

FORM S3: ADMINISTRATIVE APPLICATIONS – Development Facilitation Team (DFT) as of 12/25/2022**_ AMENDMENT TO INFRASTRUCTURE LIST**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Amended Infrastructure List
- ___ 6) Original Infrastructure List

_ TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

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- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) A scale drawing showing the location of the deferred sidewalk with appropriate dimensions

_ EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

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- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled

- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the deferral or extension
- ___ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

**_ INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA)
EXTENSION**

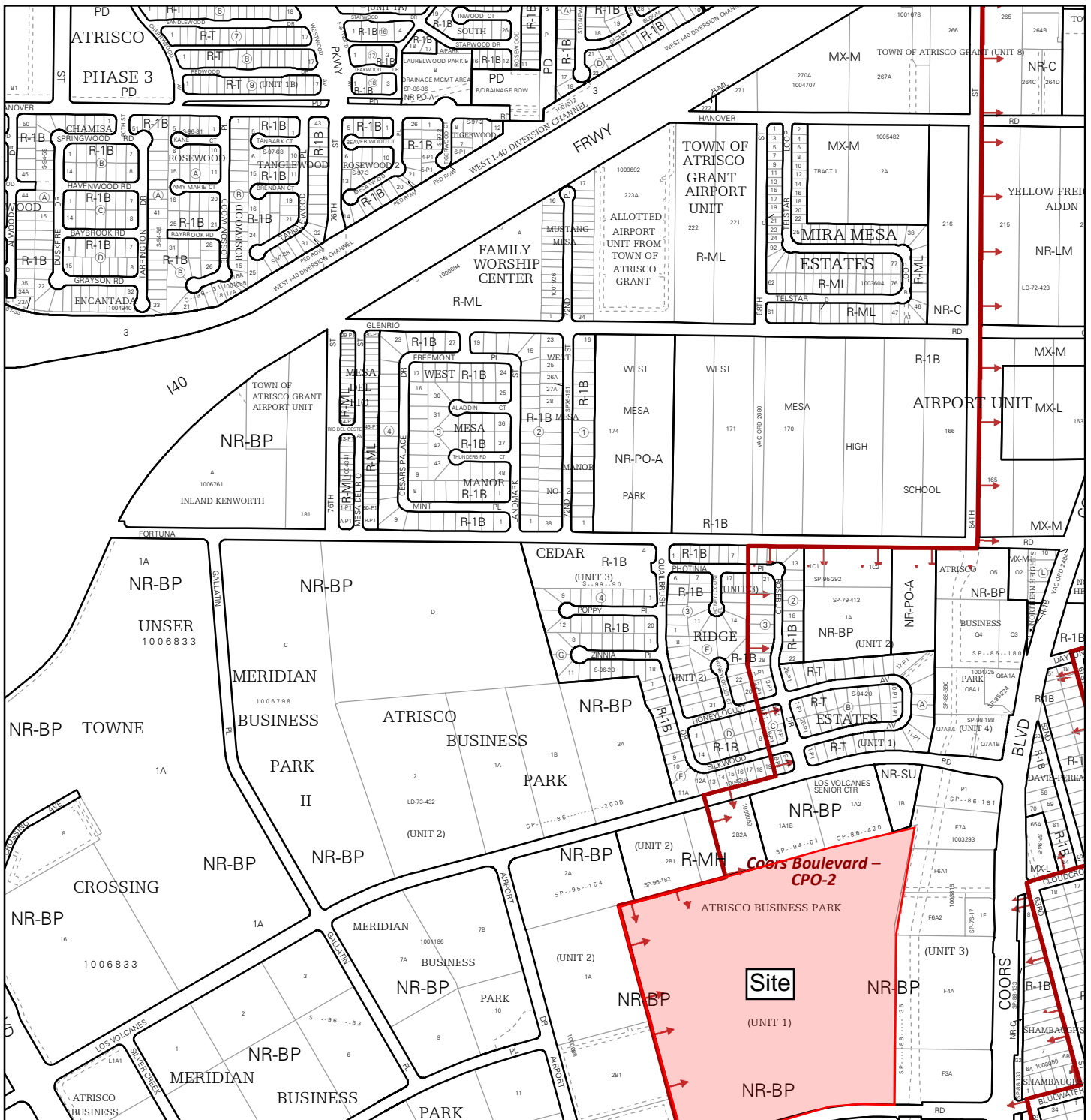
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- ___ 1) DFT Application form completed, signed, and dated
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- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- ___ 6) Preliminary Plat or Site Plan
- ___ 7) Copy of DRB approved Infrastructure List
- ___ 8) Copy of recorded IIA

_ SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT

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- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter describing, explaining, and justifying the request
- ___ 5) Scale drawing of the proposed subdivision plat or Site Plan
- ___ 6) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
J-10-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000 Feet

January 22, 2024

Project Introduction

To whom it may concern,

We are pleased to send this Sketch Plat packet to the DFT for Platting and Public Improvements associated with the project located at 6625 Bluewater Rd NW. The onsite project consists of an approximate 93,000 squarefoot expansion of the existing approximate 92,000 squarefoot light manufacturing facility. Development will include rework of the existing parking lot to accommodate the new building boundaries, expansion of paved parking, two new detention basins to accommodate increase of runoff fro the expansion, new wet/dry utility connects for the buidling. Additional onsite landscaping.

The Project has received approval from the EPC for a Major Amendment to the Governing Site Plan (PR-2023-009209). We have since submitted for Sketch Plan for the formal DFT submission (PR-2023-009833) and through the Transportation submission of the Traffic Impact Study (K10D011), it was requested that offsite improvements be constructed as part of the overall development. The offsite improvements include: lengthing left turn lanes at Unser/Bluewater Intersection (WBL) and Coors Blvd/Bluewater Intersection (EBL), and installation of a right turn lane into the project site on Bluewater Blvd. The right turn lane will require ROW dedication to the City, which triggers the Plat process. The offsite improvements will trigger an IL, IIA, and Public DRC Plans.

We are requesting insight on the Plat Process with the DHO, the IL process, and whether the Plat process can be run separate of the onsite private improvements.

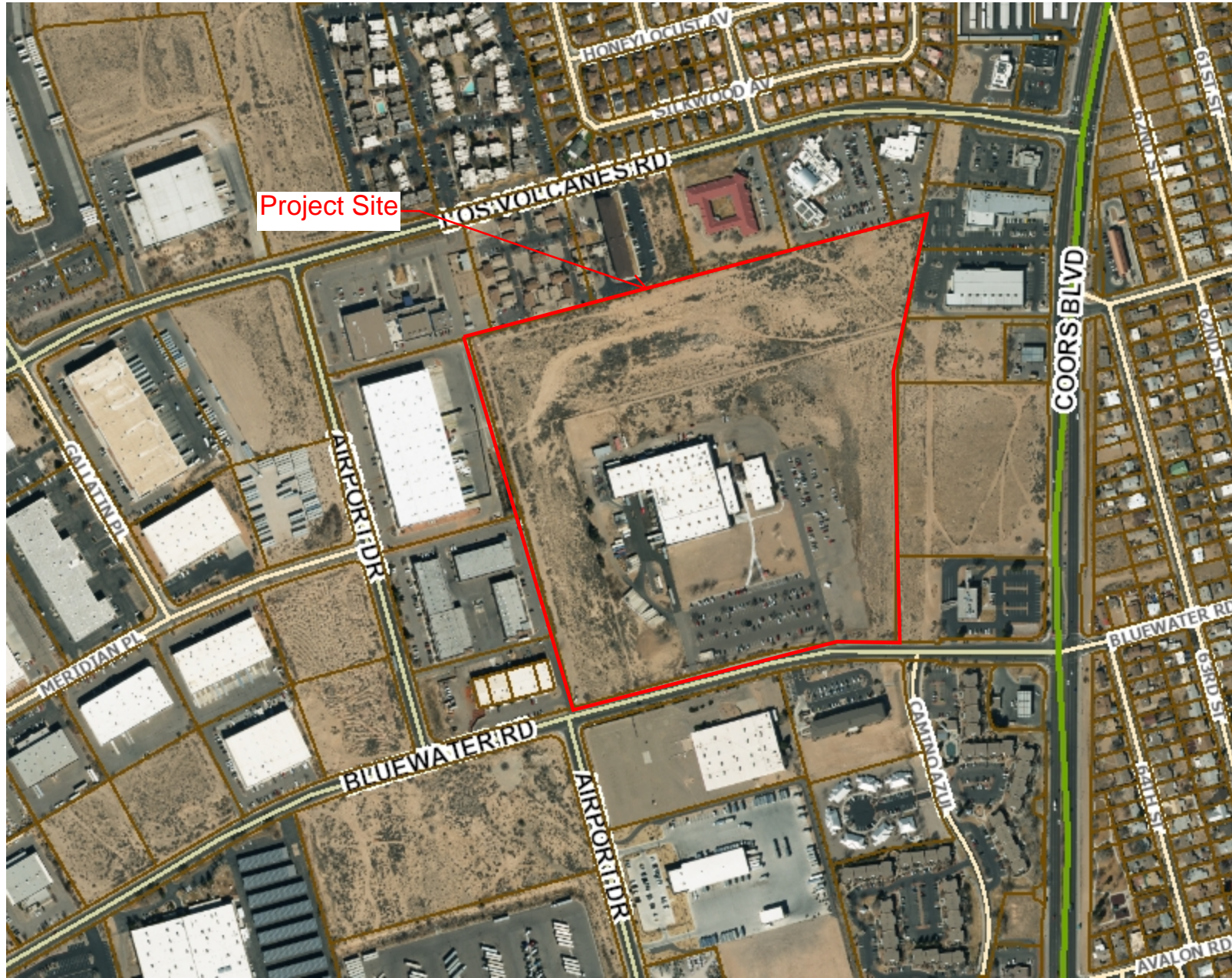
Please reach out to myself at madison.jurewicz@kimley-horn.com or 720-464-2539 for any questions!

Thank you,

Madison Jurewicz
Project Manager
Kimley-Horn and Associates, Inc.



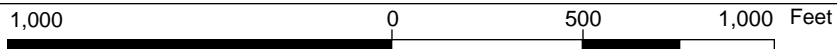
6625 Bluewater Road



Legend

- Bernalillo County Parcels
- Primary Streets**
 - Freeway
 - Principal Arterial
 - Minor Arterial
 - Local Streets
- BN and SF Railroad
- Other Streets
- Municipal Limits**
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED

Notes



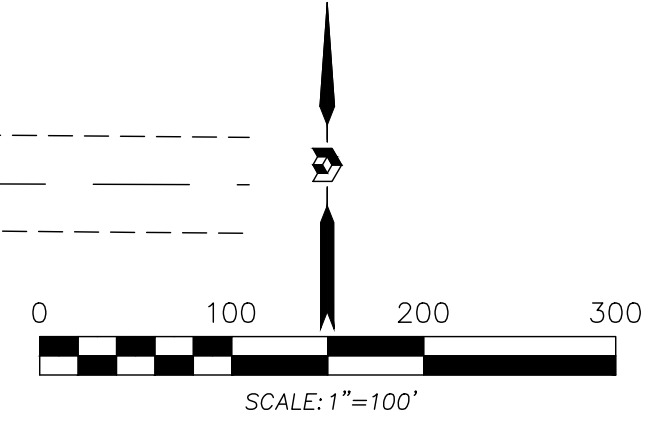
WGS_1984_Web_Mercator_Auxiliary_Sphere
1/22/2024 © City of Albuquerque

1: 6,000

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Plat of
Tract A-1, Unit 1
Atrisco Business Park
 Sections 15 & 22, Township 10 North, Range 2 East, N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 January 2024



Point of Beginning

A.G.R.S. MONUMENT "9_K10"
 STANDARD C.O.A. ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,485,617.623 US SURVEY FEET
 E=1,498,430.817 US SURVEY FEET
 PUBLISHED EL=5117.72 US SURVEY FT (NAVD 1988)
 GROUND TO GRID FACTOR=0.999682230
 DELTA ALPHA ANGLE=-0°16'22.01"

A.G.R.S. MONUMENT "7_K10"
 STANDARD C.O.A. ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,483,379.165 US SURVEY FEET
 E=1,498,962.651 US SURVEY FEET
 PUBLISHED EL=5097.854 US SURVEY FT (NAVD 1988)
 GROUND TO GRID FACTOR=0.999683006
 DELTA ALPHA ANGLE=-0°16'18.14"

Tract A-1
 AREA=39.9655 ACRES±
 1,740,896 SQ. FT.±

Legend

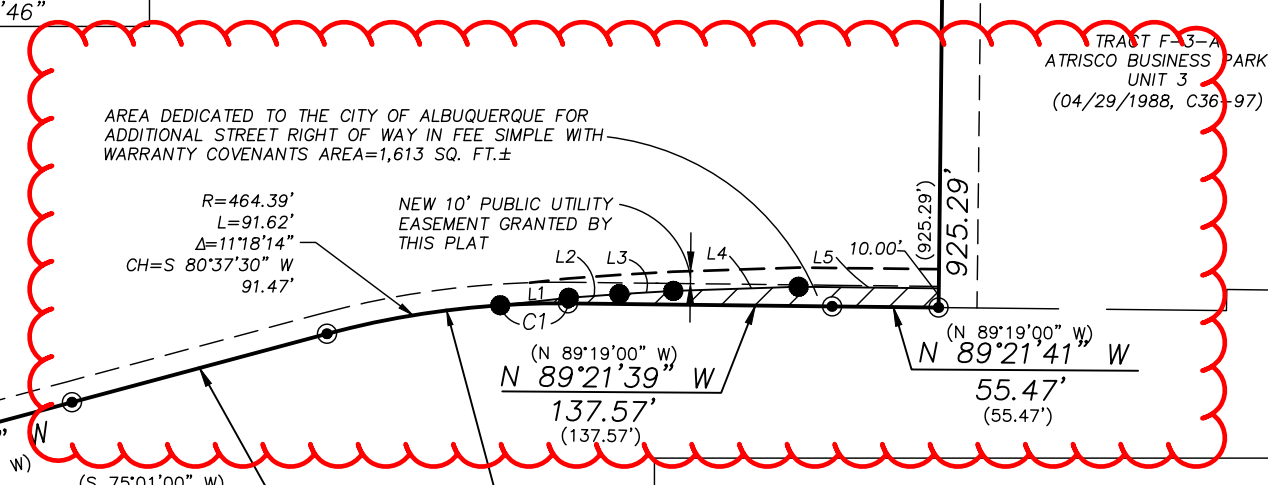
N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	FOUND NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993"
●	DENOTES NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993" SET THIS SURVEY
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Line Table

LINE	BEARING	DISTANCE
L1	N 83°43'55" E	35.89'
L2	N 85°52'53" E	26.42'
L3	N 86°42'05" E	28.20'
L4	N 88°05'23" E	65.29'
L5	S 89°21'40" E	73.06'

Curve Table

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
CT	464.39'	35.36'	35.35'	S 88°27'30" W	4°21'46"



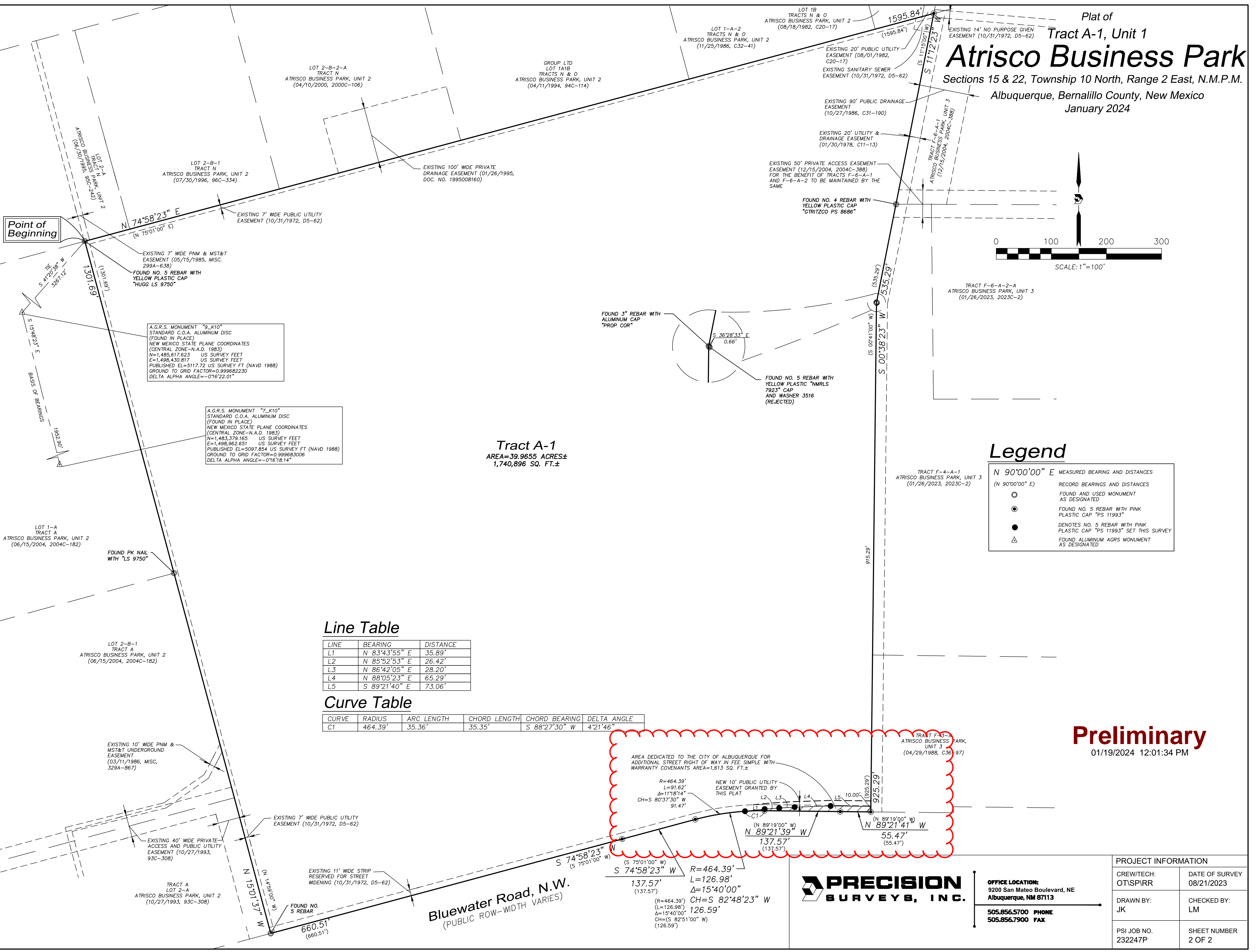
Preliminary
 01/19/2024 12:01:34 PM



OFFICE LOCATION:
 9200 San Mateo Boulevard, NE
 Albuquerque, NM 87113
505.856.5700 PHONE
505.856.7900 FAX

PROJECT INFORMATION	
CREW/TECH: OT/SP/RR	DATE OF SURVEY: 08/21/2023
DRAWN BY: JK	CHECKED BY: LM
PSI JOB NO. 232247P	SHEET NUMBER 2 OF 2

Bluewater Road, N.W.
 (PUBLIC ROW-WIDTH VARIES)



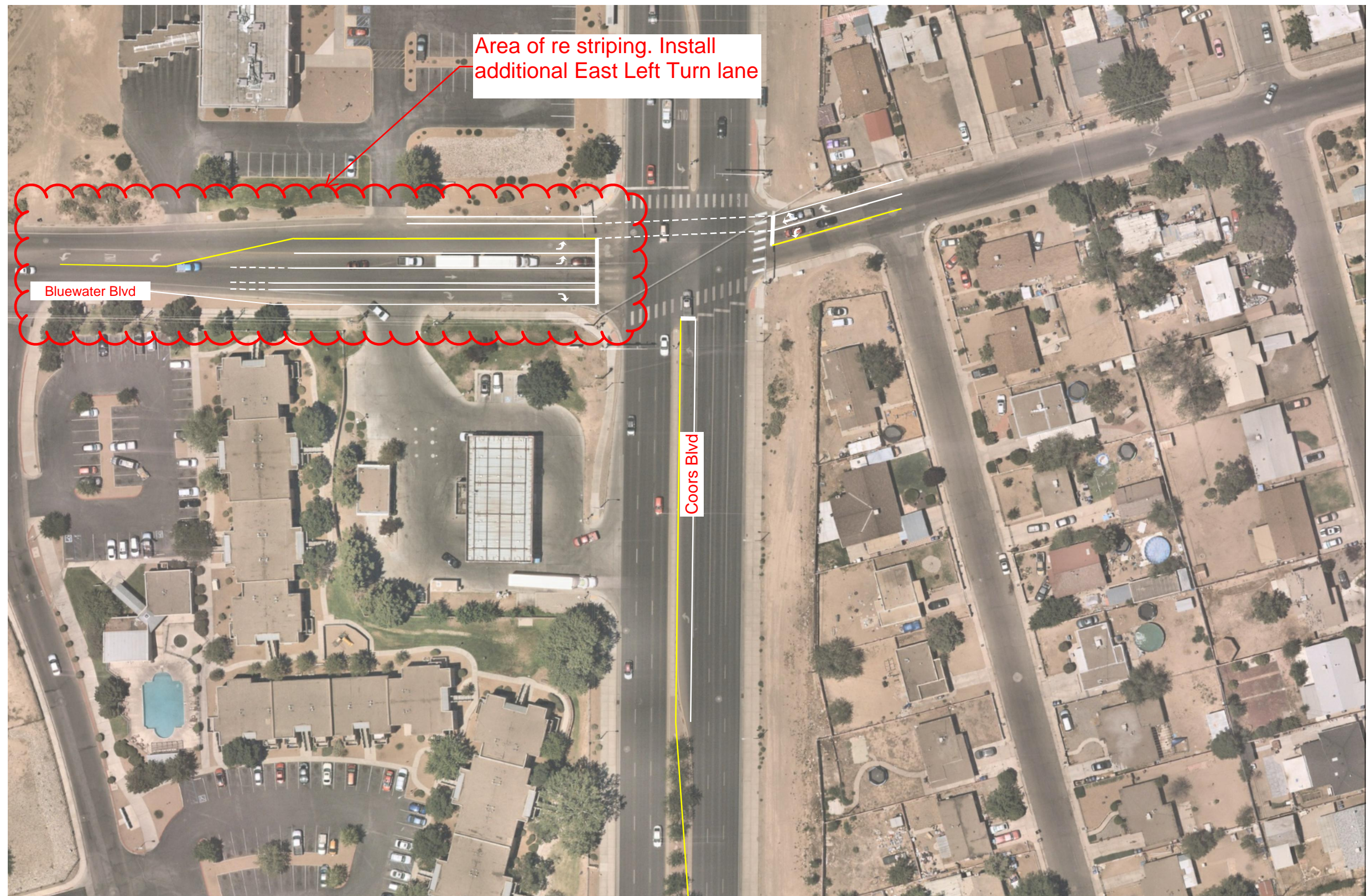


ABB EXPANSION
ALBUQUERQUE, NEW MEXICO
BLUEWATER RD & COORS BLVD PROPOSED STRIPING



ABB EXPANSION
ALBUQUERQUE, NEW MEXICO
UNSER RD & COORS BLVD PROPOSED STRIPING