06"
C10	524.00'	750.68'	S 35°32'51" E	688.11'	82°04'54"
(C10)	524.00'	750.68'	S 35°32'46" E	688.11'	82°04'54"
C11	500.06'	70.20'	N 0°46'48" E	70.14'	8°02'37"
(C11)	500.06'	70.19'	N 0°47'43" E	70.13'	8°02'30"
C12	1045.12'	16.64'	N 83°01'28" E	16.64'	0°54'44"
(C12)	1045.12'	16.67'	N 83°23'37" E	16.67'	0°54'49"
C13	274.24'	138.46'	N 68°30'51" E	136.99'	28°55'38"
(C13)	274.24'	138.37'	N 68°28'56" E	136.91'	28°54'34"
C14	492.66'	105.07'	N 63°01'25" E	104.88'	12°13'12"
(C14)	492.66'	105.15'	N 63°02'06" E	104.95'	12°13'45"
C15	236.00'	108.25'	N 82°18'04" E	107.30'	26°16'49"
(C15)	236.00'	108.33'	N 82°17'59" E	107.38'	26°18'02"

MONUMENTS

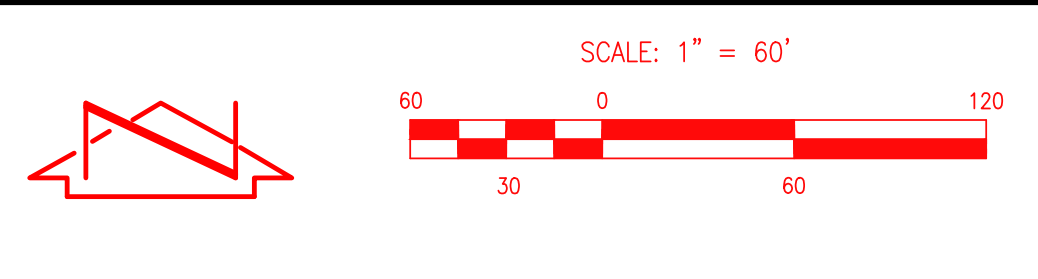
- (A) FOUND #4 REBAR W/ CAP STAMPED "ALDRICH NMPS 7719"
- (B) FOUND #5 REBAR W/ CAP STAMPED "S TOLER NMPS 11599", TAGGED WITH WASHER STAMPED "PS 11184"
- (C) FOUND #5 REBAR W/ CAP ILLEGIBLE, (BENT), REPLACED WITH #5 REBAR W/ CAP STAMPED "NEW MEXICO PS 11184"
- (D) FOUND #5 REBAR NO CAP, (BENT), WITH WASHER STAMPED "COMBS PS 23200" REPLACED WITH #5 REBAR W/ CAP STAMPED "NEW MEXICO PS 11184"
- (E) FOUND #4 REBAR W/ CAP ILLEGIBLE, (BENT), REPLACED WITH #5 REBAR W/ CAP STAMPED "NEW MEXICO PS 11184"
- (F) FOUND #4 REBAR W/ CAP STAMPED "ALDRICH NMPS 7719", WITH WASHER STAMPED "COMBS PS 23200", TAGGED WITH WASHER STAMPED "PS 11184"
- (G) FOUND CHISLED "X" IN CONCRETE
- (H) FOUND #5 REBAR W/ CAP STAMPED "HUGG LS 8686"
- (J) FOUND #5 REBAR W/ CAP STAMPED "NMPS 11599", TAGGED WITH WASHER STAMPED "PS 11184"
- (K) FOUND #4 REBAR W/ CAP ILLEGIBLE
- (L) FOUND #5 REBAR NO CAP
- (M) FOUND #4 REBAR W/ CAP STAMPED "L. MEDRANO PS 11993"
- (N) FOUND ALUMINUM CAP STAMPED "COA CL MON PLS 7719 1999"
- (P) FOUND ALUMINUM CAP STAMPED "COA CL MON PLS 6544 1998"
- (Q) FOUND ARGV BRASS DISK STAMPED "5_A13" (HMCG POINT #201)
- (R) FOUND #4 REBAR W/ CAP STAMPED "ALDRICH NMPS 7719", TAGGED WITH WASHER STAMPED "PS 11184"

RECORD BEARINGS AND DISTANCES FROM THE FOLLOWING DOCUMENTS:

- () BOUNDARY SURVEY BULK PLAT OF TRACTS A-1, A-2, B-1 AND C-1, CIBOLA LOOP SUBDIVISION, FILED 02/14/2017, BOOK 2017C, PAGE 17, DOC. #2017013734

File Name: P:\data\2024\0204\001_2\SUB\20240012_BNDY.dwg - SHEET 3 Plot Date: 2/23/24 Plot Time: 10:34

HIGH MESA
a Bowman company
6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacg.com | bowman.com

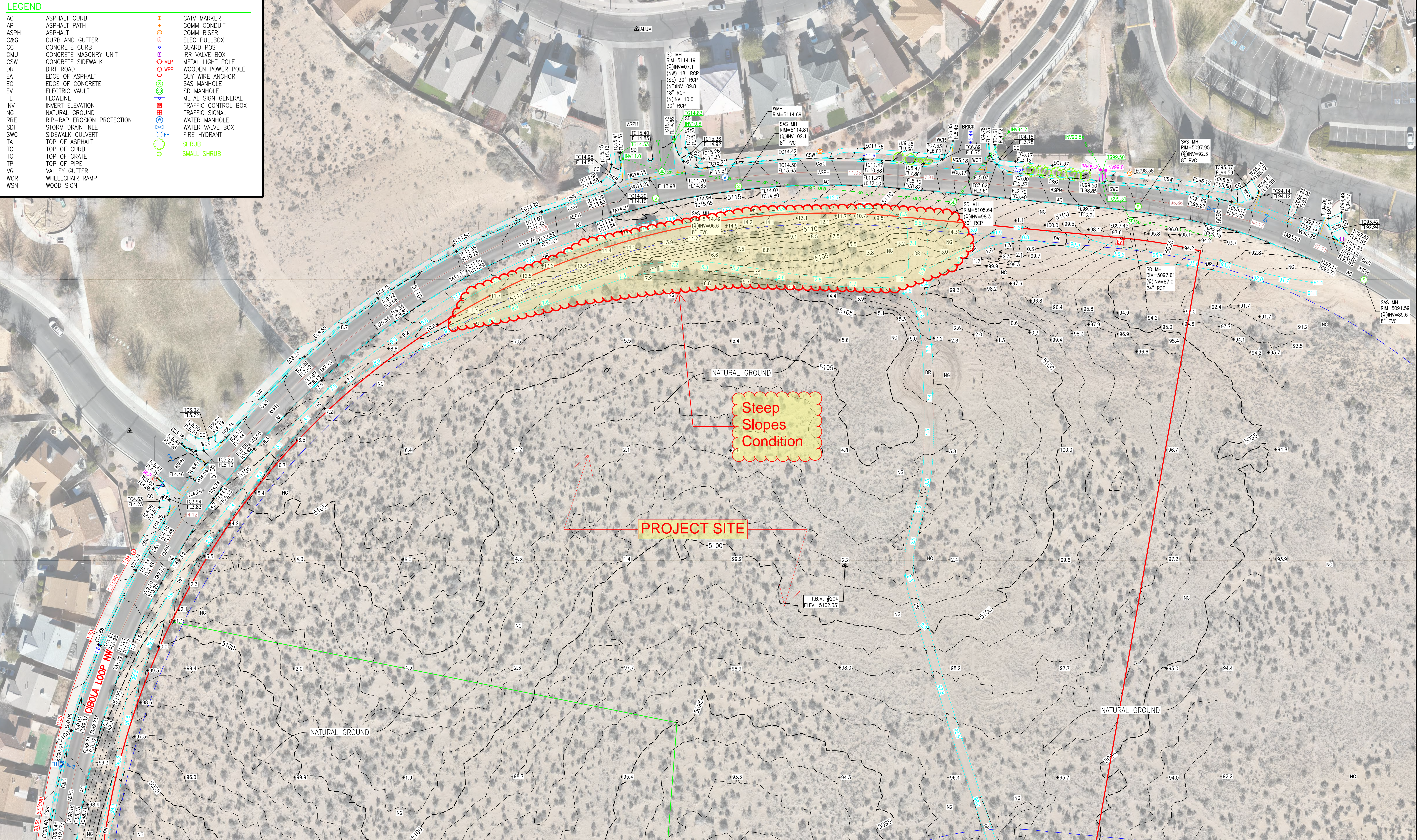


**BOUNDARY SURVEY
CIBOLA LOOP
ALBUQUERQUE, NM**

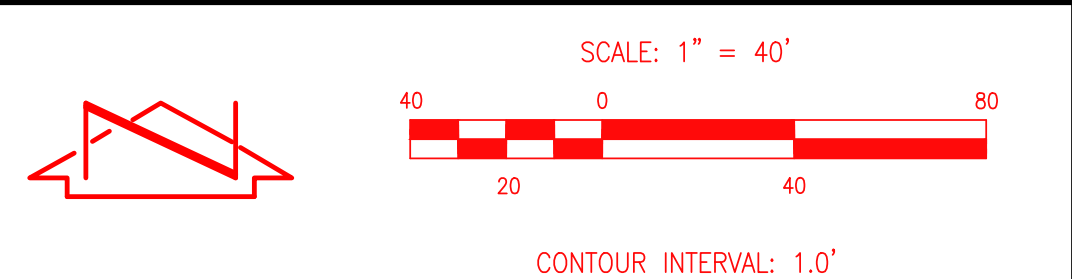
SURVEYED BY: M.V.Z.
DRAWN BY: A.J.P.
APPROVED BY: C.G.C.

NO.	DATE	BY	REVISIONS	JOB NO.
				2024.001.2
				DATE 02-2024
				SHEET 3 OF 7

LEGEND	
AC	ASPHALT CURB
AP	ASPHALT PATH
ASPH	ASPHALT
C&G	CURB AND GUTTER
CC	CONCRETE CURB
CMU	CONCRETE MASONRY UNIT
CSW	CONCRETE SIDEWALK
DR	DIRT ROAD
EA	EDGE OF ASPHALT
EC	EDGE OF CONCRETE
EV	ELECTRIC VAULT
FL	FLOWLINE
INV	INVERT ELEVATION
NG	NATURAL GROUND
RRE	RIP-RAP EROSION PROTECTION
SDI	STORM DRAIN INLET
SWC	SIDEWALK CULVERT
TA	TOP OF ASPHALT
TC	TOP OF CURB
TG	TOP OF GRATE
TP	TOP OF PIPE
VG	VALLEY GUTTER
WCR	WHEELCHAIR RAMP
WSN	WOOD SIGN
●	CATV MARKER
○	COMM CONDUIT
○	COMM RISER
○	ELEC PULLBOX
○	GUARD POST
○	IRR VALVE BOX
○	METAL LIGHT POLE
○	WOODEN POWER POLE
○	GUY WIRE ANCHOR
○	SAS MANHOLE
○	SD MANHOLE
○	METAL SIGN GENERAL
○	TRAFFIC CONTROL BOX
○	WATER MANHOLE
○	WATER VALVE BOX
○	FIRE HYDRANT
○	SHRUB
○	SMALL SHRUB



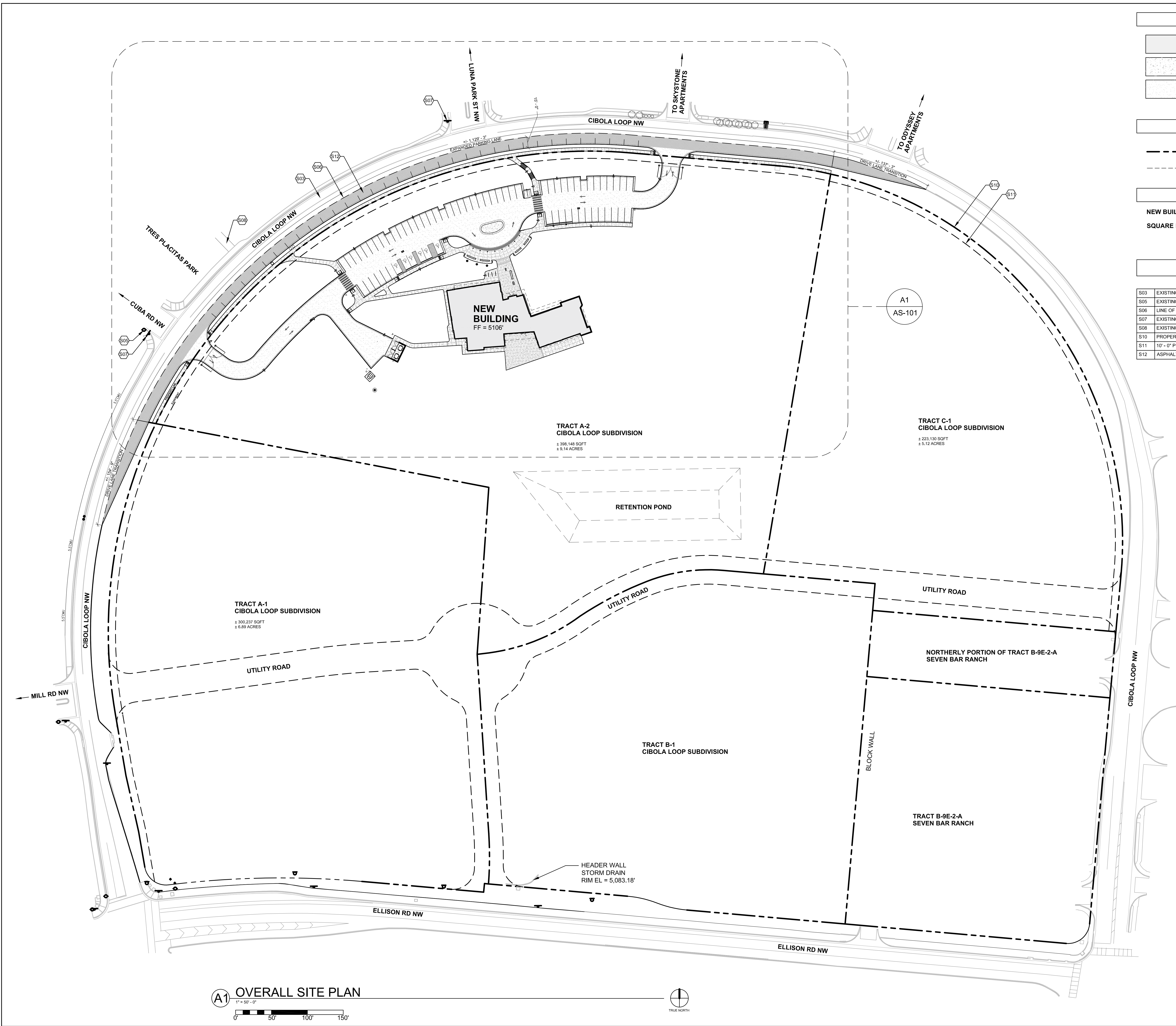
MATCHLINE SHEET 5






**TOPOGRAPHIC SURVEY - NORTH PORTION
CIBOLA LOOP
ALBUQUERQUE, NM**

SURVEYED BY	NO.	DATE	BY	REVISIONS		JOB NO.
				NO.	DESCRIPTION	
M.V.Z.						2024.001.2
A.J.P.						DATE 02-2024
C.G.C.						SHEET 4 OF 7



File Name: P:\data\2024\0204\001.2\SUR\20240012_BNDY.dwg - SHEET 4 - Plot Date: 2/23/24 - Plot Time: 10:35



SITE HATCH LEGEND

-  NEW BUILDING
-  NEW STANDARD DUTY CONCRETE PAVEMENT
-  NEW HEAVY DUTY ASPHALT PAVEMENT

SITE BOUNDARY LEGEND

-  PROPERTY LINE
-  10' - 0" PUBLIC UTILITY EASEMENT

PROPOSED DEVELOPMENT

NEW BUILDING: MULTIGENERATIONAL FACILITY

SQUARE FOOTAGE:

FIRST LEVEL =	11,107 SF
SECOND LEVEL =	4,450 SF
TOTAL =	15,557 GF

KEYED NOTES

S03	EXISTING ASPHALT DRIVE
S05	EXISTING STREETLIGHT
S06	LINE OF EXISTING CURB TO BE REMOVED
S07	EXISTING METAL SIGN, GENERAL
S08	EXISTING PAVED MULTIPLE USE TRAIL - CLOSED TO AUTOMOTIVE TRAFFIC.
S10	PROPERTY LINE
S11	10' - 0" PUBLIC UTILITY EASEMENT
S12	ASPHALT DRIVE FOR EXPANDED ROADWAY

fbt architects

6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110

505.883.5200
www.fbtarch.com

CONSULTANTS

- CIVIL**
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250
- LANDSCAPE**
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126
- STRUCTURAL**
Chavez-Grievos Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080
- M/E/P/FP**
Bridgers & Paxton
4600-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111
- LIGHTING**
Oldner Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733
- INTERIORS**
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

CITY OF ALBUQUERQUE

PROJECT TITLE:
COA CIBOLA LOOP MULTIGENERATIONAL CENTER
10751 Cibola Loop NW
Albuquerque, NM 87114

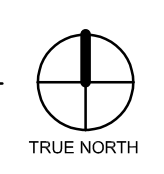
CONSTRUCTION DOCUMENTS (FOR DFT SUBMITTAL ONLY)
APRIL 2024

DRAWING TITLE: OVERALL SITE PLAN

Design Review Committee	City Engineer Approval	Mo. Drawn/Updated	Mo. Drawn/Updated
		2024.04.30	
City Project No. P7882.16	Zone Map No. A-13-Z	DWG. AS-100	Sheet

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK SHOWN BY	DATE						
INSPECTORS ACCEPTANCE BY	DATE						
FIELD VERIFICATION BY	DATE						
DRAWINGS CORRECTED BY	DATE						
RECORDED BY	DATE						
MICRO-FILM INFORMATION							
NO.	DATE						

A1 OVERALL SITE PLAN
1" = 50'-0"
0' 50' 100' 150'



KEYED NOTES	
S15	ASPHALT PAVING, TYPICAL.
S31	CONCRETE CURB & GUTTER SYSTEM, TYPICAL. SEE SITE DETAILS & CIVIL.
S32	MOUNTABLE CURB AT PARKING ROW ENDS, TYPICAL. SEE COA STD. DWG. 2415B FOR MOUNTABLE ROLL CURB AND GUTTER DETAIL.
S34	4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH TURN DOWN EDGE AT ALL EXPOSED EDGES.
S35	ACCESSIBLE CURB RAMP. SEE COA STD. DWG. 2443 FOR PARALLEL CURB RAMP DETAILS. INSTALL TRUNCATED DOME IN ALL ADA RAMP. RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.
S38	6" TRAFFIC-RATED BOLLARD
S51	6" CONCRETE APRON 4,000 PSI 3/4" AGGREGATE WITH 6X6-10'10"WMM OR EQUAL WITH 1/2" EXPANSION JOINT BETWEEN PAD AND APRON.
S52	6" MIN. CONCRETE SLAB 4,000 PSI 3/4" AGGREGATE WITH 6X6-10'10"WMM OR EQUAL. SLOPE TO DRAIN 1/8" PER FOOT.
S61	LANDSCAPING, SEE LANDSCAPE.
S65	REFUSE BIN BY OTHER, NIC.
S66	REFUSE ENCLOSURE CMU WALL.
S67	REFUSE ENCLOSURE SWING GATE.
S68	RECYCLING BIN BY OTHER, NIC.
S71	BACKFLOW PREVENTER IN HEATED ENCLOSURE, SEE CIVIL.
S72	DRAIN INLET, SEE CIVIL.
S74	SANITARY DRAIN, SEE CIVIL.
S81	POST-INDICATOR VALVE (PIV), SEE CIVIL.
S82	REMOTE FDC WITH GROUND-MOUNTED SIGN, SEE CIVIL.
S83	FIRE HYDRANT, SEE CIVIL.
S92	SITE LIGHTING, SEE LIGHTING.

GENERAL NOTES	
A.	A. SUB GRADE PREPARATION AND SOIL COMPACTION AT ALL CONCRETE WORK SHALL COMPLY WITH REQUIREMENTS ON CIVIL DRAWINGS AND GEOTECHNICAL REPORT.
B.	PROVIDE BROOM FINISH ON CONCRETE SIDEWALK, UNLESS NOTED OTHERWISE.
C.	VERIFY SIDEWALK LAYOUT WITH ARCHITECT PRIOR TO FORMING AND POURING CONCRETE. NO EXCEPTIONS.
D.	FOR INFORMATION ON UTILITIES SEE SITE SURVEY SHEET, CIVIL UTILITY PLANS, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
E.	CONTRACTOR SHALL PAY FOR AND COORDINATE WITH LOCAL UTILITY COMPANIES FOR ALL UTILITY DISCONNECT, RECONNECT AND DEMO WORK.
F.	ALL SITE ELEMENTS INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, GROUND COVER MATERIAL, ETC. THAT MUST BE REMOVED FROM THE SITE IN ORDER TO ACCOMPLISH NEW WORK SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH SITE FEATURES TO BE DEMOLISHED.
G.	CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING AND PAYING FOR PERMIT FEES ASSOCIATED WITH ENVIRONMENTAL PROTECTION AGENCY AND REQUIREMENTS OF STORM WATER POLLUTION PREVENTION PLAN (SWPPP) COORDINATE WITH ALL REGULATORY AUTHORITIES REGARDING THIS ITEM.
H.	CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE FEATURES, PLANTINGS, AND UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING SITE FEATURES, PLANTINGS, AND UTILITIES TO REMAIN DUE TO CONSTRUCTION OPERATIONS SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
I.	ALL DOWNSPOUT, LANDBUSING, ETC. THAT ROUTE ROOF WATER TO GRADE SHALL BE DISCHARGED IN A CONCRETE RUN DOWN, TRENCH GRATE, OR SPLASH BLOCK. SEE CIVIL. FIELD COORDINATE LOCATION OF DISCHARGE POINTS PRIOR TO FORMING AND INSTALLING CONCRETE.
J.	FURNISH AND INSTALL CURB MARKING PAINT (RED FIRE LANE OR YELLOW DROP OFF LANE) ENTIRE LENGTH OF CURB AT BUILDING SIDE OF DROP OFF. COORDINATE WITH FIRE MARSHALL FOR LOCATION OF FIRE LANE MARKINGS.
K.	WHERE NEW CONCRETE PAVEMENT AND/OR CURBING IS SHOWN ADJACENT TO EXISTING PAVEMENT AND/OR CURBING UP TO AND FLUSH WITH EXISTING, LIMITS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY.
L.	REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS REGARDING NEW ASPHALT AND CONCRETE PAVEMENT.
M.	CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND LAYOUT OF BOTH THE SITE AND BUILDING ELEMENTS. COORDINATE FIELD INFORMATION WITH THE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITY.

AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK SHOWN BY	DATE
INSPECTORS ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE
RECORDED BY	DATE
NO.	

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	

SEAL ARCHITECT	
NO.	

M/E/P/FP	
DESIGN	DATE
REVISIONS	DATE
NO.	
DESIGNED BY:	DATE
DRAWN BY:	DATE
CHECKED BY:	DATE

fbt architects
 6501 Americas Parkway NE, Suite 300
 Albuquerque, NM 87110
 505.883.5200
 www.fbtarch.com

CONSULTANTS
CIVIL
High Mesa
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250

LANDSCAPE
Groundwork Studio
 6501 Americas Parkway NE, Suite 350
 Albuquerque, NM 87110
 p_505.212.9126

STRUCTURAL
Chavez-Grievus Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102
 Albuquerque, NM 87109
 p_505.344.4080

M/E/P/FP
Bridgers & Paxton
 4600-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111

LIGHTING
Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733

INTERIORS
Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

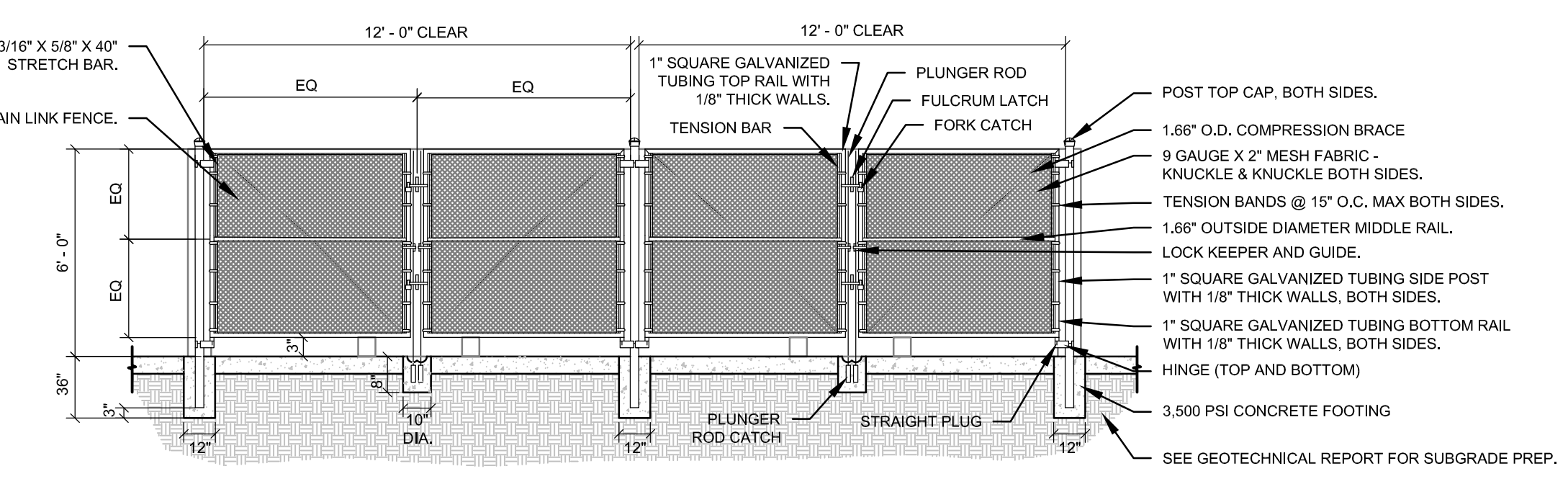
CITY OF ALBUQUERQUE

PROJECT TITLE:
**COA CIBOLA LOOP
 MULTIGENERATIONAL CENTER**
 10751 Cibola Loop NW
 Albuquerque, NM 87114

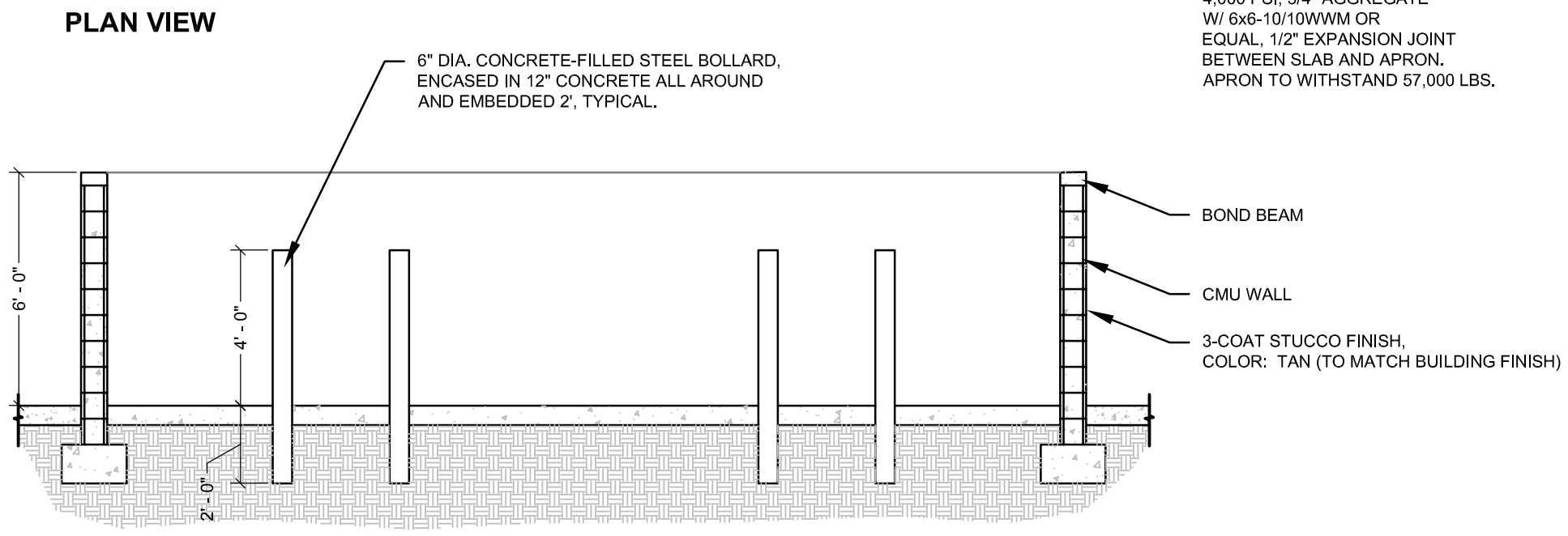
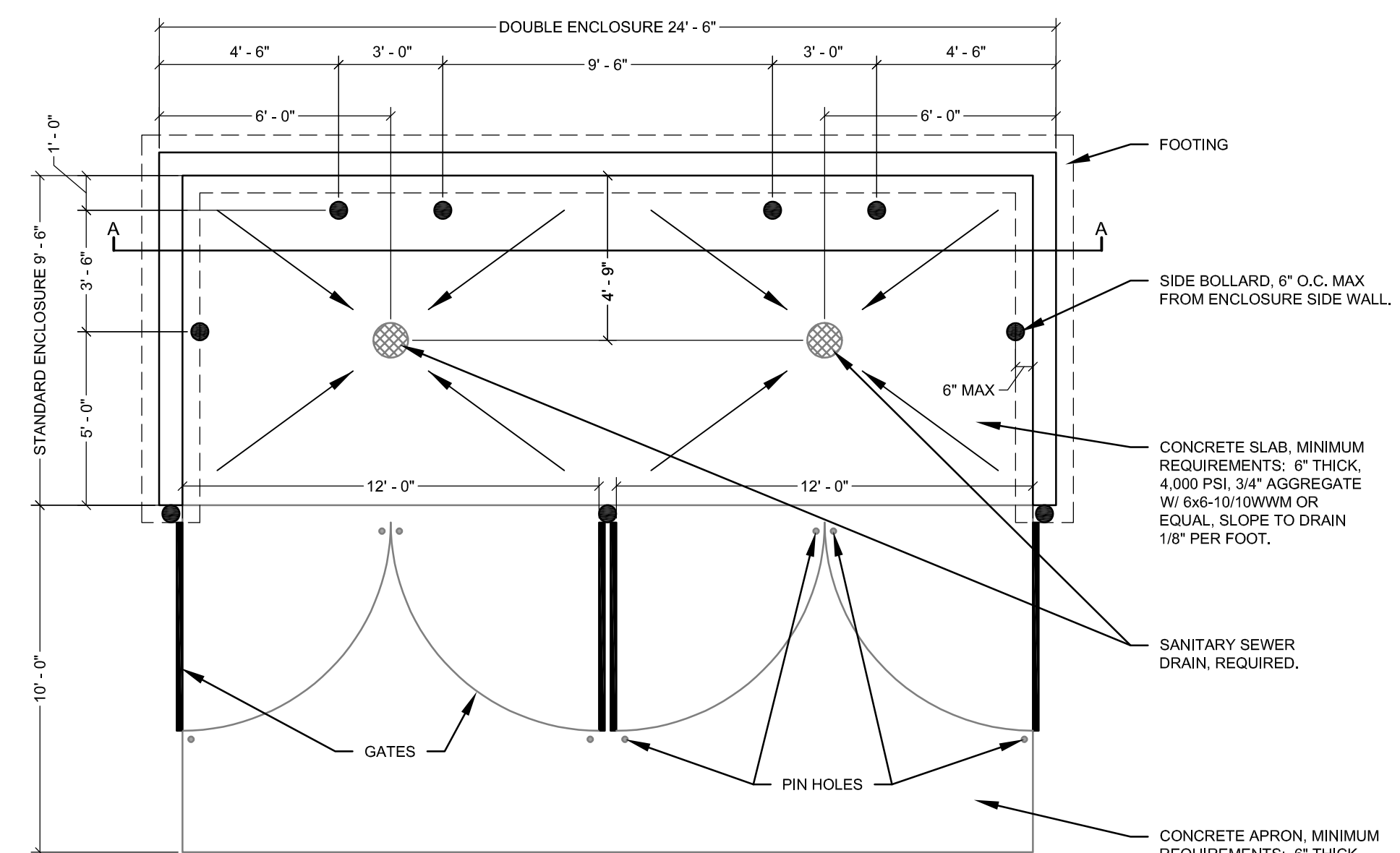
CONSTRUCTION DOCUMENTS (FOR DFT SUBMITTAL ONLY)
 MAY 03, 2024

DRAWING TITLE: REFUSE/SOLID WASTE

Design Review Committee	City Engineer Approval	Mo. Drawn/yr. 2024.04.30	Mo. Drawn/yr.
		Mo. Design Update	
City Project No. P7882.16	Zone Map No. A-13-Z	DWG. AS-104	Sheet

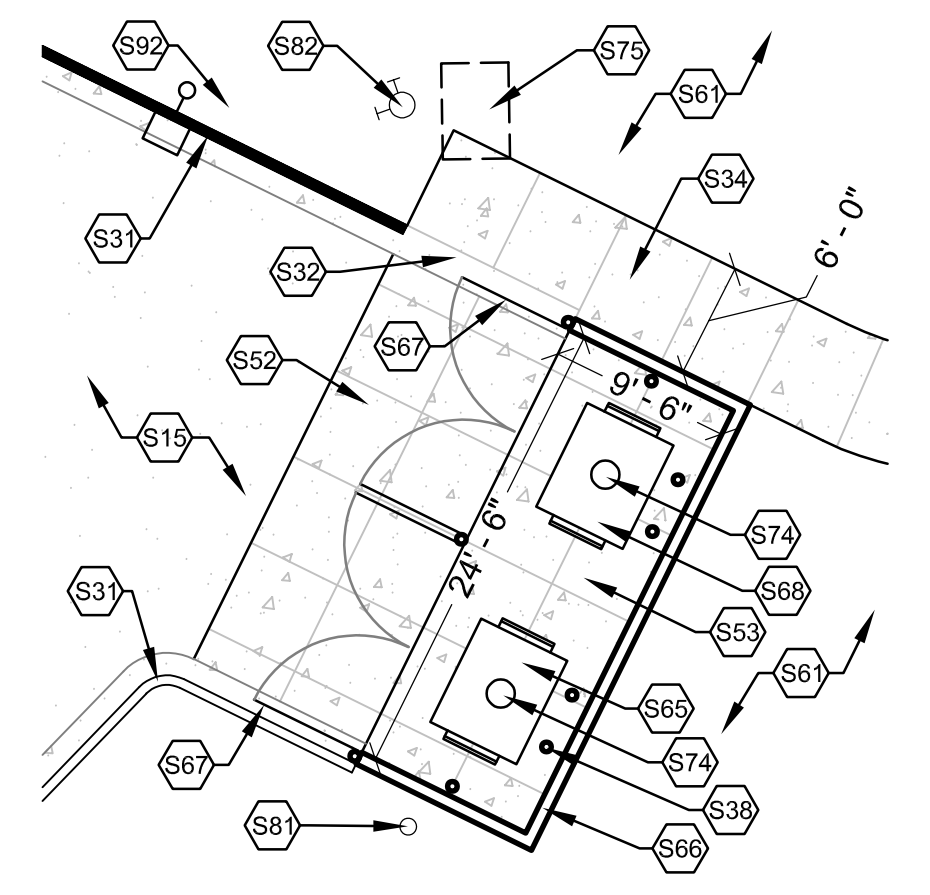


NOTE:
 1. REFERENCE SPECIFICATIONS FOR POST SIZES.
 2. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.

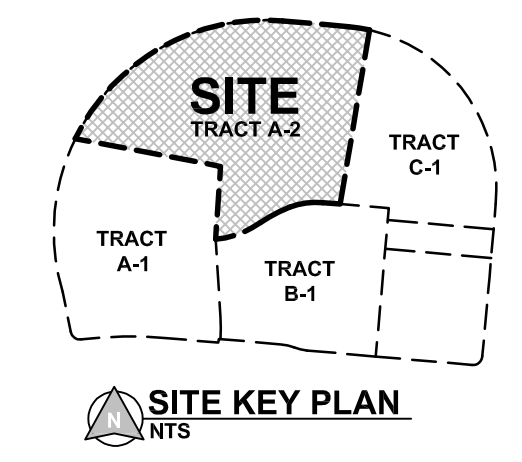
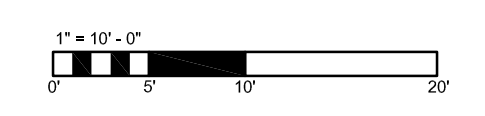
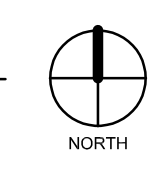


NOTE: TRASH ENCLOSURE INTENDED FOR DUMPSTERS ONLY.

B1 REFUSE ENCLOSURE DETAIL
 1/4" = 1' - 0"



A1 ENLARGED REFUSE ENCLOSURE PLAN
 1" = 10' - 0"



CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 1, 2024

J. Graeme Means, P.E.
High Mesa Consulting Group
6010 B Midway Park Blvd NE
Albuquerque, NM 87109

**RE: Cibola Loop Multigenerational Center
Conceptual Grading & Drainage Plans
Engineer's Stamp Date: 03/25/24
Hydrology File: A13D011**

Dear Mr. Means:

Based upon the information provided in your submittal received 03/25/2024, the Conceptual Grading & Drainage Plans are preliminary approved for Grading Permit and action by the Development Facilitation Team (DFT) on Site Plan for Building Permit.

PRIOR TO BUILDING PERMIT:

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage Transportation Information Sheet.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

A handwritten signature in purple ink that reads "Renée C. Brissette".

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

DRAINAGE CALCULATIONS

I. SITE CHARACTERISTICS

A. PRECIPITATION ZONE = 1
 B. $P_{100, 6HR} = P_{30yr} = 2.17$ IN
 C. TOTAL PROJECT AREA (A_T) = 398,234 SF
 9.14 AC

EXISTING LAND TREATMENT			PROPOSED LAND TREATMENT		
BASIN 1	AREA (SF/AC)	%	PHASE 1	AREA (SF/AC)	%
	398,234 SF			398,234 SF	
	9.14 AC			9.14 AC	
A	349,155 SF	88%	A		
B			B		
C	49,079 SF	12%	C	338,092 SF	85%
D	1.13 AC		D	7,76 AC	15%
				1.38 AC	
PROPOSED LAND TREATMENT			PHASE 1 + 2		
LAND TREATMENT	AREA (SF/AC)	%	LAND TREATMENT	AREA (SF/AC)	%
A			A		
B			B		
C	262,092 SF	66%	C	6.02 AC	
D	136,142 SF	34%	D	3.13 AC	

II. HYDROLOGY

A. EXISTING CONDITION 100 YEAR STORM

1. BASIN 1
 a. VOLUME 100-YR. 6-HR
 $WTe = (E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d) / A_T$
 $\Rightarrow (0.55 \cdot 0.00) + (0.73 \cdot 0.00) + (0.95 \cdot 1.13) + (2.24 \cdot 0.00) / 9.14 = 0.60$ IN
 $V_{100, 6HR} = (E_{avg} / 12) \cdot A_T = (0.60 / 12) \cdot 9.14 = 0.4571$ AC-FT = 19,910 CF

b. PEAK DISCHARGE 100-YR
 $Q_{100} = Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$
 $\Rightarrow (1.54 \cdot 0.00) + (2.16 \cdot 0.00) + (2.87 \cdot 1.13) + (4.12 \cdot 0.00) = 15.6$ CFS

B. PROPOSED CONDITION 100 YEAR STORM - PHASE 1

1. BASIN 1
 a. VOLUME 100-YR. 6-HR
 $WTe = (E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d) / A_T$
 $\Rightarrow (0.55 \cdot 0.00) + (0.73 \cdot 0.00) + (0.95 \cdot 0.76) + (2.24 \cdot 1.38) / 9.14 = 1.14$ IN
 $V_{100, 6HR} = (E_{avg} / 12) \cdot A_T = (1.14 / 12) \cdot 9.14 = 0.8685$ AC-FT = 37,830 CF

b. VOLUME 100-YR. 10-DAY
 $V_{100, 10D} = V_{30yr} + A_T \cdot (P_{100, 10D} - P_{30yr}) / 12$ IN/HR
 $\Rightarrow 0.8685 + 1.38 \cdot (3.900 - 2.170) / 12$ IN/HR = 1.0674 AC-FT = 46,500 CF

c. PEAK DISCHARGE 100-YR
 $Q_{100} = Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$
 $\Rightarrow (1.54 \cdot 0.00) + (2.16 \cdot 0.00) + (2.87 \cdot 0.76) + (4.12 \cdot 1.38) = 28.0$ CFS

C. PROPOSED CONDITION 100 YEAR STORM - FULL BUILD OUT

1. BASIN 1
 a. VOLUME 100-YR. 6-HR
 $WTe = (E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d) / A_T$
 $\Rightarrow (0.55 \cdot 0.00) + (0.73 \cdot 0.00) + (0.95 \cdot 0.02) + (2.24 \cdot 3.13) / 9.14 = 1.39$ IN
 $V_{100, 6HR} = (E_{avg} / 12) \cdot A_T = (1.39 / 12) \cdot 9.14 = 1.0590$ AC-FT = 46,130 CF

b. VOLUME 100-YR. 10-DAY
 $V_{100, 10D} = V_{30yr} + A_T \cdot (P_{100, 10D} - P_{30yr}) / 12$ IN/HR
 $\Rightarrow 1.059 + 3.13 \cdot (3.900 - 2.170) / 12$ IN/HR = 1.5101 AC-FT = 65,780 CF

c. PEAK DISCHARGE 100-YR
 $Q_{100} = Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$
 $\Rightarrow (1.54 \cdot 0.00) + (2.16 \cdot 0.00) + (2.87 \cdot 0.02) + (4.12 \cdot 3.13) = 30.1$ CFS

D. COMPARISON 100 YEAR STORM - FULL BUILD OUT

1. BASIN 1
 a. VOLUME 100-YR. 6-HR
 $\Delta V_{100, 6HR} = 46130 - 19910 = 26,220$ CF (INCREASE)
 b. PEAK DISCHARGE 100-YR
 $\Delta Q_{100} = 30.1 - 15.6 = 14.5$ CFS (INCREASE)

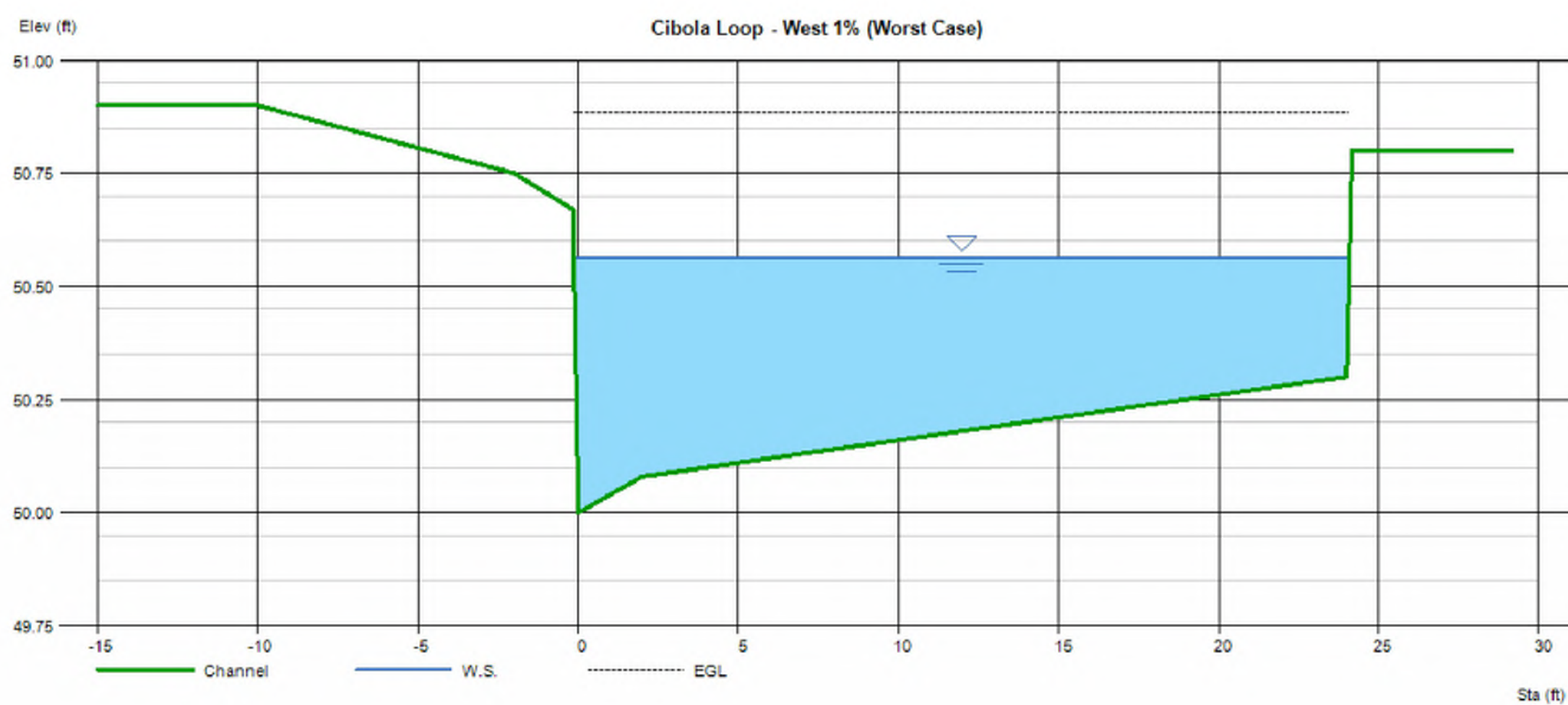
E. RETENTION POND VOLUME CALCULATIONS

Elevation (ft)	Area (SF)	Volume (CF)	Sum (CF)
5.089	8471	9324.5	9324.5
5.090	11,160	10670	19994.5
5.091	14,077	12129.5	32124
5.092	17,223	13703.5	45827.5
5.093	20,598	15392	61219.5
5.094	24,200	17194	78413.5
5.095	28,032		

F. CIBOLA LOOP STREET ANALYSIS

CIBOLA LOOP WEST BASIN = 1.6 AC. CONSERVATIVELY ASSUME 100% TREATMENT D.
 $Q_{100} = 1.6 \cdot 4.12$ CFS/ACRE = 6.7 CFS
 MAX 100-YEAR STREET FLOW IS 11.6 + 3.2 + 20.6 + 6.7 = 42.1 CFS
 (CAN BE CONTAINED WITHIN EXISTING TEMPORARY SECTION)

CIBOLA LOOP EAST BASIN = 1.7 AC. CONSERVATIVELY ASSUME 100% TREATMENT D.
 $Q_{100} = 1.7 \cdot 4.12$ CFS/ACRE = 7.0 CFS
 + 6. MAX 100-YEAR STREET FLOW IS 8.5 CFS FROM NORTH SUB-BASIN + 7.0 = 15.5 CFS
 (CAN BE CONTAINED WITHIN EXISTING TEMPORARY SECTION)



BASIN AND STORM DRAIN MAP
 SCALE: 1" = 100'

Depth (ft)	Q (cfs)	Area (sqft)	Veloc (ft/s)	Wp (ft)	Yc (ft)	TopWidth (ft)	Energy (ft)
0.56	42.31	9304	4.55	24.88	0.84	24.23	0.88

DRAINAGE PLAN

I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS SITE IS LOCATED IN NORTHWEST ALBUQUERQUE, NORTH OF ELLISON DRIVE NW. THIS CONCEPTUAL DRAINAGE AND ROUGH GRADING PLAN HAS BEEN PREPARED TO SUPPORT DFT SITE PLAN AND ROUGH GRADING APPROVALS FOR THE FIRST PHASE OF SITE WORK AND BUILDING CONSTRUCTION FOR THE PROPOSED CITY OF ALBUQUERQUE MULTI-GENERATIONAL CENTER. THERE WILL BE A FORTHCOMING GRADING AND DRAINAGE PLAN SUBMITTAL FOR BUILDING PERMIT APPROVAL.

II. PROJECT DESCRIPTION

THE EXISTING LEGAL DESCRIPTION IS TRACT A-2, CIBOLA LOOP SUBDIVISION, FILED 2/14/2017 (2017C-17, DOC. # 2017013734). THE SITE IS ZONED MX-L. THE SITE IS CURRENTLY UNDEVELOPED. AS INDICATED BY PANEL 108 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, REVISED 09/26/2008, THE SITE NOT ENCUMBERED BY, NOR DOES IT DIRECTLY DISCHARGE TO ANY MAPPED FLOOD HAZARD ZONES.

III. BACKGROUND DOCUMENTS & RESEARCH

THE PREPARATION OF THIS PLAN RELIED UPON REVIEW OF CITY OF HYDROLOGY FILES A13-D011, A13-D012, A13-D011B, A13-D002, A13-D003, AND A-13D004 THAT ALL FRONT CIBOLA LOOP NW AS WELL AS THE RECORD INFRASTRUCTURE PLANS FOR CPNS 6069.81, 5752.81, AND 3727.90 AS DESCRIBED BY THE FOLLOWING:

- CONCEPTUAL DRAINAGE PLANS FOR CIBOLA LOOP SUBDIVISION DATED 4/02/2008 AND 9/09/2016 BY MARK GOODWIN & ASSOCIATES (A13-D011). THESE PLANS ESTABLISHED THE OVERALL DRAINAGE CONCEPT AND SUPPORTED SITE PLAN FOR SUBDIVISION AND BULK LAND PLATING FOR A-1 THROUGH A-4 PURSUANT TO THESE PLANS THE OVERALL SUBDIVISION SITE IS DIVIDED INTO TWO SUB-BASINS (NORTH AND SOUTH) THAT HAVE DISCHARGE RESTRICTIONS OF 0.65 CFS/ACRE WITH THE NORTH BASIN DISCHARGING TO CIBOLA LOOP NORTHWEST AND THE SOUTH BASIN DISCHARGING TO A PUBLIC DETENTION/SURGE POND LOCATED ON TRACT A-1.
- MASTER DRAINAGE REPORT FOR TRES PLACITAS DATED 12/31/1998 BY ISACSON & ARFMAN (A13-D012). THIS REPORT ADDRESSED AND SUPPORTED THE GRADING AND DRAINAGE, PLATING, AND STREET AND DRAINAGE INFRASTRUCTURE FOR THE TRES PLACITAS SUBDIVISION ON THE WEST SIDE OF CIBOLA LOOP. A PORTION OF CIBOLA LOOP NW AND THE DOWNSTREAM DRAINAGE INFRASTRUCTURE ON CIBOLA LOOP (WEST) WAS CONSTRUCTED PURSUANT TO THIS PLAN WITH CPN 6069.81.
- CONCEPTUAL DRAINAGE PLAN FOR TRACT B-1, CIBOLA LOOP SUBDIVISION DATED 2/28/2023 BY ISACSON & ARFMAN (A13-D011B). THIS PLAN FOR TRACT B-1 WAS APPROVED FOR PRELIMINARY/FINAL PLAT AND PRESENTS AND CONFORMS TO AND REINFORCES THE SAME ESTABLISHED CONCEPTS, ALLOWABLE DISCHARGES, AND BASINS FROM A13-D011 AND A13-D012.
- GRADING PLAN AND DRAINAGE REPORT FOR VISTA DEL PARQUE SUBDIVISION DATED 8/07/1997 BY BOHANNAN-HUSTON (A13-D002). THIS REPORT ADDRESSED AND SUPPORTED THE GRADING AND DRAINAGE INFRASTRUCTURE ON CIBOLA LOOP (EAST) WAS CONSTRUCTED PURSUANT TO THIS PLAN WITH CPN 5752.81.
- GRADING PLAN FOR SEVEN BAR APARTMENTS DATED 2/07/1996 BY BURY-PITMAN (A13/D003) AND GRADING PLAN FOR CORRALES POINTE APARTMENTS, NMPE 7322, DATED 12/17/1995 (A13/D003A). THESE GRADING PLANS WERE FOR THE CONSTRUCTION OF APARTMENT COMPLEXES ON THE NORTHEAST AND WEST SIDES OF CIBOLA LOOP (WEST). AS SHOWN BY BOTH PLANS, THEY DRAIN TO THE WEST AND NOT TO CIBOLA LOOP.
- DESIGN PLANS FOR ELLISON DRIVE PREPARED BY BOHANNAN-HUSTON FOR THE CITY OF ALBUQUERQUE, AS-BUILTS DATED 2/17/1997 (CPN 3727.90). THESE PLANS CONSTRUCTED STORM DRAINAGE IMPROVEMENTS IN ELLISON DRIVE THAT INCLUDE THE OUTFALL FROM, AND A 24" STORM DRAIN EXTENSION UP CIBOLA LOOP (EAST) ALONG WITH 4 STORM INLETS IN CIBOLA LOOP (EAST).

IV. EXISTING CONDITIONS

THE SITE IS CURRENTLY UNDEVELOPED. TRACT A-2 GENERALLY SLOPES FROM NORTHWEST TO THE SOUTH AND SOUTHEAST UNTO TRACTS A-1 AND A-3 AT APPROXIMATELY 3%, BOTH ALSO OWNED BY THE CITY AND PURSUANT TO THE EXISTING CROSS-LOT AND RECIPROCAL DRAINAGE EASEMENT CREATED BY PREVIOUS PLATING. THERE IS A STEEP (25%) SLOPE AT THE NORTHERN EDGE OF THE SITE UP TO CIBOLA LOOP NW. CIBOLA LOOP NW IS A 60 FT RIGHT-OF-WAY THAT HAS STANDARD CURB AND GUTTER, SIDEWALK, AND A HALF-WIDTH OF PERMANENT PAVEMENT ON THE OUTSIDE (OPPOSITE SIDE FROM TRACT A-2) SIDE OF THE STREET. THE NEAR SIDE DOES NOT HAVE FULL WIDTH PAVING, CURB AND GUTTER, OR A SIDEWALK. THE NEAR SIDE DOES HAVE AN EXTRUDED CURB ON THE EDGE OF THE TEMPORARY PAVEMENT ON THE TRACT A-2 SIDE OF THE CENTERLINE.

THERE IS A HIGH POINT IN CIBOLA LOOP NW LOCATED ON THE NORTHERMOST POINT NEAR LUNA PARK STREET NW, AND STREET RUNOFF FLOWS EAST AND WEST FROM THIS POINT. AS SHOWN BY THE CALCULATIONS FROM THE 1998 AND 2023 ISACSON & ARFMAN PLANS AND REPORTS (REFERENCES 2 AND 3), OFFSITE FLOWS IN THE AMOUNTS OF 11.6 CFS, 3.2 CFS, AND 20.6 CFS DRAIN TO CIBOLA LOOP (WEST) FROM THE UNDEVELOPED ARE AT THE NORTHWEST, THE PARK, AND A PORTION OF THE TRES PLACITAS SUBDIVISION AT CIBOLA ROAD NW. THESE FLOWS, PLUS RUNOFF FROM THE CIBOLA LOOP ROW CONSERVATIVELY CALCULATED TO BE 6.7 CFS BASED UPON THE FULL WIDTH OF 60 FEET BEING LAND TREATMENT D COMBINE TO A PEAK 100-YEAR CUMULATIVE FLOW OF 42.1 CFS THAT DRAINS TO THE SOUTH TO A SAG CONDITION JUST SOUTH OF MILL ROAD NW WHERE THERE ARE TWO TYPE "A" DOUBLE WING INLETS THAT HAVE A COMBINED INLET CAPACITY OF 69 CFS PER REFERENCE 2, (AP-20). AS SHOWN BY THE STREET SECTION HYDRAULICS HEREON, THIS RUNOFF CAN BE CARRIED WITHIN THE EXISTING PARTIAL STREET SECTION AT THE WORST CASE (DOWNSTREAM AND FLATTEST) LOCATION. THE VISTA DEL PARQUE SUBDIVISION NEAR THE HIGH POINT AT THE NORTHERMOST POINT IN CIBOLA LOOP DRAINS TO AN INTERNAL STORM DRAIN SYSTEM AND DOES NOT INTRODUCE STREET FLOW. AS SHOWN BY THE GRADING AND DRAINAGE PLAN AND REPORT, AND BY THE INFRASTRUCTURE PLANS (REFERENCE 4 AND CPN 5752.81) THE SUBDIVISION DRAINS TO AN EXISTING DETENTION POINT THAT HAS CONTROLLED OUTFALL TO A 24" STORM DRAIN IN CIBOLA LOOP (EAST) THAT DRAINS SOUTH TOWARDS ELLISON AND CONNECTS TO THE 24" STUB THAT WAS EXTENDED BY CPN 3727.90, REFERENCE 6 WHERE THERE ARE A SINGLE GRATE AND A DOUBLE GRATE INLET ON EACH SIDE (4 TOTAL STRUCTURES / 6 GRATES) PRIOR TO THE ELLISON INTERSECTION. THE SEVEN BAR AND CORRALES POINTE APARTMENTS ON THE NORTHEAST AND EAST SIDE OF CIBOLA LOOP (EAST) DRAIN TO THE WEST AND DO NOT DRAIN TO CIBOLA LOOP. AS SUCH, THE TOTAL FLOW IN CIBOLA LOOP AT THE WORST-CASE LOCATION (JUST UPSTREAM OF THE INLETS AND AT THE SOUTHEAST CORNER OF TRACT A-3) WILL BE THE ALLOWABLE DISCHARGE FROM THE NORTH SUB-BASIN (8.5 CFS) AND THE CIBOLA LOOP (EAST) ROW CONSERVATIVELY ESTIMATED AS BEING 7.0 CFS ASSUMING LAND TREATMENT D FOR THE 60 FT WIDTH FOR A TOTAL OF 13.5 CFS. AS DEMONSTRATED FOR THE WEST SIDE, THE EXISTING HALF SECTION OF STREET CAN CARRY IN EXCESS OF 40 CFS BELOW CURB HEIGHT.

V. DEVELOPED CONDITIONS

THE PROPOSED CONSTRUCTION WILL BE THE FIRST PHASE OF THE CITY MULTI-GENERATION CENTER WITH ASSOCIATED PAVED PARKING AND CIRCULATION, AND SITE LANDSCAPING IMPROVEMENTS. FUTURE PHASES WILL EXPAND UPON THE BUILDING AND SITE WORK, INCLUDING ADDITIONAL PARKING AREAS. THE PAVED AREAS AND BUILDING ROOF DRAINS WILL DRAIN TO AN INTERNAL STORM DRAIN SYSTEM THAT WILL DRAIN TO A NEW TEMPORARY RETENTION POND THAT IS SIZED TO HOLD IN EXCESS OF THE 100-YEAR, 10-DAY RUNOFF FROM THE FUTURE FULLY DEVELOPED CONDITION. UPON DEVELOPMENT OF TRACT A-3 AND A DOWNSTREAM RECEIVING SYSTEM, THIS POND MAY BE REDUCED IN SIZE AND CONVERTED TO A DETENTION POND THAT LIMITS DISCHARGE TO THE ALLOWABLE RATE OF 0.65 CFS PER ACRE PER REFERENCE 1.

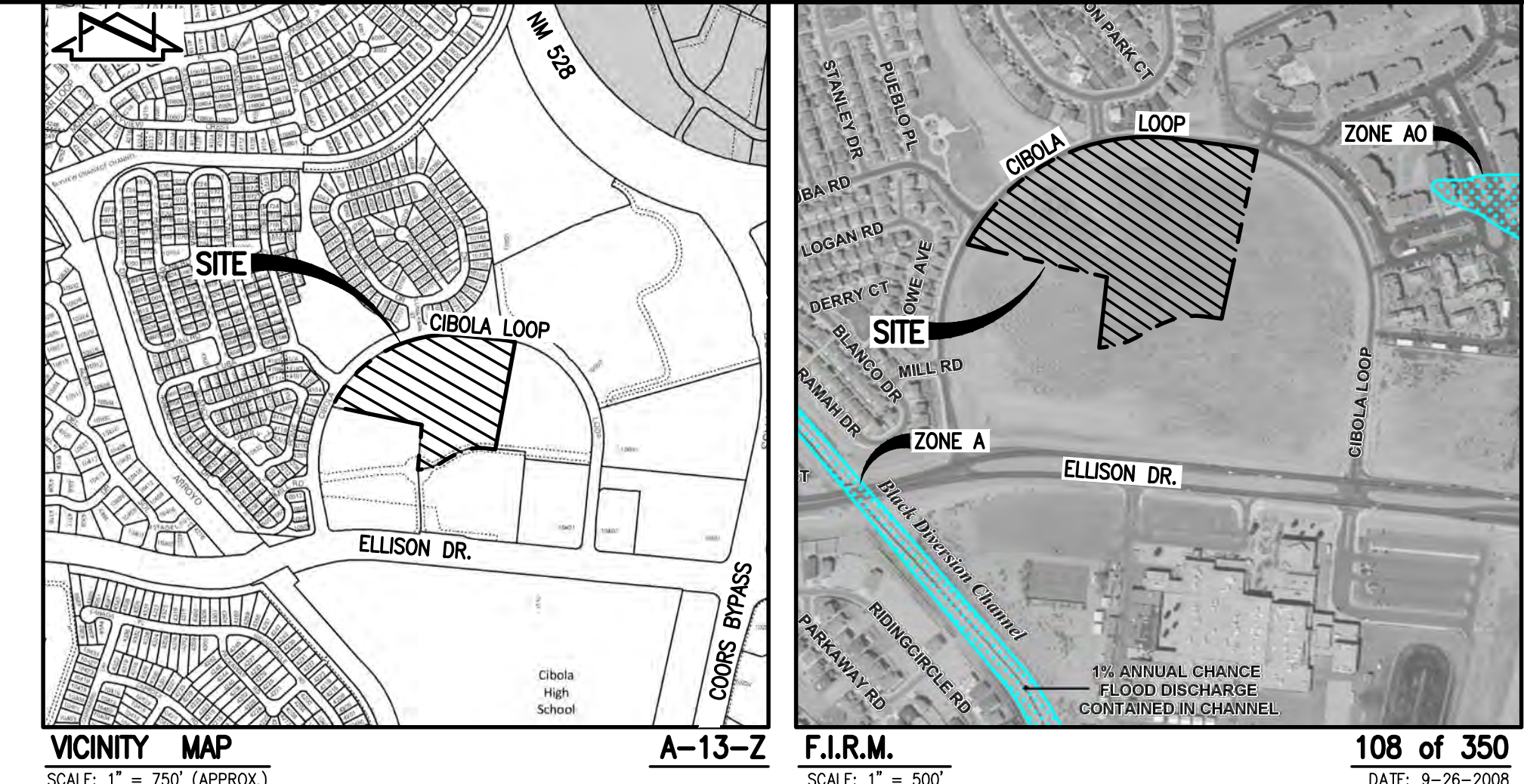
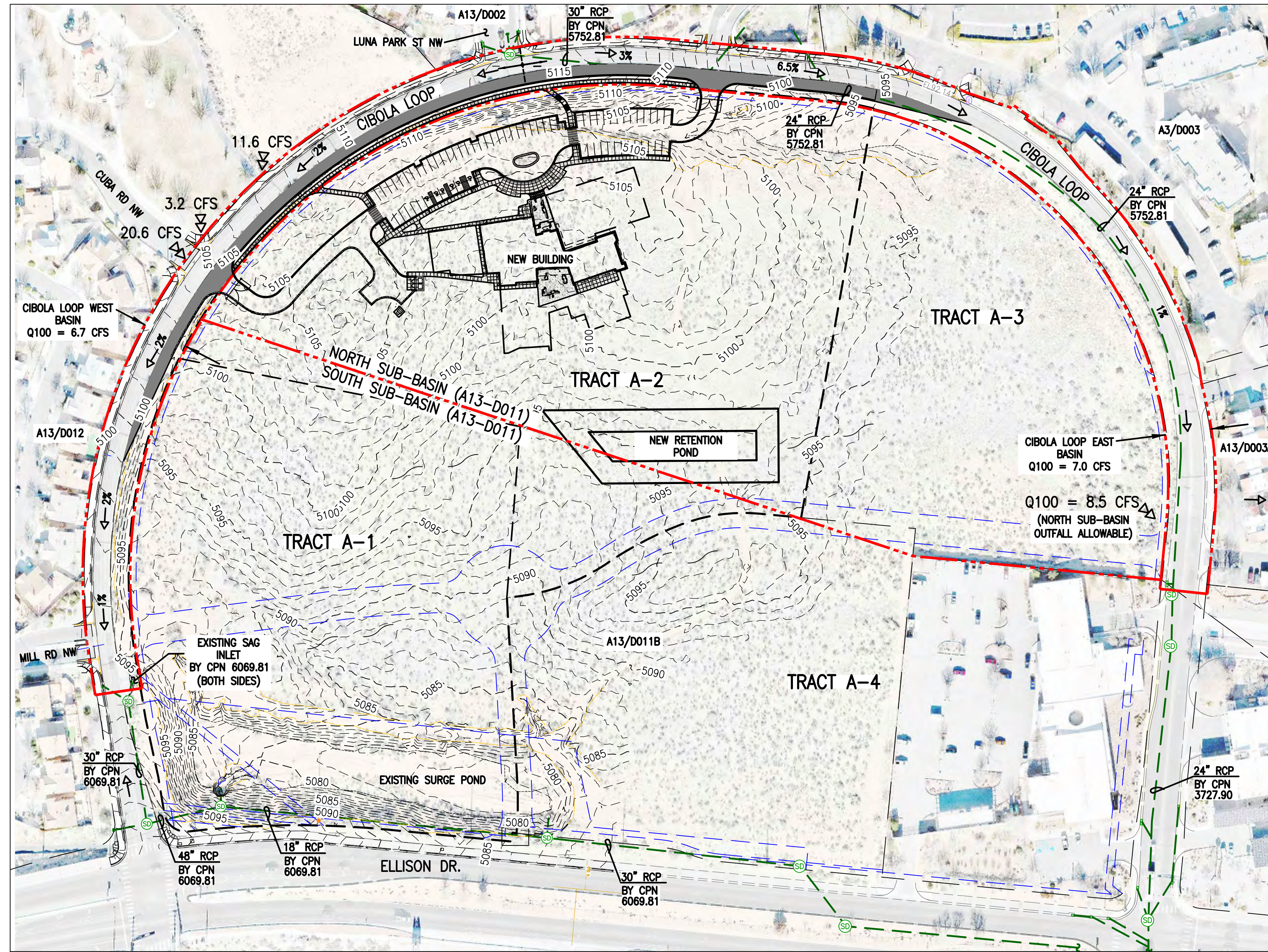
IN CONJUNCTION WITH THIS PROJECT, THE OUTSTANDING FULL WIDTH PERMANENT STREET PAVING, CURB AND GUTTER, AND SIDEWALK ALSO CONSTRUCTION ON THE NEAR SIDE OF CIBOLA LOOP ACROSS THE PROJECT FRONTAGE. AS DEMONSTRATED BY THE EXISTING PRECEDING EXISTING CONDITIONS NARRATIVE, THE EXISTING PARTIAL SECTIONS OF CIBOLA LOOP ON THE WEST AND EAST SIDES FRONTING TRACTS A-1 AND A-3, RESPECTIVELY, HAVE ADEQUATE STREET AND DOWNSTREAM INFRASTRUCTURE CAPACITY TO CARRY THE RUNOFF GENERATED BY THE EXISTING AND ADDED PAVEMENT WIDTHS. AS SUCH, PERMANENT IMPROVEMENTS SUCH AS STREET WIDENING, STORM DRAIN EXTENSIONS, OR ADDITIONAL INLETS ARE NOT NECESSARY NOR PROPOSED BY THIS PROJECT. TRANSITIONS WITH CURB AND GUTTER WILL BE CONSTRUCTED AT THE TWO DOWNSTREAM ENDS (WEST AND EAST) TO TRANSITION FROM THE SITE FRONTAGE FULL IMPROVEMENTS TO THE DRAINAGE HALF-SECTION IMPROVEMENTS.

VI. CALCULATIONS

CALCULATIONS ANALYZING THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100 YEAR, 6-HOUR AND 100-YEAR, 10-DAY RAINFALL EVENTS HAVE BEEN PREPARED FOR THE FULLY DEVELOPED CONDITION. THE DPM PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN DPM 6-2(A) HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. 100% OF THE SITE RUNOFF WILL DRAIN TO A TEMPORARY RETENTION POND, SO STORMWATER QUALITY CALCULATIONS WERE NOT PERFORMED. CIBOLA LOOP HYDRAULIC CAPACITY CALCULATIONS WERE PERFORMED USING CIVIL3D HYDROFLOW EXPRESS WITH N=0.017.

VII. SUMMARY AND RECOMMENDATIONS

- AS A PRIORITY CITY PROJECT, THE PROPOSED CONSTRUCTION WILL BEGIN WITH ROUGH GRADING IN ADVANCE OF BUILDING PERMIT APPROVAL. A SUBSEQUENT SUBMITTAL WILL BE MADE FOR BUILDING PERMIT APPROVAL.
- THIS PLAN IS SUBMITTED TO SUPPORT DFT SITE PLAN AND ROUGH GRADING APPROVALS, AND TO ALSO SUPPORT A FUTURE WORK ORDER THAT WILL WIDEN THE STREET FRONTAGE.
- THIS PROJECT WILL CONSTRUCT A TEMPORARY RETENTION POND SIZED TO HOLD IN EXCESS OF THE FULLY DEVELOPED 100-YEAR, 10-DAY STORM.
- UPON DEVELOPMENT OF TRACT A-3 AND A RECEIVING SYSTEM, THE TEMPORARY RETENTION POND WILL BE ABLE TO BE CONVERTED TO DETENTION TO THE ALLOWABLE RATE OF 0.65 CFS PER ACRE.
- THIS PROJECT GRADING AND DRAINAGE SCHEME CONFIRMS TO ALL PREVIOUSLY APPROVED AND ESTABLISHED GRADING AND DRAINAGE PLANS, REPORTS, AND INFRASTRUCTURE PLANS APPLICABLE TO THE SITE.



PROJECT BENCHMARK #202 (P.B.M.)

A #5 REBAR W/CAP STAMPED "HMC CONTROL NMPS 11184", SET IN DIRT NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE, APPROXIMATELY 136' EAST OF THE STORM DRAIN INLET ON THE EAST SIDE OF WEST CIBOLA LOOP NW AND 233' NORTH OF THE BACK OF CURB ON THE NORTH SIDE OF ELLISON DR NW, AS SHOWN ON SHEET VF-105
 MODIFIED GROUND COORDINATES:
 NORTHING = 1,530,887.18 FEET
 EASTING = 1,516,155.43 FEET
 ELEVATION = 5090.57 FEET (NAVD 1988)

TEMPORARY BENCHMARK #203 (T.B.M.)

A #5 REBAR W/CAP STAMPED "HMC CONTROL NMPS 11184", SET IN DIRT NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE, APPROXIMATELY 200' EAST OF THE STORM DRAIN INLET ON THE EAST SIDE OF WEST CIBOLA LOOP NW AND 200' NORTH OF THE BACK OF CURB ON THE NORTH SIDE OF ELLISON DR NW, AS SHOWN ON SHEET VF-105
 MODIFIED GROUND COORDINATES:
 NORTHING = 1,530,854.64 FEET
 EASTING = 1,516,222.95 FEET
 ELEVATION = 5089.64 FEET (NAVD 1988)

TEMPORARY BENCHMARK #204 (T.B.M.)

A #5 REBAR WITH CAP STAMPED "HMC CONTROL NMPS 11184", SET IN DIRT NEAR THE NORTH END OF THE PROJECT SITE, APPROXIMATELY 349' SOUTH OF THE BACK OF CURB ON THE SOUTH SIDE OF WEST CIBOLA LOOP NW AND 47' WEST OF A DIRT ROAD RUNNING DOWN THE CENTER OF THE PROJECT SITE, AS SHOWN ON SHEET VF-104
 MODIFIED GROUND COORDINATES:
 NORTHING = 1,531,357.44 FEET
 EASTING = 1,516,704.85 FEET
 ELEVATION = 5102.33 FEET (NAVD 1988)

TEMPORARY BENCHMARK #206 (T.B.M.)

A #5 REBAR W/CAP STAMPED "HMC CONTROL NMPS 11184", SET IN DIRT NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE, APPROXIMATELY 66' EAST OF A DIRT ROAD RUNNING DOWN THE CENTER OF THE PROJECT SITE AND 170' NORTH OF THE BACK OF CURB ON THE NORTH SIDE OF ELLISON DR NW, AS SHOWN ON SHEET VF-105
 MODIFIED GROUND COORDINATES:
 NORTHING = 1,530,781.43 FEET
 EASTING = 1,516,671.67 FEET
 ELEVATION = 5086.13 FEET (NAVD 1988)

LEGAL DESCRIPTION

TRACTS A-1, AND A-2, CIBOLA LOOP SUBDIVISION, ALBUQUERQUE, NEW MEXICO

fbt architects
 6501 Americas Parkway NE, Suite 300 Albuquerque, NM 87110
 505.883.5200 www.fbtarch.com

CONSULTANTS

CIVIL
 High Mesa
 a Bowman company
 6510-B Midway Park Blvd NE Albuquerque, NM 87109
 p_505.345.4250

LANDSCAPE
 Groundwork Studio
 6501 Americas Parkway NE, Suite 350 Albuquerque, NM 87110
 p_505.212.9126

STRUCTURAL
 Chavez-Grievos Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102 Albuquerque, NM 87109
 p_505.344.4080

M/E/P/FP
 Bridgers & Paxton
 4800-C Montgomery Blvd NE Albuquerque, NM 87109
 p_505.883.4111

LIGHTING
 Oldner Lighting
 4645 Greenville Ave, Studio B Dallas, TX 75206
 p_310.450.1733

INTERIORS
 Studio M
 6501 Americas Parkway NE, Suite 302 Albuquerque, NM 87110
 p_505.243.9287

ENGINEER SEAL

GRAEME MEANS
 13676
 LICENSED PROFESSIONAL ENGINEER
 03-25-2024

M/E/P/FP
 Bridgers & Paxton
 4800-C Montgomery Blvd NE Albuquerque, NM 87109
 p_505.883.4111

LIGHTING
 Oldner Lighting
 4645 Greenville Ave, Studio B Dallas, TX 75206
 p_310.450.1733

INTERIORS
 Studio M
 6501 Americas Parkway NE, Suite 302 Albuquerque, NM 87110
 p_505.243.9287

REVISIONS

NO.	DATE	REMARKS	DESIGNED BY	DRAWN BY	CHECKED BY
1					
2					
3					
4					

CITY OF ALBUQUERQUE

PROJECT TITLE:
COA CIBOLA LOOP MULTIGENERATIONAL CENTER
 Cibola Loop NW Albuquerque, NM 87114

DFT SITE PLAN AND EARLY WORK PACKAGE
 MARCH 25, 2024

DRAWING TITLE: CONCEPTUAL GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE

DATE	NAME	DATE	NAME

CITY ENGINEER APPROVAL

DESIGNED BY: J.T.F. **CHECKED BY:** G.M.

DATE: 03-25-2024

PROJECT NO.: 2024.001.3

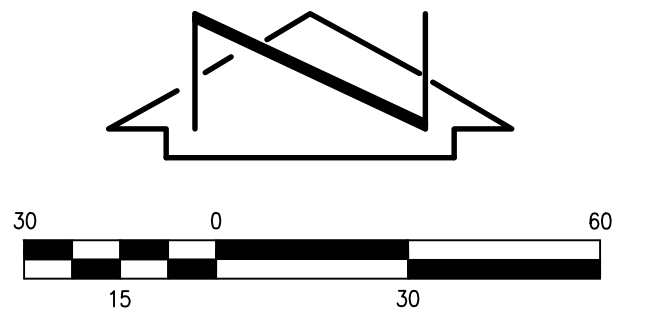
ZONE MAP NO.: DWG.

DESIGNER: HIGH MESA a Bowman company
 6010-B Midway Park Blvd NE, Albuquerque, NM 87109
 P-505.345.4250 highmesacorp.com | bowman.com

SHEET: CG-001

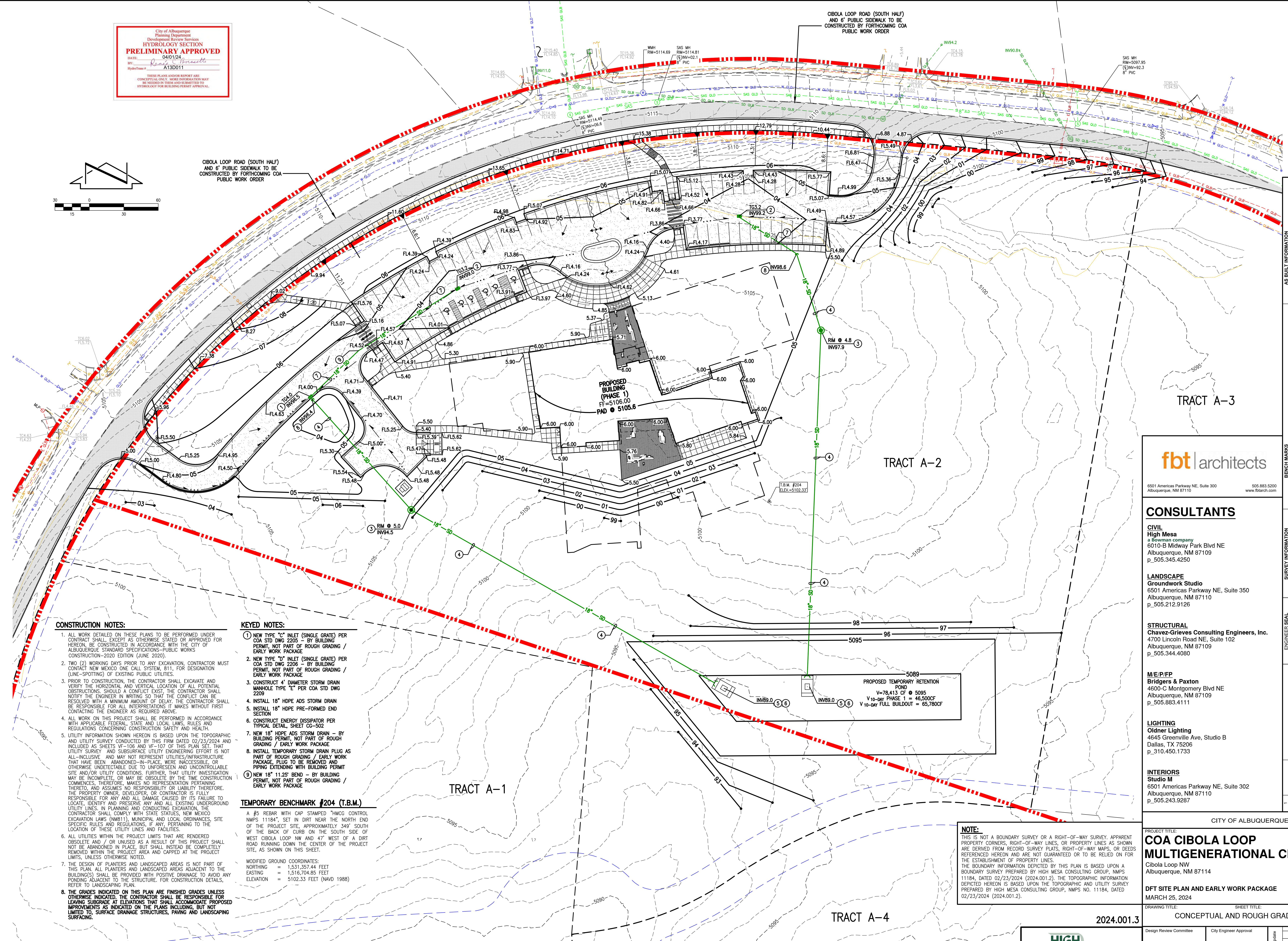
City of Albuquerque
 Planning Department
 Development Review Services
PRELIMINARY APPROVED
 DATE: 04/01/24
 BY: [Signature]
 HYDROLOGY SECTION
 A130011

THESE PLANS AND/OR REPORT ARE
 CONCEPTUAL ONLY. MORE INFORMATION MAY
 BE NEEDED FOR DESIGN AND SUBMITTED TO
 HYDROLOGY FOR BUILDING PERMIT APPROVAL.



CIBOLA LOOP ROAD (SOUTH HALF)
 AND 6' PUBLIC SIDEWALK TO BE
 CONSTRUCTED BY FORTHCOMING COA
 PUBLIC WORK ORDER

CIBOLA LOOP ROAD (SOUTH HALF)
 AND 6' PUBLIC SIDEWALK TO BE
 CONSTRUCTED BY FORTHCOMING COA
 PUBLIC WORK ORDER



CONSTRUCTION NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR APPROVED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS-PUBLIC WORKS CONSTRUCTION-2020 EDITION (JUNE 2020).
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING PUBLIC UTILITIES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY THIS FIRM DATED 02/23/2024 AND INCLUDED AS SHEETS VF-106 AND VF-107 OF THIS PLAN SET. THAT UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THAT UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY THEREFOR. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PROTECT ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NMPS 1), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.
6. ALL UTILITIES WITHIN THE PROJECT LIMITS THAT ARE RENDERED OBSOLETE AND / OR UNUSED AS A RESULT OF THIS PROJECT SHALL NOT BE ABANDONED IN PLACE, BUT SHALL INSTEAD BE COMPLETELY REMOVED WITHIN THE PROJECT AREA AND CAPPED AT THE PROJECT LIMITS, UNLESS OTHERWISE NOTED.
7. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
8. THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLAN INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.

KEYED NOTES:

1. NEW TYPE "C" INLET (SINGLE GRATE) PER COA STD DWG 2206 - BY BUILDING PERMIT, NOT PART OF ROUGH GRADING / EARLY WORK PACKAGE
2. NEW TYPE "D" INLET (SINGLE GRATE) PER COA STD DWG 2206 - BY BUILDING PERMIT, NOT PART OF ROUGH GRADING / EARLY WORK PACKAGE
3. CONSTRUCT 4' DIAMETER STORM DRAIN MANHOLE TYPE "E" PER COA STD DWG 2209
4. INSTALL 18" HDPE ADS STORM DRAIN
5. INSTALL 18" HDPE PRE-FORMED END SECTION
6. CONSTRUCT ENERGY DISSIPATOR PER TYPICAL DETAIL, SHEET CG-502
7. NEW 18" HDPE ADS STORM DRAIN - BY BUILDING PERMIT, NOT PART OF ROUGH GRADING / EARLY WORK PACKAGE
8. INSTALL TEMPORARY STORM DRAIN PLUG AS PART OF ROUGH GRADING / EARLY WORK PACKAGE. PLUG TO BE REMOVED AND PIPING EXTENDING WITH BUILDING PERMIT
9. NEW 18" 11.25' BENCH - BY BUILDING PERMIT, NOT PART OF ROUGH GRADING / EARLY WORK PACKAGE

TEMPORARY BENCHMARK #204 (T.B.M.)

A #5 REBAR WITH CAP STAMPED "MCG CONTROL NMPS 11184" SET IN DIRT NEAR THE NORTH END OF THE PROJECT SITE, APPROXIMATELY 349' SOUTH OF THE BACK OF CURB ON THE SOUTH SIDE OF WEST CIBOLA LOOP NW AND 47' WEST OF A DIRT ROAD RUNNING DOWN THE CENTER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET.

MODIFIED GROUND COORDINATES:
 NORTHING = 1,531,357.44 FEET
 EASTING = 1,516,704.85 FEET
 ELEVATION = 5102.33 FEET (NAVD 1988)

NOTE:

THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT-OF-WAY LINES, OR PROPERTY LINES AS SHOWN ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS, OR DEEDS REFERENCED HEREON AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 02/23/2024 (2024.001.2). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, DATED 02/23/2024 (2024.001.2).

TRACT A-3

TRACT A-2

TRACT A-1

TRACT A-4

fbt architects
 6501 Americas Parkway NE, Suite 300
 Albuquerque, NM 87110
 505.883.5200
 www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
 a Bowman company
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250

LANDSCAPE
Groundwork Studio
 6501 Americas Parkway NE, Suite 350
 Albuquerque, NM 87110
 p_505.212.9126

STRUCTURAL
Chavez-Grievas Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102
 Albuquerque, NM 87109
 p_505.344.4080

M/E/P/FP
Brigiers & Paxton
 4600-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111

LIGHTING
Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733

INTERIORS
Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

CITY OF ALBUQUERQUE

**COA CIBOLA LOOP
 MULTIGENERATIONAL CENTER**

Cibola Loop NW
 Albuquerque, NM 87114

DFT SITE PLAN AND EARLY WORK PACKAGE
 MARCH 25, 2024

DRAWING TITLE: SHEET TITLE:
CONCEPTUAL AND ROUGH GRADING PLAN

2024.001.3

HIGH MESA
 a Bowman company
 6010-B Midway Park Blvd NE, Albuquerque, NM 87109
 P:505.345.4250 highmesacg.com | bowman.com

Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.
City Project No.	Zone Map No.	DWG.	Sheet
			CG-101

AS BUILT INFORMATION

CONTRACTOR	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE

BENCH MARKS

NO.	DATE

ENGINEER SEAL

GRAEME MEANS, P.E.
 NEW MEXICO
 13678
 GRAEME MEANS, P.E.
 PROFESSIONAL SEAL

SURVEY INFORMATION

NO.	DATE

FIELD NOTES

NO.	DATE

REVISIONS

NO.	DATE	REMARKS	G.M.	J.Y.F.	G.M.

File Name: P:\data\2024\2024_001_3E\CG-101_3E\CG-101_3E\CG-101_3E.dwg - CGS-01 Plot Date: 3/25/24 Plot Time: 12:16

A1 GRADING PLAN
 SCALE: 1" = 30'



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Cibola Loop Multi-gen. Facility (City Project # P7882.16) **Building Permit #:** 16EPC-40048 **Hydrology File #:** _____
DRB#: 1011895 **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract A-2 Cibola Loop Subdivision Within the Town of Alameda Grant Projected Section 6, Township 11 North, Range 3 East, NMPM, City of Albuquerque Bernalillo County, NM
City Address: 10751 Cibola Loop NW, Albuquerque, NM 87114

Applicant: FBT Architects **Contact:** Ted Grumblatt
Address: 6501 America's Pkwy Suite 300, Albuquerque, NM 87110
Phone#: (505)883-5200 **Fax#:** _____ **E-mail:** tcg@fbtarch.com

Other Contact: FBT Architects **Contact:** Antonio Vigil
Address: 6501 America's Pkwy Suite 300, Albuquerque, NM 87110
Phone#: (505)883-5200 **Fax#:** _____ **E-mail:** amv@fbtarch.com

TYPE OF DEVELOPMENT: 1 PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE _____

IS THIS A RESUBMITTAL? _____ Yes X No

DEPARTMENT X TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 3/28/2024 **By:** Ted Grumblatt

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 11, 2024

Ted Grumblatt, RA
fbt architects
6501 Americas Pkwy NE
Albuquerque, NM 87110

Re: Cibola Loop Multi-gen Center
10751 Cibola Loop Nw
Traffic Circulation Layout
Architect's Stamp 04-11-24 (A13-D025)

Dear Mr. Grumblatt,

The TCL submittal received 03-29-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. **AN APPROVED/ACCEPTED WORK ORDER IS CONDITION OF RELEASING THE FINAL CO.**

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

A handwritten signature in black ink, appearing to read "Ernest Armijo".

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File





**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Ernest Armijo 4/11/2024
Signed Date

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- B. ALL PARKING DRIVES TO BE ASPHALT CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- C. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.
- D. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- E. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

SITE HATCH LEGEND

-  NEW BUILDING
-  NEW STANDARD DUTY CONCRETE PAVEMENT
-  NEW HEAVY DUTY ASPHALT PAVEMENT
-  CLEAR SIGHT TRIANGLE



6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110 505.883.5200
www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250

LANDSCAPE
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126

STRUCTURAL
Chavez-Grievos Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080

M/E/P/FP
Bridgers & Paxton
4600-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111

LIGHTING
Oldner Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733

INTERIORS
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

CITY OF ALBUQUERQUE

PROJECT TITLE:
**COA CIBOLA LOOP
MULTIGENERATIONAL CENTER**

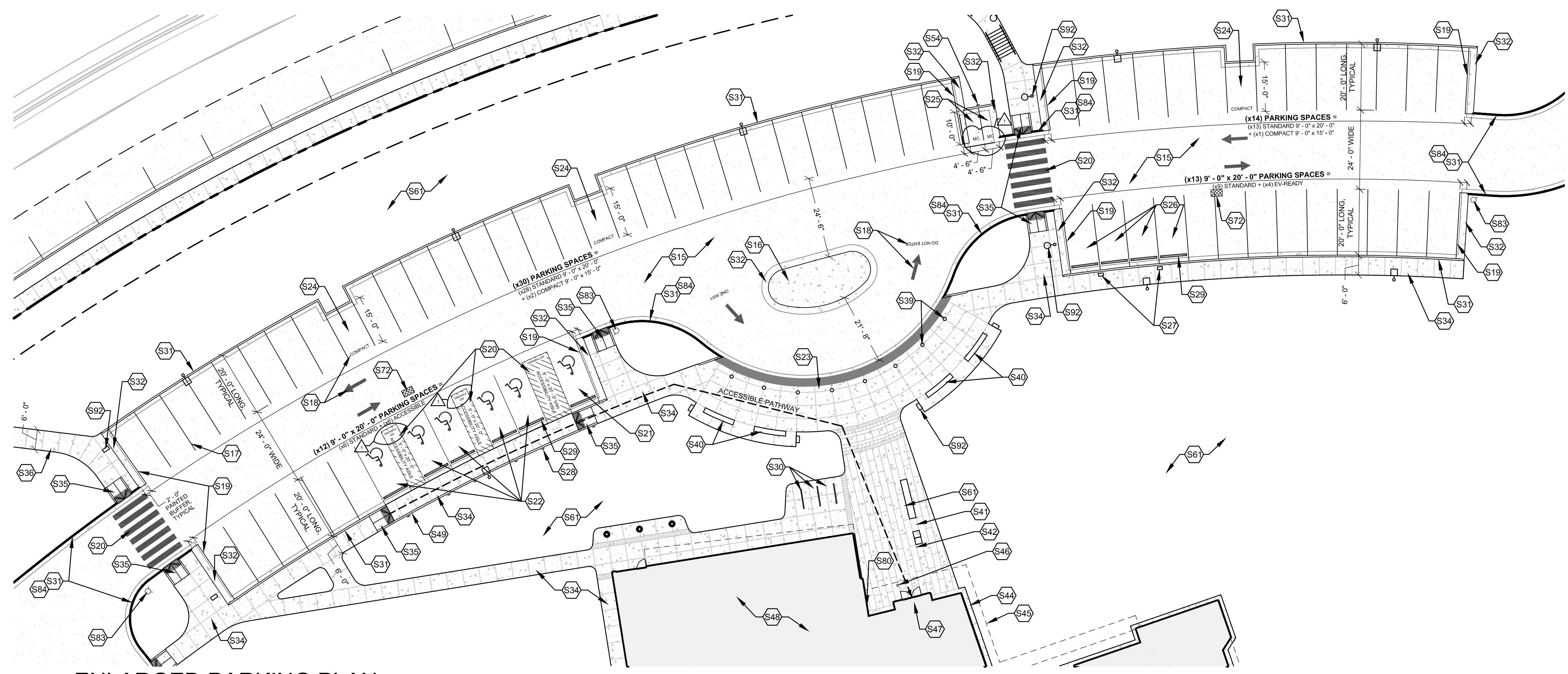
10751 Cibola Loop NW
Albuquerque, NM 87114

TRAFFIC CIRCULATION LAYOUT (TCL)
MARCH 2024

DRAWING TITLE: **TCL 02** SHEET TITLE: **TRAFFIC CIRCULATION LAYOUT**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. P7882.16 Zone Map No. A-13-Z DWG. Sheet



(B1) ENLARGED PARKING PLAN
1" = 20' - 0"

KEYED NOTES

S15	ASPHALT PAVING, TYPICAL.
S16	CONCRETE PAD
S17	PAINTED PARKING LOT 4" WIDE STRIPING, TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
S18	PAINTED PARKING LOT 10' - 0" LENGTH ARROWS AND 30" HEIGHT LETTERING, TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
S19	2" PAINTED BUFFER TO MOUNTABLE CURB, TYPICAL.
S20	PAINTED ACCESS AISLE
S21	ACCESSIBLE VAN PARKING SPACE PER TABLE 1106.1 WITH GROUND-MOUNTED SIGN
S22	ACCESSIBLE PARKING SPACE PER TABLE 1106.1 WITH GROUND-MOUNTED SIGN

S23	ACCESSIBLE DROP-OFF. INSTALL TRUNCATED DOME TO DESIGNATE THRESHOLD BETWEEN CONCRETE SIDEWALK AND ASPHALT DRIVE. RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.
S24	COMPACT VEHICLE PARKING, TYPICAL.
S25	MOTORCYCLE PARKING WITH GROUND-MOUNTED SIGN
S26	(4) EV-READY SPACES
S27	FUTURE OWNER PROVIDED BY STATIONS, SEE ELECTRICAL FOR REQUIREMENTS.
S28	GROUND-MOUNTED ADA SIGN, TYPICAL. ACCESSIBLE PARKING SIGNAGE SHALL CONTAIN THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PER 66-7-352.4C NMSA.
S29	CONCRETE WHEELSTOP, TYPICAL WHERE GROUND-MOUNTED SIGNAGE AND EV CHARGING EQUIPMENT IS PRESENT, SEE SITE DETAILS.
S30	TUBE STEEL FRAMED BICYCLE RACKS, PAINTED, PER COA STANDARDS. (3 SPACES REQUIRED / 6 SPACES PROVIDED)
S31	CONCRETE CURB & GUTTER SYSTEM, TYPICAL. SEE SITE DETAILS & CIVIL.
S32	MOUNTABLE CURB AT PARKING ROW ENDS, TYPICAL. SEE COA STD. DWG. 2415B FOR MOUNTABLE ROLL CURB AND GUTTER DETAIL.

S34	4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH TURN DOWN EDGE AT ALL EXPOSED EDGES.
S35	ACCESSIBLE CURB RAMP. SEE COA STD. DWG. 2443 FOR PARALLEL CURB RAMP DETAILS. INSTALL TRUNCATED DOME IN ALL ADA RAMPS, RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.
S36	ACCESSIBLE PATH TO PUBLIC WAY
S37	CONCRETE STAIRS AND STEEL HANDRAILS
S39	TRAFFIC-RATED BOLLARD WITH LIGHTING, SEE LIGHTING.
S40	CAST-IN-PLACE CONCRETE BENCH AT DROPOFF. (16" HIGH x 18" DEEP x +/- 9' LENGTH, TYPICAL)
S41	CAST-IN-PLACE CONCRETE BENCH AT ENTRY/PATIO. (16" HIGH x 16" DEEP, LENGTHS VARY, TYPICAL.)
S42	ENTRY PLAZA: INTEGRALLY COLORED CONCRETE AND STAMPED TEXTURE WITH INTEGRATED LANDSCAPING & CONCRETE SEATING.
S44	1' - 6" CONCRETE MOW STRIP, TYPICAL. ALL AROUND BUILDING PERIMETER.
S45	OVERHEAD OVERHANG
S46	ADA AUTOMATIC DOOR ACTUATOR

S47	MAIN ENTRY
S48	BUILDING INTERIOR
S49	CONCRETE HEADER CURB
S50	CONCRETE STAIRS
S51	STEEL HANDRAILS
S54	GROUND-MOUNTED MOTORCYCLE PARKING SIGN
S61	LANDSCAPING, SEE LANDSCAPE.
S63	ILLUMINATED FLAGPOLE, SEE LIGHTING PLAN.
S72	DRAIN INLET, SEE CIVIL.
S80	WALL-MOUNTED KNOX BOX
S83	FIRE HYDRANT, SEE CIVIL.
S84	PAINTED FIRE LANE, TYPICAL.
S90	SWITCHGEAR, SEE ELECTRICAL.
S91	UTILITY TRANSFORMER, SEE ELECTRICAL.
S92	SITE LIGHTING, SEE LIGHTING.

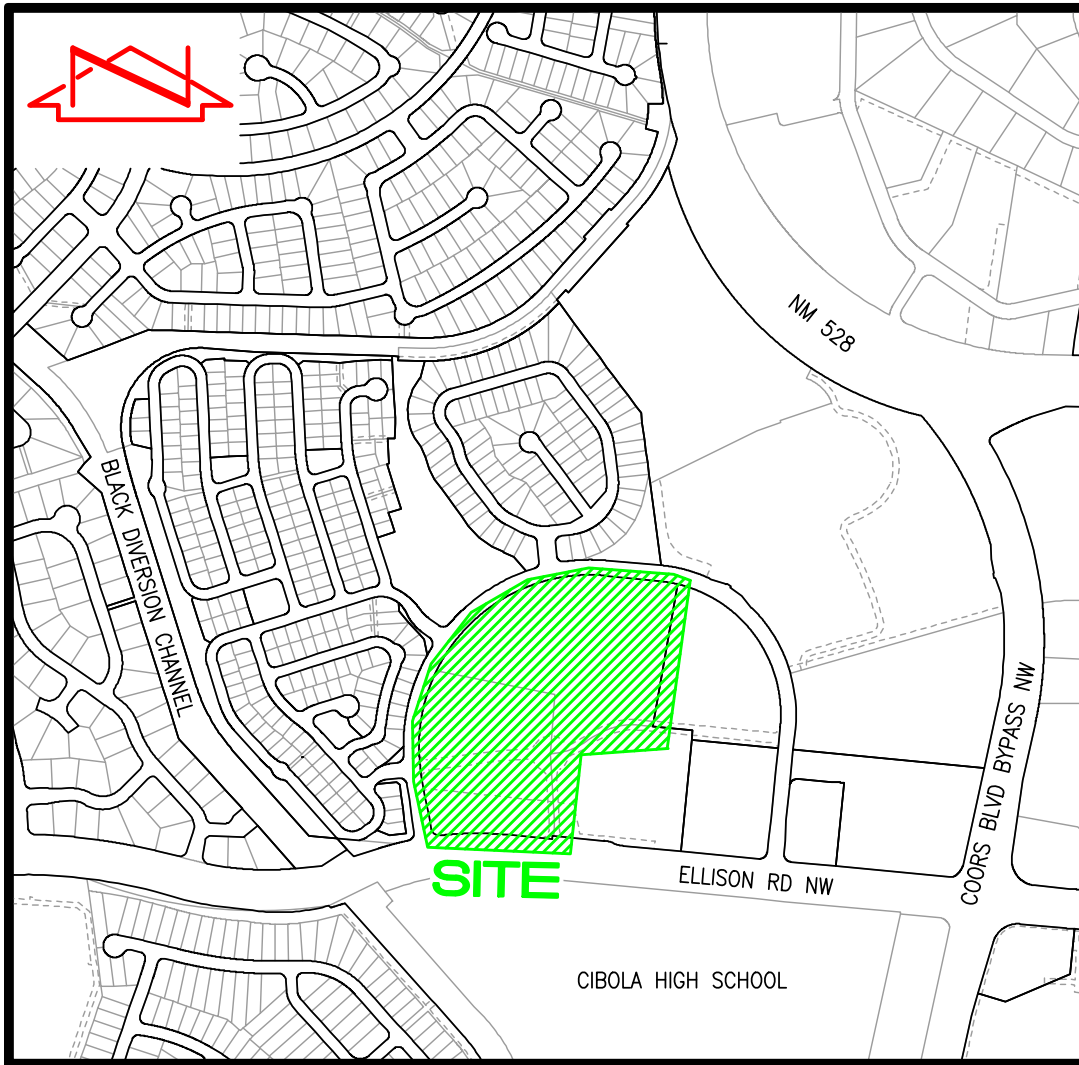
AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL ARCHITECT		COA TCL REVIEW COMMENTS	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK STAMPED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTOR'S ACCEPTANCE BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
FIELD VERIFICATION BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
DRAWINGS CORRECTED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
MICRO-FILM INFORMATION	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
RECORDED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE



ARCHITECT

Landscape Plan Documentation

Utility Plan Documentation



VICINITY MAP
SCALE: 1"=750'

A-13

INDEX OF DRAWINGS

- COVER SHEET, NOTES, VICINITY MAP
- DIGITAL ORTHOPHOTO
- BOUNDARY SURVEY
- TOPOGRAPHIC SURVEY - NORTH PORTION
- TOPOGRAPHIC SURVEY - SOUTH PORTION
- UTILITY SURVEY - NORTH PORTION
- UTILITY SURVEY - SOUTH PORTION

GENERAL NOTES

- A BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY WAS PERFORMED IN JANUARY, 2024. PROPERTY CORNERS WERE FOUND OR SET AS INDICATED.
- SITE LOCATED WITHIN PROJECTED SECTION 6, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M. (TOWN OF ALAMEDA GRANT).
- ORTHOPHOTOGRAPHY WAS CAPTURED BY HMCG UNMANNED AERIAL VEHICLE (UAV) ON JANUARY 12, 2024.
- ALL DISTANCES ARE GROUND DISTANCES.
- BEARINGS SHOWN HEREON ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE (NAD 83). THESE BEARINGS ARE POSITIONED FROM AGRS CONTROL STATION "5-A13".
- RECORD BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS.
- THIS SURVEY HAS BEEN PREPARED BASED UPON NAVD 88 DATUM. PREVIOUS SURVEYS OF THIS AREA CONDUCTED BY OTHER CONSULTANTS MAY HAVE BEEN CONDUCTED BASED UPON NGVD 29 DATUM. SPECIAL CARE SHOULD BE EXERCISED WHEN COMPARING ELEVATIONS FROM THIS SURVEY TO CURRENT AND PREVIOUS SURVEYS, PLANS AND AS-BUILT DOCUMENTS.
- THE FOLLOWING DOCUMENTS AND INSTRUMENTS WERE USED FOR THE PERFORMANCE AND PREPARATION OF THIS SURVEY:
 - PLAT OF TRACTS B-9 THROUGH B-12, SEVEN-BAR RANCH, FILED NOVEMBER 08, 1985, VOLUME C28, FOLIO 161, DOC. NO. 1985094878.
 - EASEMENT FILED FEBRUARY 21, 1986, DOC. NO. 1986015530.
 - PLAT OF TRACTS B-9D THROUGH B-9K, SEVEN-BAR RANCH, FILED DECEMBER 21, 1989, VOLUME C40, FOLIO 75, DOC. NO. 1989107837.
 - PLAT OF TRACTS B-9H-1 AND B-9J-1, SEVEN-BAR RANCH, FILED NOVEMBER 17, 1994, VOLUME 94C, FOLIO 387, DOC. NO. 1994136793.
 - PLAT OF VISTA DEL PARQUE SUBDIVISION, FILED OCTOBER 07, 1997, VOLUME 97C, FOLIO 305, DOC. NO. 1997105217.
 - DRAINAGE EASEMENT FILED MAY 05, 1999, DOC. NO. 1999060060.
 - PLAT OF TRES PLACITAS, FILED OCTOBER 06, 1999, BOOK 99C, PAGE 283, DOC. NO. 1999128384.
 - PLAT OF TRACTS B-9D-1 AND TRACT B-9D-2, SEVEN-BAR RANCH, FILED JANUARY 02, 2003, BOOK 2003C, PAGE 1, DOC. NO. 2003000507.
 - PLAT OF TRACTS B-9J-1A-1 AND B-9J-1A-2, SEVEN-BAR RANCH, FILED MAY 16, 2006, BOOK 2006C, PAGE 156, DOC. NO. 2006071228.
 - PLAT OF TRACTS B-9E-1-A, B-9F-1 AND B-9E-2-A, SEVEN BAR RANCH, FILED FEBRUARY 13, 2008, BOOK 2008C, PAGE 26, DOC. NO. 2008016817.
 - BULK LAND PLAT OF CIBOLA LOOP SUBDIVISION, FILED APRIL 29, 2009, BOOK 2009C, PAGE 66, DOC. NO. 2009046789.
 - BULK PLAT OF TRACTS A-1, A-2, B-1 AND C-1, CIBOLA LOOP SUBDIVISION, FILED FEBRUARY 14, 2017, BOOK 2017C, PAGE 17, DOC. NO. 2017013734.
 - THE PROPERTY SURVEYED HEREON MAY BE SUBJECT TO THE RESERVATIONS CONTAINED IN THE ORIGINAL PATENT FROM THE UNITED STATES OF AMERICA.
 - THE PROPERTY SURVEYED HEREON MAY BE SUBJECT TO THE TEMPORARY TURNING EASEMENT FILLED ON 11/08/1985 SEE EASEMENT KEY NOTE 5.

A.G.R.S. BENCHMARK #201

AN AGRS BRASS DISK STAMPED "5-A13", SET IN CONCRETE, ON THE SOUTHEAST CORNER OF THE ISLAND NORTHWEST OF THE INTERSECTION OF COORS BLVD BYPASS NW AND ELLISON DR NW. NOT SHOWN

MODIFIED GROUND COORDINATES:	PUBLISHED COORDINATES:
NORTHING = 1,530,468.50 FEET	NORTHING = 1,530,468.63 FEET
EASTING = 1,518,154.32 FEET	EASTING = 1,518,153.56 FEET
ELEVATION = 5057.85 FEET (NAVD 1988)	ELLIPSOID HEIGHT = 4987.95 FEET (NAD 83)

PROJECT BENCHMARK #202 (P.B.M.)

A #5 REBAR W/CAP STAMPED "HMCG CONTROL NMPS 11184", SET IN DIRT NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE, APPROXIMATELY 136' EAST OF THE STORM DRAIN INLET ON THE EAST SIDE OF WEST CIBOLA LOOP NW AND 233' NORTH OF THE BACK OF CURB ON THE NORTH SIDE OF ELLISON DR NW, AS SHOWN ON THIS SHEET AND SHEET 5.

MODIFIED GROUND COORDINATES:
NORTHING = 1,530,887.18 FEET
EASTING = 1,516,155.43 FEET
ELEVATION = 5090.57 FEET (NAVD 1988)

TEMPORARY BENCHMARK #203 (T.B.M.)

A #5 REBAR W/CAP STAMPED "HMCG CONTROL NMPS 11184", SET IN DIRT NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE, APPROXIMATELY 200' EAST OF THE STORM DRAIN INLET ON THE EAST SIDE OF WEST CIBOLA LOOP NW AND 200' NORTH OF THE BACK OF CURB ON THE NORTH SIDE OF ELLISON DR NW, AS SHOWN ON THIS SHEET AND SHEET 5.

MODIFIED GROUND COORDINATES:
NORTHING = 1,530,854.64 FEET
EASTING = 1,516,222.95 FEET
ELEVATION = 5089.64 FEET (NAVD 1988)

TEMPORARY BENCHMARK #204 (T.B.M.)

A #5 REBAR W/CAP STAMPED "HMCG CONTROL NMPS 11184", SET IN DIRT NEAR THE NORTH END OF THE PROJECT SITE, APPROXIMATELY 349' SOUTH OF THE BACK OF CURB ON THE SOUTH SIDE OF WEST CIBOLA LOOP NW AND 47' WEST OF A DIRT ROAD RUNNING DOWN THE CENTER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET AND SHEET 4.

MODIFIED GROUND COORDINATES:
NORTHING = 1,531,357.44 FEET
EASTING = 1,516,704.85 FEET
ELEVATION = 5102.33 FEET (NAVD 1988)

TEMPORARY BENCHMARK #206 (T.B.M.)

A #5 REBAR W/CAP STAMPED "HMCG CONTROL NMPS 11184", SET IN DIRT NEAR THE SOUTHEAST CORNER OF THE PROJECT SITE, APPROXIMATELY 66' EAST OF A DIRT ROAD RUNNING DOWN THE CENTER OF THE PROJECT SITE AND 170' NORTH OF THE BACK OF CURB ON THE NORTH SIDE OF ELLISON DR NW, AS SHOWN ON THIS SHEET AND SHEET 5.

MODIFIED GROUND COORDINATES:
NORTHING = 1,530,781.43 FEET
EASTING = 1,516,671.67 FEET
ELEVATION = 5086.13 FEET (NAVD 1988)

LEGAL DESCRIPTION

TRACTS A-1, AND A-2, CIBOLA LOOP SUBDIVISION, ALBUQUERQUE, NEW MEXICO, PROJECTED SECTION 6, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M. (TOWN OF ALAMEDA GRANT). AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 14, 2017, BK. 2017C, PG. 17, DOC. NO. 2017013734.

EASEMENT

- 10' MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY EASEMENT, BEING 5' ON EACH SIDE OF CENTERLINE GRANTED BY DOCUMENT FILED 02-21-1986, BOOK 323A PAGE 942, DOC. NO. 1986015530.
- 10' NEW MEXICO UTILITIES SEWERLINE EASEMENT, GRANTED BY DOCUMENTS FILED 12-05-1974, BOOK 345 PAGE 971 AND AS DEPICTED ON PLAT FILED 02-14-2017, BOOK 2017C, PAGE 17.
- PUBLIC DRAINAGE EASEMENT, GRANTED BY DOCUMENTS FILED 05-05-1999, BOOK 9906 PAGE 9917, DOC. NO. 1999060060.
- 10' PUBLIC UTILITY EASEMENT, AS SHOWN ON PLAT FILED 12-21-1989, BOOK C40 PAGE 75.
- 50' RADIUS TEMPORARY TURNING EASEMENT, AS SHOWN ON PLAT FILED 11-08-1985, BOOK C28 PAGE 161.
- 12' MOUNTAIN BELL UNDERGROUND TELEPHONE EASEMENT, AS SHOWN ON PLAT FILED 11-08-1985, BOOK C28 PAGE 161.
- 10' PUBLIC UTILITY EASEMENT, GRANTED BY PLAT FILED 04-29-2009, BOOK 2009C PAGE 66.
- RECIPROCAL CROSS LOT ACCESS AND DRAINAGE EASEMENT FOR TRACTS A, B, C, THE JOINT USE AND BENEFIT OF AND TO BE MAINTAINED BY SAID BENEFICIARIES, GRANTED BY PLAT FILED 04-29-2009, BOOK 2009C PAGE 66.
- 40' WIDE PRIVATE ACCESS EASEMENT AND PRIVATE WATERLINE, SANITARY AND DRAINAGE EASEMENT, GRANTED BY DOCUMENTS FILED 02-14-2017, BOOK 2017C, PAGE 17.

CONTROL SURVEY NOTE

A CONTROL SURVEY WAS CONDUCTED AT THE SITE ON JANUARY 10, 2024. CONTROL WAS PROJECTED ONTO THE SUBJECT SITE UTILIZING RTK GPS OBSERVATIONS COMBINED WITH GEOID MODEL 18(CONUS) TO ESTABLISH HORIZONTAL AND VERTICAL POSITIONS BASED UPON NAD 83/NAVD 88 DATUM. THE RTK OBSERVATIONS WERE USED TO ESTABLISH THE TEMPORARY BENCHMARKS AT THE PROJECT SITE.

THE POINTS OBSERVED HAVE BEEN QUALITY CONTROLLED FOR RELATIVE ACCURACY. AN AGRS BENCHMARK "5-A13" IN THE VICINITY OF THE PROJECT WAS OBSERVED IN ORDER TO PROVIDE REFERENCE TIES TO THE SITE. ALL HORIZONTAL COORDINATES ARE MODIFIED NAD 83 GRID VALUES AND HAVE BEEN ADJUSTED TO THE GROUND AT THE PROJECTION POINT (THE SCALE FACTOR USED IS 1/CF=1.0003225529). THE CONTROL STATION USED TO PROJECT FROM GRID TO GROUND FOR THIS PROJECT IS THE PROJECT BENCHMARK "202" WITH NAD GRID COORDINATES OF:

NORTHING= 1,530,887.18 FEET
EASTING= 1,516,155.43 FEET
ELEVATION= 5090.57 FEET

THE ELEVATIONS ARE BASED UPON THE NAVD DATUM AND REQUIRE NO FURTHER ADJUSTMENT.

SUBSURFACE UTILITY ENGINEERING (SUE) QUALITY LEVEL DESCRIPTIONS

- QUALITY LEVEL A (QLA) - UTILITY COMPOSITION, SIZE AND PRECISE VERTICAL AND HORIZONTAL POSITION OF DESIGNATED UTILITY LINE OBTAINED THROUGH NON-DESTRUCTIVE METHODS OF EXCAVATION. ALSO REFERRED TO AS POTHOLING OR DAYLIGHTING.
- QUALITY LEVEL B (QLB) - HORIZONTAL UTILITY LOCATIONS ASCERTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODOLOGIES AND UTILITY LOCATING TECHNIQUES. ALSO REFERRED TO AS DESIGNATION OR LINE-SPOTTING.
- QUALITY LEVEL C (QLC) - SURVEYING OF VISIBLE SURFACE FEATURES.
- QUALITY LEVEL D (QLD) - UTILITY INFORMATION DERIVED FROM EXISTING UTILITY RECORDS AND VARIOUS OTHER RESOURCES OF UTILITY INFORMATION INCLUDING BUT NOT LIMITED TO: RECORD OR AS-BUILT DRAWINGS, SITE UTILITY PLANS, DISTRIBUTION AND SERVICE MAPS, EXISTING GEOGRAPHIC INFORMATION SYSTEM (GIS) DATABASES, ORAL RECOLLECTIONS, ETC.

SUBSURFACE UTILITY NOTES

- UTILITIES SHOWN ARE A DEPICTION OF VISIBLE UTILITY FEATURES AND ASCERTAINABLE SUBSURFACE UTILITY LOCATIONS THAT HAVE BEEN DESIGNATED AND/OR OBSERVED BY, AND SUBSEQUENTLY SURVEYED BY HIGH MESA CONSULTING GROUP, AS A GENERAL GUIDELINE, ASCE STANDARD 38-22 (STANDARD GUIDELINE FOR INVESTIGATING AND DOCUMENTING EXISTING UTILITIES) HAS BEEN FOLLOWED FOR GATHERING AND PRESENTING THE LEVEL OF UTILITY INFORMATION THAT HAS BEEN REQUESTED FOR THIS PROJECT. SUBSURFACE UTILITY ENGINEERING (SUE) QUALITY LEVELS B, C AND D HAVE BEEN COMPLETED AT THIS TIME.
- SURFACE GEOPHYSICAL LOCATING AND SUBSURFACE UTILITY DESIGNATION (SUE - QLB) EFFORTS HAVE BEEN BASED UPON VARIOUS RESOURCES OF UTILITY INFORMATION ALONG WITH CURRENT SITE CONDITIONS INCLUDING ACCESSIBLE SURFACE FEATURES OBSERVED WITHIN THE PROJECT LIMITS. RESULTS OF THIS EFFORT HAVE BEEN CORRELATED TO EXISTING RECORD DRAWINGS (OR OTHER RESOURCES OF UTILITY INFORMATION) THAT WERE AVAILABLE AT THE TIME THIS WORK WAS PERFORMED. UTILITY LOCATIONS THAT COULD NOT BE ASCERTAINED THROUGH SURFACE GEOPHYSICAL LOCATING METHODS, BUT WERE RECONCILED FROM UTILITY RECORDS, HAVE BEEN IDENTIFIED AND LABELED ON THIS SURVEY ACCORDINGLY. ADDITIONALLY, ANY DISCOVERED DISCREPANCIES RELATED TO THE RECORD DRAWINGS, UTILITY CONNECTIVITY OR PUBLIC UTILITY RESPONSE HAVE BEEN DOCUMENTED. REFER TO KEYED SUBSURFACE UTILITY NOTES ON SHEET 6 AND 7 FOR LOCATIONS AND SUBSURFACE UTILITY KEYED NOTES FOR DETAILS.
- PUBLICLY-OWNED UTILITIES REPRESENTED ON THIS SURVEY HAVE BEEN IDENTIFIED BY THE OWNER IN RESPONSE TO HMCG NM811 DESIGN LOCATE REQUEST (NM811 TICKET 24JAO30354 01/03/24 11:38AM) AND/OR THROUGH SUPPLEMENTAL DESIGNATION EFFORTS BY HMCG BASED UPON SURFACE EVIDENCE AND VARIOUS OTHER RESOURCES OF UTILITY INFORMATION OBTAINED FROM THE OWNER AT THE ONSET OF THE PROJECT. A LIST OF UTILITY OWNERS REGISTERED WITH NM811 HAS BEEN PROVIDED BELOW:

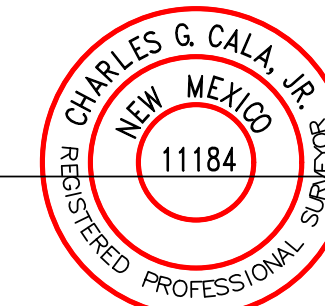
NM811 UTILITY OWNER/OPERATOR LIST	
NAME	*TELEPHONE NUMBER
ALBUQUERQUE/BERNALILLO COUNTY WUA	1-505-842-9287
CENTURYLINK LOCAL NETWORK CENTRAL	1-800-283-4237
CITY OF ALBUQUERQUE (C.O.A.)	1-505-857-8044
C.O.A.-STORM DRAINS	1-505-857-8022
C.O.A.- STREET LIGHTING DEPT.	1-505-508-0744
C.O.A.- STREET LIGHTING DEPT.	1-505-857-8689
COMCAST - ALBUQUERQUE	1-800-778-9140
MCI CABLE SEC	1-919-414-2782
NEW MEXICO GAS COMPANY - ALBUQUERQUE	1-505-934-5853
PNM ELECTRIC - ALBUQUERQUE	1-505-463-0024
UNITE PRIVATE NETWORKS, LLC	1-816-368-9039

*TELEPHONE NUMBERS OBTAINED THROUGH NM811 WEB PORTAL
- THIS UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THIS UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.

SURVEYORS CERTIFICATION

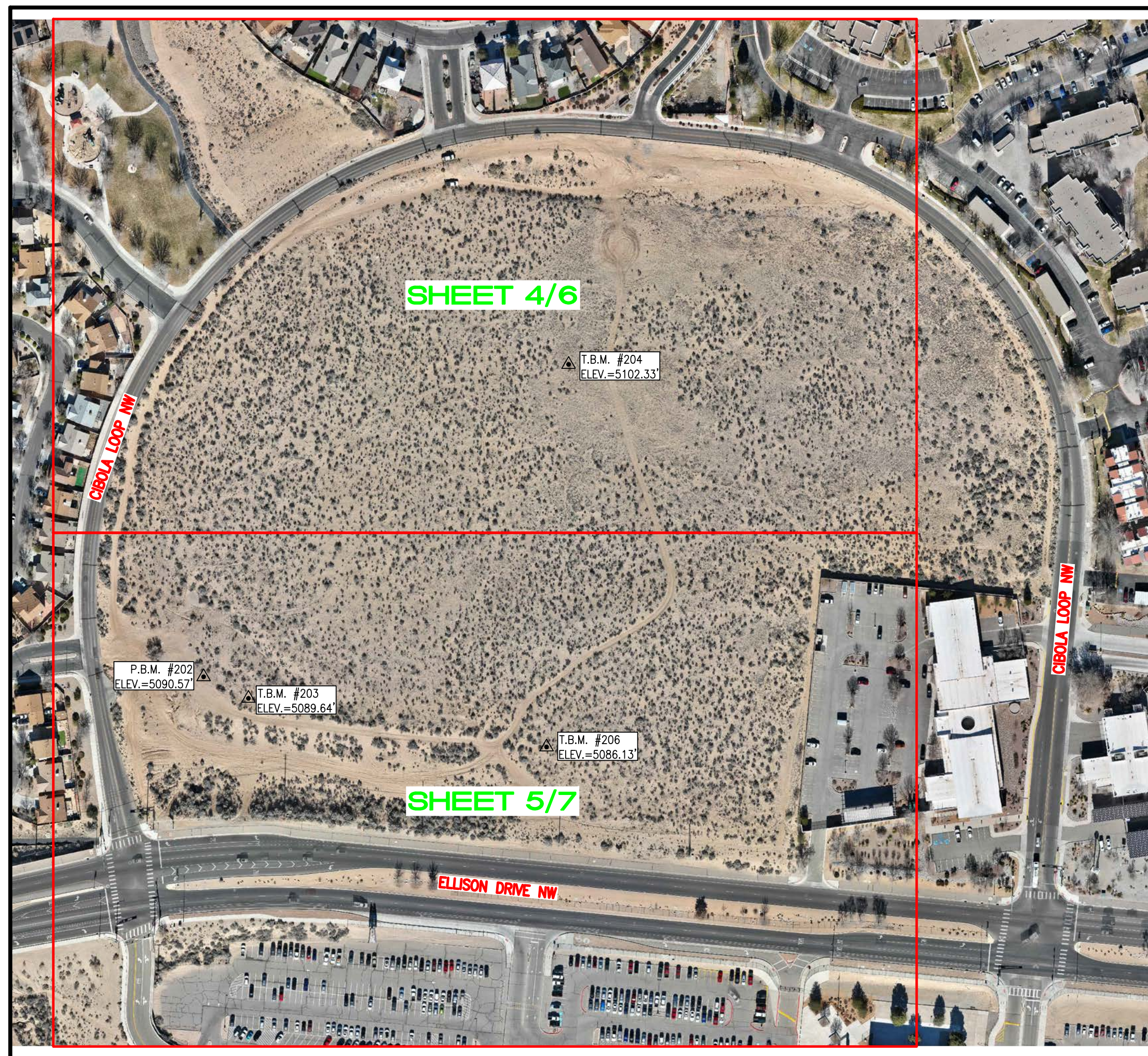
I, CHARLES G. CALA, JR., NEW MEXICO PROFESSIONAL SURVEYOR NO. 11184, DO HEREBY CERTIFY: THAT THIS BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Charles G. Cala, Jr.
CHARLES G. CALA, JR., NMPS 11184

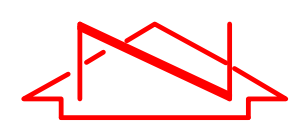


February 23, 2024
DATE

SHEET LAYOUT
SCALE: 1"=150'



File Name: P:\data\2024\0204.001.2\SUR\20240012_BNDY.dwg - SHEET 1 Plot Date: 2/23/24 Plot Time: 10:31



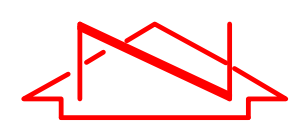
SURVEYED BY	M.V.Z.	NO.	DATE	BY	REVISIONS	JOB NO.	2024.001.2
	DATE						02-2024
DRAWN BY	A.J.P.					SHEET	1 OF 7
APPROVED BY	C.G.C.						



File Name: P:\data\2024\2024.001.2\SUB\20240012_BNDY.dwg - SHEET 2 Plot Date: 2/23/24 Plot Time: 10:34



6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacg.com | bowman.com



SCALE: 1" = 60'

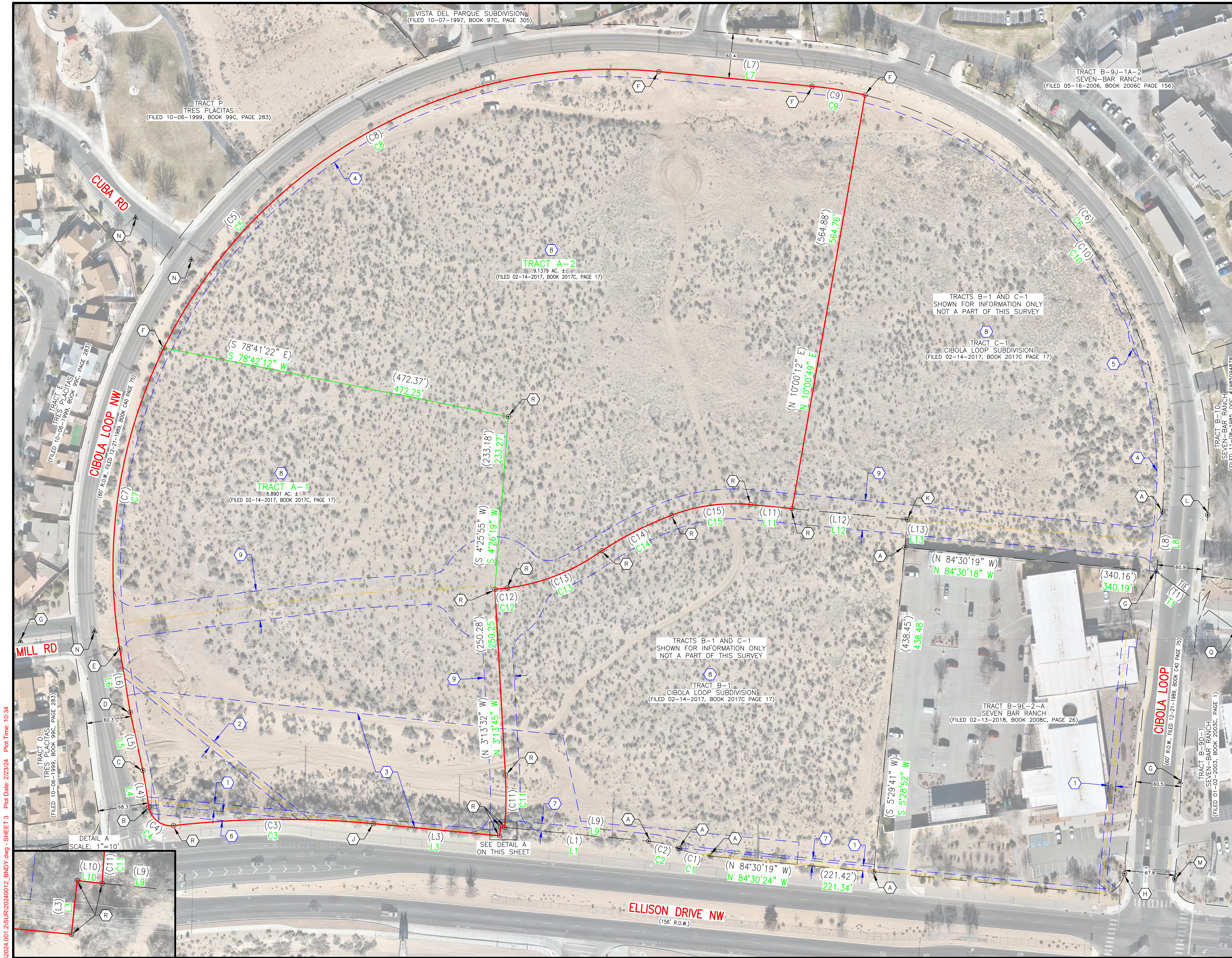


**DIGITAL ORTHOPHOTO
CIBOLA LOOP
ALBUQUERQUE, NM**

SURVEYED BY M.V.Z.
DRAWN BY A.J.P.
APPROVED BY C.G.C.

NO.	DATE	BY	REVISIONS

JOB NO. **2024.001.2**
DATE **02-2024**
SHEET **2** OF **7**



BOUNDARY TABLE

LINE	DIRECTION	DISTANCE
L1	N 84°27'31" W	200.07'
(L1)	N 84°30'19" W	200.08'
L2	S 6°06'27" W	12.12'
(L2)	S 5°29'41" W	12.00'
L3	N 84°29'47" W	170.35'
(L3)	N 84°30'19" W	170.46'
L4	N 9°23'51" W	50.00'
(L4)	N 9°23'51" W	50.00'
L5	N 12°15'36" W	80.10'
(L5)	N 12°15'36" W	80.10'
L6	N 9°23'51" W	86.78'
(L6)	N 9°23'51" W	86.78'
L7	S 84°31'26" E	207.04'
(L7)	S 84°30'19" E	207.09'
L8	S 5°34'59" E	81.43'
(L8)	S 5°29'41" W	81.50'
L9	N 84°29'26" W	194.48'
(L9)	N 84°30'19" W	194.50'
L10	N 83°20'47" W	5.59'
(L10)	N 84°30'19" W	5.58'
L11	S 84°36'05" E	56.17'
(L11)	S 84°33'00" E	56.18'
L12	S 84°32'08" E	156.00'
(L12)	S 84°33'00" E	156.06'
L13	S 5°29'51" W	37.49'
(L13)	S 5°29'41" W	37.49'
T1	S 53°47'12" E	907.38'
(T1)	S 53°45'54" E	906.69'

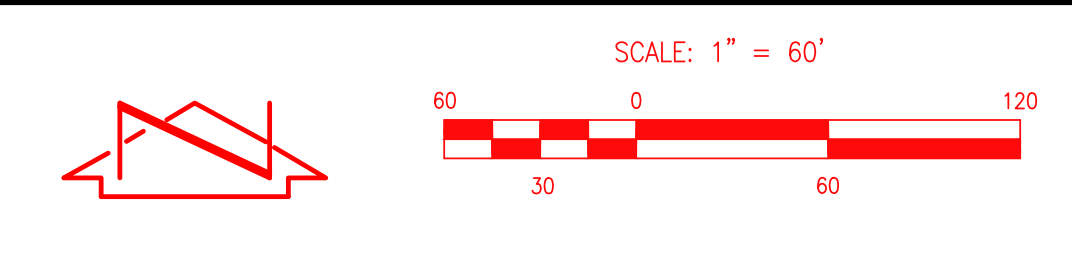
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	150.00'	42.70'	N 76°22'52" W	42.55'	16°18'35"
(C1)	150.00'	42.57'	N 76°22'31" W	42.43'	16°15'37"
C2	150.00'	42.45'	N 76°26'41" W	42.31'	16°12'50"
(C2)	150.00'	42.57'	N 76°22'31" W	42.43'	16°15'37"
C3	1278.00'	269.51'	S 89°26'54" W	269.01'	12°04'58"
(C3)	1278.00'	269.61'	S 89°27'04" W	269.11'	12°05'14"
C4	30.00'	45.71'	N 53°07'01" W	41.42'	87°18'20"
(C4)	30.00'	45.66'	N 52°59'42" W	41.38'	87°11'42"
C5	670.00'	1226.36'	N 43°02'49" E	1062.19'	104°52'25"
(C5)	670.00'	1226.58'	N 43°02'55" E	1062.33'	104°53'32"
C6	524.00'	823.17'	S 39°30'30" E	741.10'	90°00'30"
(C6)	524.00'	823.10'	S 39°30'19" E	741.05'	90°00'00"
C7	670.00'	415.68'	N 8°21'51" E	409.04'	35°32'49"
(C7)	670.00'	415.66'	N 8°22'32" E	409.03'	35°32'46"
C8	670.00'	810.91'	N 60°49'41" E	762.31'	69°20'44"
(C8)	670.00'	810.91'	N 60°49'18" E	762.32'	69°20'46"
C9	524.00'	72.47'	S 80°31'55" E	72.41'	7°55'28"
(C9)	524.00'	72.42'	S 80°32'46" E	72.36'	7°55'06"
C10	524.00'	750.68'	S 35°32'51" E	688.11'	82°04'54"
(C10)	524.00'	750.68'	S 35°32'46" E	688.11'	82°04'54"
C11	500.06'	70.20'	N 0°46'48" E	70.14'	8°02'37"
(C11)	500.06'	70.19'	N 0°47'43" E	70.13'	8°02'30"
C12	1045.12'	16.64'	N 83°01'28" E	16.64'	0°54'44"
(C12)	1045.12'	16.67'	N 83°23'37" E	16.67'	0°54'49"
C13	274.24'	138.46'	N 68°30'51" E	136.99'	28°55'38"
(C13)	274.24'	138.37'	N 68°28'56" E	136.91'	28°54'34"
C14	492.66'	105.07'	N 63°01'25" E	104.88'	12°13'12"
(C14)	492.66'	105.15'	N 63°02'06" E	104.95'	12°13'45"
C15	236.00'	108.25'	N 82°18'04" E	107.30'	26°16'49"
(C15)	236.00'	108.33'	N 82°17'59" E	107.38'	26°18'02"

- MONUMENTS**
- (A) FOUND #4 REBAR W/ CAP STAMPED "ALDRICH NMPS 7719"
 - (B) FOUND #5 REBAR W/ CAP STAMPED "S TOLER NMPS 11599", TAGGED WITH WASHER STAMPED "PS 11184"
 - (C) FOUND #5 REBAR W/ CAP ILLEGIBLE, (BENT), REPLACED WITH #5 REBAR W/ CAP STAMPED "NEW MEXICO PS 11184"
 - (D) FOUND #5 REBAR NO CAP, (BENT), WITH WASHER STAMPED "COMBS PS 23200" REPLACED WITH #5 REBAR W/ CAP STAMPED "NEW MEXICO PS 11184"
 - (E) FOUND #4 REBAR W/ CAP ILLEGIBLE, (BENT), REPLACED WITH #5 REBAR W/ CAP STAMPED "NEW MEXICO PS 11184"
 - (F) FOUND #4 REBAR W/ CAP STAMPED "ALDRICH NMPS 7719", WITH WASHER STAMPED "COMBS PS 23200", TAGGED WITH WASHER STAMPED "PS 11184"
 - (G) FOUND CHISLED "X" IN CONCRETE
 - (H) FOUND #5 REBAR W/ CAP STAMPED "HUGG LS 8686"
 - (J) FOUND #5 REBAR W/ CAP STAMPED "NMPS 11599", TAGGED WITH WASHER STAMPED "PS 11184"
 - (K) FOUND #4 REBAR W/ CAP ILLEGIBLE
 - (L) FOUND #5 REBAR NO CAP
 - (M) FOUND #4 REBAR W/ CAP STAMPED "L. MEDRANO PS 11993"
 - (N) FOUND ALUMINUM CAP STAMPED "COA CL MON PLS 7719 1999"
 - (P) FOUND ALUMINUM CAP STAMPED "COA CL MON PLS 6544 1998"
 - (Q) FOUND ARGV BRASS DISK STAMPED "5_A13" (HMCG POINT #201)
 - (R) FOUND #4 REBAR W/ CAP STAMPED "ALDRICH NMPS 7719", TAGGED WITH WASHER STAMPED "PS 11184"

RECORD BEARINGS AND DISTANCES FROM THE FOLLOWING DOCUMENTS:
 () BOUNDARY SURVEY BULK PLAT OF TRACTS A-1, A-2, B-1 AND C-1, CIBOLA LOOP SUBDIVISION, FILED 02/14/2017, BOOK 2017C, PAGE 17, DOC. #2017013734

File Name: P:\data\2024\0024.001.2\SUB\20240012_BNDY.dwg - SHEET 3 Plot Date: 2/23/24 Plot Time: 10:34

HIGH MESA
 a Bowman company
 6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
 P:505.345.4250 highmesacg.com | bowman.com



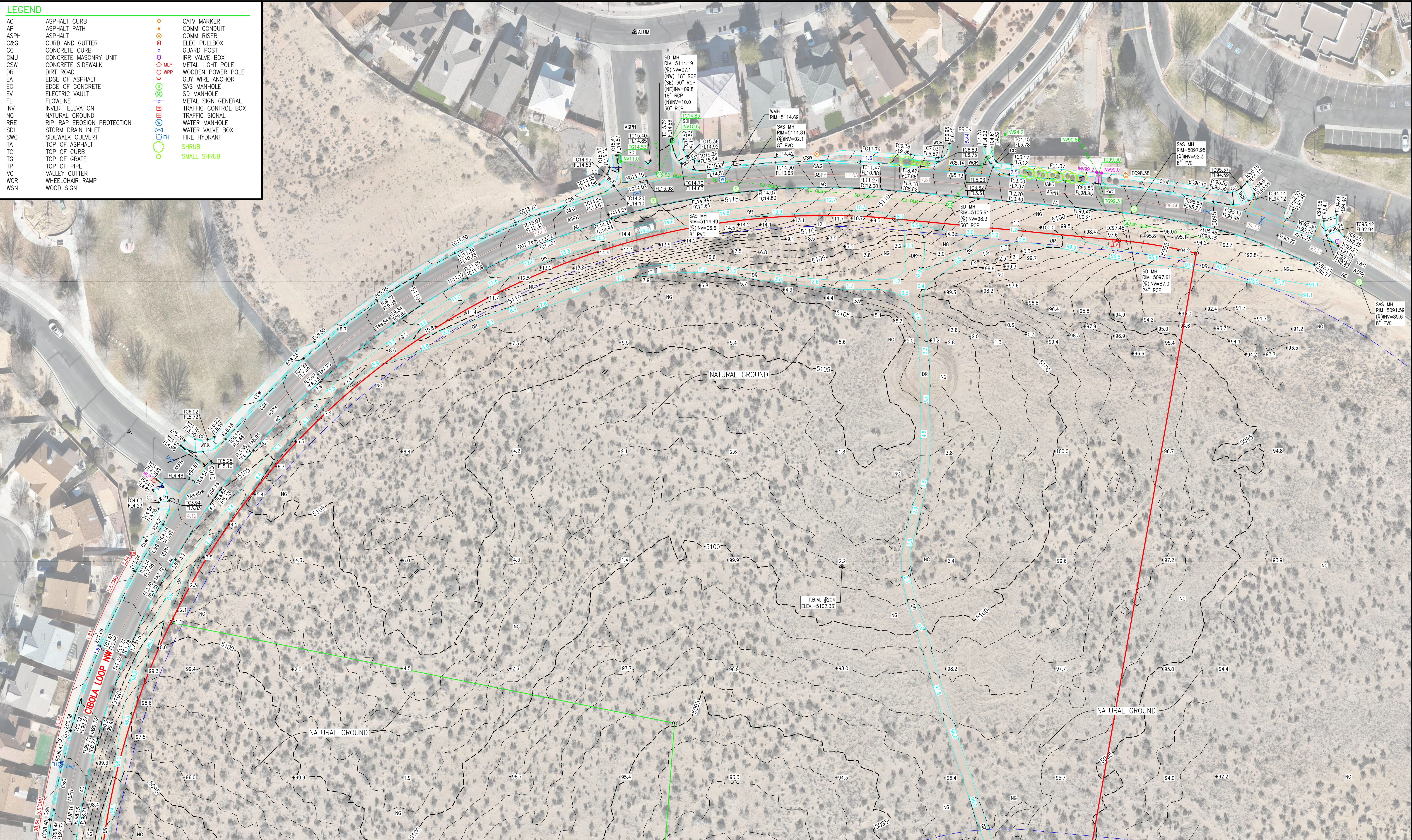
**BOUNDARY SURVEY
 CIBOLA LOOP
 ALBUQUERQUE, NM**

SURVEYED BY: M.V.Z.
 DRAWN BY: A.J.P.
 APPROVED BY: C.G.C.

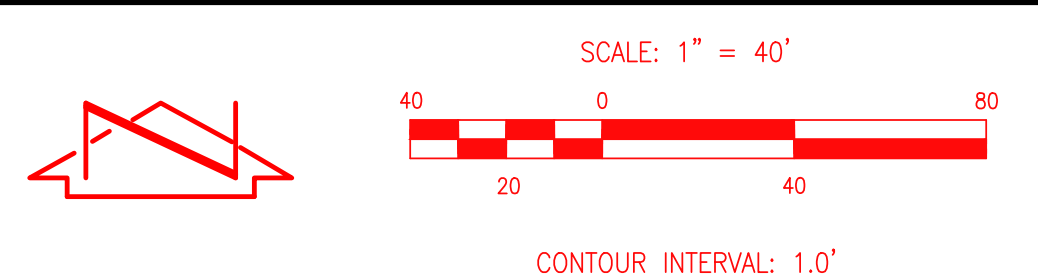
NO.	DATE	BY	REVISIONS	JOB NO.
				2024.001.2
				02-2024
				SHEET 3 OF 7

LEGEND

- | | | | |
|------|----------------------------|---|---------------------|
| AC | ASPHALT CURB | ● | CATV MARKER |
| AP | ASPHALT PATH | ○ | COMM CONDUIT |
| ASPH | ASPHALT | ○ | COMM RISER |
| C&G | CURB AND GUTTER | ○ | ELEC PULLBOX |
| CC | CONCRETE CURB | ○ | GUARD POST |
| CMU | CONCRETE MASONRY UNIT | ○ | IRR VALVE BOX |
| CSW | CONCRETE SIDEWALK | ○ | METAL LIGHT POLE |
| DR | DIRT ROAD | ○ | WOODEN POWER POLE |
| EA | EDGE OF ASPHALT | ○ | GUY WIRE ANCHOR |
| EC | EDGE OF CONCRETE | ○ | SAS MANHOLE |
| EV | ELECTRIC VAULT | ○ | SD MANHOLE |
| FL | FLOWLINE | ○ | METAL SIGN GENERAL |
| INV | INVERT ELEVATION | ○ | TRAFFIC CONTROL BOX |
| NG | NATURAL GROUND | ○ | WATER MANHOLE |
| RRE | RIP-RAP EROSION PROTECTION | ○ | WATER VALVE BOX |
| SDI | STORM DRAIN INLET | ○ | FIRE HYDRANT |
| SWC | SIDEWALK CULVERT | ○ | |
| TA | TOP OF ASPHALT | ○ | |
| TC | TOP OF CURB | ○ | |
| TG | TOP OF GRATE | ○ | |
| TP | TOP OF PIPE | ○ | |
| VG | VALLEY GUTTER | ○ | |
| WCR | WHEELCHAIR RAMP | ○ | |
| WSN | WOOD SIGN | ○ | |



MATCHLINE SHEET 5

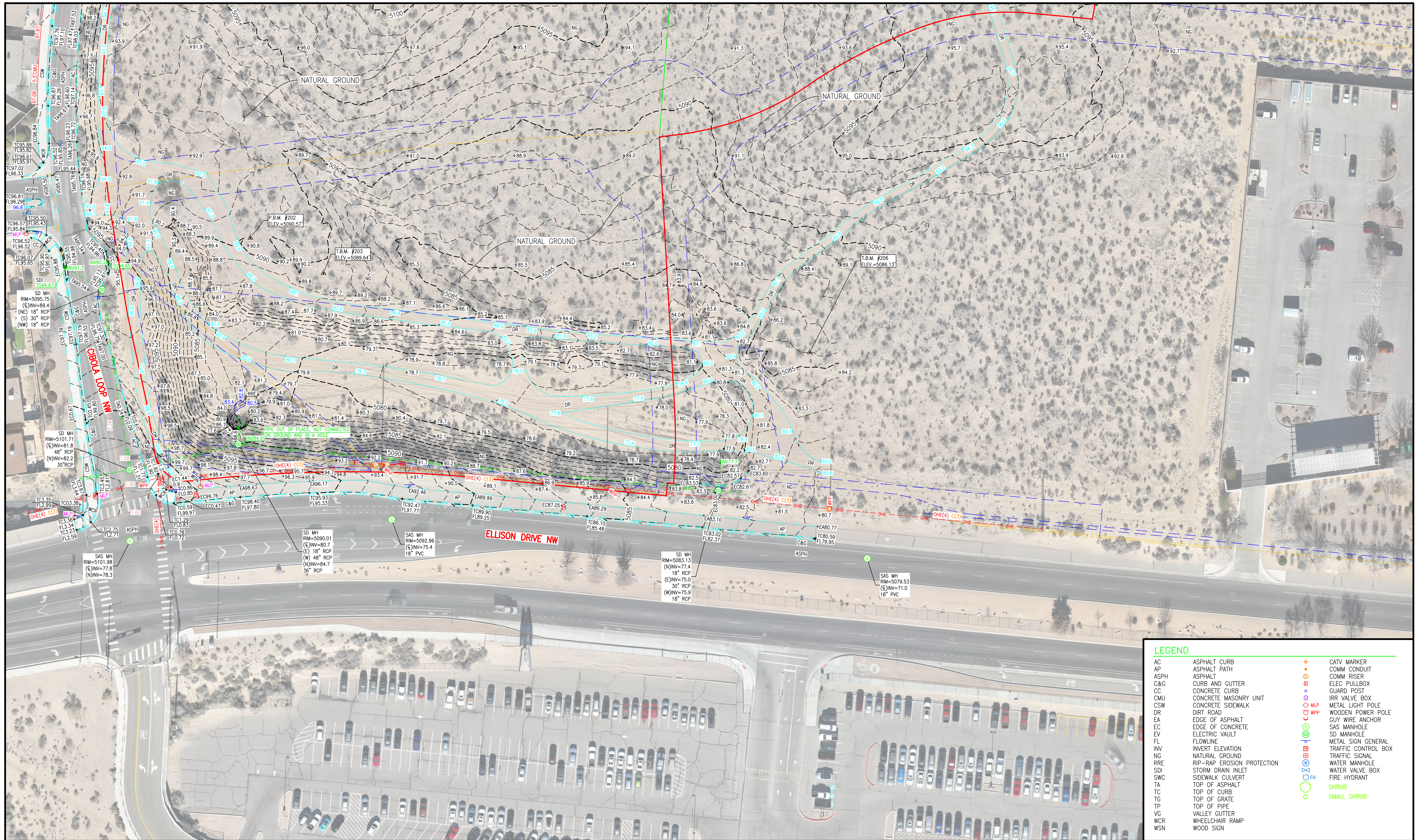


**TOPOGRAPHIC SURVEY - NORTH PORTION
CIBOLA LOOP
ALBUQUERQUE, NM**

SURVEYED BY: M.V.Z. DRAWN BY: A.J.P. APPROVED BY: C.G.C.	NO.	DATE	BY	REVISIONS	JOB NO.
					2024.001.2
					DATE: 02-2024
					SHEET 4 OF 7

File Name: P:\data\2024\0204\001.2\SUR\20240012_BNDY.dwg - SHEET 4 - Plot Date: 2/23/24 - Plot Time: 10:35

MATCHLINE SHEET 4

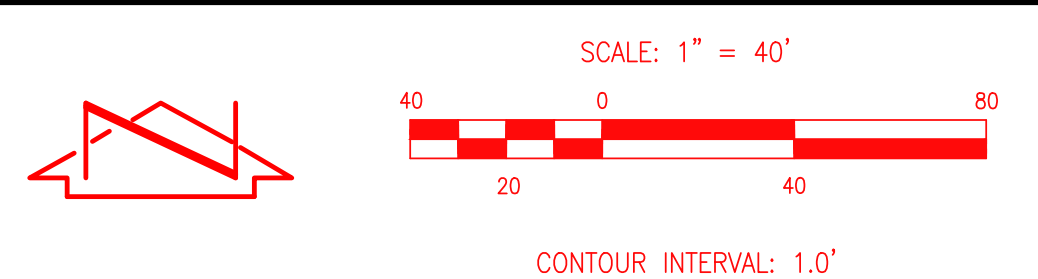


LEGEND

AC	ASPHALT CURB	●	CATY MARKER
AP	ASPHALT PATH	○	COMM CONDUIT
ASPH	ASPHALT	○	COMM RISER
C&G	CURB AND GUTTER	○	ELEC PULLBOX
CC	CONCRETE CURB	○	GUARD POST
CMU	CONCRETE MASONRY UNIT	○	IRR VALVE BOX
CSW	CONCRETE SIDEWALK	○	METAL LIGHT POLE
DR	DIRT ROAD	○	WOODEN POWER POLE
EA	EDGE OF ASPHALT	○	CUY WIRE ANCHOR
EC	EDGE OF CONCRETE	○	SAS MANHOLE
EV	ELECTRIC VAULT	○	SD MANHOLE
FL	FLOWLINE	○	METAL SIGN GENERAL
INV	INVERT ELEVATION	○	TRAFFIC CONTROL BOX
NG	NATURAL GROUND	○	TRAFFIC SIGNAL
RRE	RIP-RAP EROSION PROTECTION	○	WATER MANHOLE
SDI	STORM DRAIN INLET	○	WATER VALVE BOX
SWC	SIDEWALK CULVERT	○	FIRE HYDRANT
TA	TOP OF ASPHALT	○	SHRUB
TC	TOP OF CURB	○	SMALL SHRUB
TG	TOP OF GRATE	○	
TP	TOP OF PIPE	○	
VG	VALLEY GUTTER	○	
WCR	WHEELCHAIR RAMP	○	
WSN	WOOD SIGN	○	

File Name: P:\data\2024\0024.001.2\SUB\20240012_BNDY.dwg - SHEET 5 Plot Date: 2/23/24 Plot Time: 10:35

HIGH MESA
a Bowman company
6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacog.com | bowman.com



**TOPOGRAPHIC SURVEY - SOUTH PORTION
CIBOLA LOOP
ALBUQUERQUE, NM**

SURVEYED BY	M.V.Z.	NO.	DATE	BY	REVISIONS	JOB NO.	2024.001.2
DRAWN BY	A.J.P.					DATE	02-2024
APPROVED BY	C.G.C.					SHEET	5 OF 7



APWA UTILITY COLOR CODE UTILITY LINE TYPES

SUE QUALITY LEVEL B (QLB)—SOURCE: DESIGNATION/PAINT MARK

RED — ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES	— E QLB — E QLB — E QLB —
YELLOW — GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS	— G QLB — G QLB — G QLB —
ORANGE — COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT	— C QLB — C QLB — C QLB —
ORANGE — COMMUNICATION, FIBER OPTIC LINES	— FO QLB — FO QLB — FO QLB —
ORANGE — CABLE TELEVISION	— CTV QLB — CTV QLB — CTV QLB —
BLUE — POTABLE WATER	— W QLB — W QLB — W QLB —
GREEN — SANITARY SEWER AND DRAIN LINES	— SAS QLB — SAS QLB — SAS QLB —
GREEN — STORM SEWER AND DRAIN LINES	— SD QLB — SD QLB — SD QLB —
RED — TRAFFIC SIGNALS	— TS QLB — TS QLB — TS QLB —

SUE QUALITY LEVEL D (QLD)—SOURCE: RECORD DRAWING/RESOURCE OF UTILITY INFORMATION

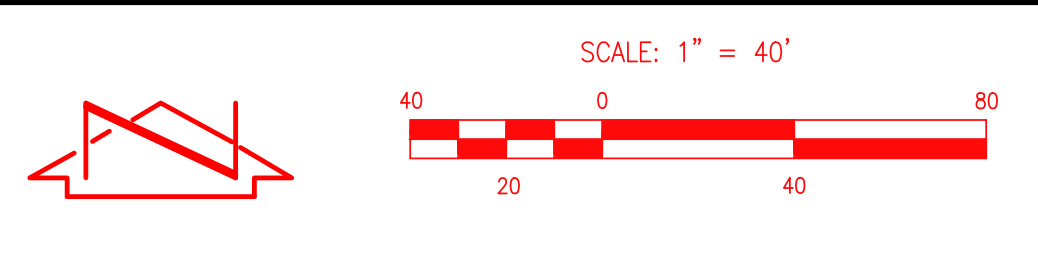
BLUE — WATER	— W QLD — W QLD — W QLD —
GREEN — SANITARY SEWER AND DRAIN LINES	— SAS QLD — SAS QLD — SAS QLD —
ELECTRIC OVERHEAD LINE	— OHE — OHE — OHE —

- SUBSURFACE UTILITY KEY NOTES**
- THE EXACT LOCATION OF THE WATER LINE COULD NOT BE ASCERTAINED THROUGH THIS GEOPHYSICAL INVESTIGATION. THE WATER LINE IS DEPICTED ON THIS SURVEY IN AN APPROXIMATE MANNER BASED UPON RECORD DRAWINGS OR OTHER RESOURCES OF UTILITY INFORMATION.
 - THE EXACT LOCATION OF THE GAS LINE COULD NOT BE ASCERTAINED THROUGH THIS GEOPHYSICAL INVESTIGATION. THE GAS LINE IS DEPICTED ON THIS SURVEY IN AN APPROXIMATE MANNER BASED UPON RECORD DRAWINGS OR OTHER RESOURCES OF UTILITY INFORMATION.
 - DETECTABLE DUCT ROD COULD NOT BE INSERTED BEYOND THIS POINT TO COMPLETE DESIGNATION OF STORM DRAIN PIPELINE. DESIGNATION IS INCOMPLETE.
 - PUBLICLY OWNED WATER LINE DESIGNATED BY OTHERS.

MATCHLINE SHEET 7

File Name: P:\data\2024\0024.001.2\SUB\20240012_BNDY.dwg - SHEET 6 - Plot Date: 2/23/24 - Plot Time: 10:36

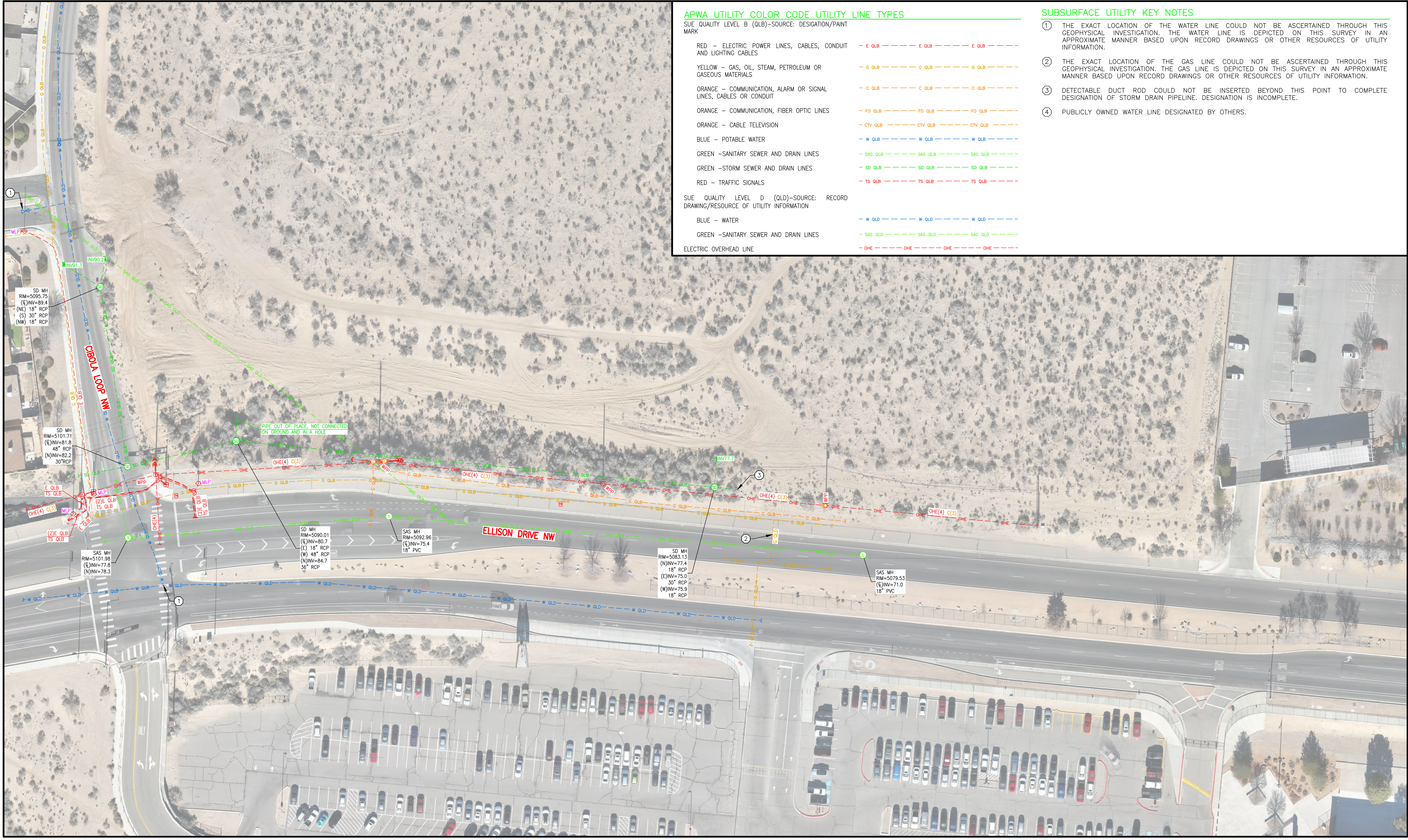
HIGH MESA
a Bowman company
6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacg.com | bowman.com



**UTILITY SURVEY - NORTH PORTION
CIBOLA LOOP
ALBUQUERQUE, NM**

SURVEYED BY M.V.Z.	NO.	DATE	BY	REVISIONS	JOB NO. 2024.001.2
				DATE 02-2024	
				SHEET 6 OF 7	
DRAWN BY A.J.P.					
APPROVED BY C.G.C.					

MATCHLINE SHEET 6



APWA UTILITY COLOR CODE UTILITY LINE TYPES

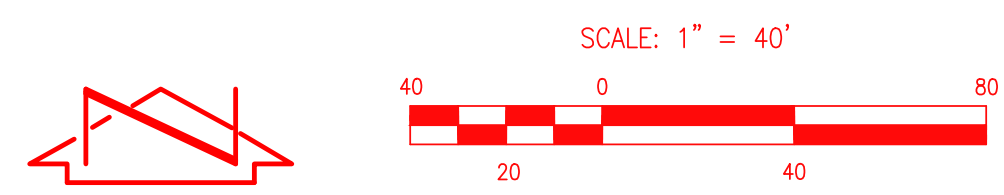
SUE QUALITY LEVEL B (QLB)-SOURCE: DESIGNATION/PAINT MARK		
RED - ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES	E QLB	E QLB
YELLOW - GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS	G QLB	G QLB
ORANGE - COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT	C QLB	C QLB
ORANGE - COMMUNICATION, FIBER OPTIC LINES	FO QLB	FO QLB
ORANGE - CABLE TELEVISION	CTV QLB	CTV QLB
BLUE - POTABLE WATER	W QLB	W QLB
GREEN - SANITARY SEWER AND DRAIN LINES	SAS QLB	SAS QLB
GREEN - STORM SEWER AND DRAIN LINES	SD QLB	SD QLB
RED - TRAFFIC SIGNALS	TS QLB	TS QLB
SUE QUALITY LEVEL D (QLD)-SOURCE: RECORD DRAWING/RESOURCE OF UTILITY INFORMATION		
BLUE - WATER	W QLD	W QLD
GREEN - SANITARY SEWER AND DRAIN LINES	SAS QLD	SAS QLD
ELECTRIC OVERHEAD LINE	OHE	OHE

SUBSURFACE UTILITY KEY NOTES

- THE EXACT LOCATION OF THE WATER LINE COULD NOT BE ASCERTAINED THROUGH THIS GEOPHYSICAL INVESTIGATION. THE WATER LINE IS DEPICTED ON THIS SURVEY IN AN APPROXIMATE MANNER BASED UPON RECORD DRAWINGS OR OTHER RESOURCES OF UTILITY INFORMATION.
- THE EXACT LOCATION OF THE GAS LINE COULD NOT BE ASCERTAINED THROUGH THIS GEOPHYSICAL INVESTIGATION. THE GAS LINE IS DEPICTED ON THIS SURVEY IN AN APPROXIMATE MANNER BASED UPON RECORD DRAWINGS OR OTHER RESOURCES OF UTILITY INFORMATION.
- DETECTABLE DUCT ROD COULD NOT BE INSERTED BEYOND THIS POINT TO COMPLETE DESIGNATION OF STORM DRAIN PIPELINE. DESIGNATION IS INCOMPLETE.
- PUBLICLY OWNED WATER LINE DESIGNATED BY OTHERS.

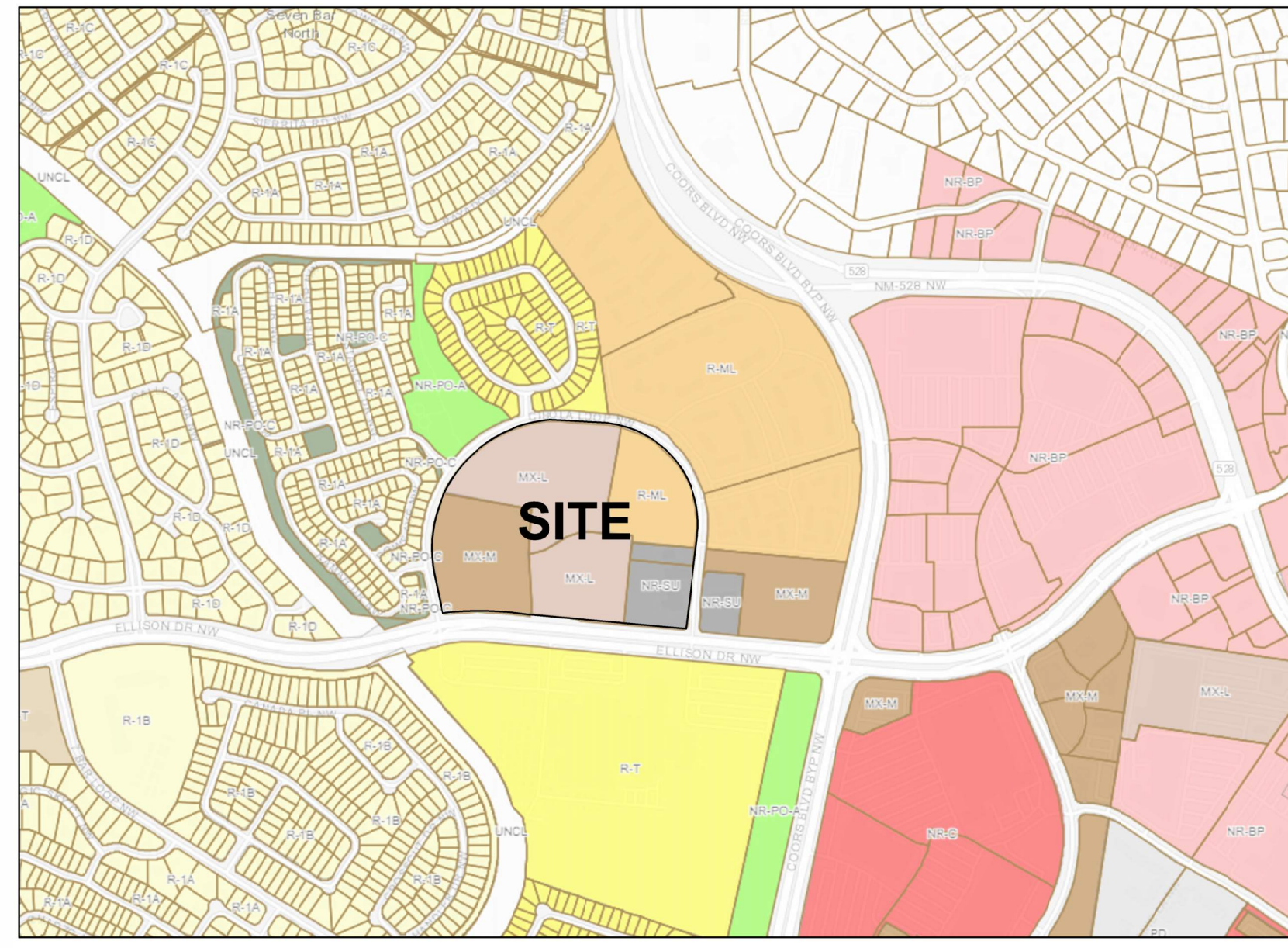
File Name: P:\data\2024\001-2\SUR\20240012_BNDY.dwg - SHEET 7 Plot Date: 2/23/24 Plot Time: 10:36

HIGH MESA
a Bowman company
6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacg.com | bowman.com

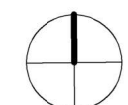


UTILITY SURVEY - SOUTH PORTION
CIBOLA LOOP
ALBUQUERQUE, NM

SURVEYED BY M.V.Z.	DRAWN BY A.J.P.	APPROVED BY C.G.C.	REVISIONS				NO.	DATE	BY	JOB NO. 2024.001.2
										DATE 02-2024
										SHEET 7 OF 7

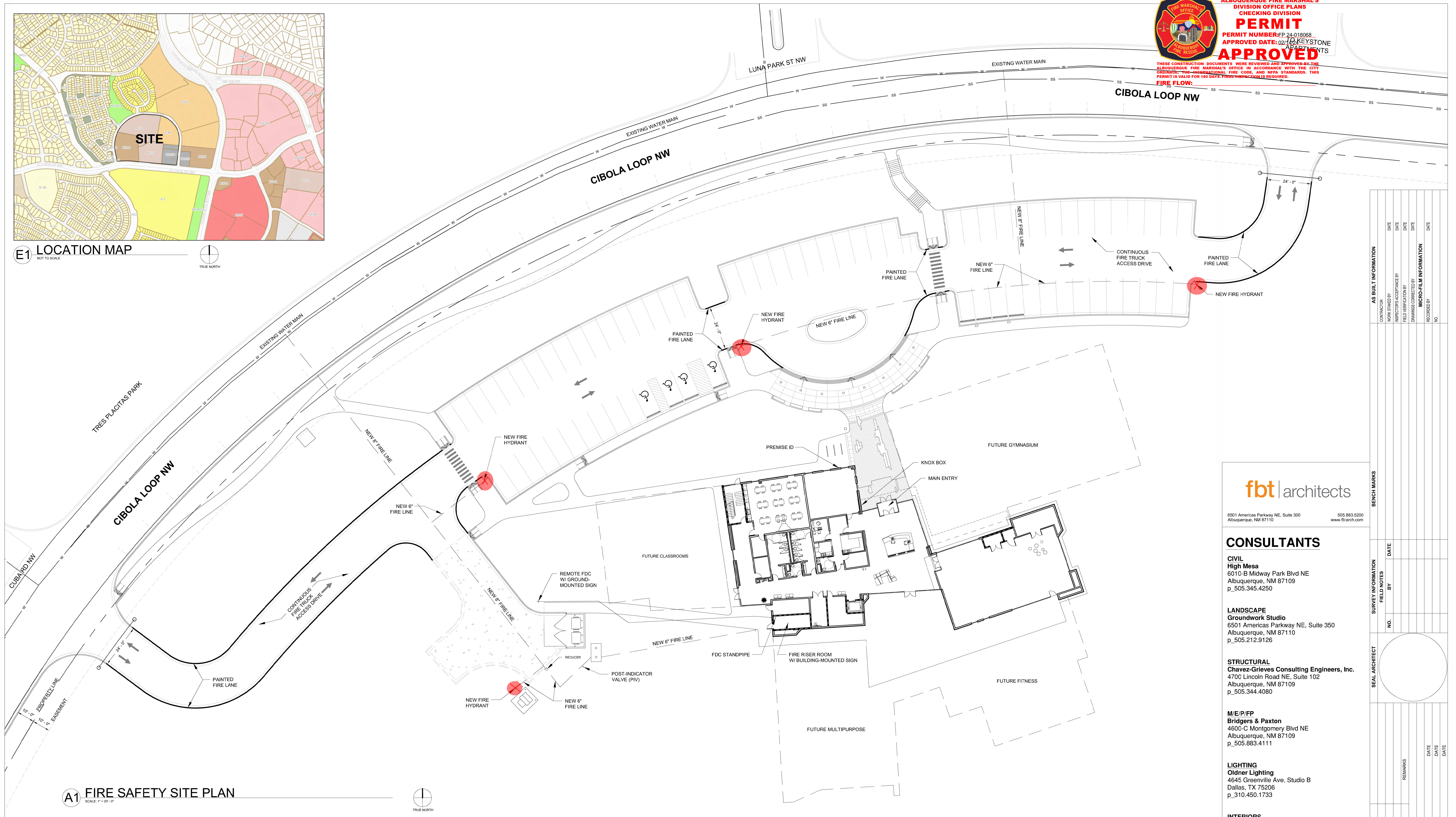


E1 LOCATION MAP
NOT TO SCALE

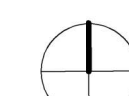


**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**
PERMIT
PERMIT NUMBER: EP 24-01898
APPROVED DATE: 02/14/2024
APPROVED
KEYSTONE
APARTMENTS

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FIRE INSPECTION IS REQUIRED.
FIRE FLOW:



A1 FIRE SAFETY SITE PLAN
SCALE: 1" = 20'-0"



CODE DATA

BUILDING ADDRESS	10751 CIBOLA LOOP NW ALBUQUERQUE, NM 87114
CONSTRUCTION TYPE	NEW CONSTRUCTION - IIB
OCCUPANT LOAD	MIXED OCCUPANCY - NON-SEPARATED USES A3 (ASSEMBLY GROUP) B (BUSINESS GROUP)
SQUARE FOOTAGE	FIRST LEVEL (PHASE 01): 11,107 GSF SECOND LEVEL (PHASE 01): 4,450 GSF (NON-OCCUPIED) TOTAL BUILDING (PHASE 01): 15,557 GSF FUTURE ADDITION: 39,443 GSF TOTAL BUILDING (COMPLETE BUILD): 55,000 GSF

SHOP DRAWINGS WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, KITCHEN SUPPRESSION SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM.

THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED WHEN REQUIRED BY THE 2021 INTERNATIONAL FIRE CODE.

BUILDING HEIGHT 30' - 0" ABOVE FINISH FLOOR LEVEL.

FIRE SEPARATION NO FIRE SEPARATION REQUIRED.

FIRE FLOW CALCULATIONS
PER 2015 IFC, APPENDIX B, TABLE B105.1
PROPOSED SHELL BUILDING: IIB @ 55,000 SF (COMPLETE BUILD)
= 5,000 GALLONS/MINUTE (4-HOUR DURATION)
50% REDUCTION = 2,500 GPM REQUIRED (2-HOUR DURATION)

FIRE HYDRANT DISTRIBUTION
PER 2015 IFC, APPENDIX C, TABLE C102.1
3 FIRE HYDRANT REQUIRED
4 FIRE HYDRANTS PROVIDED
AVERAGE SPACING BETWEEN HYDRANTS SHALL BE 675 FEET (450 FT + 50% SPACING INCREASE PER C102.1 F).
MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO HYDRANT SHALL BE 337.5 FEET (225 FT + 50% SPACING INCREASE PER C102.1 F).

GENERAL NOTES:

- ALL PARKING DRIVES TO BE ASPHALT CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.

AS BUILT INFORMATION

CONTRACTOR	DATE
WORKING BY	DATE
INSPECTORS ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CHECKED BY	DATE
RECORDED BY	DATE

BENCH MARKS

NO.	DATE

SURVEY INFORMATION

NO.	DATE

SEAL ARCHITECT

NO.	DATE

REMARKS

NO.	DATE	REMARKS

DESIGNED BY

NO.	DATE

CHECKED BY

NO.	DATE

fbt architects
6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110
505.883.5200
www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250

LANDSCAPE
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126

STRUCTURAL
Chavez-Grievens Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080

M/E/P/FP
Bridgers & Paxton
4600-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111

LIGHTING
Oldner Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733

INTERIORS
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

CITY OF ALBUQUERQUE

PROJECT TITLE:
**COA CIBOLA LOOP
MULTIGENERATIONAL CENTER**
10751 Cibola Loop NW
Albuquerque, NM 87114

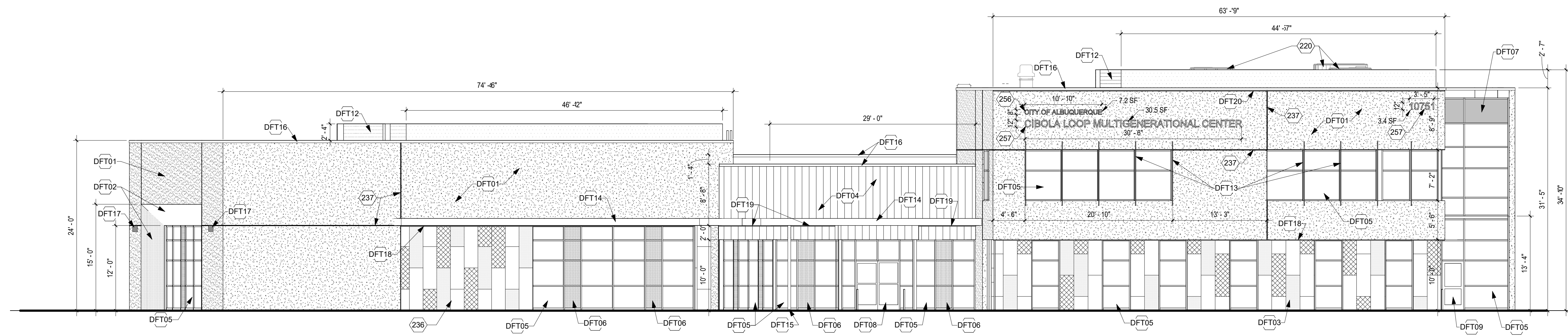
DESIGN DEVELOPMENT
FEBRUARY 2024

DRAWING TITLE: SHEET TITLE:
FIRE 1 FIRE 1 - ENLARGED SITE PLAN

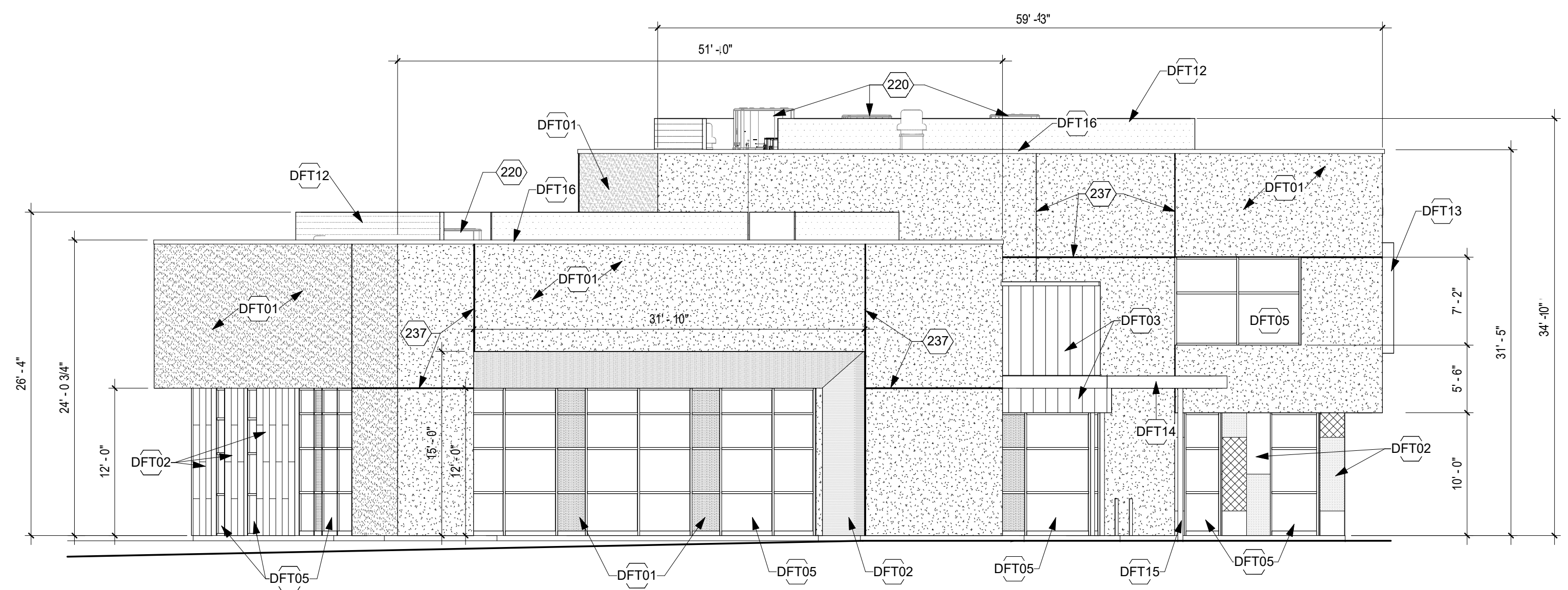
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. P7882.16 Zone Map No. A-13-Z DWG. FIRE 1 Sheet N.MORSE

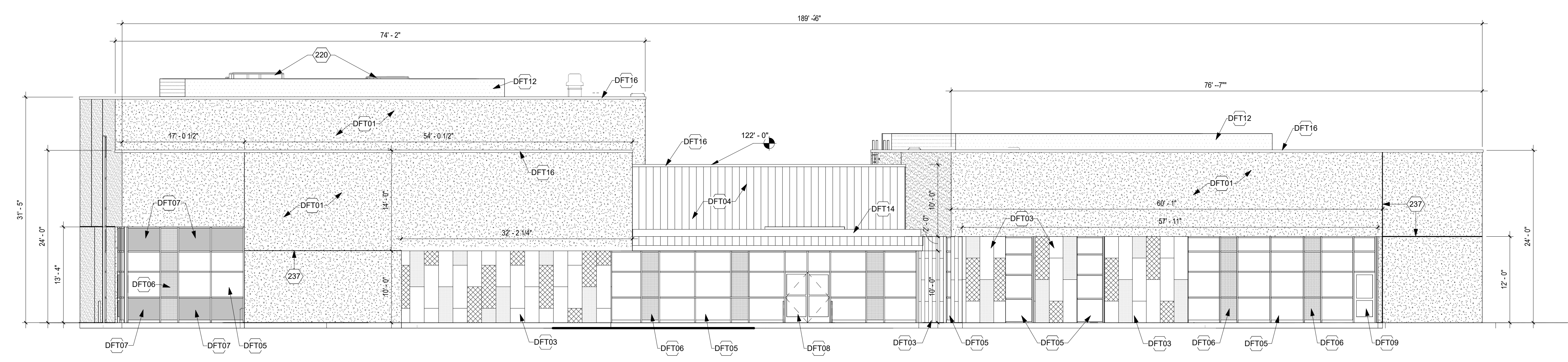
Building & Structure
Elevations
Documentation



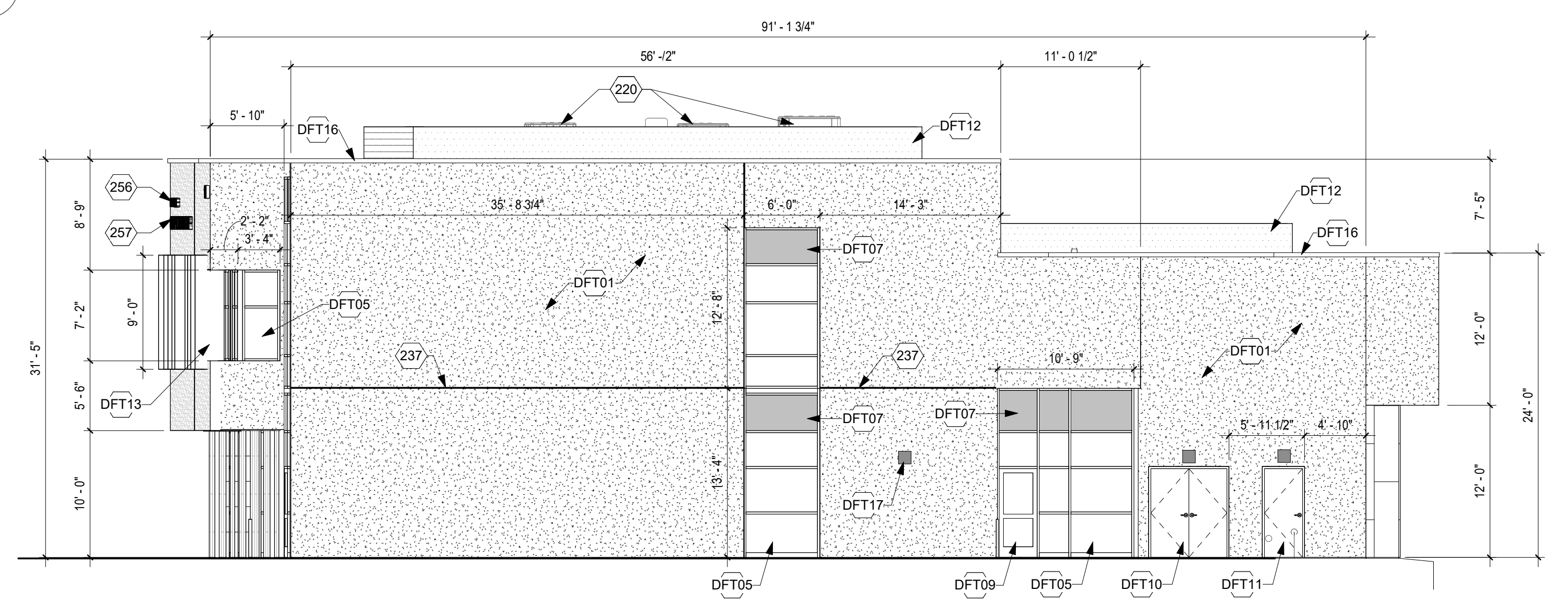
E1 NORTH ELEVATION
1/8" = 1'-0"



C1 EAST ELEVATION
1/8" = 1'-0"



B1 SOUTH ELEVATION
1/8" = 1'-0"



A1 WEST ELEVATION
1/8" = 1'-0"

GENERAL NOTES

- A. CIVIL ELEVATIONS OF 5106.0' = 107'-0" ON ARCHITECTURAL SHEETS. BEARING HEIGHTS ARE SHOWN FOR REFERENCE TO 100'-0" AND NOT INVIDUAL HEIGHTS ABOVE FINISHED FLOORS. COORDINATED WITH FLOOR PLAN DRAWINGS AND STRUCTURAL.
- B. ANY EXPOSED PENETRATIONS, FLASHINGS, VENTS, UNFINISHED MECHANICAL EQUIPMENT, UTILITY LINES, ETC. SHALL BE PAINTED TO COLOR AS SELECTED BY THE ARCHITECT. DO NOT PAINT PRE-FINISHED ITEMS.
- C. FURNISH AND INSTALL SEALANT AT INTERSECTION OF ALL DISSIMILAR MATERIALS.
- D. REFER TO CIVIL FOR ALL GRADING INFORMATION AROUND THE BUILDING.

EXTERIOR FINISH LEGEND

- EXTERIOR INSULATION AND FINISH SYSTEM (EIFS), WITH ANTI-GRAFFITI COATING. FIELD COLOR: SANDY SL33 (TAN). ACCENT COLOR: FALL FOLIAGE (BURNT ORANGE).
- 1" - 0" WIDE FLUSH ALUMINUM WALL PANELS. COLOR: WEATHERED COPPER (SPECKLED).
- 2" WIDE ALUMINUM WALL PANELS WITH REVEAL JOINTS, RUNNING BOND (1/2 OFFSET). TYPICAL COLOR: GREEN (3 VARIATIONS), TYPICAL COLORS TO BE SELECTED BY ARCHITECT.

SIGN RESTRICTIONS PER IDO

ON-PREMISES SIGNS IN MIXED-USE AND NON-RESIDENTIAL ZONE DISTRICTS:

WALL SIGN NUMBER, MAXIMUM: N/A

AREA, MAXIMUM: MX-L: 10%

*SHALL NOT EXCEED THE PERCENTAGE OF FACADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS

LOCATION: WHERE THERE IS NO SIDE SETBACK BETWEEN 2 ESTABLISHMENT FRONTAGES IN THE SAME OR ABUTTING BUILDINGS, NO WALL SIGN MAY EXTEND CLOSER THAN 2 FEET TO THE SHARED EDGE OF THE FRONTAGE.



6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110
505.893.5200
www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250

LANDSCAPE
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126

STRUCTURAL
Chavez-Grievens Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080

M/E/P/FP
Bridgers & Paxton
4500-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111

LIGHTING
Oldner Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733

INTERIORS
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

KEYED NOTES

- 220 MECHANICAL EQUIPMENT. MOUNT PER ARCHITECTURAL ROOF DETAILS. COORDINATE WITH MECHANICAL REQUIREMENTS. SEE MECHANICAL.
- 236 METAL PANEL WALL SYSTEM.
- 237 CONTROL JOINT. SEE MISCELLANEOUS DETAILS.
- 256 BUILDING SIGNAGE. 8" HIGH PRE-FINISHED ALUMINUM LETTERS. FINAL TEXT TO BE APPROVED BY ARCHITECT AND OWNER. BLIND STUD MOUNT TO SUBSTRATE OR SUPPORT PER MANUFACTURER'S RECOMMENDATIONS.
- 257 BUILDING SIGNAGE. 12" HIGH PRE-FINISHED ALUMINUM LETTERS. FINAL TEXT TO BE APPROVED BY ARCHITECT AND OWNER. BLIND STUD MOUNT TO SUBSTRATE OR SUPPORT PER MANUFACTURER'S RECOMMENDATIONS.
- DFT01 SPANDREL PANEL. COLOR: MATCH 1" INSULATED SAFETY GLAZING.
- DFT02 EXTERIOR INSULATION AND FINISH SYSTEM (EIFS). FIELD COLOR: SAND.
- DFT03 METAL PANEL WALL SYSTEM. COLOR: GREEN (3 DIFFERING SHADES).
- DFT04 METAL PANEL WALL SYSTEM. COLOR: COPPER.
- DFT05 ALUMINUM STOREFRONT ASSEMBLY. MULLION COLOR: CLEAR ANODIZED. 1" INSULATED SAFETY GLAZING. COLOR: CLEAR, TYPICAL.
- DFT06 1" INSULATED SAFETY GLAZING. COLOR: LIGHT ORANGE.
- DFT07 SPANDREL PANEL. COLOR: MATCH 1" INSULATED SAFETY GLAZING.
- DFT08 ALUMINUM STOREFRONT DOUBLE DOOR AND FRAME WITH REMOVABLE CENTER MULLION. 6'-2" x 7'-0"
- DFT09 ALUMINUM STOREFRONT DOOR AND FRAME. 3'-0" x 7'-0"
- DFT10 HOLLOW METAL DOUBLE DOOR AND FRAME. 6'-0" x 7'-0"
- DFT11 HOLLOW METAL DOOR AND FRAME. 3'-0" x 7'-0"
- DFT12 PERFORATED METAL PANEL SCREEN WALL ON TUBE STEEL FRAME. COLOR: GREY.
- DFT13 PREFINISHED ALUMINUM VERTICAL SUNSHADE FIN. COLOR: GREY.
- DFT14 PAINTED STEEL SHADE CANOPY. COLOR: GREY.
- DFT15 PAINTED STEEL COLUMN. COLOR: GREY.
- DFT16 METAL COPING CAP. COLOR: MATCH EIFS FIELD COLOR.
- DFT17 SQUARE WALL MOUNT LED. MANUFACTURER: PERFORMANCE IN LIGHTING - NIMIK 59. COLOR: GREY.
- DFT18 LINEAR LED (DOWNLIGHT). MANUFACTURER: NECTEK - PS-351-HO.
- DFT19 SURFACE-MOUNTED LINEAR LED (DOWNLIGHT). MANUFACTURER: FC LIGHTING - BLK62AC.
- DFT20 STEM MOUNTED LINEAR LED (DOWNLIGHT). MANUFACTURER: FC LIGHTING - BLK62AC.

AS BUILT INFORMATION		BENCH MARKS	
CONTRACTOR	DATE	CONTRACTOR	DATE
INSPECTOR'S ACCEPTANCE BY <th>DATE</th> <td> </td> <td> </td>	DATE		
DRAWINGS CORRECTED BY <th>DATE</th> <td> </td> <td> </td>	DATE		
RECORDED BY <th>DATE</th> <td> </td> <td> </td>	DATE		

SURVEY INFORMATION		FIELD NOTES	
NO.	DATE	NO.	DATE

SEAL ARCHITECT		SIGN DEVELOPMENT	
NO.	DATE	NO.	DATE

CITY OF ALBUQUERQUE

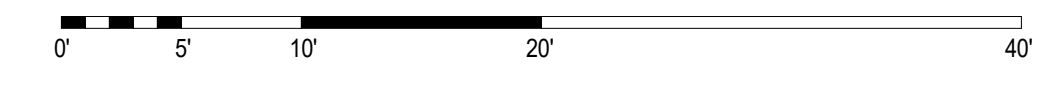
PROJECT TITLE:
COA CIBOLA LOOP MULTIGENERATIONAL CENTER
10751 Cibola Loop NW
Albuquerque, NM 87114

75% CONSTRUCTION DOCUMENTS (FOR DFT SUBMITTAL ONLY)
MAY, 2024

DRAWING TITLE: SHEET TITLE:
BUILDING ELEVATIONS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. P7882.16
Zone Map No. A-13-2
DWG. DFT-201
Sheet



GENERAL NOTES

- A. COORDINATE DUCT ROUTING AND EQUIPMENT INSTALLATION WITH STRUCTURAL PLANS, ARCHITECTURAL PLANS AND ELECTRICAL PLANS. GIVE SPECIAL ATTENTION TO STRUCTURAL BEAM ELEVATIONS, CEILING HEIGHTS, CABLE TRAYS, AND ROOF DRAIN LEADERS. SUBMIT 3D COORDINATION DRAWINGS FOR REVIEW PER SPECIFICATIONS 23 0550.
- B. ALL DUCT SIZES SHOWN ON THE DRAWING ARE NET INSIDE DIMENSIONS. SEE SPECIFICATION 230700 FOR INSULATION AND ACoustICAL LINING REQUIREMENTS.
- C. REFER TO SHEETS M-501 THROUGH M-50X FOR MECHANICAL DETAILS.

KEYED NOTES

- 1. CONDENSING UNIT INSTALLED ON ROOF SKID PER DETAIL XXM-50X. ROUTE REFRIGERANT PIPING TO ROOF PENETRATION HOUSING PER DETAIL XXM-50X. PROVIDE REFRIGERANT PIPING AND ALL ACCESSORIES FOR A COMPLETE AND FUNCTIONAL SYSTEM PER MANUFACTURER'S INSTALLATION MANUAL.
- 2. ROOF PENETRATION HOUSING PER DETAIL X/M-50/2.
- 3. ROOFTOP AIR HANDLING UNIT PER EQUIPMENT SCHEDULE. INSTALL ON 24" HIGH ROOF CURB PER DETAIL X/M-50X.
- 4. ROOFTOP EXHAUST FAN PER EQUIPMENT SCHEDULE. INSTALL ON 24" HIGH ROOF CURB PER DETAIL X/M-50X.
- 5. ROOF PENETRATION HOUSING PER DETAIL X/M-50X.
- 6. 0" WATER HEATER VENT AND COMBUSTION AIR PIPING. VENT PIPING MATERIAL SHALL BE STAINLESS STEEL DOUBLE-WALLED CATEGORY IV CONSTRUCTION. COMBUSTION AIR PIPING MATERIAL SHALL BE PVC SCHEDULE 40. SLOPE COMBUSTION AIR PIPING DOWN TOWARDS WATER HEATER PER MANUFACTURER'S INSTALLATION MANUAL. ALL JOINTS AND SEAMS MUST BE SEALED GAS TIGHT. INSTALL PER MANUFACTURER'S INSTALLATION MANUAL.



fbt architects
 6501 Americas Parkway NE, Suite 300
 Albuquerque, NM 87110
 505.883.5200
 www.fbstarch.com

CONSULTANTS

CIVIL
High Mesa
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250

LANDSCAPE
Groundwork Studio
 6501 Americas Parkway NE, Suite 350
 Albuquerque, NM 87110
 p_505.212.9126

STRUCTURAL
Chavez-Grievos Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102
 Albuquerque, NM 87109
 p_505.344.4080

M/E/P/FP
Bridgers & Paxton
 4500-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111

LIGHTING
Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733

INTERIORS
Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287



AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK SHOWN BY	DATE
INSPECTORS ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE
RECORDED BY	DATE
MICRO-FILM INFORMATION	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

BENCH MARKS	
NO.	DATE

SEAL ENGINEER	
NO.	DATE

DESIGN DEVELOPMENT
PROGRESS SET
NOT FOR CONSTRUCTION

REVISIONS	DATE	REMARKS	DATE	DATE
1				
2				
3				
4				

CITY OF ALBUQUERQUE

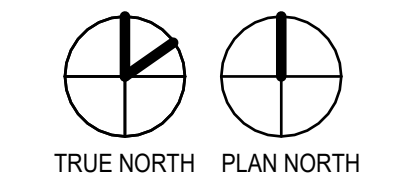
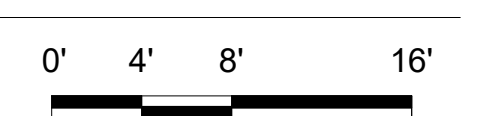
PROJECT TITLE:
**COA CIBOLA LOOP
 MULTIGENERATIONAL CENTER**
 10751 Cibola Loop NW
 Albuquerque, NM 87114

75% CONSTRUCTION DOCUMENTS (FOR DFT SUBMITTAL ONLY)
 May 03, 2024

DRAWING TITLE: **MECHANICAL ROOF PLAN**
 MH131

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	DWG.	Sheet
P7882.16	A-13-Z		

A1 MECHANICAL ROOF PLAN
 1/8" = 1'-0"



Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. *The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).*

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

*In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. **Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.***

Section A.

General Site Arrangement and Building Orientation:

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.
Achieved Achieved in Part Evaluated Only
2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.
Achieved Achieved in Part Evaluated Only
3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.
Achieved Achieved in Part Evaluated Only

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Achieved Achieved in Part Evaluated Only

5. Design should allow for natural ventilation as much as possible.

Achieved Achieved in Part Evaluated Only

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Achieved Achieved in Part Evaluated Only

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved Achieved in Part Evaluated Only

8. North facing windows are encouraged as they require little to no shading.

Achieved Achieved in Part Evaluated Only

9. Any west facing building entries and windows should mitigate solar effects.

Achieved Achieved in Part Evaluated Only

Outdoor Elements (Integration):

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved Achieved in Part Evaluated Only

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Achieved Achieved in Part Evaluated Only

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved Achieved in Part Evaluated Only

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Achieved Achieved in Part Evaluated Only

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Achieved Achieved in Part Evaluated Only

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved Achieved in Part Evaluated Only

Generally no trees considered because of future phase. Optimal view to Sandia Mountains are preserved.

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved Achieved in Part Evaluated Only

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved Achieved in Part Evaluated Only

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

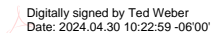
Achieved Achieved in Part Evaluated Only

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project _____ and Application No _____.

Ted C. Grumblatt



Ted Weber NM LA 635



Signature of Project Architect/License No.

Signature of Project Landscape Architect/License No.

NM RA License No. 03382

Section B.

Sun and Shade Analysis requirements in compliance with 5-2(D)(1):

A solar shading analysis shall be submitted with all site plan submittals, except for industrial development and multi-family residential development containing less than 25 units.

The desired outcome is that **summer sun** be shaded at least 50% or more on transparent windows and doors at three peak times on each facade.

The desired outcome is that 75% of **winter sun** should reach transparent windows and doors at noon on each facade.

The submittal shall include sun and shade analysis on elevations of all primary facades with a minimum of four elevations. Screen shots from a program like SketchUp are acceptable.

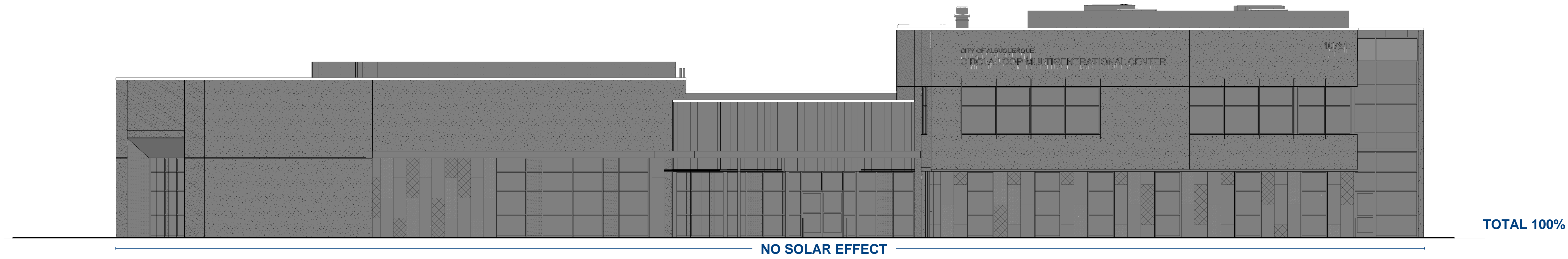
Summer Sun Analysis

1. Show the effects of summer sun on windows on the following date and times:
 - a. May 21st analysis:
 - 9:00 AM
 - Noon
 - 4:00 PM
 - b. The shading study for May should show the percentage of shading of transparent windows and doors at 9 am and 4 pm. **The desired outcome is that 50% or more of the transparent windows and doors be shaded at 9 am and 4 pm on each façade.**
 - c. The shading study for May should show the percentage of shading of transparent windows and doors at noon. **The desired outcome is for 90% or more of transparent windows and doors be shaded at noon on each façade.**
 - d. Plantings may be modeled and included in the shading analysis. Use the mature size of trees and large shrubs according to the Albuquerque Plant List.
 - e. If no sun is influencing a façade at any of the above times, the graphic should simple state “no solar effect.”

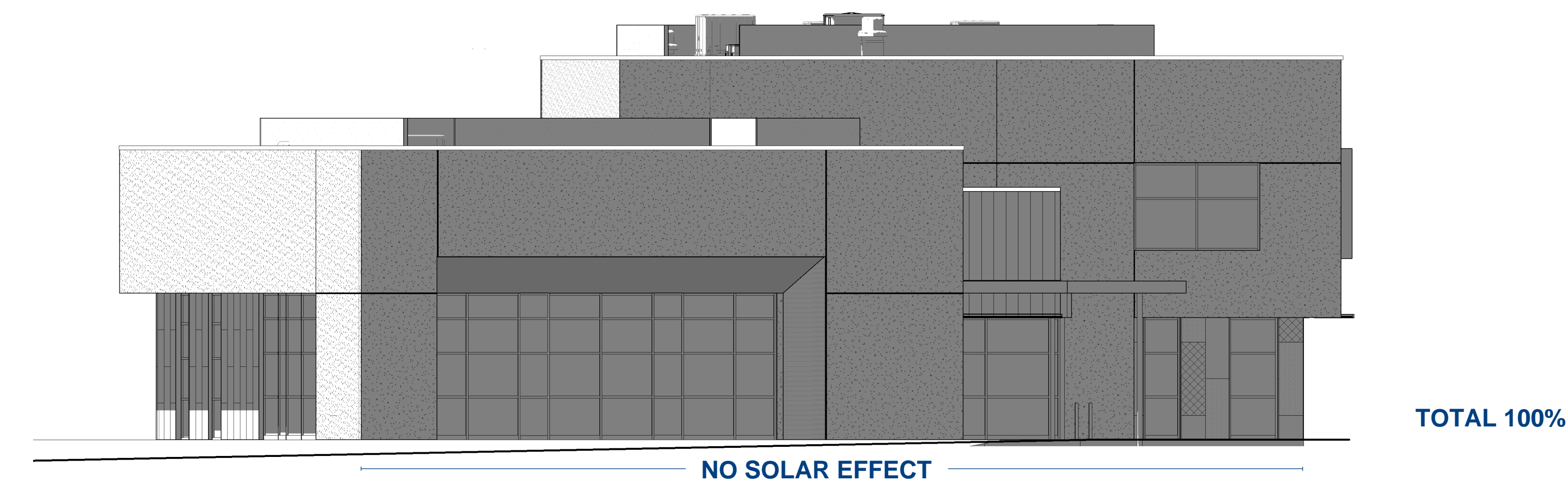
Winter Sun Analysis

2. Show the effects of winter sun on windows on the following date and time:
 - a. November 21st analysis:
 - Noon
 - b. The shading study for November will show the amount of sun reaching the transparent windows or doors and not shaded. **The desired outcome is for 75% of available sun to reach the windows or doors on each facade.**

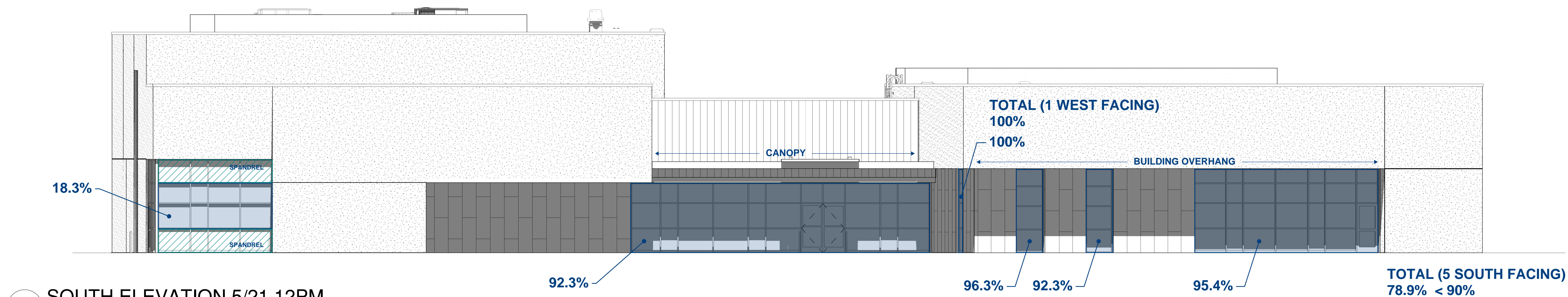
SUN/SHADE ANALYSIS - 5-2(D)(1)
APPROXIMATE PERCENTAGE OF SHADING



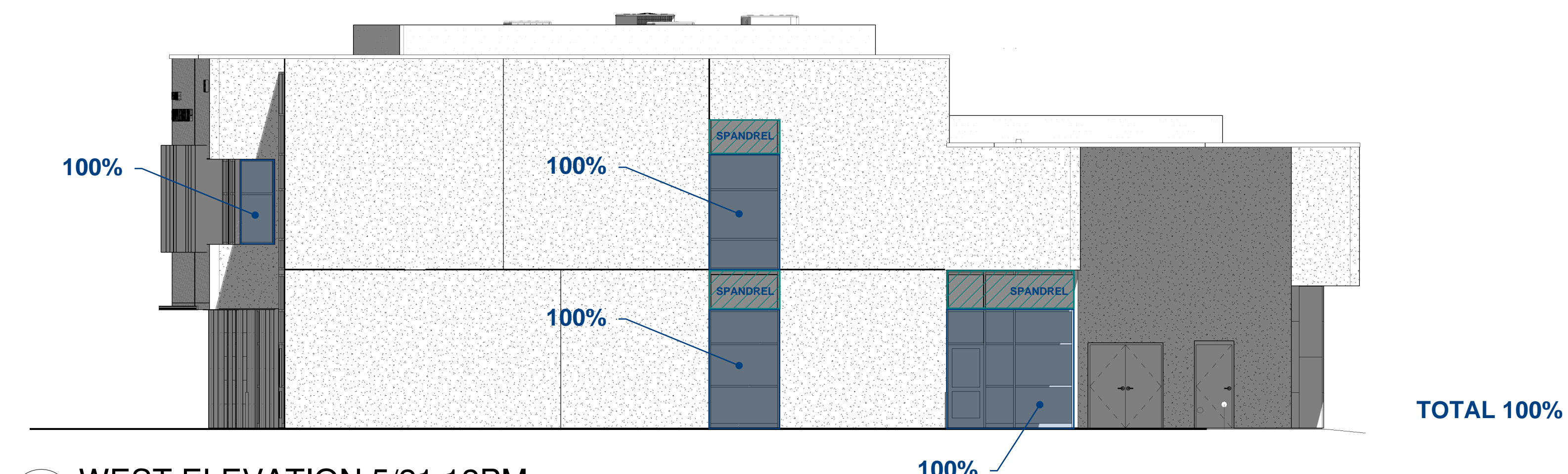
4 NORTH ELEVATION 5/21 12PM
 1/8" = 1'-0"



3 EAST ELEVATION 5/21 12PM
 1/8" = 1'-0"



2 SOUTH ELEVATION 5/21 12PM
 1/8" = 1'-0"



1 WEST ELEVATION 5/21 12PM
 1/8" = 1'-0"

GENERAL NOTES

- A. CIVIL ELEVATIONS OF 5106.0' = 100' - 0" ON ARCHITECTURAL SHEETS. BEARING HEIGHTS ARE SHOWN FOR REFERENCE TO 100'-0" AND NOT INVDUAL HEIGHTS ABOVE FINISHED FLOORS. COORDINATED WITH FLOOR PLAN DRAWINGS AND STRUCTURAL.
- B. ANY EXPOSED PENETRATIONS, FLASHINGS, VENTS, UNFINISHED MECHANICAL EQUIPMENT, UTILITY LINES, ETC. SHALL BE PAINTED TO COLOR AS SELECTED BY THE ARCHITECT. DO NOT PAINT PRE FINISHED ITEMS.
- C. FURNISH AND INSTALL SEALANT AT INTERSECTION OF ALL DISSIMILAR MATERIALS.
- D. REFER TO CIVIL FOR ALL GRADING INFORMATION AROUND THE BUILDING.

EXTERIOR FINISH LEGEND

- EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) WITH ANTI-GRAFFITI COATING. FIELD COLOR, COLOR TO BE SELECTED BY ARCHITECT.
- 1" - 0" WIDE FLUSH ALUMINUM WALL PANELS, COLOR TO BE SELECTED BY ARCHITECT.
- 2x6" ALUMINUM WALL PANELS WITH REVEAL JOINTS, RUNNING BOND (1/2 OFFSET), TYPICAL. COLOR VARIATION, TYPICAL. COLORS TO BE SELECTED BY ARCHITECT.

KEYED NOTES

fbt | architects

6501 Americas Parkway NE, Suite 300
 Albuquerque, NM 87110
 505.883.5200
 www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250

LANDSCAPE
Groundwork Studio
 6501 Americas Parkway NE, Suite 350
 Albuquerque, NM 87110
 p_505.212.9126

STRUCTURAL
Chavez-Grievos Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102
 Albuquerque, NM 87109
 p_505.344.4080

M/E/P/FP
Bridgers & Paxton
 4500-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111

LIGHTING
Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733

INTERIORS
Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

CITY OF ALBUQUERQUE

PROJECT TITLE:
**COA CIBOLA LOOP
 MULTIGENERATIONAL CENTER**
 10751 Cibola Loop NW
 Albuquerque, NM 87114

75% CONSTRUCTION DOCUMENTS
 MAY, 2024

DRAWING TITLE: SHEET TITLE:
**BUILDING ELEVATIONS SOLAR STUDY
 5/21 12PM**

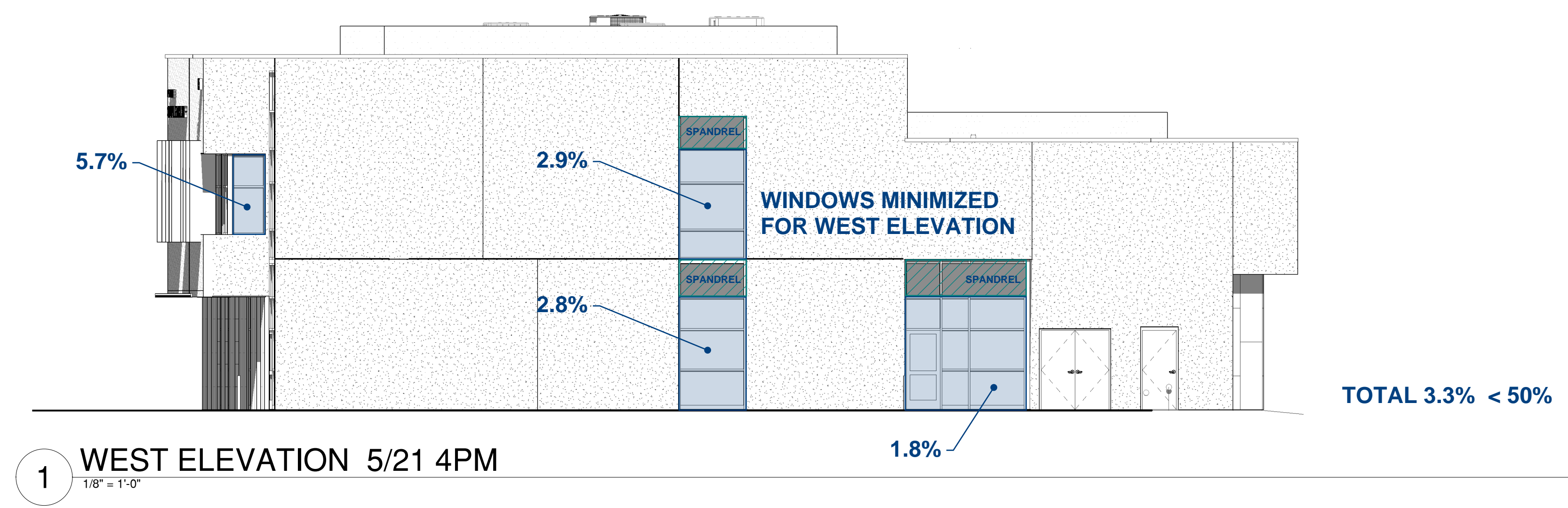
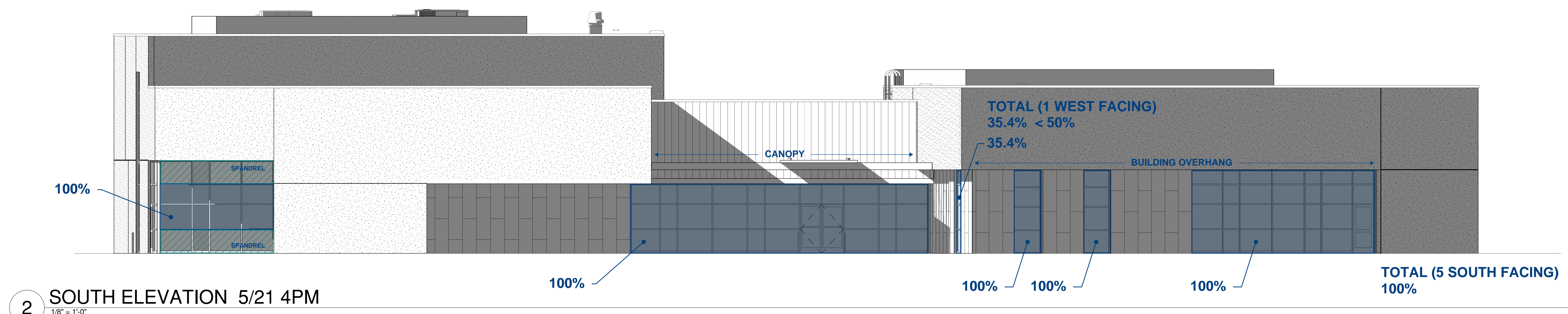
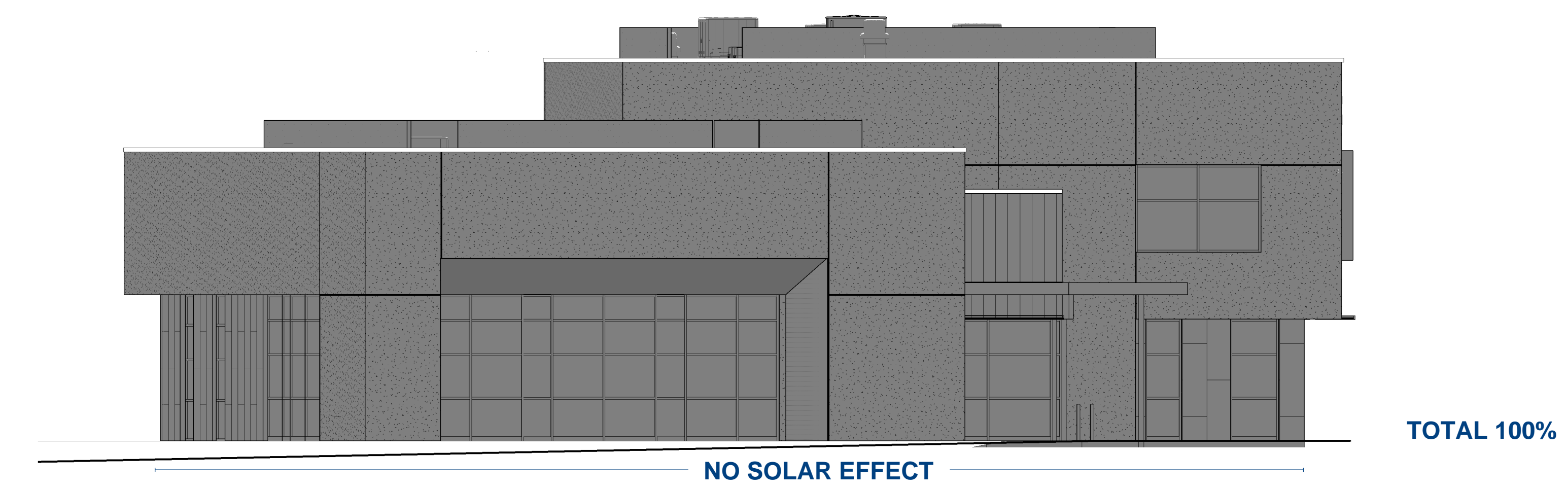
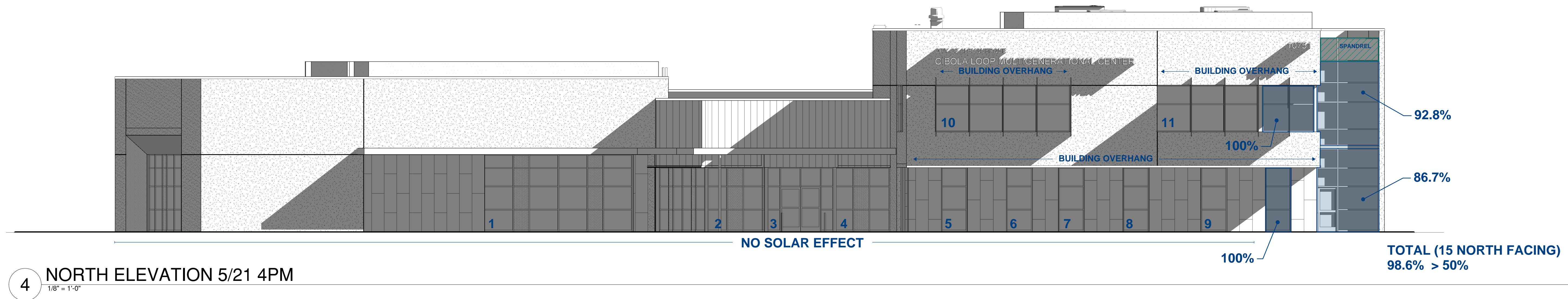
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. P7882.16	Zone Map No. A-13-Z	DWG. A-205	Sheet

AS BUILT INFORMATION		BENCH MARKS	
CONTRACTOR	DATE	NO.	DATE
WORK STAKED BY	DATE		
INSPECTORS ACCEPTANCE BY	DATE		
FIELD VERIFICATION BY	DATE		
DRAWINGS CORRECTED BY	DATE		
MICRO-FILM INFORMATION			
RECORDED BY	DATE		
NO.			

SEAL ARCHITECT
 SIGN DEVELOPMENT
 PROGRESS SET - NOT FOR
 CONSTRUCTION

SUN/SHADE ANALYSIS - 5-2(D)(1)

APPROXIMATE PERCENTAGE OF SHADING



GENERAL NOTES

- A. CIVIL ELEVATIONS OF 5106.0' = 100' - 0" ON ARCHITECTURAL SHEETS. BEARING HEIGHTS ARE SHOWN FOR REFERENCE TO 100'-0" AND NOT INDIVIDUAL HEIGHTS ABOVE FINISHED FLOORS. COORDINATED WITH FLOOR PLAN DRAWINGS AND STRUCTURAL.
- B. ANY EXPOSED PENETRATIONS, FLASHINGS, VENTS, UNFINISHED MECHANICAL EQUIPMENT, UTILITY LINES, ETC. SHALL BE PAINTED TO COLOR AS SELECTED BY THE ARCHITECT. DO NOT PAINT PRE FINISHED ITEMS.
- C. FURNISH AND INSTALL SEALANT AT INTERSECTION OF ALL DISSIMILAR MATERIALS.
- D. REFER TO CIVIL FOR ALL GRADING INFORMATION AROUND THE BUILDING.

EXTERIOR FINISH LEGEND

- EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) WITH ANTI-GRAFFITI COATING. FIELD COLOR, COLOR TO BE SELECTED BY ARCHITECT.
- 1" - 0" WIDE FLUSH ALUMINUM WALL PANELS, COLOR TO BE SELECTED BY ARCHITECT.
- 2x6" ALUMINUM WALL PANELS WITH REVEAL JOINTS, RUNNING BOND (1/2 OFFSET), TYPICAL. COLOR VARIATION, TYPICAL. COLORS TO BE SELECTED BY ARCHITECT.

KEYED NOTES

fbt | architects

6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110

CONSULTANTS

CIVIL
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250

LANDSCAPE
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126

STRUCTURAL
Chavez-Grievens Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080

M/E/P/FP
Bridgers & Paxton
4500-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111

LIGHTING
Older Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733

INTERIORS
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

CITY OF ALBUQUERQUE

PROJECT TITLE:
**COA CIBOLA LOOP
MULTIGENERATIONAL CENTER**
10751 Cibola Loop NW
Albuquerque, NM 87114

75% CONSTRUCTION DOCUMENTS
MAY, 2024

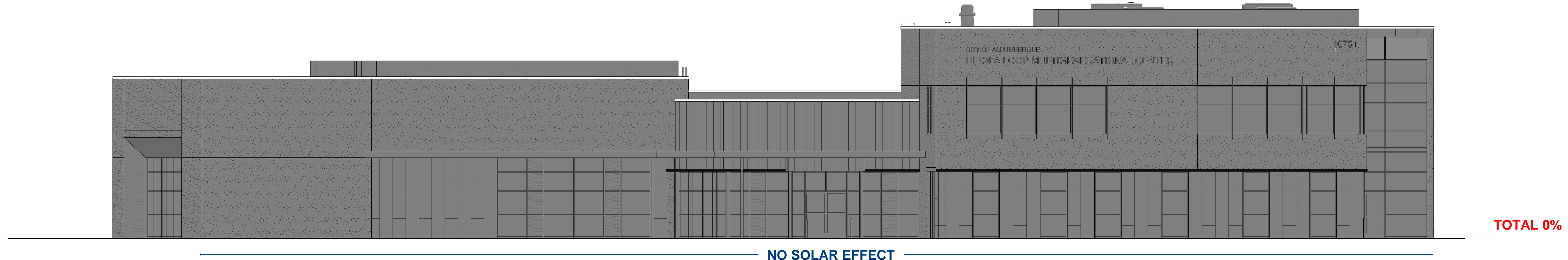
DRAWING TITLE: BUILDING ELEVATIONS SOLAR STUDY
5/21 4PM

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	DWG.	Sheet
P7882.16	A-13-Z	A-206	

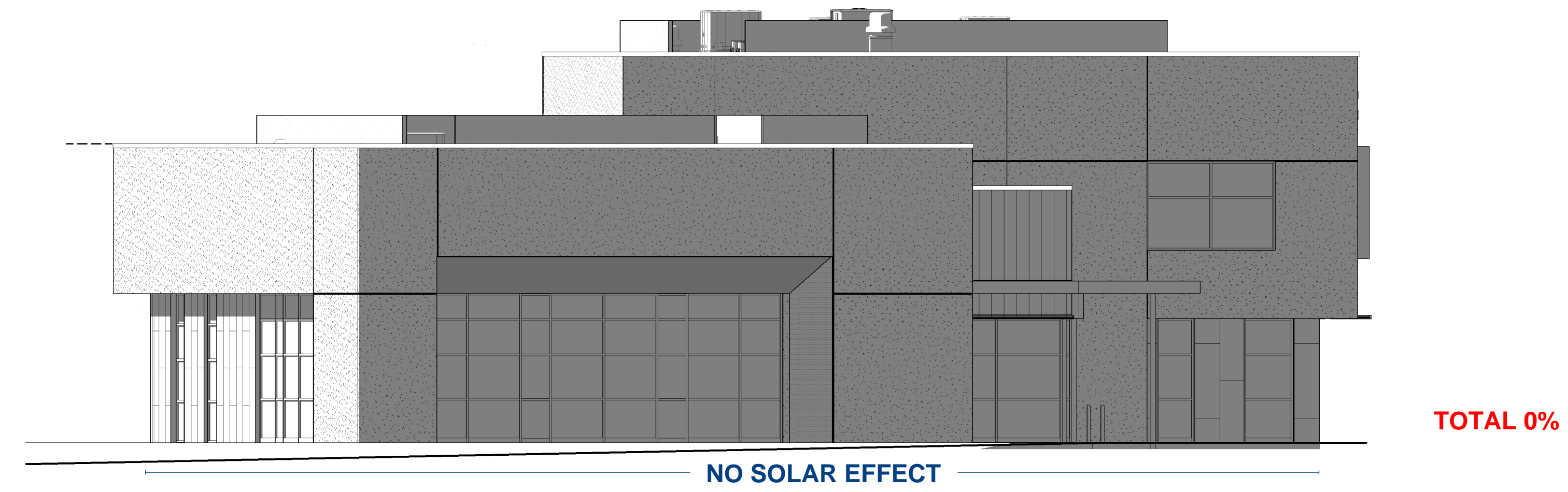
AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		SEAL ARCHITECT	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK SHOWN BY									
INSPECTORS ACCEPTANCE BY									
FIELD VERIFICATION BY									
DRAWINGS CORRECTED BY									
MICRO-FILM INFORMATION									
RECORDED BY									
NO.									

SIGN DEVELOPMENT
PROGRESS SET - NOT FOR
CONSTRUCTION

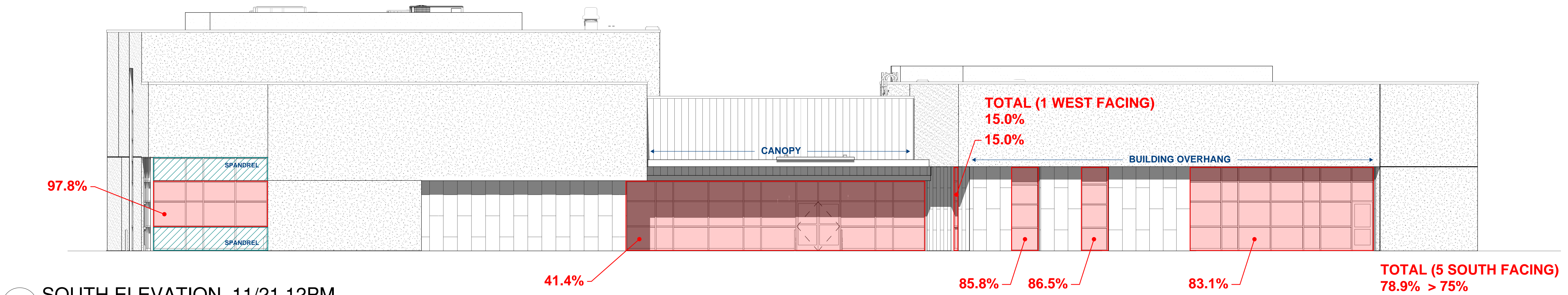
APPROXIMATE PERCENTAGE OF SOLAR ACCESS



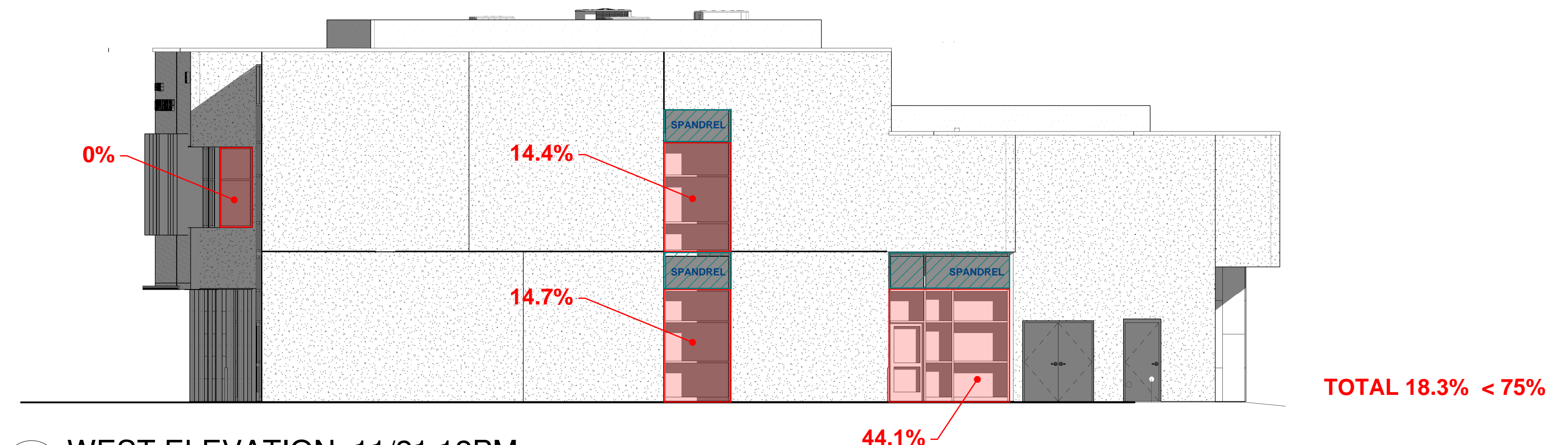
4 NORTH ELEVATION 11/21 12PM
1/8" = 1'-0"



3 EAST ELEVATION 11/21 12PM
1/8" = 1'-0"



2 SOUTH ELEVATION 11/21 12PM
1/8" = 1'-0"



1 WEST ELEVATION 11/21 12PM
1/8" = 1'-0"

GENERAL NOTES

- A. CIVIL ELEVATIONS OF 5'106.0' = 100' - 0" ON ARCHITECTURAL SHEETS. BEARING HEIGHTS ARE SHOWN FOR REFERENCE TO 100'-0" AND NOT INDIVIDUAL HEIGHTS ABOVE FINISHED FLOORS. COORDINATED WITH FLOOR PLAN DRAWINGS AND STRUCTURAL.
- B. ANY EXPOSED PENETRATIONS, FLASHINGS, VENTS, UNFINISHED MECHANICAL EQUIPMENT, UTILITY LINES, ETC. SHALL BE PAINTED TO COLOR AS SELECTED BY THE ARCHITECT. DO NOT PAINT PRE FINISHED ITEMS.
- C. FURNISH AND INSTALL SEALANT AT INTERSECTION OF ALL DISSIMILAR MATERIALS.
- D. REFER TO CIVIL FOR ALL GRADING INFORMATION AROUND THE BUILDING.

EXTERIOR FINISH LEGEND

- EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) WITH ANTI-GRAFFITI COATING. FIELD COLOR, COLOR TO BE SELECTED BY ARCHITECT.
- 1" - 0" WIDE FLUSH ALUMINUM WALL PANELS, COLOR TO BE SELECTED BY ARCHITECT.
- 2" WIDE ALUMINUM WALL PANELS WITH REVEAL JOINTS, RUNNING BOND (1/2 OFFSET), TYPICAL. COLOR VARIATION, TYPICAL. COLORS TO BE SELECTED BY ARCHITECT.

KEYED NOTES



6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110

505.883.5200
www.fbtarch.com

CONSULTANTS

- CIVIL**
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250
- LANDSCAPE**
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126
- STRUCTURAL**
Chavez-Grievos Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080

- M/E/P/FP**
Bridgers & Paxton
4500-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111

- LIGHTING**
Oldner Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733

- INTERIORS**
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

CITY OF ALBUQUERQUE

PROJECT TITLE: COA CIBOLA LOOP MULTIGENERATIONAL CENTER 10751 Cibola Loop NW Albuquerque, NM 87114	
75% CONSTRUCTION DOCUMENTS MAY, 2024	
DRAWING TITLE: BUILDING ELEVATIONS SOLAR STUDY 11/21 12PM	SHEET TITLE: BUILDING ELEVATIONS SOLAR STUDY 11/21 12PM
Design Review Committee	City Engineer Approval
City Project No. P7882.16	Zone Map No. A-13-Z
DWG. A-203	Sheet

AS BUILT INFORMATION		BENCH MARKS	
CONTRACTOR	DATE	NO.	DATE
WORK STAKED BY	DATE		
INSPECTORS ACCEPTANCE BY	DATE		
FIELD VERIFICATION BY	DATE		
DRAWINGS CORRECTED BY	DATE		
MICRO-FILM INFORMATION			
RECORDED BY	DATE		
NO.			

SEAL ARCHITECT

SIGN DEVELOPMENT
PROGRESS SET - NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS	DESIGNED BY:	DATE	CHECKED BY:	DATE
1						
2						
3						
4						

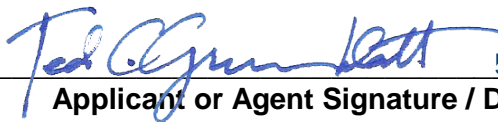
Supportive Documentation

SITE PLAN CHECKLIST

Project #: P7882.16 Application #: #

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 5/8/2024
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- X 3. Bar scale
- X 4. North arrow
- X 5. Legend
- X 6. Scaled vicinity map
- X 7. Property lines (clearly identify)
- X 8. Existing and proposed easements (identify each)
- X 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- X A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- X B. Square footage of each structure
- X C. Proposed use of each structure
- X D. Signs (freestanding) and other improvements
- X E. Walls, fences, and screening: indicate height, length, color and materials
- X F. Dimensions of all principal site elements or typical dimensions
- N/A G. Loading facilities **NO LOADING FACILITY PRESENT ON SITE.**
- X H. Site lighting (indicate height & fixture type)
- N/A I. Indicate structures within 20 feet of site **NEIGHBORING TRACTS ARE UNDEVELOPED.**
- X J. Elevation drawing of refuse container and enclosure, if applicable.
- X K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- X A. Parking layout with spaces numbered per aisle and totaled.
 - X 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - X 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - X 3. On street parking spaces
- X B. Bicycle parking & facilities
 - X 1. Bicycle racks – location and detail
 - N/A 2. Other bicycle facilities, if applicable **NO ADDITIONAL BICYCLE FACILITIES ON SITE.**
- X C. Vehicular Circulation (Refer to DPM and IDO)
 - X 1. Ingress and egress locations, including width and curve radii dimensions
 - X 2. Drive aisle locations, including width and curve radii dimensions
 - N/A 3. End aisle locations, including width and curve radii dimensions **NO END AISLES.**
 - X 4. Location & orientation of refuse enclosure, with dimensions
 - X 5. Loading, service area, and refuse service locations and dimensions
- X D. Pedestrian Circulation
 - X 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- E. Off-Street Loading **NO LOADING AREAS.**
 - 1. Location and dimensions of all off-street loading areas

- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities **NO DRIVE-THROUGH.**
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts **NO MEDIANS.**
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required **NONE IMMEDIATELY ADJACENT.**

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage. **NO TURF AREA.**
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan) **NO LANDSCAPED BUFFERS REQUIRED.**
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material
ADJACENT CITY-OWNED R-ML ZONED PROPERTY IS UNDEVELOPED .

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls **NO RETAINING WALLS ON SITE.**

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections **NOT CHANGING THE GRADE AT THE PROPERTY LINES.**
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



April 30, 2024

City of Albuquerque Planning Department
Project: C.O.A. Cibola Loop Multigenerational Facility

To Whom It May Concern:

This letter provides authorization from the City of Albuquerque's Department of Senior Affairs to agent, FBT Architects for purposes of a Development Facilitation Team (DFT) for Site Plan Amendment application.

Please feel free to contact me with any questions at 505-250-9984 or amsanchez@cabq.gov.

Sincerely,

A handwritten signature in black ink that reads "Anna M. Sanchez". The signature is written in a cursive style.

Anna M. Sanchez
Director

CORPORATE OFFICE:

MAIL One Park Square
6501 Americas Pkwy NE, Ste. 300
Albuquerque, NM 87110
PHO 505.883.5200
WEB fbtarch.com

REGIONAL OFFICES:

MAIL 4416 W Lovers Lane, Ste. 100
Dallas, Texas 75209
PHO 469.998.5542
MAIL 415 N. Tejon St.
Colorado Springs, CO 80903
PHO 719.309.9440

May 6, 2024

Project: C.O.A. Project No. 7882.16: Cibola Loop Multigenerational Facility

Subject: SITE PLAN ADMINISTRATIVE DFT, JUSTIFICATION LETTER Per IDO 16-6-5(G)(3)

On behalf of the Department of Senior Affairs and us as the authorized Agent, we respectfully request approval of this site plan amendment. We believe the request complies with the Zoning requirements of the MX-L zoning criteria. There are no deviations or requests that vary from the IDO or City's DPM.

Per IDO Section 14-16-6-5(G)3, this proposed project complies with all of the review and decision criteria. The infrastructure will need some modifications that will allow tie-in to water and sewer, concrete and asphalt curb and gutter for this project.

The subject property is not within an approved or current Master Development Plan.

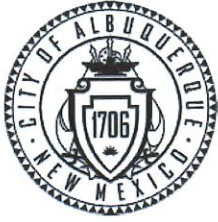
Please let us know if more information is required.

Architect:
FBT Architects



Ted C Grumblatt, Principal

5/6/2024



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: May 2, 2024

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2023-009382, SI-2024-00620
Agent: FBT Architects
Applicant: City of Albuquerque, Department of Senior Affairs
Legal Description: Lot A-2, Cibola Loop Subdivision
Zoning: MX-L
Acreage: 9.1379
Zone Atlas Page(s): A-13-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Gogle Earth historic images, ARMS/NMCRIS records

SITE VISIT: n/a

RECOMMENDATIONS:


The property was surveyed under NMCRIS 109639 with no significant finds, therefore:

CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 1 "an archaeological investigation has been conducted..."

SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services

 5-2-2024
Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

Public Notice Documentation

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Ted C. Greenblatt
(Applicant or Agent)

5/8/2024
(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: May 13, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA) *: Cibola Loop Neighborhood Association

Name of NA Representative*: Julie Rael

Email Address* or Mailing Address* of NA Representative¹: learrael@aol.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 10751 Cibola Loop NW, Albuquerque, NM 87114

Location Description _____

2. Property Owner* City of Albuquerque

3. Agent/Applicant* [if applicable] FBT Architects/City of Albuquerque Department of Senior Affairs

4. Application(s) Type* per IDO [Table 6-1-1](#)

Historic Certificate of Appropriateness – Minor

Sign Permit

Alternative Signage Plan

Wall/Fence Permit

Site Plan – Administrative²

Summary of project/request*:

Request approval of the Site Plan Administrative DFT.

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 to speak with staff.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Usually submitted and reviewed as part of building permit application, which can be searched by address here: <https://posse.cabq.gov/posse/pub/lms/Login.aspx>

[Note: Items with an asterisk (*) are required.]

- 6. Where more information about the project can be found^{*3}:
[FBT Architects, 6501 Americas Pkwy NE, Suite 300, Albuquerque, NM 87110](#)

Information Required for Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)^{*4} [A-13-Z](#)
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project^{*}:

- Deviation(s)
- Variance(s)⁵
- Waiver(s)⁶

Explanation^{*}:

[Request of approval from the Planning Department.](#)

- 4. Pre-submittal Neighborhood Meeting: Not Required
- 5. **For Site Plan – Administrative Applications only^{*}**, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. ^{*}
- b. Access and circulation for vehicles and pedestrians. ^{*}
- c. Maximum height of any proposed structures, with building elevations. ^{*}
- d. **For residential development^{*}**: Maximum number of proposed dwelling units. N/A
- e. **For non-residential development^{*}**:
 - Total gross floor area of proposed project. 14,000 square feet
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁷:

- 1. Area of Property [typically in acres] 9.1379
- 2. IDO Zone District MX-L
- 3. Overlay Zone(s) [if applicable] N/A
- 4. Center or Corridor Area [if applicable] N/A

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

⁵ Separate notice is required for Variances.

⁶ Separate notice is required for Waivers.

⁷ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Current Land Use(s) [vacant, if none] VACANT

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]

Ted

From: learrael@aol.com
Sent: Friday, May 17, 2024 1:23 PM
To: Ted; Grush, Matthew P.
Cc: Armijo, Ernest M.; Al-najjar, Marwa G.; Cherne, Curtis; Ginny Forrest; Angela Gonzales
Subject: Re: HT# A13D011 Cibola Loop Multigenerational Facility TIA May 17 2014 CABQ approval
Attachments: A13D011 Cibola loop Multigenerational Facility TIA approval 5 17 2024.pdf

All,

On behalf of the Cibola Loop Neighborhood Association, we thank you for keeping us informed throughout this process.

Your work and efforts are greatly appreciated!

Best,

Julie Rael, President

On Friday, May 17, 2024 at 10:05:42 AM MDT, Grush, Matthew P. <mgrush@cabq.gov> wrote:

Good morning Ted,

The Cibola Loop Multigenerational Facility Traffic Impact Analysis dated May 2024, sealed 5/6/2024, has been approved by the City, see attached letter. If you have any questions feel free to contact me.

Thank you,



Matt Grush, P.E.

Senior Engineer

505-924-3362

mgrush@cabq.gov

cabq.gov/planning

My last day working for the City will be May 26th.

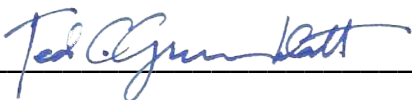


**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS		
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:		
Application Type:		
Decision-making Body:		
Pre-Application meeting required:	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Neighborhood meeting required:	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Mailed Notice required:	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Note: if yes, see second page
PART II – DETAILS OF REQUEST		
Address of property listed in application:	10751 Cibola Loop NW, Albuquerque, NM 87114	
Name of property owner:	City of Albuquerque	
Name of applicant:	FBT Architects	
Date, time, and place of public meeting or hearing, if applicable:	Not Applicable.	
Address, phone number, or website for additional information:		
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE		
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.		
<input type="checkbox"/> Drawings, elevations, or other illustrations of this request.		
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.		
<input type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.		
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) May 13, 2024 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

a. Location of proposed buildings and landscape areas.

b. Access and circulation for vehicles and pedestrians.

c. Maximum height of any proposed structures, with building elevations.

N/A d. For residential development: Maximum number of proposed dwelling units.

e. For non-residential development:

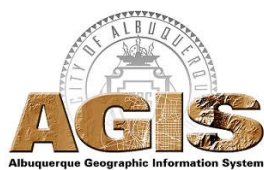
Total gross floor area of proposed project. 14,000 square feet

Gross floor area for each proposed use.

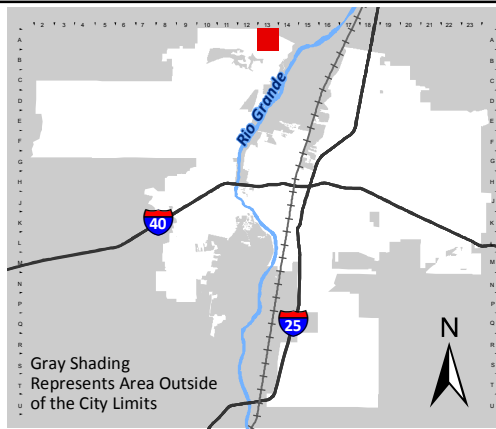


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
A-13-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

Ted

From: Office of Neighborhood Coordination <onc@cabq.gov>
Sent: Tuesday, April 30, 2024 9:53 AM
To: Ted
Subject: 10751 Cibola Loop NW_Neighborhood Meeting Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_A-13-Z.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email
Cibola Loop NA	learrael@aol.com	Julie	Rael	learrael@aol.com
Cibola Loop NA	learrael@aol.com	Ginny	Forrest	gforrest47@comcast.net
Westside Coalition of Neighborhood Associations	wscona0@gmail.com	Rene	Horvath	aboard111@gmail.com
Westside Coalition of Neighborhood Associations	wscona0@gmail.com	Elizabeth	Haley	elizabethkayhaley@gmail.com

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>

- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Tuesday, April 30, 2024 9:25 AM

To: Office of Neighborhood Coordination <tcg@fbtarch.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:
City Project

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Ted Grumblatt

Telephone Number

5052636567

Email Address

tcg@fbtarch.com

Company Name

FBT Architects

Company Address

6501 Americas Pkwy Suite 300

City

Albuquerque

State

NM

ZIP

87110

Legal description of the subject site for this project:

Tract A-2 Cibola Loop Subdivision Within the Town of Alameda Grant Projected Section 6, Township 11 North, Range 3 East, NMPM, City of Albuquerque, Bernalillo County, NM

Physical address of subject site:

10751 Cibola Loop NW, Albuquerque, NM 87114

Subject site cross streets:

Ellison Rd. and Cibola Loop

Other subject site identifiers:

This site is located on the following zone atlas page:

A-13-Z

Captcha

x

Ted

From: Ted
Sent: Monday, May 13, 2024 11:26 AM
To: 'learrael@aol.com'; 'gforrest47@comcast.net'; 'aboard111@gmail.com';
'elizabethkayhaley@gmail.com'
Cc: Antonio M. Vigil; Nicholas A. Morse
Subject: City Project No. P7882.16: Public Notice

Good Morning,

As a requirement of the City of Albuquerque Integrated Development Ordinance, FBT Architects is applying for approval from the Planning Department, a new Cibola Loop Multigenerational Facility located on Cibola Loop Road. The request is for a Site Plan Administrative DFT. Please find attached the Official Public Notification Form for Mailed or Electronic Mail Notice, along with supporting documents. Please contact us with any questions regarding this project.



NA COA
Forms.pdf

Thank you.



Ted Grumblatt, LEED AP, PRINCIPAL

One Park Square | 6501 Americas Pkwy NE, Ste. 300 | Albuquerque, NM 87110

PHO 505.883.5200 x114 MOBILE 505.263.6567 EMAIL tcg@fbtarch.com WEB fbtarch.com

NEW MEXICO

COLORADO

TEXAS

Ted

From: learrael@aol.com
Sent: Tuesday, May 14, 2024 9:34 AM
To: Ted
Cc: Antonio M. Vigil; Nicholas A. Morse; aboard111@gmail.com; elizabethkayhaley@gmail.com; gforrest47@comcast.net; Angela Gonzales
Subject: Re: City Project No. P7882.16: Public Notice
Attachments: NA COA Forms.pdf

Good Morning Ted,

Thank you for sending this along. We are in receipt of this and will pass along to our membership of Cibola Loop NA and will send along any questions, should any arise from them.

Thank you for also pointing out the necessity for the future development of the drainage and retention pond on the south side of the project site. This has been a concern for our residence for many many years.

You were also kind enough explain a decrease in elevation of the parking lot on the north side of the Project Site and the plan to widen Cibola Loop to accommodate turning lanes and also street parking.

Please also note our concern for keeping blowing dust to a minimum so that existing gravel landscapes aren't covered by the blowing dirt which will cover our existing mainly gravel landscape which we tend to see on the westside with new developments such as this.

Thank you again,

Julie Rael, President
Cibola Loop NA
505-235-8189

On Monday, May 13, 2024 at 11:26:43 AM MDT, Ted <tcg@fbtarch.com> wrote:

Good Morning,

As a requirement of the City of Albuquerque Integrated Development Ordinance, FBT Architects is applying for approval from the Planning Department, a new Cibola Loop Multigenerational Facility located on Cibola Loop Road. The request is for a Site Plan Administrative DFT. Please find attached the Official Public Notification Form for Mailed or Electronic Mail Notice, along with supporting documents. Please contact us with any questions regarding this project.

Thank you.



Ted Grumblatt, LEED AP, PRINCIPAL

One Park Square | 6501 Americas Pkwy NE, Ste. 300 | Albuquerque, NM 87110

PHO 505.883.5200 x114 MOBILE 505.263.6567 EMAIL tcg@fbtarch.com WEB fbtarch.com

Ted

From: Microsoft Outlook
<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@wallaengineering.com>
To: aboard111@gmail.com; elizabethkayhaley@gmail.com
Sent: Tuesday, May 14, 2024 11:32 AM
Subject: Relayed: FW: City Project No. P7882.16: Public Notice

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

[aboard111@gmail.com \(aboard111@gmail.com\)](mailto:aboard111@gmail.com)

[elizabethkayhaley@gmail.com \(elizabethkayhaley@gmail.com\)](mailto:elizabethkayhaley@gmail.com)

Subject: FW: City Project No. P7882.16: Public Notice



FW: City Project
No. P7882.16:...

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: May 16, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA) *: Cibola Loop Neighborhood Association

Name of NA Representative*: Ginny Forrest

Email Address* or Mailing Address* of NA Representative¹: gforrest47@comcast.net

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 10751 Cibola Loop NW, Albuquerque, NM 87114

Location Description _____

2. Property Owner* City of Albuquerque

3. Agent/Applicant* [if applicable] FBT Architects/City of Albuquerque Department of Senior Affairs

4. Application(s) Type* per IDO [Table 6-1-1](#)

Historic Certificate of Appropriateness – Minor

Sign Permit

Alternative Signage Plan

Wall/Fence Permit

Site Plan – Administrative²

Summary of project/request*:

Request approval of the Site Plan Administrative DFT.

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 to speak with staff.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Usually submitted and reviewed as part of building permit application, which can be searched by address here: <https://posse.cabq.gov/posse/pub/lms/Login.aspx>

[Note: Items with an asterisk (*) are required.]

- 6. Where more information about the project can be found^{*3}:
[FBT Architects, 6501 Americas Pkwy NE, Suite 300, Albuquerque, NM 87110](#)

Information Required for Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)^{*4} [A-13-Z](#)
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project^{*}:

- Deviation(s)
- Variance(s)⁵
- Waiver(s)⁶

Explanation^{*}:

[Request of approval from the Planning Department.](#)

- 4. Pre-submittal Neighborhood Meeting: Not Required
- 5. **For Site Plan – Administrative Applications only^{*}**, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. ^{*}
- b. Access and circulation for vehicles and pedestrians. ^{*}
- c. Maximum height of any proposed structures, with building elevations. ^{*}
- d. **For residential development^{*}**: Maximum number of proposed dwelling units.
- e. **For non-residential development^{*}**:
 - Total gross floor area of proposed project. 14,000 square feet
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁷:

- 1. Area of Property [typically in acres] 9.1379
- 2. IDO Zone District MX-L
- 3. Overlay Zone(s) [if applicable] N/A
- 4. Center or Corridor Area [if applicable] N/A

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

⁵ Separate notice is required for Variances.

⁶ Separate notice is required for Waivers.

⁷ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Current Land Use(s) [vacant, if none] VACANT

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]

Ted

From: Ginny Forrest <gforrest47@comcast.net>
Sent: Friday, May 17, 2024 2:23 PM
To: Ted
Subject: Re: City Project No. P7882.16-Cibola Loop Multigenerational Facility: Public Notice (Resending)

Ted,
I am in receipt of the email and the required information. Thank you.
Also, thank you for taking the time to answer questions and addressing CLNA's concerns when speaking with me yesterday when I returned your call. I appreciate your politeness and professional knowledge and hard work regarding this project.

Thank you,
Ginny Forrest CLNA VP
gforrest47@comcast.net
(505) 417-0373

On 05/17/2024 8:29 AM MDT Ted <tcg@fbtarch.com> wrote:

Good Morning Ms. Forrest,
We are resending this Public Notice with the revised cover sheet that includes your name. It's the same package sent previously, but specially addressed to you as a requirement of the City's administrative process. Would you mind acknowledging receipt of this email once again. Once again we appreciate your timely response.

Thank you.



Ted Grumblatt, LEED AP, PRINCIPAL

One Park Square | 6501 Americas Pkwy NE, Ste. 300 | Albuquerque, NM 87110

PHO 505.883.5200 x114 MOBILE 505.263.6567 EMAIL tcg@fbtarch.com WEB fbtarch.com

NEW MEXICO

COLORADO

TEXAS

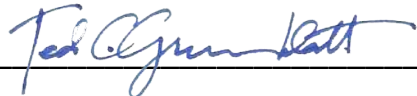


**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type:	
Decision-making Body:	
Pre-Application meeting required:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Neighborhood meeting required:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application:	10751 Cibola Loop NW, Albuquerque, NM 87114
Name of property owner:	City of Albuquerque
Name of applicant:	FBT Architects
Date, time, and place of public meeting or hearing, if applicable:	Not Applicable.
Address, phone number, or website for additional information:	6501 Americas Pkwy NE Suite 300, Albuquerque, NM 87110 (505) 883-5200
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) May 13, 2024 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

a. Location of proposed buildings and landscape areas.

b. Access and circulation for vehicles and pedestrians.

c. Maximum height of any proposed structures, with building elevations.

N/A d. For residential development: Maximum number of proposed dwelling units.

e. For non-residential development:

Total gross floor area of proposed project. 14,000 square feet

Gross floor area for each proposed use.

PROJECT DATA

BUILDING ADDRESS 10751 CIBOLA LOOP NW
ALBUQUERQUE, NM 87114

LEGAL DESCRIPTION
TRACT A-2 CIBOLA LOOP SUBDIVISION WITH THE TOWN OF ALAMEDA GRANT
PROJECTED SECTION 6, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M. CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

+/- 9.1379 ACRES

CONSTRUCTION TYPE NEW CONSTRUCTION - IIB

OCCUPANT LOAD MIXED OCCUPANCY - NON-SEPARATED USES
A-3 (ASSEMBLY GROUP)
B (BUSINESS GROUP)

SQUARE FOOTAGE
FIRST LEVEL: 11,107 GSF
SECOND LEVEL: 4,450 GSF (NON-OCCUPIED)
TOTAL BUILDING: 15,557 GSF

BUILDING HEIGHT 31' - 5" ABOVE FINISH FLOOR LEVEL.

KEYED NOTES

S01	EXISTING CURB AND GUTTER SYSTEM
S02	EXISTING SIDEWALK
S03	EXISTING ASPHALT DRIVE
S04	EXISTING DOUBLE YELLOW PAVEMENT STRIPE
S05	EXISTING STREETLIGHT
S06	LINE OF EXISTING CURB TO BE REMOVED
S10	PROPERTY LINE
S11	10' - 0" PUBLIC UTILITY EASEMENT
S12	NEW ASPHALT-PAVED DRIVE LANE FOR EXPANDED RIGHT-OF-WAY. SEE COA STD. DWG. 2439A/B FOR TYPICAL LOCAL STREET DETAILS.
S13	STRIPED ON-STREET PARKING (8' - 0" x 20' - 0" PARKING SPACE, TYPICAL, APPROXIMATELY 33 SPACES TOTAL), AS PART OF A SEPARATE CITY WORK ORDER DESIGN PACKAGE PERTAINING TO OFF-SITE IMPROVEMENTS.
S14	NEW ASPHALT-PAVED VEHICULAR ENTRY AT EXPANDED RIGHT-OF-WAY.
S15	ASPHALT PAVING, TYPICAL.

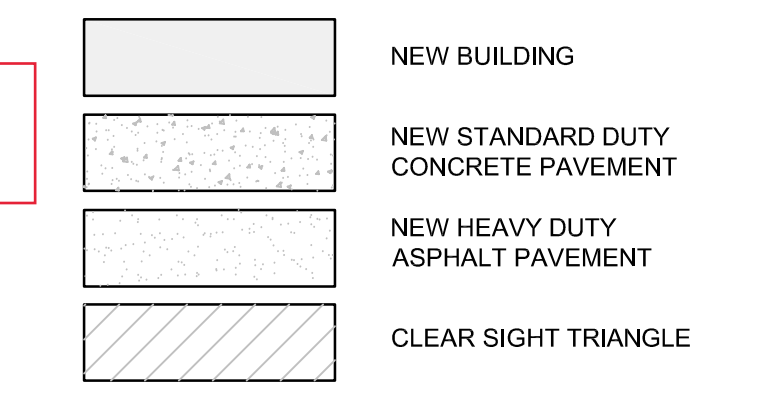
S18	PAINTED PARKING LOT 10' - 0" LENGTH ARROWS AND 30" HEIGHT LETTERING, TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
S20	PAINTED ACCESS AISLE
S31	CONCRETE CURB & GUTTER SYSTEM, TYPICAL. SEE SITE DETAILS & CIVIL.
S33	CONCRETE SIDEWALK. SEE COA STD. DWG. 2430 FOR OFFSET TYPE SIDEWALK DETAILS.
S34	4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH TURN DOWN EDGE AT ALL EXPOSED EDGES.
S35	ACCESSIBLE CURB RAMP. SEE COA STD. DWG. 2443 FOR PARALLEL CURB RAMP DETAILS. INSTALL TRUNCATED DOME IN ALL ADA RAMP. RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.
S36	ACCESSIBLE PATH TO PUBLIC WAY
S37	CONCRETE STAIRS AND STEEL HANDRAILS
S38	6" TRAFFIC-RATED BOLLARD
S42	ENTRY PLAZA: INTEGRALLY COLORED CONCRETE AND STAMPED TEXTURE WITH INTEGRATED LANDSCAPING & CONCRETE SEATING.
S43	CONCRETE PATIO: INTEGRALLY COLORED CONCRETE AND STAMPED TEXTURE WITH INTEGRATED LANDSCAPING & CONCRETE SEATING.
S44	1' - 6" CONCRETE MOW STRIP, TYPICAL. ALL AROUND BUILDING PERIMETER.
S45	OVERHEAD OVERHANG

S52	6" CONCRETE APRON. 4,000 PSI, 3/4" AGGREGATE WITH 6X6-10/10WWM OR EQUAL, 1/2" EXPANSION JOINT BETWEEN PAD AND APRON.
S59	DRIVER'S EYE
S60	CLEAR SIGHT TRIANGLE
S61	LANDSCAPING. SEE LANDSCAPE.
S62	MANUAL DOUBLE SWING PIPE GATE
S64	REFUSE ENCLOSURE WITH MANUAL DOUBLE SWING GATES.
S70	WATER METERS, SEE CIVIL.
S72	DRAIN INLET, SEE CIVIL.
S73	STORM DRAIN MANHOLE, SEE CIVIL.
S76	RETENTION POND, SEE CIVIL.
S81	POST-INDICATOR VALVE (PIV), SEE CIVIL.
S82	REMOTE FDC WITH GROUND-MOUNTED SIGN, SEE CIVIL.
S83	FIRE HYDRANT, SEE CIVIL.
S84	PAINTED FIRE LANES, TYPICAL.
S90	SWITCHGEAR, SEE ELECTRICAL.
S91	UTILITY TRANSFORMER, SEE ELECTRICAL.
S92	SITE LIGHTING, SEE ELECTRICAL.

GENERAL NOTES

- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- ALL PARKING DRIVES TO BE ASPHALT CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

SITE HATCH LEGEND



AN APPROVED/ACCEPTED WORK ORDER IS CONDITION OF RELEASING THE FINAL CO.

PARKING ANALYSIS

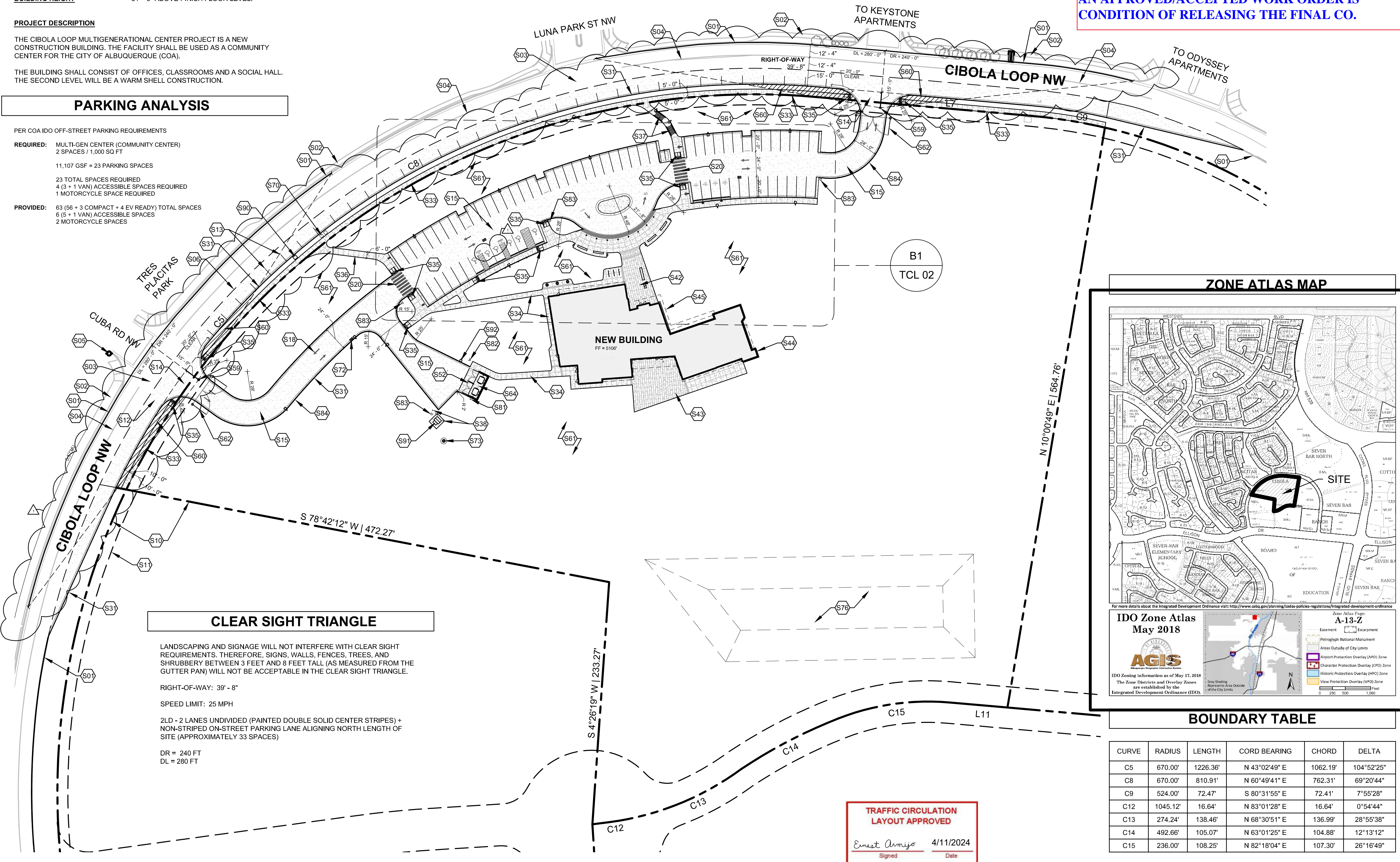
PER COA IDO OFF-STREET PARKING REQUIREMENTS

REQUIRED: MULTI-GEN CENTER (COMMUNITY CENTER)
2 SPACES / 1,000 SQ FT

11,107 GSF = 23 PARKING SPACES

23 TOTAL SPACES REQUIRED
4 (3 + 1 VAN) ACCESSIBLE SPACES REQUIRED
1 MOTORCYCLE SPACE REQUIRED

PROVIDED: 63 (56 + 3 COMPACT + 4 EV READY) TOTAL SPACES
6 (5 + 1 VAN) ACCESSIBLE SPACES
2 MOTORCYCLE SPACES



ZONE ATLAS MAP



CLEAR SIGHT TRIANGLE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

RIGHT-OF-WAY: 39' - 8"

SPEED LIMIT: 25 MPH

2LD - 2 LANES UNDIVIDED (PAINTED DOUBLE SOLID CENTER STRIPES) + NON-STRIPED ON-STREET PARKING LANE ALIGNING NORTH LENGTH OF SITE (APPROXIMATELY 33 SPACES)

DR = 240 FT
DL = 280 FT

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CORD BEARING	CHORD	DELTA
C5	670.00'	1226.36'	N 43°02'49" E	1062.19'	104°52'25"
C8	670.00'	810.91'	N 60°49'41" E	762.31'	69°20'44"
C9	524.00'	72.47'	S 80°31'55" E	72.41'	7°55'28"
C12	1045.12'	16.64'	N 83°01'28" E	16.64'	0°54'44"
C13	274.24'	138.46'	N 68°30'51" E	136.99'	28°55'38"
C14	492.66'	105.07'	N 63°01'25" E	104.88'	12°13'12"
C15	236.00'	108.25'	N 82°18'04" E	107.30'	26°16'49"

LINE	DIRECTION	DISTANCE
L7	S 84°31'26" E	207.04'
L11	S 84°36'05" E	56.17'

TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Armijo 4/11/2024
Signed Date

fbt architects

6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110 505.883.5200
www.fbtarch.com

CONSULTANTS

- CIVIL**
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250
- LANDSCAPE**
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126
- STRUCTURAL**
Chavez-Grieves Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080
- M/E/P/FP**
Bridgers & Paxton
4600-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111
- LIGHTING**
Oldner Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733
- INTERIORS**
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

CITY OF ALBUQUERQUE

COA CIBOLA LOOP MULTIGENERATIONAL CENTER

10751 Cibola Loop NW
Albuquerque, NM 87114

TRAFFIC CIRCULATION LAYOUT (TCL)

MARCH 2024

DRAWING TITLE: **TRAFFIC CIRCULATION LAYOUT**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. P7882.16 Zone Map No. A-13-Z DWG. Sheet

AS BUILT INFORMATION

CONTRACTOR	DATE
WORK STAKED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE
RECORDED BY	DATE
MICRO-FILM INFORMATION	DATE
NO.	DATE

BENCH MARKS

NO.	DATE

SURVEY INFORMATION

NO.	DATE

SEALED ARCHITECT

ARCHITECT

ARCHITECT

A1 TRAFFIC CIRCULATION LAYOUT PLAN

SCALE: 1" = 50' - 0"



GENERAL NOTES

- A. IF THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES LISTED IN THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLANTING PLAN, QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID. ADDITIONAL PAYMENT WILL NOT BE MADE FOR ANY DISCREPANCY IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT SCHEDULE.
B. IF THERE IS A DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE CONTAINER SIZE LISTED UNDER 'CONTAINER' AND HEIGHT & SPREAD LISTED UNDER 'INSTALLED SIZE', THE SPECIFIED PLANT SHALL MEET HEIGHT & SPREAD REQUIREMENTS SPECIFIED UNDER 'INSTALLED SIZE'. IF A LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS, IT SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
C. CONTRACTOR SHALL INSTALL A 7" DEPTH OF COMPACTED OF 'MOUNTAINAIR SUNRISE GOLD' CRUSHER FINES AS AVAILABLE FROM RESTORATION GROUP INC. (505) 294-1470 OVER A 4" COMPACTED DEPTH OF BASECOURSE. TOP OF FINES SHALL BE FLUSH WITH ADJACENT PAVEMENT. PROVIDE SAMPLE OF CRUSHER FINES FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. SEE DETAIL C/LP-501.
D. CONTRACTOR SHALL INSTALL A 7" DEPTH OF 1" AMARRETTO GRAVEL MULCH AS AVAILABLE FROM JPR GRAVEL (505) 877-4913. INSTALL MULCH OVER OVER FILTER FABRIC PER NOTE K. PROVIDE SAMPLE OF GRAVEL MULCH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
E. CONTRACTOR SHALL INSTALL A 4" DEPTH OF 3/4" BASALT GRAVEL MULCH AS AVAILABLE FROM JPR GRAVEL (505) 877-4913 OVER FILTER FABRIC PER NOTE K. PROVIDE SAMPLE OF GRAVEL MULCH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
F. CONTRACTOR SHALL INSTALL A 6" DEPTH OF 2"-4" 'MOUNTAINAIR BROWN' COBBLE MULCH AS AVAILABLE FROM RESTORATION GROUP INC. (505) 847-2387 OVER FILTER FABRIC PER GENERAL NOTE K. CONTRACTOR SHALL CREATE A CLEAN LINE A BY HAND PLACING A SINGLE ROW OF COBBLES AT TRANSITION TO GRAVEL OR CONCRETE. TOP OF COBBLE SHALL BE 1" HIGHER THAN ADJACENT GRAVEL AND 1/2" BELOW ADJACENT CONCRETE. PROVIDE SAMPLE OF GRAVEL MULCH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
G. CONTRACTOR SHALL INSTALL A 6" DEPTH OF 4"-8" 'COYOTE MIST' COBBLE MULCH AS AVAILABLE FROM JPR GRAVEL (505) 877-4913 OVER FILTER FABRIC PER GENERAL NOTE K. PROVIDE SAMPLE OF GRAVEL MULCH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
H. CONTRACTOR SHALL FURNISH AND INSTALL 18-84 C.F. 'MOUNTAINAIR SUNRISE GOLD' LANDSCAPE BOULDERS AS AVAILABLE FROM RESTORATION GROUP INC. (505) 847-2387. INSTALL PER DETAIL B/LP-501.

LANDSCAPE CALCULATIONS

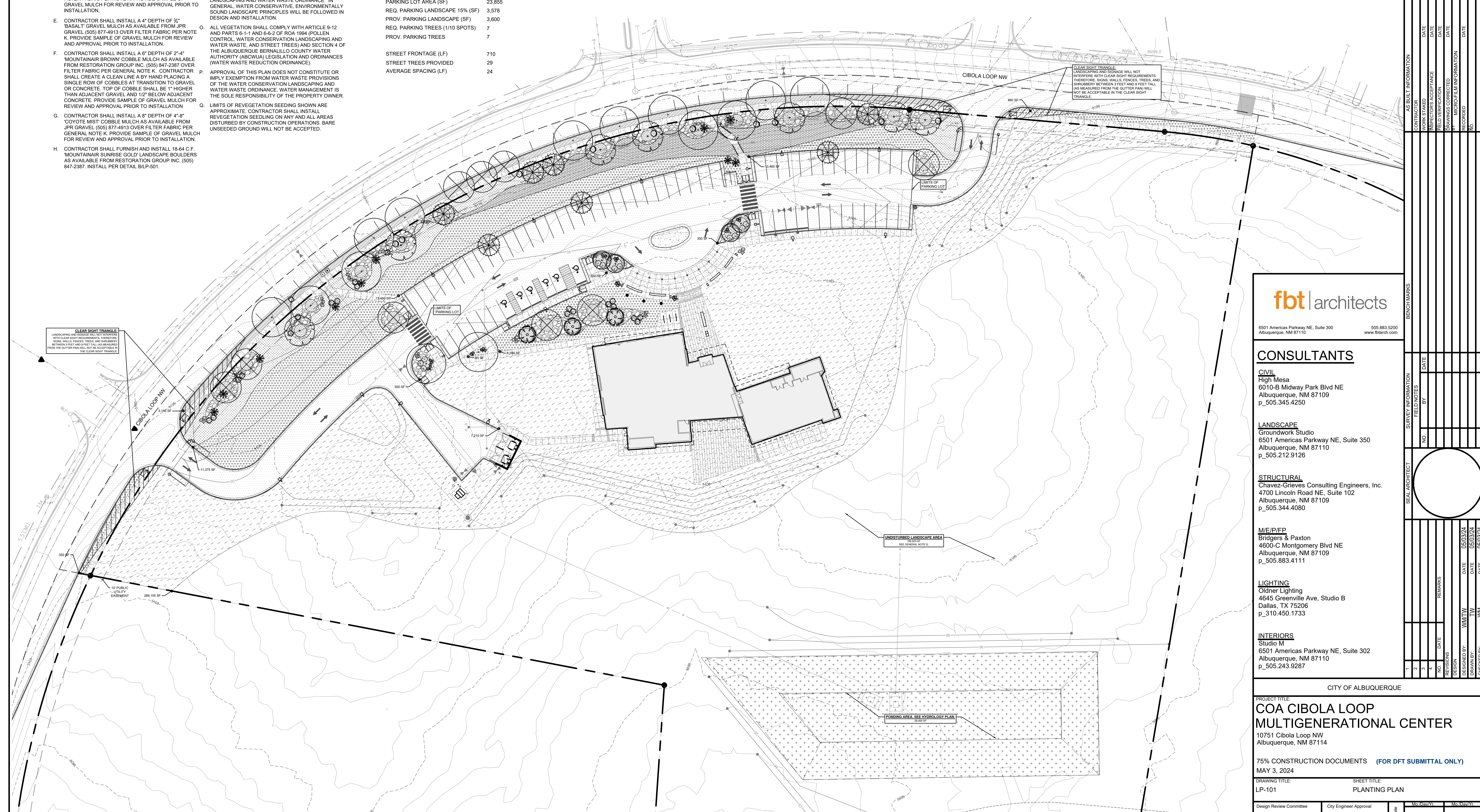
Table with columns: ZONING, APPLICABLE REGULATION(S), MX-M AND MX-L, IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994. Rows include: TOTAL LOT AREA (ACRES), TOTAL LOT AREA (SF), BUILDING AREA (SF), NET LOT AREA (SF), REQUIRED LANDSCAPE (%), REQUIRED LANDSCAPE (SF), LANDSCAPE PROVIDED (SF), VEGETATIVE COVER (% - REQ), VEGETATIVE COVER (SF - REQ), VEGETATIVE COVER (SF - PROV.), GROUND COVER (% - REQ), GROUND COVER (SF - REQ), GROUND COVER (SF - PROV.), PARKING LOT AREA (SF), REQ. PARKING LANDSCAPE 15% (SF), PROV. PARKING LANDSCAPE (SF), REQ. PARKING TREES (1/10 SPOTS), STREET FRONTAGE (LF), STREET TREES PROVIDED, AVERAGE SPACING (LF).

PLANT LEGEND

Table with columns: SYMBO, COMMON NAME, BOTANICAL NAME, QTY, MIN. INSTALLED SIZE, CONTAINER, MATURE SIZE, COV. EA, COV. TOTAL. Lists various trees and shrubs like Afghan Pine, Allee Elm, Desert Willow, etc.

HATCH LEGEND

- CRUSHER FINE SURFACING. SEE GENERAL NOTE C.
1" GRAVEL. SEE GENERAL NOTE D.
3/4" GRAVEL MULCH OVER FILTER FABRIC. SEE GENERAL NOTE E.
2"-4" COBBLE. SEE GENERAL NOTE F.
4"-8" ANGULAR COBBLE MULCH. SEE GENERAL NOTE G.
REVEGETATION SEEDING PER CABQ SPECIFICATIONS SANDY SOILS SEED MIX - GRASS AND WILDFLOWER SPECIES ONLY.
ORGANIC MULCH. SEE GENERAL NOTE J.
CONCRETE. SEE ARCHITECTURAL.
ASPHALT. SEE ARCHITECTURAL.
PONDING AREA. SEE CIVIL.



Vertical table with columns for AS BUILT INFORMATION, BENCH MARKS, SURVEY INFORMATION, SEAL ARCHITECT, and other project details.

fbt architects logo and contact information: 6501 Americas Parkway NE, Suite 300, Albuquerque, NM 87110. Phone: 505.883.5200. Website: www.fbstarch.com

CONSULTANTS CIVIL: High Mesa, 6010-B Midway Park Blvd NE, Albuquerque, NM 87109, p. 505.345.4250

LANDSCAPE: Groundwork Studio, 6501 Americas Parkway NE, Suite 350, Albuquerque, NM 87110, p. 505.212.9126

STRUCTURAL: Chavez-Greaves Consulting Engineers, Inc., 4700 Lincoln Road NE, Suite 102, Albuquerque, NM 87109, p. 505.344.4080

M/E/P/FP: Bridgers & Paxton, 4800-C Montgomery Blvd NE, Albuquerque, NM 87109, p. 505.883.4111

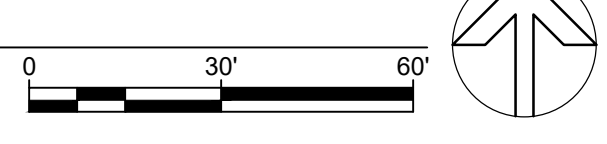
LIGHTING: Oldner Lighting, 4645 Greenville Ave, Studio B, Dallas, TX 75206, p. 310.450.1733

INTERIORS: Studio M, 6501 Americas Parkway NE, Suite 302, Albuquerque, NM 87110, p. 505.243.9287

PROJECT TITLE: COA CIBOLA LOOP MULTIGENERATIONAL CENTER, 10751 Cibola Loop NW, Albuquerque, NM 87114. 75% CONSTRUCTION DOCUMENTS (FOR DFT SUBMITTAL ONLY) MAY 3, 2024. DRAWING TITLE: LP-101 PLANTING PLAN. SHEET TITLE: PLANTING PLAN. Includes Design Review Committee and City Engineer Approval fields.

A1 PLANTING PLAN 1" = 30'-0"

groundworkstudio logo and contact information: 6501 Americas Parkway NE, Ste. 350, Albuquerque, NM 87110. Phone: 505.212.9126. Website: www.groundworkstudio.com



Ted

From: Ted
Sent: Friday, May 17, 2024 8:29 AM
To: gforrest47@comcast.net
Subject: City Project No. P7882.16-Cibola Loop Multigenerational Facility: Public Notice (Resending)



NA COA
Forms-GinnyFor...

Good Morning Ms. Forrest,
We are resending this Public Notice with the revised cover sheet that includes your name. It's the same package sent previously, but specially addressed to you as a requirement of the City's administrative process. Would you mind acknowledging receipt of this email once again. Once again we appreciate your timely response.

Thank you.



Ted Grumblatt, LEED AP, PRINCIPAL

One Park Square | 6501 Americas Pkwy NE, Ste. 300 | Albuquerque, NM 87110

PHO 505.883.5200 x114 **MOBILE** 505.263.6567 **EMAIL** tcg@fbtarch.com **WEB** fbtarch.com

NEW MEXICO

COLORADO

TEXAS

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: May 16, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA) *: Westside Coalition of Neighborhood Associations

Name of NA Representative*: Rene Horvath

Email Address* or Mailing Address* of NA Representative¹: aboard111@gmail.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 10751 Cibola Loop NW, Albuquerque, NM 87114

Location Description _____

2. Property Owner* City of Albuquerque

3. Agent/Applicant* [if applicable] FBT Architects/City of Albuquerque Department of Senior Affairs

4. Application(s) Type* per IDO [Table 6-1-1](#)

Historic Certificate of Appropriateness – Minor

Sign Permit

Alternative Signage Plan

Wall/Fence Permit

Site Plan – Administrative²

Summary of project/request*:

Request approval of the Site Plan Administrative DFT.

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 to speak with staff.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Usually submitted and reviewed as part of building permit application, which can be searched by address here: <https://posse.cabq.gov/posse/pub/lms/Login.aspx>

[Note: Items with an asterisk (*) are required.]

- 6. Where more information about the project can be found³:
FBT Architects, 6501 Americas Pkwy NE, Suite 300, Albuquerque, NM 87110

Information Required for Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)⁴ A-13-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project^{*}:

- Deviation(s)
- Variance(s)⁵
- Waiver(s)⁶

Explanation^{*}:

Request of approval from the Planning Department.

- 4. Pre-submittal Neighborhood Meeting: Not Required
- 5. **For Site Plan – Administrative Applications only^{*}**, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. ^{*}
- b. Access and circulation for vehicles and pedestrians. ^{*}
- c. Maximum height of any proposed structures, with building elevations. ^{*}
- d. **For residential development^{*}**: Maximum number of proposed dwelling units. N/A
- e. **For non-residential development^{*}**:
 - Total gross floor area of proposed project. 14,000 square feet
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁷:

- 1. Area of Property [typically in acres] 9.1379
- 2. IDO Zone District MX-L
- 3. Overlay Zone(s) [if applicable] N/A
- 4. Center or Corridor Area [if applicable] N/A

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

⁵ Separate notice is required for Variances.

⁶ Separate notice is required for Waivers.

⁷ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Current Land Use(s) [vacant, if none] VACANT

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Cibola Loop NA [Other Neighborhood Associations, if any]

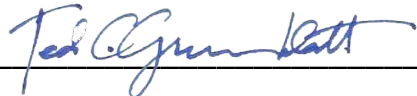


**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type:	
Decision-making Body:	
Pre-Application meeting required:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Neighborhood meeting required:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application:	10751 Cibola Loop NW, Albuquerque, NM 87114
Name of property owner:	City of Albuquerque
Name of applicant:	FBT Architects
Date, time, and place of public meeting or hearing, if applicable:	Not Applicable.
Address, phone number, or website for additional information:	6501 Americas Pkwy NE Suite 300, Albuquerque, NM 87110 (505) 883-5200
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) May 13, 2024 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

a. Location of proposed buildings and landscape areas.

b. Access and circulation for vehicles and pedestrians.

c. Maximum height of any proposed structures, with building elevations.

N/A d. For residential development: Maximum number of proposed dwelling units.

e. For non-residential development:

Total gross floor area of proposed project. 14,000 square feet

Gross floor area for each proposed use.

PROJECT DATA

BUILDING ADDRESS 10751 CIBOLA LOOP NW
ALBUQUERQUE, NM 87114

LEGAL DESCRIPTION
TRACT A-2 CIBOLA LOOP SUBDIVISION WITH THE TOWN OF ALAMEDA GRANT
PROJECTED SECTION 6, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M. CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

+/- 9.1379 ACRES

CONSTRUCTION TYPE NEW CONSTRUCTION - IIB

OCCUPANT LOAD MIXED OCCUPANCY - NON-SEPARATED USES
A-3 (ASSEMBLY GROUP)
B (BUSINESS GROUP)

SQUARE FOOTAGE
FIRST LEVEL: 11,107 GSF
SECOND LEVEL: 4,450 GSF (NON-OCCUPIED)
TOTAL BUILDING: 15,557 GSF

BUILDING HEIGHT 31' - 5" ABOVE FINISH FLOOR LEVEL.

PROJECT DESCRIPTION
THE CIBOLA LOOP MULTIGENERATIONAL CENTER PROJECT IS A NEW
CONSTRUCTION BUILDING. THE FACILITY SHALL BE USED AS A COMMUNITY
CENTER FOR THE CITY OF ALBUQUERQUE (COA).
THE BUILDING SHALL CONSIST OF OFFICES, CLASSROOMS AND A SOCIAL HALL.
THE SECOND LEVEL WILL BE A WARM SHELL CONSTRUCTION.

KEYED NOTES

S01	EXISTING CURB AND GUTTER SYSTEM
S02	EXISTING SIDEWALK
S03	EXISTING ASPHALT DRIVE
S04	EXISTING DOUBLE YELLOW PAVEMENT STRIPE
S05	EXISTING STREETLIGHT
S06	LINE OF EXISTING CURB TO BE REMOVED
S10	PROPERTY LINE
S11	10' - 0" PUBLIC UTILITY EASEMENT
S12	NEW ASPHALT-PAVED DRIVE LANE FOR EXPANDED RIGHT-OF-WAY. SEE COA STD. DWG. 2439A/B FOR TYPICAL LOCAL STREET DETAILS.
S13	STRIPED ON-STREET PARKING (8' - 0" x 20' - 0" PARKING SPACE, TYPICAL, APPROXIMATELY 33 SPACES TOTAL), AS PART OF A SEPARATE CITY WORK ORDER DESIGN PACKAGE PERTAINING TO OFF-SITE IMPROVEMENTS.
S14	NEW ASPHALT-PAVED VEHICULAR ENTRY AT EXPANDED RIGHT-OF-WAY.
S15	ASPHALT PAVING, TYPICAL.

S18	PAINTED PARKING LOT 10' - 0" LENGTH ARROWS AND 30" HEIGHT LETTERING, TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
S20	PAINTED ACCESS AISLE
S31	CONCRETE CURB & GUTTER SYSTEM, TYPICAL. SEE SITE DETAILS & CIVIL.
S33	CONCRETE SIDEWALK. SEE COA STD. DWG. 2430 FOR OFFSET TYPE SIDEWALK DETAILS.
S34	4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH TURN DOWN EDGE AT ALL EXPOSED EDGES.
S35	ACCESSIBLE CURB RAMP. SEE COA STD. DWG. 2443 FOR PARALLEL CURB RAMP DETAILS. INSTALL TRUNCATED DOME IN ALL ADA RAMP. RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.
S36	ACCESSIBLE PATH TO PUBLIC WAY
S37	CONCRETE STAIRS AND STEEL HANDRAILS
S38	6" TRAFFIC-RATED BOLLARD
S42	ENTRY PLAZA: INTEGRALLY COLORED CONCRETE AND STAMPED TEXTURE WITH INTEGRATED LANDSCAPING & CONCRETE SEATING.
S43	CONCRETE PATIO: INTEGRALLY COLORED CONCRETE AND STAMPED TEXTURE WITH INTEGRATED LANDSCAPING & CONCRETE SEATING.
S44	1' - 6" CONCRETE MOW STRIP, TYPICAL. ALL AROUND BUILDING PERIMETER.
S45	OVERHEAD OVERHANG

S52	6" CONCRETE APRON. 4,000 PSI, 3/4" AGGREGATE WITH 6X6-10/10WWM OR EQUAL, 1/2" EXPANSION JOINT BETWEEN PAD AND APRON.
S59	DRIVER'S EYE
S60	CLEAR SIGHT TRIANGLE
S61	LANDSCAPING. SEE LANDSCAPE.
S62	MANUAL DOUBLE SWING PIPE GATE
S64	REFUSE ENCLOSURE WITH MANUAL DOUBLE SWING GATES.
S70	WATER METERS, SEE CIVIL.
S72	DRAIN INLET, SEE CIVIL.
S73	STORM DRAIN MANHOLE, SEE CIVIL.
S76	RETENTION POND, SEE CIVIL.
S81	POST-INDICATOR VALVE (PIV), SEE CIVIL.
S82	REMOTE FDC WITH GROUND-MOUNTED SIGN, SEE CIVIL.
S83	FIRE HYDRANT, SEE CIVIL.
S84	PAINTED FIRE LANES, TYPICAL.
S90	SWITCHGEAR, SEE ELECTRICAL.
S91	UTILITY TRANSFORMER, SEE ELECTRICAL.
S92	SITE LIGHTING, SEE ELECTRICAL.

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- B. ALL PARKING DRIVES TO BE ASPHALT CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- C. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.
- D. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- E. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

SITE HATCH LEGEND

[Hatch Pattern]	NEW BUILDING
[Hatch Pattern]	NEW STANDARD DUTY CONCRETE PAVEMENT
[Hatch Pattern]	NEW HEAVY DUTY ASPHALT PAVEMENT
[Hatch Pattern]	CLEAR SIGHT TRIANGLE

AN APPROVED/ACCEPTED WORK ORDER IS CONDITION OF RELEASING THE FINAL CO.

PARKING ANALYSIS

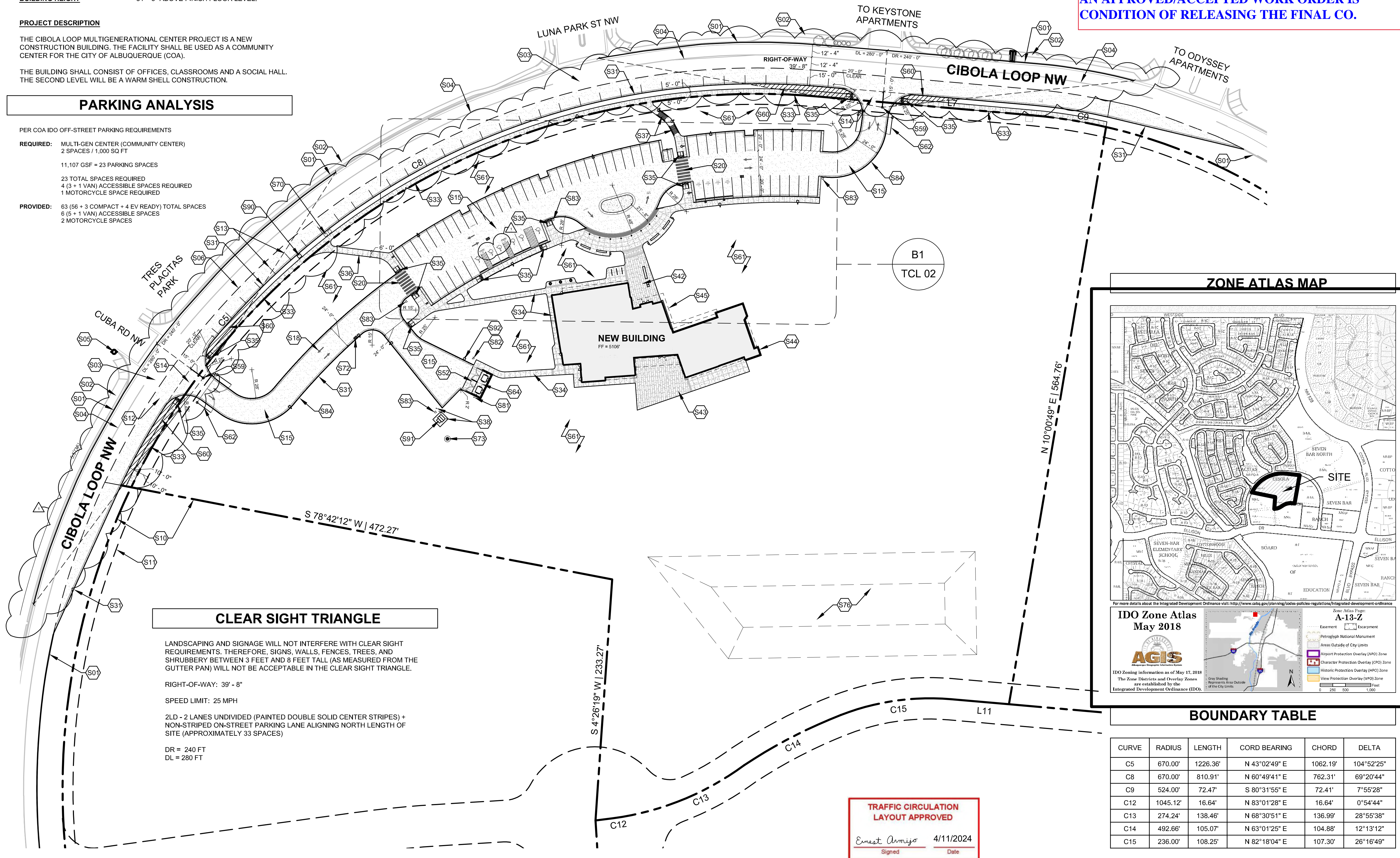
PER COA IDO OFF-STREET PARKING REQUIREMENTS

REQUIRED: MULTIGEN CENTER (COMMUNITY CENTER)
2 SPACES / 1,000 SQ FT

11,107 GSF = 23 PARKING SPACES

23 TOTAL SPACES REQUIRED
4 (3 + 1 VAN) ACCESSIBLE SPACES REQUIRED
1 MOTORCYCLE SPACE REQUIRED

PROVIDED: 63 (56 + 3 COMPACT + 4 EV READY) TOTAL SPACES
6 (5 + 1 VAN) ACCESSIBLE SPACES
2 MOTORCYCLE SPACES



ZONE ATLAS MAP



BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CORD BEARING	CHORD	DELTA
C5	670.00'	1226.36'	N 43°02'49" E	1062.19'	104°52'25"
C8	670.00'	810.91'	N 60°49'41" E	762.31'	69°20'44"
C9	524.00'	72.47'	S 80°31'55" E	72.41'	7°55'28"
C12	1045.12'	16.64'	N 83°01'28" E	16.64'	0°54'44"
C13	274.24'	138.46'	N 68°30'51" E	136.99'	28°55'38"
C14	492.66'	105.07'	N 63°01'25" E	104.88'	12°13'12"
C15	236.00'	108.25'	N 82°18'04" E	107.30'	26°16'49"

LINE	DIRECTION	DISTANCE
L7	S 84°31'26" E	207.04'
L11	S 84°36'05" E	56.17'

fbt architects
6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110
505.883.5200
www.fbtarch.com

CONSULTANTS

- CIVIL**
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250
- LANDSCAPE**
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126
- STRUCTURAL**
Chavez-Grieves Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080
- M/E/P/FP**
Bridgers & Paxton
4600-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111
- LIGHTING**
Oldner Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733
- INTERIORS**
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

CITY OF ALBUQUERQUE

COA CIBOLA LOOP MULTIGENERATIONAL CENTER

10751 Cibola Loop NW
Albuquerque, NM 87114

TRAFFIC CIRCULATION LAYOUT (TCL)

MARCH 2024
DRAWING TITLE: TCL 01
SHEET TITLE: TRAFFIC CIRCULATION LAYOUT

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. P7882.16
Zone Map No. A-13-Z
DWG. Sheet

AS BUILT INFORMATION

CONTRACTOR	DATE
WORK STAKED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE
RECORDED BY	DATE
MICRO-FILM INFORMATION	DATE
NO.	DATE

BENCH MARKS

FIELD NOTES

NO. BY DATE

SEALED ARCHITECT

ARCHITECT

NO. DATE

COA TCL REVIEW COMMENTS

REVISIONS

NO.	DATE	REMARKS
1	2024.04.10	
2		
3		
4		

DESIGNED BY: DATE DATE DATE DATE

DRAWN BY: DATE DATE DATE DATE

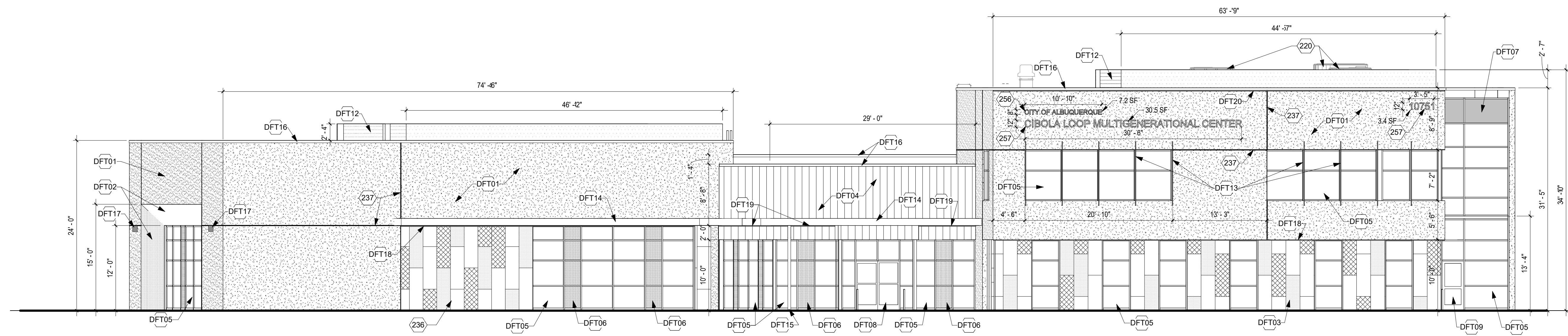
CHECKED BY: DATE DATE DATE DATE

A1 TRAFFIC CIRCULATION LAYOUT PLAN

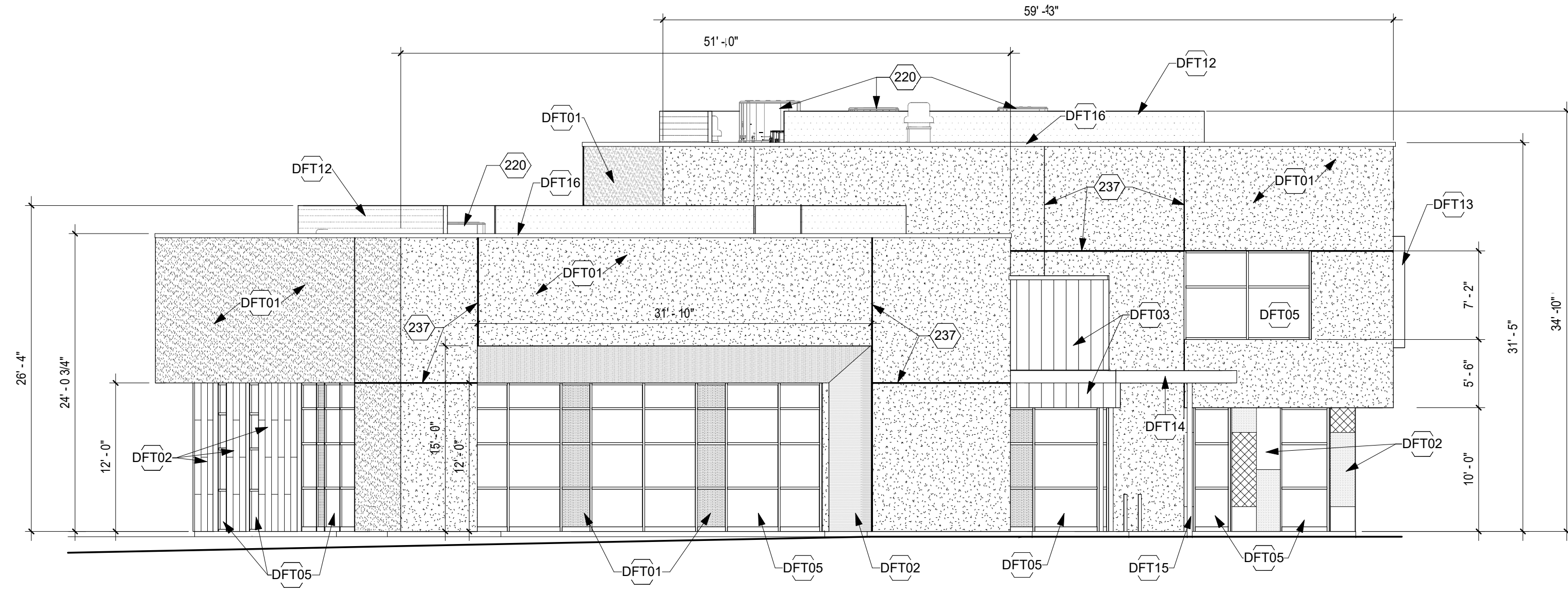
SCALE: 1" = 50' - 0"



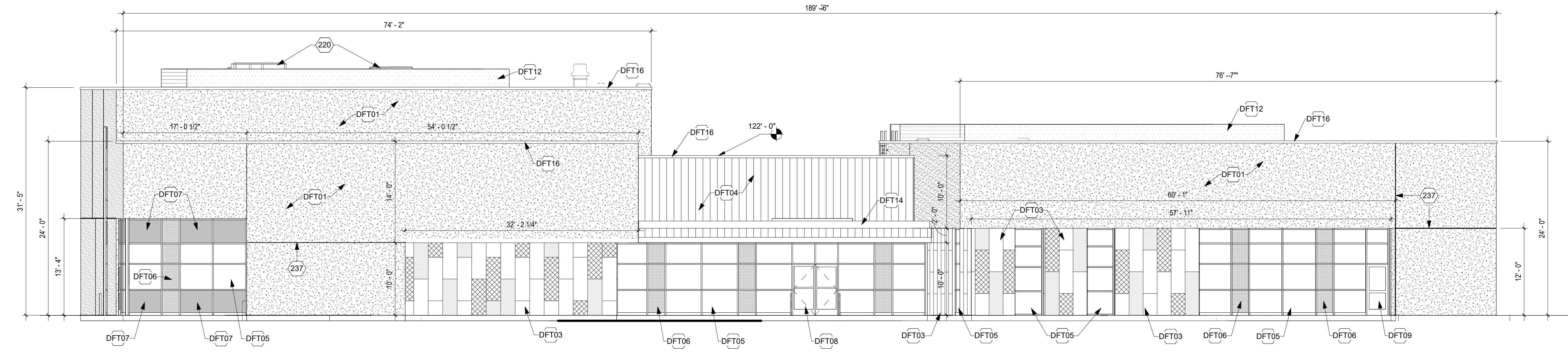
E1 NORTH ELEVATION
1/8" = 1'-0"



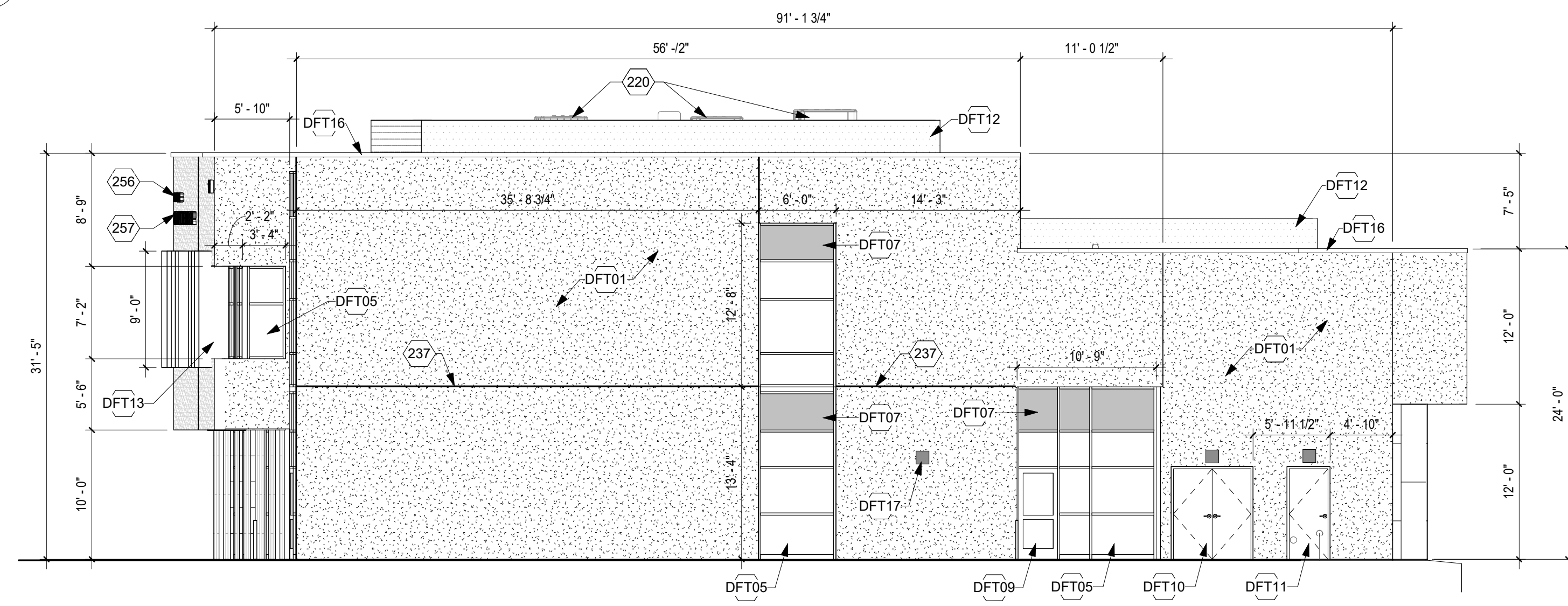
C1 EAST ELEVATION
1/8" = 1'-0"



B1 SOUTH ELEVATION
1/8" = 1'-0"



A1 WEST ELEVATION
1/8" = 1'-0"



GENERAL NOTES

- A. CIVIL ELEVATIONS OF 5106.0' = 107'-0" ON ARCHITECTURAL SHEETS. BEARING HEIGHTS ARE SHOWN FOR REFERENCE TO 100'-0" AND NOT INVIDUAL HEIGHTS ABOVE FINISHED FLOORS. COORDINATED WITH FLOOR PLAN DRAWINGS AND STRUCTURAL.
- B. ANY EXPOSED PENETRATIONS, FLASHINGS, VENTS, UNFINISHED MECHANICAL EQUIPMENT, UTILITY LINES, ETC. SHALL BE PAINTED TO COLOR AS SELECTED BY THE ARCHITECT. DO NOT PAINT PRE-FINISHED ITEMS.
- C. FURNISH AND INSTALL SEALANT AT INTERSECTION OF ALL DISSIMILAR MATERIALS.
- D. REFER TO CIVIL FOR ALL GRADING INFORMATION AROUND THE BUILDING.

EXTERIOR FINISH LEGEND

- EXTERIOR INSULATION AND FINISH SYSTEM (EIFS), WITH ANTI-GRAFFITI COATING. FIELD COLOR: SANDY SL33 (TAN). ACCENT COLOR: FALL FOLIAGE (BURNT ORANGE).
- 1" - 0" WIDE FLUSH ALUMINUM WALL PANELS. COLOR: WEATHERED COPPER (SPECKLED).
- 2"x6" ALUMINUM WALL PANELS WITH REVEAL JOINTS, RUNNING BOND (1/2 OFFSET). TYPICAL COLOR: GREEN (3 VARIATIONS), TYPICAL COLORS TO BE SELECTED BY ARCHITECT.

SIGN RESTRICTIONS PER IDO

- ON-PREMISES SIGNS IN MIXED-USE AND NON-RESIDENTIAL ZONE DISTRICTS:**
- WALL SIGN NUMBER, MAXIMUM: N/A
- AREA, MAXIMUM: MX-L: 10%
- *SHALL NOT EXCEED THE PERCENTAGE OF FACADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS
- LOCATION: WHERE THERE IS NO SIDE SETBACK BETWEEN 2 ESTABLISHMENT FRONTAGES IN THE SAME OR ABUTTING BUILDINGS, NO WALL SIGN MAY EXTEND CLOSER THAN 2 FEET TO THE SHARED EDGE OF THE FRONTAGE.

fbt architects
6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110
505.883.5200
www.fbtarch.com

CONSULTANTS

CIVIL
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250

LANDSCAPE
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126

STRUCTURAL
Chavez-Grievos Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080

M/E/P/FP
Bridgers & Paxton
4500-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111

LIGHTING
Oldner Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733

INTERIORS
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

CITY OF ALBUQUERQUE

PROJECT TITLE:
**COA CIBOLA LOOP
MULTIGENERATIONAL CENTER**
10751 Cibola Loop NW
Albuquerque, NM 87114

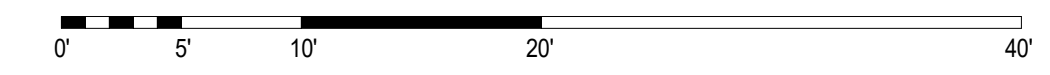
75% CONSTRUCTION DOCUMENTS (FOR DFT SUBMITTAL ONLY)
MAY, 2024

DRAWING TITLE: BUILDING ELEVATIONS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	DWG.	Sheet
P7882.16	A-13-2	DFT-201	

KEYED NOTES

- 220 MECHANICAL EQUIPMENT. MOUNT PER ARCHITECTURAL ROOF DETAILS. COORDINATE WITH MECHANICAL REQUIREMENTS. SEE MECHANICAL.
- 236 METAL PANEL WALL SYSTEM.
- 237 CONTROL JOINT. SEE MISCELLANEOUS DETAILS.
- 256 BUILDING SIGNAGE. 8" HIGH PRE-FINISHED ALUMINUM LETTERS. FINAL TEXT TO BE APPROVED BY ARCHITECT AND OWNER. BLIND STUD MOUNT TO SUBSTRATE OR SUPPORT PER MANUFACTURER'S RECOMMENDATIONS.
- 257 BUILDING SIGNAGE. 12" HIGH PRE-FINISHED ALUMINUM LETTERS. FINAL TEXT TO BE APPROVED BY ARCHITECT AND OWNER. BLIND STUD MOUNT TO SUBSTRATE OR SUPPORT PER MANUFACTURER'S RECOMMENDATIONS.
- DFT01 SPANDREL PANEL. COLOR: MATCH 1" INSULATED SAFETY GLAZING. EXTERIOR INSULATION AND FINISH SYSTEM (EIFS). FIELD COLOR: SAND.
- DFT02 EXTERIOR INSULATION AND FINISH SYSTEM (EIFS). ACCENT COLOR: BURNT ORANGE.
- DFT03 METAL PANEL WALL SYSTEM. COLOR: GREEN (3 DIFFERING SHADES).
- DFT04 METAL PANEL WALL SYSTEM. COLOR: COPPER.
- DFT05 ALUMINUM STOREFRONT ASSEMBLY. MULLION COLOR: CLEAR ANODIZED. 1" INSULATED SAFETY GLAZING. COLOR: CLEAR, TYPICAL.
- DFT06 1" INSULATED SAFETY GLAZING. COLOR: LIGHT ORANGE.
- DFT07 SPANDREL PANEL. COLOR: MATCH 1" INSULATED SAFETY GLAZING.
- DFT08 ALUMINUM STOREFRONT DOUBLE DOOR AND FRAME WITH REMOVABLE CENTER MULLION. 6'-2" x 7'-0".
- DFT09 ALUMINUM STOREFRONT DOOR AND FRAME. 3'-0" x 7'-0".
- DFT10 HOLLOW METAL DOUBLE DOOR AND FRAME. 6'-0" x 7'-0".
- DFT11 HOLLOW METAL DOOR AND FRAME. 3'-0" x 7'-0".
- DFT12 PERFORATED METAL PANEL SCREEN WALL ON TUBE STEEL FRAME. COLOR: GREY.
- DFT13 PREFINISHED ALUMINUM VERTICAL SUNSHADE FIN. COLOR: GREY.
- DFT14 PAINTED STEEL SHADE CANOPY. COLOR: GREY.
- DFT15 PAINTED STEEL COLUMN. COLOR: GREY.
- DFT16 METAL COPING CAP. COLOR: MATCH EIFS FIELD COLOR.
- DFT17 SQUARE WALL MOUNT LED. MANUFACTURER: PERFORMANCE IN LIGHTING - MINIK 59. COLOR: GREY.
- DFT18 LINEAR LED (DOWNLIGHT). MANUFACTURER: NEOXTEK - PS-351-HO.
- DFT19 SURFACE-MOUNTED LINEAR LED (DOWNLIGHT). MANUFACTURER: FC LIGHTING - BLK62AC.
- DFT20 STEM-MOUNTED LINEAR LED (DOWNLIGHT). MANUFACTURER: FC LIGHTING - BLK62AC.



AS BUILT INFORMATION		BENCH MARKS	
CONTRACTOR	DATE		
WORK STARTED BY	DATE		
INSPECTORS ACCEPTANCE BY	DATE		
FIELD VERIFICATION BY	DATE		
DRAWINGS CORRECTED BY	DATE		
MICRO-FILM INFORMATION	DATE		
RECORDED BY	DATE		
NO.			

SEAL ARCHITECT
SIGN DEVELOPMENT
PROGRESS SEE NOT FOR
CONSTRUCTION

Ted

From: Ted
Sent: Friday, May 17, 2024 8:31 AM
To: aboard111@gmail.com
Subject: City Project No. P7882.16-Cibola Loop Multigenerational Facility: Public Notice (Resending)



NA COA
Forms-ReneHor...

Good Morning Ms. Horvath,
We are resending this Public Notice with the revised cover sheet that includes your name. It's the same package sent previously, but specifically addressed to you as a requirement of the City's administrative process. Would you mind acknowledging receipt of this email once again. Once again we appreciate your timely response.

Thank you.

fbt | architects

Ted Grumblatt, LEED AP, PRINCIPAL

One Park Square | 6501 Americas Pkwy NE, Ste. 300 | Albuquerque, NM 87110

PHO 505.883.5200 x114 **MOBILE** 505.263.6567 **EMAIL** tcg@fbtarch.com **WEB** fbtarch.com

NEW MEXICO

COLORADO

TEXAS

Ted

From: Rene' Horvath <aboard111@gmail.com>
Sent: Tuesday, May 14, 2024 12:27 PM
To: Ted
Cc: learrael@aol.com; gforrest47@comcast.net; elizabethkayhaley@gmail.com; Antonio M. Vigil; Nicholas A. Morse
Subject: Re: City Project No. P7882.16: Public Notice

Dear Ted,
Thank you for the email notice and the phone call,
letting us know about your proposal for the Cibola Loop multigenerational facility.
Rene' Horvath
WSCONA



Virus-free. www.avg.com

On Mon, May 13, 2024 at 11:26 AM Ted <tcg@fbtarch.com> wrote:

Good Morning,

As a requirement of the City of Albuquerque Integrated Development Ordinance, FBT Architects is applying for approval from the Planning Department, a new Cibola Loop Multigenerational Facility located on Cibola Loop Road. The request is for a Site Plan Administrative DFT. Please find attached the Official Public Notification Form for Mailed or Electronic Mail Notice, along with supporting documents. Please contact us with any questions regarding this project.

Thank you.



Ted Grumblatt, LEED AP, PRINCIPAL

One Park Square | 6501 Americas Pkwy NE, Ste. 300 | Albuquerque, NM 87110

PHO 505.883.5200 x114 MOBILE 505.263.6567 EMAIL tcg@fbtarch.com WEB fbtarch.com

NEW MEXICO

COLORADO

TEXAS

Ted

From: Rene' Horvath <aboard111@gmail.com>
Sent: Friday, May 17, 2024 2:31 PM
To: Ted
Subject: Re: City Project No. P7882.16-Cibola Loop Multigenerational Facility: Public Notice (Resending)

Ted,
Yes, I received the email and cover sheet.
Thank you,
Rene
Sent from my iPhone

On May 17, 2024, at 8:31 AM, Ted <tcg@fbtarch.com> wrote:

Good Morning Ms. Horvath,
We are resending this Public Notice with the revised cover sheet that includes your name. It's the same package sent previously, but specifically addressed to you as a requirement of the City's administrative process. Would you mind acknowledging receipt of this email once again. Once again we appreciate your timely response.

Thank you.

[<Picture \(Device Independent Bitmap\) 1.jpg>](#)

Ted Grumblatt, LEED AP, PRINCIPAL

One Park Square | 6501 Americas Pkwy NE, Ste. 300 | Albuquerque, NM 87110

PHO 505.883.5200 x114 **MOBILE** 505.263.6567 **EMAIL** tcg@fbtarch.com **WEB** fbtarch.com

NEW MEXICO

COLORADO

TEXAS

<NA COA Forms-ReneHorvath.pdf>

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: May 16, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA) *: Westside Coalition of Neighborhood Associations

Name of NA Representative*: Elizabeth Haley

Email Address* or Mailing Address* of NA Representative¹: elizabethkayhaley@gmail.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 10751 Cibola Loop NW, Albuquerque, NM 87114

Location Description _____

2. Property Owner* City of Albuquerque

3. Agent/Applicant* [if applicable] FBT Architects/City of Albuquerque Department of Senior Affairs

4. Application(s) Type* per IDO [Table 6-1-1](#)

Historic Certificate of Appropriateness – Minor

Sign Permit

Alternative Signage Plan

Wall/Fence Permit

Site Plan – Administrative²

Summary of project/request*:

Request approval of the Site Plan Administrative DFT.

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 to speak with staff.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Usually submitted and reviewed as part of building permit application, which can be searched by address here: <https://posse.cabq.gov/posse/pub/lms/Login.aspx>

[Note: Items with an asterisk (*) are required.]

- 6. Where more information about the project can be found^{*3}:
[FBT Architects, 6501 Americas Pkwy NE, Suite 300, Albuquerque, NM 87110](#)

Information Required for Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)^{*4} [A-13-Z](#)
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project^{*}:

- Deviation(s)
- Variance(s)⁵
- Waiver(s)⁶

Explanation^{*}:

[Request of approval from the Planning Department.](#)

- 4. Pre-submittal Neighborhood Meeting: Not Required
- 5. **For Site Plan – Administrative Applications only^{*}**, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. ^{*}
- b. Access and circulation for vehicles and pedestrians. ^{*}
- c. Maximum height of any proposed structures, with building elevations. ^{*}
- d. **For residential development^{*}**: Maximum number of proposed dwelling units. N/A
- e. **For non-residential development^{*}**:
 - Total gross floor area of proposed project. 14,000 square feet
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁷:

- 1. Area of Property [typically in acres] 9.1379
- 2. IDO Zone District MX-L
- 3. Overlay Zone(s) [if applicable] N/A
- 4. Center or Corridor Area [if applicable] N/A

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

⁵ Separate notice is required for Variances.

⁶ Separate notice is required for Waivers.

⁷ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Current Land Use(s) [vacant, if none] VACANT

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Cibola Loop NA [Other Neighborhood Associations, if any]



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:
Application Type:
Decision-making Body:
Pre-Application meeting required: [] Yes [] No
Neighborhood meeting required: [] Yes [] No
Mailed Notice required: [] Yes [] No
Electronic Mail required: [x] Yes [] No
Is this a Site Plan Application: [x] Yes [] No Note: if yes, see second page
PART II - DETAILS OF REQUEST
Address of property listed in application: 10751 Cibola Loop NW, Albuquerque, NM 87114
Name of property owner: City of Albuquerque
Name of applicant: FBT Architects
Date, time, and place of public meeting or hearing, if applicable: Not Applicable.
Address, phone number, or website for additional information: 6501 Americas Pkwy NE Suite 300, Albuquerque, NM 87110 (505) 883-5200
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE
[x] Zone Atlas page indicating subject property.
[] Drawings, elevations, or other illustrations of this request.
[] Summary of pre-submittal neighborhood meeting, if applicable.
[] Summary of request, including explanations of deviations, variances, or waivers.
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Ted Aguirre (Applicant signature) May 13, 2024 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

a. Location of proposed buildings and landscape areas.

b. Access and circulation for vehicles and pedestrians.

c. Maximum height of any proposed structures, with building elevations.

N/A d. For residential development: Maximum number of proposed dwelling units.

e. For non-residential development:

Total gross floor area of proposed project. 14,000 square feet

Gross floor area for each proposed use.

PROJECT DATA

BUILDING ADDRESS 10751 CIBOLA LOOP NW
ALBUQUERQUE, NM 87114

LEGAL DESCRIPTION
TRACT A-2 CIBOLA LOOP SUBDIVISION WITH THE TOWN OF ALAMEDA GRANT
PROJECTED SECTION 6, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M. CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

+/- 9.1379 ACRES

CONSTRUCTION TYPE NEW CONSTRUCTION - IIB

OCCUPANT LOAD MIXED OCCUPANCY - NON-SEPARATED USES
A-3 (ASSEMBLY GROUP)
B (BUSINESS GROUP)

SQUARE FOOTAGE
FIRST LEVEL: 11,107 GSF
SECOND LEVEL: 4,450 GSF (NON-OCCUPIED)
TOTAL BUILDING: 15,557 GSF

BUILDING HEIGHT 31' - 5" ABOVE FINISH FLOOR LEVEL.

PROJECT DESCRIPTION
THE CIBOLA LOOP MULTIGENERATIONAL CENTER PROJECT IS A NEW
CONSTRUCTION BUILDING. THE FACILITY SHALL BE USED AS A COMMUNITY
CENTER FOR THE CITY OF ALBUQUERQUE (COA).
THE BUILDING SHALL CONSIST OF OFFICES, CLASSROOMS AND A SOCIAL HALL.
THE SECOND LEVEL WILL BE A WARM SHELL CONSTRUCTION.

KEYED NOTES

- S01 EXISTING CURB AND GUTTER SYSTEM
- S02 EXISTING SIDEWALK
- S03 EXISTING ASPHALT DRIVE
- S04 EXISTING DOUBLE YELLOW PAVEMENT STRIPE
- S05 EXISTING STREETLIGHT
- S06 LINE OF EXISTING CURB TO BE REMOVED
- S10 PROPERTY LINE
- S11 10' - 0" PUBLIC UTILITY EASEMENT
- S12 NEW ASPHALT-PAVED DRIVE LANE FOR EXPANDED RIGHT-OF-WAY. SEE COA STD. DWG. 2439/AB FOR TYPICAL LOCAL STREET DETAILS.
- S13 STRIPED ON-STREET PARKING (8' - 0" x 20' - 0" PARKING SPACE, TYPICAL, APPROXIMATELY 33 SPACES TOTAL), AS PART OF A SEPARATE CITY WORK ORDER DESIGN PACKAGE PERTAINING TO OFF-SITE IMPROVEMENTS.
- S14 NEW ASPHALT-PAVED VEHICULAR ENTRY AT EXPANDED RIGHT-OF-WAY.
- S15 ASPHALT PAVING, TYPICAL.

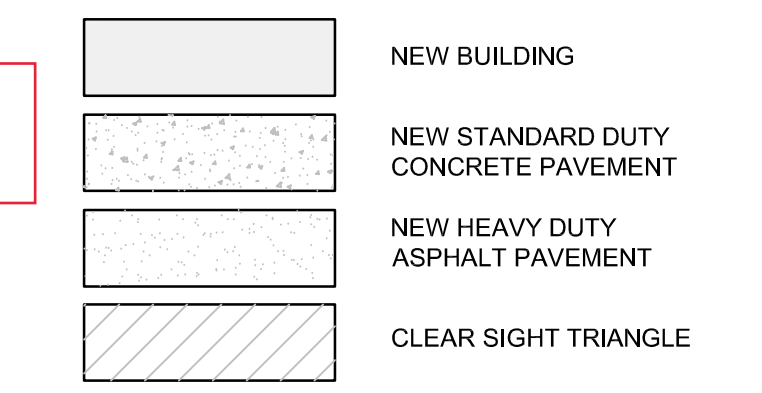
- S18 PAINTED PARKING LOT 10' - 0" LENGTH ARROWS AND 30" HEIGHT LETTERING, TYPICAL. PAINT SHALL BE TRAFFIC-RATED LATEX PAINT, COLOR: WHITE.
- S20 PAINTED ACCESS AISLE
- S31 CONCRETE CURB & GUTTER SYSTEM, TYPICAL. SEE SITE DETAILS & CIVIL.
- S33 CONCRETE SIDEWALK. SEE COA STD. DWG. 2430 FOR OFFSET TYPE SIDEWALK DETAILS.
- S34 4" THICK STANDARD DUTY CONCRETE PAVEMENT WITH TURN DOWN EDGE AT ALL EXPOSED EDGES.
- S35 ACCESSIBLE CURB RAMP. SEE COA STD. DWG. 2443 FOR PARALLEL CURB RAMP DETAILS. INSTALL TRUNCATED DOME IN ALL ADA RAMP. RECESS TO FLUSH WITH SURFACE OF CONCRETE SIDEWALK. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.
- S36 ACCESSIBLE PATH TO PUBLIC WAY
- S37 CONCRETE STAIRS AND STEEL HANDRAILS
- S38 6" TRAFFIC-RATED BOLLARD
- S42 ENTRY PLAZA: INTEGRALLY COLORED CONCRETE AND STAMPED TEXTURE WITH INTEGRATED LANDSCAPING & CONCRETE SEATING.
- S43 CONCRETE PATIO: INTEGRALLY COLORED CONCRETE AND STAMPED TEXTURE WITH INTEGRATED LANDSCAPING & CONCRETE SEATING.
- S44 1' - 6" CONCRETE MOW STRIP, TYPICAL. ALL AROUND BUILDING PERIMETER.
- S45 OVERHEAD OVERHANG

- S52 6" CONCRETE APRON, 4,000 PSI, 3/4" AGGREGATE WITH 6X6-10/10WWM OR EQUAL, 1/2" EXPANSION JOINT BETWEEN PAD AND APRON.
- S59 DRIVER'S EYE
- S60 CLEAR SIGHT TRIANGLE
- S61 LANDSCAPING. SEE LANDSCAPE.
- S62 MANUAL DOUBLE SWING PIPE GATE
- S64 REFUSE ENCLOSURE WITH MANUAL DOUBLE SWING GATES.
- S70 WATER METERS, SEE CIVIL.
- S72 DRAIN INLET, SEE CIVIL.
- S73 STORM DRAIN MANHOLE, SEE CIVIL.
- S76 RETENTION POND, SEE CIVIL.
- S81 POST-INDICATOR VALVE (PIV), SEE CIVIL.
- S82 REMOTE FDC WITH GROUND-MOUNTED SIGN, SEE CIVIL.
- S83 FIRE HYDRANT, SEE CIVIL.
- S84 PAINTED FIRE LANES, TYPICAL.
- S90 SWITCHGEAR, SEE ELECTRICAL.
- S91 UTILITY TRANSFORMER, SEE ELECTRICAL.
- S92 SITE LIGHTING, SEE ELECTRICAL.

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- B. ALL PARKING DRIVES TO BE ASPHALT CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- C. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.
- D. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- E. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

SITE HATCH LEGEND



AN APPROVED/ACCEPTED WORK ORDER IS CONDITION OF RELEASING THE FINAL CO.

PARKING ANALYSIS

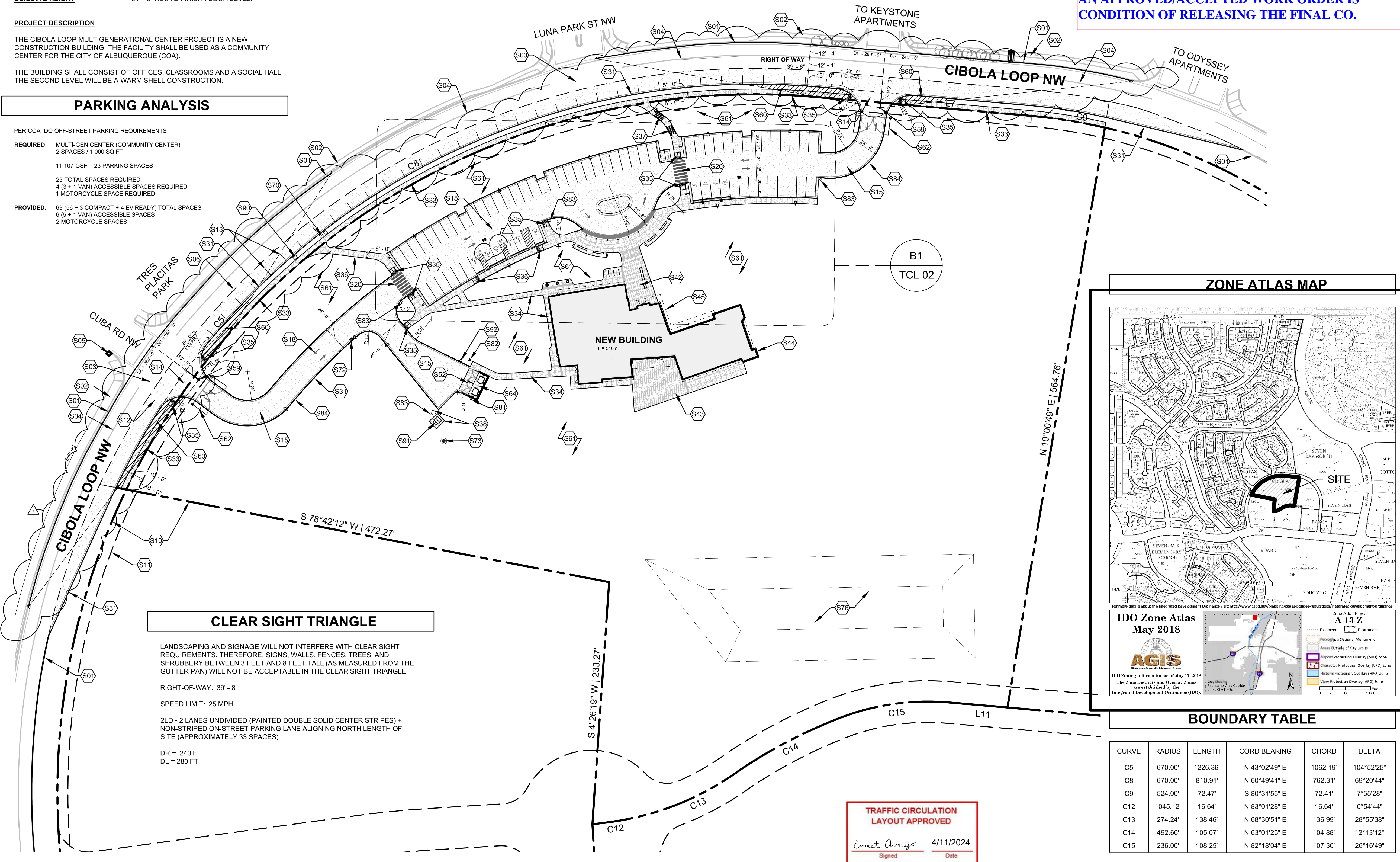
PER COA IDO OFF-STREET PARKING REQUIREMENTS

REQUIRED: MULTIGEN CENTER (COMMUNITY CENTER)
2 SPACES / 1,000 SQ FT

11,107 GSF = 23 PARKING SPACES

23 TOTAL SPACES REQUIRED
4 (3 + 1 VAN) ACCESSIBLE SPACES REQUIRED
1 MOTORCYCLE SPACE REQUIRED

PROVIDED: 63 (56 + 3 COMPACT + 4 EV READY) TOTAL SPACES
6 (5 + 1 VAN) ACCESSIBLE SPACES
2 MOTORCYCLE SPACES



ZONE ATLAS MAP



CLEAR SIGHT TRIANGLE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

RIGHT-OF-WAY: 39' - 8"

SPEED LIMIT: 25 MPH

2LD - 2 LANES UNDIVIDED (PAINTED DOUBLE SOLID CENTER STRIPES) + NON-STRIPED ON-STREET PARKING LANE ALIGNING NORTH LENGTH OF SITE (APPROXIMATELY 33 SPACES)

DR = 240 FT
DL = 280 FT

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CORD BEARING	CHORD	DELTA
C5	670.00'	1226.36'	N 43°02'49" E	1062.19'	104°52'25"
C8	670.00'	810.91'	N 60°49'41" E	762.31'	69°20'44"
C9	524.00'	72.47'	S 80°31'55" E	72.41'	7°55'28"
C12	1045.12'	16.64'	N 83°01'28" E	16.64'	0°54'44"
C13	274.24'	138.46'	N 68°30'51" E	136.99'	28°55'38"
C14	492.66'	105.07'	N 63°01'25" E	104.88'	12°13'12"
C15	236.00'	108.25'	N 82°18'04" E	107.30'	26°16'49"

LINE	DIRECTION	DISTANCE
L7	S 84°31'26" E	207.04'
L11	S 84°36'05" E	56.17'

TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Armijo 4/11/2024
Signed Date

fbt architects

6501 Americas Parkway NE, Suite 300
Albuquerque, NM 87110 505.883.5200
www.fbtarch.com

CONSULTANTS

- CIVIL**
High Mesa
6010-B Midway Park Blvd NE
Albuquerque, NM 87109
p_505.345.4250
- LANDSCAPE**
Groundwork Studio
6501 Americas Parkway NE, Suite 350
Albuquerque, NM 87110
p_505.212.9126
- STRUCTURAL**
Chavez-Grieves Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109
p_505.344.4080
- M/E/P/FP**
Bridgers & Paxton
4600-C Montgomery Blvd NE
Albuquerque, NM 87109
p_505.883.4111
- LIGHTING**
Oldner Lighting
4645 Greenville Ave, Studio B
Dallas, TX 75206
p_310.450.1733
- INTERIORS**
Studio M
6501 Americas Parkway NE, Suite 302
Albuquerque, NM 87110
p_505.243.9287

CITY OF ALBUQUERQUE

COA CIBOLA LOOP MULTIGENERATIONAL CENTER

10751 Cibola Loop NW
Albuquerque, NM 87114

TRAFFIC CIRCULATION LAYOUT (TCL)

MARCH 2024

DRAWING TITLE: **TRAFFIC CIRCULATION LAYOUT**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. P7882.16 Zone Map No. A-13-Z DWG. Sheet

AS BUILT INFORMATION

CONTRACTOR	DATE	INSPECTOR'S ACCEPTANCE BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE	MICRO-FILM INFORMATION	RECORDED BY	DATE

BENCH MARKS

NO.	DATE	BY

SURVEY INFORMATION

FIELD NOTES	NO.

SEALED ARCHITECT

ARCHITECT

ARCHITECT

ARCHITECT

A1 TRAFFIC CIRCULATION LAYOUT PLAN

SCALE: 1" = 50' - 0"



GENERAL NOTES

- A. IF THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES LISTED IN THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLANTING PLAN, QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID. ADDITIONAL PAYMENT WILL NOT BE MADE FOR ANY DISCREPANCY IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT SCHEDULE.
- B. IF THERE IS A DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE CONTAINER SIZE LISTED UNDER "CONTAINER" AND HEIGHT & SPREAD LISTED UNDER "INSTALLED SIZE", THE SPECIFIED PLANT SHALL MEET HEIGHT & SPREAD REQUIREMENTS. SPECIFIED UNDER "INSTALLED SIZE". IF A LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS, IT SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- C. CONTRACTOR SHALL INSTALL A 7" DEPTH OF COMPACTED OF "MOUNTAINAIR SUNRISE GOLD" CRUSHER FINES AS AVAILABLE FROM RESTORATION GROUP INC. (505) 294-1470 OVER A 4" COMPACTED DEPTH OF BASECOURSE. TOP OF FINES SHALL BE FLUSH WITH ADJACENT PAVEMENT. PROVIDE SAMPLE OF CRUSHER FINES FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. SEE DETAIL C/LP-501.
- D. CONTRACTOR SHALL INSTALL A 7" DEPTH OF 1" AMARRETTO GRAVEL MULCH AS AVAILABLE FROM JPR GRAVEL (505) 877-4913. INSTALL MULCH OVER OVER FILTER FABRIC PER NOTE K. PROVIDE SAMPLE OF GRAVEL MULCH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- E. CONTRACTOR SHALL INSTALL A 4" DEPTH OF 3/4" BASALT GRAVEL MULCH AS AVAILABLE FROM JPR GRAVEL (505) 877-4913 OVER FILTER FABRIC PER NOTE K. PROVIDE SAMPLE OF GRAVEL MULCH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL INSTALL A 6" DEPTH OF 2"-4" MOUNTAINAIR BROWN COBBLE MULCH AS AVAILABLE FROM RESTORATION GROUP INC. (505) 847-2387 OVER FILTER FABRIC PER GENERAL NOTE K. CONTRACTOR SHALL CREATE A CLEAN LINE A BY HAND PLACING A SINGLE ROW OF COBBLES AT TRANSITION TO GRAVEL OR CONCRETE. TOP OF COBBLE SHALL BE 1" HIGHER THAN ADJACENT GRAVEL AND 1/2" BELOW ADJACENT CONCRETE. PROVIDE SAMPLE OF GRAVEL MULCH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- G. CONTRACTOR SHALL INSTALL A 8" DEPTH OF 4"-8" COYOTE MIST COBBLE MULCH AS AVAILABLE FROM JPR GRAVEL (505) 877-4913 OVER FILTER FABRIC PER GENERAL NOTE K. PROVIDE SAMPLE OF GRAVEL MULCH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- H. CONTRACTOR SHALL FURNISH AND INSTALL 18.64 C.F. MOUNTAINAIR SUNRISE GOLD LANDSCAPE BOULDERS AS AVAILABLE FROM RESTORATION GROUP INC. (505) 847-2387. INSTALL PER DETAIL B/LP-501.
- I. TREES SHALL BE PLANTED PER COA STD. DWG. # 2714. PLANT TREES IN TURF PER COA STD. DWG. #2713 AND TREES ON SLOPES PER COA STD. DWG. # 2715. SHRUBS SHALL BE PLANTED PER COA STD. DWG. # 2716. PLANT SHRUBS ON SLOPES PER COA STD. DWG. # 2717.
- J. CONTRACTOR SHALL INSTALL A 4" SETTLED DEPTH OF "WOOD MULCH" AS AVAILABLE FROM SOLUTIONS (505) 877-0220. INSTALL PER CABO IDO 14-16-5-6(C)(5)(E). NO FILTER FABRIC.
- K. INSTALL MULCH OVER OVER FILTER FABRIC. MIN. 4 OZ/SY NONWOVEN NEEDLE PUNCHED POLYPROPYLENE (MIRAFI 140N OR EQUIVALENT). OVERLAP FABRIC ENDS 3". TURN DOWN EDGES 6". TOP OF GRAVEL MULCH SHALL BE 1" BELOW TOP OF ADJACENT PAVING. SEE DETAIL A/LP-501.
- L. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.
- M. THE PROPOSED LANDSCAPE INCLUDING STREET TREES SHALL BE IRRIGATED BY AN AUTOMATIC SUBTERRANEAN IRRIGATION SYSTEM CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARD DETAILS.
- N. ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.
- O. ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABOWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE).
- P. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- Q. LIMITS OF REVEGETATION SEEDING SHOWN ARE APPROXIMATE. CONTRACTOR SHALL INSTALL REVEGETATION SEEDLING ON ANY AND ALL AREAS DISTURBED BY CONSTRUCTION OPERATIONS. BARE UNSEEDED GROUND WILL NOT BE ACCEPTED.

LANDSCAPE CALCULATIONS

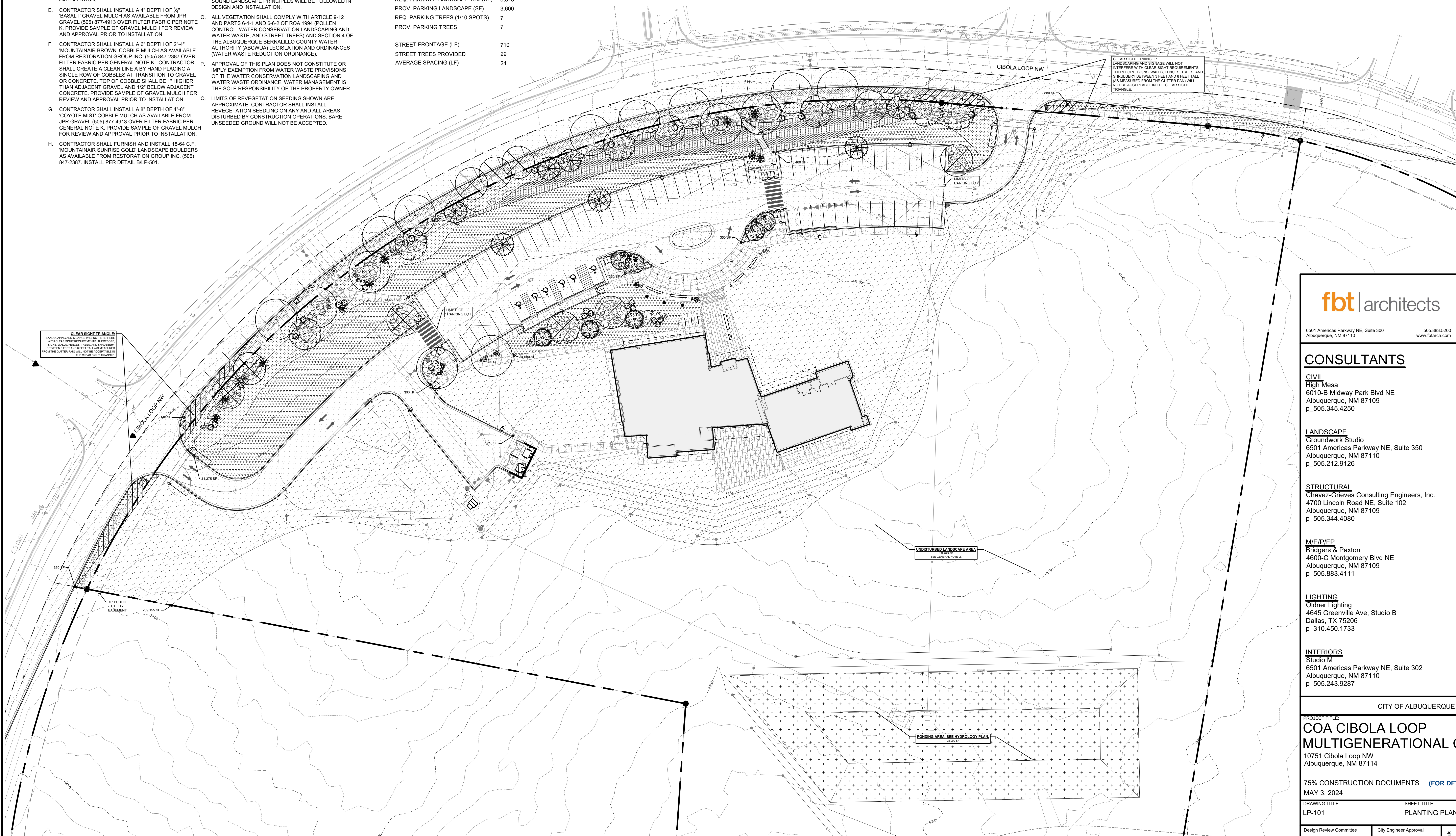
ZONING APPLICABLE REGULATION(S)	MX-M AND MX-L IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994
TOTAL LOT AREA (ACRES)	9.14
TOTAL LOT AREA (SF)	398,234
BUILDING AREA (SF)	12,798
NET LOT AREA (SF)	385,436
REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	57,815
LANDSCAPE PROVIDED (SF)	337,675
VEGETATIVE COVER (% - REQ)	75.0
VEGETATIVE COVER (SF - REQ)	253,256
VEGETATIVE COVER (SF - PROV.)	330,562
GROUND COVER (% - REQ)	18.75
GROUND COVER (SF - REQ)	63,314
GROUND COVER (SF - PROV.)	270,276
PARKING LOT AREA (SF)	23,855
REQ. PARKING LANDSCAPE 15% (SF)	3,578
PROV. PARKING LANDSCAPE (SF)	3,600
REQ. PARKING TREES (1/10 SPOTS)	7
PROV. PARKING TREES	7
STREET FRONTAGE (LF)	710
STREET TREES PROVIDED	29
AVERAGE SPACING (LF)	24

PLANT LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	MIN. INSTALLED SIZE	CONTAINER	MATURE SIZE	COV. EA.	COV. TOTAL
TREES								
(Symbol)	AFGHAN PINE	PINUS ELДАРICA	7	MIN 6' HT	B&B	40' HT X 18' SPD	324	2288
(Symbol)	ALLEE ELM	ULMUS PARVIFLORA 'EMER II'	14	2" CAL, 12'-14' HT	B&B	40' HT & SPD	1600	22400
(Symbol)	DESERT WILLOW	CHILOPSIS LINEARIS	10	2" CAL, 10'-12' H	B&B	20' HT X 25' SPD	625	6250
(Symbol)	OKLAHOMA REDBUD	CERCIS RENIFORMIS	4	MIN 5' HT	B&B	15' HT X 12' SPD	144	576
(Symbol)	JOAN LIONETTI LIVE OAK	QUERCUS FUSIFORMIS 'JOAN LIONETTI'	7	2" CAL, 10'-12' H	B&B	25' HT & 30' SPD	900	6300
(Symbol)	SINGLE SEED JUNIPER (FEMALE)	JUNIPERUS MONOSPERMA	3	MIN. 5' HT	B&B	15' HT & SPD	225	675
SHRUBS								
(Symbol)	APACHE PLUME	FALLUGIA PARADOXA	10	MIN 18" HT	5-GAL	5' HT & SPD	25	250
(Symbol)	CHAMISA	CHRYSOTHAMNUS NAUSEOSUS	20	MIN 18" HT	5-GAL	5' HT & SPD	25	500
(Symbol)	CREeping SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	11	MIN 18" SPD	5-GAL	2' HT X 5' SPD	25	275
(Symbol)	GIANT HESPERALOE	HESPERALOE FUNIFERA	10	MIN 18" HT	5-GAL	6' HT & SPD	36	360
(Symbol)	PINE MULHY GRASS	MULLENBERGIA DUBIA	28	MIN 12" HT	5-GAL	2' HT X 2' SPD	4	112
OTHER								
(Symbol)	ACCENT BOULDERS - SEE GENERAL NOTE H.							

HATCH LEGEND

- (Symbol) CRUSHER FINE SURFACING. SEE GENERAL NOTE C.
- (Symbol) 1" GRAVEL. SEE GENERAL NOTE D.
- (Symbol) 3/4" GRAVEL MULCH OVER FILTER FABRIC. SEE GENERAL NOTE E.
- (Symbol) 2"-4" COBBLE. SEE GENERAL NOTE F.
- (Symbol) 4"-8" ANGULAR COBBLE MULCH. SEE GENERAL NOTE G.
- (Symbol) REVEGETATION SEEDING PER CABO SPECIFICATIONS SANDY SOILS SEED MIX - GRASS AND WILDFLOWER SPECIES ONLY.
- (Symbol) ORGANIC MULCH. SEE GENERAL NOTE J.
- (Symbol) CONCRETE. SEE ARCHITECTURAL.
- (Symbol) ASPHALT. SEE ARCHITECTURAL.
- (Symbol) PONDING AREA. SEE CIVIL.



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEALED ARCHITECT	
CONTRACTOR	DATE	NO.	BY	NO.	DATE	NO.	DATE
WORK STAKED	DATE						
INSPECTORS ACCEPTANCE	DATE						
FIELD VERIFICATION	DATE						
REVISIONS CORRECTED	DATE						
BY MICRO-FILM INFORMATION	DATE						
RECORDED	NO.						
NO.							

fbt architects
 6501 Americas Parkway NE, Suite 300
 Albuquerque, NM 87110 | 505.883.5200 | www.fbtarch.com

CONSULTANTS

CIVIL
 High Mesa
 6010-B Midway Park Blvd NE
 Albuquerque, NM 87109
 p_505.345.4250

LANDSCAPE
 Groundwork Studio
 6501 Americas Parkway NE, Suite 350
 Albuquerque, NM 87110
 p_505.212.9126

STRUCTURAL
 Chavez-Greaves Consulting Engineers, Inc.
 4700 Lincoln Road NE, Suite 102
 Albuquerque, NM 87109
 p_505.344.4080

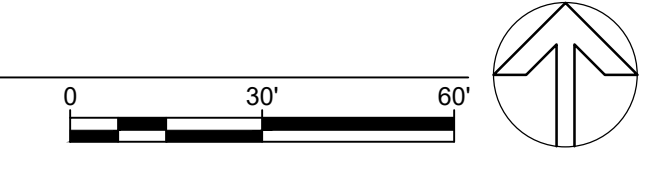
M/E/P/FP
 Bridgers & Paxton
 4800-C Montgomery Blvd NE
 Albuquerque, NM 87109
 p_505.883.4111

LIGHTING
 Oldner Lighting
 4645 Greenville Ave, Studio B
 Dallas, TX 75206
 p_310.450.1733

INTERIORS
 Studio M
 6501 Americas Parkway NE, Suite 302
 Albuquerque, NM 87110
 p_505.243.9287

CITY OF ALBUQUERQUE	
PROJECT TITLE:	COA CIBOLA LOOP MULTIGENERATIONAL CENTER
10751 Cibola Loop NW Albuquerque, NM 87114	
75% CONSTRUCTION DOCUMENTS (FOR DFT SUBMITTAL ONLY) MAY 3, 2024	
DRAWING TITLE:	SHEET TITLE:
LP-101	PLANTING PLAN
Design Review Committee	City Engineer Approval
City Project No. P7882.16	Zone Map No. A-13-Z
DWG.	Sheet

A1 PLANTING PLAN
1" = 30'-0"



groundworkstudio
 6501 Americas Parkway NE, Ste. 350 PH: 505.212.9126
 Albuquerque, NM 87110 WEB: groundworkstudio.com

Ted

From: Ted
Sent: Thursday, May 16, 2024 2:20 PM
To: elizabethkayhaley@gmail.com
Cc: aboard111@gmail.com
Subject: City Project No. P7882.16 Cibola Loop Multigenerational Facility: Public Notice



WSCONA.pdf

Good Elizabeth,
Thank you for your time this afternoon. Please find attached application for DFT. Please respond confirming receipt of this email with the above referenced information.

Thank you.

fbt | architects

Ted Grumblatt, LEED AP, PRINCIPAL

One Park Square | 6501 Americas Pkwy NE, Ste. 300 | Albuquerque, NM 87110

PHO 505.883.5200 x114 **MOBILE** 505.263.6567 **EMAIL** tcg@fbtarch.com **WEB** fbtarch.com

NEW MEXICO

COLORADO

TEXAS

Ted

From: Microsoft Outlook
<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@wallaengineering.com>
To: elizabethkayhaley@gmail.com; aboard111@gmail.com
Sent: Friday, May 17, 2024 2:46 PM
Subject: Relayed: RE: City Project No. P7882.16 Cibola Loop Multigenerational Facility: Public Notice

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

[elizabethkayhaley@gmail.com \(elizabethkayhaley@gmail.com\)](mailto:elizabethkayhaley@gmail.com)

[aboard111@gmail.com \(aboard111@gmail.com\)](mailto:aboard111@gmail.com)

Subject: RE: City Project No. P7882.16 Cibola Loop Multigenerational Facility: Public Notice