

FORM S3: ADMINISTRATIVE APPLICATIONS – Development Facilitation Team (DFT) as of 12/25/2022**_ AMENDMENT TO INFRASTRUCTURE LIST**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Amended Infrastructure List
- ___ 6) Original Infrastructure List

_ TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

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- ___ 5) A scale drawing showing the location of the deferred sidewalk with appropriate dimensions

_ EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the deferral or extension
- ___ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

**_ INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA)
EXTENSION**

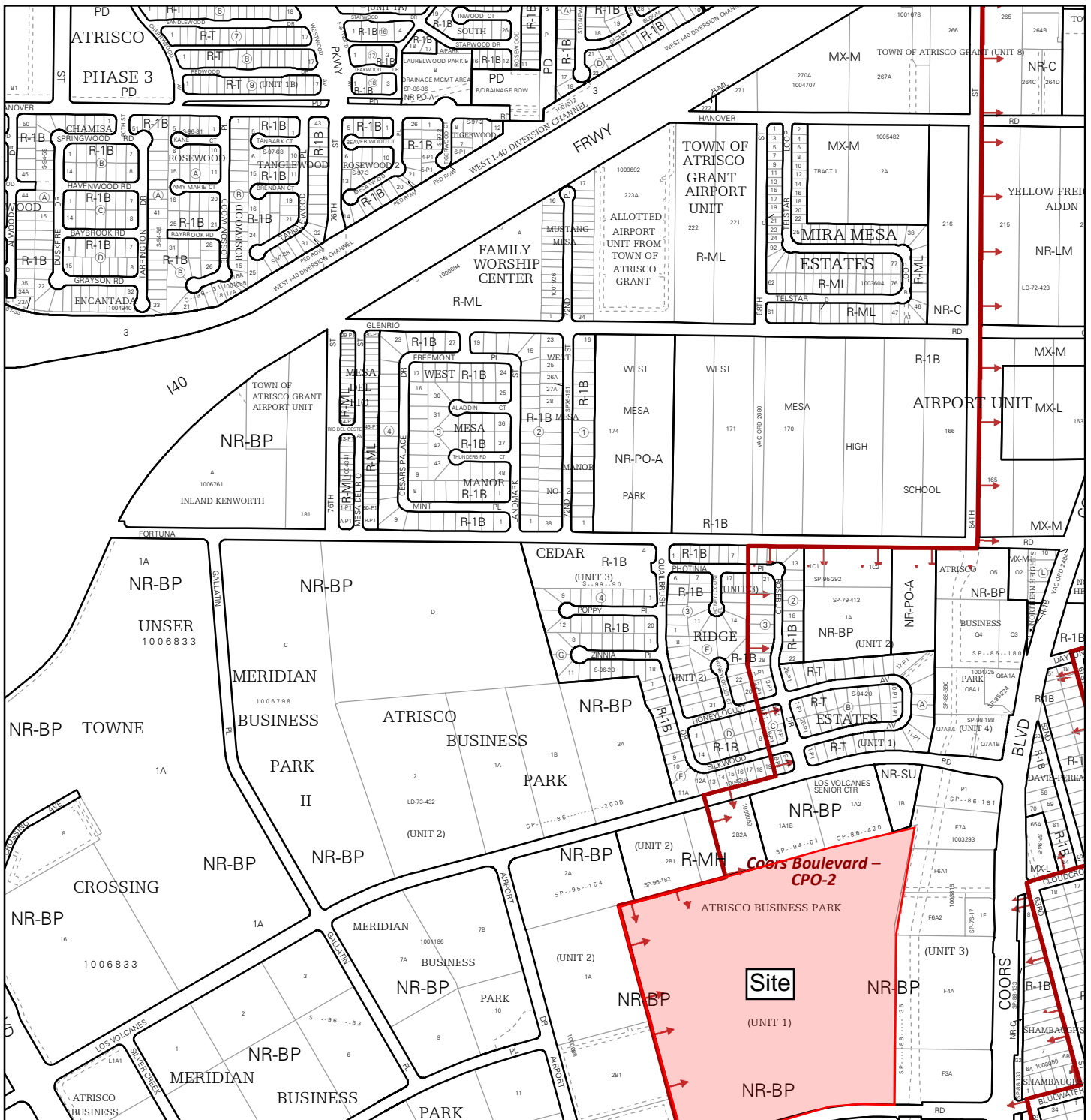
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- ___ 2) Form S3 with all the submittal items checked/marked
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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- ___ 6) Preliminary Plat or Site Plan
- ___ 7) Copy of DRB approved Infrastructure List
- ___ 8) Copy of recorded IIA

_ SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT


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- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter describing, explaining, and justifying the request
- ___ 5) Scale drawing of the proposed subdivision plat or Site Plan
- ___ 6) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use











For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

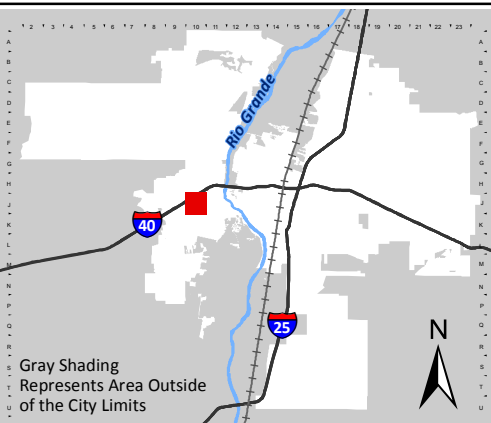
IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
J-10-Z

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone



Gray Shading
Represents Area Outside
of the City Limits

N

0 250 500 1,000
Feet

October 11, 2023

Project Introduction

To whom it may concern,

We are pleased to send this Sketch Plan packet to the DFT. The project is located at 6625 Bluewater Rd NW and consists of an approximate 93,000 squarefoot expansion of the existing approximate 92,000 squarefoot light manufacturing facility. Development will include rework of the existing parking lot to accommodate the new building boundaries, expansion of paved parking, two new detention basins to accommodate increase of runoff fro the expansion, new wet/dry utility connects for the buidling. Additional onsite landscaping .

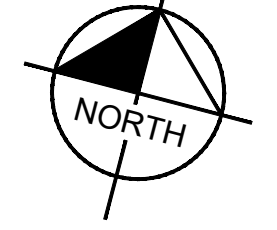
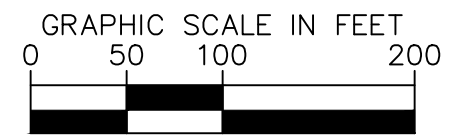
We have submitted a Major Amendment to the governing site plan. The amednent will require approval from the EPC during a hearing scheduled for October 19th, 2023.

Please reach out to myself at madison.jurewicz@kimley-horn.com or 720-464-2539 for any questions!

Thank you,

Madison Jurewicz
Project Manager
Kimley-Horn and Associates, Inc.

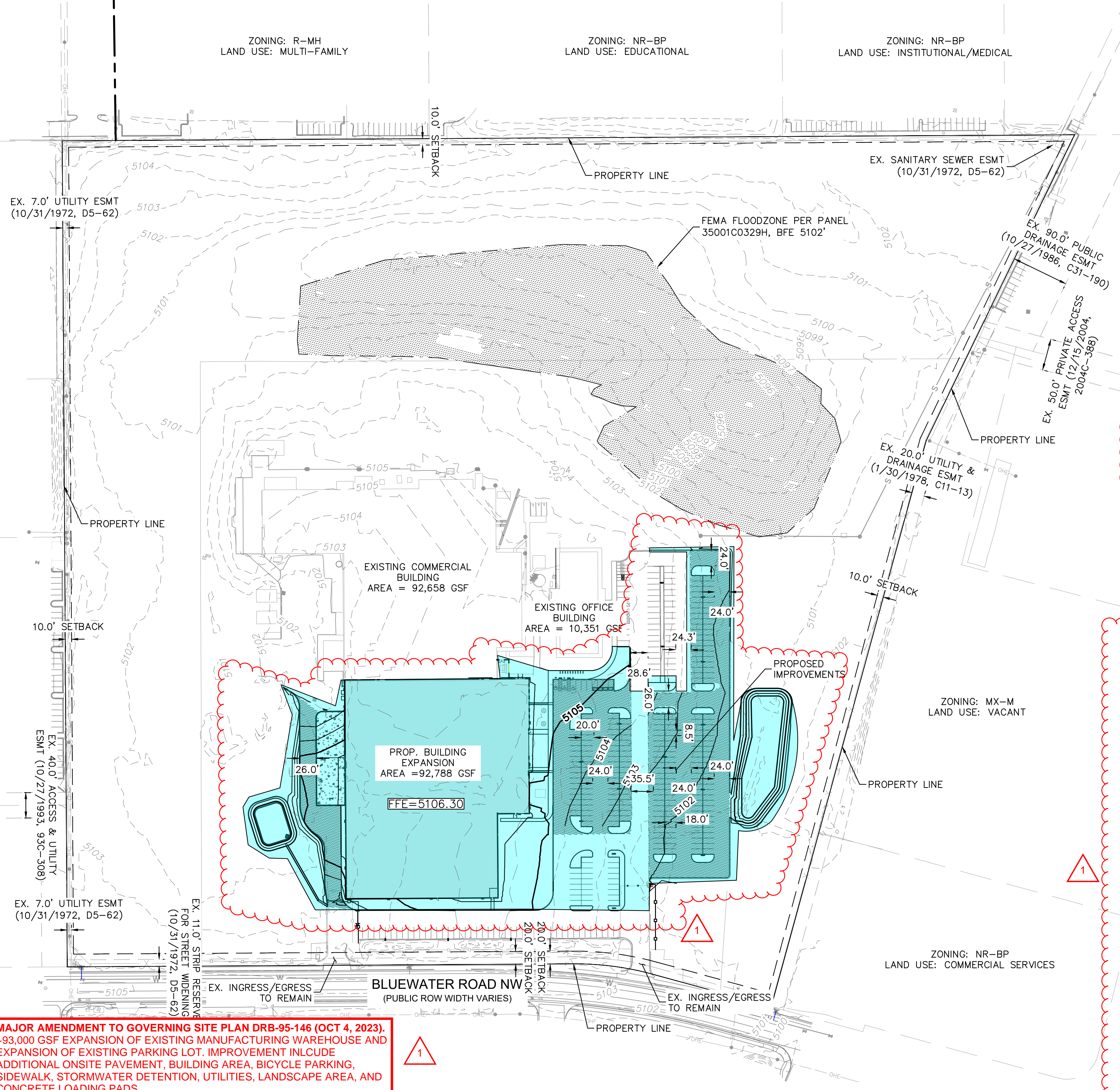
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VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z



PROJECT LOCATION



SITE DEVELOPMENT DATA

LEGAL DESCRIPTION:
 • TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

LAND AREA:
 • 39.775 ACRES

ZONING: NR-BP: NON-RESIDENTIAL / BUSINESS PARK
 PERMISSIVE PRIMARY USE AS LIGHT MANUFACTURING

BUILDING AREAS:
 • EXISTING - ±103,000 SF
 • PROPOSED - ±92,800 SF
 • TOTAL = ±195,800 SF

DESIGN GUIDELINES:
 • THE PROJECT HAS BEEN DEVELOPED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), EFFECTIVE 7/17/2023.

SET BACKS (IDO TABLE 2-5-3):
 • FRONT: 20 FEET
 • SIDE: 10 FEET
 • REAR: 10 FEET

BUILDING HEIGHT (IDO TABLE 2-5-3):
 • ALLOWABLE MAX: 65 FEET
 • EXISTING MAX HEIGHT: 28 FEET
 • PROPOSED MAX HEIGHT: 32 FEET

PROJECT DESCRIPTION

COUNTY: BERNALILLO COUNTY
ADDRESS: 6625 BLUEWATER ROAD NW, ALBUQUERQUE, NM 87121
OWNER: AMERACE CORPORATION

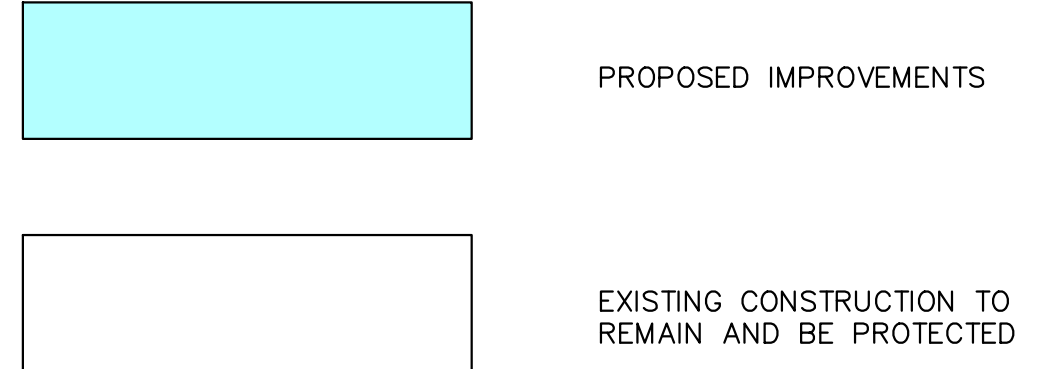
PROJECT DESCRIPTION:
 • THE PROJECT IS CONSTRUCTING A NEW 90,000 SF BUILDING WITH ASSOCIATED PARKING. A NEW FIRE MAIN EXTENSION WILL ALSO BE CONSTRUCTED FOR THE NEW BUILDING. THE EXISTING SITE HAS 103,000 SF OF BUILDING COVERAGE. THE PROPOSED SITE WILL HAVE 192,000 SF OF BUILDING COVERAGE.

SITE IMPROVEMENTS:
 • THE PROJECT WILL PROVIDE LANDSCAPE IMPROVEMENTS TO MEET AT LEAST CODE MINIMUM
 • EGRESS AND INGRESS POINTS WILL REMAIN THE SAME
 • A FIRE ACCESS LANE WILL BE PROVIDED FOR THE PROJECT.
 • A NEW 90,000 SF BUILDING IS PROPOSED FOR THE PROJECT.
 • EXISTING PARKING SPACES THAT OVERLAP THE NEW BUILDING LOCATION WILL BE RELOCATED ON THE EASTERN PORTION OF THE PROJECT.

PARKING CALCULATIONS

BUILDING USE =	LIGHT MANUFACTURING
PARKING REQUIREMENTS =	1 SPACES / 1,000 SF GFA
REQUIRED PARKING SPACES =	193
REQUIRED ADA PARKING =	5
REQUIRED BICYCLE PARKING =	20
REQUIRED LOADING SPACES =	2
EXISTING PARKING SPACES =	260
EXISTING ADA PARKING SPACES =	8
EXISTING MOTORCYCLE SPACES =	4
PROPOSED PARKING =	439
PROPOSED ADA PARKING =	9
PROPOSED BICYCLE PARKING =	20
PROPOSED MOTORCYCLE PARKING =	6
PROPOSED EV CHARGING STALLS =	4
PROPOSED LOADING SPACES =	2

LEGEND



REFER TO DETAILED SITE PLAN (SHEET 2) FOR DETAILED CALLOUTS

MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023)
 -93,000 GSF EXPANSION OF EXISTING MANUFACTURING WAREHOUSE AND EXPANSION OF EXISTING PARKING LOT. IMPROVEMENT INCLUDE ADDITIONAL ONSITE PAVEMENT, BUILDING AREA, BICYCLE PARKING, SIDEWALK, STORMWATER DETENTION, UTILITIES, LANDSCAPE AREA, AND CONCRETE LOADING PADS

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
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 6200 South Syracuse Way, Suite 500
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
 DRAWN BY: MEJ
 CHECKED BY: SAL
 DATE: 03/10/2023

LEGAL DESCRIPTION:
 TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

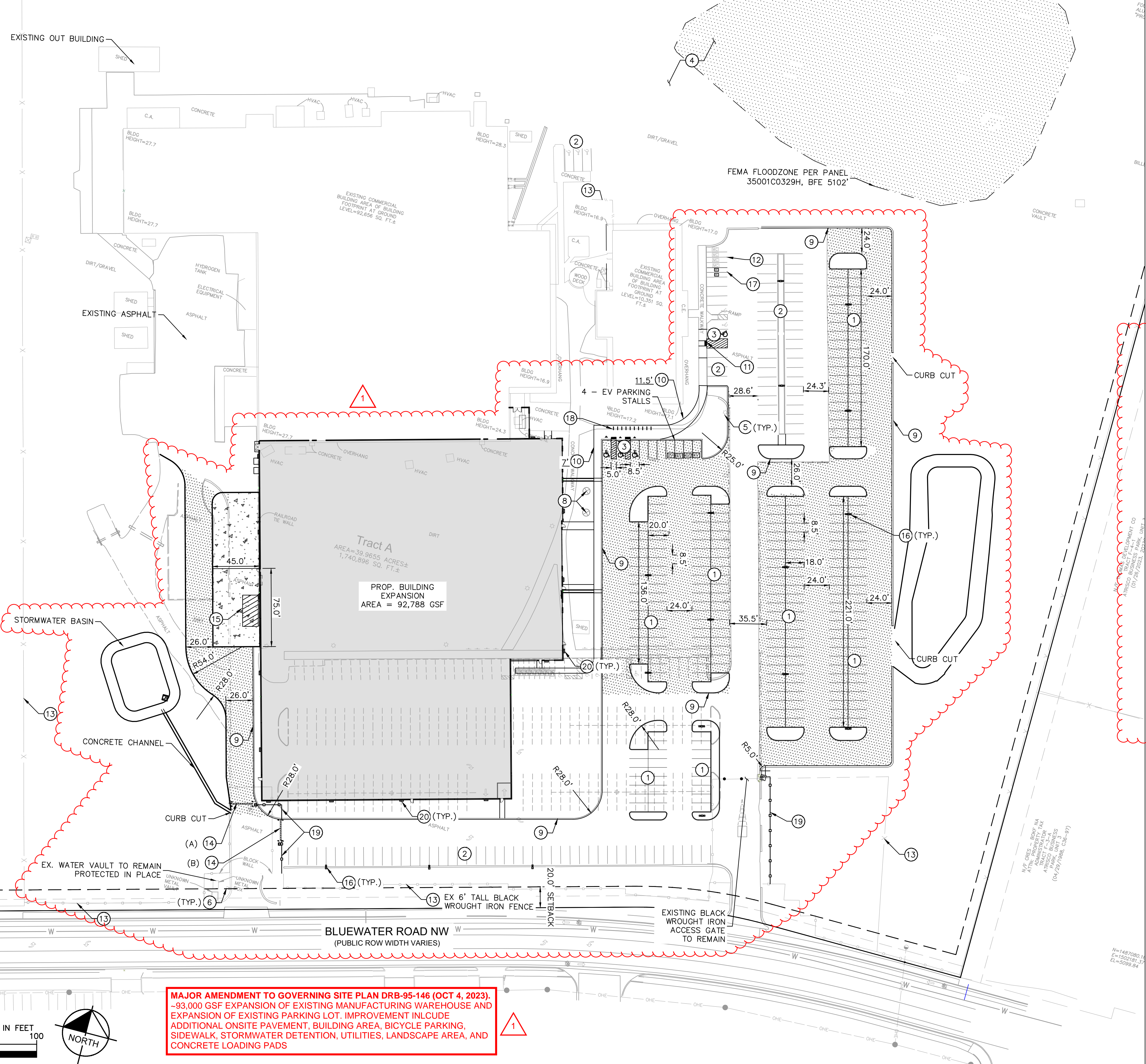
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 MAJOR AMENDMENT
 OVERALL SITE PLAN

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION
Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096523009

SHEET
 1

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

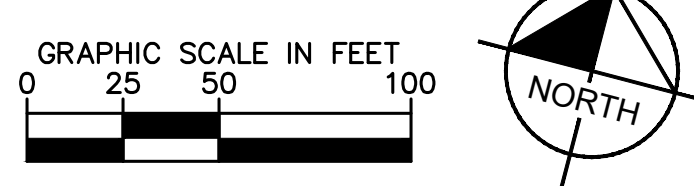


LEGEND:

	PROPERTY LINE
	ADJACENT SECTION LINE
	EX. UTILITY ESMT
	EX. WROUGHT IRON FENCE
	EX. CHAIN LINK FENCE
	EX. FIRE HYDRANT/VALVE
	EX. FLAGPOLE
	EX. SITE LIGHT
	EX. SIGN
	PROP. 6" VERTICAL CURB
	PROP. BUILDING
	PROP. FIRE LANE
	PROP. PAVEMENT
	PROP. BUILDING SETBACK
	PROP. POLE MOUNTED EXTERIOR LIGHTING
	PROP. BUILDING MOUNTED EXTERIOR LIGHTING

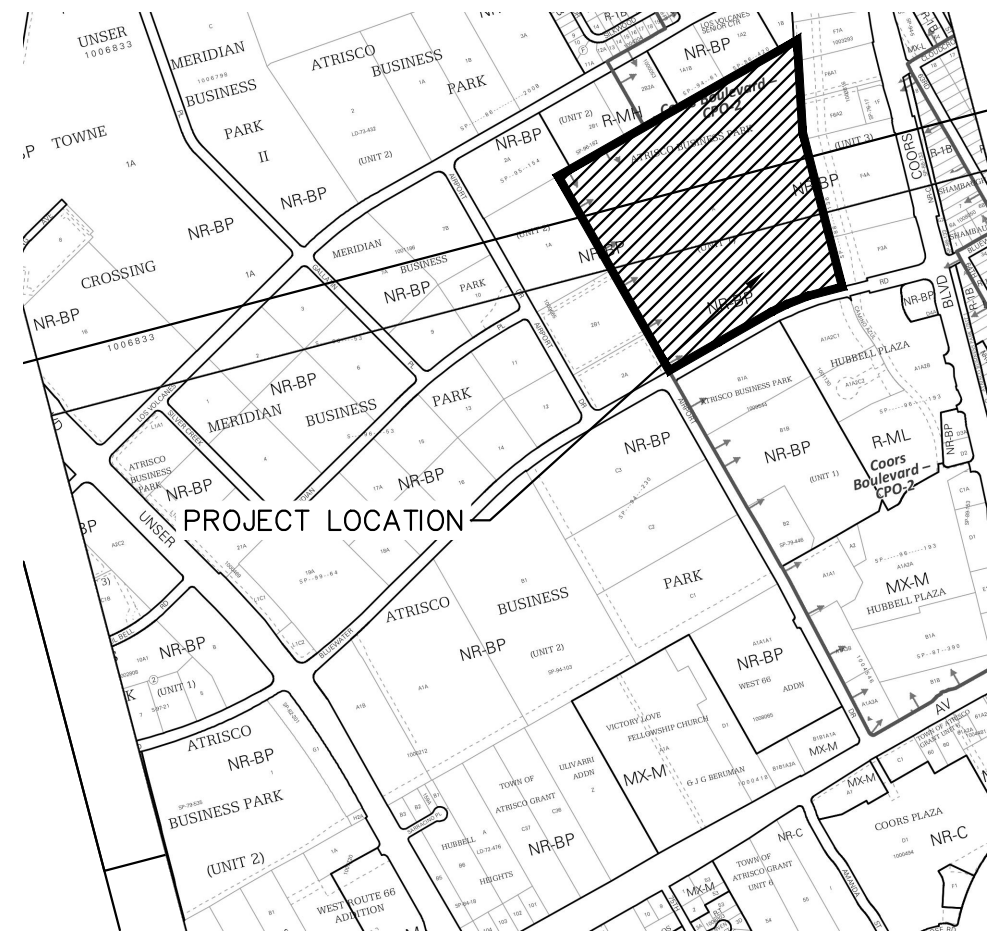
KEYNOTE LEGEND:

1	PROP. STANDARD 8.5'X18' PARKING STALLS
2	EX. STANDARD PARKING STALLS (TO REMAIN)
3	PROP. 8.5'X18' ACCESSIBLE PARKING STALLS
4	PROP. LANDSCAPING (REFER TO LANDSCAPE PLANS)
5	EX. LIGHT POLES (TO REMAIN)
6	EX. SIGNAGE (TO REMAIN)
7	EX. FIRE HYDRANTS (TO REMAIN)
8	EX. FLAGPOLE (TO REMAIN)
9	PROP. 6" VERTICAL CURB
10	PROP. CONCRETE SIDEWALK (WIDTH PER PLAN)
11	PROP. ACCESSIBLE CURB RAMP
12	EX. MOTORCYCLE PARKING (TO REMAIN)
13	EX. SITE SECURITY FENCING (TO REMAIN)
14	PROP. 40' AUTOMATIC CANTILEVER GATE W/ KNOX BOX
15	PROP. LOADING ZONE
16	NEW LIGHT POLE
17	PROP. MOTORCYCLE STALL (4' X 8' MIN)
18	NEW BICYCLE PARKING
19	NEW 6' BLACK WROUGHT IRON FENCE
20	NEW WALL MOUNTED LIGHTING



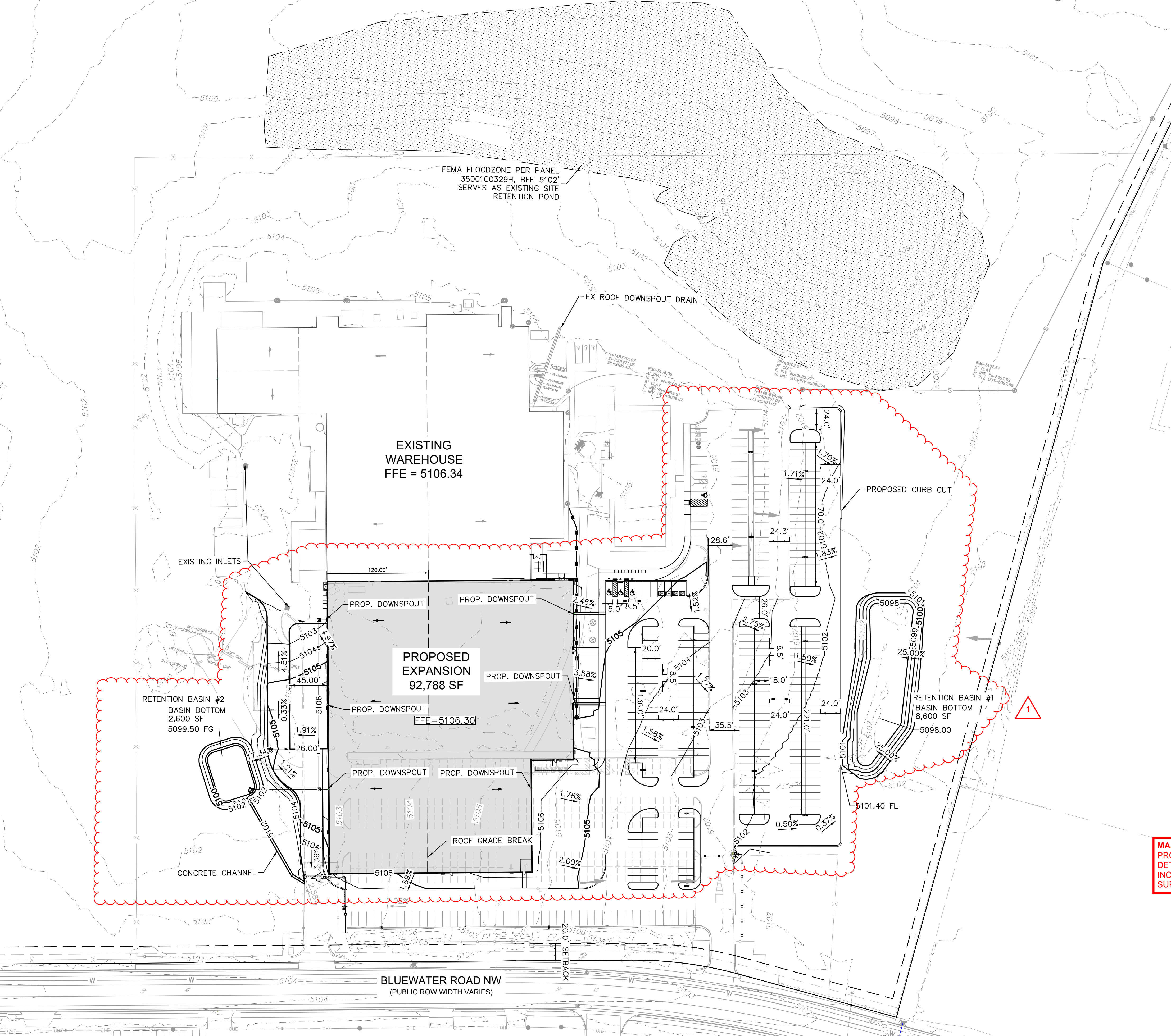
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**VICINITY MAP -
 ZONE ATLAS PAGES: K-10-Z & J-10-Z**



Kimley»Horn	©2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300						
DESIGNED BY: MEJ DRAWN BY: MEJ CHECKED BY: SAL DATE: 03/10/2023	LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES						
ABB ABQ ADDITION 6625 BLUEWATER ROAD NW MAJOR AMENDMENT SITE PLAN DETAILS	PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley»Horn Kimley-Horn and Associates, Inc.						
PROJECT NO. 096523009	SHEET 2						
NO.	REVISION	BY	DATE	APPR			

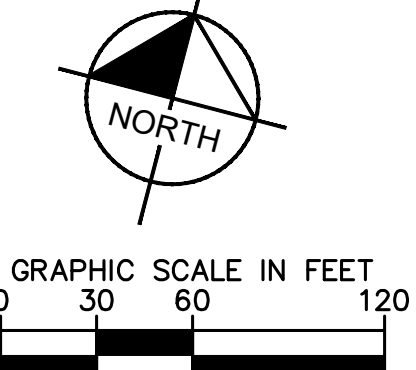
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- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT SECTION LINE
 - - - EX. UTILITY ESMT
 - - - EX. WROUGHT IRON FENCE
 - - - EX. CHAIN LINK FENCE
 - ⊗ EX. FIRE HYDRANT/VALVE
 - ⊙ EX. SANITARY SEWER MANHOLE/CLEANOUT
 - - - EX. SANITARY SEWER LINE
 - ⊗ EX. FLAGPOLE
 - - - EX. OVERHEAD ELECTRICAL
 - EX. STORM INLET
 - EX. SITE LIGHT
 - ↑ EX. SIGN
 - 6" PROP. 6" VERTICAL CURB
 - ▭ PROP. BUILDING
 - ▭ PROP. PAVEMENT
 - - - PROP. FIRE LANE
 - - - PROP. CONTOUR
 - - - 5747 EX. CONTOUR
 - X.XX% PROP. SLOPE ARROW
 - - - PROP. BUILDING SETBACK
 - EX. SLOPE ARROW

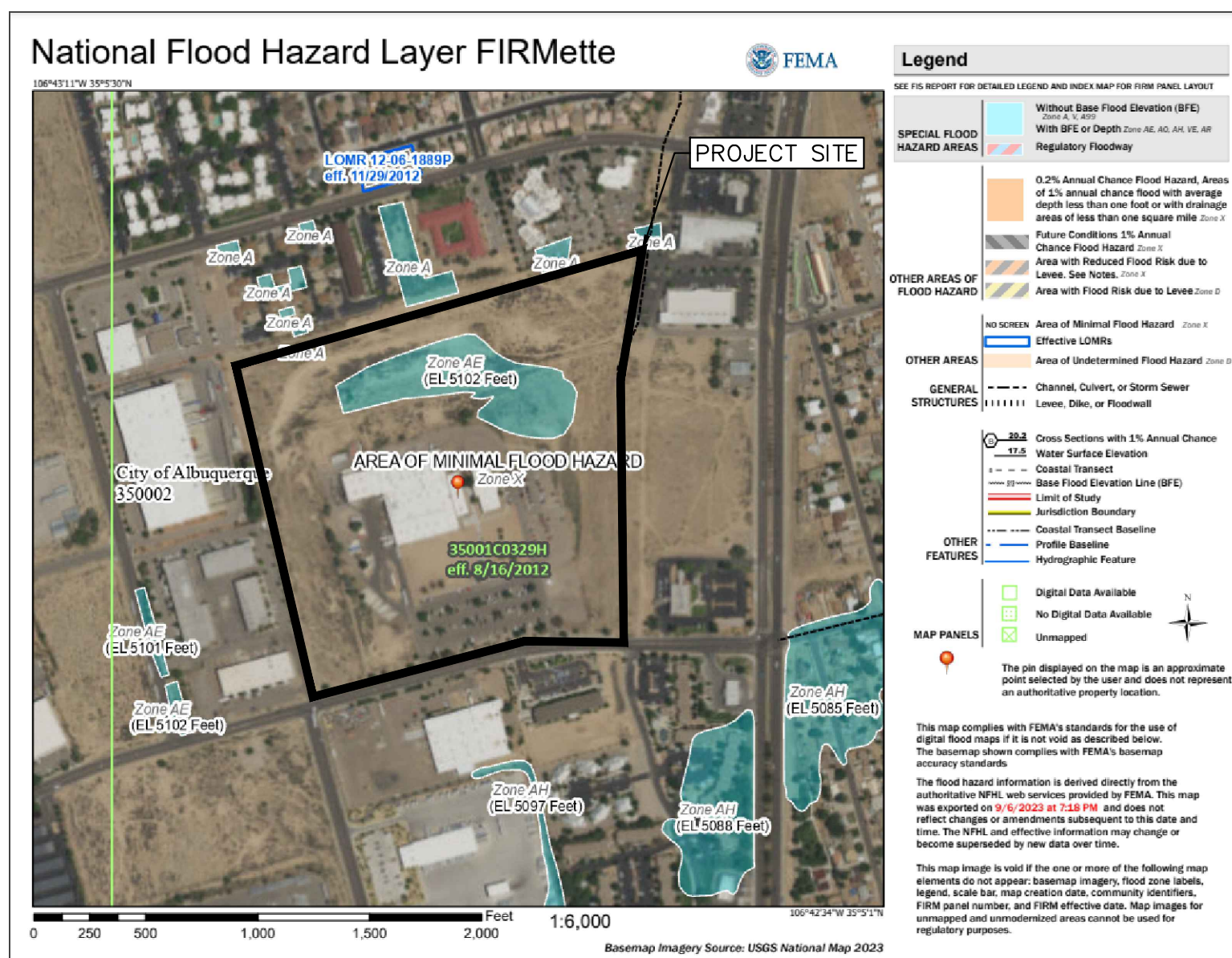
- GRADING LEGEND:**
- FL FLOWLINE
 - BOC BOTTOM OF CURB
 - FG FINISHED GRADE
 - EG EXISTING GRADE
 - FFE FINISHED FLOOR ELEVATION
 - EOP EDGE OF PAVEMENT
 - HP HIGH POINT
 - LP LOW POINT
 - SW SIDEWALK
 - CL CENTERLINE

MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
PROPOSAL OF TWO NEW ONSITE DETENTION BASINS TO COLLECT AND DETAIN THE 100-YEAR 10-DAY VOLUME ASSOCIATED WITH THE NET INCREASE REQUIRED DETENTION VOLUME DUE TO THE NEW IMPERVIOUS SURFACES.



<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: 8px; margin: 0;">©2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 500 Greenwood Village, Colorado 80111 (303) 228-2300</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 10%;">REVISION</th> <th style="width: 10%;">BY</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">APPR</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	BY	DATE	APPR					
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<p>LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES</p>											
<p>ABB ABQ ADDITION 6625 BLUEWATER ROAD NW MAJOR AMENDMENT GRADING & DRAINAGE PLAN</p>											
<p>PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION</p> <p style="font-size: 8px; margin: 0;">Kimley»Horn Kimley-Horn and Associates, Inc.</p>											
<p>PROJECT NO. 096523009</p>											
<p>SHEET 4</p>											

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FLOOD ZONE MAP
FIRM PANEL: 35001C0329H

DRAINAGE REPORT

SITE LOCATION

THE PROPOSED PROJECT IS LOCATED ON APPROXIMATELY A 37.97-ACRE SITE. THE SITE IS 800 FEET WEST FROM W COORD BLVD

EXISTING CONDITIONS

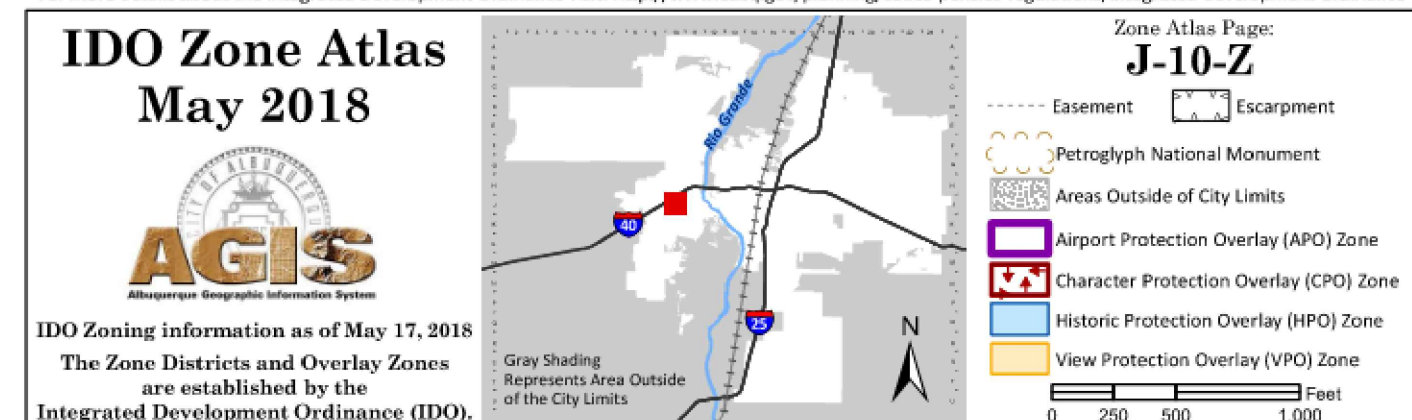
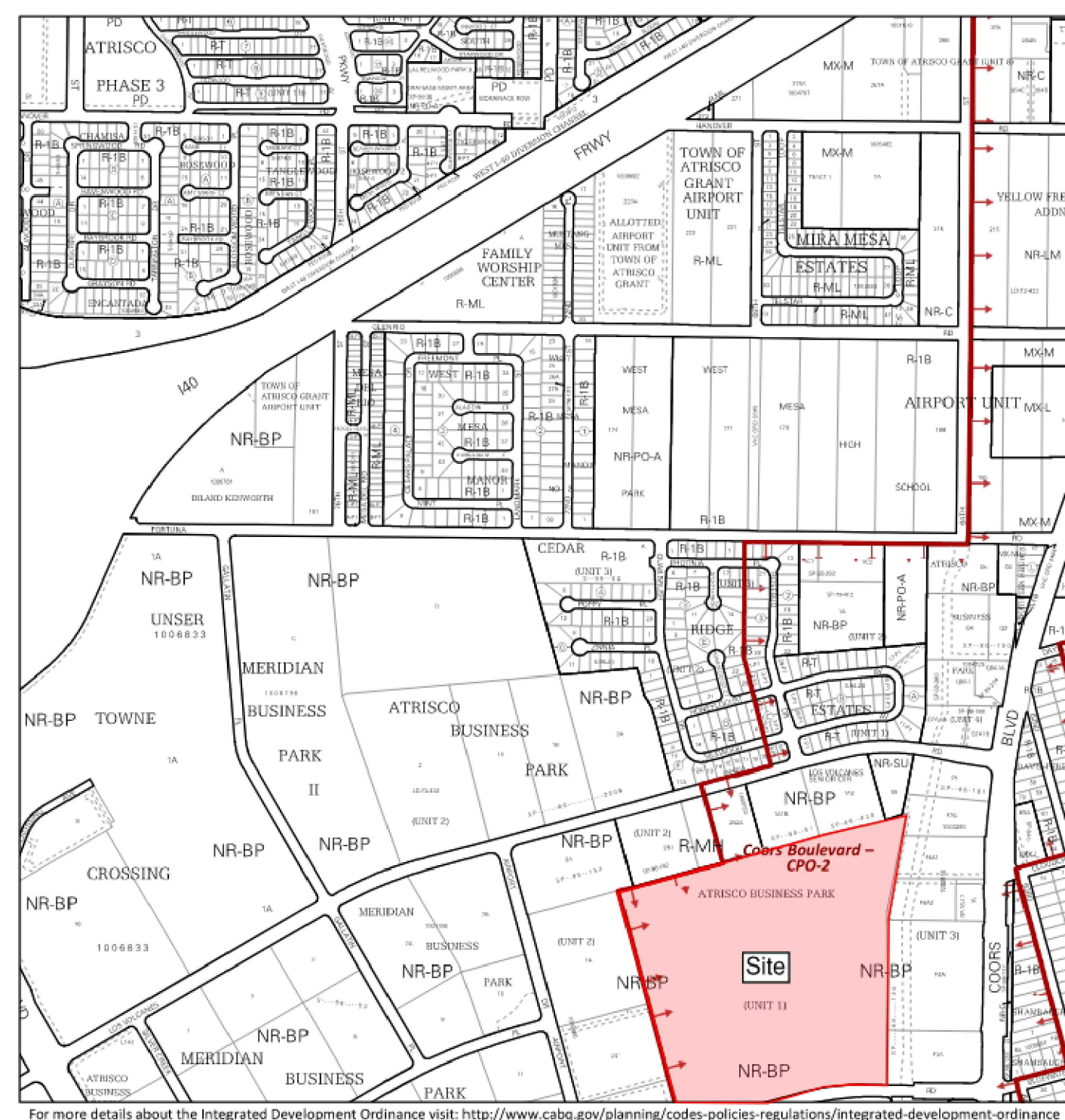
THE SITE IS PARTIALLY DEVELOPED WITH AN EXISTING APPROX. 90,000 GSF MANUFACTURING WAREHOUSE, ADMINISTRATIVE OFFICE, PAVED AND GRAVEL PARKING LOT, LANDSCAPED OPEN SPACE AND PATHWAYS. THERE IS AN EXISTING AE FLOODZONE ONSITE WITH A BFE OF 5102. SITE RUNOFF IS CURRENTLY CONVEYED TO THE EXISTING FLOODZONE WHERE IT SERVES AS A RETENTION BASIN. RUNOFF SURFACE FLOWS AND CONCENTRATED FLOWS TO THE RETENTION BASIN. THE EXISTING RETENTION BASIN AND FLOODZONE WILL REMAIN UNTOUCHED.

PROPOSED CONDITIONS

THE PROPOSED PROJECT WILL RESULT IN A NEW 90,000 GSF WAREHOUSE AND NEW PORTIONS OF PAVED PARKING. AREAS OF EXISTING PAVEMENT AND DEVELOPED LAWN AREA WILL BE REPLACED WITH THE NEW BUILDING FOOTPRINT. THE NEW PAVED PARKING AREAS WILL REPLACE LOCATIONS OF EXISTING LAWN AND GRAVEL SURFACES. THE PROJECT WILL PRODUCE A NET INCREASE OF IMPERVIOUS AREA ASSOCIATED WITH THE EXPANSION. RUNOFF WILL SHEET FLOW EAST OR WEST WHERE IT WILL FOLLOW HISTORIC DRAINAGE PATTERNS. TWO NEW WATER HARVESTING BASINS (RETENTION BASIN #1 AND #2) ARE PROPOSED TO DETAIN THE NET INCREASE OF REQUIRED 100-YEAR 10-DAY DETENTION VOLUME AS TO NOT INCREASE THE VOLUME OF WATER TRIBUTARY TO THE EXISTING RETENTION BASIN/FLOODZONE. FLOWS EXCEEDING THE NEW RETENTION POND STORAGE VOLUME WILL BYPASS THE BASIN AND CONTINUE TO THE EXISTING RETENTION POND. FLOWS WILL INFILTRATE INTO NATIVE SOILS PER THE 2020 DPM PERCOLATION RATES.

CONCLUSIONS

WHEN DEVELOPED AS INDICATED ON THE GRADING AND DRAINAGE PLAN, THE INCREASE RUNOFF FROM THE SITE IS ESTIMATED AT 4.04 CFS. THE NET INCREASE WILL RESULT IN APPROXIMATELY 0.67 CU FT OF RETENTION VOLUME FOR THE 100-YEAR 10-DAY VOLUME. BASIN #1 WILL PROVIDE VOLUME FOR 0.56 AC-FT OF 100-YEAR 10-DAY STORAGE, AND BASIN #2 WILL PROVIDE 0.11 AC-FT OF STORAGE. BASIN BOTTOM SURFACE AREAS ARE DESIGNED SUCH THAT FLOWS WILL INFILTRATE IN THE 96 HOUR DRAIN TIME.



ZONING MAP
J-10-Z

HYDROLOGY CALCULATIONS

BASIN #1	Land Treatment (Table 6.2.13)				Total Acreage (ac)	Ew (in)	V(100-10day) ac-ft	Q(100) cfs
	A	B	C	D				
Existing Conditions	0	1.49	1.18	0.88	1.18	2.03	0.48	10.26
Proposed Conditions	0	0.5	0	3.05	3.05	1.18	1.04	13.65
DELTA							0.56	3.39

BASIN #2	Land Treatment (Table 6.2.13)				Total Acreage (ac)	Ew (in)	V(100-10day) ac-ft	Q(100) cfs
	A	B	C	D				
Existing Conditions	0	0.73	0	1.00	1.73	1.96	0.38	5.85
Proposed Conditions	0	0.32	0	1.41	1.73	1.60	0.49	6.50
DELTA							0.11	0.65

Pond	Retention Pond Drain Time				Drain Time Check
	Volume cfs	Percolation Rate inches/hr	Pond Bottom Sq. Ft.	Drain Time hr	
#1	24,394	0.83	8,600	42	96 Hour Max Meets Required Drain Time

Pond Volume 0.56 ac-ft

Pond	Retention Pond Drain Time				Drain Time Check
	Volume cfs	Percolation Rate inches/hr	Pond Bottom Sq. Ft.	Drain Time hr	
#2	4,792	0.83	2,600	27	96 Hour Max Meets Required Drain Time

Pond Volume 0.11 ac-ft
input cells

*Percolation rate per Table 6.2.12 of the 2020 DPM



MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023). PROPOSAL OF TWO NEW ONSITE DETENTION BASINS TO COLLECT AND DETAIN THE 100-YEAR 10-DAY VOLUME ASSOCIATED WITH THE NET INCREASE REQUIRED DETENTION VOLUME DUE TO THE NEW IMPERVIOUS SURFACES.



NO. _____ BY _____ DATE _____
REVISION _____

Kimley»Horn
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6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: MEJ
CHECKED BY: SAL
DATE: 03/10/2023

LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

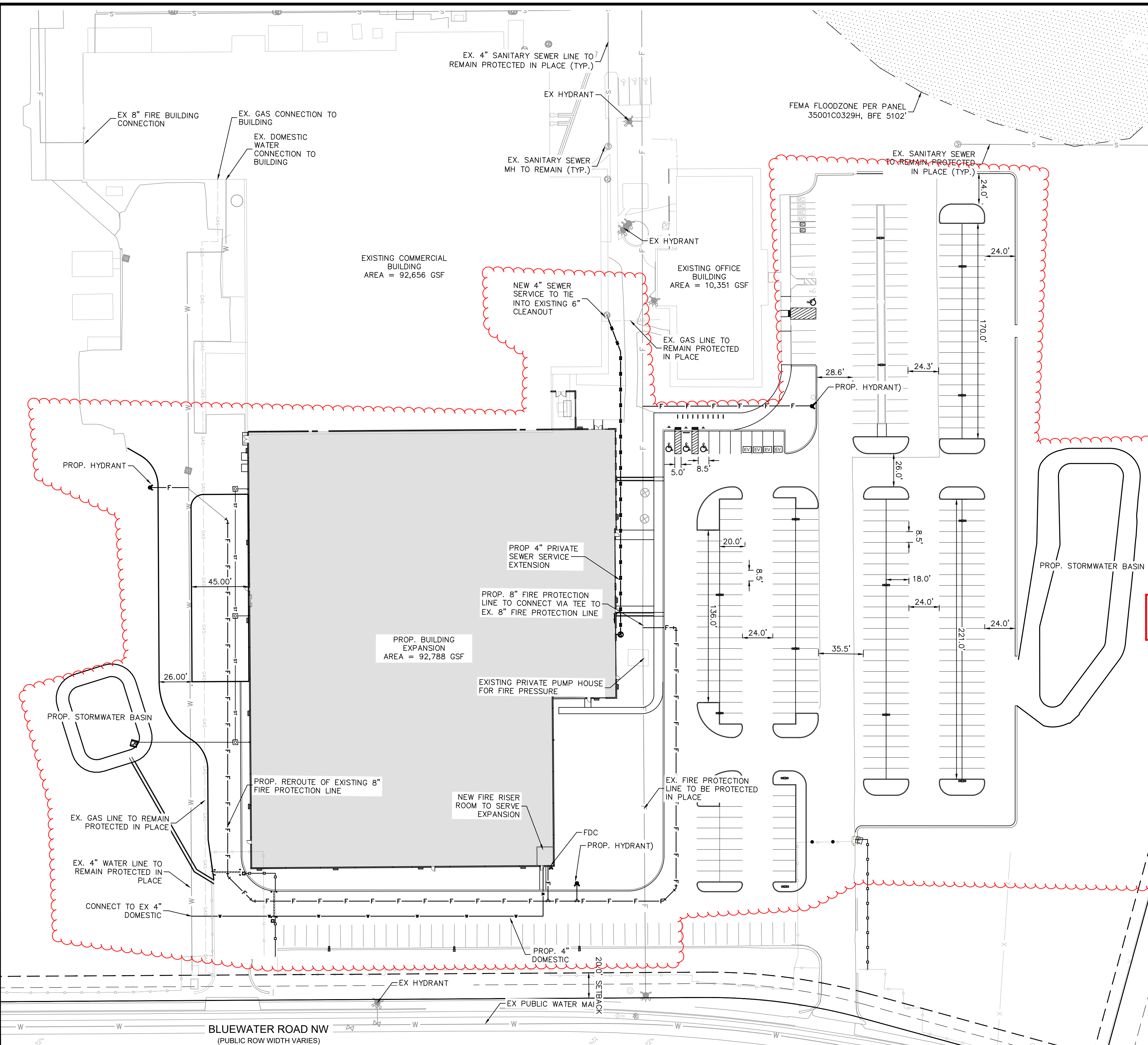
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
HYDROLOGY DATA

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PROJECT NO.
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SHEET
5

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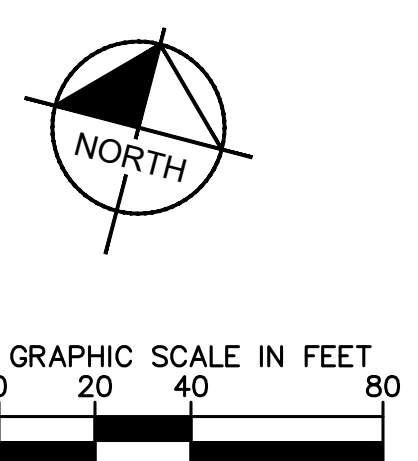


LEGEND:

	PROPERTY LINE
	ADJACENT SECTION LINE
	EX. UTILITY ESMT
	EX. WROUGHT IRON FENCE
	EX. CHAIN LINK FENCE
	EX. FIRE HYDRANT/VALVE
	EX. SANITARY SEWER MANHOLE/CLEANOUT
	EX. SANITARY SEWER LINE
	EX. FLAGPOLE
	EX. OVERHEAD ELECTRICAL
	EX. GAS LINE
	EX. STORM INLET
	EX. SITE LIGHT
	EX. SIGN
	PROP. 6" VERTICAL CURB
	PROP. BUILDING
	PROP. FIRE LANE
	EX. WATER LINE
	EX. FIRE PROTECTION LINE
	PROP. FIRE HYDRANT
	PROP. DOMESTIC LINE
	PROP. PRIVATE SEWER SERVICE
	PROP. PRIVATE FIRE LINE
	PROP. BUILDING SETBACK

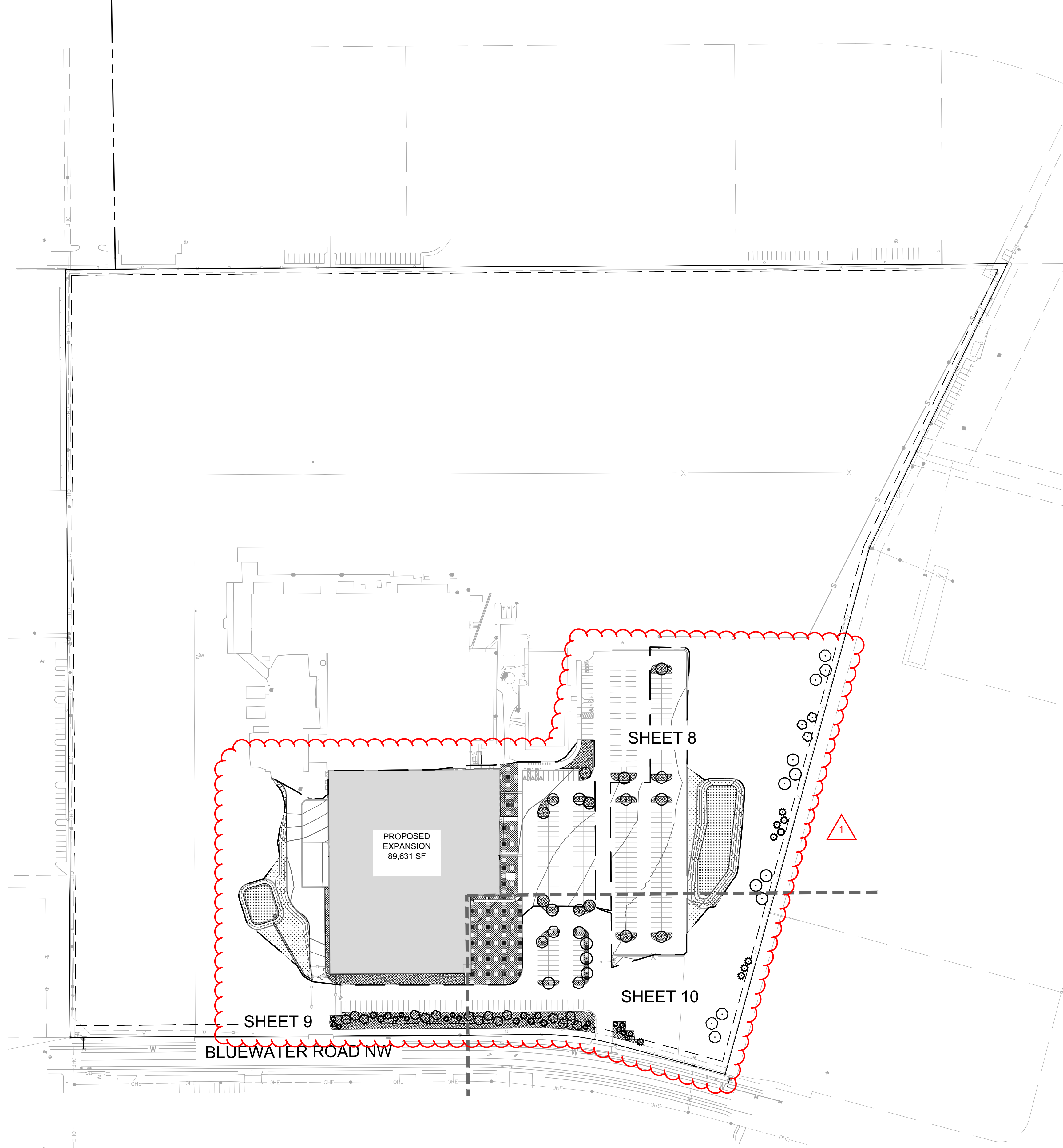
- UTILITY GENERAL NOTES:**
1. ALL EXISTING UNDERGROUND UTILITIES TO REMAIN PROTECTED IN PLACE DURING CONSTRUCTION.
 2. FIRE WATER LINE TO BE REROUTED AROUND THE PROPOSED BUILDING.

**MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
INSTALLATION OF NEW SEWER SERVICE LINE, WATER SERVICE LINE, FIRE SUPPRESSION (ONSITE HYDRANT, FIRELINE TO EXPANSIONS NEW RISER ROOM, INTERIOR SPRINKLER SYSTEM, AND NEW FDC)**



NO.	REVISION	BY	DATE
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DESIGNED BY: MEJ DRAWN BY: MEJ CHECKED BY: SAL DATE: 03/10/2023			
LEGAL DESCRIPTION: TRACT A, A TRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES			
ABB ABQ ADDITION 6625 BLUEWATER ROAD NW MAJOR AMENDMENT DETAILED UTILITY PLAN			
PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION 			
PROJECT NO. 096523009			
SHEET 6			

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1 MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
ADDITIONAL LANDSCAPE ADDITIONS TO NEW LANDSCAPE ISLANDS, NEW
LANDSCAPE AROUND BUILDING EXPANSION, ALONG EASTERN AND
SOUTHERN PROPERTY LINES

PLANT SCHEDULE LANDSCAPE AREA

DECIDUOUS TREES	CODE	BOTANICAL NAME	COMMON NAME
	CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY
	GS	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST
	SD	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME
	JS	JUNIPERUS MONOSPERMA	ONESEED JUNIPER
	PN	PINUS NIGRA	AUSTRIAN PINE
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	RM	1-1/2" - 2" RIVER ROCK MULCH	1-1/2" - 2" RIVER ROCK MULCH
	XA	APPLEWOOD SEED MIX	DETENTION SEED MIX
	XL	NATIVE SEED MIX	NATIVE SEED MIX

SEE SHEET 12 FOR COMPLETE PLANT SCHEDULE

EXISTING GOVERNING SITE PLAN PLANTING SCHEDULE

	spacing	mature size		emitters (number & size)	
		height	spread	young	mature
A ARIZONA SYCAMORE (Platanus wrightii)		40'-80'	30'-60'	(3) 2 gal.	(6) 2 gal.
B HONEY LOCUST (Gleditsia triacanthos)		50'	30'-40'	(3) 2 gal.	(6) 2 gal.
C LIMBER PINE (Pinus flexilis)		25'	15'	(3) 2 gal.	(4) 2 gal.
D RUSSIAN OLIVE (Elaeagnus angustifolia)		25'	15'	(3) 2 gal.	(4) 2 gal.
E DESERT WILLOW (Chilopsis linearis)		25'	15'	(3) 2 gal.	(4) 2 gal.
F CHAMISA (Chrysothamnus nauseosus)	5'	5'	5'	(1) 1/2 gal.	(1) 1/2 gal.
G THREE-LEAF SUMAC (Rhus trilobata)	4'	4'	4'	(1) 1 gal.	(1) 1 gal.
H RED BARBERRY (Berberis thunbergii 'Atropurpurea')	3'	4'	4'	(1) 1 gal.	(1) 1 gal.
I JUNIPER, CALGARY CARPET (Juniperus sibirica 'Calgary Carpet')	7'	9'	10'	(1) 1 gal.	(1) 1 gal.
J HALLS HONEYSUCKLE (Lonicera japonica 'halliana')	8'	1'-3'	12'	(1) 1 gal.	(1) 1 gal.

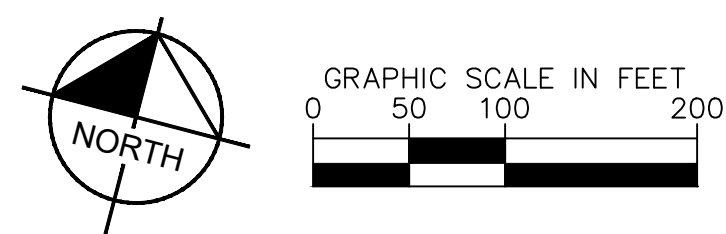
(NOT USED)

MINIMUM PLANT SIZES: TREES - 2" caliper or 10'-12', SHRUBS AND VINES - 5 gal.

GRAVEL: 3/4" crushed gravel, 2" deep, Santa Fe brown
FILTER FABRIC: DuPont "Typer" spunbonded polypropylene

IRRIGATION SYSTEM: Landscape Contractor shall submit a drip irrigation plan for approval by Architect. Include electric valves and electronic timer. Provide necessary connections to existing water and electric.

All plants and irrigation system shall be guaranteed for (1) year. Any plants not surviving (1) year shall be replaced at Contractors expense.



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Kimley»Horn
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6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIWS
DATE: 10/3/2023

LEGAL DESCRIPTION:
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PARK UNIT 1 CONTAINING
39.775 ACRES

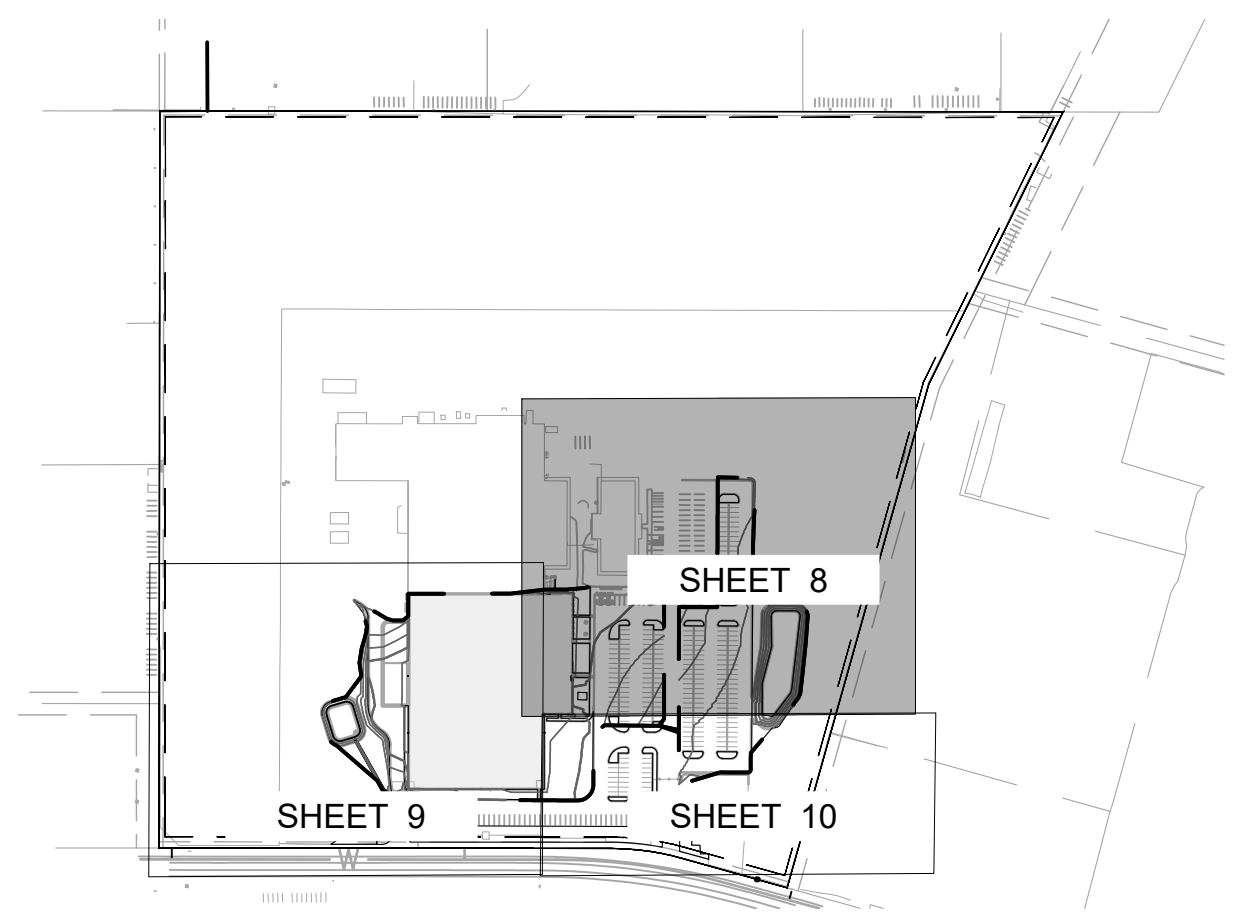
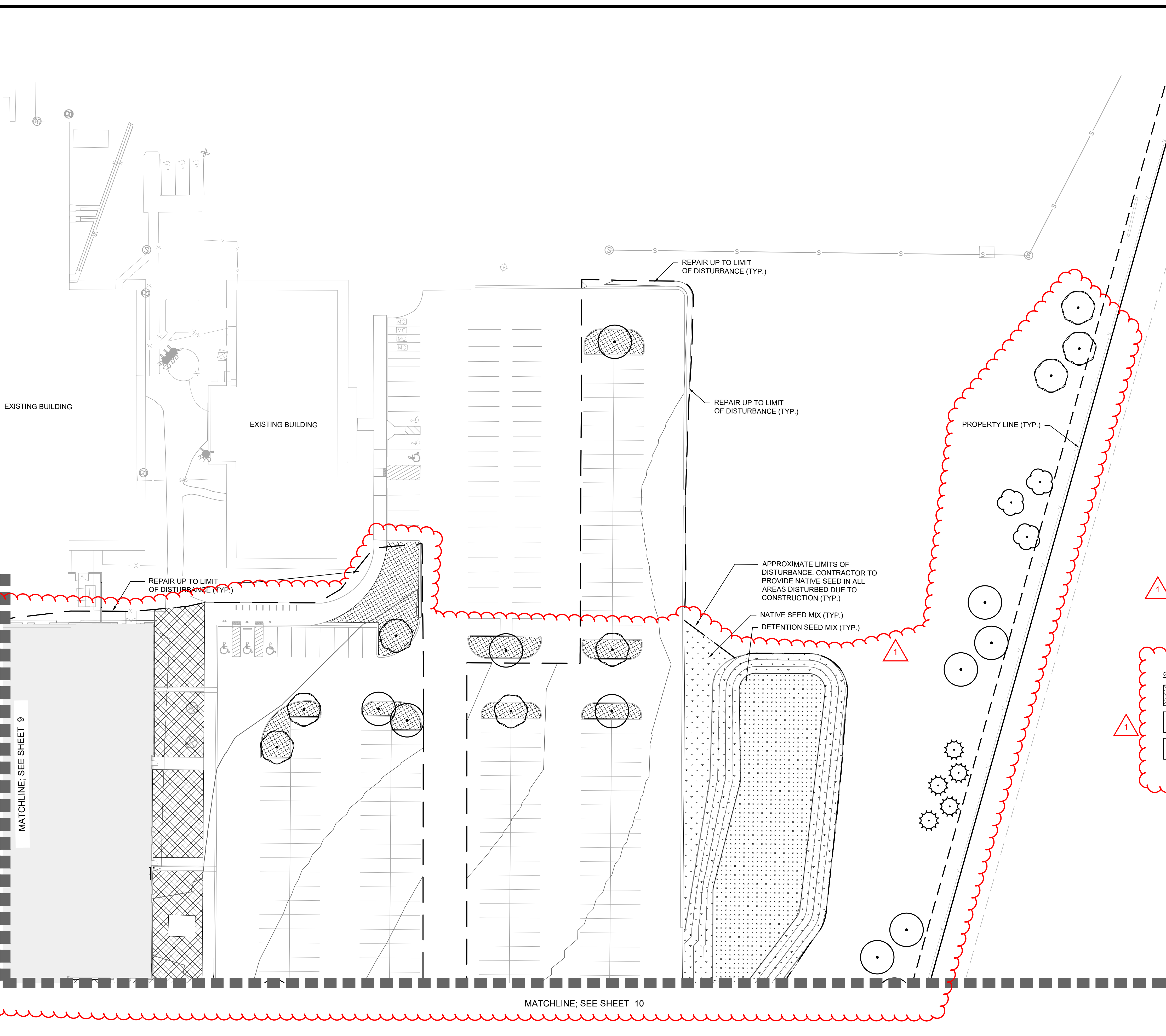
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
OVERALL LANDSCAPE PLAN

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PROJECT NO.
096523009

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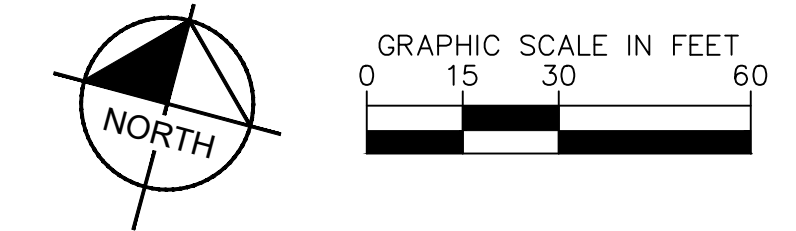


KEY MAP
N.T.S.

**MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
ADDITIONAL LANDSCAPE ADDITIONS TO NEW LANDSCAPE ISLANDS, NEW
LANDSCAPE AROUND BUILDING EXPANSION, ALONG EASTERN AND
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GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	RM	1-1/2" - 2" RIVER ROCK MULCH	1-1/2" - 2" RIVER ROCK MULCH
	XA	APPLEWOOD SEED MIX	DETENTION SEED MIX
	XL	NATIVE SEED MIX	NATIVE SEED MIX

SEE SHEET 12 FOR COMPLETE PLANT SCHEDULE



- CONSTRUCTION BID NOTES:**
- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
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- LANDSCAPE NOTES:**
- TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
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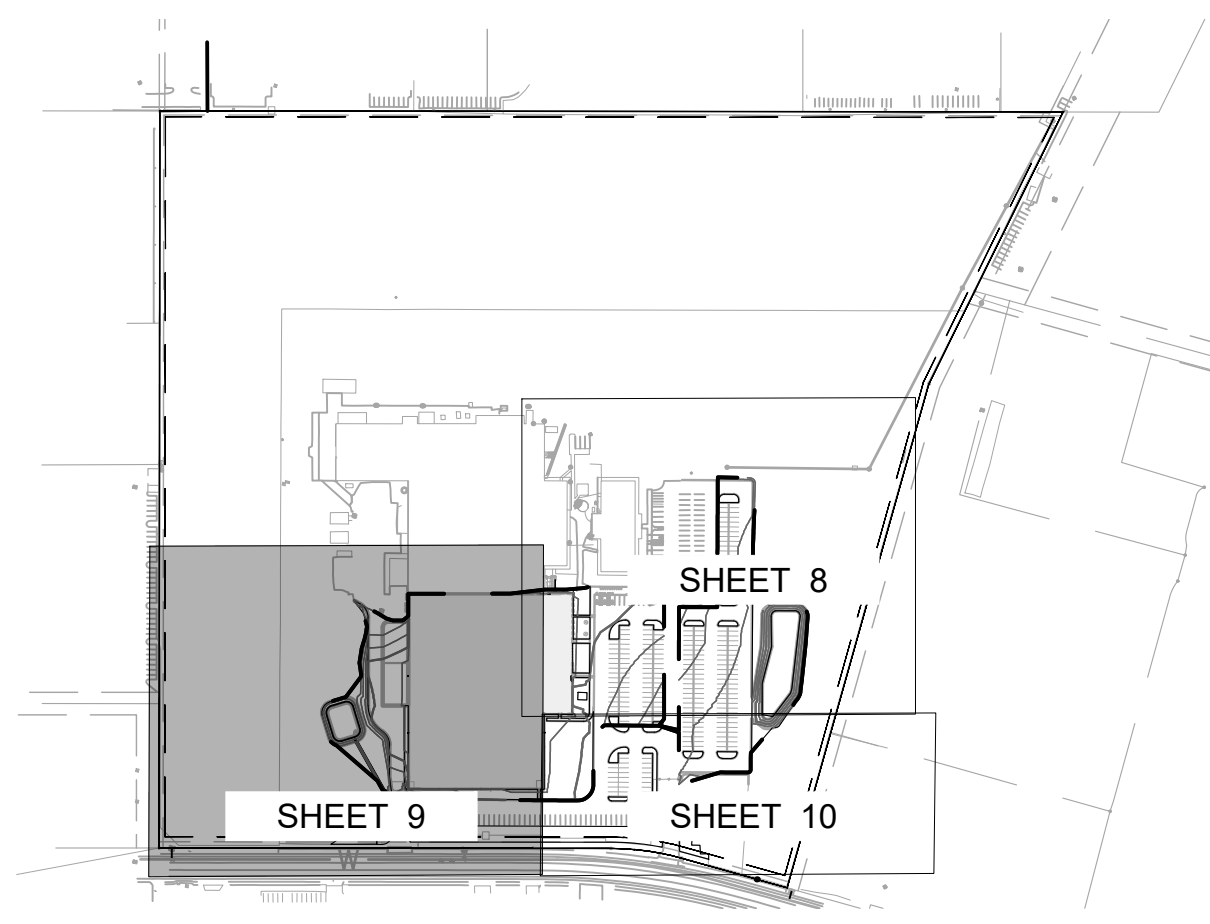
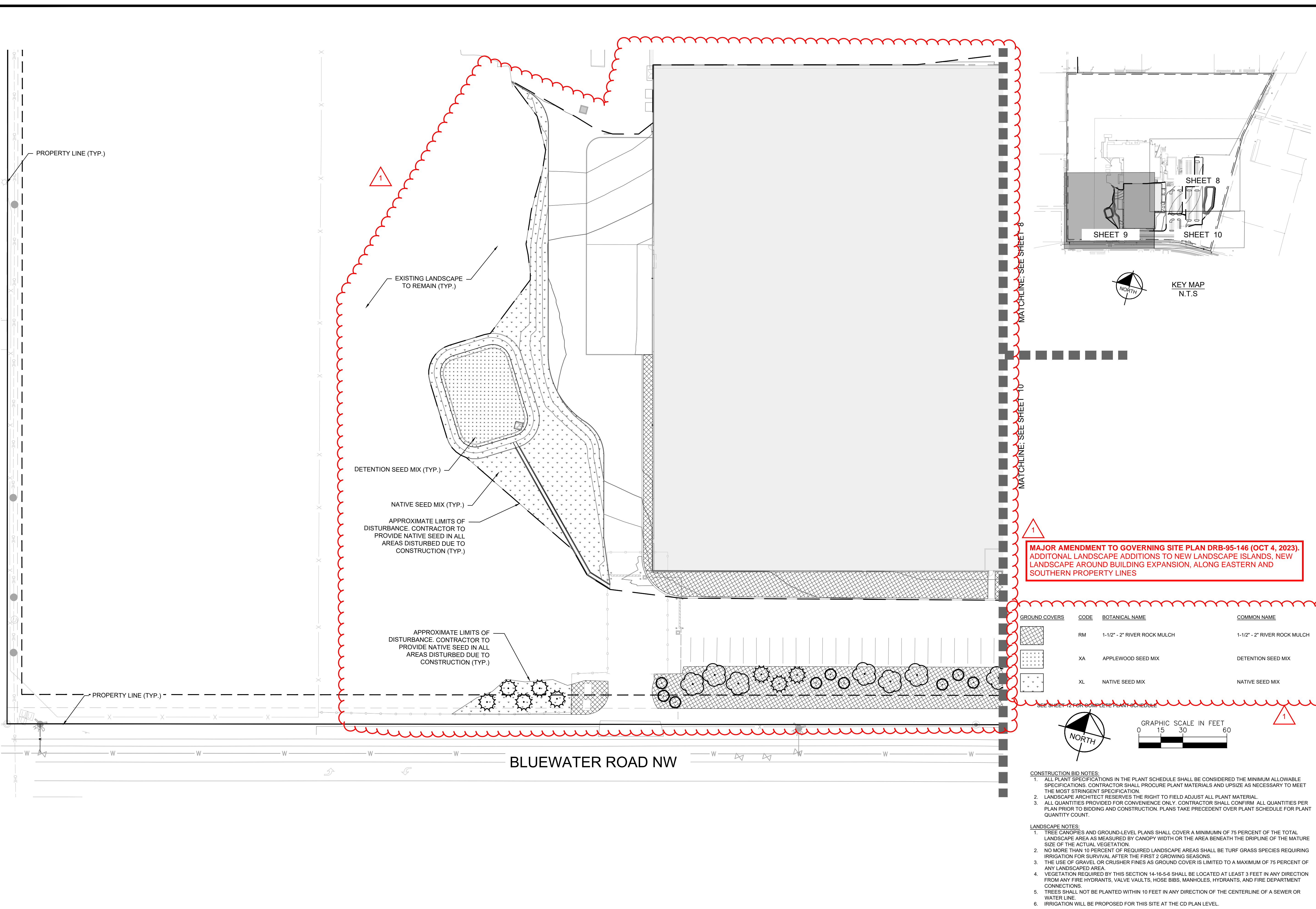
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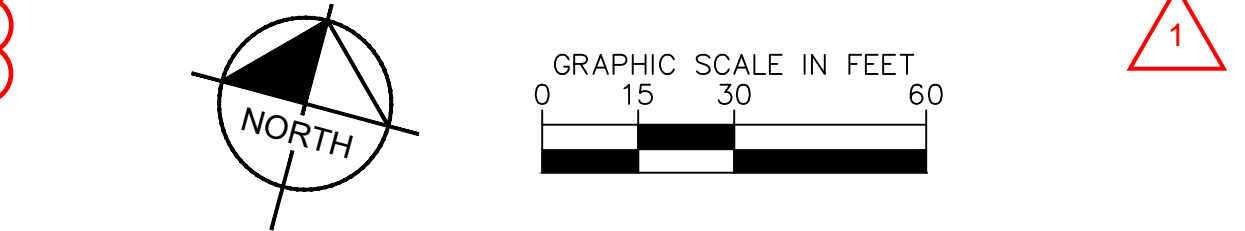
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MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
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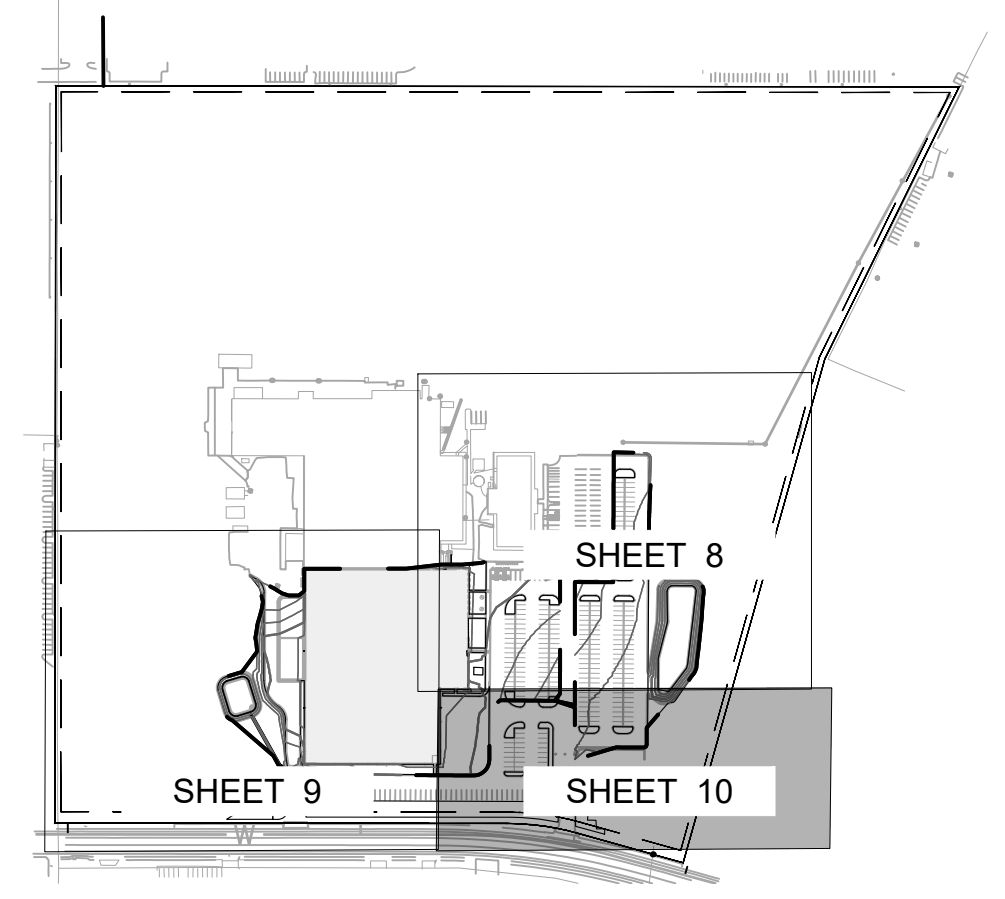
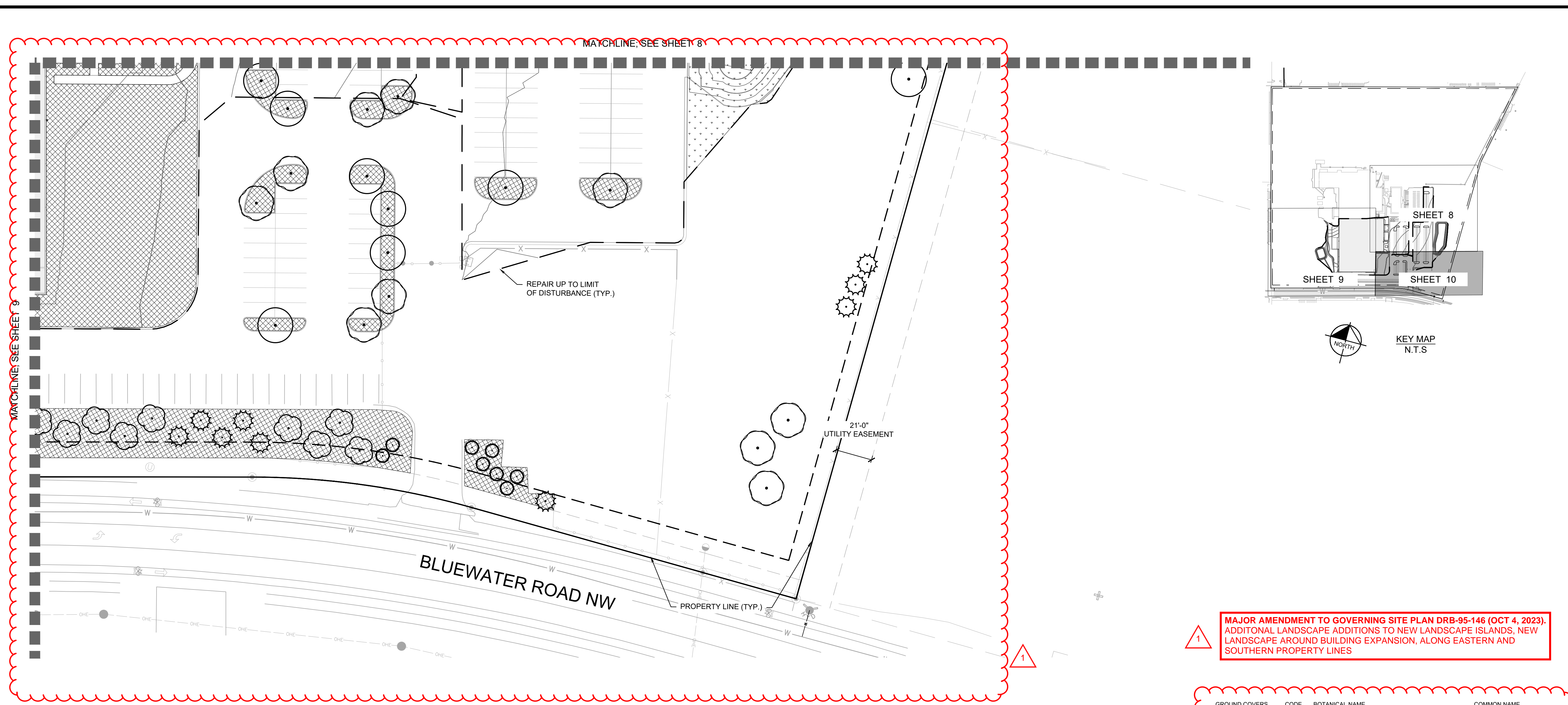
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<p>Kimley»Horn</p> <p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300</p> <p>DESIGNED BY: ECS DRAWN BY: ECS CHECKED BY: EIWS DATE: 10/3/2023</p> <p>LEGAL DESCRIPTION: TRACT A, ATRISCO BUSINESS PARK, UNIT 1, CONTAINING 39.775 ACRES</p> <p>ABB ABQ ADDITION 6625 BLUEWATER ROAD NW MAJOR AMENDMENT DETAILED LANDSCAPE PLAN</p> <p>PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION</p> <p>PROJECT NO. 096523009</p> <p>SHEET 9</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>REVISION</th> <th>BY</th> <th>DATE</th> <th>APPR.</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	BY	DATE	APPR.					
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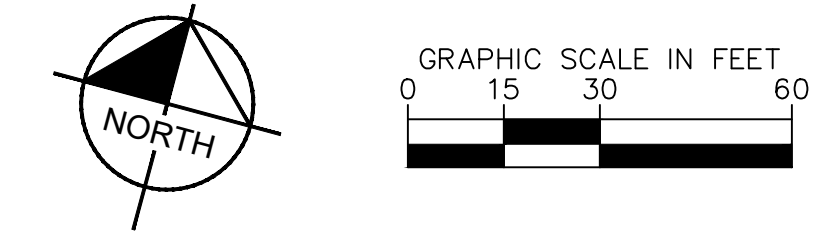


KEY MAP
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ADDITIONAL LANDSCAPE ADDITIONS TO NEW LANDSCAPE ISLANDS, NEW
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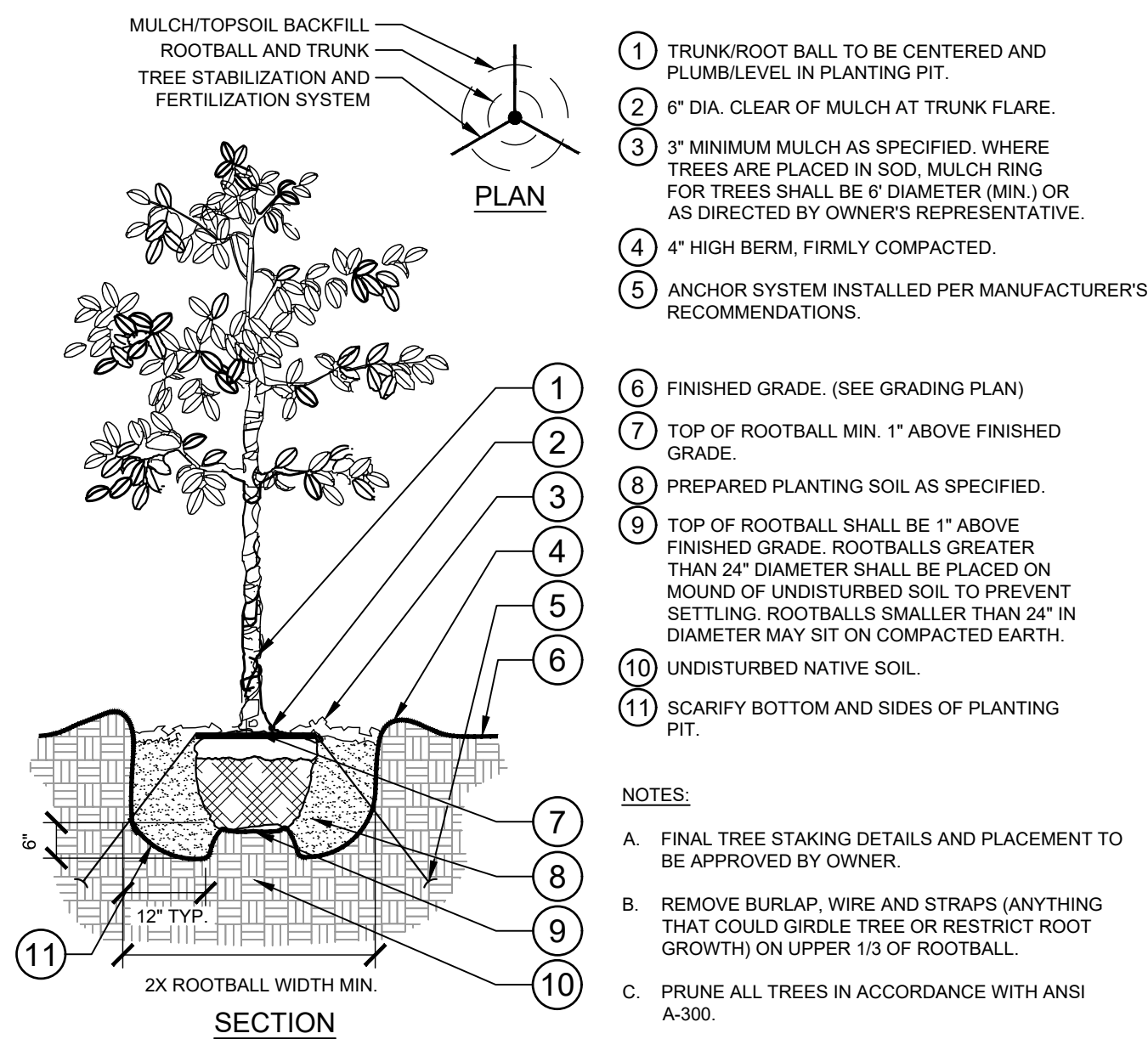
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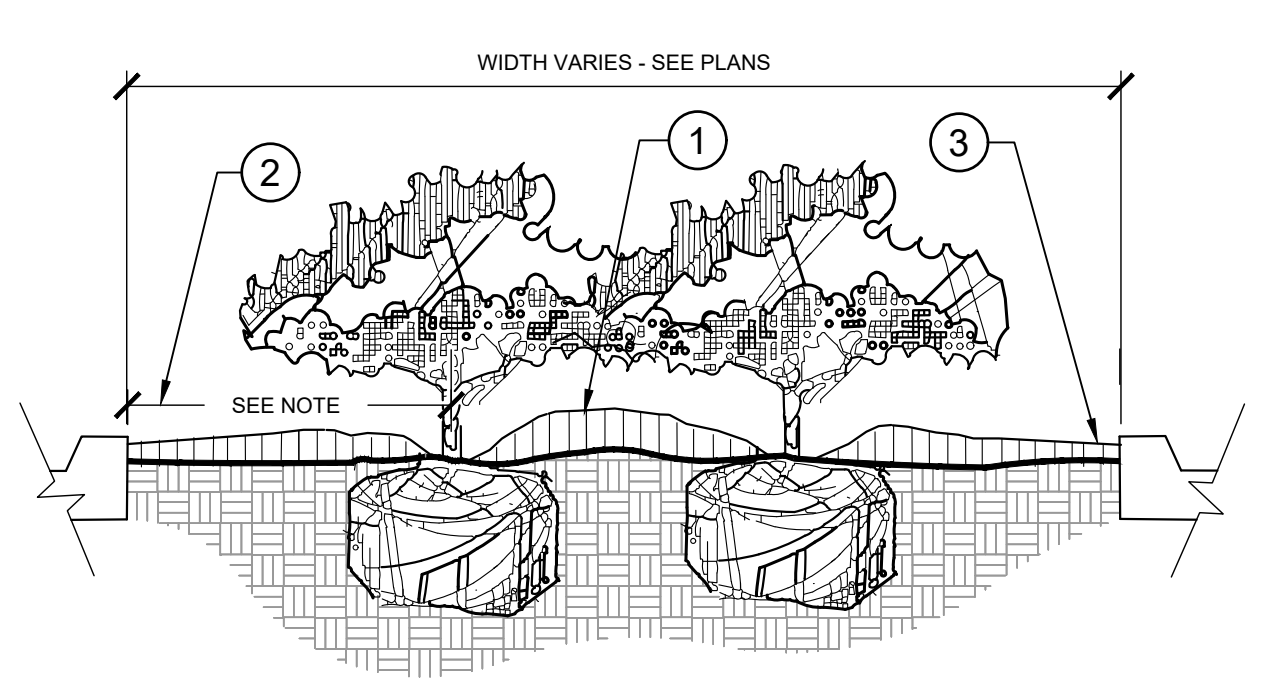
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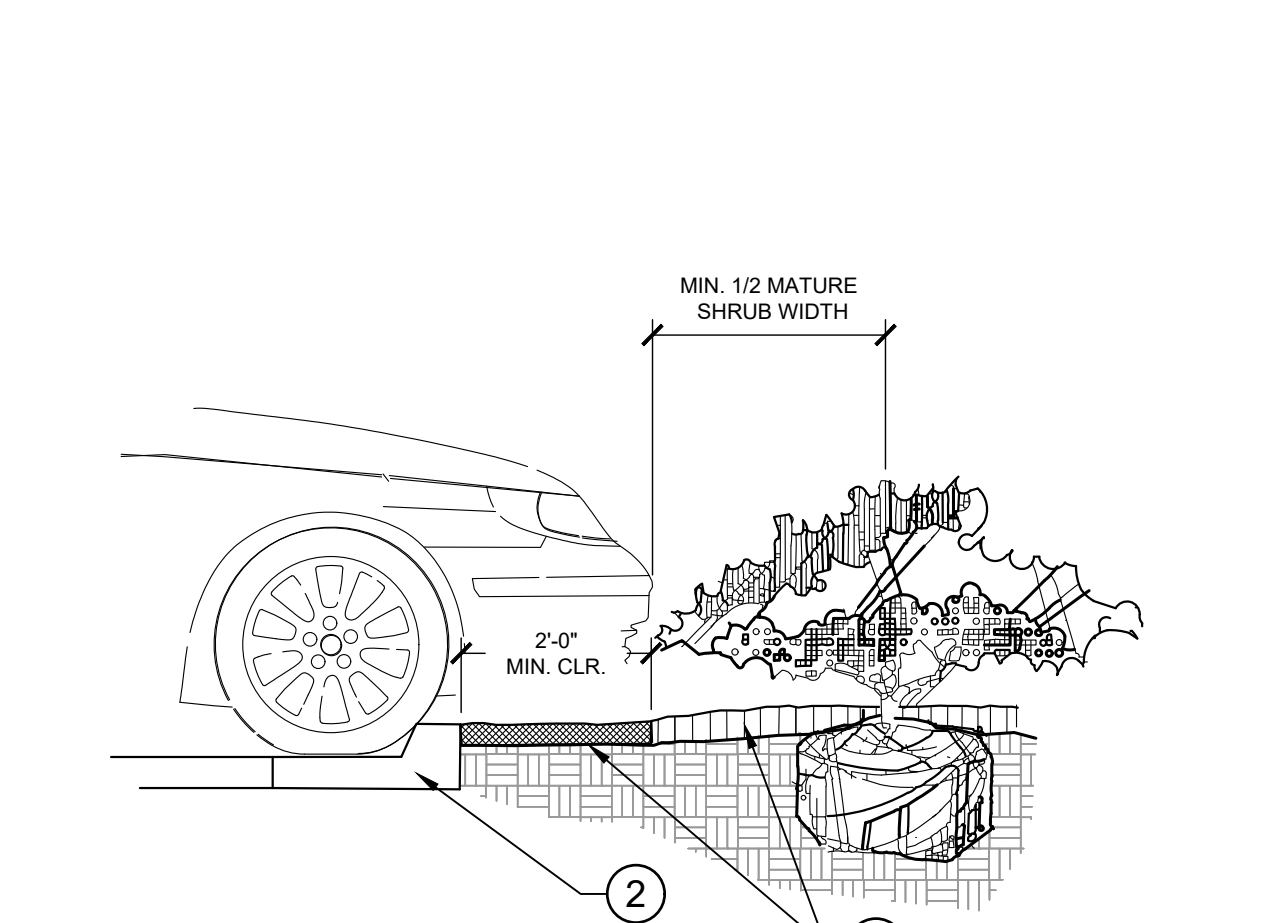
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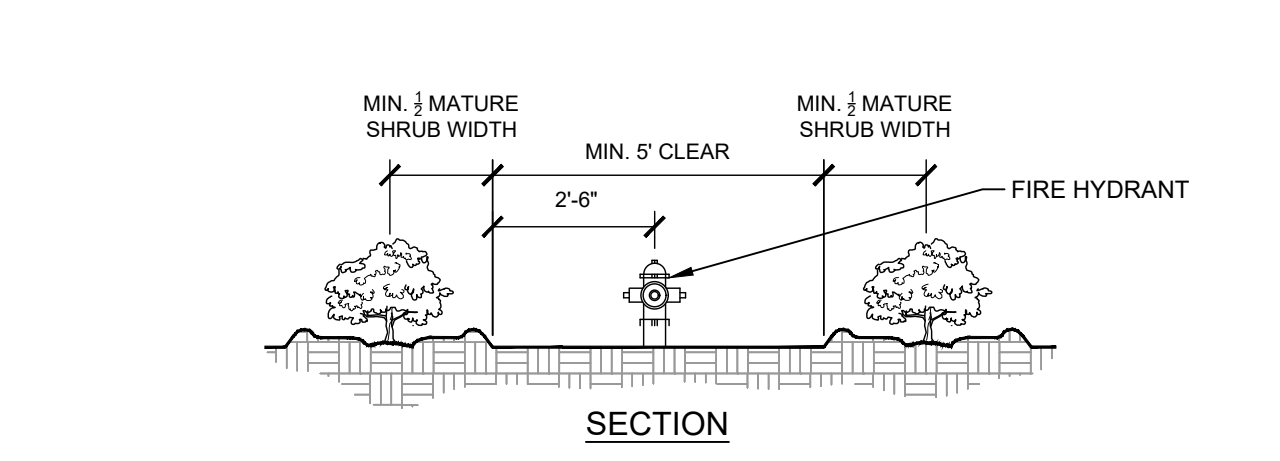
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SECTION / PLAN
NTS



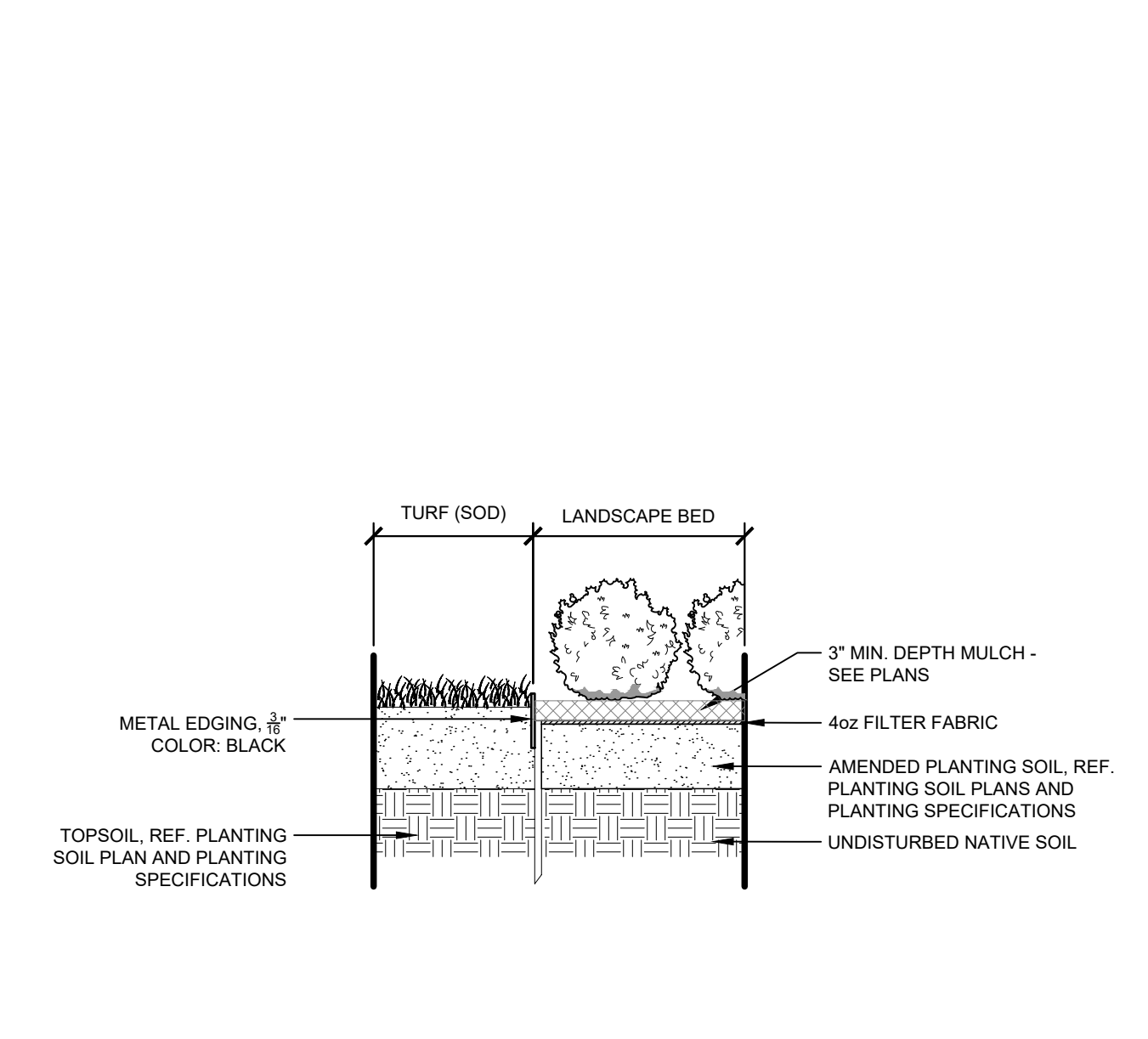
2 PLANTED PARKING LOT ISLANDS/MEDIANS
SECTION
NTS



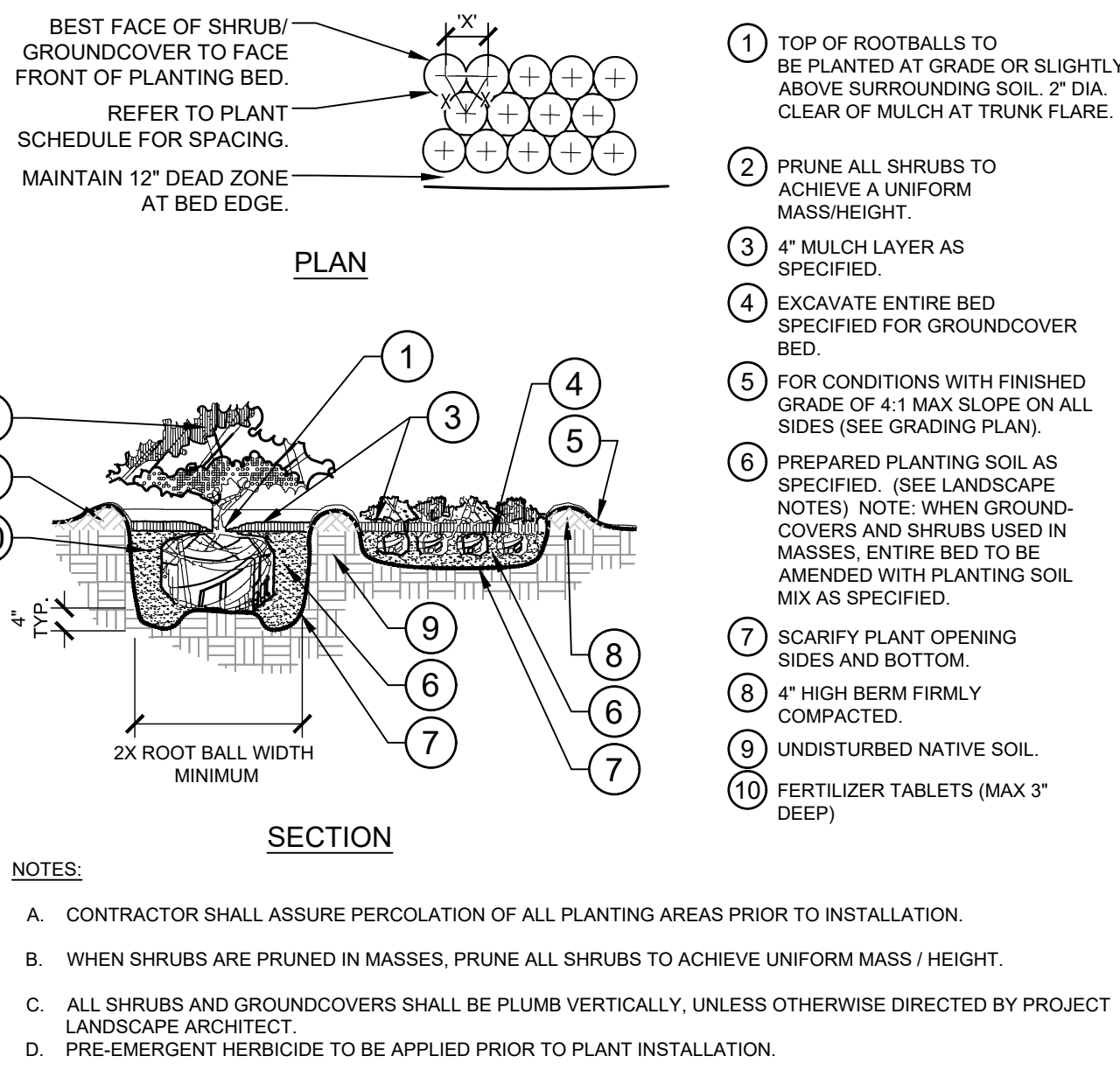
3 PARKING SPACE/CURB PLANTING
SECTION
NTS



4 SHRUB PLANTING AT FIRE HYDRANT
SECTION / PLAN
NTS



5 METAL EDGER AT PLANTING BED
SECTION / PLAN
1" = 1"
096-523-009-21



6 SHRUB/GROUNDCOVER PLANTING
SECTION / PLAN
NTS

PLANT SCHEDULE LANDSCAPE AREA

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	CO	18	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL MIN	10' - 12' HT. MIN.
	GS	18	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	B & B	2" CAL MIN	10' - 12' HT. MIN.
	SD	18	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY	B & B	2" CAL MIN	10' - 12' HT. MIN.
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	JS	17	JUNIPERUS MONOSPERMA	ONESEED JUNIPER	B & B		6' HT MIN
	PN	22	PINUS NIGRA	AUSTRIAN PINE	B & B		6' HT MIN
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	RM	45,464 SF	1-1/2" - 2" RIVER ROCK MULCH	1-1/2" - 2" RIVER ROCK MULCH			
	XA	11,502 SF	APPLEWOOD SEED MIX	DETENTION SEED MIX	SEED		
	XL	22,444 SF	NATIVE SEED MIX SEE DETAILS FOR SEED MIX	NATIVE SEED MIX	SEED		

NATIVE SEED MIX

NATIVE-GRASS SEED MIX SHALL BE 50% / 50% (BY WEIGHT) COMBINATION OF BOUTELOUA GRACILIS 'HACHITA' - BLUE GRAMA, AND BUCHLOE DACTYLOIDES - BUFFALO GRASS, APPLIED AT A RATE OF 100# PLS/AC

CODE TABLE

LANDSCAPE AREA
TOTAL LOT AREA = 39.94 ACRES / 1,739,791 SF

TOTAL GROSS LOT AREA	1,739,791 SF
TOTAL BUILDING AREA (EXISTING TO REMAIN)	103,007 SF
TOTAL BUILDING AREA (PROPOSED)	89,631 SF
NET LOT AREA	1,547,153 SF

TOTAL NET LOT AREA	1,547,153 x 20% =
TOTAL LANDSCAPE REQUIREMENT	= 309,431 SF

EXISTING LANDSCAPE	285,700 SF
PROPOSED LANDSCAPE	79,410 SF
TOTAL LANDSCAPE AREA PROVIDED	365,110 SF (23%)

TOTAL COVERAGE (PROPOSED LANDSCAPE AREA)	79,410 x 75% =
TOTAL COVERAGE REQUIREMENT	= 59,558 SF
TOTAL COVERAGE PROVIDED	= 60,783 (76%)
COVERAGE OF GROUND-LEVEL PLANTS REQ.	= 19,965.5 (25%)
COVERAGE OF GROUND-LEVEL PLANTS PROV.	= 33,946 (42%)

14-6-5-6(F) PARKING LOT LANDSCAPING

258 PROPOSED PARKING STALLS	
1 TREE / FOR EACH 10 PARKING STALLS REQUIRED =	26 TREES
TOTAL TREES PROVIDED	26 TREES

14-6-5-6(D) STREET TREE LANDSCAPING

1,118 LF OF STREET FRONTAGE	
1 TREE / PER 25 LF OF STREET FRONTAGE REQUIRED =	45 TREES
TOTAL TREES PROVIDED	45 TREES

DETENTION SEED MIX

WATER PLANTAIN	ALISMA SUBCORDATUM
SWAMP MILKWEED	ASCLEPIAS INCARNATA
TICKSEED SUNFLOWER	BIDENS ARISTOSA
ALLEGHENY MONKEYFLOWER	MIMULUS RINGENS
DITCH STONECROP	PENTHORUM SEDOIDES
CUTLEAF CONEFLOWER	RUDBECKIA LACINIATA
COMMON ARROWHEAD	SAGITTARIA LATIFOLIA
BLUE VERVAIN	VERBENA HASTATA
AWL-FRUITED SEDGE	CAREX STIPATA
FOX SEDGE	CAREX VULPINOIDEA
VIRGINIA WILDRIE	ELYMUS VIRGINICUS
SPIKE RUSH	ELEOCHARIS SPECIES
SOFT RUSH	JUNCUS EFFUSUS
PATH RUSH	JUNCUS TENUIS
RICE CUT GRASS	LEERSIA ORYZOIDES
SWITCHGRASS	PANICUM VIRGATUM
SOFTSTEM BULRUSH	SCHOENOPLECTUS TABERNAEMONTANI
PRAIRIE CORDGRASS	SPARTINA PECTINATA

NURSE CROPS:
COMMON OATS
ANNUAL RYE

THIS MIX IS COMPOSED OF TENACIOUS SPECIES OF WILDFLOWERS, GRASSES, RUSHES AND SEDGES THAT CAN TOLERATE AREAS THAT ARE INUNDATED PERIODICALLY BY WATER.
PRODUCT CODE: DBWT
PLANTING RATE: 35 LBS./ACRE
*MIXTURE MAY VARY OCCASIONALLY FROM THE INDICATED LISTING, BASED ON AVAILABILITY OF INDIVIDUAL SPECIES.

MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
ADDITIONAL LANDSCAPE ADDITIONS TO NEW LANDSCAPE ISLANDS, NEW LANDSCAPE AROUND BUILDING EXPANSION, ALONG EASTERN AND SOUTHERN PROPERTY LINES

NO.	REVISION	BY	DATE	APPR.

Kimley-Horn
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6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIWS
DATE: 10/3/2023

LEGAL DESCRIPTION:
TRACT A, ATRISCO BUSINESS
PARK, UNIT 1 CONTAINING
39.775 ACRES

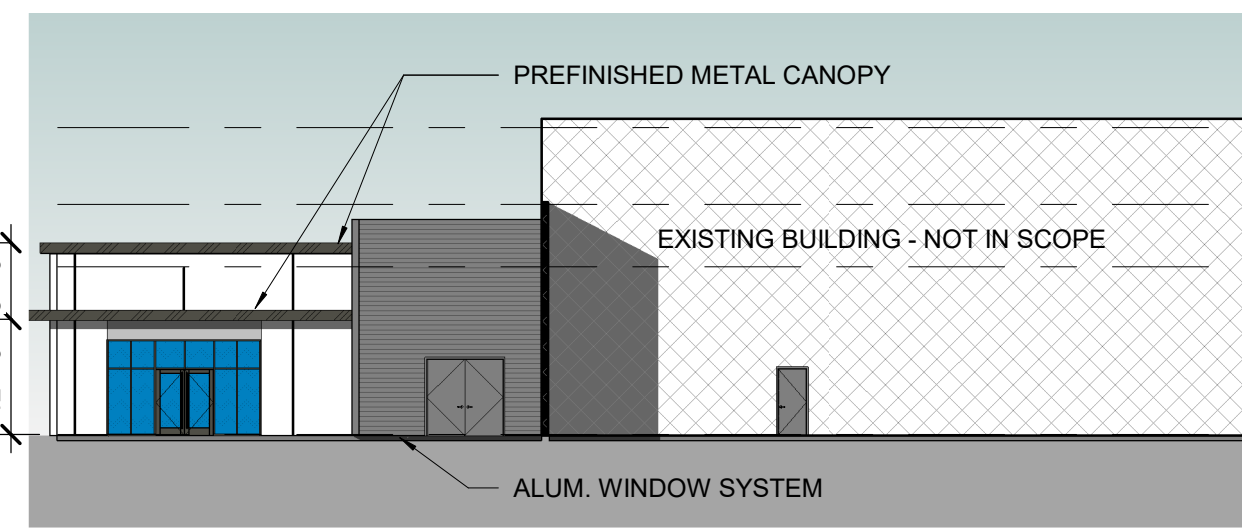
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
LANDSCAPE DETAILS

PRELIMINARY
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NOT FOR
CONSTRUCTION
Kimley-Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096523009

SHEET
12

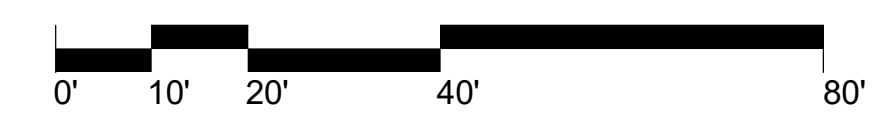
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- PARAPET B
32' - 0"
- CLR HEIGHT
24' - 0"
- PARAPET A
17' - 6"
- LEVEL 01
0"

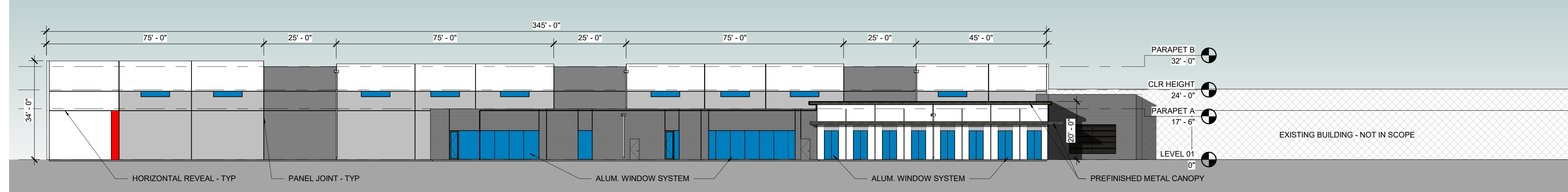
**MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
-93,000 GSF EXPANSION OF EXISTING MANUFACTURING WAREHOUSE.
NEW ELEVATIONS INCLUDED FOR PROPOSED EXPANSION AND ITS
MOUNTED SIGNAGE.**

- PAINTED CONCRETE - FIELD - WHITE
- PAINTED CONCRETE - ACCENT 01 - LIGHT GRAY
- PAINTED CONCRETE - ACCENT 02 - DARK GRAY
- PAINTED CONCRETE - ACCENT 03 - RED
- PAINTED CONCRETE WITH FORMLINER - ACCENT 02 - DARK GRAY
- VISION GLAZING
- PREFINISHED METAL CANOPY/STOREFRONT - DARK BRONZE



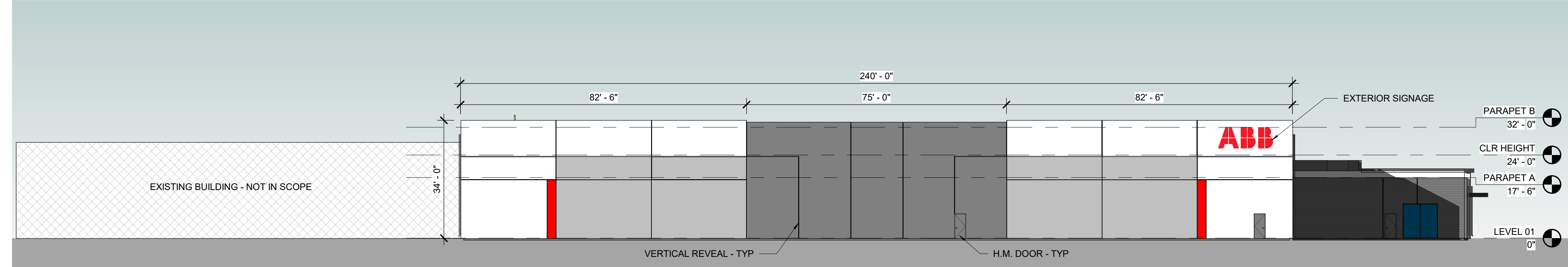
OVERALL ELEVATION - NORTH - SDP

SCALE: 1" = 20'-0"



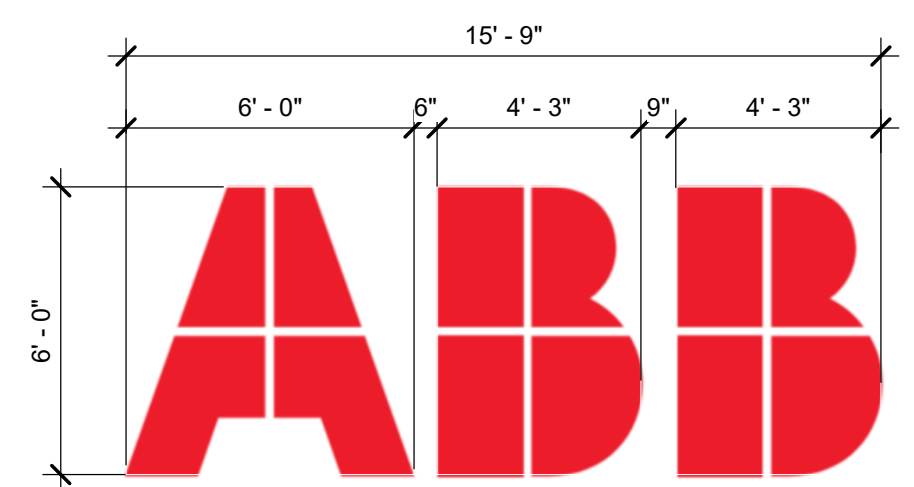
OVERALL ELEVATION - EAST - SDP

SCALE: 1" = 20'-0"



OVERALL ELEVATION - SOUTH - SDP

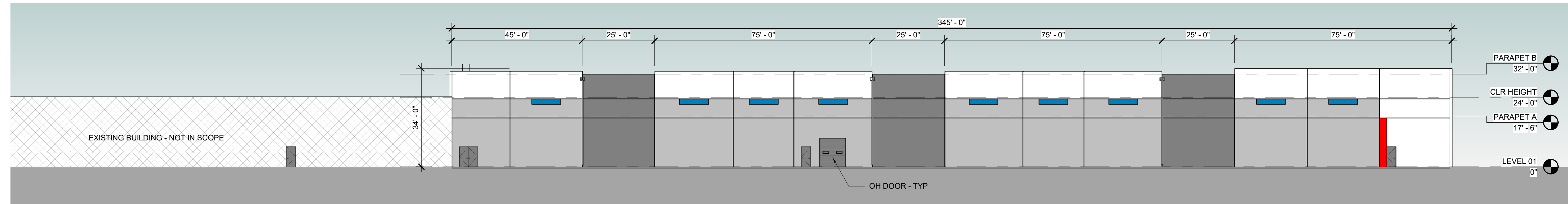
SCALE: 1" = 20'-0"



SIGN NOTES:
SIGN AREA: 66 SF
TYPE: INTERIOR ILLUMINATED WALL MOUNTED BUILDING SIGN
MATERIALS: TRANSLUCENT ACRYLIC LENS WITH EXTRUDED ALUMINUM BACKING/MOUNTING PLATE

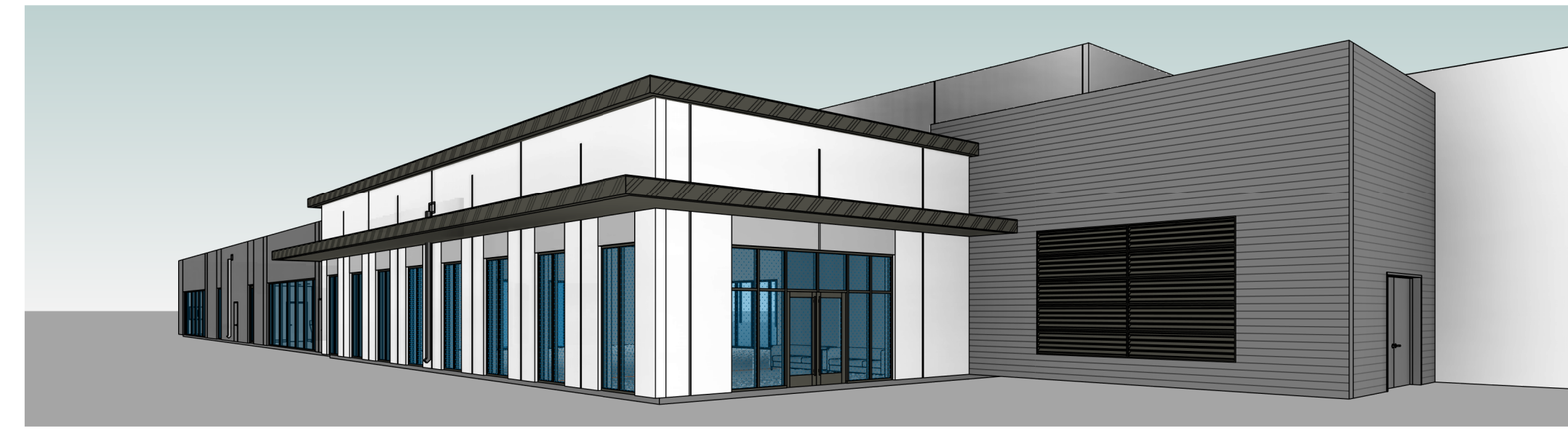
EXTERIOR SIGNAGE - ABB LOGO

SCALE: 1/4" = 1'-0"



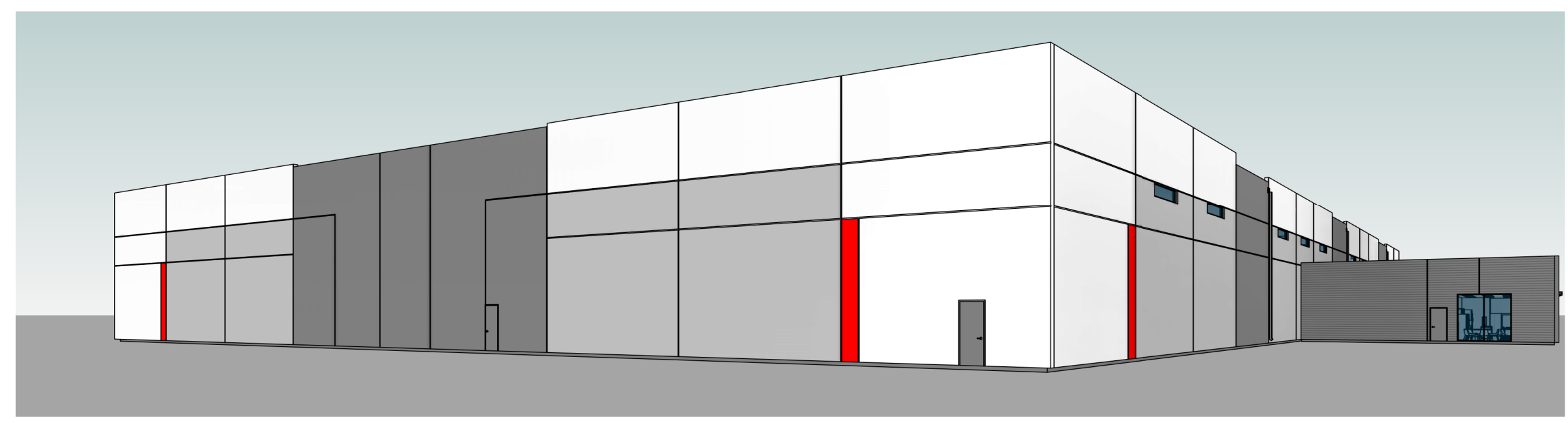
OVERALL ELEVATION - WEST - SDP

SCALE: 1" = 20'-0"



NE PERSPECTIVE

SCALE:



SE PERSPECTIVE

SCALE:

1

Kimley»Horn

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6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MF
DRAWN BY: MF
CHECKED BY: KS
DATE: 09/06/23

LEGAL DESCRIPTION:
TRACT A, TRISCO
BUSINESS PARK UNIT 1
CONTAINING 39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
BUILDING ELEVATIONS

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SHEET
13 OF 13