



DEVELOPMENT FACILITATION TEAM (DFT) APPLICATIONS

Effective 12/15/2022

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.							
	NS	Extension of Infrastructur	e List or IIA <i>(Form S3)</i>				
□ Site Plan Administrative DFT (Forms P & P2)		PRE-APPLICATIONS					
Final EPC Sign-off for Master Development/Site Pla	ans - EPC <i>(Form P2)</i>	□ Sketch Plat Review and C	Comment (Form S3)				
□ Amendment to Infrastructure List (<i>Form S3</i>)		□ Sketch Plan Review and	Comment <i>(Form S3)</i>				
□ Temporary Deferral of S/W (Form S3)			APPEAL				
□ Extension of IIA: Temp. Def. of S/W (Form S3)		□ Administrative Decision (<i>H</i>	Form A)				
BRIEF DESCRIPTION OF REQUEST							
APPLICATION INFORMATION							
Applicant/Owner:			Phone:				
Address:			Email:				
City:		State:	Zip:				
Professional/Agent (if any):			Phone:				
Address:			Email:				
City:		State:	Zip:				
Proprietary Interest in Site:		List <u>all</u> owners:					
SITE INFORMATION (Accuracy of the existing lega	I description is crucia	I! Attach a separate sheet if	necessary.)				
Lot or Tract No.:		Block:	Unit:				
Subdivision/Addition:		MRGCD Map No.:	UPC Code:				
Zone Atlas Page(s):	Existing Zoning:		Proposed Zoning				
# of Existing Lots:	# of Proposed Lots:		Total Area of Site (Acres):				
LOCATION OF PROPERTY BY STREETS	1						
Site Address/Street:	Between:	1	and:				
CASE HISTORY (List any current or prior project a	nd case number(s) the	at may be relevant to your re	equest.)				
I certify that the information I have included here and	sent in the required not	tice was complete, true, and a	ccurate to the extent of my knowledge.				
Signature:			Date:				
Printed Name:			□ Applicant or □ Agent				

FORM S3: ADMINISTRATIVE APPLICATIONS – Development Facilitation Team (DFT) as of 12/25/2022

_ AMENDMENT TO INFRASTRUCTURE LIST

A Single PDF file of the complete application including all documents being submitted must be emailed to <u>PLNDRS@cabq.gov</u> prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. <u>The PDF shall be organized in the number order below.</u>

- _____ 1) DFT Application form completed, signed, and dated
- _____ 2) Form S3 with all the submittal items checked/marked
- _____ 3) Zone Atlas map with the entire site clearly outlined and labeled
- _____ 4) Letter of authorization from the property owner if application is submitted by an agent
- _____ 5) Proposed Amended Infrastructure List

_____ 6) Original Infrastructure List

_ TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

A Single PDF file of the complete application including all documents being submitted must be emailed to <u>PLNDRS@cabq.gov</u> prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. <u>The PDF shall be organized in the number order below.</u>

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- _____ 3) Zone Atlas map with the entire site clearly outlined and labeled
- _____ 4) Letter of authorization from the property owner if application is submitted by an agent
- _____ 5) A scale drawing showing the location of the deferred sidewalk with appropriate dimensions

_ EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

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- _____ 3) Zone Atlas map with the entire site clearly outlined and labeled

- 4) Letter of authorization from the property owner if application is submitted by an agent
- _____ 5) Letter describing, explaining, and justifying the deferral or extension
- _____ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

_ INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION

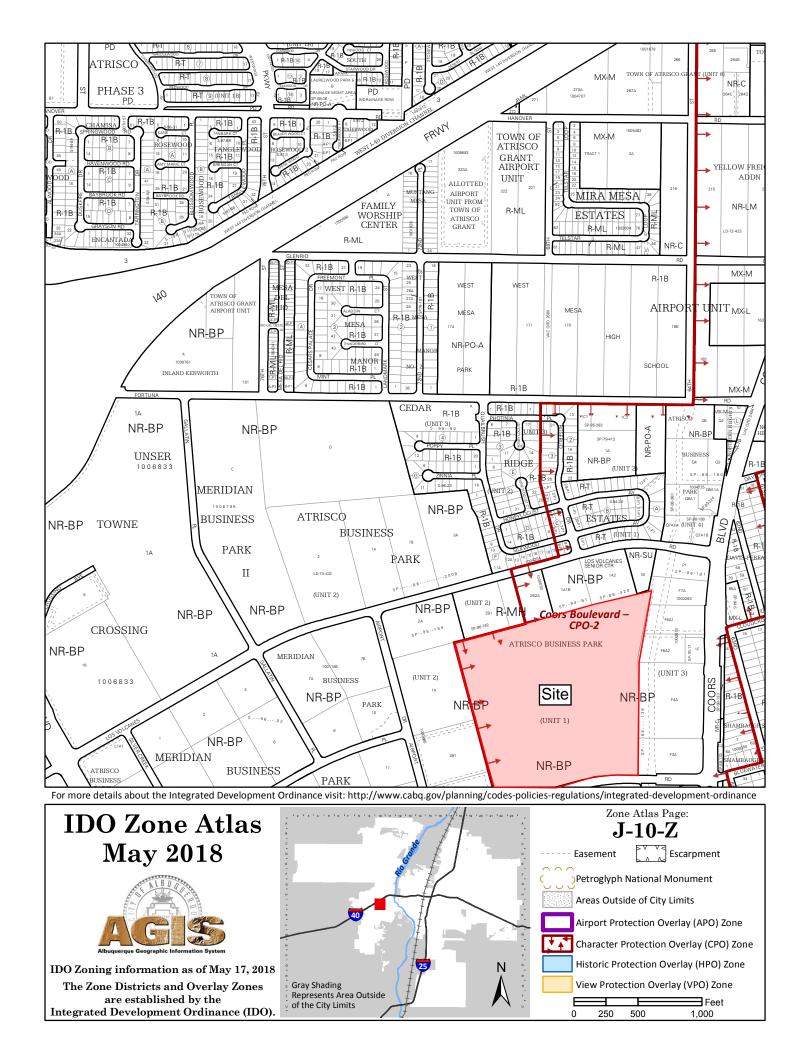
A Single PDF file of the complete application including all documents being submitted must be emailed to <u>PLNDRS@cabq.gov</u> prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. <u>The PDF shall be organized in the number order below</u>.

- _____1) DFT Application form completed, signed, and dated
- _____ 2) Form S3 with all the submittal items checked/marked
- _____ 3) Zone Atlas map with the entire site clearly outlined and labeled
- _____4) Letter of authorization from the property owner if application is submitted by an agent
- _____ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- _____ 6) Preliminary Plat or Site Plan
- _____ 7) Copy of DRB approved Infrastructure List
- _____ 8) Copy of recorded IIA

SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT

A Single PDF file of the complete application including all documents being submitted must be emailed to <u>PLNDRS@cabq.gov</u> prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. <u>The PDF shall be organized in the number order below</u>.

- _____1) DFT Application form completed, signed, and dated
- _____2) Form S3 with all the submittal items checked/marked
- _____ 3) Zone Atlas map with the entire site clearly outlined and labeled
- _____4) Letter describing, explaining, and justifying the request
- _____ 5) Scale drawing of the proposed subdivision plat or Site Plan
- 6) Site sketch with measurements showing structures, parking, building setbacks, adjacent rightsof-way, and street improvements, if there is any existing land use



Kimley »Horn

October 11, 2023

Project Introduction

To whom it may concern,

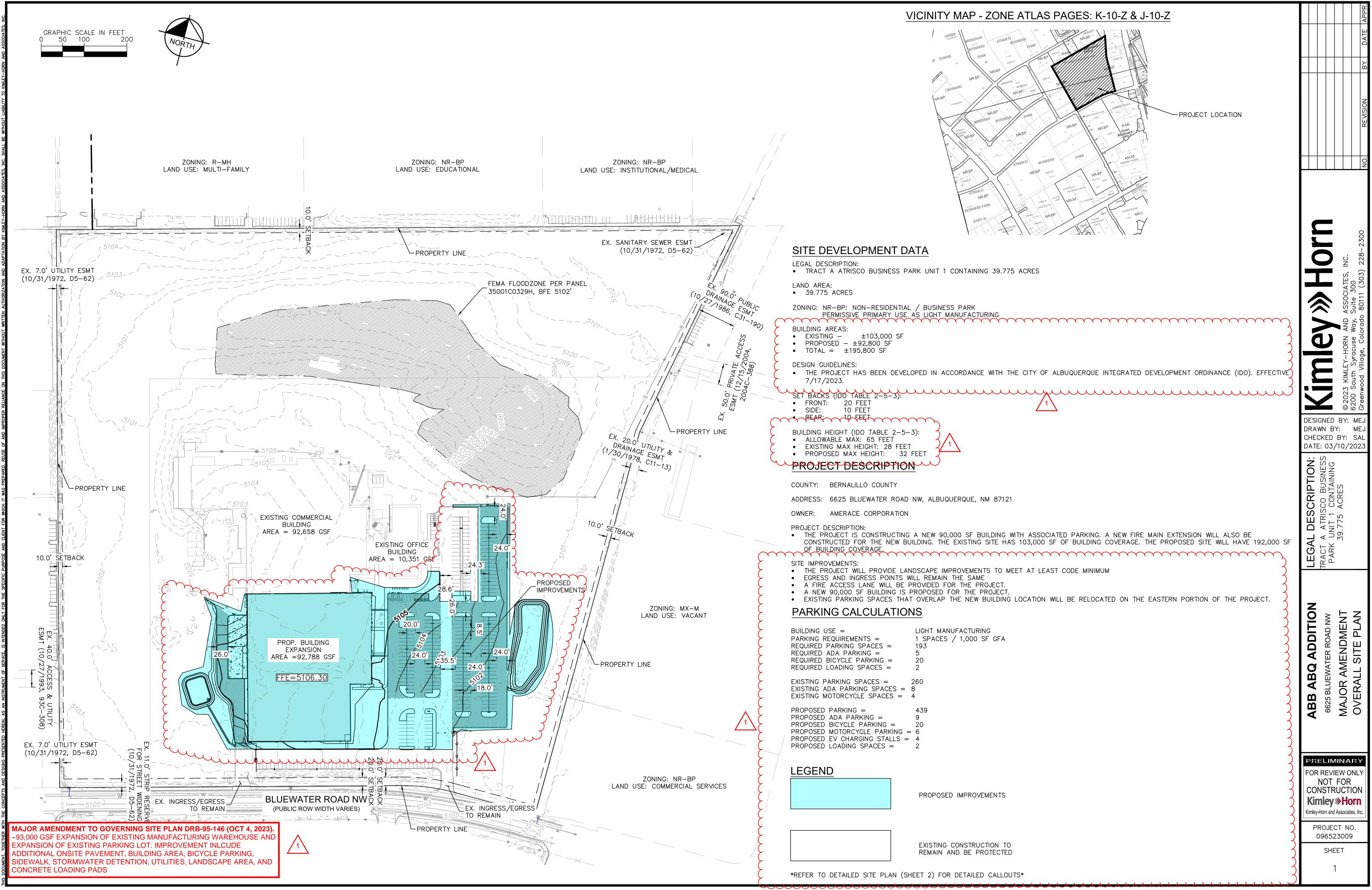
We are pleased to send this Sketch Plan packet to the DFT. The project is located at 6625 Bluewater Rd NW and consists of an approximate 93,000 squarefoot expansion of the existing approximate 92,000 squarefoot light manufacturing facility. Development will include rework of the existing parking lot to accommodate the new building boundaries, expansion of paved parking, two new detention basins to accommodate increase of runoff fro the expansion, new wet/dry utility connects for the building. Additional onsite landscaping.

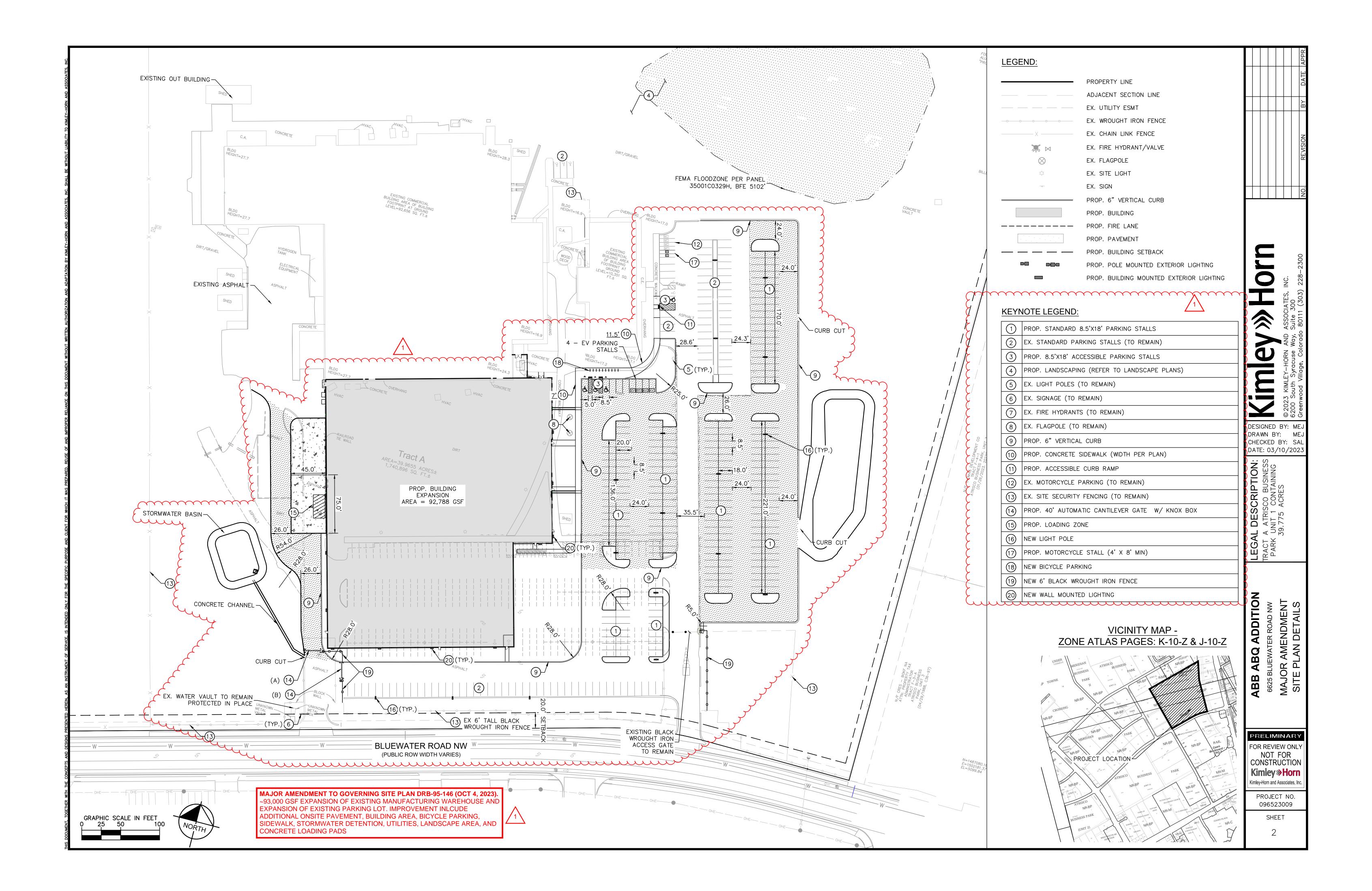
We have submitted a Major Amendment to the governing site plan. The amednent will require approval from the EPC during a hearing scheduled for October 19th, 2023.

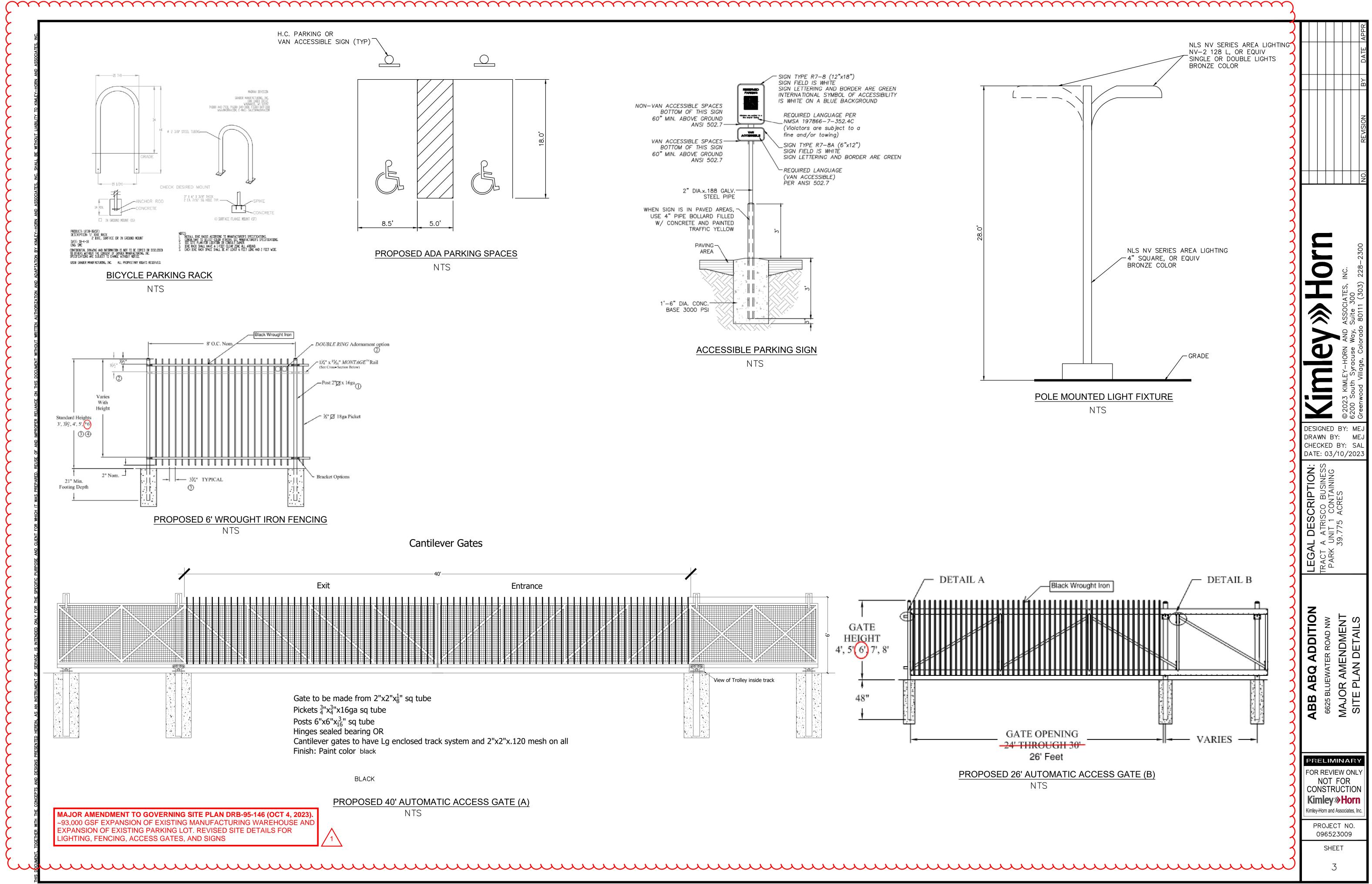
Please reach out to myself at madison.jurewicz@kimley-horn.com or 720-464-2539 for any questions!

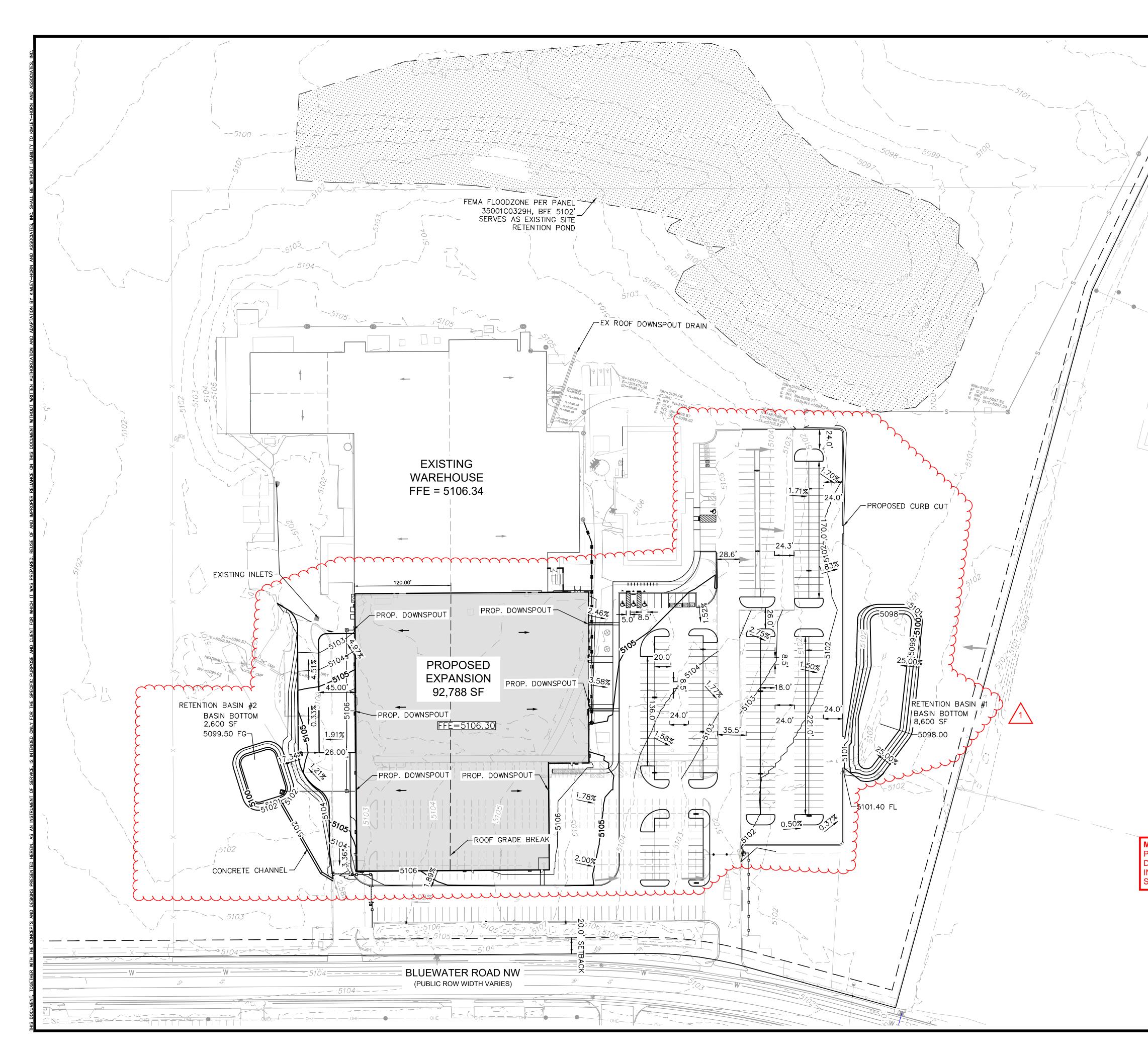
Thank you,

Madison Jurewicz Project Manager Kimley-Horn and Associates, Inc.

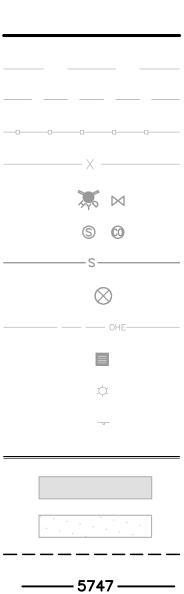








LEGEND:



ADJACENT SECTION LINE
EX. UTILITY ESMT
EX. WROUGHT IRON FENCE
EX. CHAIN LINK FENCE
EX. FIRE HYDRANT/VALVE
EX. SANITARY SEWER MANHOLE/CLEANOUT
EX. SANITARY SEWER LINE
EX. FLAGPOLE
EX. OVERHEAD ELECTRICAL
EX. STORM INLET
EX. SITE LIGHT
EX. SIGN
PROP. 6" VERTICAL CURB
PROP. BUILDING
PROP. PAVEMENT
PROP. FIRE LANE
PROP. CONTOUR
EX. CONTOUR
PROP. SLOPE ARROW
PROP. BUILDING SETBACK
EX. SLOPE ARROW

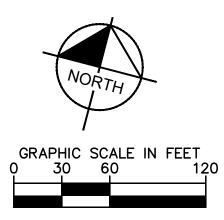
PROPERTY LINE

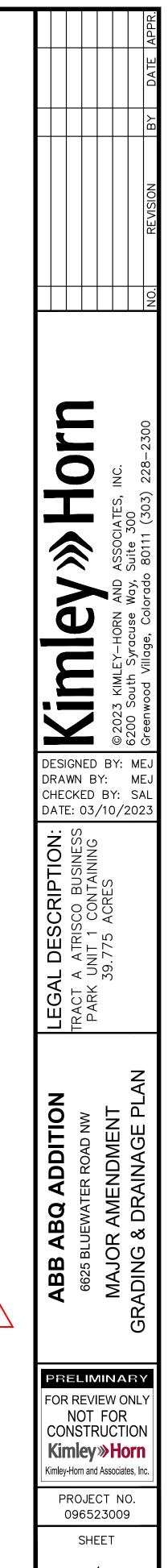
GRADING LEGEND:

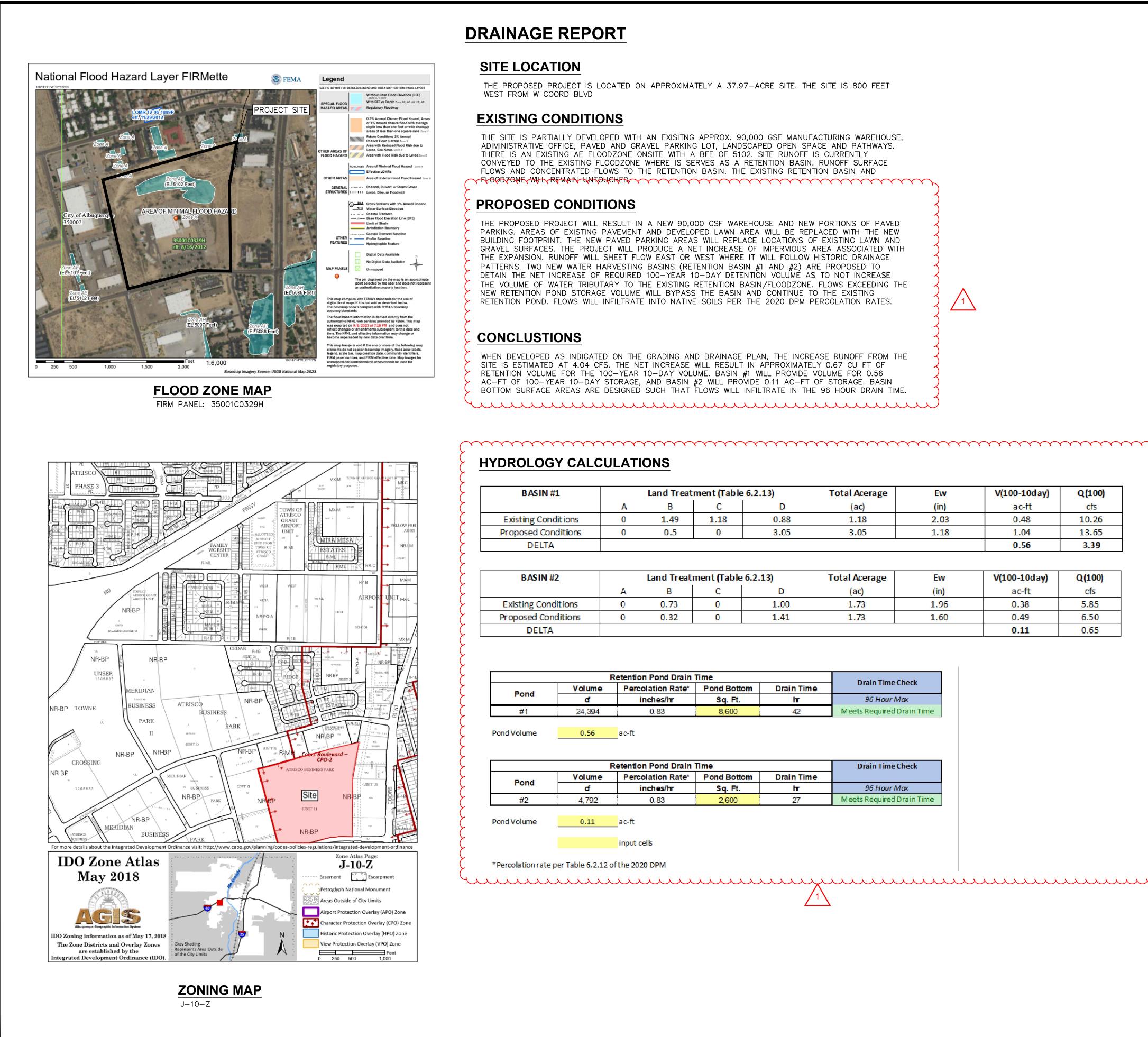
X.XX%_

FLOWLINE =	۴L
BOTTOM OF CURB =	BC
FINISHED GRADE =	FG
EXISTING GRADE =	ΕG
FINISHED FLOOR ELEVATION =	FF
EDGE OF PAVEMENT =	ЕC
HIGH POINT =	ΗF
LOW POINT =	LΡ
SIDEWALK =	S٧
CENTERLINE =	CL

MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023). PROPOSAL OF TWO NEW ONSITE DETENTION BASINS TO COLLECT AND DETAIN THE 100-YEAR 10-DAY VOLUME ASSOCIATED WITH THE NET INCREASE REQUIRED DETENTION VOLUME DUE TO THE NEW IMPERVIOUS SURFACES.







DRAINAGE REPORT

SITE LOCATION

THE PROPOSED PROJECT IS LOCATED ON APPROXIMATELY A 37.97-ACRE SITE. THE SITE IS 800 FEET WEST FROM W COORD BLVD

EXISTING CONDITIONS

THE SITE IS PARTIALLY DEVELOPED WITH AN EXISITNG APPROX. 90,000 GSF MANUFACTURING WAREHOUSE, ADIMINISTRATIVE OFFICE, PAVED AND GRAVEL PARKING LOT, LANDSCAPED OPEN SPACE AND PATHWAYS. THERE IS AN EXISTING AE FLOODZONE ONSITE WITH A BEE OF 5102. SITE RUNOFF IS CURRENTLY CONVEYED TO THE EXISTING FLOODZONE WHERE IS SERVES AS A RETENTION BASIN. RUNOFF SURFACE FLOWS AND CONCENTRATED FLOWS TO THE RETENTION BASIN. THE EXISTING RETENTION BASIN AND YFLOODZOWEYWLLYREMAINYUNTOUCHED.

PROPOSED CONDITIONS

THE PROPOSED PROJECT WILL RESULT IN A NEW 90,000 GSF WAREHOUSE AND NEW PORTIONS OF PAVED PARKING. AREAS OF EXISTING PAVEMENT AND DEVELOPED LAWN AREA WILL BE REPLACED WITH THE NEW BUILDING FOOTPRINT. THE NEW PAVED PARKING AREAS WILL REPLACE LOCATIONS OF EXISTING LAWN AND GRAVEL SURFACES. THE PROJECT WILL PRODUCE A NET INCREASE OF IMPERVIOUS AREA ASSOCIATED WITH THE EXPANSION. RUNOFF WILL SHEET FLOW EAST OR WEST WHERE IT WILL FOLLOW HISTORIC DRAINAGE PATTERNS. TWO NEW WATER HARVESTING BASINS (RETENTION BASIN #1 AND #2) ARE PROPOSED TO DETAIN THE NET INCREASE OF REQUIRED 100-YEAR 10-DAY DETENTION VOLUME AS TO NOT INCREASE THE VOLUME OF WATER TRIBUTARY TO THE EXISTING RETENTION BASIN/FLOODZONE. FLOWS EXCEEDING THE NEW RETENTION POND STORAGE VOLUME WILL BYPASS THE BASIN AND CONTINUE TO THE EXISTING RETENTION POND. FLOWS WILL INFILTRATE INTO NATIVE SOILS PER THE 2020 DPM PERCOLATION RATES.

CONCLUSTIONS

WHEN DEVELOPED AS INDICATED ON THE GRADING AND DRAINAGE PLAN, THE INCREASE RUNOFF FROM THE SITE IS ESTIMATED AT 4.04 CFS. THE NET INCREASE WILL RESULT IN APPROXIMATELY 0.67 CU FT OF RETENTION VOLUME FOR THE 100-YEAR 10-DAY VOLUME. BASIN #1 WILL PROVIDE VOLUME FOR 0.56 AC-FT OF 100-YEAR 10-DAY STORAGE, AND BASIN #2 WILL PROVIDE 0.11 AC-FT OF STORAGE. BASIN BOTTOM SURFACE AREAS ARE DESIGNED SUCH THAT FLOWS WILL INFILTRATE IN THE 96 HOUR DRAIN TIME.

HYDROLOGY CALCULATIONS

BASIN #1	Land Treatment (Table 6.2.13)		Total Acerage Ew		V(100-10day)	Q(100)		
	Α	В	С	D	(ac)	(in)	ac-ft	cfs
Existing Conditions	0	1.49	1.18	0.88	1.18	2.03	0.48	10.26
Proposed Conditions	0	0.5	0	3.05	3.05	1.18	1.04	13.65
DELTA							0.56	3.39

BASIN #2	Land Treatment (Table 6.2.13)		Total Acerage	Ew	V(100-10day)	Q(100)		
	Α	В	С	D	(ac)	(in)	ac-ft	cfs
Existing Conditions	0	0.73	0	1.00	1.73	1.96	0.38	5.85
Proposed Conditions	0	0.32	0	1.41	1.73	1.60	0.49	6.50
DELTA							0.11	0.65

	Drain Time Check				
Dand	Volume	Percolation Rate*	Pond Bottom	Drain Time	Drain Time Check
Pond	ď	inches/hr	Sq. Ft.	hr	96 Hour Max
#1	24,394	0.83	8,600	42	Meets Required Drain Time

Pond Volume 0.56 ac-ft

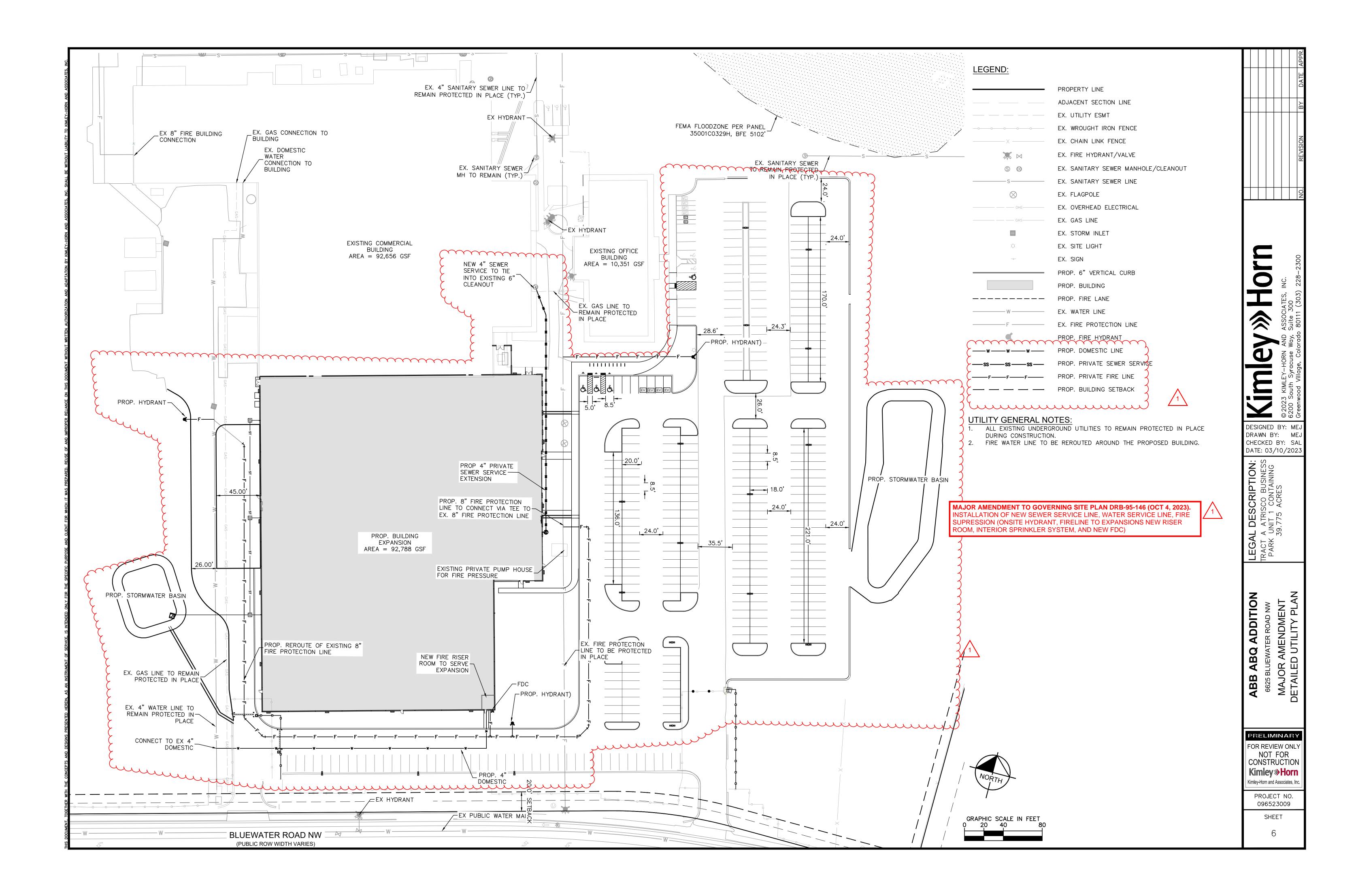
14-1-		Retention Pond Drain Time							
Volu Volu	ume Perc	olation Rate*	Pond Bottom	Drain Time					
Pond d	f i	inches/hr	Sq. Ft.	hr	96 Hour Max				
#2 4,7	92	0.83	2,600	27	Meets Required Drain Time				

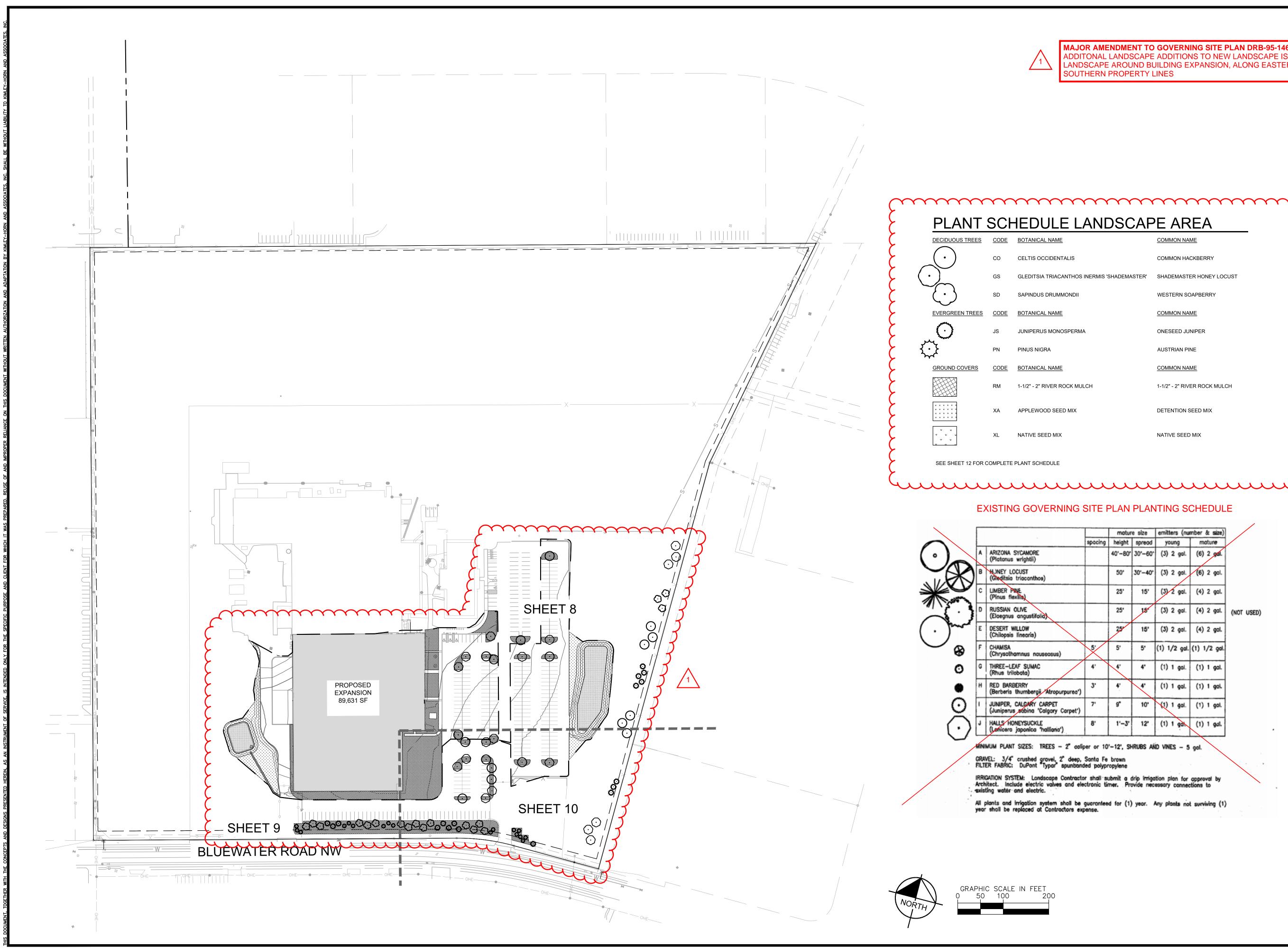
0.11 ac-ft Pond Volume

input cells

*Percolation rate per Table 6.2.12 of the 2020 DPM

	NO. REVISION BY DATE APPR.
	PESIGNED BY: SAL Greenwood Village, Colorado B0111 (303) 228-2300
	LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES
	ABB ABQ ADDITION 6625 BLUEWATER ROAD NW MAJOR AMENDMENT HYDROLOGY DATA
MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023). PROPOSAL OF TWO NEW ONSITE DETENTION BASINS TO COLLECT AND DETAIN THE 100-YEAR 10-DAY VOLUME ASSOCIATED WITH THE NET INCREASE REQUIRED DETENTION VOLUME DUE TO THE NEW IMPERVIOUS SURFACES.	PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley Horn Kimley-Horn and Associates, Inc. PROJECT NO. 096523009 SHEET 5







MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023). ADDITONAL LANDSCAPE ADDITIONS TO NEW LANDSCAPE ISLANDS, NEW LANDSCAPE AROUND BUILDING EXPANSION, ALONG EASTERN AND SOUTHERN PROPERTY LINES

$\cdots \cdots \cdots$	m						
DULE LANDSCAPE AREA							
ANICAL NAME		1					
TIS OCCIDENTALIS	COMMON HACKBERRY						
DITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST						
INDUS DRUMMONDII	WESTERN SOAPBERRY						
ANICAL NAME							
IPERUS MONOSPERMA	ONESEED JUNIPER						
JS NIGRA	AUSTRIAN PINE						
ANICAL NAME							
2" - 2" RIVER ROCK MULCH	1-1/2" - 2" RIVER ROCK MULCH						
PLEWOOD SEED MIX	DETENTION SEED MIX						
IVE SEED MIX	NATIVE SEED MIX						
	5						

EXISTING GOVERNING SITE PLAN PLANTING SCHEDULE

		matur	e size	emitters (nu	mber & size)	
	spacing	height	spread	young	mature	
ORE tii)		40'-80'	30'-60'	(3) 2 gal.	(6) 2 gal.	
inthos)		50*	30'-40'	(3) 2 gal.	(6) 2 gal.	
		25'	15'	(3) 2 gal.	(4) 2 gal.	
stifolia)		25'	15	(3) 2 gal.	(4) 2 gal.	(NOT USE
ris)		25	15'	(3) 2 gal.	(4) 2 gal.	
nauseosus)	\times	5'	5'	(1) 1/2 gal.	(1) 1/2 gal.	
IMAC	4'	*	4'	(1) 1 gal.	(1) 1 gal.	
ergii 'Atropurpurea')	3.	4	*	(1) 1 gal.	(1) 1 gai.	
RY CARPET na 'Calgary Carpet')	7'	9"	10'	(1) 1 gal.	(1) 1 gal.	
ICKLE ica 'halliana')	8'	1'-3'	12'	(1) 1 gai.	(1) 1 gal.	

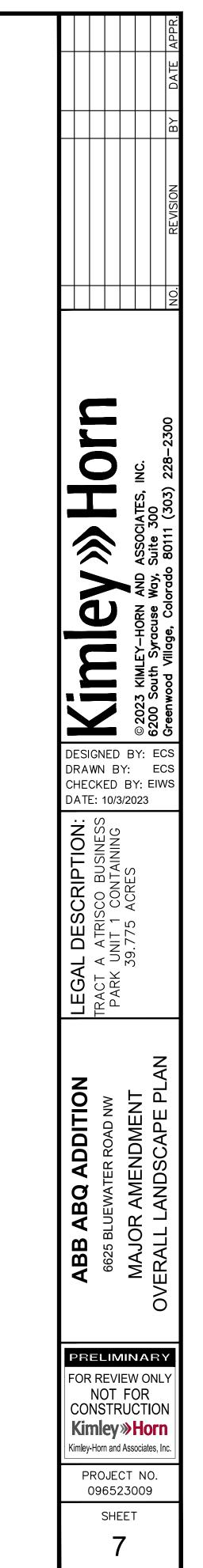
MINIMUM PLANT SIZES: TREES - 2" coliper or 10'-12', SHRUBS AND VINES - 5 gol.

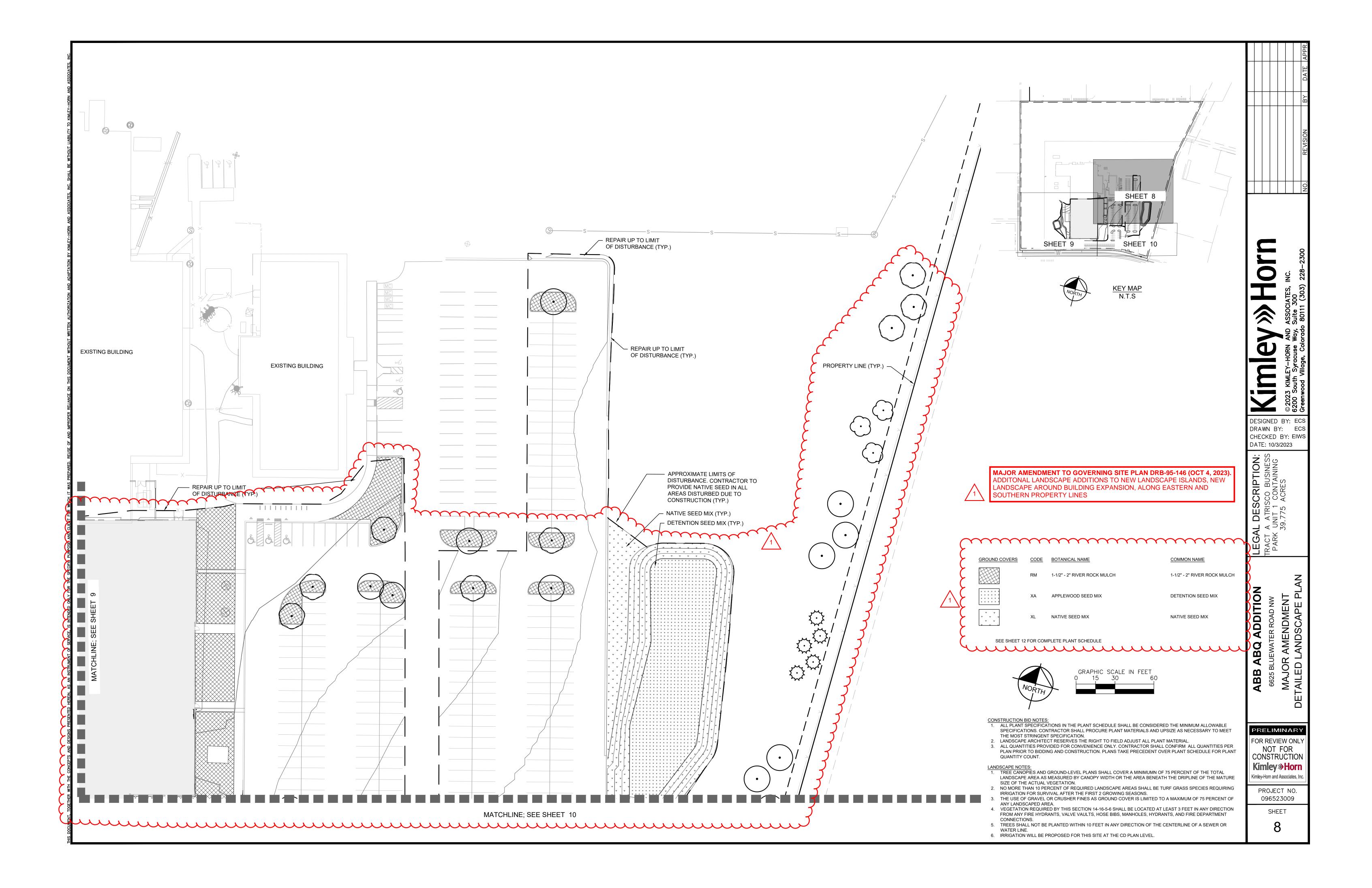
GRAVEL: 3/4" crushed gravel, 2" deep, Santa Fe brown FILTER FABRIC: DuPont "Typar" spunbonded polypropylene

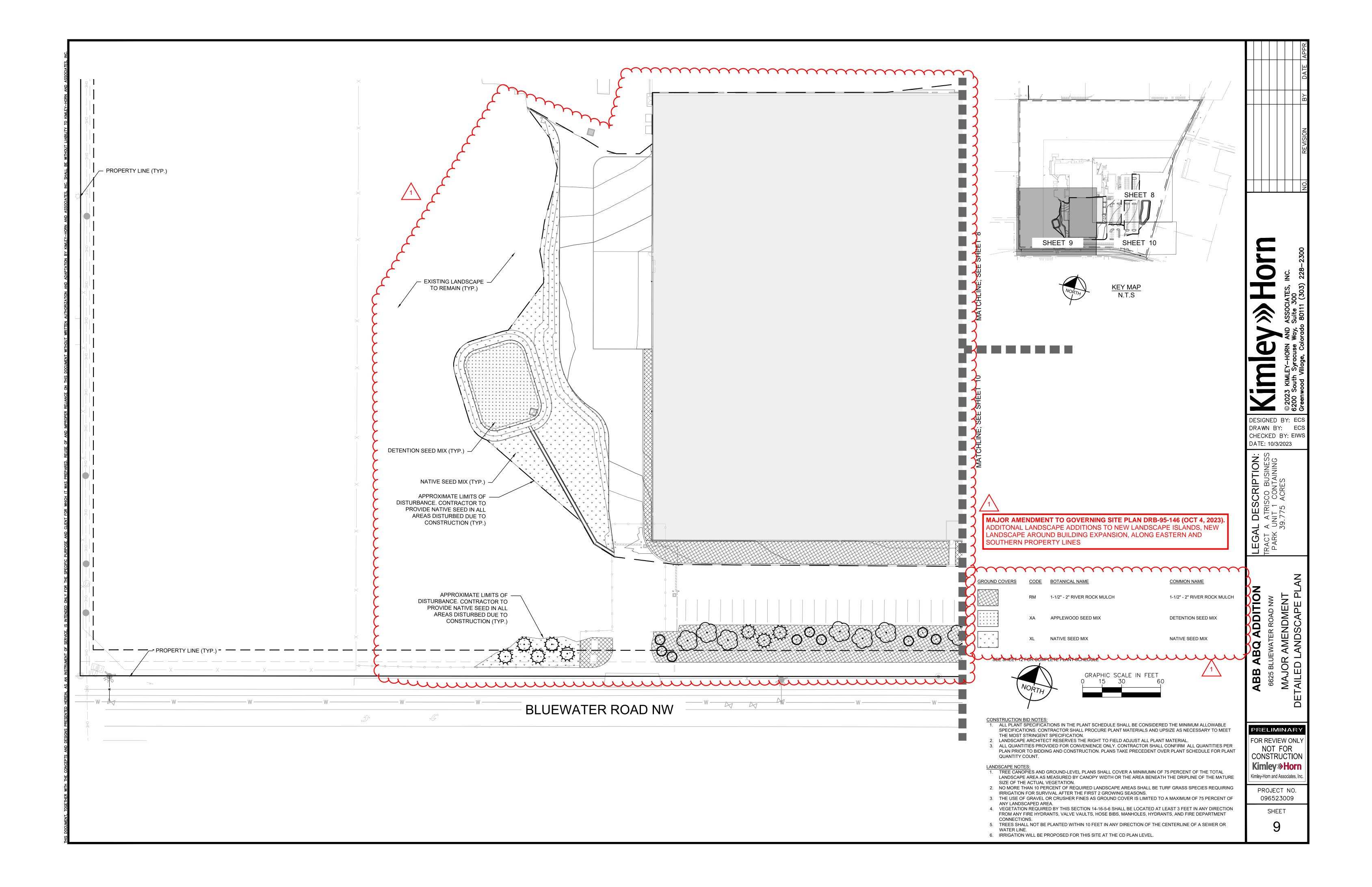
200

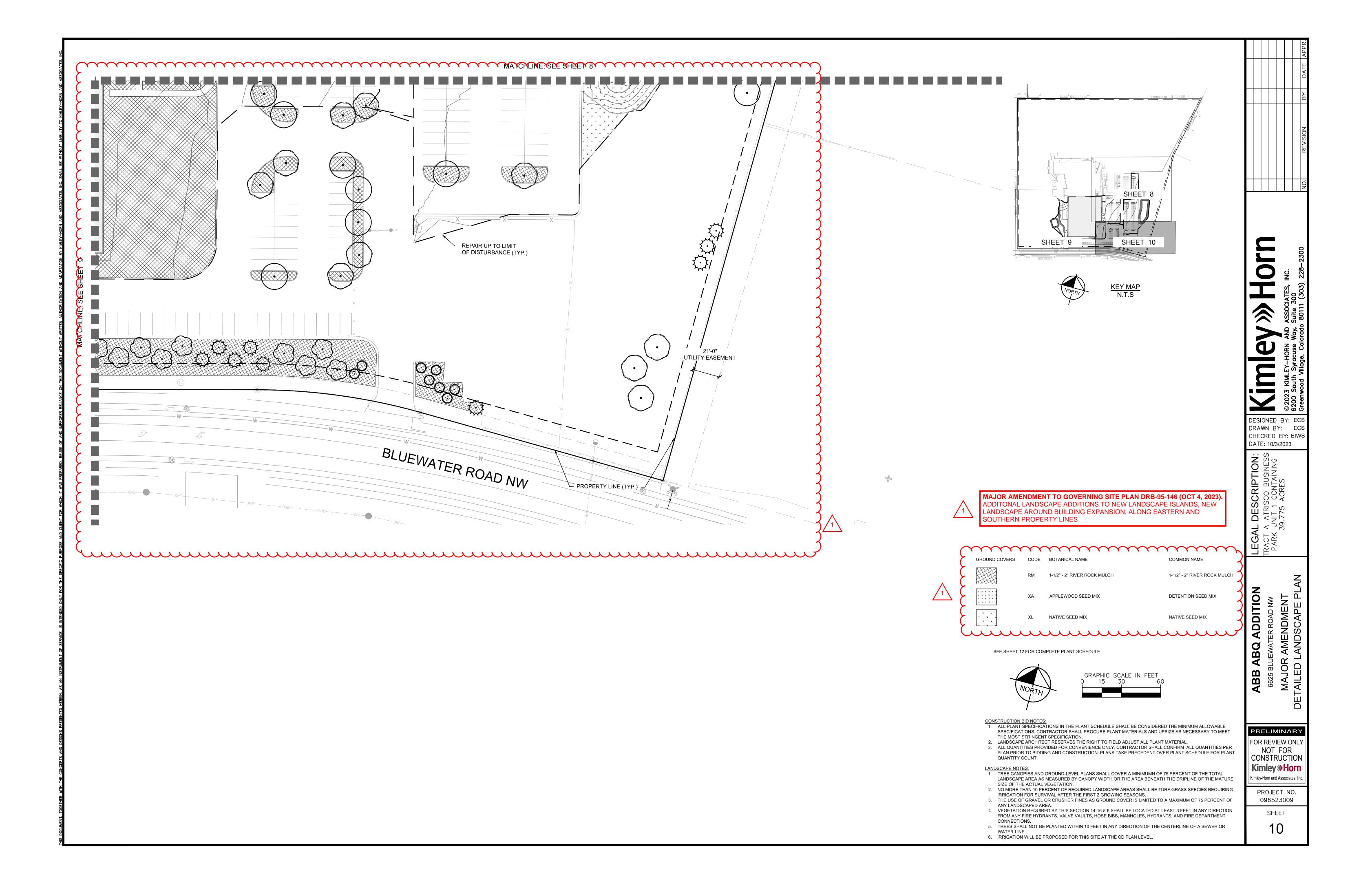
IRRIGATION SYSTEM: Landscape Contractor shall submit a drip irrigation plan for approval by Architect. Include electric valves and electronic timer. Provide necessary connections to

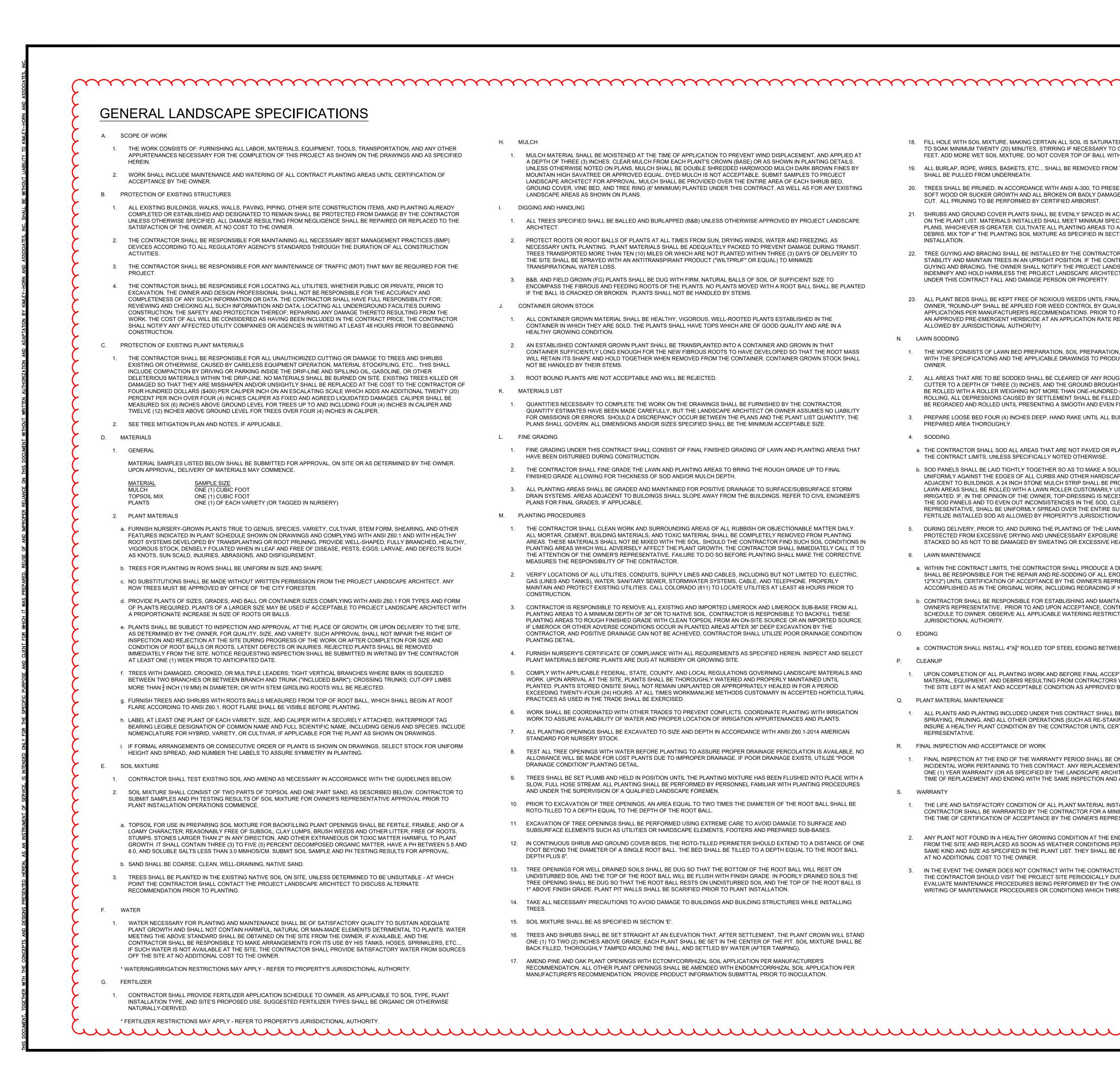
All plants and irrigation system shall be guaranteed for (1) year. Any plants not surviving (1) year shall be replaced at Contractors expense.











H. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. UNI ESS OTHERWISE NOTED ON PLANS, MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH DARK BROWN FINES BY MOUNTAIN HIGH SAVATREE OR APPROVED EQUAL. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6' MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.

I. DIGGING AND HANDLING

- ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
- PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- B&B, AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

CONTAINER GROWN STOCK

- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS
- ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED. 3.

K. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

L. FINE GRADING

- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES. IF APPLICABLE.

M. PLANTING PROCEDURES

- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL, SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION
- CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL
- 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- 5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ONSITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS, AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
- WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPLIRTENANCES AND PLANTS. 7. ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN
- STANDARD FOR NURSERY STOCK. TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO
- ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
- 9. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMEN.
- 10. PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL
- 11. EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
- 12. IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6"
- 13. TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
- 14. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING
- 15. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
- 16. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- 17. AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

- 18. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO G FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH
- 19. ALL BURLAP, ROPE, WIRES, BASKETS, ETC.., SHALL BE REMOVED FROM SHALL BE PULLED FROM UNDERNEATH.
- 20. TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESER SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGE CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
- 21. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACC ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECI PLANS, WHICHEVER IS GREATER, CULTIVATE ALL PLANTING AREAS TO A DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION INSTALLATION.
- 22. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTR GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDS INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL OWNER. "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIF APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS PRIOR TO F AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RE ALLOWED BY JURISDICTIONAL AUTHORITY)

N LAWN SODDING

- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUC
- 2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (ROLLING ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED. BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FI
- PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUN PREPARED AREA THOROUGHLY.

4. SODDING

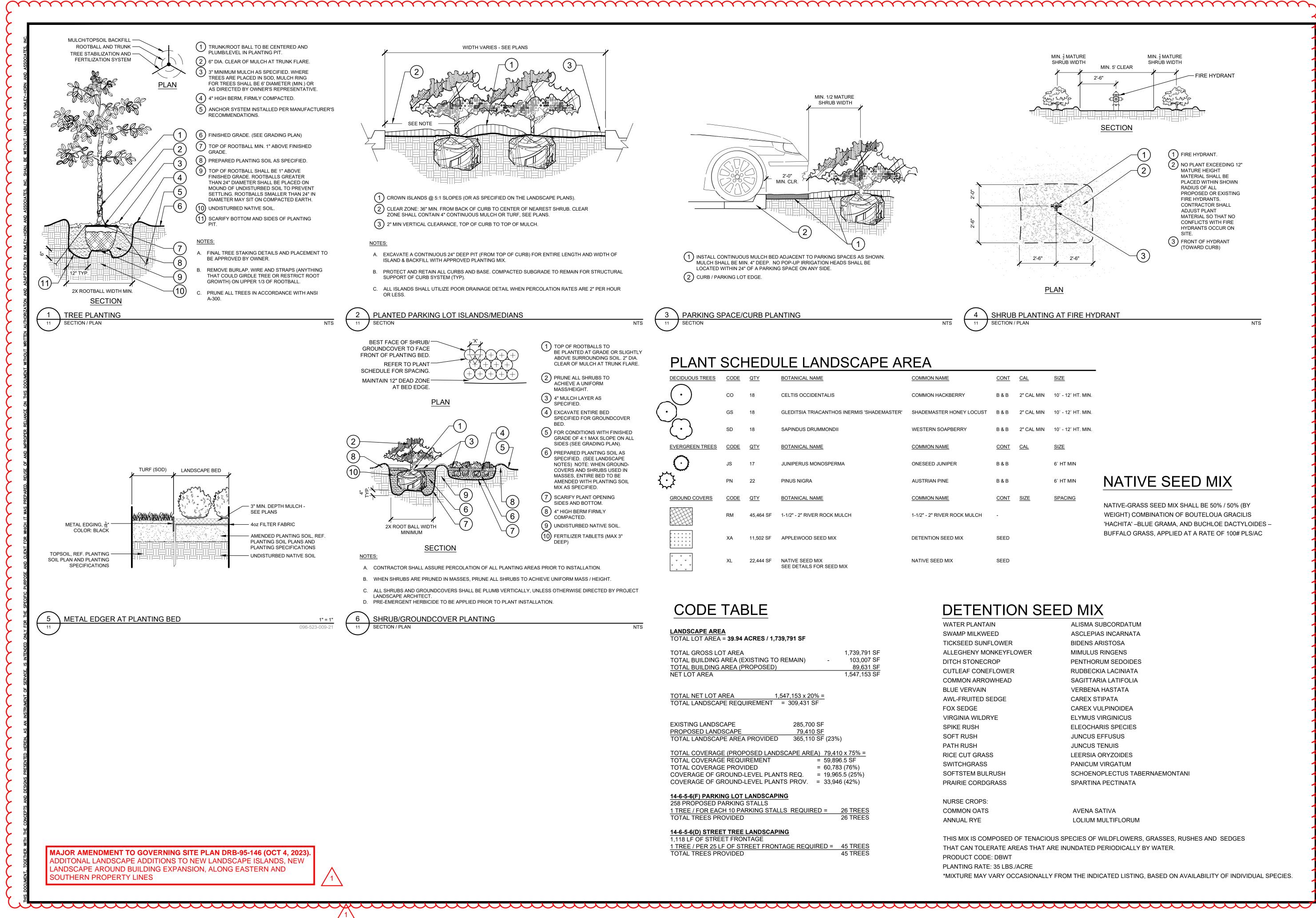
- a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLA THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- b. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPI ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PRO LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY US IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECES THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEA REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SUF FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONA
- 5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEA 6. LAWN MAINTENANCE
- a. WITHIN THE CONTRACT LIMITS. THE CONTRACTOR SHALL PRODUCE A DE SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL FRO 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF N
- b. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAIL OWNER'S REPRESENTATIVE PRIOR TO AND UPON ACCEPTANCE CONTR SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTI JURISDICTIONAL AUTHORITY.

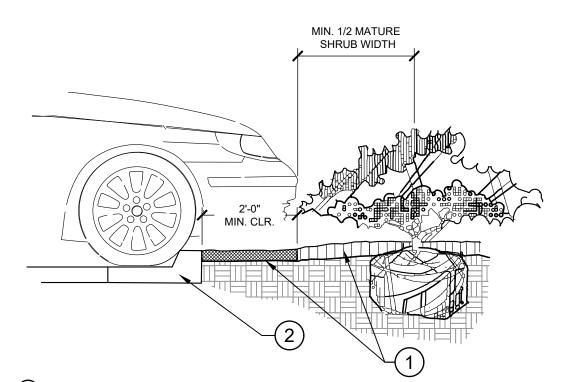
O. EDGING

- a. CONTRACTOR SHALL INSTALL 4"X1" ROLLED TOP STEEL EDGING BETWEE P. CLEANUP
- 1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPT MATERIAL EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY
- Q. PLANT MATERIAL MAINTENANCE
- 1. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKIN INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERT REPRESENTATIVE
- R. FINAL INSPECTION AND ACCEPTANCE OF WORK
- 1. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON INCIDENTAL WORK PERTAINING TO THIS CONTRACT, ANY REPLACEMENT ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHIT TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND A S WARRANTY

- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTA CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MININ THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRES
- ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PER SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE F AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTO THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DUR EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OW WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREA

	DVERNING SITE PLAN DRB-95-146 (OCT 4, 2023). DDITIONS TO NEW LANDSCAPE ISLANDS, NEW	E APPR.
	DING EXPANSION, ALONG EASTERN AND	BY DATE
ED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH TH SOIL MIXTURE. I THE SIDES AND TOPS OF BALLS, BUT NO BURLAP		REVISION
ERVE THE NATURAL CHARACTER OF THE PLANT. ALL SED BRANCHES SHALL BE REMOVED WITH A CLEAN	2	REV
CCORDANCE WITH THE DRAWINGS AND AS INDICATED CIMEN REQUIREMENTS OR QUANTITIES SHOWN ON A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL TION E. THOROUGHLY WATER ALL PLANTS AFTER		NO.
OR IN ACCORDANCE WITH THE PLANS TO INSURE TRACTOR AND OWNER DECIDE TO WAIVE THE TREE DISCAPE ARCHITECT IN WRITING AND AGREE TO CT IN THE EVENT UNSUPPORTED TREES PLANTED	$\frac{1}{2}$	
AL ACCEPTANCE OF WORK. IF DIRECTED BY THE LIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH RECOMMENDED BY THE MANUFACTURER. (AS		DTN c. 28–2300
N, AND SODDING COMPLETE, IN STRICT ACCORDANCE UCE A TURF GRASS LAWN ACCEPTABLE TO THE		ATES, IN 00 (303) 2
GH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD IT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL 0 (100) POUNDS PER FOOT OF WIDTH. DURING THE D WITH ADDITIONAL SOIL, AND THE SURFACE SHALL FINISH TO THE REQUIRED GRADE.		ASSOCI Suite 3 80111
JMPS AND DEPRESSIONS ARE REMOVED. WET	2	HORN AND acuse Way, ge, Colorado
ANTED AS DESIGNATED ON THE DRAWINGS WITHIN	3	EY- Syrc
LID SODDED LAWN AREA. SOD SHALL BE LAID APE ELEMENTS, PAVED AND PLANTED AREAS. ROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE JSED FOR SUCH PURPOSES, AND THEN THOROUGHLY ESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN .EAN SAND, AS APPROVED BY THE OWNER'S URFACE OF THE SOD AND THOROUGHLY WATERED IN. IAL AUTHORITY.		© 2023 KIM 6200 South Greenwood
IN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE E OF THE ROOTS TO THE SUN. ALL SOD SHALL BE EAT AND MOISTURE.		DESIGNED BY: ECS DRAWN BY: ECS CHECKED BY: EIWS DATE: 10/3/2023
DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR ODED, SUNKEN OR BARE SPOTS (LARGER THAN RESENTATIVE. REPAIRED SODDING SHALL BE NECESSARY.		RIPTION: D BUSINESS ONTAINING CRES
AINING SOD/LAWN UNTIL ACCEPTANCE BY THE TRACTOR TO PROVIDE WATERING/IRRIGATION TIONS AS SET FORTH BY THE PROPERTY'S		
EEN ALL SOD/SEED AREAS AND PLANTING BEDS.	3	AL DE AL DE A ATR UNIT 39.775
PTANCE, THE CONTRACTOR SHALL REMOVE ALL WORK. ALL PAVED AREAS SHALL BE CLEANED AND BY THE OWNER'S REPRESENTATIVE.		LEGAL TRACT A PARK 1 3
BE MAINTAINED BY WATERING, CULTIVATING, ING OR REPAIRING GUY SUPPORTS) NECESSARY TO RTIFICATION OF ACCEPTANCE BY THE OWNER'S		X O ≥ ⊨ ທ
ON PLANTING, CONSTRUCTION AND ALL OTHER IT AT THIS TIME SHALL BE SUBJECT TO THE SAME ITECT OR OWNER IN WRITING) BEGINNING WITH THE ACCEPTANCE HEREIN DESCRIBED.		ABB ABQ ADDITION 6625 BLUEWATER ROAD NW MAJOR AMENDMENT LANDSCAPE NOTES
TALLED (INCLUDING SOD) BY THE LANDSCAPE IIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT ESENTATIVE.		ABQ AI LUEWATER DR AMEN DSCAPE
ND OF THE WARRANTY PERIOD SHALL BE REMOVED ERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE FURNISHED PLANTED AND MULCHED AS SPECIFIED	3	ABB AE 6625 BLUE MAJOR LANDS(
FOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, JRING THE ONE (1) YEAR WARRANTY PERIOD TO WNER. CONTRACTOR SHALL NOTIFY THE OWNER IN EATEN VIGOROUS AND HEALTHY PLANT GROWTH.		
		FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley Horn
	3	Kimley-Horn and Associates, Inc. PROJECT NO. 096523009
mmm		096523009 SHEET 11





1 INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 4" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.

(2) CURB / PARKING LOT EDGE.

SECTION

NTS

PARKING SPACE/CURB PLANTING



NTS

PLANT :	<u>SC</u>	<u>HEDL</u>	<u>JLE LANDSCAPE AF</u>	REA				
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	
	СО	18	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL MIN	10` - 12` HT. MIN.	
(\cdot)	GS	18	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	B & B	2" CAL MIN	10` - 12` HT. MIN.	
$\overline{(\cdot)}$	SD	18	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY	B & B	2" CAL MIN	10` - 12` HT. MIN.	
EVERGREEN TREES	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	<u>CONT</u>	CAL	SIZE	
0	JS	17	JUNIPERUS MONOSPERMA	ONESEED JUNIPER	B & B		6` HT MIN	
₹• ` }	PN	22	PINUS NIGRA	AUSTRIAN PINE	B & B		6` HT MIN	NATIVE SEED MIX
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	NATIVE-GRASS SEED MIX SHALL BE 50% / 50% (BY
	RM	45,464 SF	1-1/2" - 2" RIVER ROCK MULCH	1-1/2" - 2" RIVER ROCK MULCH	-			WEIGHT) COMBINATION OF BOUTELOUA GRACILIS 'HACHITA' –BLUE GRAMA, AND BUCHLOE DACTYLOIDES –
x x	ХА	11,502 SF	APPLEWOOD SEED MIX	DETENTION SEED MIX	SEED			BUFFALO GRASS, APPLIED AT A RATE OF 100# PLS/AC
+ + + + + + + + + + + +	XL	22,444 SF	NATIVE SEED MIX SEE DETAILS FOR SEED MIX	NATIVE SEED MIX	SEED			

CODE TABLE

LANDSCAPE AREA TOTAL LOT AREA = 39.94 ACRES / 1,739,791 SF

TOTAL GROSS LOT AREA		1,739,791 SF
TOTAL BUILDING AREA (EXISTING TO REMAIN)	-	103,007 SF
TOTAL BUILDING AREA (PROPOSED)		89,631 SF
NET LOT AREA		1,547,153 SF

TOTAL NET LOT AREA 1,547,153 x 20% = TOTAL LANDSCAPE REQUIREMENT = 309,431 SF

EXISTING LANDSCAPE	285,700 SF
PROPOSED LANDSCAPE	79,410 SF
TOTAL LANDSCAPE AREA PROVIDED	365,110 SF (23%)

TOTAL COVERAGE (PROPOSED LANDSCAPE AREA) 79,410 x 75% = TOTAL COVERAGE REQUIREMENT = 59,896.5 SF TOTAL COVERAGE PROVIDED = 60,783 (76%) COVERAGE OF GROUND-LEVEL PLANTS REQ. = 19,965.5 (25%) COVERAGE OF GROUND-LEVEL PLANTS PROV. = 33,946 (42%)

14-6-5-6(F) PARKING LOT LANDSCAPING 258 PROPOSED PARKING STALLS

1 TREE / FOR EACH 10 PARKING STALLS REQUIRED = 26 TREES TOTAL TREES PROVIDED 26 TREES

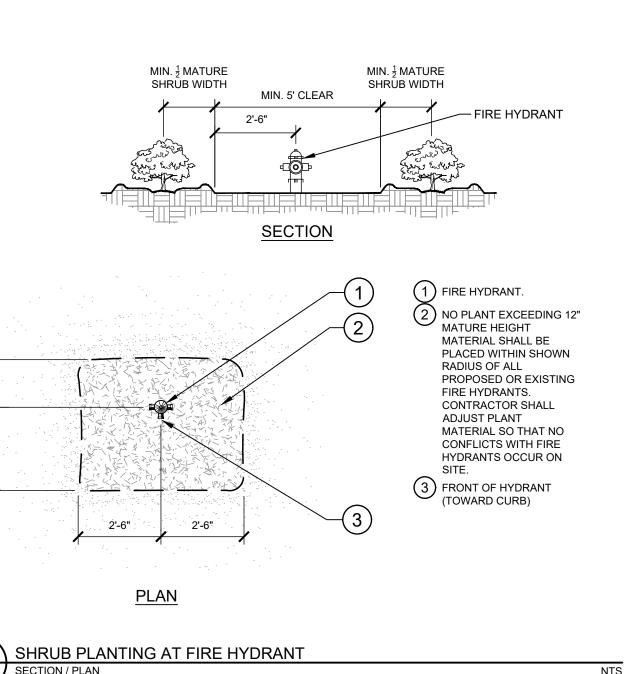
14-6-5-6(D) STREET TREE LANDSCAPING 1,118 LF OF STREET FRONTAGE

1 TREE / PER 25 LF OF STREET FRONTAGE REQUIRED = 45 TREES TOTAL TREES PROVIDED 45 TREES

WATER PLANT SWAMP MILKW TICKSEED SUN ALLEGHENY M DITCH STONED CUTLEAF CON COMMON ARR BLUE VERVAIN AWL-FRUITED FOX SEDGE VIRGINIA WILD SPIKE RUSH SOFT RUSH PATH RUSH RICE CUT GRASS SWITCHGRASS SOFTSTEM BULRUSH PRAIRIE CORDGRASS

NURSE CROPS: COMMON OATS ANNUAL RYE

THIS MIX IS COMPOSED OF TENACIOUS SPECIES OF WILDFLOWERS, GRASSES, RUSHES AND SEDGES THAT CAN TOLERATE AREAS THAT ARE INUNDATED PERIODICALLY BY WATER. PRODUCT CODE: DBWT PLANTING RATE: 35 LBS./ACRE *MIXTURE MAY VARY OCCASIONALLY FROM THE INDICATED LISTING, BASED ON AVAILABILITY OF INDIVIDUAL SPECIES.



DETENTION SEED MIX

ΓΑΙΝ
VEED
NFLOWER
IONKEYFLOWER
CROP
IEFLOWER
ROWHEAD
N
SEDGE
DRYE

ASCLEPIAS INCARNATA BIDENS ARISTOSA MIMULUS RINGENS PENTHORUM SEDOIDES RUDBECKIA LACINIATA SAGITTARIA LATIFOLIA VERBENA HASTATA CAREX STIPATA CAREX VULPINOIDEA ELYMUS VIRGINICUS ELEOCHARIS SPECIES JUNCUS EFFUSUS JUNCUS TENUIS LEERSIA ORYZOIDES PANICUM VIRGATUM SCHOENOPLECTUS TABERNAEMONTANI SPARTINA PECTINATA

ALISMA SUBCORDATUM

AVENA SATIVA LOLIUM MULTIFLORUM

				BY DATE APPR.
				REVISION
				NO.
			© 2023 KIMLEY-HORN AND ASSOCIATES, INC.	6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300
		CKED	© BY: Y: BY: 5/2023	ECS 8233 8233 8204 8204
	LEGAL DESCRIPTION:	TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING	39.775 ACRES	
*******************	ABB ABQ ADDITION	6625 BLUEWATER ROAD NW	MAJOR AMENDMENT	LANDSCAPE DETAILS
	CON Kin Kimley-I	REVINOT NOT NSTR NOT NSTR NOT NOT NOT	EW C FOR UCT Massociat	DNLY ION Drn tes, Inc.
		SHE	FT	

