



DEVELOPMENT HEARING OFFICER (DHO) APPLICATIONS

Effective 11/16/2023

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application. Please note that these applications are not reviewed in a public meeting.

SUBDIVISIONS	MISCELLANEOUS APPLICATIONS
<input type="checkbox"/> Major – Preliminary Plat (Forms PLT & S1)	<input type="checkbox"/> Sidewalk Waiver (Form V2)
<input type="checkbox"/> Major – Bulk Land Plat (Forms PLT & S1)	<input type="checkbox"/> Waiver to IDO (Form V2)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Waiver to DPM (Form V2)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms PLT & S2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor - Final Plat (Forms PLT & S2)	<input type="checkbox"/> Vacation of Public Easement(s) DHO (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms PLT & S2)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
	APPEAL
	<input type="checkbox"/> Decision of DHO (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION

Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

--

I certify that t

Signature:

Printed Nam

d notice was complete, true, and accurate to the extent of my knowledge.

Date:

☐ Applicant or ☐ Agent

PLAT DOCUMENTATION

FORM S1: SUBDIVISION OF LAND – MAJOR

Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.

_ MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL**_ MAJOR AMENDMENT TO PRELIMINARY PLAT****_ BULK LAND SUBDIVISION**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

PLAT DOCUMENTATION

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form S1 with all the submittal items checked/marked
- ___ 3) Form PLT with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Preliminary Plat including the Grading and Drainage Plan with the surveyor's, property owner's, and City Surveyor's signatures on the Plat. If submitting a Bulk Land Plat, the Plat must also include utility and AMAFCA signatures
- ___ 6) Sidewalk Exhibit and/or cross sections of proposed streets
- ___ 7) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use
- ___ 8) Infrastructure List, if required for building of public infrastructure
- ___ 9) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
(The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf

SUPPORTIVE DOCUMENTATION

- ___ 10) Letter of authorization from the property owner if application is submitted by an agent
- ___ 11) Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(L)(3)
- ___ 12) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
(not required for Extension)

- ____ 13) Proof of Sketch Plat per IDO Section 14-16-6-6(L)(2)(b) **Sketch Plat (PS-2023-00211 & PS-2024-00114)**
- ____ 14) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

PUBLIC NOTICE DOCUMENTATION

- ____ 15) Sign Posting Agreement
- ____ 16) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
- ____ Office of Neighborhood Coordination notice inquiry response
No Neighborhood Associations to notify per ONC
- ____ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by the Planning Department
- ____ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
- ____ Proof of emailed notice to affected Neighborhood Association representatives
- ____ Proof of first class mailing to affected Neighborhood Association representatives and property owners within 100 feet **Proof of mailing to property owners included in application.**
- ____ 17) Interpreter Needed for Hearing? ____ if yes, indicate language: ____

_ EXTENSION OF PRELIMINARY PLAT

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ____ 1) DHO Application form completed, signed, and dated
- ____ 2) Form S1 with all the submittal items checked/marked
- ____ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ____ 4) Preliminary Plat
- ____ 5) Copy of DRB approved infrastructure list
- ____ 6) Letter of authorization from the property owner if application is submitted by an agent
- ____ 7) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- ____ 8) Interpreter Needed for Hearing? ____ if yes, indicate language: ____

Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.

Legal/Request Descriptions & Location: TR 1 (W'LY PORT) SUMMARY PLAT 68.75 ACRE TR & 66.15 ACRE TR
UPC: 101006410022530110 PARADISE HILLS (EXCL PORTS OUT TO R/W) CONT 18.9341 AC

JLM Paseo - Unser and Ave. De Jaimito

☐ **Hydrology:**

• Sensitive Lands Analysis (5-2(C))	_____ Approved	<u>X</u> NA
• Grading and Drainage Plan	<u>X</u> Approved	_____ NA
• AMAFCA	_____ Approved	<u>X</u> NA
• Bernalillo County	_____ Approved	<u>X</u> NA
• NMDOT	_____ Approved	<u>X</u> NA
• MRGCD	_____ Approved	<u>X</u> NA


Hydrology Department

10/3/2024
Date

☐ **Transportation:**

• Traffic Circulations Layout (TCL)	<u>X</u> Approved	_____ NA
• Traffic Impact Study (TIS)	_____ Approved	<u>X</u> NA
• Neighborhood Impact Analysis (NIA)	_____ Approved	<u>X</u> NA
• Bernalillo County	_____ Approved	<u>X</u> NA
• NMDOT	_____ Approved	<u>X</u> NA


Transportation Department

10/2/2024
Date

☐ **Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

• Availability Statement:	_____ Approved	_____ NA
• Development Agreement:	_____ Approved	_____ NA
• If None Explain:	_____	


ABCWUA

9/11/2024
Date

☐ Infrastructure Improvements Agreement (IIA*) _____ Approved
☐ AGIS (DXF File**) _____ Approved

☐ **Signatures on Plat:**

• Owner(s)	_____ Yes	
• City Surveyor	_____ Yes	
• AMAFCA***	_____ Yes	_____ NA
• NM Gas***	_____ Yes	
• PNM ***	_____ Yes	
• COMCAST***	_____ Yes	
• MRGCD***	_____ Yes	_____ NA

* Prior to **Final Plat** submittals (include a copy of the recorded IIA)

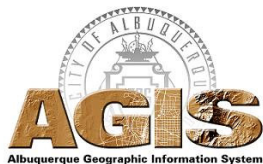
** DXF file required for **Preliminary/Final Plat** and **Final Plat** approval submittals and not required for **Preliminary Plat** application

*** Signatures required for **Preliminary/Final Plat** and **Final Plat** applications and not required for **Preliminary Plat** application

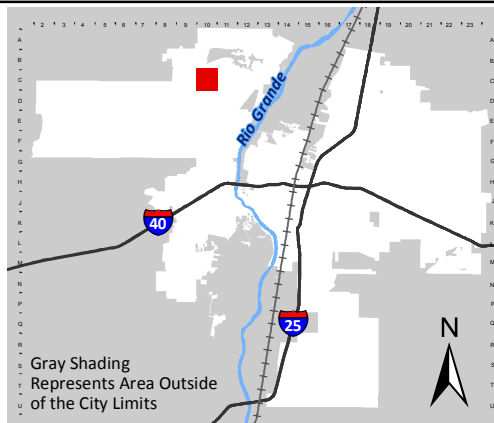


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

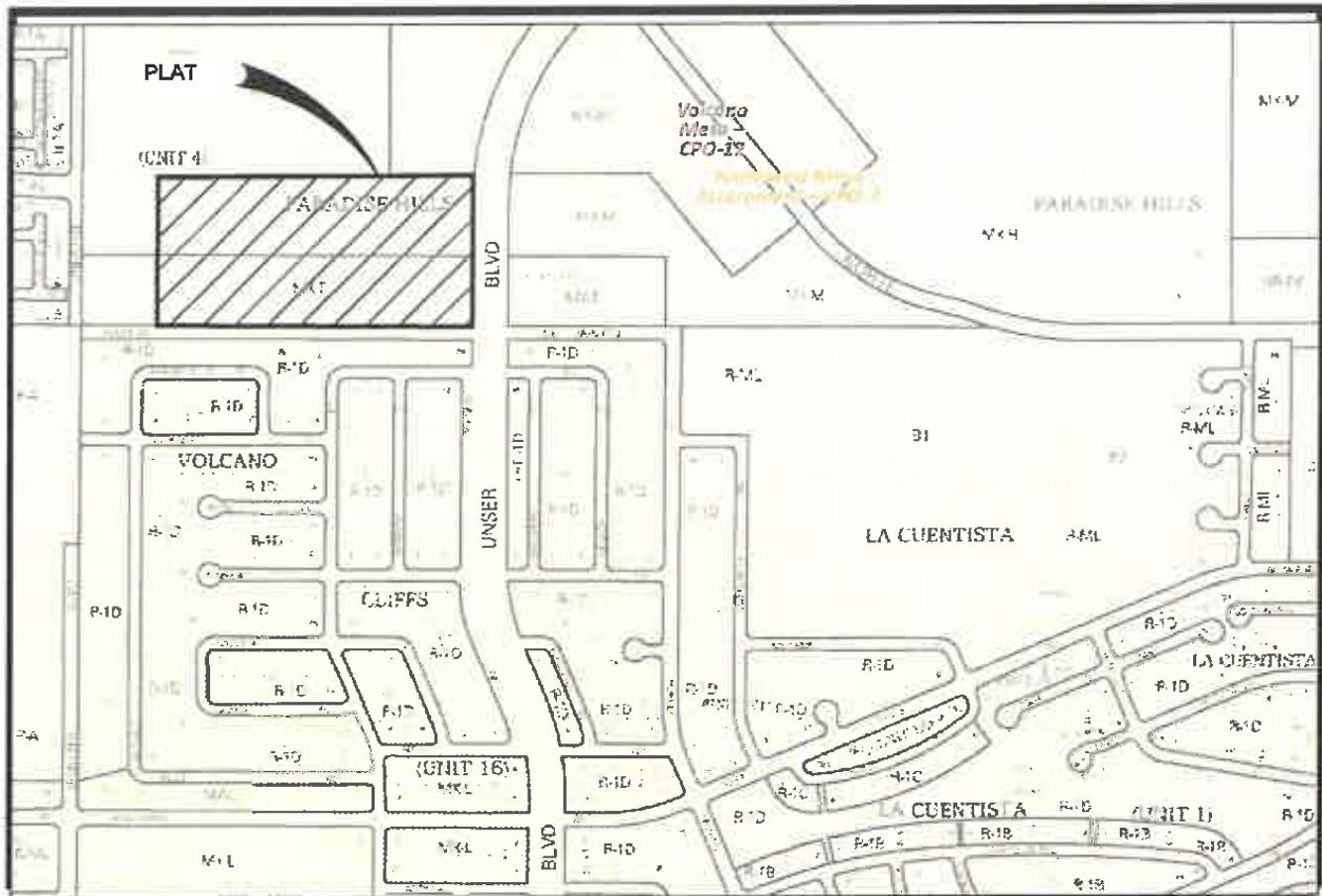


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
C-10-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- 0 250 500 1,000 Feet



SUBDIVISION DATA

- DHO NO.: PR-2024-XXXX
- ZONE ATLAS NO. C-10-Z
- NUMBER OF TRACTS CREATED: 1
- GROSS ACREAGE: 19.7278
- DATE OF SURVEY: SEPT., 2023
- ZONED A-1

PURPOSE OF PLAT

TO UPDATE WESTERLY PORTION OF TRACT 1 PARADISE HILLS, WITHIN THE TOWN OF ALAMEDA GRANT, TOWNSHIP 11 NORTH, RANGE 2 EAST, SECTION 15.

LEGAL DESCRIPTION

A CERTAIN PARCEL OF LAND SITUATED WITHIN THE TOWN OF ALAMEDA GRANT, TOWNSHIP 11 NORTH, RANGE 2 EAST, PROJECTED SECTION 15, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS THE FOLLOWING:

BEGINNING AT THE SOUTH-WEST CORNER OF SAID PARCEL DESCRIBED HEREIN WHERE A NUMBER FIVE REBAR WITH A PLASTIC CAP STAMPED "LS 11808" WAS FOUND, WHENCE A FOUND 3 INCH USGLO SURVEY CONTROL BRASS DISC STAMPED "TA, S16, S15 1911" BEARS N 80°37'08" W, A DISTANCE OF 334.29 FEET;

THENCE, N 00° 16' 19" E, A, A DISTANCE OF 646.10 FEET ALONG THE WESTERLY LINE OF TRACT 1, TO THE NORTHWEST CORNER OF SAID PARCEL;

THENCE, S 89° 42' 21" E, A DISTANCE OF 140.15 FEET ALONG THE NORTHERLY LINE TO AN ANGLE POINT;

THENCE, S 85° 33' 41" E, A DISTANCE OF 62.27 FEET CONTINUING ALONG THE NORTHERLY LINE TO AN ANGLE POINT;

THENCE, S 89° 42' 21" E, A DISTANCE OF 318.01 FEET CONTINUING ALONG THE NORTHERLY LINE TO AN ANGLE POINT;

THENCE, N 00° 17' 39" E, A DISTANCE OF 4.50 FEET TO AN ANGLE POINT;

THENCE, S 89° 42' 21" E, A DISTANCE OF 801.32 FEET ALONG THE NORTHERLY LINE TO THE NORTHEAST CORNER OF SAID PARCEL;

THENCE, S 05° 21' 26" E, A DISTANCE OF 131.16 FEET ALONG THE EASTERLY LINE OF SAID PARCEL CONTIGUOUS WITH THE WESTERLY RIGHT OF WAY AND ACCESS LINE OF UNSER BOULEVARD, NEW MEXICO PROJECT NUMBER A300304, TO AN ANGLE POINT;

THENCE, S 00° 03' 55" W, A DISTANCE OF 442.54 FEET CONTINUING ALONG SAID EASTERLY LINE TO AN ANGLE POINT;

THENCE, S 07° 51' 04" W, A DISTANCE OF 72.85 FEET CONTINUING ALONG SAID EASTERLY LINE TO THE SOUTHEAST CORNER OF SAID PARCEL;

THENCE N 89° 44' 29" W, A DISTANCE OF 1326.43 FEET ALONG THE SOUTHERLY LINE OF SID PARCEL TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 859,344 SQUARE FEET, OR 19.7278 ACRES, MORE OR LESS.

FREE CONSENT AND DEDICATION

THE PLAT SHOWN HEREON IS MADE WITH FREE CONSENT AND IN ACCORDANCE OF THE DESIRES OF THE UNDERSIGNED OWNER(S). THE EXECUTION OF THIS PLAT IS THEIR FREE ACT AND DEED, THOSE SIGNING AS OWNER(S) WARRANT THAT THEY HOLD AMONG THEM, COMPLETE INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SHOWN ON THIS PLAT. OWNER(S) HEREBY AFFIRM THAT THE DESCRIBED PROPERTY SHOWN ON THIS PLAT LIES WITHIN THE PLATTING AND SUBDIVISION JURISDICTION OF BERNALILLO COUNTY, NEW MEXICO. SAID OWNER(S) HEREBY GRANT ALL EASEMENTS AS MAY BE SHOWN ON THE PLAT. PARCEL IS HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS.

OWNER: Bedrock Partners, LLC
BY: Bedrock Edward Management, LLC

NAME: John Edward

TITLE: Manager

STATE OF NEW MEXICO)

COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 5 DAY OF Nov, 2024.

BY [Signature]

MY COMMISSION EXPIRES: July 19, 2024

STATE OF NEW MEXICO
NOTARY PUBLIC
ANDREA KIDD
COMMISSION # 1033227
EXPIRES JULY 19, 2025

GRADING AND DRAINAGE NOTES

- THIS PROPERTY IS SUBJECT TO BERNALILLO COUNTY CODE CHAPTER 38 FLOODS. A GRADING AND DRAINAGE PLAN PREPARED BY A NEW MEXICO REGISTERED ENGINEER MAY BE REQUIRED WITH FUTURE DEVELOPMENT OF THESE LOTS.
- CROSS LOT DRAINAGE MUST NOT BE INCREASED OR IMPACTED BY DEVELOPMENT OF THESE LOTS, UNLESS APPROVED BY A GRADING AND DRAINAGE PLAN.
- LOTS MUST ACCEPT HISTORICAL STORMWATER RUNOFF FROM ADJACENT ROADWAYS AND PROPERTIES, UNLESS APPROVED BY A GRADING AND DRAINAGE PLAN.
- NO MASS SITE GRADING, CLEARING, OR GRUBBING IS ALLOWED WITHOUT AN APPROVED GRADING AND DRAINAGE PLAN.
- THE UNDERSIGNED REGISTERED PROFESSIONAL SURVEYOR HEREBY CERTIFIES THAT THERE ARE NO ARROYOS, WATERCOURSES, OR STORM DRAINAGE FACILITIES, AS DEFINED BY CHAPTER 38 OF THE BERNALILLO COUNTY CODE, TRAVERSING, CROSSING, OR ABUTTING THE PROPERTY SHOWN HEREON.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED SHALL EXTEND TEN(10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE(5) FEET ON EACH SIDE.

DISCLAIMER
IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), NEW MEXICO GAS COMPANY(NMGC) AND QWEST CORPORATION D/B/A CENTURYLINK(QWEST) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, NMGC AND QWEST DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT WHICH ARE NOT SHOWN ON THIS PLAT.

SOLAR COLLECTION NOTE

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

FLOOD NOTES

BASED ON SCALING, A PORTION OF THIS PROPERTY LIES WITHIN FLOOD ZONE X, WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0111G, DATED 9/26/2008.

M.R.G.C.D. NOTE

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT THE PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

**A REPLAT OF
THE WESTERLY PORTION OF TRACT 1
SUMMARY PLAT, 68.75 ACRE TRACT
& 66.15 ACRE TRACT
PARADISE HILLS, TOWN OF ALAMEDA GRANT,
CITY OF ALBUQUERQUE, BERNALILLO COUNTY,
NEW MEXICO**

PLAT APPROVALS

Case Number: PR-2024-0xxxxx

PNM ELECTRIC SERVICES

Date

QWESTCORP. D/B/A CENTURYLINK QC

Date

NEW MEXICO GAS COMPANY

Date

COMCAST

Date

CITY APPROVALS

Loren N. Risenhoover P.S.

10/22/2024

CITY SURVEYOR

Date

TRAFFIC ENGINEER

Date

ABCWUA

Date

PARKS AND RECREATION DEPARTMENT

Date

CODE ENFORCEMENT

Date

AMAFCA

Date

CITY ENGINEER

Date

DRB CHAIRPERSON, PLANNING DEPARTMENT

Date

MRGCD

Date

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC#

PROPERTY OWNER OF RECORD: Bedrock Partners, LLC

BERNALILLO COUNTY TREASURER'S OFFICE

Date

PLAT & DEED REFERENCES:

- DOCUMENT #1981044002
WESTERLY PORTION OF TRACT 1 SUMMARY PLAT FILED 08/17/1981BK, C18, PG.157
- FUTURE RAW ACQUISITION NMDOT RAW MAP CN A300304
- RAW DEDICATION DOC. #2011032137 FILED 04/04/2011
- PLAT OF TRACTS 1A, 1B AND 3A, THE TRAILS UNIT4, BOOK 2021C, PAGE 073
- CRUZ, JOE M. DOC. #2022004581, FILED 1/19/2022
- RANSOM, RICHARD E. TRUSTEES, PARCEL 15-55, DOC. #2002109159
BOOK A40, PAGE 8842, FILED 8/29/2002

SURVEYOR'S CERTIFICATION

DARREN LEVEILLE, NEW MEXICO PROFESSIONAL SURVEYOR NO. 27277, DO HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

DARREN LEVEILLE PS NO.27277 DATE 07/26/2024

CobbFendley

3820 Academy Parkway North N.E.
Albuquerque, New Mexico 87109

505.508.0786 | fax 505.508.0837 | www.cobbfendley.com

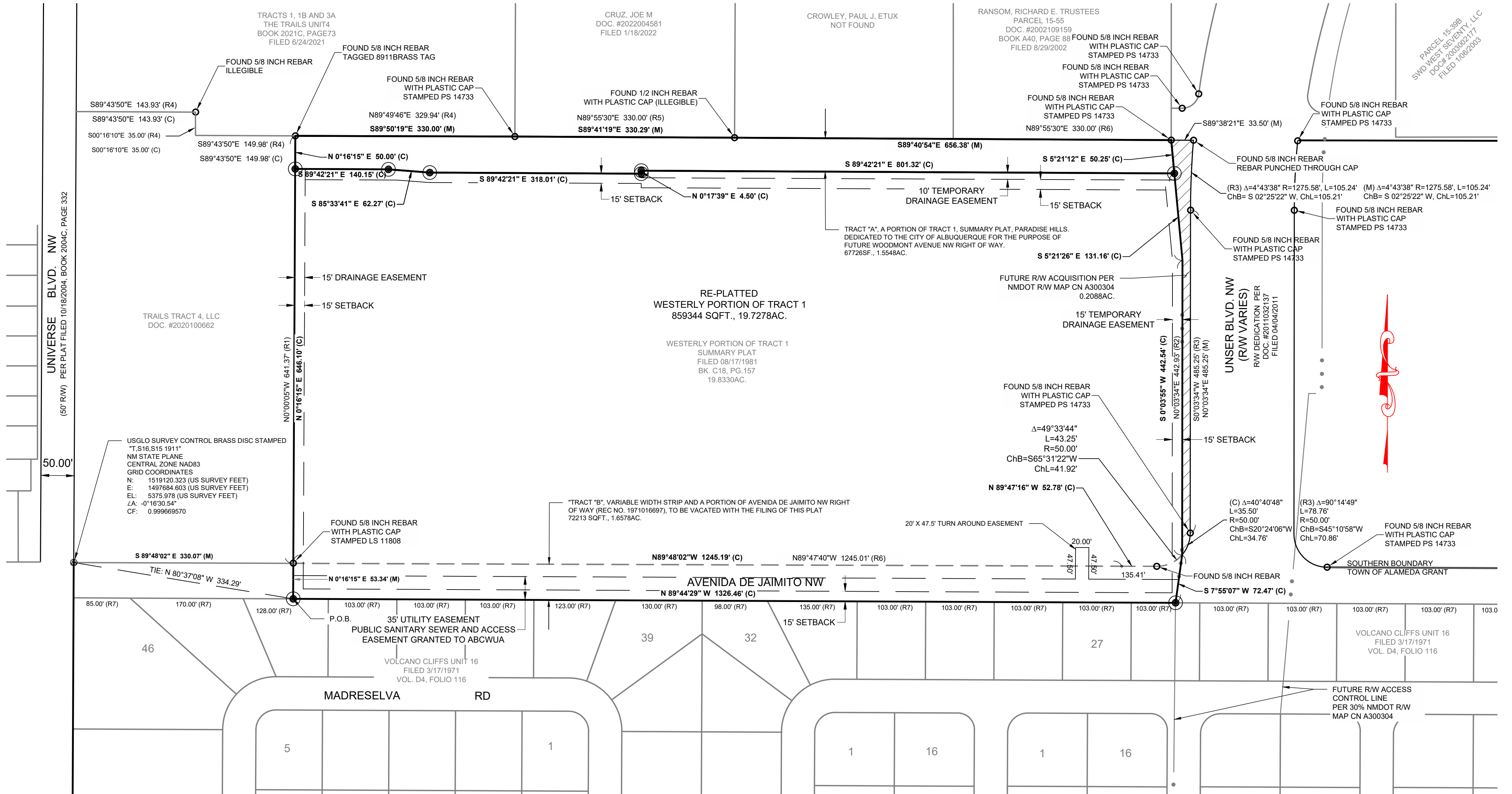
LEGEND

- FOUND PROPERTY CORNER (AS NOTED)
- SET 5/8" REBAR & PLASTIC CAP MARKED LS27277
- CALCULATED POINT (NOT SET)
- LOT LINES AFFECTED BY THIS PLATTING ACTION
- EXISTING UTILITY EASEMENT
- ADJACENT LOT LINES
- EXISTING R.O.W.
- FUTURE ACCESS CONTROL LINE
- LOT LINE ELIMINATED BY THE FILING OF THIS PLAT

(R1) = DOCUMENT #1981044002
WESTERLY PORTION OF TRACT 1 SUMMARY PLAT FILED 08/17/1981BK. C18, PG.157
(R2) = FUTURE R/W ACQUISITION NMDOT R/W MAP CN A300304
(R3) = R/W DEDICATION DOC. #2011032137 FILED 04/04/2011
(R4) = PLAT OF TRACTS 1A, 1B AND 3A, THE TRAILS UNIT4, BOOK 2021C, PAGE 073
(R5) = CRUZ, JOE M, DOC. #2022004581, FILED 1/18/2022
(R6) = RANSOM, RICHARD E. TRUSTEES, PARCEL 15-55, DOC. #2002109159
BOOK A40, PAGE 8842, FILED 8/29/2002
(R7) = VOLCANO CLIFFS UNIT 16, FILED 3/17/1971, BOOK D4, FOLIO 116

(M) = MEASURED BEARINGS AND DISTANCES
(C) = INDICATED CALCULATED BEARING OR DISTANCE

A REPLAT OF
THE WESTERLY PORTION OF TRACT 1
SUMMARY PLAT, 68.75 ACRE TRACT
& 66.15 ACRE TRACT
PARADISE HILLS, TOWN OF ALAMEDA GRANT,
CITY OF ALBUQUERQUE, BERNALILLO COUNTY,
NEW MEXICO

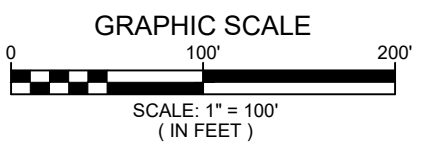


3820 Academy Parkway North N.E.
Albuquerque, New Mexico 87109

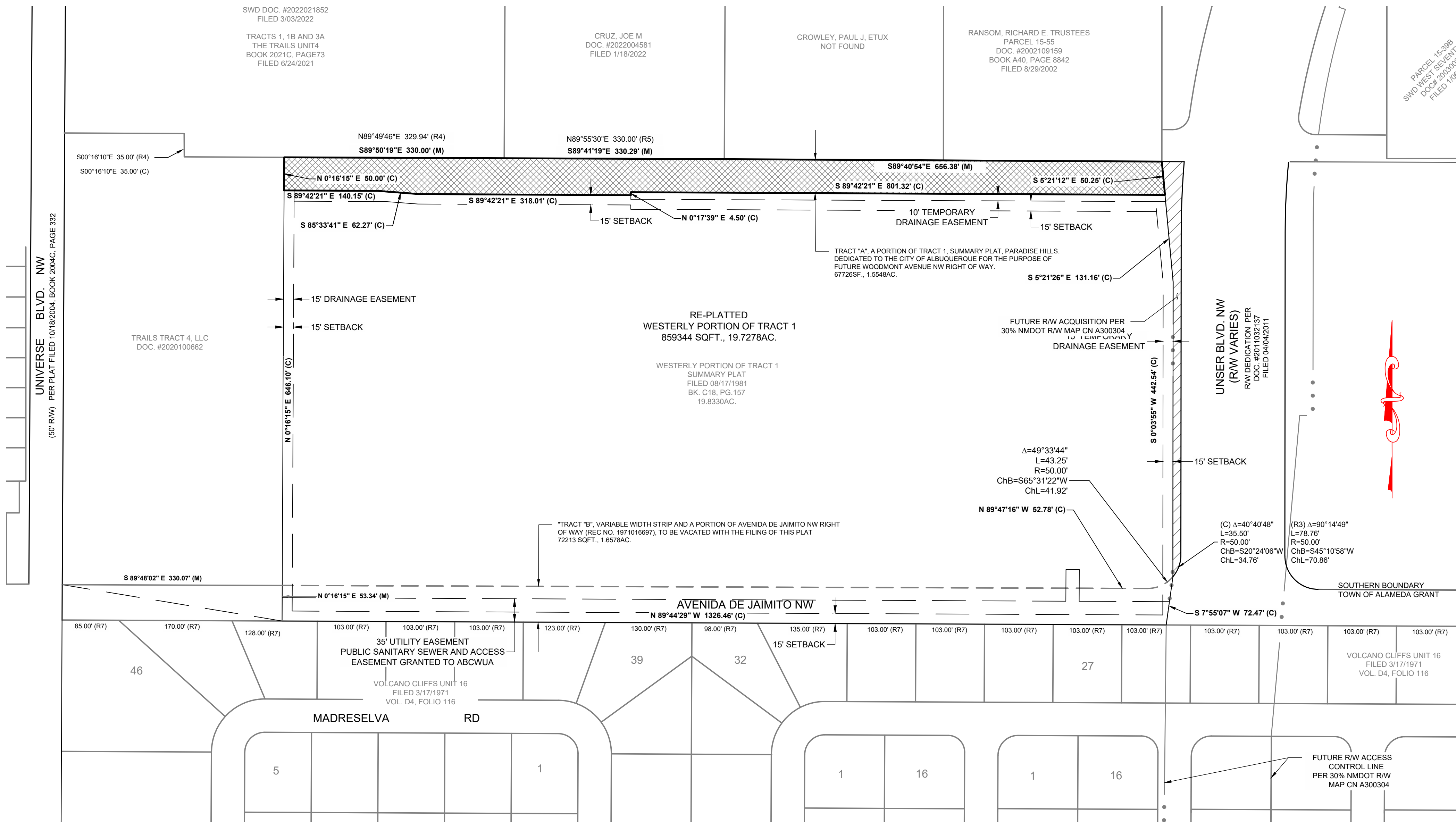
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Drawing File: Q:\PROJECTS\2023\12038_ILM_LIVING_ILLC\03_JM_PASEO_FINAL_DESIGN\400_CAD\402_SURVEY\231203803_FINAL-PLAT-250107.DWG



RIGHT OF WAY VACATION EXHIBIT
THE WESTERLY PORTION OF TRACT 1
SUMMARY PLAT, 68.75 ACRE TRACT
& 66.15 ACRE TRACT
PARADISE HILLS, TOWN OF ALAMEDA GRANT, CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



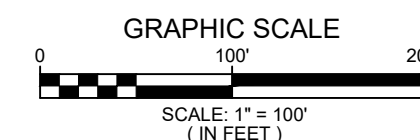
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3820 Academy Parkway North N.E.
Albuquerque, New Mexico 87109

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Drawing File: Q:\PROJECTS\2023\12038_JLM_LIVING_LLC\03_JM_PASEO_FINAL_DESIGN\400_CAD\402_SURVEY\231203803_FINAL-PLAT-250107.DWG



CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 12, 2024

R.W. Fernandez
Cobb, Fendley, and Associates
3820 Academy Parkway North NE
Albuquerque, NM 87109

**RE: JLM Living – Paseo Multi-family Housing Development
Conceptual Grading and Drainage Plans
Engineer's Stamp Date: 8/26/2024
Hydrology File: C10D003**

Dear Mr. Fernandez:

Based upon the information provided in your submittal received 08/27/2024, the Conceptual Grading & Drainage Plans are preliminary approved for action by the Development Hearing Officer (DHO) for Preliminary/Final Plat approval.

PO Box 1293

PRIOR TO BUILDING PERMIT:

Albuquerque

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage Transportation Information Sheet.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

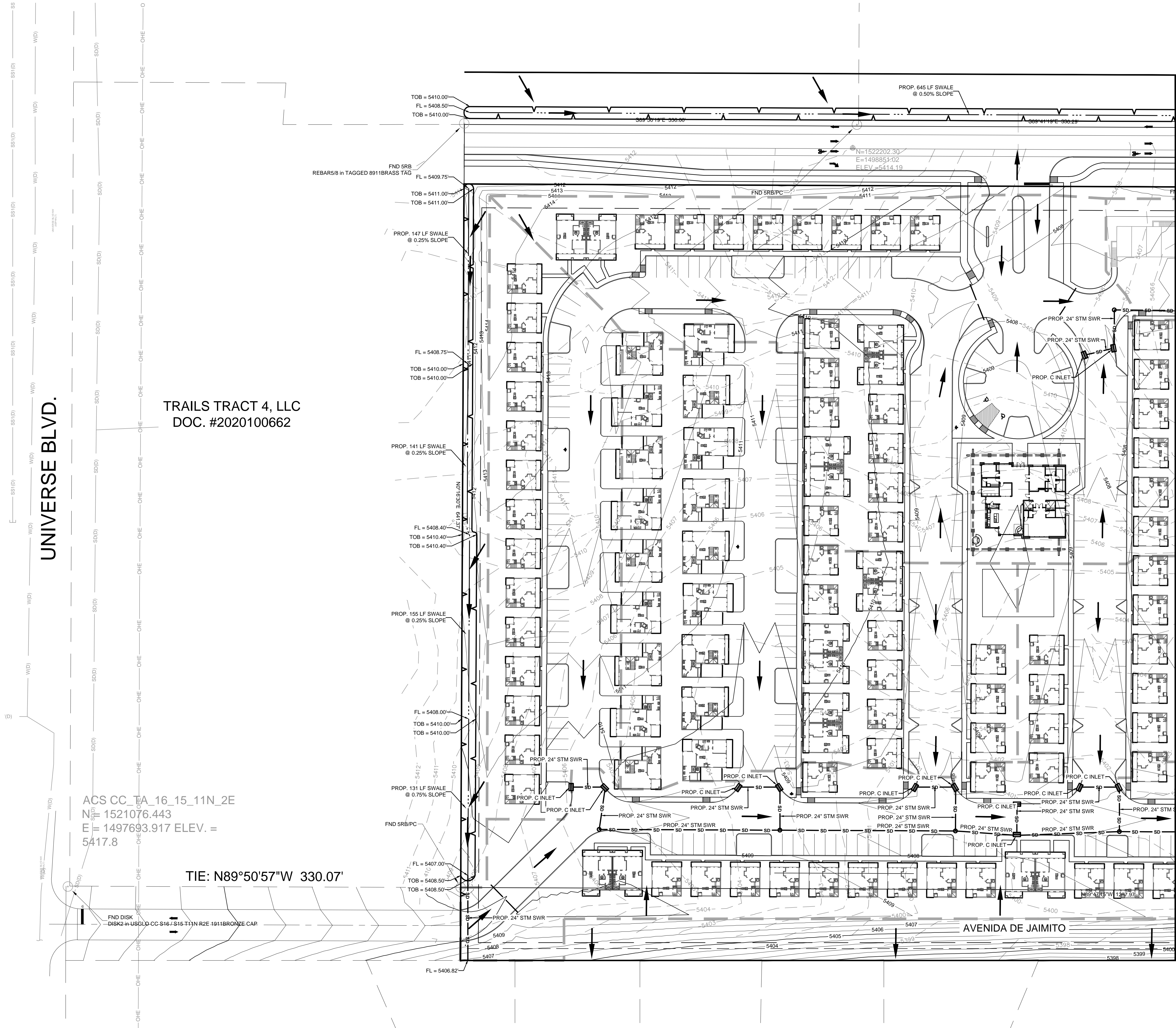
Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

C:\a\Info\Projects\2023\12038_JLM_Living_LLC\03_JLM_Paseo_Final_Design\400_CAD\410_Land\DWG\DRAINAGE SUBMITTAL\231203801_C1.1 & 1.2_GRADING.dwg
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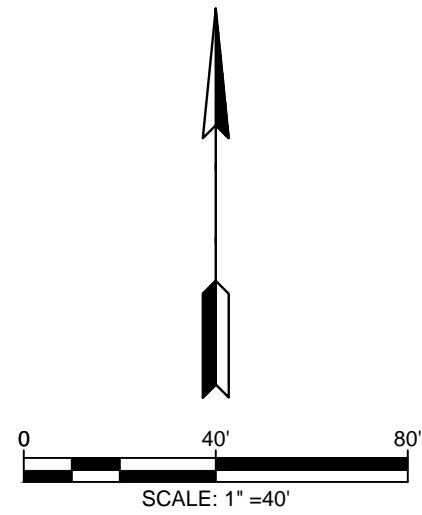


UNIVERSE BLVD.

TRAILS TRACT 4, LLC
DOC. #2020100662

ACS CC TA 16.15.11N.2E
N = 1521076.443
E = 1497693.917 ELEV. =
5417.8

TIE: N89°50'57"W 330.07'



SURVEYOR

COBBFENDLEY
3820 ACADEMY PARKWAY NORTH NE
ALBUQUERQUE, NM 87109
PH: 505-508-0786

PROP. LEGEND

- | | |
|--|-------------------------------|
| | PROP STORM MANHOLE |
| | PROP C INLET |
| | PROP STORM SEWER |
| | PROP. DIRECTION OF FLOW ARROW |
| | EXISTING CONTOUR |
| | PROP. CONTOUR |
| | PROPOSED TOP OF BANK |
| | PROPOSED DRAINAGE BOUNDARY |

City of Albuquerque
Planning Department
Development Review Services
PRELIMINARY APPROVED
DATE: 9/12/2024
BY: [Signature]
HydroTrans # C100003
THESE PLANS AND/OR REPORT ARE
CONCEPTUAL ONLY. MORE INFORMATION MAY
BE NEEDED IN THEM AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.



JLM LIVING
ALBUQUERQUE, NEW MEXICO

GRADING & DRAINAGE (1 OF 2)

Issue Dates:

Drawn By: AAA

Checked by: MFAM

Sheet

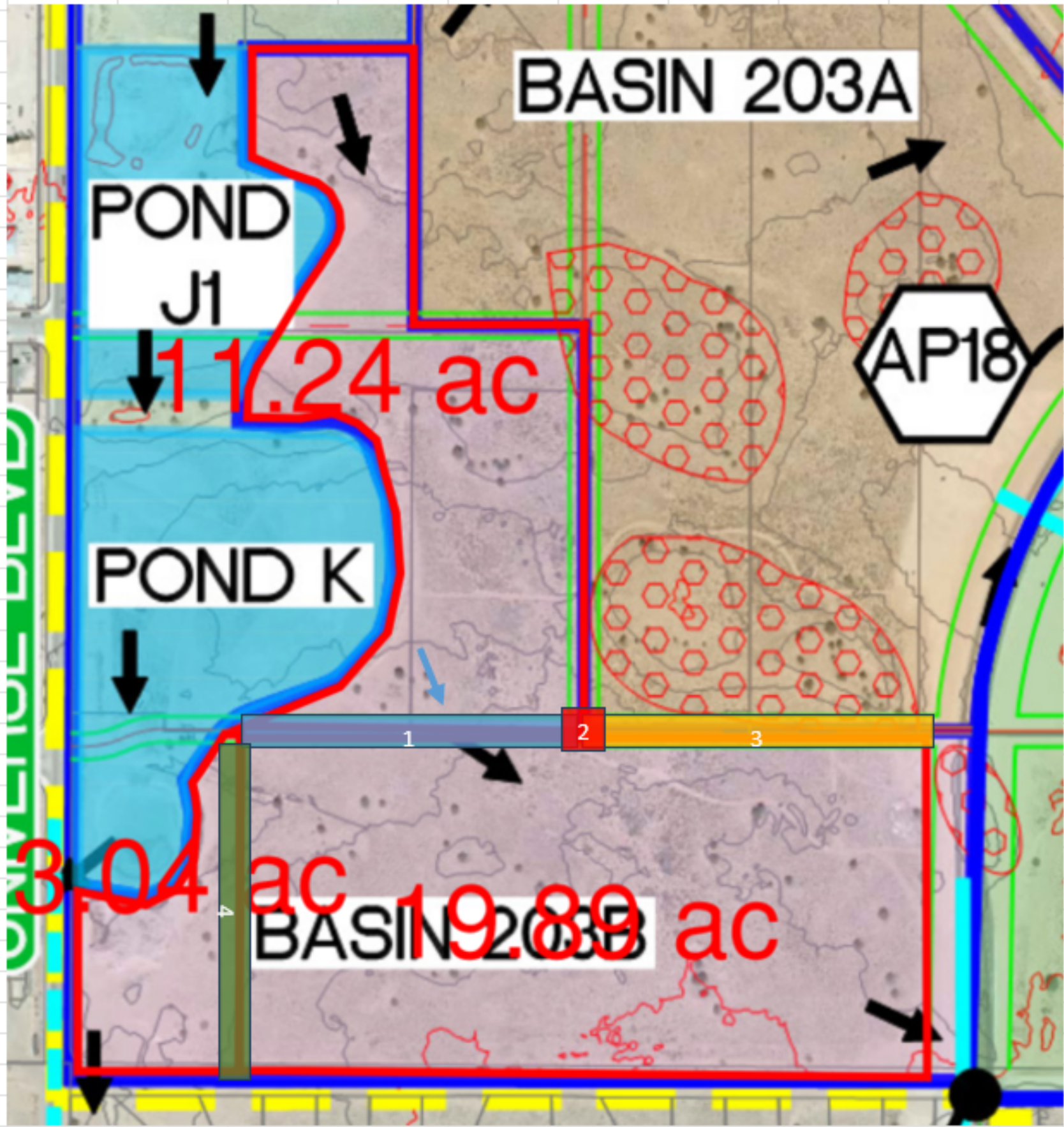
C1.1

Project No.

MATCHLINE - SEE SHEET C1.2 FOR CONTINUATION



C:\a\info: D:\Projects\2023\12038 - JLM_Living_LLC\03 - JLM_Paseo_Final_Design\400_CAD\410_Land\DWG\DRAINAGE SUBMITTAL\231203801_C1.1 & 1.2_GRADING.dwg
Saved: 8/23/2024 1:00:36 PM Rembrandt.Fernandez



Required Flow:

Item 1: Swale to Receive North 11.24 Acres of flow

Area	11.24 acres
Rate	1.54 cfs/acre
Flow	17.31 cfs/acre

Item 2: 24" RCP CULVERT to intercept 11.24 Acres

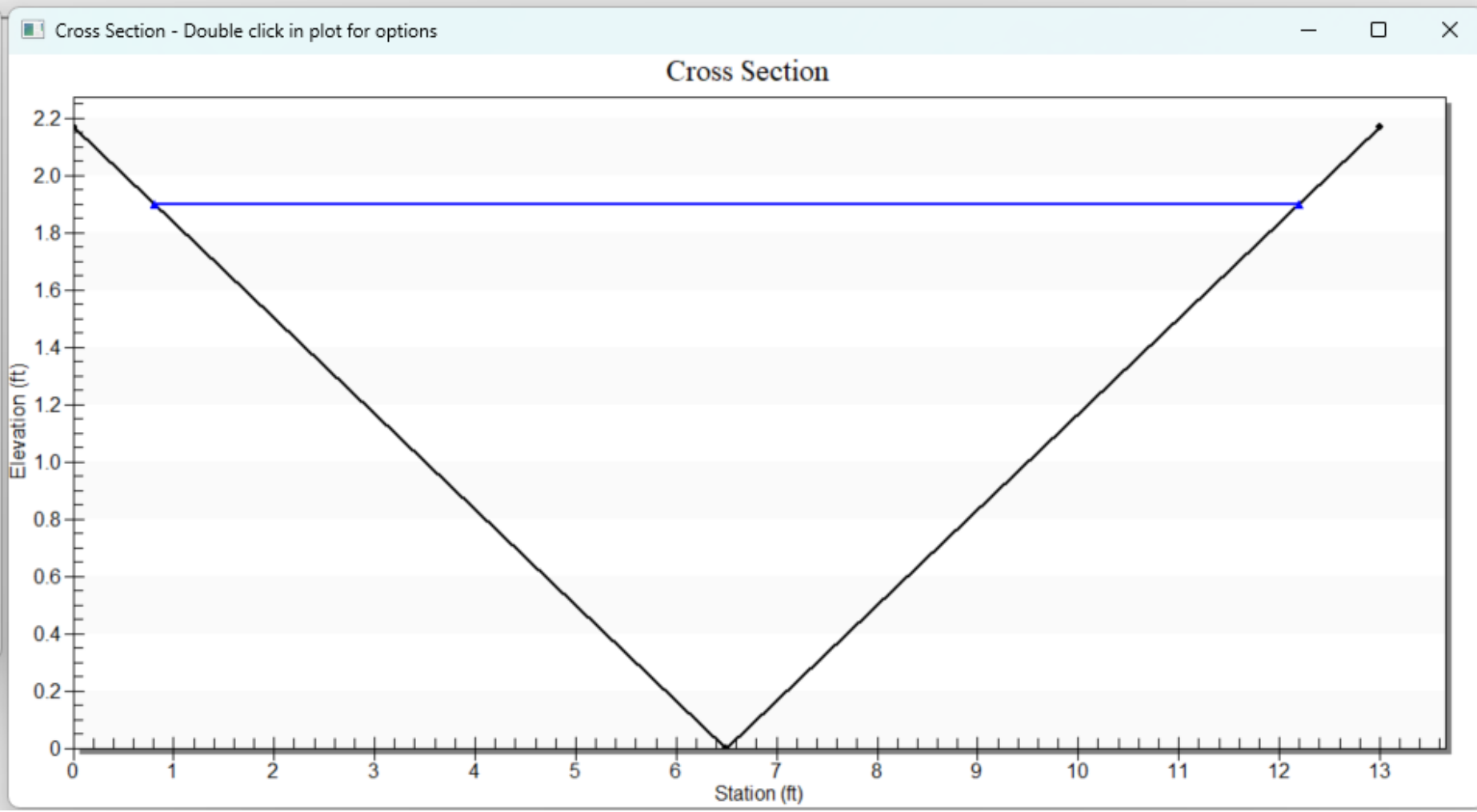
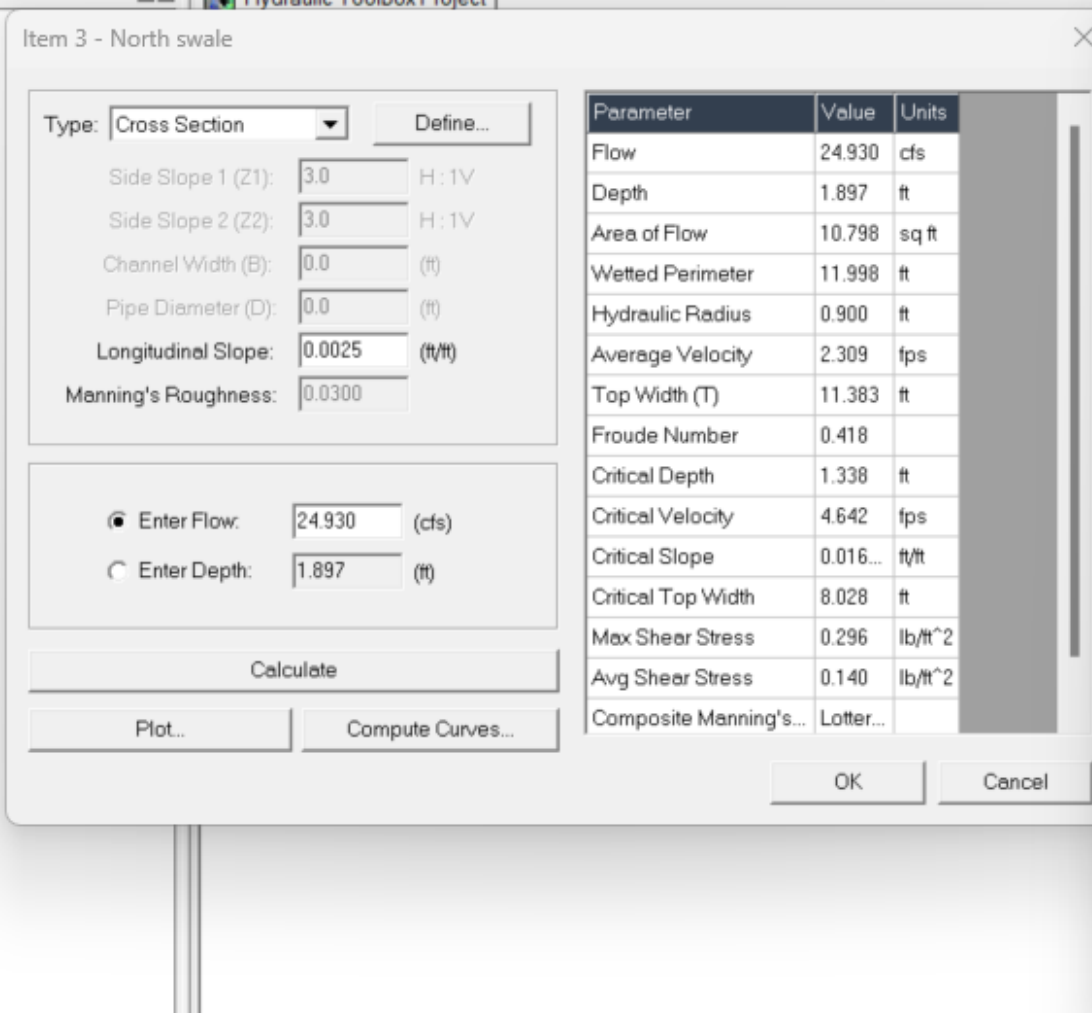
Flow	17.31 cfs
------	-----------

Item 3: Swale to Receive North 11.24 Acres of flow, plus road's flow

Item 1 and 2 Flow:	17.31 cfs
Road Area:	1.85 acres
Rate	4.12 cfs/acre
Total Flow:	24.93 cfs

Item 4 and 5: Swale/Culvert to Receive West 3.04 Acres of flow

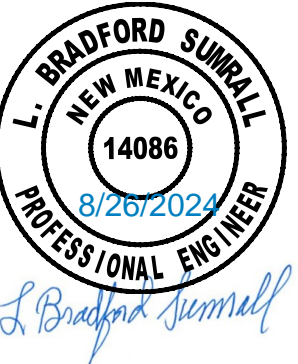
Area	3.04 acres
Rate	1.54 cfs/acre
Flow	4.68 cfs



ITEM 3) NORTH SWALE



CobbFendley
Cobb, Fendley & Associates, Inc.
3820 Academy Parkway North NE
Albuquerque, NM 87109
505.508.0786 | www.cobfen.com



JLM LIVING
ALBUQUERQUE, NEW MEXICO

GRADING & DRAINAGE CALCULATIONS (1 OF 2)

Issue Dates:

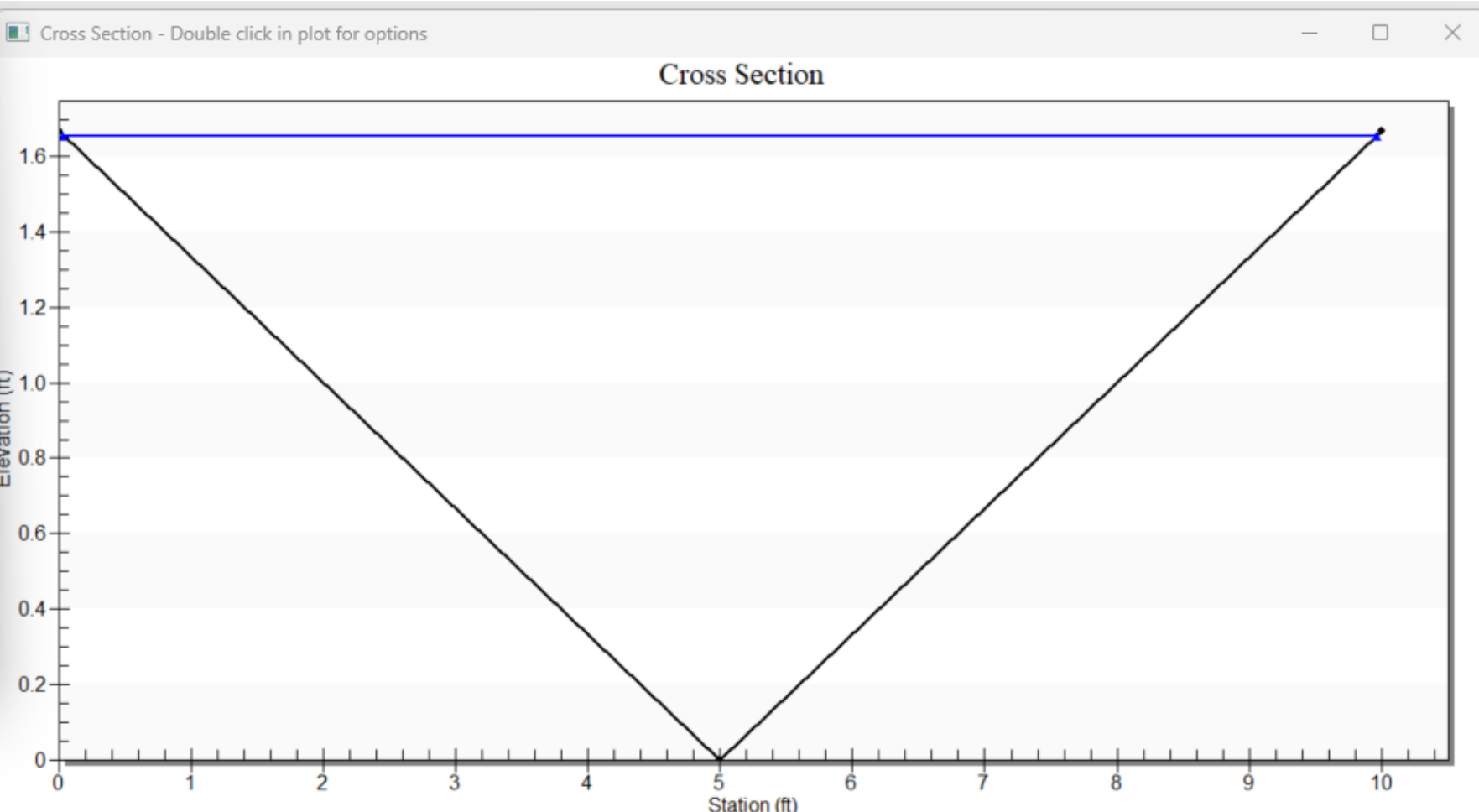
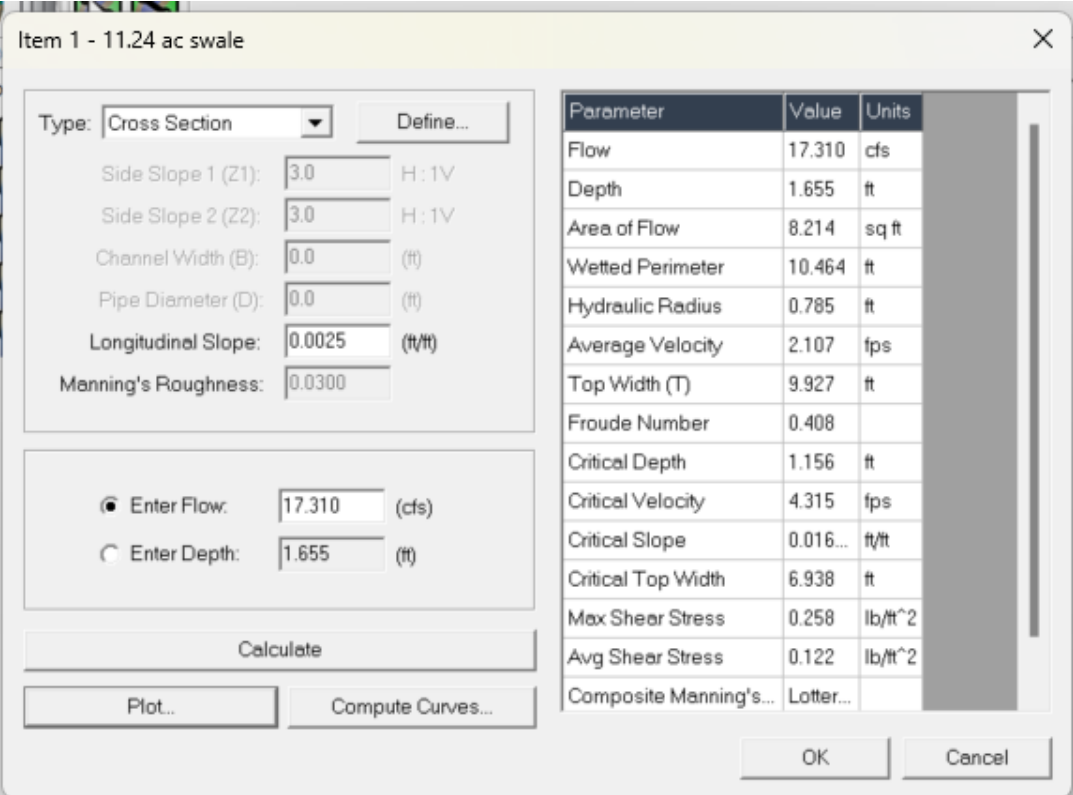
Drawn By: AAA

Checked by: MFAM

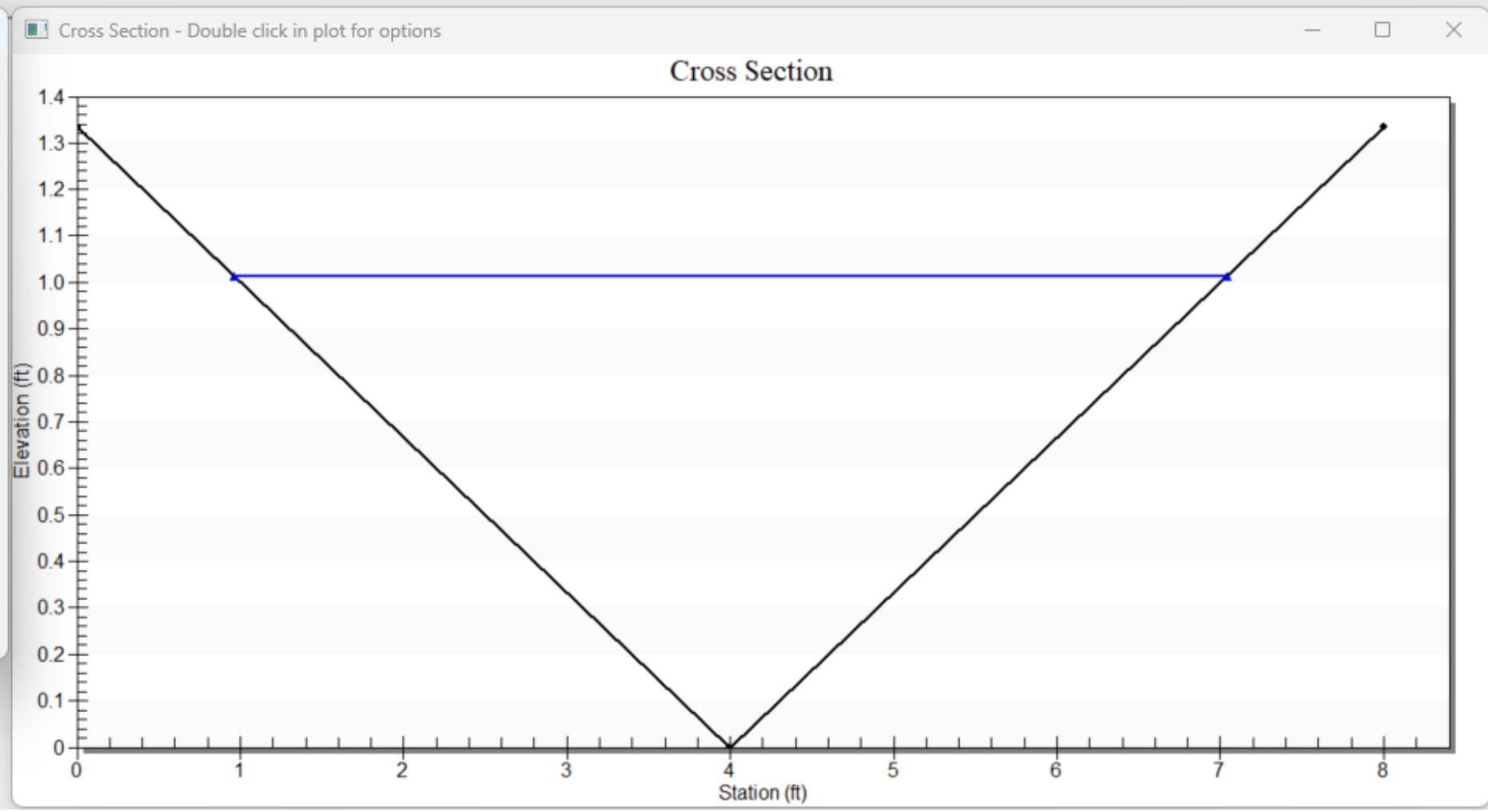
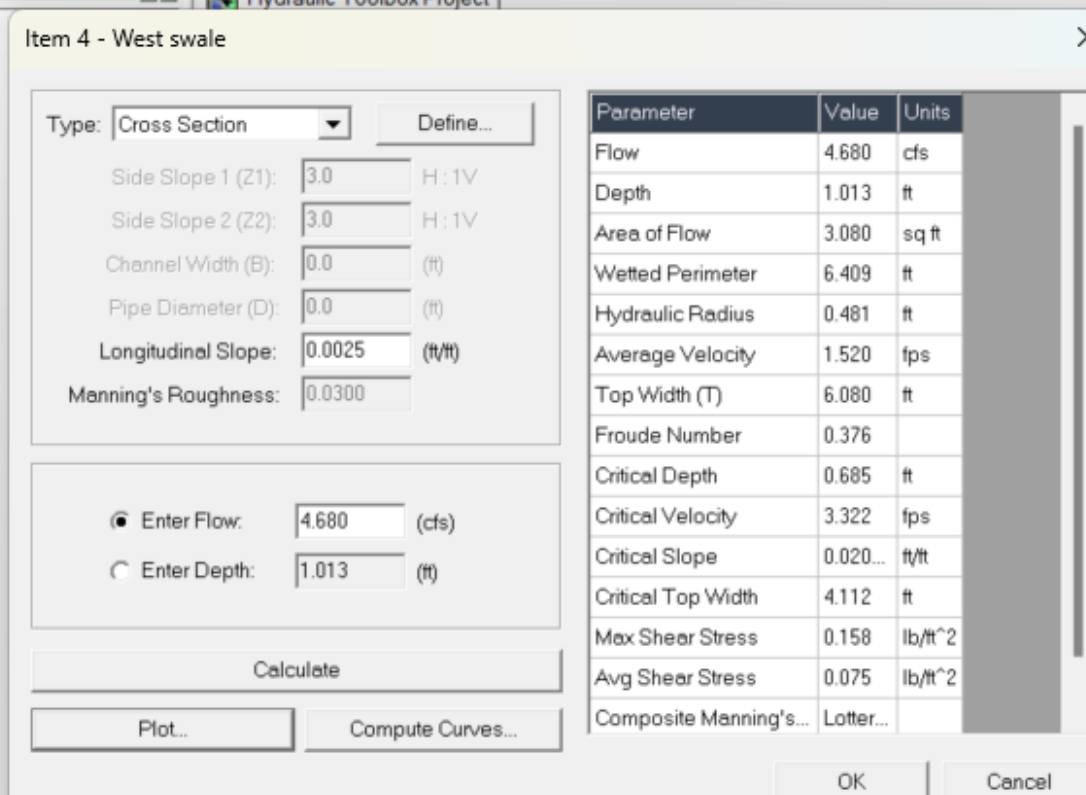
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C1.3

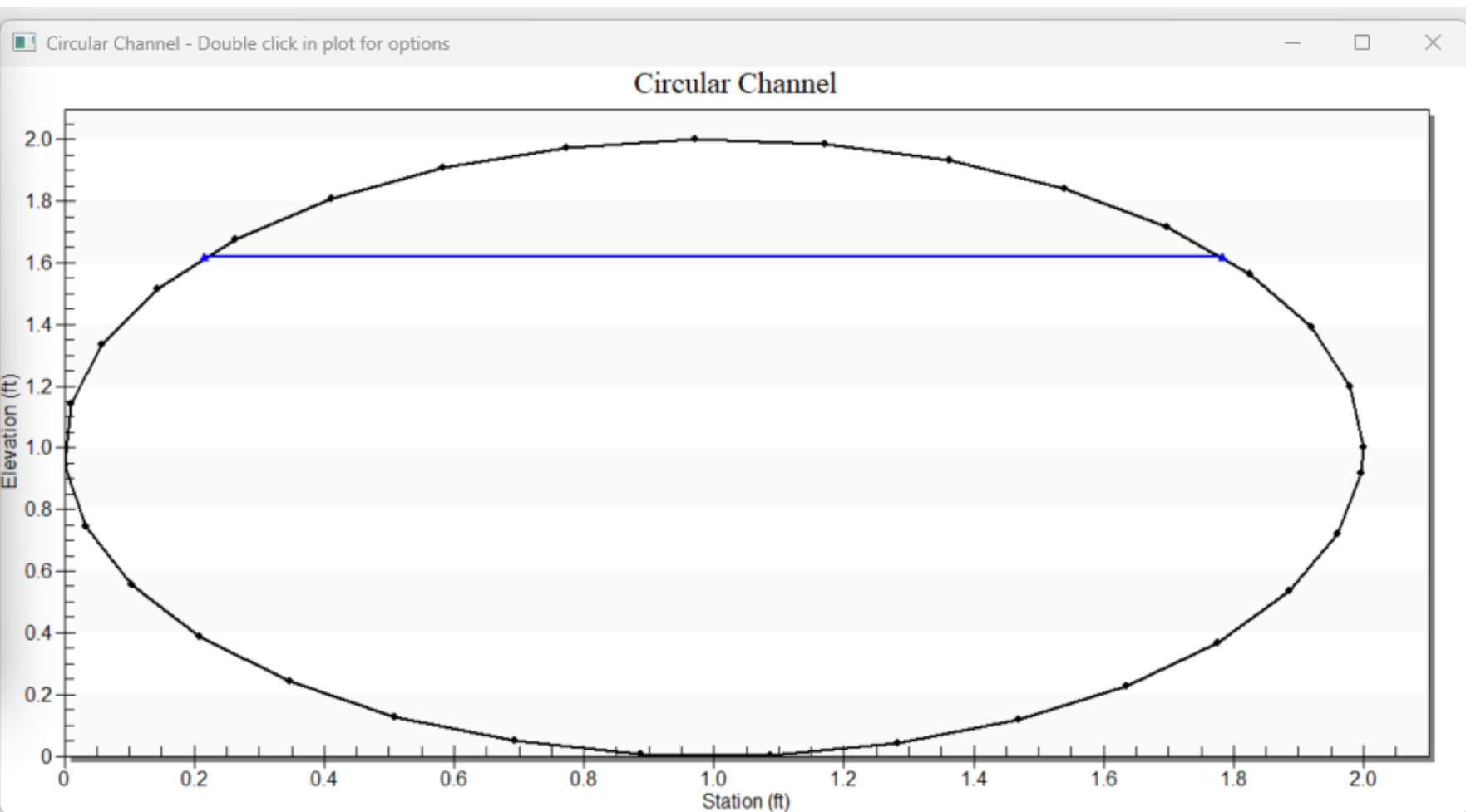
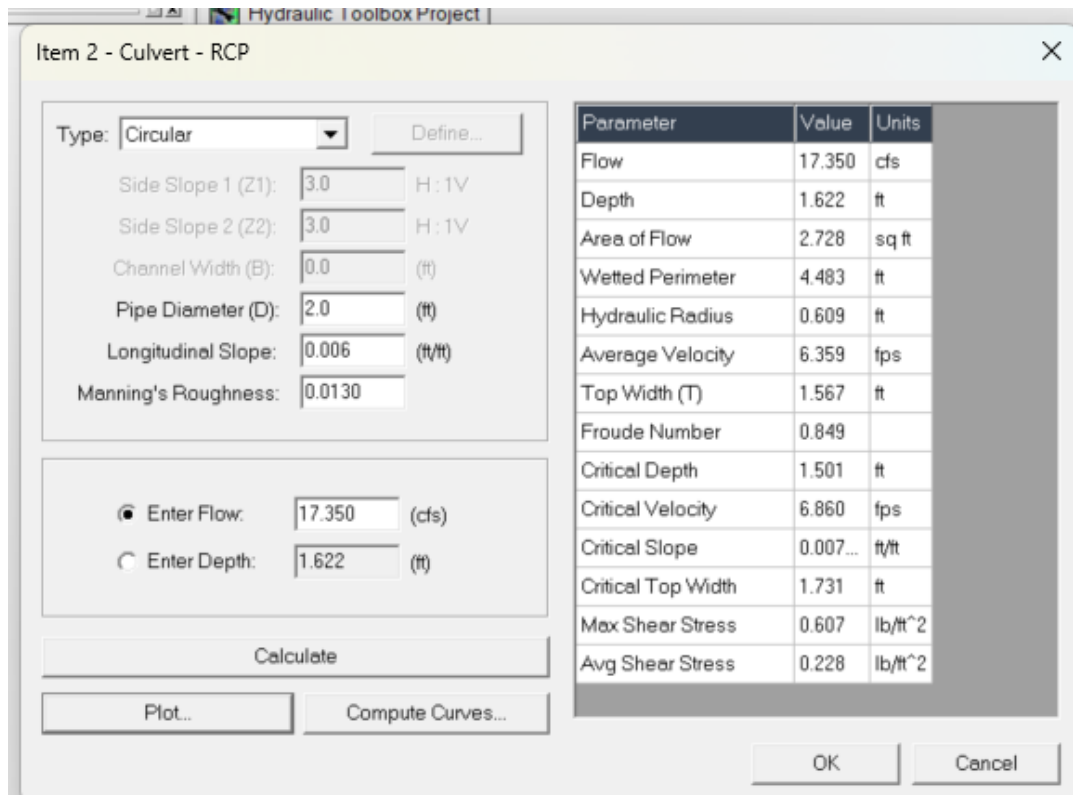
Project No.



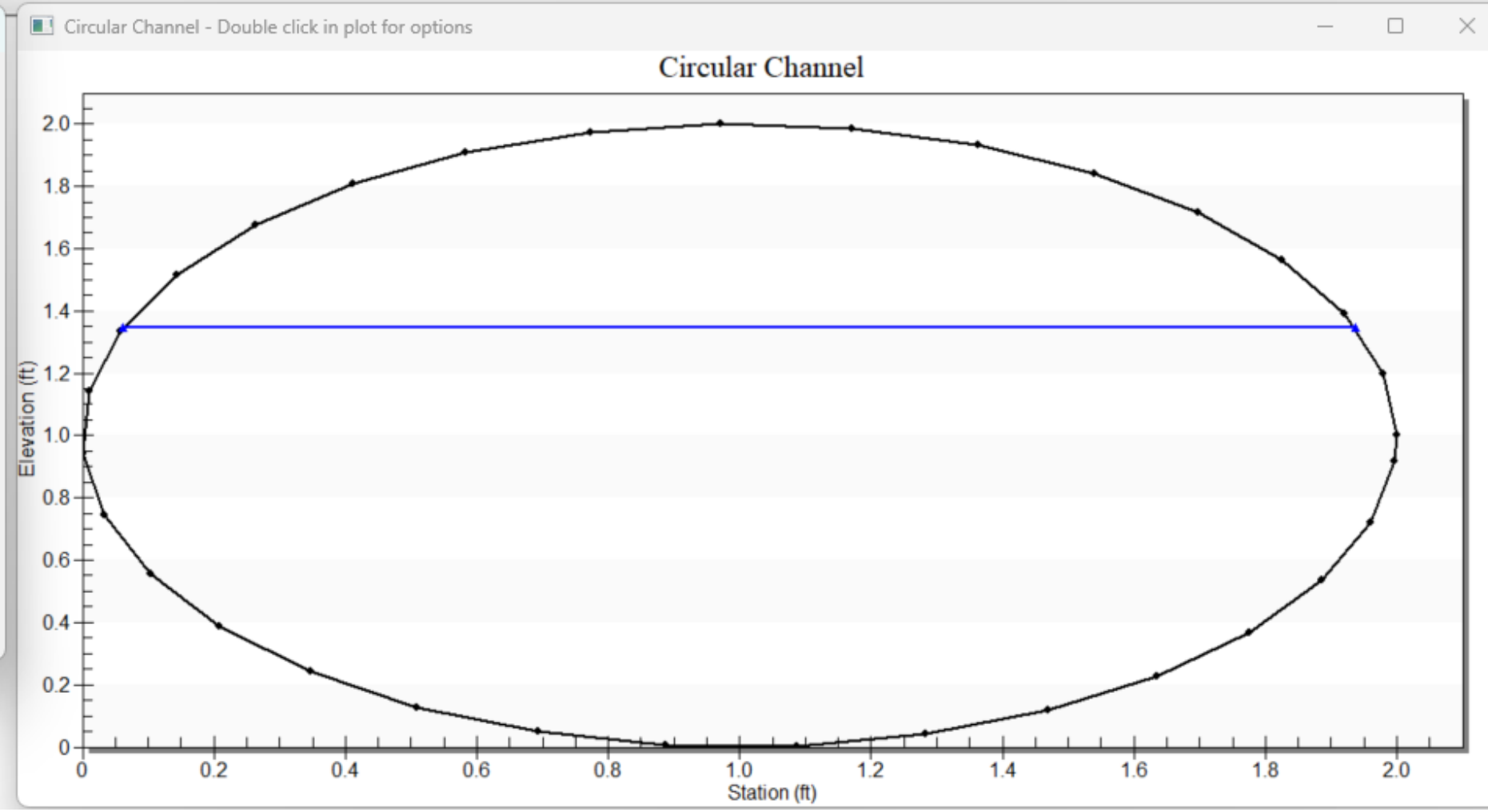
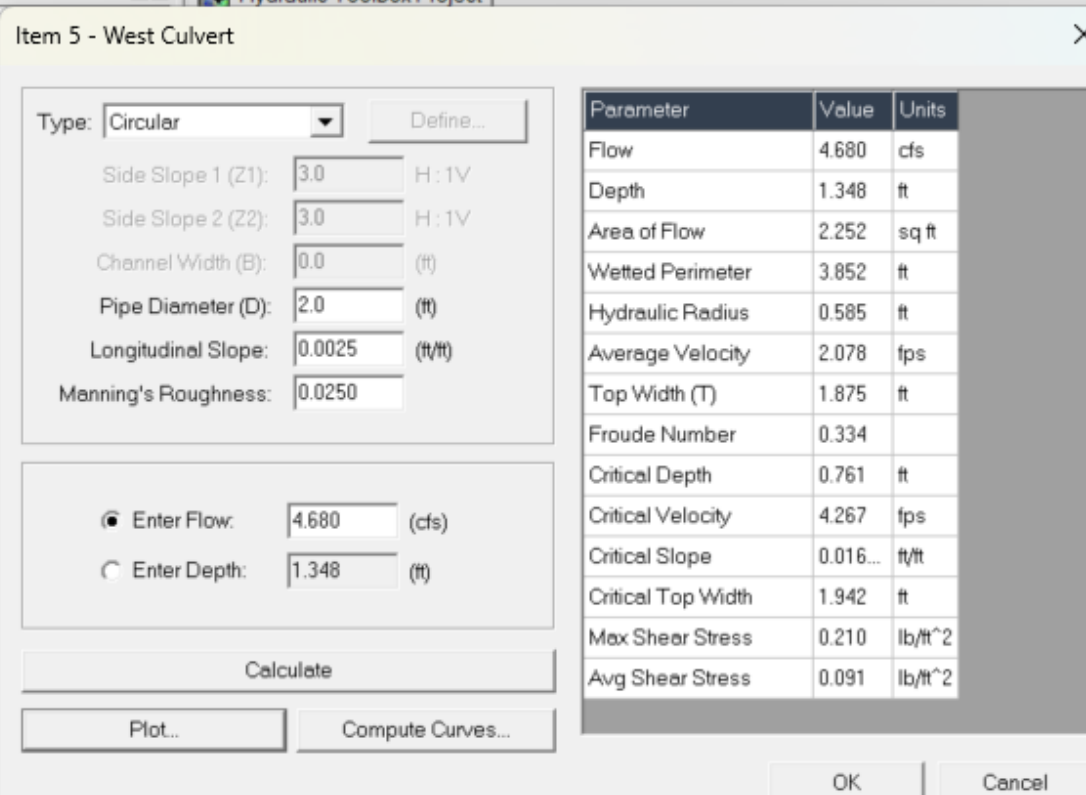
ITEM 1) SWALE TO RECEIVE NORTH 11.24 ACRES OF FLOW



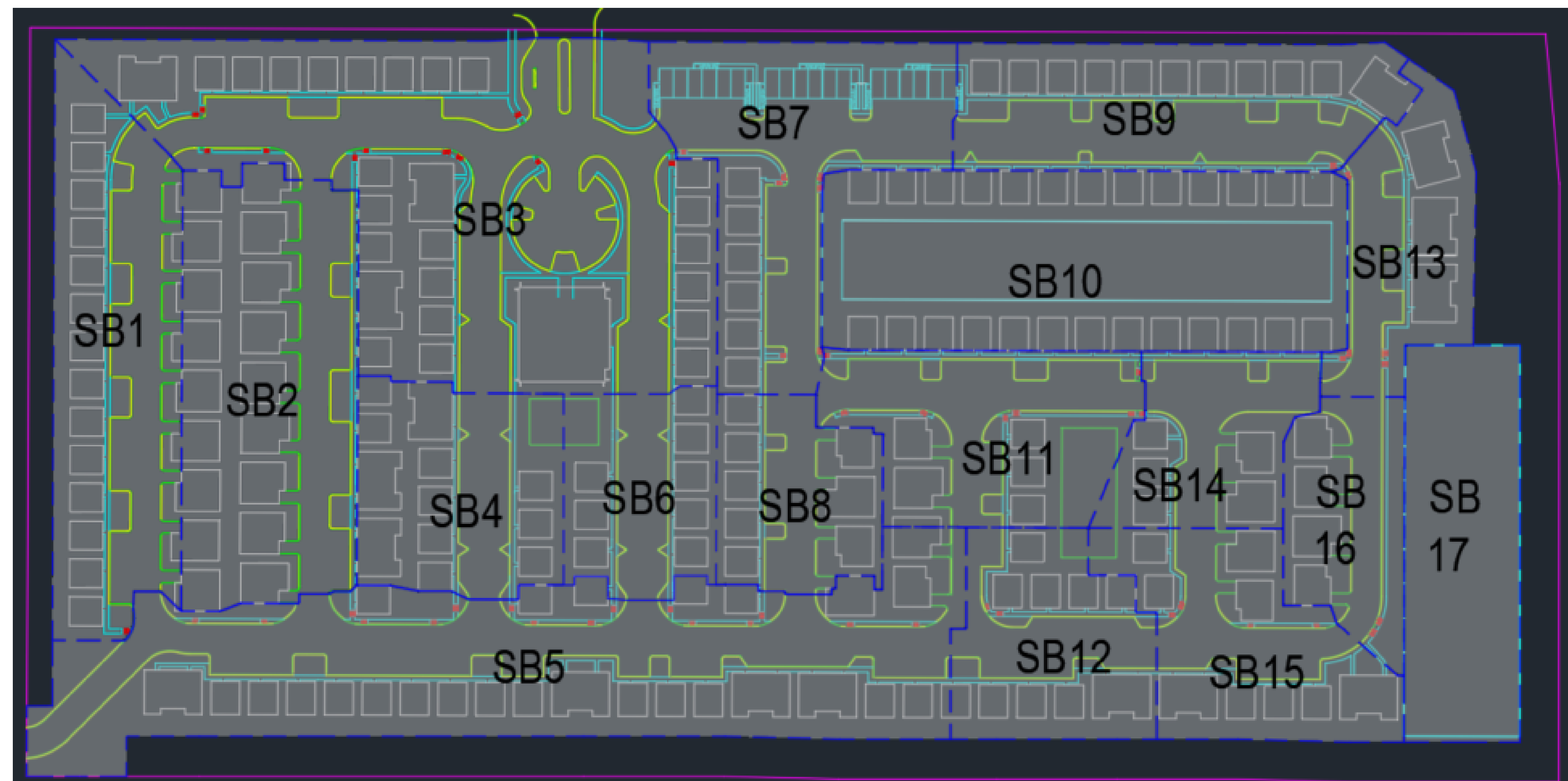
ITEM 4) WEST SWALE



ITEM 2) RCP CULVERT



ITEM 5) WEST CULVERT



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED

DATE: 9/12/2024

BY: *[Signature]*

HydroTrans # C10D003

THESE PLANS AND/OR REPORT ARE
CONCEPTUAL ONLY. MORE INFORMATION MAY
BE NEEDED IN THEM AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.

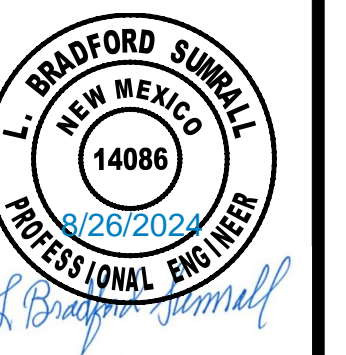
<u>SUBBASIN</u>	<u>TOTAL AREA</u>	<u>LAND TRTMT TYPE B</u>	<u>LAND TRTMT TYPE C</u>	<u>LAND TRTMT TYPE D</u>
	(acres)	(acres)	(acres)	(acres)
1	1.17	0.45	0.00	0.72
2	1.31	0.37	0.00	0.94
3	2.62	1.01	0.00	1.61
4	0.73	0.22	0.00	0.51
5	2.39	0.84	0.00	1.54
6	0.52	0.15	0.00	0.37
7	1.06	0.24	0.00	0.83
8	0.52	0.15	0.00	0.37
9	0.96	0.27	0.00	0.70
10	1.65	0.54	0.68	0.43
11	0.83	0.29	0.00	0.54
12	0.66	0.22	0.00	0.45
13	0.59	0.23	0.00	0.37
14	0.54	0.16	0.00	0.37
15	0.77	0.28	0.00	0.49
16	0.48	0.19	0.00	0.29
17	0.80	0.01	0.79	0.00
TOTAL	17.60	7.52	1.46	8.62

SUBBASIN	100yr FLOW RATE (cfs) - Proposed
1	3.92
2	4.65
3	8.82
4	2.59
5	8.18
6	1.86
7	3.92
8	1.84
9	3.45
10	4.89
11	2.85
12	2.31
13	2.00
14	1.89
15	2.61
16	1.61
17	2.28
TOTAL	55.96

SUBBASIN	100yr FLOW RATE (cfs) - Existing
1	1.79
2	2.01
3	4.04
4	1.13
5	3.68
6	0.80
7	1.64
8	0.80
9	1.48
10	2.54
11	1.28
12	1.02
13	0.91
14	0.82
15	1.18
16	0.74
17	1.23
TOTAL	27.11

100 yr - 10 Day Volumes - Proposed		100yr - 10 Day Volumes Existing	
SUBBASIN	100yr-10day V (ac-ft)	SUBBASIN	100yr-10day V (ac-ft)
1	0.26	1	0.05
2	0.33	2	0.06
3	0.59	3	0.12
4	0.18	4	0.03
5	0.56	5	0.11
6	0.13	6	0.02
7	0.29	7	0.05
8	0.13	8	0.02
9	0.25	9	0.04
10	0.23	10	0.08
11	0.20	11	0.04
12	0.16	12	0.03
13	0.14	13	0.03
14	0.13	14	0.02
15	0.18	15	0.04
16	0.11	16	0.02
17	0.06	17	0.04
TOTAL	3.43	TOTAL	0.81

CobbFendley
Cobb, Fendley & Associates, Inc.
3820 Academy Parkway North NE
Albuquerque, NM 87109
505.508.0786 | www.cobfen.com

JLM LIVING
ALBUQUERQUE, NEW MEXICO

GRADING & DRAINAGE CALCULATIONS (2 OF 2)

Issue Dates:

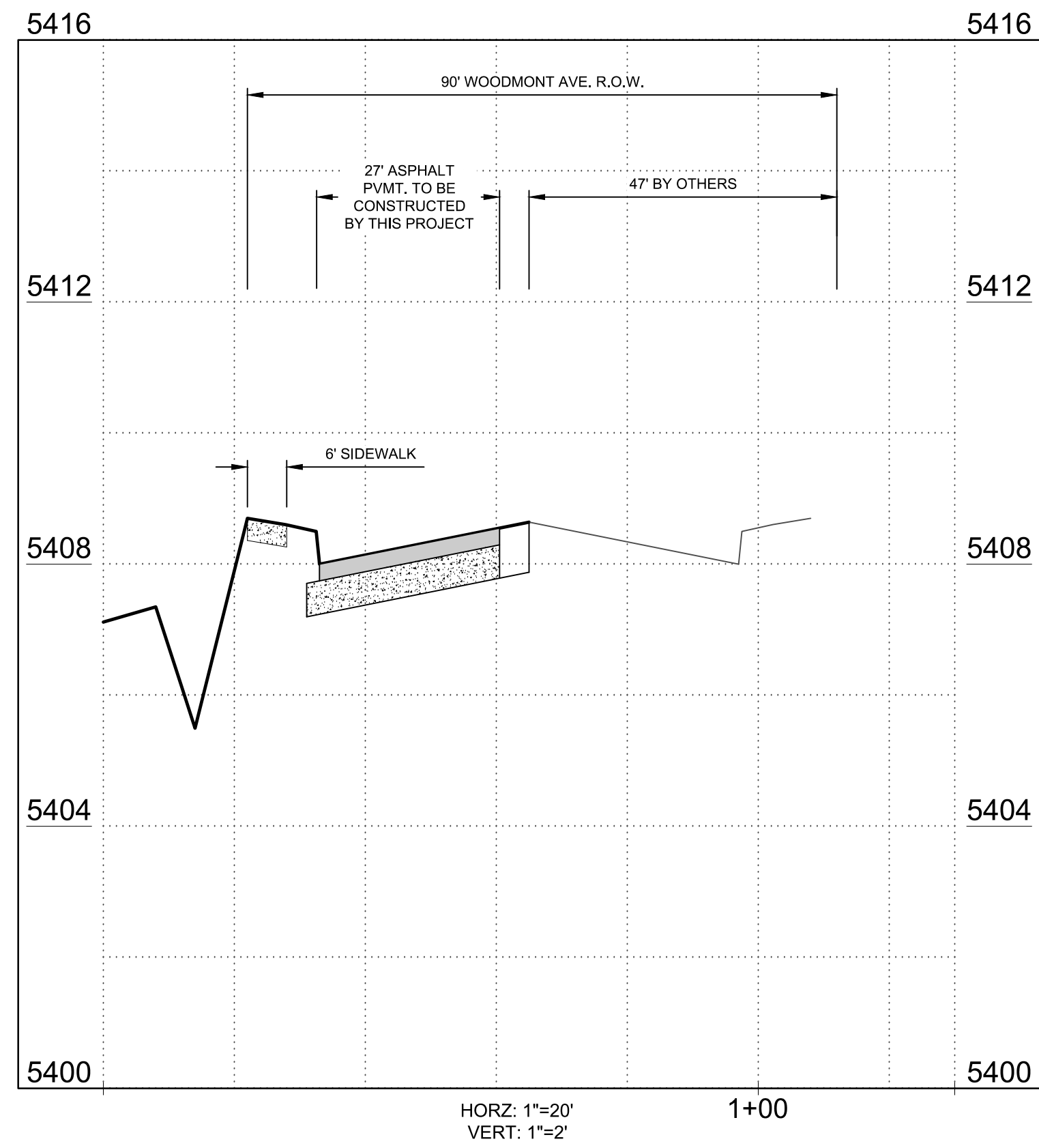
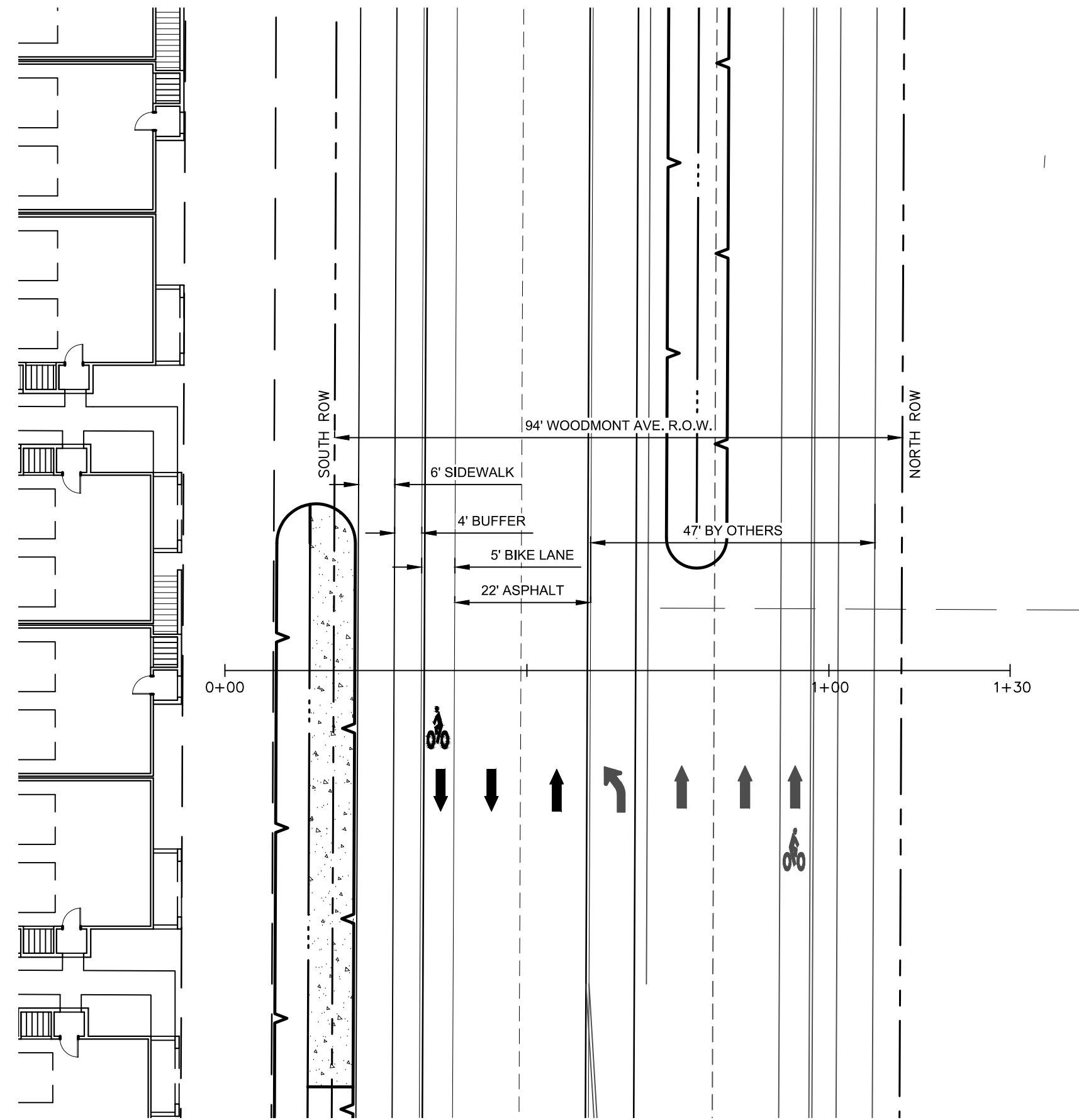
Drawn By: AAA

Checked by: MFAM

Sheet

C1.4

Project No.



<p>SURVEYOR</p> <p>COBBE ENDLEY 3520 ACADEMY PARKWAY NORTH NE ALBUQUERQUE, NM 87109 PH: 505-508-0786</p>
<p>BENCHMARK</p>
<p><u>REFERENCE BENCHMARK</u></p> <p>D. C10. THE STATION IS LOCATED 7.3 MILES NORTHWEST OF DOWNTOWN ALBUQUERQUE.</p> <p>TO REACH THE STATION FROM THE INTERSECTION OF PASEO DEL NOROCCO AND UNIVERSITY BOULEVARD, FIRST TRAVEL SOUTH ON UNIVERSE BOULEVARD 0.6 MILES TO A DIRT ROAD ON THE LEFT (AVENIDA DE JAMINTO); TURN LEFT, TRAVEL EAST ON SAID DIRT ROAD 0.85 MILES TO A DIRT ROAD ON THE LEFT. TURN LEFT, TRAVEL EAST 0.08 MILES TO THE STATION ON THE LEFT; ON TOP OF A LAVA OUTCROP.</p> <p>THE STATION MARK IS A CITY OF ALBUQUERQUE SURVEY CONTROL 3 1/4 INCH ALUMINUM DISC SET FLUSH IN THE LAVA OUTCROP AND IS STAMPED "B-C10 1986".</p>



11/07/2024

JLM LIVING
ALBUQUERQUE, NEW MEXICO

SIDEWALK CROSS SECTION

Issue Dates:

Drawn By: AAA

Checked by: MFAM

Sheet

Project No.

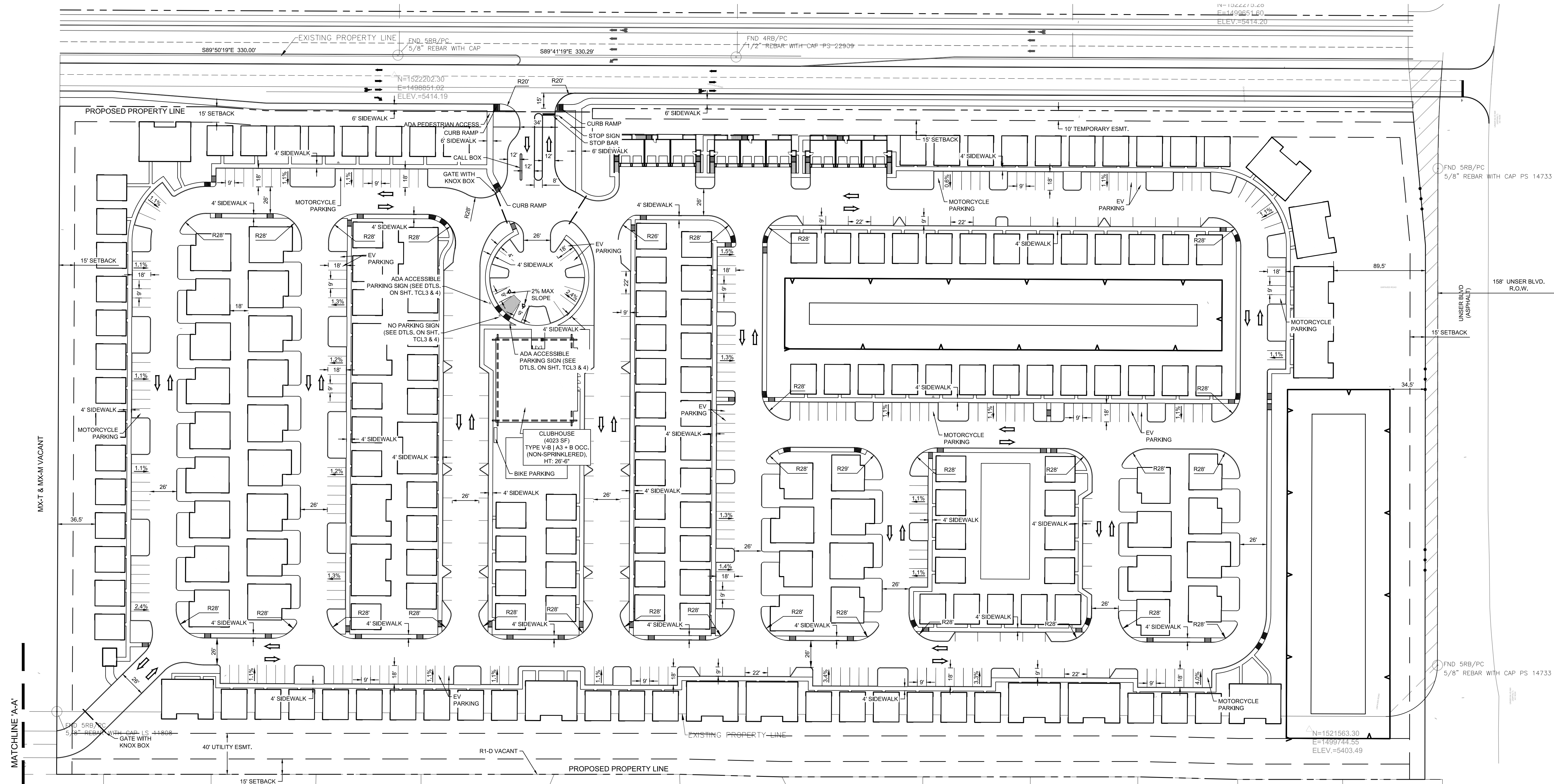
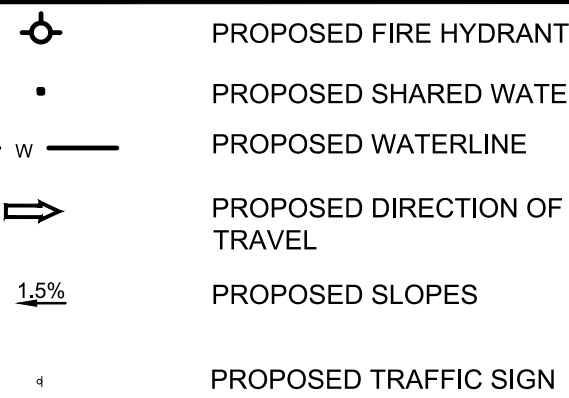
JLM Living - Albuquerque					
UNIT TABULATIONS					11/6/24
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA(SF)	PATIO AREA	UNIT COUNT	UNIT % BREAKDOWN
A4	1 BEDROOM	746	94	9	24%
A5	1 BEDROOM	712	146	34	
A7	1 BEDROOM	668	62	9	
B1	2 BEDROOM	934	143	15	70%
B4	2 BEDROOM	1,156	84	139	6%
C1	3 BEDROOM	1,601	129	12	
TOTALS				218	100%

SITE INFORMATION
<p>NET SITE AREA: 19.603 AC. ZONING: M-X LAND USE: VACANT OVERLAY ZONES: CPO-13, VPO-2 URBAN CENTER: VOLCANO HEIGHTS</p> <p><u>SETBACK REQUIRED AND PROVIDED:</u></p> <p>FRONT: MIN: 5', MAX: 15' SIDE: MIN: 0', MAX: N/A REAR: 0'</p> <p><u>SETBACK PROVIDED:</u></p> <p>FRONT: 15' SIDE: 36.5' (W), 89.5' & 35.5' (E) REAR: 15' TO 40' EASEMENT)</p>

DWELLING, SINGLE-FAMILY DETACHED		
1 SPACE /DU UP TO 2 BR		163 SPACES REQUIRED
2 SPACE / DU WITH 3 OR MORE BR		24 SPACES REQUIRED
	PROVIDED :	187 TOTAL REQUIRED
		297 SURFACE SPACES
		34 GARAGE SPACES
		331 TOTAL PROVIDED
DWELLING, DUPLEX (SINGLE FAMILY ATTACHED)		
1 SPACE /DU UP TO 2 BR		34 SPACES REQUIRED
	PROVIDED :	34 SPACES PROVIDED
DWELLING, MULTI-FAMILY		
UC-MS-PT : 1 SPACE/DU		9 SPACES REQUIRED
	PROVIDED :	18 GARAGE SPACES PROVIDED
RESIDENTIAL COMMUNITY AMENITY		
3 SPACES / 1000 SF GFA + REQ. IN TABLE 5-5-2		5 SPACES REQUIRED
4,023 SQ. FT. = 4,023, ROUNDED TO 5		
	PROVIDED :	12 SPACES PROVIDED
EV PARKING CREDIT :		12 SPACES
ACCESSIBLE PARKING		2 SPACES REQUIRED
		2 SPACES PROVIDED
MOTORCYCLE PARKING :		
301-500 SPACES REQUIRES:		6 MOTORCYCLE SPACES
		6 SPACES PROVIDED
BICYCLE PARKING :		
>OR= 5 MF SPACES, 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING		3 REQUIRED
		7 PROVIDED

GENERAL SHEET NOTES

1. ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
2. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE LINE OF SIGHT AREA.
3. ALL INTERNAL SIDEWALK SHALL BE 4 FEET IN WIDTH UNLESS OTHERWISE NOTED.
4. ONSITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE OR AS PER PNM STANDARD REQUIREMENTS.
5. CONCRETE CONTROL JOINT SPACING SHOULD MATCH ADJACENT WIDTH.
6. EXTERIOR LIGHT POLES AT FIRE TRUCK DRIVEWAYS TO BE MIN. 5'-0" AWAY FROM CURB.
7. ALL BROKEN OR CRACKED SIDEWALK SHOULD BE REPLACED WITH SIDEWALK AND CURB PER DPM STANDARD DETAILING.



Project No.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

Sep 30th, 2024

Rembrandt Fernandez
Cobb, Fendley, and Associates
3820 Academy Parkway North NE,
Albuquerque, NM 87109

Re: Jlm Living - Paseo Multi-Family Housing Development
ALBUQUERQUE NM 87114
Traffic Circulation Layout-DFT
Engineer's/Architect's Stamp 08-26-24 (C10D003)

Dear Mr. Fernandez,

The conceptual TCL submittal received 09-04-24 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to plndrs@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

TRAFFIC CIRCULATION LAYOUT TO SERVE PASEO DEVELOPMENT ALBUQUERQUE, NEW MEXICO



LOCATION MAP
N.T.S.

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
TCL0	COVER SHEET
TCL1	EXISTING CONDITIONS
TCL2	PROPOSED CONDITIONS

JLM - ALBUQUERQUE

PARKING TABULATIONS

24-Sep-24

REQUIRED

DWELLING, SINGLE-FAMILY DETACHED	
1 SPACE / DU UP TO 2 BR	163 SPACES REQUIRED
2 SPACE / DU WITH 3 OR MORE BR	24 SPACES REQUIRED
DWELLING, DUPLEX (SINGLE FAMILY ATTACHED)	
1 SPACE / DU UP TO 2 BR	34 SPACES REQUIRED
2 SPACE / DU WITH 3 OR MORE BR	0 SPACES REQUIRED
DWELLING, MULTI-FAMILY	
UC-MS-PT : 1 SPACE/DU	9 SPACES REQUIRED
RESIDENTIAL COMMUNITY AMENITY	
3 SPACES / 1000 SF GFA + REQ. IN TABLE 5-5-2	5 SPACES REQUIRED
4,023 SQ. FT. = 4.023, ROUNDED TO 5	

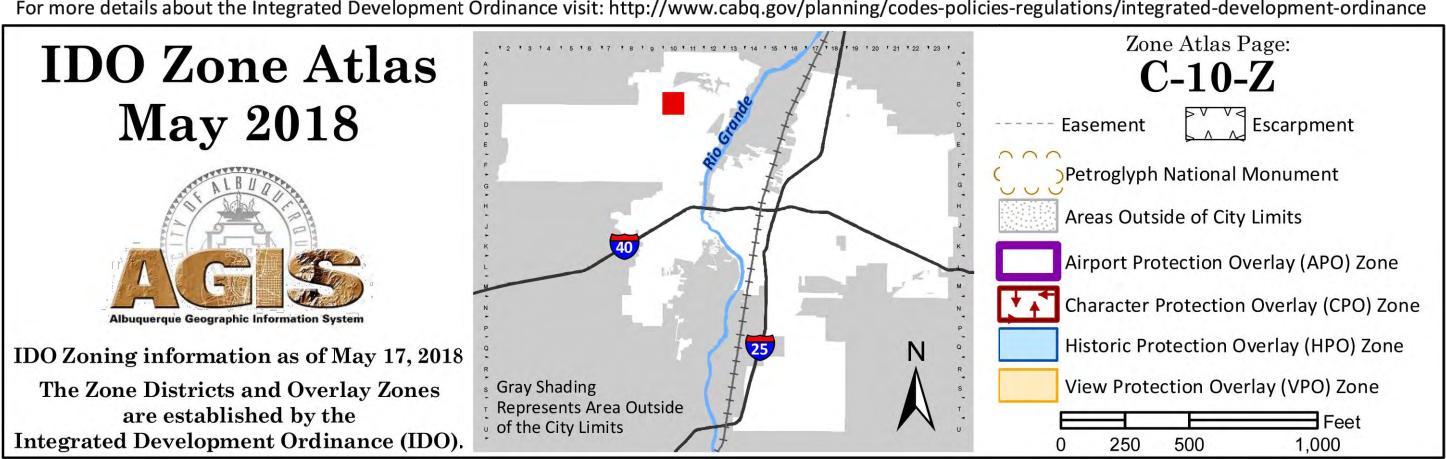
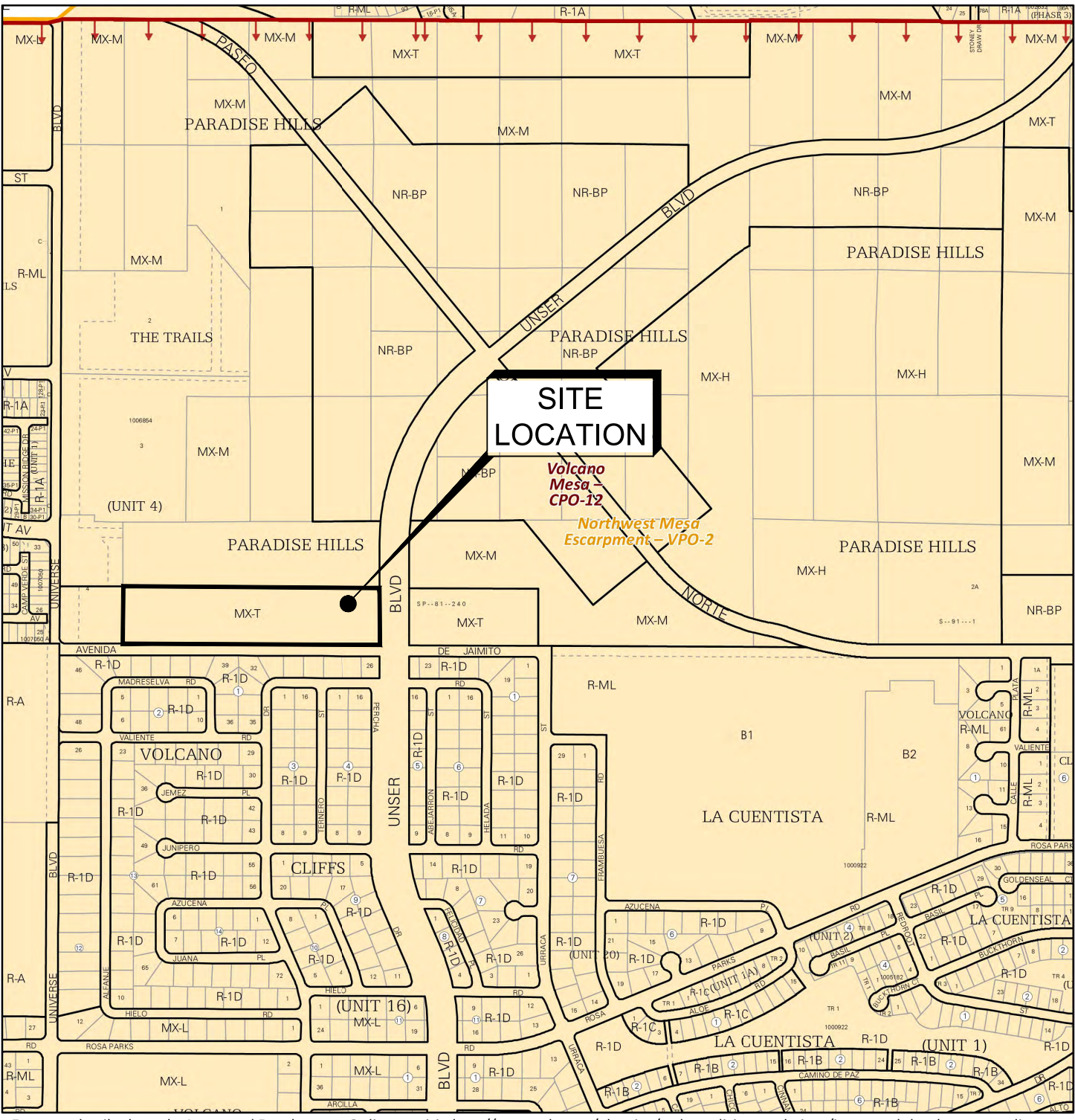
GRAND TOTAL OF REQUIRED : 235 SPACES REQUIRED

MOTORCYCLE PARKING :	
301-500 SPACES REQUIRES:	6 MOTORCYCLE SPACES

BICYCLE PARKING :	
>OR= 5 MF SPACES, 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING	3 BICYCLE PARKING

PROVIDED

DWELLING, SINGLE-FAMILY DETACHED :	
SURFACE PARKED :	297 SPACES
GARAGE PARKED :	34 SPACES
TOTAL PARKING SPACES :	331 TOTAL SPACES
DWELLING, DUPLEX, SINGLE FAMILY ATTACHED):	
SURFACE PARKED :	34 SPACES
DWELLING, MULTI-FAMILY:	
GARAGE PARKED :	18 SPACES
RESIDENTIAL COMMUNITY AMENITY :	12 SPACES
(ACCESSIBLE SPACES @ AMENITY):	2 SPACES
ELECTRIC VEHICLE PARKING CREDIT :	12 SPACES
GRAND TOTAL PROVIDED :	409 SPACES
MOTORCYLCE PARKING :	6 SPACES
BICYCLE PARKING :	7 BIKE CAPACITY RACK

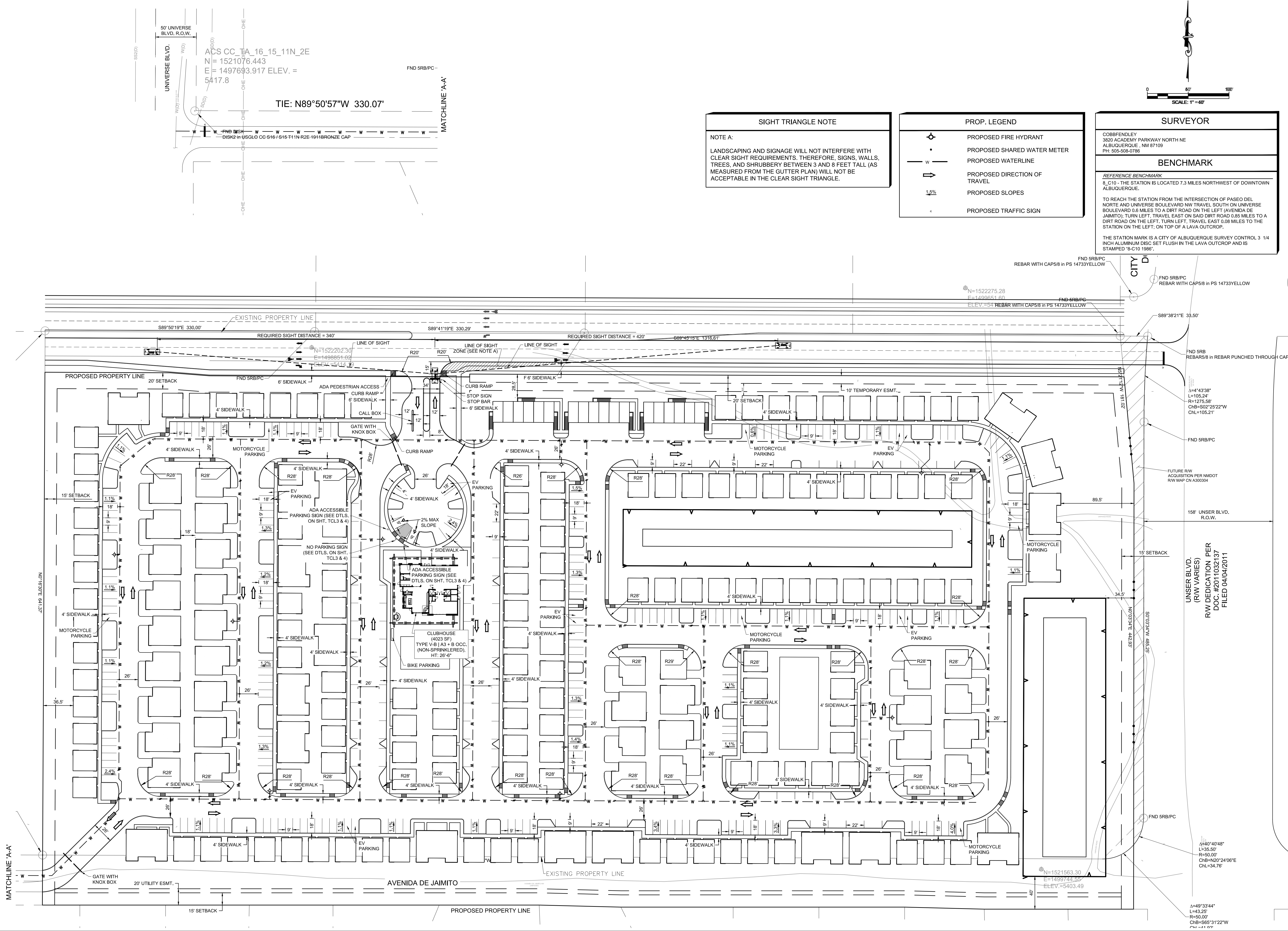


ZIP CODE: 87114
CITY OF ALBUQUERQUE, BERNALILLO COUNTY,
NEW MEXICO

CobbFendley
Cobb, Fendley & Associates, Inc.
3820 Academy Parkway North NE
Albuquerque, NM 87109
505.508.0786 | www.cobfen.com

AUGUST 2024

C:\Users\jlm\Documents\Projects\2023\12038\JLM_Living_LLC\03_JLM_Paseo_Final_Design\400_CAD\410_Land\DWG\TCL\231203801_TCL_2.dwg Saved: 9/24/2024 11:27:20 AM/aali



CobbFendley
Cobb, Fendley & Associates, Inc.
3820 Academy Parkway North NE
Albuquerque, NM 87109
505.508.0786 | www.cobbfn.com

INTERIM REVIEW
Not intended for construction.
Noting of errors for purposes of
Engineer: MICHAEL F. A. MAZZOLA
P.E., Serial No.: 1171709
Date: SEPTEMBER 2024

JLM LIVING
ALBUQUERQUE, NEW MEXICO
PROPOSED CONDITIONS

Issue Dates:

Drawn By: AAA

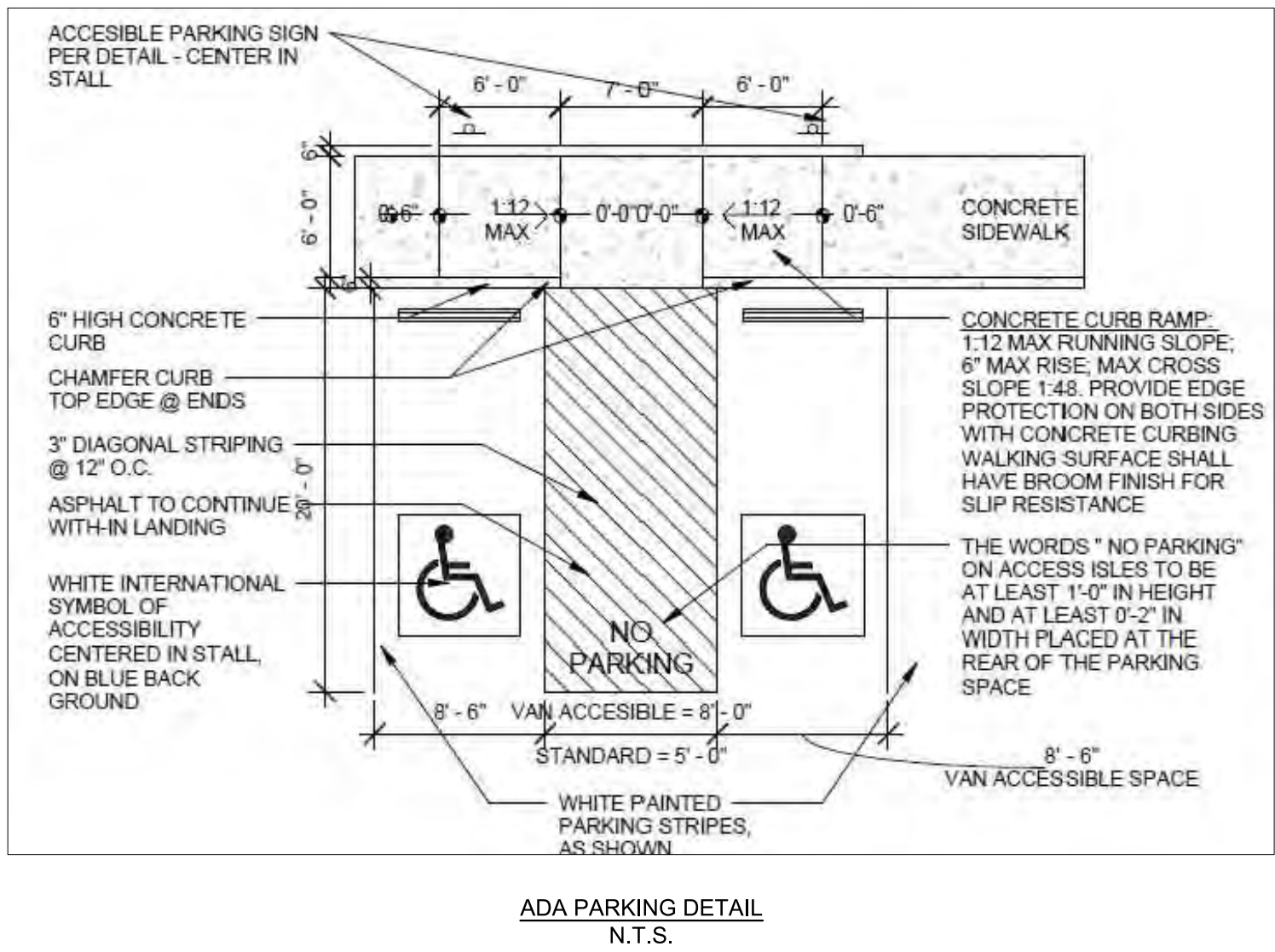
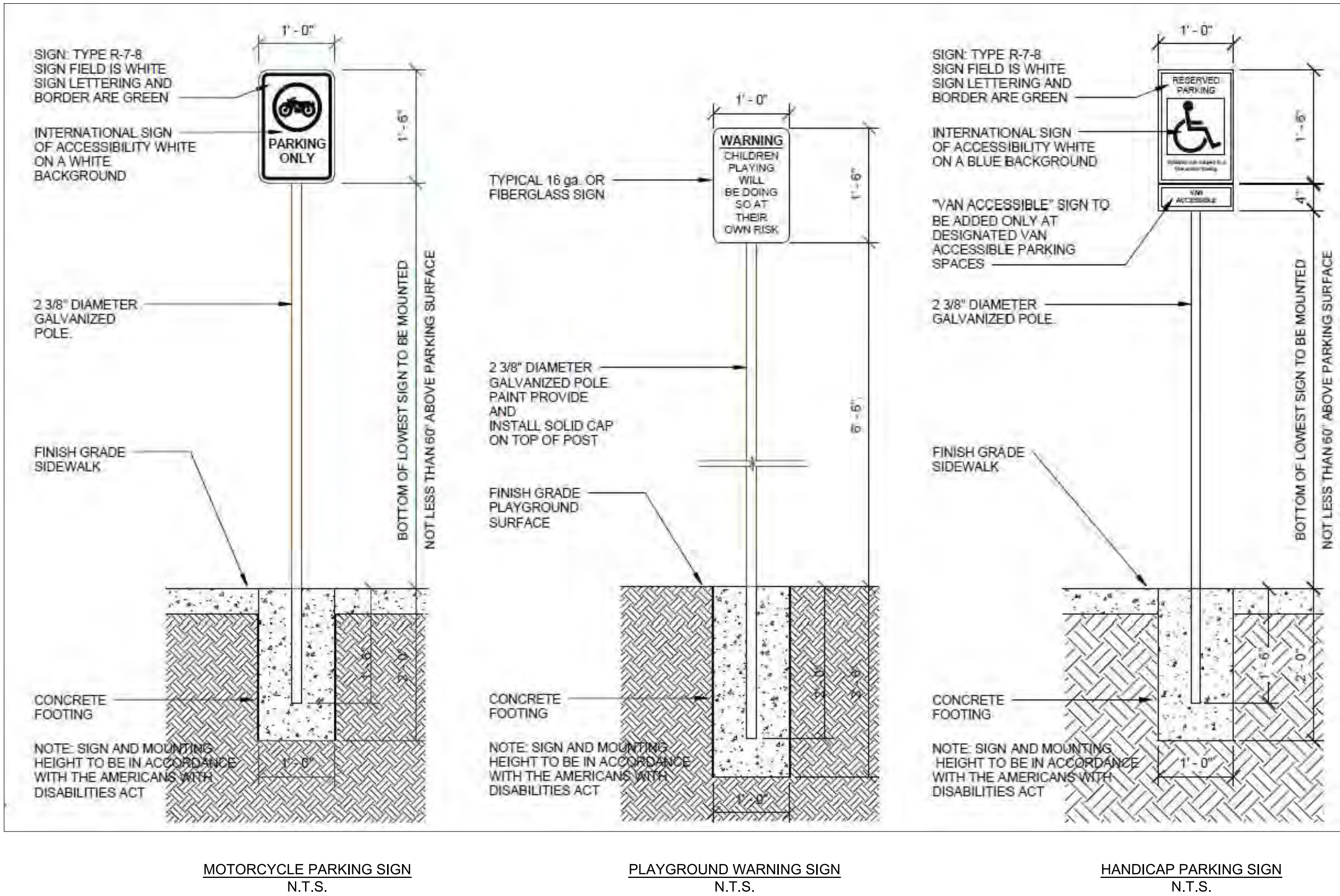
Checked by: MFAM

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TCL2

Project No.

C:\p\Projects\2023\12038_JLM_Living_LLC\03_JLM_Living_LLC\03_JLM_Paseo_Final_Design\400_CAD\410_Land\DWG\TCL\231203801_TCL 3 DTL.dwg Saved: 9/24/2024 12:29:05 PM aal



*Reduce spacing to fit for 600, 900 and 1200 sizes
**Recommend square shape for 900 and 1200 sizes

A	B	C	D	E	F	G	H	J	K	L
300	400	10	15	112	75 D	51	50 C	60	113.5	40
450	600	10	15	175	100 D	75	75 C	80	169.5	40
600	750	10	15	175	150 D	125	125 C	120	249	50
900	1200	15	25	337	200 D	151	175 C	160.5	380	60
1200	1500	20	30	412	250 D	201	225 C	200.5	508.5	70

COLORS: LEGEND — RED (RETROREFLECTIVE)
BACKGROUND — WHITE (RETROREFLECTIVE)

October 30, 2024

Chair
Eric C. Olivas
County of Bernalillo
Commissioner, District 5

Vice Chair
Louie Sanchez
City of Albuquerque
Councilor, District 1

Barbara Baca
County of Bernalillo
Commissioner, District 1

Joaquin Baca
City of Albuquerque
Councilor, District 2

Adriann Barboa
County of Bernalillo
Commissioner, District 3

Klarissa Peña
City of Albuquerque
Councilor, District 3

Timothy M. Keller
City of Albuquerque
Mayor

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Rembrandt Fernandez
Cobb, Fendley & Associates, Inc.
3820 Academy Pkwy N NE
Albuquerque, NM 87109

RE: Water and Sanitary Sewer Serviceability Letter #240405
Project Name: JLM Living - Paseo Multi Family Housing Development
Project Address: Unaddressed
Legal Description: Portion of Tract 1, Paradise Hills
UPC: 101006410022530110
Zone Atlas Map: C-10

Dear Mr. Fernandez:

Project Description: The subject site is located along the northwest corner of Avenida de Jaimito and Unser Boulevard, within the City of Albuquerque. The proposed development consists of approximately 19.7 acres and the property is currently zoned MX-T and MX-M for a mix of medium-intensity and transition mixed use. The property lies within the Pressure Zone 4W in the Corrales Trunk.

The Request for Availability indicates plans to develop a 225 dwelling unit multi-family housing development at the intersection of Unser Boulevard and Avenida De Jaimito. The development will take place within a single legally platted lot.

Development Agreement Required: This property is outside of the Water Authority's Established Service Area. Pursuant to the System Expansion Ordinance, service to this property shall be subject to a Development Agreement approved by the Water Authority Board which will establish the conditions for service. Per this ordinance, Board approval shall only be given if the development conforms to the provisions of applicable comprehensive plans and/or planning documents or policies. Contact Utility Development regarding the Development Agreement process.

Existing Conditions:

Water infrastructure in the area consists of the following:

- 12-inch PVC distribution line (project #26-965.01901-18) along Universe Boulevard.

Sanitary sewer infrastructure in the area consists of the following:

- 15-inch PVC sanitary sewer interceptor (project #26-7300.70-16) along Universe Boulevard.

Water Service: New metered water service to the property can be provided contingent upon a developer-funded project to extend the following infrastructure:

- In accordance with the Development Process Manual, which states that all lines must be looped, the required 12-inch distribution line extension along the future extension of Woodmont Avenue, must be connected to the 12-inch distribution

line in Universe Boulevard. To create that connection, a 12-inch distribution line can be extended through the property directly west of the subject property (legally described as Tract 4 Bulk Land Plat of the Trails Unit 4), to the existing 12-inch distribution line located just east of the intersection of Woodmont Avenue and Universe Boulevard, along the 50 foot public water and sanitary sewer easement shown in the Bulk Land Plat of the Trails Unit 4 granted in 2007.

- A 12-inch distribution line along the northern project boundary, which will be Woodmont Avenue, to the required 12-inch distribution along Unser Boulevard.
- A 12-inch distribution line along Unser Boulevard, along the subject site's eastern property frontage.
- A 12-inch distribution line from the intersection of Avenida de Jaimito and Unser Boulevard, east along Avenida de Jaimito to the proposed 12-inch distribution line to be located at the intersection of Urraca Street and Avenida de Jaimito, which is a requirement for La Cuentista Phase 4. As required by Serviceability Letter #210733 for the La Cuentista project, a 4W pressure zone 12-inch distribution line must be extended from Rosa Parks Road along Frambuesa Road, Valiente Road, and Urraca Street to the intersection of Avenida de Jaimito and Urraca Street. Currently, La Cuentista Phase 3 is constructing this required water line from Rosa Parks Road to a point along Frambuesa Road, just south of Valiente Road. La Cuentista Phase 4 (which has not been approved for construction) is required to continue this water line from the Phase 3 terminus to the intersection of Avenida De Jaimito and Urraca Street. Based on the timing of the La Cuentista development, this subject development (JLM Housing) may be required to construct any remaining sections of the water line required of La Cuentista, to facilitate a looped water line. Any remaining sections water line needed to facilitate a looped water line, shall be included on an infrastructure list for this development.

Upon completion of the infrastructure construction, the development may receive service via routine connection to the required 12-inch distribution line along Unser Boulevard or the required 12-inch distribution line along the northern property boundary (Woodmont Avenue extension) via a single master meter or multiple meters along the public right-of-way.

The engineer is responsible for determining pressure losses and sizing the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Fire hydrants shall be on mains when water lines are extended, in conjunction with coordination with the Fire Marshal and according to spacing criteria that varies according to proposed land use adjacent to the water line. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and the collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: The Water Authority will be constructing a 15-inch sanitary sewer interceptor along the southern boundary of Volcano Heights in coordination with the Paseo del Norte/Unser Boulevard widening projects. The 15-inch sanitary sewer interceptor will extend along the Avenida De Jaimito alignment, along the southern boundary of the subject property. The current expected time to complete this is 2027.

For the full buildout condition, the entire Volcano Heights area flow shall be conveyed to the 15-inch interceptor along Avenida de Jaimito and Paseo del Norte corridor.

As a condition of service, in order facilitate the interceptor extension along Avenida de Jaimito, the developer must adhere to the following conditions:

- Due to the anticipated completion of the JLM Housing project prior to the construction of the 15-inch interceptor by the Water Authority, excavation of the required trench (including rock trenching) and subsequent backfilling of said trench with suitable fill materials shall be completed by the developer to avoid disturbance to the proposed development. The trench excavation and backfill by the developer shall follow the design specifications set forth by the Water Authority and its consultant. This item shall be included on an Infrastructure List and accompanying financial guarantee associated with this proposed development. Initial coordination between the Water Authority and the development team have taken place regarding this requirement.
- Exclusive easement greater than the standard minimum width of 20-feet will be required for the 15-inch interceptor. The width of the necessary easement shall be based on the final interceptor design provided by the Water Authority and its consultant. Final determination of easement alignments and widths will be coordinated through the Development Hearing Officer process, as the plat will require approval by the Water Authority. Initial coordination between the Water Authority and the development team have taken place regarding this requirement.
- Adequate access for Water Authority Vactor trucks to future sanitary sewer manholes located along the 15-inch interceptor must be ensured via easement shown on plat. Coordination with Water Authority will be necessary to ensure proposed access is adequate. This item shall be included on an Infrastructure List and accompanying financial guarantee associated with this proposed development. Initial coordination between the Water Authority and the development team have taken place regarding this requirement.

Additionally, to obtain sewer service, the following developer funded infrastructure is required:

- An eight-inch collector line must be constructed along Unser Boulevard to cover the frontage of the subject site and terminate near the future location of the proposed manhole along the proposed 15-inch interceptor. When the 15-inch interceptor is constructed, this collector line will be connected into the interceptor via the Water Authority's project. Coordination with Water Authority Centralized Engineering is required to understand expected inverts of the 15-inch interceptor project, while also considering future extensions to serve remaining property upstream.
- An eight-inch collector line must be extended along the northern property boundary along the potential extension of Woodmont Avenue from the required eight-inch collector line along Unser Boulevard. It shall extend such that the undeveloped tracts north of the subject site may receive perpendicular service.

Given that the 15-inch interceptor along Avenida de Jaimito / Paseo del Norte will not be in place until 2027, temporary sanitary sewer service to the property can be provided via a developer-funded project to install a private grinder pump and force main to connect to the existing 15-inch interceptor along Universe Boulevard. Once the 15-inch interceptor along Avenida de Jaimito is constructed, along with the connected eight-inch collector along Unser Boulevard, the private grinder pump and private force main connection to the Universe Boulevard interceptor must be abandoned and the development shall connect to the required eight-collector along Unser Boulevard. The removal/abandonment of the proposed private grinder pump and force main shall be included on the infrastructure list and associated financial guarantee.

No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1,750 gallons per minute. One fire hydrant is required for fire flow purposes, but eight other hydrants are needed for spacing purposes. There are zero existing hydrants available and nine new hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at the terminus of the required eight-inch distribution line extension.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Prevention and Control Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees,

branches, possible connection fittings, or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. Per the Cross Connection Prevention and Control Ordinance, multi-family dwellings of three or more stories, such as apartment buildings, must adhere to the cross connection prevention requirements for non-residential premises. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations, or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration, or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker, or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority recommends that all backflow (containment) devices be located above ground just outside the easement or road right-of-way, the containment backflow device can be installed within the building if there are no tees, branches, possible connection fittings, or openings between the reduced principal backflow prevention assembly and the service connection unless protected by another reduced pressure backflow prevention assembly device. Contact Cross Connection at (505) 289-3465 for more information.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed.

As stated in the sanitary sewer service requirements, exclusive easement greater than the standard minimum width of 20-feet will be required for the 15-inch interceptor. Final

determination of easement alignments and widths will be coordinated through the Development Hearing Officer process, as the plat will require approval by the Water Authority.

Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of facilities to be owned by the Water Authority such as pump stations, reservoirs, wells, lift stations, or any other facility.

The Water Authority shall be granted perpetual, exclusive easement(s) in gross for the construction, installation, maintenance, repair, modification, replacement and operation of public water and sanitary lines, equipment and facilities reasonably necessary to provide service together with free access on and over the easement and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with use of the easement.

Pro Rata: As described in this statement, the extension of public water and sanitary sewer lines may be eligible for partial reimbursement through the Pro Rata process as detailed in the Water Authority Water and Wastewater System Expansion Ordinance.

Pro Rata is not owed, and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: The design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the City of Albuquerque via the Work Order process. Designs must be performed by a licensed, professional engineer registered in the state of New Mexico. Construction must be performed by a licensed (GF 9 or GF 98) and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

UECs associated with multi-family are determined by the criteria set forth in the Water Authority Rate Ordinance, which is amended from time to time. These specific UECs take into account the number of units within the multi-family development. If the multi-family development includes other amenities such as a clubhouse, fitness center or leasing office that will be metered separately, UECs for these amenities will not be charged as they are included in the multi-family UEC calculation. UECs associated with irrigation meters are not included in the multi-family calculation and shall be paid accordingly.

The Rate Ordinance does provide an opportunity for UEC discounts for low-income housing developments. If the development qualifies for these discounts, the developer will be required to provide documentation as stated in the Rate Ordinance. Furthermore, if the development includes both low-income and market-rate apartments, the same requirements set forth in the Rate Ordinance shall be adhered to.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

Water Resource Charge (WRC): Any expansion of water service outside of the Water Authority's Established Service Area will be assessed a Water Resource Charge(s) (WRC) as provided in the Water Authority's Water and Sewer Rate Ordinance for the development of new water resources, rights, and supplies necessary to serve the development. Properties that receive only sewer service will not be charged a WRC. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding WRCs.

Facility Fees: The developer will be responsible for paying a Facility Fee to the Water Authority which reflects the proportional costs for the development that are associated with the construction of the 15-inch interceptor along Avenida de Jaimito / Paseo del Norte. The development agreement will provide more information regarding the requirement of possible facility fees. No utility services will be sold until the Facility Fee is paid in whole.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This serviceability letter does **not** provide a commitment from the Water Authority to provide services to the development. It only provides details of infrastructure that is available and potential precursors for the proposed development.

For service to be provided, an approved development agreement must be supplemented by this serviceability letter. The serviceability letter will remain in effect for a period of one (1) year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,



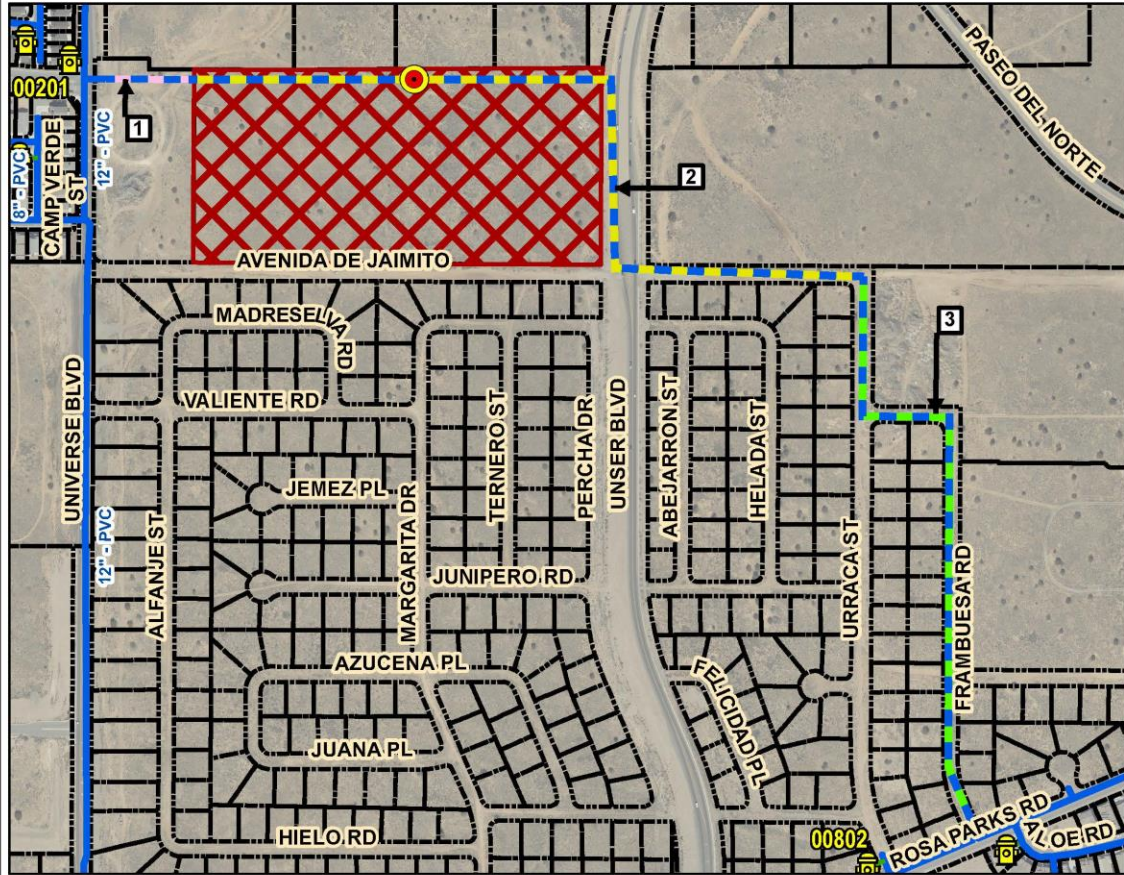
Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps

f/ **Serviceability Letter #240405**

..

240405 - Water



0 900 1,800 Feet



Legend



Hydrant



Project Location

Water Pipe

Subtype

— Distribution Line

— Hydrant Leg

Fire Flow Analysis Points



Analysis Point (1)



--- General Map Keyed Notes

1 - 12-inch water line extension preferred option

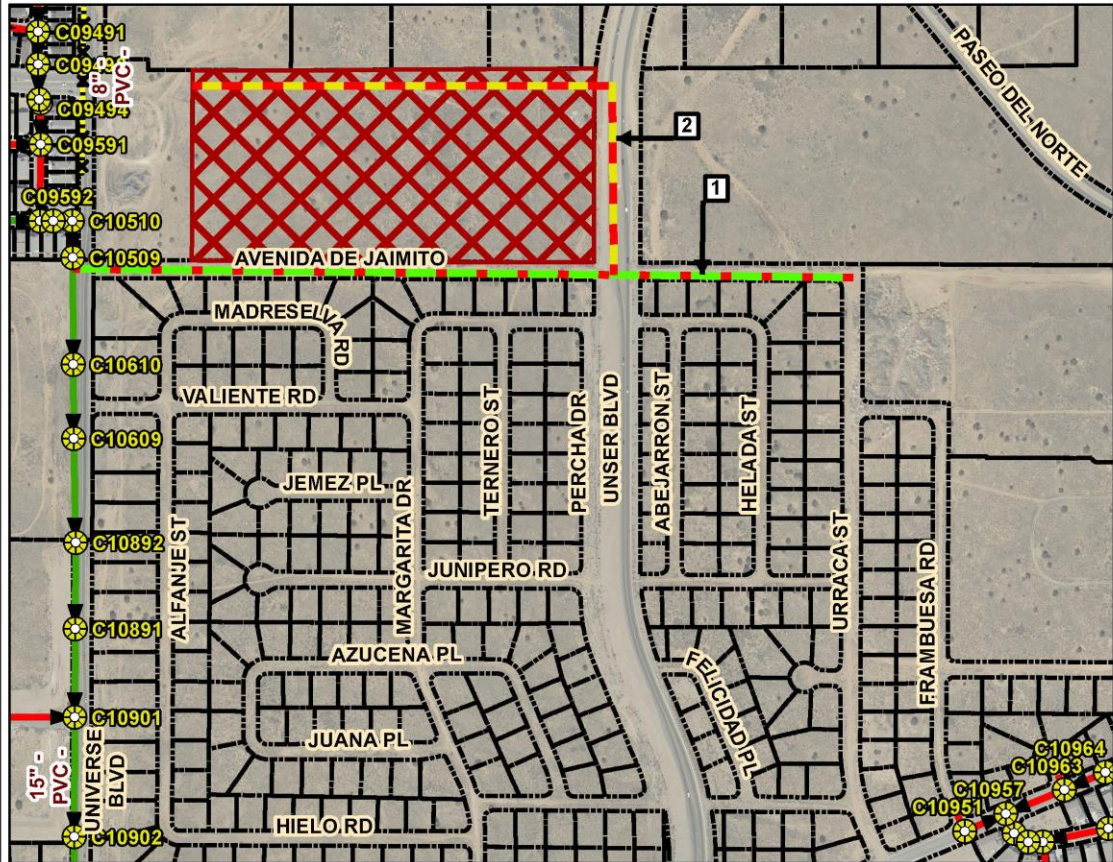
2 - 12-inch water line required along northern property frontage, Unser blvd, Avenida De Jaimito

3 - 12-Inch water line to be constructed by La Cuentista



Water Utility
Authority

240405 - Sanitary Sewer



Legend

Sewer Manhole

Project Location

Sewer Pipe

Subtype

COLLECTOR

FORCE MAIN

INTERCEPTOR

Abandoned

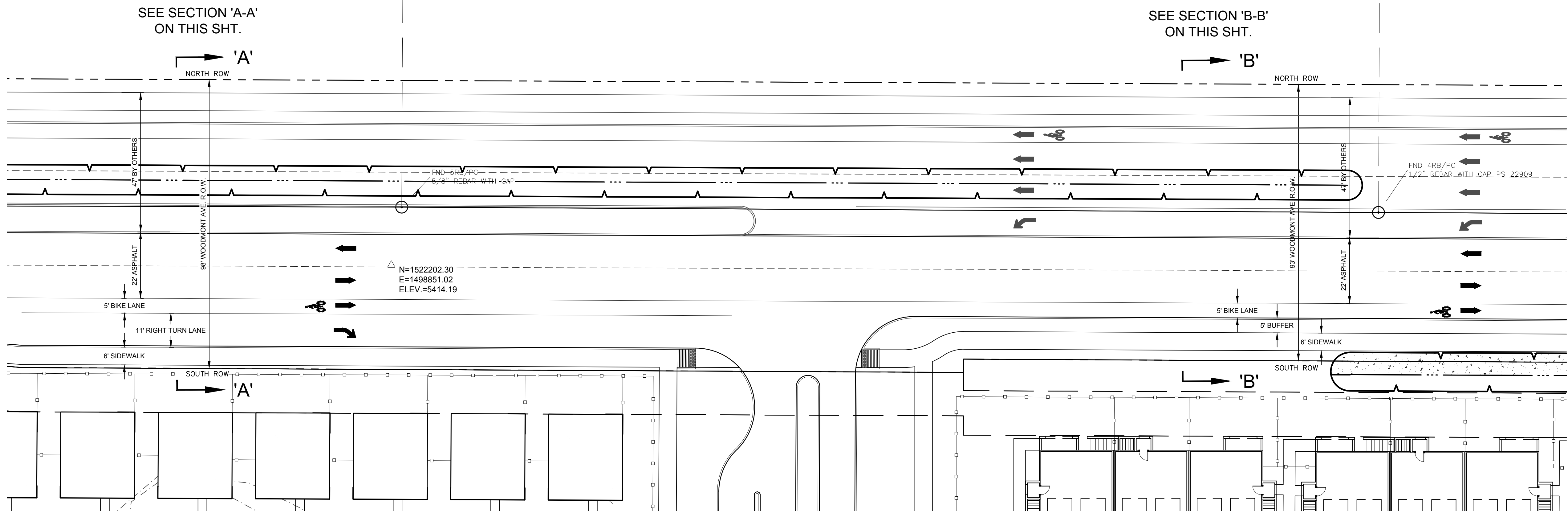
--- General Map Keyed Notes

1 - 15-inch interceptor to be constructed by ABCWUA

2 - Required 8-inch collector line along northern property frontage and Unser Blvd



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SURVEYOR

COBBFENDLEY
3820 ACADEMY PARKWAY NORTH NE
ALBUQUERQUE, NM 87109
PH: 505-508-0786

BENCHMARK

REFERENCE BENCHMARK
8_C10 - THE STATION IS LOCATED 7.3 MILES NORTHWEST OF DOWNTOWN ALBUQUERQUE.
TO REACH THE STATION FROM THE INTERSECTION OF PASEO DEL NORTE AND UNIVERSE BOULEVARD NW TRAVEL SOUTH ON UNIVERSE BOULEVARD 0.6 MILES TO A DIRT ROAD ON THE LEFT (AVENIDA DE JAMITO), TURN LEFT, TRAVEL EAST ON SAID DIRT ROAD 0.85 MILES TO A DIRT ROAD ON THE LEFT, TURN LEFT, TRAVEL EAST 0.08 MILES TO THE STATION ON THE LEFT, ON TOP OF A LAVA OUTCROP.
THE STATION MARK IS A CITY OF ALBUQUERQUE SURVEY CONTROL 3 1/4 INCH ALUMINUM DISC SET FLUSH IN THE LAVA OUTCROP AND IS STAMPED '8-C10 1986'.

11/11/2024

JLM LIVING
ALBUQUERQUE, NEW MEXICO

SIDEWALK CROSS SECTION

Issue Dates:

Drawn By: AAA

Checked by: MFAM

Sheet

Project No.

SIDEWALK WAIVER EXHIBIT

11/11/2024

JLM LIVING
ALBUQUERQUE, NEW MEXICO
PROPOSED SITE PLAN

Issue Dates:

Drawn By: AAA

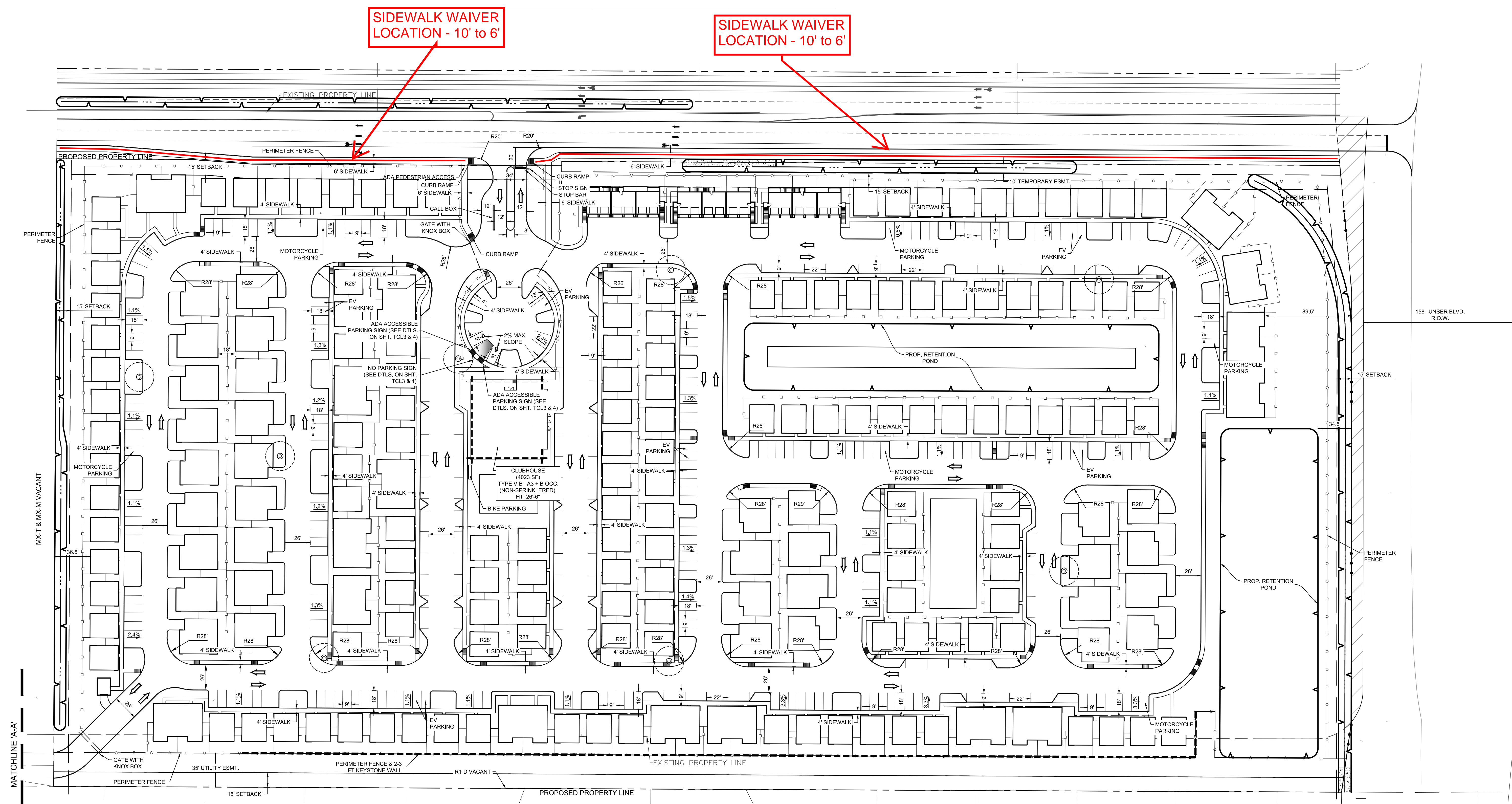
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Project No.

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JLM Living - Albuquerque					
UNIT TABULATIONS					11/6/24
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA(SF)	PATIO AREA	UNIT COUNT	UNIT % BREAKDOWN
A4	1 BEDROOM	746	94	9	24%
A5	1 BEDROOM	712	146	34	
A7	1 BEDROOM	668	62	9	
B1	2 BEDROOM	934	143	15	70%
B4	2 BEDROOM	1,156	84	139	6%
C1	3 BEDROOM	1,601	129	12	
TOTALS				218	100%

SITE INFORMATION
NET SITE AREA: 19.603 AC. ZONING: MX-T LAND USE: VACANT OVERLAY ZONES: CPO-13, VPO-2 URBAN CENTER: VOLCANO HEIGHTS
SETBACK REQUIRED AND PROVIDED: FRONT: MIN: 5', MAX: 15' SIDE: MIN: 0', MAX: N/A REAR: 0'
SETBACK PROVIDED: FRONT: 15' SIDE: 36.5' (W), 89.5' & 35.5' (E) REAR: 15' (TO 40' EASEMENT)

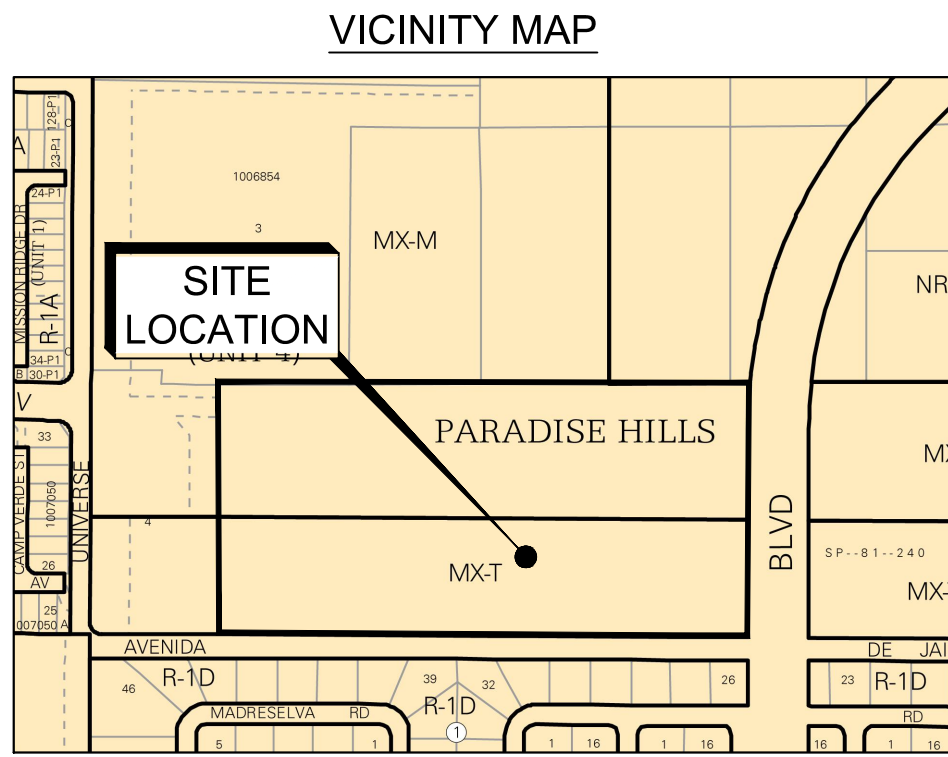
PARKING			6-Nov-24
DWELLING, SINGLE-FAMILY DETACHED	1 SPACE / DU UP TO 2 BR 2 SPACE / DU WITH 3 OR MORE BR	163 SPACES REQUIRED 24 SPACES REQUIRED 187 TOTAL REQUIRED 297 SURFACE SPACES 34 GARAGE SPACES 331 TOTAL PROVIDED	PROVIDED :
DWELLING, DUPLEX (SINGLE FAMILY ATTACHED)	1 SPACE / DU UP TO 2 BR	34 SPACES REQUIRED 34 SPACES PROVIDED	PROVIDED :
DWELLING, MULTI-FAMILY	UC-MS-PT : 1 SPACE/DU	9 SPACES REQUIRED 18 GARAGE SPACES PROVIDED	PROVIDED :
RESIDENTIAL COMMUNITY AMENITY	3 SPACES / 1000 SF GFA + REQ. IN TABLE 5-5-2 4,023 SQ. FT. = 4.023, ROUNDED TO 5	5 SPACES REQUIRED	PROVIDED :
EV PARKING CREDIT :		12 SPACES	
ACCESSIBLE PARKING		2 SPACES REQUIRED 2 SPACES PROVIDED	
MOTORCYCLE PARKING :	301-500 SPACES REQUIRES:	6 MOTORCYCLE SPACES 6 SPACES PROVIDED	
BICYCLE PARKING :	>OR= 5 MF SPACES, 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING	3 REQUIRED 7 PROVIDED	

PROJECT NUMBER: _____
Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved
DRC plans with a work order is required for any construction within Public Right-of-Way
or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

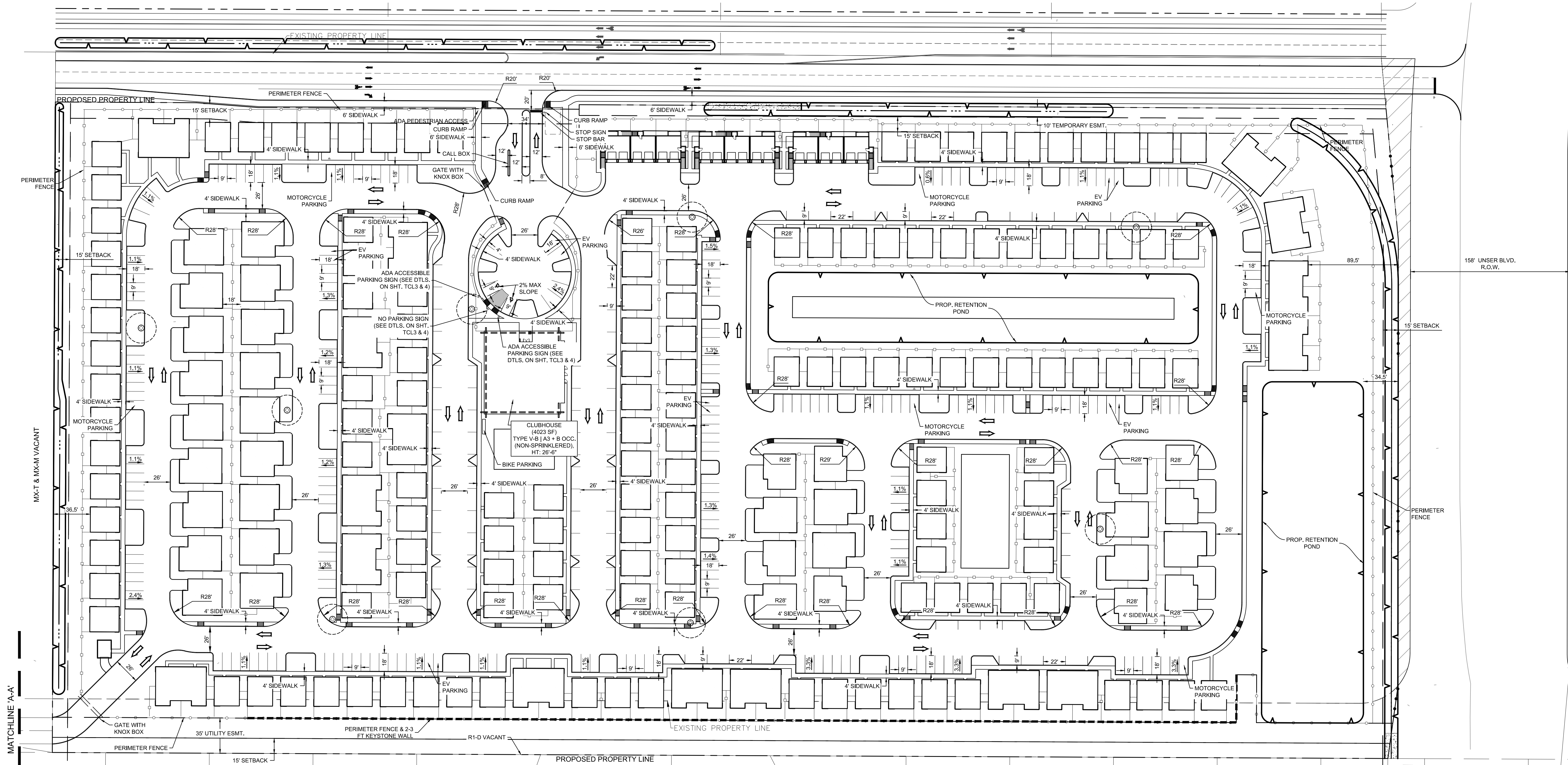
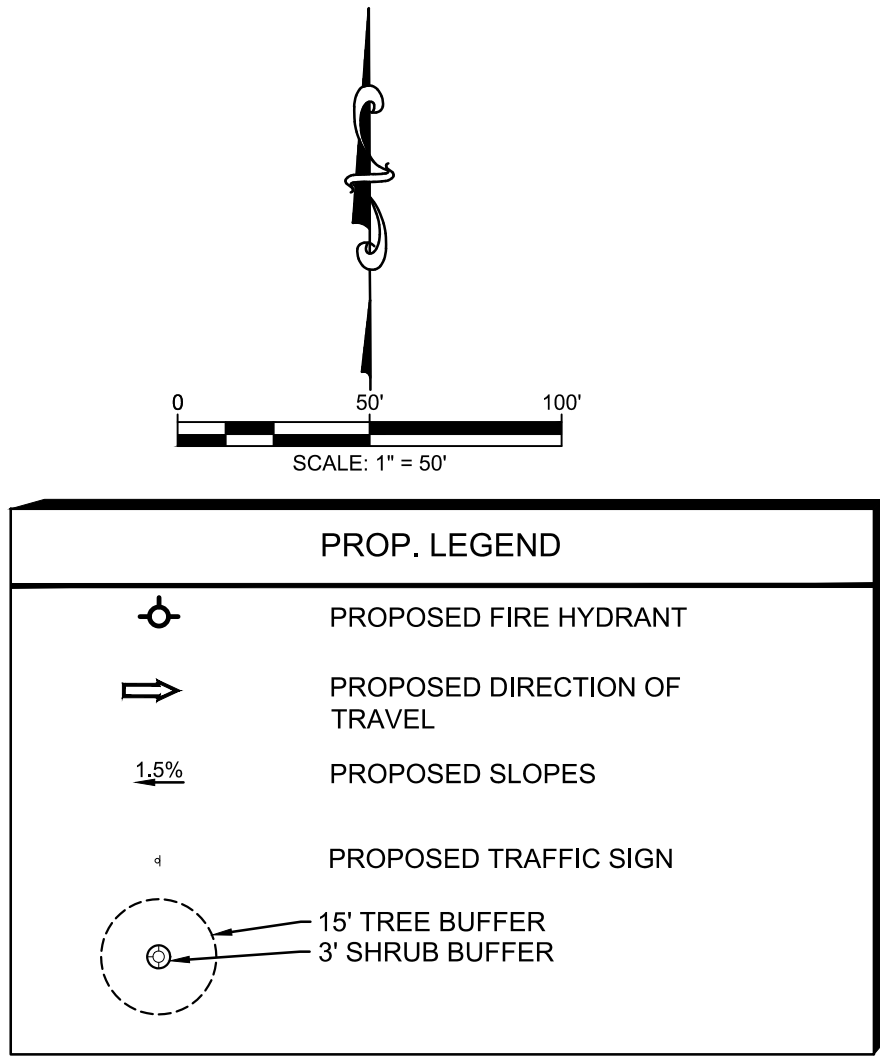
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date



ZONE ATLAS C-10-Z

GENERAL SHEET NOTES

- ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE LINE OF SIGHT AREA.
- ALL INTERNAL SIDEWALK SHALL BE 4 FEET IN WIDTH UNLESS OTHERWISE NOTED.
- ONSITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE OR AS PER PNM STANDARD REQUIREMENTS.
- CONCRETE CONTROL JOINT SPACING SHOULD MATCH ADJACENT WIDTH.
- EXTERIOR LIGHT POLES AT FIRE TRUCK DRIVEWAYS TO BE MIN. 5'-0" AWAY FROM CURB.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB PER DPM STANDARD DETAINING.



FOR EXHIBIT ONLY

Issue Dates:

Drawn By: AAA

Checked by: MFAM

Sheet

C0.1

Project No.

CobbFendley

Cobb, Fendley & Associates, Inc.
3820 Academy Parkway North NE
Albuquerque, NM 87109
505.508.0786 | www.cobfen.com

11/11/2024

PROPOSED SITE PLAN

**FOR INFORMATIONAL PURPOSES:
INFRASTRUCTURE LIST IS TIED TO
THE SITE PLAN-ADMINISTRATIVE/DFT**

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST

JLM Living

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

see attached

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst
DRC #	DRC #						Inspector	P.E.	Engineer
		12"	Potable Water Line	Woodmont Ave NW	Universe Blvd NW	Unser Blvd NW	/	/	/
		12"	Potable Water Line	Unser Blvd NW	Woodmont Ave NW	Ave de Jaimito NW	/	/	/
		12"	Potable Water Line	Ave de Jaimito NW	Ave de Jaimito NW/ Unser Blvd NW	Ave de Jaimito NW/ Urraca St NW	/	/	/
		8"	Sanitary Sewer Line- east/west	Woodmont Ave NW	Unser Blvd NW	West - 1,400 feet	/	/	/
		8"	Sanitary Sewer Line north/south	Unser Blvd NW	Woodmont/ Unser Ave NW	Ave de Jaimito NW/ Unser Blvd NW	/	/	/
		26-ft wide	2-Lane Street with sidewalk/landscaping	Woodmont Ave NW	Unser Blvd NW	West - 1,400 feet	/	/	/
		10' paved	Multi-Use Trail	Unser Blvd NW frontage	Unser Blvd NW	Ave de Jaimito NW	/	/	/
		5' wide	Drainage Swale	Woodmont Ave NW	Unser Blvd NW	West - 790 ft	/	/	/
			Utility Trench/ w select backfil	Ave de Jaimito NW	Universe Blvd NW	Unser Blvd NW	/	/	/

Date Submitted: 11/25/2024

Date Site Plan Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DFT Project No.: CPN 761279

DFT Application No.: _____

Financially Guaranteed DRC #	Constructed Under DRC #	Size 26-ft wide	Type of Improvement 2-Lane Street with sidewalk/landscaping	Location Ave de Jaimito NW	From Universe Blvd NW	To East - 350 ft to west property line	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
							Approval of Creditable Items:		Approval of Creditable Items:
							Impact Fee Administrator Signature Date		City User Dept. Signature Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 _____

2 _____

3 _____

AGENT / OWNER	DEVELOPMENT FACILITATION TEAM APPROVALS
---------------	---

_____ NAME (print)	_____ PLANNING - date	_____ PARKS & RECREATION - date
_____ FIRM	_____ TRANSPORTATION DEVELOPMENT - date	_____ AMAFCA - date
_____ SIGNATURE - date	_____ UTILITY DEVELOPMENT - date	_____ CODE ENFORCEMENT - date
	_____ CITY ENGINEER - date	_____ HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

EXISTING LEGAL DESCRIPTION FOR PROPERTY:

A CERTAIN PARCEL OF LAND SITUATED WITHIN THE TOWN OF ALAMEDA GRANT, TOWNSHIP 11 NORTH, RANGE 2 EAST, PROJECTED SECTION 15, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS THE FOLLOWING.

BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL DESCRIBED HEREIN WHERE A NUMBER FIVE REBAR WITH A PLASTIC CAP STAMPED "LS 11808" WAS FOUND, WHENCE A FOUND 3 INCH USGLO SURVEY CONTROL BRASS DISC STAMPED "TA,S16,S15 1911" BEARS N 80°37'08" W , A DISTANCE OF 334.29 FEET;
 THENCE, N 00° 16' 15" E , A DISTANCE OF 646.10 FEET ALONG THE WESTERLY LINE OF TRACT 1, TO THE NORTHWEST CORNER OF SAID PARCEL;
 THENCE, S 89° 42' 21" E , A DISTANCE OF 140.15 FEET ALONG THE NORTHERLY LINE TO AN ANGLE POINT;
 THENCE, S 85° 33' 41" E , A DISTANCE OF 62.27 FEET CONTINUING ALONG THE NORTHERLY LINE TO AN ANGLE POINT;
 THENCE, S 89° 42' 21" E , A DISTANCE OF 318.01 FEET CONTINUING ALONG THE NORTHERLY LINE TO AN ANGLE POINT;
 THENCE, N 00° 17' 39" E , A DISTANCE OF 4.50 FEET TO AN ANGLE POINT;
 THENCE, S 89° 42' 21" E , A DISTANCE OF 801.32 FEET ALONG THE NORTHERLY LINE TO THE NORTHEAST CORNER OF SAID PARCEL;
 THENCE, S 05° 21' 26" E , A DISTANCE OF 131.16 FEET ALONG THE EASTERLY LINE OF SAID PARCEL CONTIGUOUS WITH THE WESTERLY RIGHT OF WAY AND ACCESS LINE OF UNSER BOULEVARD, NEW MEXICO PROJECT NUMBER A300304, TO AN ANGLE POINT;
 THENCE, S 00° 03' 55" W , A DISTANCE OF 442.54 FEET CONTINUING ALONG SAID EASTERLY LINE TO AN ANGLE POINT;
 THENCE, S 07° 51' 04" W , A DISTANCE OF 72.85 FEET CONTINUING ALONG SAID EASTERLY LINE TO THE SOUTHEAST CORNER OF SAID PARCEL; THENCE N 89° 44' 29" W , A DISTANCE OF 1326.43 FEET ALONG THE SOUTHERLY LINE OF SAID PARCEL TO THE POINT OF BEGINNING.
 SAID PARCEL CONTAINS 859,344 SQUARE FEET, OR 19.7278 ACRES, MORE OR LESS.

Memorandum

To: Robert Lucero, Development Hearing Officer (DHO)
From: Char Johnson, AICP, Senior Planner
Date: August 29, 2024
Re: Sensitive Lands Analysis – Avenida de Jaimito and Unser Boulevard

The following memo provides an analysis of sensitive lands on the subject property per *Section 5-2(C)(2)(a-i) Site Design and Sensitive Lands*. The legal description for the subject property is *Tract 1 (westerly portion) Summary Plat 68.75 acre Tract & 66.15 Acre Tract Paradise Hills (excluding portions out to right-of-way) containing 18.9341 acres*

- (a) **Arroyos:** No arroyos are present on the subject property.
- (b) **Floodplains and Special Flood Hazard Areas:** The subject property is in Flood Zone X, an area determined by FEMA as outside the 500-year flood and protected by levee from 100-year flood occurrence.
- (c) **Irrigation facilities (acequias):** The subject property is not located in the MRGCD (valley area of the city). Therefore, there are no acequias on the property.
- (d) **Large stands of mature trees:** The subject property does not contain any mature trees (see photo below).



Aerial view of the site showing no large stands of mature trees.

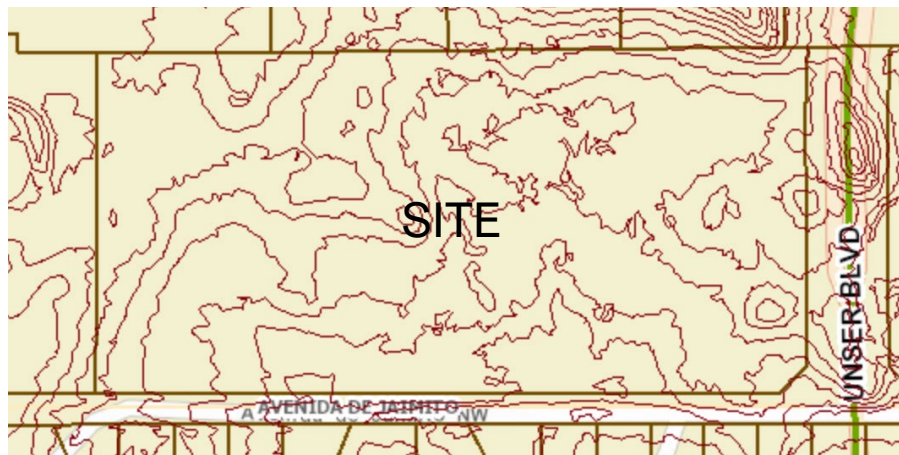
- (e) **Riparian areas:** The property does not include any riparian areas.

- (f) **Rock outcroppings:** The subject property contains one rock outcropping that does not meet the definition of a sensitive land. It is less than 4 feet high on its steepest side and is not in excess of 300 square feet in surface area (see photo below). The Applicant has expressed a desire to preserve this feature on the site.



Photo of small rock outcropping on the site (person approximately 6 feet in height).

- (g) **Significant archaeological sites:** An Archeological Survey was conducted on the site and no significant archeological sites were discovered. The Archeological Study is attached to this application.
- (h) **Steep slopes and escarpments:** The subject property has no steep slope areas above 9% as shown on the AGIS topographic map below.



AGIS 2-foot Contours Topographical Map.

- (i) **Wetlands:** The subject property does not contain any wetlands.
- (j) **Unstable Soils:** According to the Geotechnical Report for the site by Terracon, the site contains sand soils with variable amounts of clays, silt, and gravel overlying very hard shallow basalt bedrock. The report provides recommendations for earthwork, shallow foundations, and deep foundations. Cobb Fendley, the Project Engineer, is aware of the geotechnical and soil limitations on the site and will ensure that the design meets and addresses all recommendations indicated in the Geotechnical Report.

SUPPORTIVE DOCUMENTATION

August 8, 2024

City of Albuquerque
Planning Department
Plaza del Sol, 600 2nd Street NW
Albuquerque, NM 87102

Re: Letter of Authorization for Site Plan Development

Property Owners: Bedrock Investors Limited Partnership, LLLP

Contract Purchasers: JLM Living

Agent: Consensus Planning, Inc.

Property: - 18.93 acres (+/-) located at Unser Boulevard and Avenida de Jaimito (within the Volcano Heights Urban Center)

Legal Description: *Tract 1 (westerly port) summary plat 68.75 acres tracts & 66.15 acre tract Paradise Hills (excluding parts out to right-of-way) containing 18.9 acres*

Project: +/- 232 Unit Build to Rent Multi-Family Housing Project

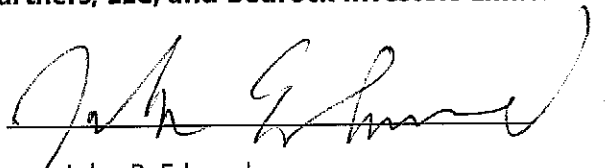
To Whom it May Concern:

The undersigned as the Owners of the Property, do hereby allow the Contract Purchaser, JLM Living to submit all required applications related to the entitlement for the subject property. The Property located at the northwest corner of Avenida de Jaimito and Unser Boulevard.

JLM Living is authorized to act as the Applicant in all submittals to the City of Albuquerque regarding the above referenced Project and Property. The Agent for the Property Owners, Consensus Planning, Inc., is also hereby authorized to represent JLM Living in such submittals. Please direct all correspondence and communication to the Applicant and our Agent for the Project.

Bedrock Partners, LLC, and Bedrock Investors Limited Partnership, LLLP:

Signature:



Printed Name: John B. Edward

Title: Manger of Bedrock Edward Management LLC & BI Management LLC General Partner.

August 7, 2024

City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Re: Agent Authorization Letter – Applicant

To Whom it May Concern:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as agent for JLM Living for the property located at the northwest corner of Avenida de Jaimito and Unser Boulevard. JLM Living is the contract purchaser and Bedrock Investors, LLC is the property owner. The property is legally described as *Tract 1 (westerly port) summary plat 68.75 acres tracts & 66.15 acre tract Paradise Hills (excluding parts out to right-of-way) containing 18.9 acres*. The agents are authorized to represent JLM Living in meetings with City of Albuquerque staff, neighborhood associations, and approval bodies.

Sincerely,

Signature: *Mark Skipalis*

Printed Name: Mark Skipalis

Title: Director of Construction



January 16, 2024

Development Hearing Officer
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

RE: Preliminary Plat – Subdivision Major and Sidewalk Waiver

Dear Development Hearing Officer,

The purpose of this letter is to request a Preliminary Plat and an associated Sidewalk Waiver by the Development Hearing Officer (DHO) for the property located at the corner of Avenida de Jaimito and Unser Boulevard. The legal description of the site is *Tract 1 (westerly portion) Summary Plat 68.75 acre Tract & 66.15 Acre Tract Paradise Hills (excluding portions out to right-of-way) containing 19.8 acres.*



BACKGROUND

A zone change from MX-M to MX-T was approved by the EPC on May 16, 2024 correcting the floating zone line on the property (PR-2023-009652/RZ-2024-00023). A Conditional Use for Multi-family Ground-floor Residential within the Volcano Heights Urban Center was approved on May 21, 2024 (VA-2024-00092). The proposed plat and site design were submitted for sketch plat review in January 10, 2024 (PS-2023-00211) and July 24, 2024 (PS-2024-00114). An application for the Vacation of Public Right-of-Way for Avenida de Jaimito was recommended for approval by the DHO on November 13, 2024 (SD-2024-00148), and subsequently approved by City Council on January 6, 2025 (EC-24-276).

EXISTING CONDITIONS

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

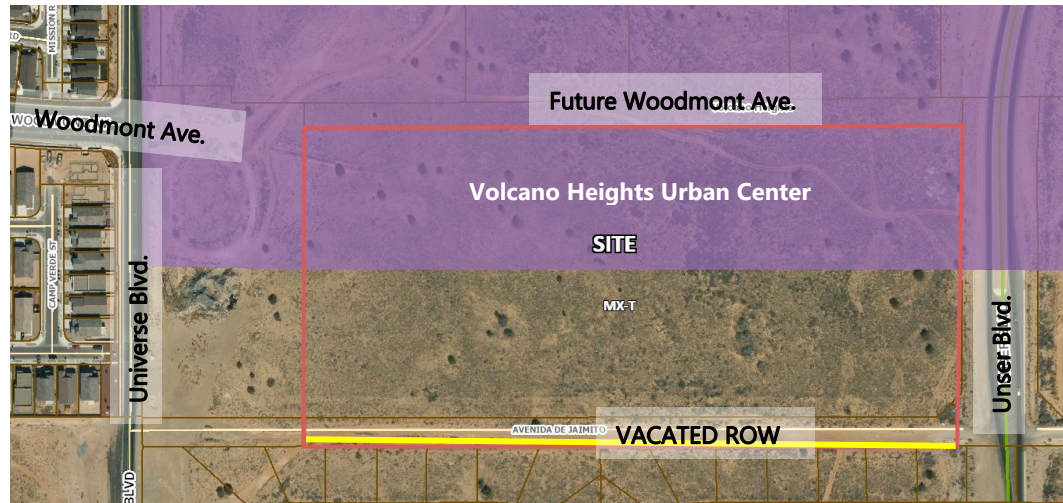
(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

PRINCIPALS

James K. Strozier, FAICP
Jacqueline Fishman, AICP

ASSOCIATES
Ken Romig, ASLA
Margaret Ambrosino, AICP

The subject property is currently vacant, consists of approximately 19.8 acres, and zoned MX-T. The northern portion of the site is within the Volcano Heights Urban Center. The site is located west of Unser Boulevard and north of vacated Avenida de Jaimito. Woodmont Avenue is anticipated to extend from Universe Boulevard along the northern perimeter of the site as a major collector, providing access to Unser Boulevard. Unser Boulevard is designated an Urban Principal Arterial and is a limited access roadway as designated by the Mid-Region Council of Governments (MRCOG) with an approved full access intersection at Woodmont Avenue.



AGIS Map Volcano Heights Urban Center.

REQUEST

The Applicant is requesting approval of a Subdivision of Land-Major (Preliminary Plat). The Preliminary Plat shifts the site boundary to the south, which will provide 47 feet of right-of-way for the future Woodmont Avenue to the north of the subject property. The site boundaries will be at the new right-of-way of Woodmont Avenue to the north and the southern edge of the vacated Avenida de Jaimito on the south and will contain a 35-foot ABCWUA easement and a 12-foot by 47.5-foot turnaround easement.

In conjunction with the Preliminary Plat the Applicant is requesting a Waiver of the following:

- 1) *DPM Table 7.2.29 Street Element Table - Major Collector / Inside Center: Sidewalk Width 10 feet*

The requested Waiver is to allow a 6-foot sidewalk width, which is the standard width for sidewalks outside of the Urban Center.



6-6(L)(3) and 6-6(P)(3) REVIEW AND DECISION CRITERIA

The following responds to the criteria for approval of a Preliminary Plat for a Subdivision of Land-Major and Waiver-DHO.

Preliminary Plat Criteria 6-6(L)(3):

6-6(L)(3)(a) A Preliminary Plat shall be approved if it complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Applicant Response: The Preliminary Plat complies with all applicable provisions of the IDO, DPM, and adopted City regulations. The Preliminary Plat is being developed with a Site Plan-Administrative/DFT and has an approved Fire 1 Plan and has received a Water Serviceability Letter from the Albuquerque Bernalillo County Water Utility Authority (ABCWUA). The Grading and Drainage Plan, Traffic Circulation Layout (TCL), and Traffic Impact Study (TIS) has also been reviewed and approved. There are no prior approvals or conditions specifically applied to the subject property. The Preliminary Plat reflects the updated boundaries based on the approved vacation of Avenida de Jaimito by City Council.

6-6(L)(3)(b) A Final Plat shall be approved if it includes all changes, conditions, and requirements contained in the Preliminary Plat approval.

Applicant Response: The Final Plat will comply with the requirements contained in the Preliminary Plat approval.

Waiver-DHO 6-6(P)(3):

6-6(P)(3) Review and Decision Criteria An application for a Waiver – DHO shall be approved if it complies with the following criteria:

6-6(P)(3)(a) Any of the following applies:

- 1. There are pre-existing obstructions that cannot be easily or economically relocated or should not be altered, such as grades, fills, watercourses, natural topographic features, manmade obstructions, or utility lines.*
- 2. The area or site has been recognized as having historical, archeological, and/or architectural significance by the City, State, or federal government, and a Waiver is needed and appropriate to maintain such historical, archeological, and/or architectural significance.*
- 3. The established neighborhood character or landscaping on the site would be damaged to a degree that outweighs the public interest in the City's normal technical standards in that location.*

4. Varying from the normal requirements and standards will encourage flexibility, economy, effective use of open space, or ingenuity in the design of a subdivision, in accordance with accepted principles of site planning.

Applicant Response: Criterion #1 best applies to the requested Waiver. There is a storm drain line required to be installed along Woodmont Avenue, which cannot be altered. To provide for the storm drain, swales are also required along Woodmont Avenue to address off-site flows coming from the north. Drainage must be rerouted via the swales, which will limit the amount of right-of-way for the construction of safe sidewalks to a 6-foot width. The proposed drainage swales were approved by City Hydrology as a solution since there is no other storm drain system in the area and the design has an approved Traffic Circulation Layout (TCL), showing the 6-foot sidewalks.

6-6(P)(3)(b) The Waiver will not be materially contrary to the public safety, health, or welfare.

Applicant Response: The requested waiver is not materially contrary to public safety, health, or welfare, as it matches the sidewalk width in accordance with requirements outside the Urban Center. The subject property has a floating boundary line, with only the northern portion situated within the Volcano Heights Urban Center, alongside the future Woodmont Avenue. It is zoned MX-T and will be developed as a moderate-density multi-family development.

The Department of Public Works (DPM) specifies a sidewalk width of 6 feet for areas outside the Urban Center, which is typical for sidewalks adjacent to residential developments. The north side of Woodmont Avenue, likely to be developed with a higher intensity use within the Urban Center, will not be affected by the requested waivers and can be developed with a 10-foot sidewalk. The proposed project will contain a 15-foot landscape buffer setback, which will contribute to a safe, healthy, and walkable environment for pedestrians.

6-6(P)(3)(c) The Waiver does not cause significant material adverse impacts on surrounding properties.

Applicant Response: The requested Waiver will not cause any significant material adverse impacts on the surrounding properties. The Waiver will only affect the right-of-way along the northern boundary of the property. Currently, the adjacent properties are vacant; however, dedication of right-of-way, alignment, and the construction of Woodmont Avenue made possible by this development, will positively benefit the area.

6-6(P)(3)(d) The Waiver will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements.

Applicant Response: The requested Waiver will not impede future planning, public right-of-way acquisition, or the financing and construction of public infrastructure improvements. In fact, these Waivers will enable the applicant to install public improvements, including a storm drainage system and

Woodmont Avenue roadway that will benefit future development. The sidewalks will comply with the City's requirements for ADA, landscaping and it will enhance connectivity from The Trails neighborhoods west of Universe Boulevard.

6-6(P)(3)(e) The Waiver will not conflict significantly with the goals and provisions of any City, County, or AMAFCA adopted plan or policy, this IDO, or any other City code or ordinance.

Applicant Response: The requested sidewalk and landscape buffer Waivers will not conflict significantly with the goals and provisions in *the IDO Section 5-3 Access and Connectivity* because it the Woodmont Avenue right-of-way will continue to provide adequate street connections through the construction of a street with bike lanes, sidewalks, landscape buffers, and drive lanes; will contribute to convenient and efficient access to the current neighborhoods west of Universe Boulevard and the future neighborhoods to the east within the Urban Center; and will support the multi-modal transportation network by allowing a variety of transportation types, walking, bicycling, and driving.

The Waiver will not conflict significantly with *DPM Part 7-1, Transportation Design* because it provides a street with sound design that will both prioritize safe streets and a storm drainage configuration that supports current and future development as shown on the TCL and the approved Grading and Drainage Plan. The proposed 6-foot sidewalk will contribute to the walkability and connectivity of this area, including the Volcano Heights Urban Center, which is a high-priority for sidewalks and pedestrian connectivity in the ABC Comprehensive Plan.

6-6(P)(3)(f) The Waiver will not allow, encourage, or make possible undesired development in the 100-year Floodplain.

Applicant Response: Criterion (f) does not apply, as the subject property is not in the 100-year Floodplain.

6-6(P)(3)(g) The Waiver will not materially undermine the intent and purpose of this IDO or the applicable zone district.

Applicant Response: The requested Waiver will not materially undermine the intent of this IDO or the MX-T zone. The intent and purpose of the IDO are many, including ensuring the provision of adequate public facilities and services for new development. The sidewalk Waiver will support this intent and purpose by providing adequate sidewalks adjacent to residential development and a landscape buffer that will provide adequate separation from traffic along Woodmont Avenue.

The intent and purpose of the MX-T zone is to provide a transition between residential neighborhoods and more intense commercial uses. The Waiver supports this transition, by providing a sidewalk width that is consistent with sidewalks in areas outside of Urban Centers. This property is unique in that only half is within the Urban Center, thereby requiring Urban Center design



guidelines for the entire site. The development of the site as a moderately low-intensity residential use is atypical of Urban Center development, but is logical as a site serving as a transition from the low density residential to the south. By allowing a 6-foot sidewalk on the southern edge of Woodmont Avenue, the intention of the zone is furthered, providing a transition to the higher intensity and development standards in the Urban Center to the north.

6-6(P)(3)(h) The Waiver does not allow a lot or type of development that does not meet the applicable Development Standards for the zone district where the lot is located, unless a deviation to such standards is within the thresholds established by Subsection 14-16-6-4(P) (Deviations) and is granted by the DHO as part of this approval.

Applicant Response: The requested sidewalk Waiver will not contribute to a development not allowed within the MX-T zone or the Volcano Heights Urban Center.

6-6(P)(3)(i) The Waiver approved is the minimum necessary to provide redress without being inconsistent with the provisions of this Subsection 14-16-6-6(P).

Applicant Response: The requested sidewalk Waiver is the minimum necessary to provide redress. The 6-foot sidewalk meets the minimum standards for sidewalks outside of the Urban Center. The Waiver requested is for the sidewalk adjacent to an MX-T zoned residential development, for which 6-foot sidewalks are appropriate.

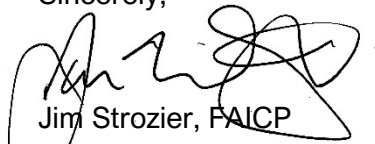
6-6(P)(3)(j) If the request is for a Waiver to IDO sidewalk requirements, the area is of low-intensity land use to an extent that the normal installation of sidewalks will not contribute to the public welfare, and the absence of a sidewalk will not create a gap in an existing sidewalk system extended to 1 or more sides of the subject property.

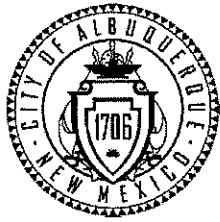
Applicant Response: The area where the Waivers are being requested is low-intensity, where 6-foot sidewalks are adequate and will not detract from public welfare. The requested Waiver will not create a gap in the existing sidewalk system, it will provide continuous 6-foot sidewalks along Woodmont right-of-way, meeting the DPM standard for sidewalks outside the Urban Center.

CONCLUSION

Based on the information above, the Applicant requests an approval of the Preliminary Plat and Sidewalk Waiver from the DHO. We appreciate your consideration of this application.

Sincerely,


Jim Strozier, FAICP
Principal



Tim Keller, Mayor
Sarita Nair, CAO

City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

DATE: August 27, 2024

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2023-009652 SI-2024-01155
Agent: Consensus Planning, Inc.
Applicant: JLM Living
Legal Description: Tr. 1 (westerly portion), 68.75 Acre and 66.15 acre tract, Paradise Hills, 18.9 acres
Zoning: MX-T
Acreage: 18.9 Acres
Zone Atlas Page(s): C-10-Z

CERTIFICATE OF NO EFFECT: ☒ Yes ☐ No

CERTIFICATE OF APPROVAL: ☐ Yes ☒ No

SUPPORTING DOCUMENTATION:

Historic Google Earth aerial images, ARMS records

SITE VISIT: N/A

RECOMMENDATIONS:


The property has been surveyed under NMCRIS 156412 with no significant finds. Therefore:

CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 1 "an archaeological investigation has been conducted..."

SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services

 8-27-2024
Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

NMCRIIS INVESTIGATION ABSTRACT FORM (NIAF)

1. NMCRIIS Activity No.: 156412	2a. Lead (Sponsoring) Agency: City of Albuquerque	2b. Other Permitting Agency(ies):	3. Lead Agency Report No.:												
4. Title of Report: Cultural Resource Survey for the Unser and Paseo del Norte Build to Rent Development in Bernalillo County, New Mexico Author(s): McDermott, Trevor			5. Type of Report <input checked="" type="checkbox"/> Negative <input type="checkbox"/> Positive												
6. Investigation Type <div style="display: flex; flex-wrap: wrap;"> <div style="width: 50%;"><input type="checkbox"/> Research Design</div> <div style="width: 50%;"><input checked="" type="checkbox"/> Survey/Inventory</div> <div style="width: 50%;"><input type="checkbox"/> Test Excavation</div> <div style="width: 50%;"><input type="checkbox"/> Excavation</div> <div style="width: 50%;"><input type="checkbox"/> Collections/Non-Field Study</div> <div style="width: 50%;"><input type="checkbox"/> Overview/Lit Review</div> <div style="width: 50%;"><input type="checkbox"/> Monitoring</div> <div style="width: 50%;"><input type="checkbox"/> Ethnographic study</div> <div style="width: 50%;"><input type="checkbox"/> Site specific visit</div> <div style="width: 50%;"><input type="checkbox"/> Other</div> </div>															
7. Description of Undertaking (what does the project entail?): JLM Living proposes to construct future rental properties. This cultural resources inventory was conducted in order to ensure compliance with all applicable federal, state, and county legislation and procedures enacted to protect nonrenewable cultural resources, including the New Mexico Cultural Properties Act of 1978, Section 106 of the National Historic Preservation Act of 1966 as amended (PL 89-665), the National Environmental Policy Act of 1969 (PL 91-852), the Archaeological Resource Protection Act of 1979 (PL 96-95), Executive Order 11593.		8. Dates of Investigation: August 16, 2024 9. Report Date: August 26, 2024													
10. Performing Agency/Consultant: Lone Mountain Archaeological Services, Inc. Principal Investigator: Douglas H. M. Boggess Field Supervisor: Brian Patton Field Personnel Names: Brian Patton		11. Performing Agency/Consultant Report No.: 4457 12. Applicable Cultural Resource Permit No(s): State NM-25-073-S													
13. Client/Customer (project proponent): JLM Living Contact: Josh Meyer Address: 3839 Bee Caves Road, Suite 204, Austin, TX 78746 Phone: 512 583-0055		14. Client/Customer Project No.:													
15. Land Ownership Status (<u>Must</u> be indicated on project map): <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Land Owner</th> <th style="text-align: center;">Acres Surveyed</th> <th style="text-align: center;">Acres in APE</th> </tr> </thead> <tbody> <tr> <td>Private</td> <td style="text-align: center;">20.9</td> <td style="text-align: center;">20.9</td> </tr> <tr> <td style="text-align: right;">TOTALS</td> <td style="text-align: center;">20.9</td> <td style="text-align: center;">20.9</td> </tr> </tbody> </table>				Land Owner	Acres Surveyed	Acres in APE	Private	20.9	20.9	TOTALS	20.9	20.9			
Land Owner	Acres Surveyed	Acres in APE													
Private	20.9	20.9													
TOTALS	20.9	20.9													
16 Records Search(es): <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%;">Date(s) of ARMS File Review</td> <td style="width: 33%;">8-13-2024</td> <td style="width: 33%;">Name of Reviewer(s) C. Travis</td> </tr> <tr> <td>Date(s) of NR/SR File Review</td> <td>8-13-2024</td> <td>Name of Reviewer(s) C. Travis</td> </tr> <tr> <td>Date(s) of Other Agency File Review</td> <td></td> <td>Name of Reviewer(s)</td> </tr> <tr> <td></td> <td></td> <td>Agency</td> </tr> </table>				Date(s) of ARMS File Review	8-13-2024	Name of Reviewer(s) C. Travis	Date(s) of NR/SR File Review	8-13-2024	Name of Reviewer(s) C. Travis	Date(s) of Other Agency File Review		Name of Reviewer(s)			Agency
Date(s) of ARMS File Review	8-13-2024	Name of Reviewer(s) C. Travis													
Date(s) of NR/SR File Review	8-13-2024	Name of Reviewer(s) C. Travis													
Date(s) of Other Agency File Review		Name of Reviewer(s)													
		Agency													
17. Survey Data: a. Source Graphics <input type="checkbox"/> NAD 27 <input checked="" type="checkbox"/> NAD 83 <div style="display: flex; justify-content: space-between;"> <div> <input checked="" type="checkbox"/> USGS 7.5' (1:24,000) topo map <input checked="" type="checkbox"/> GPS Unit Accuracy <input type="checkbox"/> <1.0m </div> <div> <input type="checkbox"/> Other topo map, Scale: <input checked="" type="checkbox"/> 1-10m <input type="checkbox"/> 10-100m <input type="checkbox"/> >100m </div> </div> b. USGS 7.5' Topographic Map Name USGS Quad Code <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="border: 1px solid black; padding: 2px;">Los Griegos, NM</td> <td style="border: 1px solid black; padding: 2px;">35106-B6</td> </tr> </table> c. County(ies): Bernalillo				Los Griegos, NM	35106-B6										
Los Griegos, NM	35106-B6														

17. Survey Data (continued):**d. Nearest City or Town:** Albuquerque, New Mexico**e. Legal Description:**

Township (N/S)	Range (E/W)	Section	1/4	1/4	1/4

Projected legal description? Yes ☐ , No ☒ Unplatted ☒**f. Other Description (e.g. well pad footages, mile markers, plats, land grant name, etc.):** Town of Alameda Grant**18. Survey Field Methods:****Intensity:** ☒ 100% coverage ☐ <100% coverage**Configuration:** ☐ block survey units ☐ linear survey units (l x w): ☐ other survey units (specify):**Scope:** ☒ non-selective (all sites recorded) ☐ selective/thematic (selected sites recorded)**Coverage Method:** ☒ systematic pedestrian coverage ☐ other method (describe)**Survey Interval (m):** 15 **Crew Size:** 1 **Fieldwork Dates:** August 16, 2024**Survey Person Hours:** 4 **Recording Person Hours:** 0 **Total Hours:** 4**Additional Narrative:** Lone Mountain surveyed a 19 acre block.

19. Environmental Setting (NRCS soil designation; vegetative community; elevation; etc.): The survey area is located on relatively flat ground with residential development to the west and north. Unser Blvd borders the eastern edge with a two-track road (Avenida De Jaimito) on the southern boundary. This part of New Mexico sits on Quaternary piedmont alluvial deposits, laid down in the Holocene to Upper Pleistocene, include deposits of higher gradient tributaries bordering major stream valleys, alluvial veneers of the piedmont slope, and alluvial fans. This may locally include uppermost Pliocene deposits. Elevation ranges between 5,398 and 5,422 feet.

According to NRCS soils maps (<https://websoilsurvey.sc.egov.usda.gov/App/WebSoilSurvey.aspx>, accessed August 27, 2024), soils are Alameda sandy loam, 0 to 5 percent slopes are eolian deposits derived from igneous and sedimentary rock. These soils are found on lava flows and hillslopes.

The climate and precipitation supports vegetation characteristic of the Plains and Great Basin Grassland (Brown 1994). Local vegetation consists of juniper, saltbush, prickly pear, yucca, Russian thistle, and various forbs and grasses. The contemporary environment provides habitat for a variety of fauna including pronghorn, bison, prairie dogs and many other smaller mammals and birds (Brown 1994).

20. a. Percent Ground Visibility: 85 **b. Condition of Survey Area (grazed, bladed, undisturbed, etc.):** The project area contains two two-track roads in the eastern portion of the project. Numerous basalt outcroppings and modern debris dumping areas are also evident throughout the project area. Wind erosion, sheetwash, and wildlife activity are also apparent.

21. CULTURAL RESOURCE FINDINGS ☐ Yes, See Page 3 ☒ No, Discuss Why: Because of nearby construction as well as various forms of bioturbation, any cultural resources that may have been present at one time have likely been relocated or destroyed.

22. Required Attachments (check all appropriate boxes):☒ USGS 7.5 Topographic Map with sites, isolates, and survey area clearly drawn☒ Copy of NMCRIS Mapserver Map Check☐ LA Site Forms - new sites (*with sketch map & topographic map*)☐ LA Site Forms (update) - previously recorded & un-relocated sites (*first 2 pages minimum*)☐ Historic Cultural Property Inventory Forms☐ List and Description of isolates, if applicable☐ List and Description of Collections, if applicable**23. Other Attachments:**☐ Photographs and Log☐ Other Attachments

(Describe):

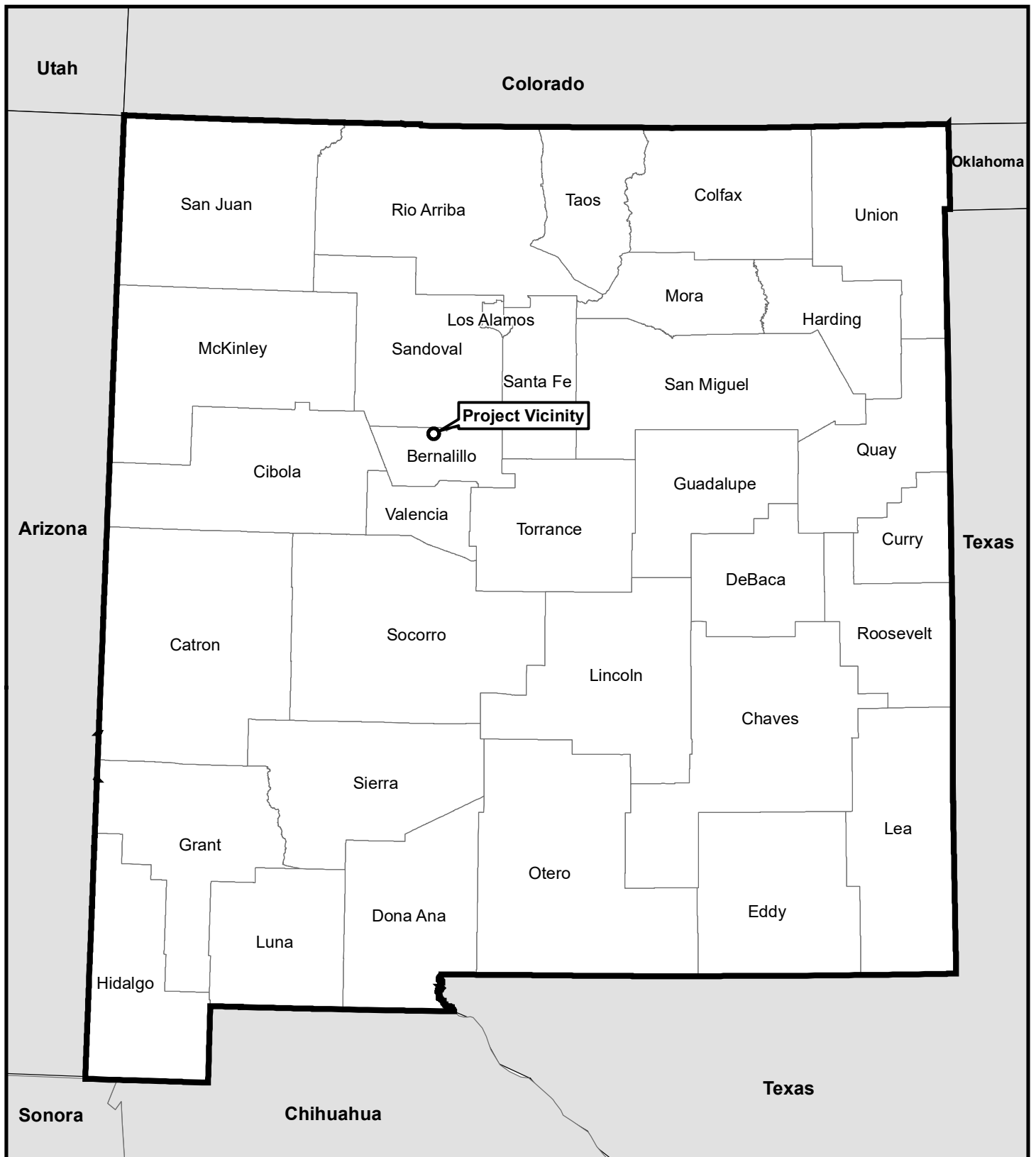
24. I certify the information provided above is correct and accurate and meets all applicable agency standards.**Principal Investigator/Responsible Archaeologist:** Douglas H.M. Boggess**Signature** **Date** August 26, 2024 **Title (if not PI):**

25. Reviewing Agency: Reviewer's Name/Date Accepted () Rejected () Tribal Consultation (if applicable): <input type="checkbox"/> Yes <input type="checkbox"/> No	26. SHPO Reviewer's Name/Date: HPD Log #: SHPO File Location: Date sent to ARMS:
--	--

CULTURAL RESOURCE FINDINGS

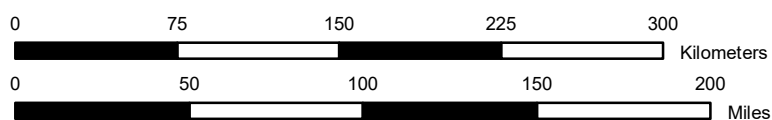
[fill in appropriate section(s)]

1. NMCRIS Activity No.: 156412	2. Lead (Sponsoring) Agency: City of Albuquerque	3. Lead Agency Report No.:
SURVEY RESULTS: Sites discovered and registered: 0 Sites discovered and NOT registered: 0 Previously recorded sites revisited <i>(site update form required)</i> : 0 Previously recorded sites not relocated <i>(site update form required)</i> : 0 TOTAL SITES VISITED: 0 Total isolates recorded: 0 Non-selective isolate recording? <input checked="" type="checkbox"/> Total structures recorded <i>(new and previously recorded, including acequias)</i> : 0		
MANAGEMENT SUMMARY: No cultural resources were encountered, therefore clearance for the undertaking is recommended. If buried cultural resources are encountered during earth-moving activities, work should cease and an evaluation should be conducted by an archaeologist.		



Legend

County
 New Mexico
 Other State



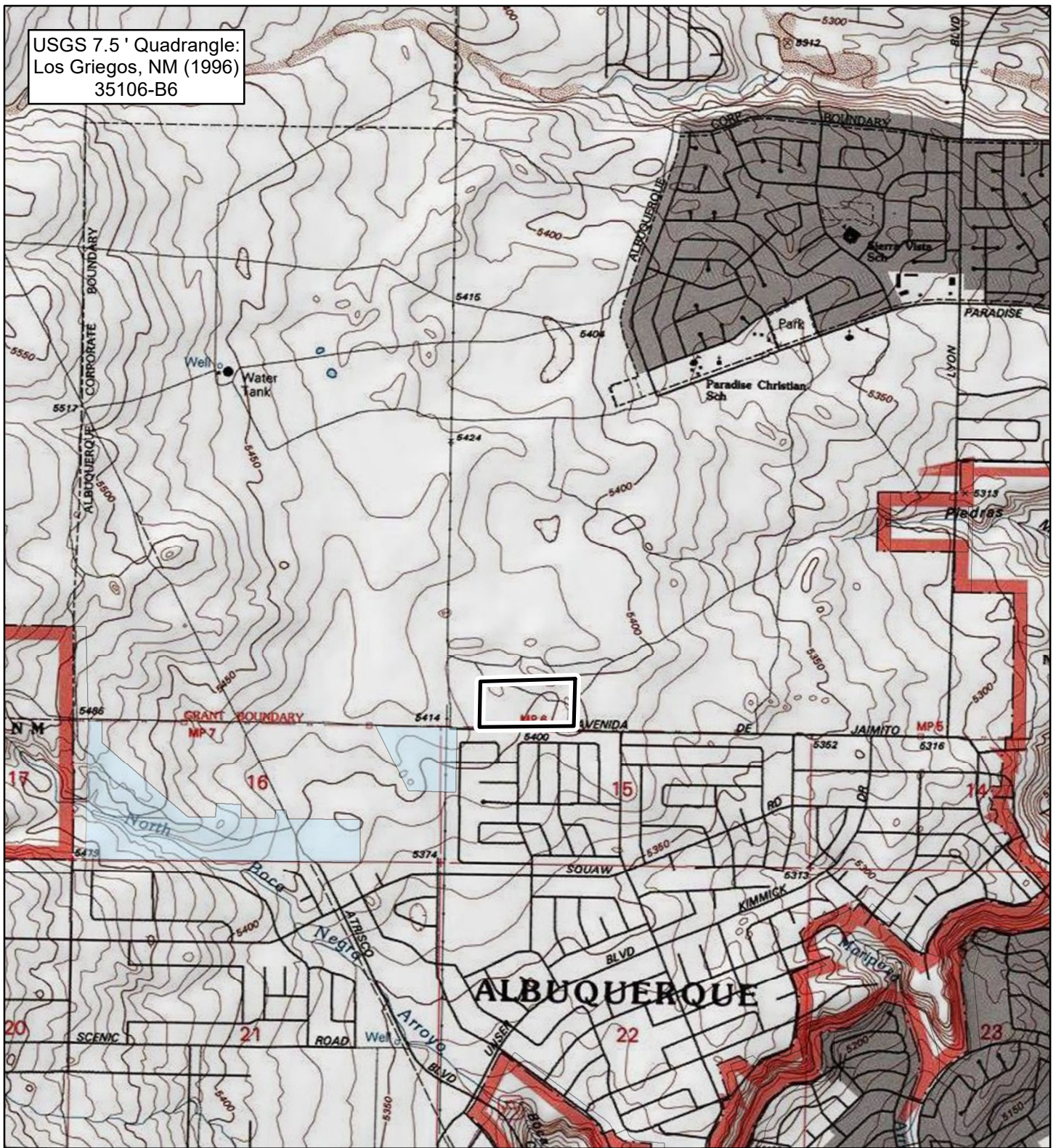
Unser and Paseo del Norte
 Build to Rent
 Cultural Resource Survey
 Project Vicinity Map

Lone Mountain Archaeological Services

Drawn by: M. Chavez
 LMAS No.: 4457

Client:
 JLM Living

USGS 7.5' Quadrangle:
Los Griegos, NM (1996)
35106-B6



Legend

Block

1:24,000

Land Ownership

BLM
 Private
 State

Unser and Paseo del Norte Build to Rent Cultural Resource Survey

Project Area

Lone Mountain Archaeological Services, Inc.

Drawn by: M. Chavez
LMAS No.: 4457

Client:
JLM Living

0 0.25 0.5 1
Kilometers

0 0.25 0.5 1
Miles

Town of Alameda Grant
Bernalillo County, NM



USGS 7.5 ' Quadrangle:
Los Griegos, NM (1996)
35106-B6



Legend

 Block

1:2,500

**Unser and Paseo del Norte
Build to Rent
Cultural Resource Survey**

Project Area Aerial

0 0.0275 0.055 0.11
Kilometers

0 0.0275 0.055 0.11
Miles

Town of Alameda Grant
Bernalillo County, NM



Lone Mountain Archaeological Services, Inc.

Drawn by: M. Chavez
LMAS No.: 4457

Client:
JLM Living



Project Overview, facing south



Project Overview, facing west



DEVELOPMENT FACILITATION TEAM REVIEW SHEET

CASES FOR REVIEW AND COMMENT FOR:

July 24, 2024

Join Zoom Meeting:

<https://cabq.zoom.us/j/89785314995>

Meeting ID: 897 8531 4995

Dial by your location

+1 346 248 7799 US (Houston)

Find your local number: <https://cabq.zoom.us/j/89785314995>

DFT - CASES FOR REVIEW AND COMMENT

Comments due – July 23rd @ 3pm

Link to access all files:

<https://sfftp.cabq.gov/link/ezROEOCI9Ng/>

-
1. **[PR-2022-007805](#) (Second Submittal)**
[SI-2024-00849](#) – SITE PLAN DFT

TRACT D-6, MESA DEL SOL INNOVATION PARK II zoned PC, located on CRICK AVE SE between WATSON SE and HAWKING SE containing approximately 23.7954 acre(s). (Q-16)

REQUEST: Site will be developed in three phases. Each phase will contain a warehouse/manufacturing building containing approximately 106,000sf. Site will primarily be accessed from Crick Avenue SW. Site will be designed for full retention as required by the Mesa Del Sol Community Masterplan. Request is to obtain approval of the Site Plan for all phases.

IDO -2022

2. [PR-2022-007299](#) *(second submittal)*

[SI-2024-00931](#) – SITE PLAN DFT

LOTS 54, 55 & 1, UNIT 6, TOWN OF ATRISCO GRANT zoned **NR-C**, located at **7320 CENTRAL AVE SW** between **COORS BLVD** and **UNSER BLVD** containing approximately 13.59 acre(s). (K-10)

REQUEST: DFT - Site Plan Administrative for Skyview West Industrial

SKETCH PLAT 09-28-22 (DRB)

IDO -2022

3. [PR-2023-008619](#)

[SI-2024-00547](#) – EPC SITE PLAN SIGN-OFF *(4th Submittal)*

TRACT A-2 BLK 2 MANDELL ADDN NO. 2 (REPLAT OF TRACT A BLK 2) AND EAST 50 FT OF LT 4 BLK 2 MANDELL ADDN NO. 2, zoned **MX-M**, located at **2601 SECOND ST NW** between **MENAU NW** and **WOODLAND NW** containing approximately **0.9379** acre(s). (H-14)

REQUEST: EPC SITE PLAN SIGN-OFF

IDO – 2022

4. [PR-2019-002118](#)

[VA-2024-00199](#) – Ext of IIA TEMPORARY DEFERRAL OF SIDEWALK

LOT/TRACT B & C, VOLTERRA VILLAGE zoned **X**, located at **1601 DOMINO DR SE** between **MONACHOS RD SE** and **CICIDA RD SE** containing approximately 1.2311 acre(s). (M-21)

REQUEST: Questions Regarding Sidewalk Requirements

IDO - 2022

5. [PR-2024-010269](#)

[PS-2024-00113](#) – SKETCH PLAN

Lot 7-A, Unit 5-A and Lots 1-A-1 & 3-A-1, Unit 6, DALE J. BELLAMAH'S JEANNEDALE, CORONADO CENTER zoned **MX-H**, located at **Louisiana Blvd NE** between **MENAU BLVD NE** and **AMERICAS PARKWAY NE** containing approximately 39.7786 acre(s). (H-18)

REQUEST: Rreconfigure Three (3) existing parcels into Nine (9) new parcels for the purpose of resale.

IDO - 2022

6. **PR-2023-009652**

PS-2024-00114 – SKETCH PLAT/PLAN

West Portion of Tract 1, Unplatted Paradise Hills zoned MX-T, located between AVENIDA DE JAIMITO and PASEO DEL NORTE containing approximately 18.9 acre(s). (C-10)

REQUEST: Site plan for multi-family development, sketch plat, and vacation of right-of-way.

IDO - 2022

Previous Sketch Plat 1/10/24

7. **PR-2022-006926**

PS-2024-00115 – SKETCH PLAT

Lots 17 & 18, PUEBLO BONITO zoned X, located at 2449 PUEBLO BONITO CT. NW containing approximately 0.5792 acre(s). (J-13)

REQUEST: Expand Lot 18 To Encompass the Home and Change Lot Shape, And Further Divide Lot 17 To Accommodate 2 Homes

IDO - 2022

8. **PR-2023-009216**

PS-2024-00116 – SKETCH PLAT

Tract 12-A-1, Bulk Plat for El Rancho Grande I zoned NR-SU, located on AMOLE MESA RD SW between 98TH ST SW and VERMEJO DR PARK SW containing approximately 6.796 acre(s). (N-09)

REQUEST: Define Exterior Boundary of Tract As-A-1 Of El Rancho Grande I, Grant PNM Electrical Easement and Dedicate Additional Right-Of-Way to The City of Albuquerque

IDO - 2022

9. **PR-2018-001389**

PS-2024-00117 – SKETCH PLAT

Tracts 1 thru 4 & 14, UNSER CROSSINGS zoned NR-C, located on CENTRAL SW between 86TH ST SW and BRIDGE BLVD SW containing approximately 22.0 acre(s). (K-09, K-10)

REQUEST: Construction For 2 New Buildings for Warehousing and Distribution. Existing Water, Sewer, Storm Drain Infrastructure from A Previous City Project (735661). Project Will Replat Site Into 2 Tracts From 5 Tracts. Public Water and Sewer Lines to Be Removed/Rerouted to Accommodate New Buildings.

IDO - 2022

PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946

OFFICIAL NOTIFICATION OF DECISION

JLM Living / Bedrock Investors
3839 Bee Caves Rd., Suite 205
Austin, TX 78746

Project# PR-2023-009652

Application#

SD-2024-00148 VACATION OF PUBLIC RIGHT-OF
WAY

LEGAL DESCRIPTION:

For all or a portion of:

Tract 1, UNPLATTED PARADISE HILLS zoned
MX-T located between **AVENIDA DE JAIMITO**
and **PASEO DEL NORTE** containing
approximately **19.7** acre(s). **(C-10)**

On November 20th, 2024, the Development Hearing Officer (DHO) held a public hearing concerning the above referenced application and recommended approval of the request, based on the following Findings:

1. This is a request to vacate approximately 72,213 square feet and the entirety of a platted roadway (Avenida de Jaimito NW) that is located to the south of the subject property.
2. The subject property is zoned MX-T (Mixed-Use – Transition Zone District). The proposed vacation is depicted on the Right-of-Way Vacation Exhibit on file.
3. The Applicant provided the required notice as outlined in Table 6-1-1 of the IDO.
4. Pursuant to Section 14-16-6-6(M)(1)(b)(2) of the IDO, the DHO will be the recommending body to the City Council on the request because the vacation is more than 5,000 square feet or the entire width of a street, including any or all of the right-of-way.

5. Per 6-6(M)(3) of the IDO, the public welfare does not require that the public right-of-way be retained, and there is a net benefit to the public welfare because the development made possible by the Vacation is more beneficial to the public welfare than the minor detriment resulting from the Vacation, and there is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.
6. The Vacation must be must be platted within one year of City Council approval or it will be void (see Table 6-4-3 of the IDO)

Sincerely,



[Brennon Williams \(Nov 22, 2024 10:56 MST\)](#)

Brennon Williams

Development Hearing Officer

BW/jr

Consensus Planning, Inc., 302 8th Street, Albuquerque, NM 87102







PR-2023-009652 November 20th, 2024 Notice of Decision

Final Audit Report

2024-11-22

Created:	2024-11-22
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAABGkdsNEsiRvfJFUBiWdvQWc1j844D4Jx

"PR-2023-009652 November 20th, 2024 Notice of Decision" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
2024-11-22 - 1:42:19 AM GMT
-  Document emailed to brennonwilliams295@gmail.com for signature
2024-11-22 - 1:42:22 AM GMT
-  Email viewed by brennonwilliams295@gmail.com
2024-11-22 - 5:55:31 PM GMT
-  Signer brennonwilliams295@gmail.com entered name at signing as Brennon Williams
2024-11-22 - 5:56:18 PM GMT
-  Document e-signed by Brennon Williams (brennonwilliams295@gmail.com)
Signature Date: 2024-11-22 - 5:56:20 PM GMT - Time Source: server
-  Agreement completed.
2024-11-22 - 5:56:20 PM GMT

c. [EC-24-276](#) Avenida de Jaimito NW - Right of Way Vacation

A motion was made by Councilor Grout that this matter be Approved. The

motion carried by the following vote:

For: 9 - Baca, Bassan, Champine, Fiebelkorn, Grout, Lewis, Peña, Rogers, and Sanchez

PUBLIC NOTICE DOCUMENTATION

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from January 28, 2024 _____ To March 3, 2025

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

(Applicant or Agent)

January 16, 2025
(Date)

I issued 2 signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____

Tribal meeting

From Zamora, Renee C. <rczamora@cabq.gov>

Date Fri 10/4/2024 8:48 AM

To Charlene Johnson <Johnson@consensusplanning.com>

Cc Russell.Brito@pnm.com <Russell.Brito@pnm.com>; Renz-Whitmore, Mikaela J. <mrenz-whitmore@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Ortiz, Annette <annetteortiz@cabq.gov>; Ibarra, Marcelo X. <marceloibarra@cabq.gov>; Boylan, Jacob <jboylan@cabq.gov>

Good morning Charlene,

In our pre-submittal tribal meeting response map, we received your inquiry for a Major Preliminary Plat at the SW corner of Unser Blvd. and Avenida de Jaimito.

We can confirm that a [Pre-submittal Tribal Meeting](#) is not required for the subject property pursuant to IDO §14-16-6-4(B).

For future reference, we will not accept the Major Preliminary Plat application as complete without:

A PDF of the email from Planning staff confirming that a Pre-submittal Tribal Meeting was not required

If you need additional assistance, feel free to reach out to me at 505-924-3358 or contact Annette Ortiz at 505.924.3623. We're here to help.

Thank you



Renee Zamora

Senior Admin/Navigator

Development Review Services

e rczamora@cabq.gov

o: 505.924.3358

cabq.gov/planning

99999 AVENIDA DE JAIMITO NW_Public Notice Inquiry Sheet Submission

From Office of Neighborhood Coordination <onc@cabq.gov>

Date Wed 1/15/2025 2:38 PM

To Charlene Johnson <Johnson@consensusplanning.com>

 1 attachment (437 KB)

IDOZoneAtlasPage_C-10-Z (1).pdf;

Dear Applicant:

As of January 15, 2025 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Wednesday, January 15, 2025 1:46 PM

To: Office of Neighborhood Coordination <johnson@consensusplanning.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Development Hearing Officer

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Charlene Johnson

Telephone Number

5057649801

Email Address

johnson@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 8th St. NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TR 1 (W'LY PORT) SUMMARY PLAT 68.75 ACRE TR & 66.15 ACRE TR PARADISE HILLS (EXCL PORTS
OUT TO R/W) CONT 18.9341 AC

Physical address of subject site:

99999 AVENIDA DE JAIMITO NW

Subject site cross streets:

Unser and Avenida de Jaimito

Other subject site identifiers:

This site is located on the following zone atlas page:

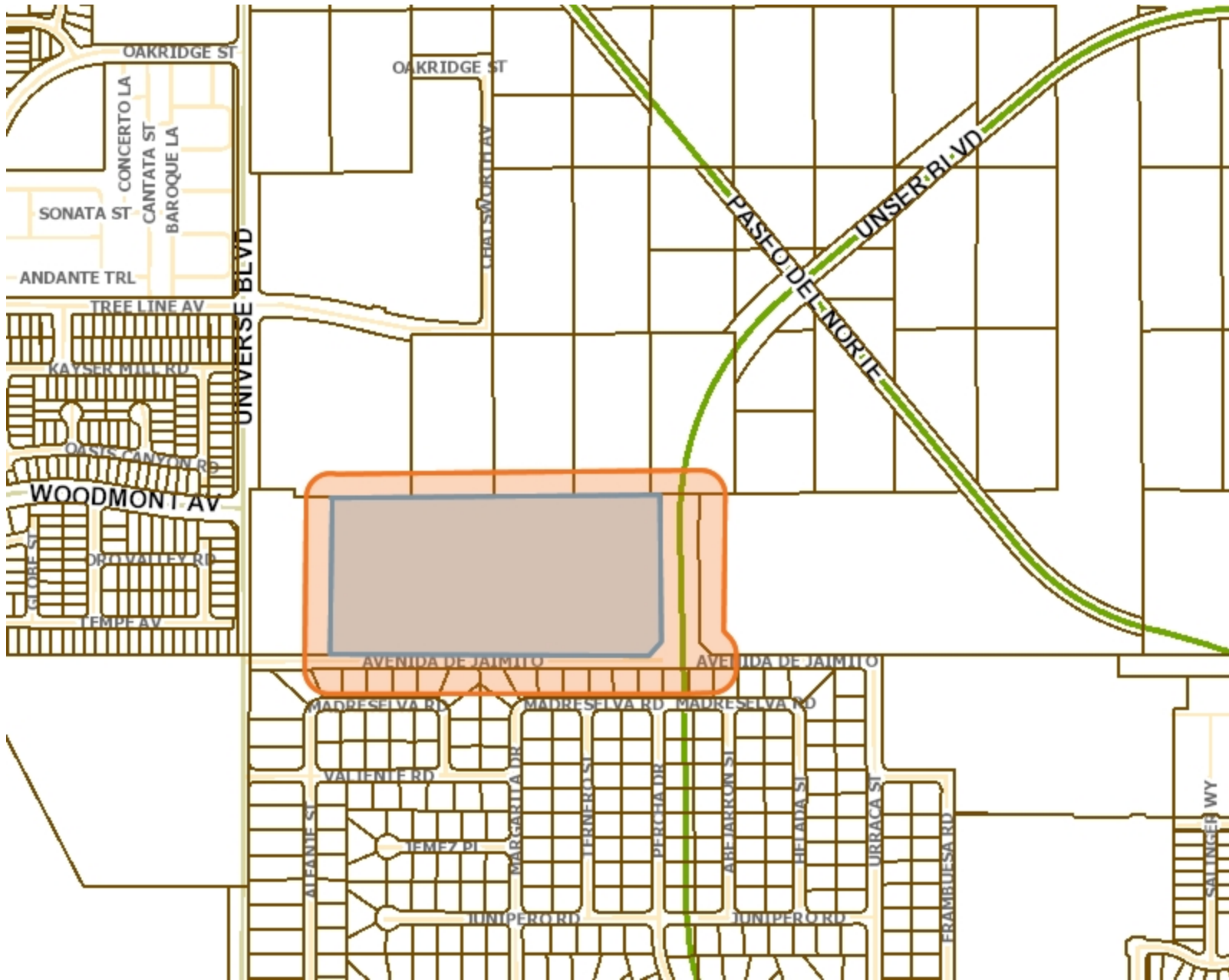
C-10-Z

Captcha

x



City of Albuquerque - Avenida de Jaimito and Unser



Legend

- Bernalillo County Parcels
- Primary Streets
 - Freeway
 - Principal Arterial
 - Minor Arterial
 - Local Streets
- BN and SF Railroad
- Other Streets
- Municipal Limits
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED

Notes

100-foot Buffer

1,202 0 601 1,202 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
11/7/2024 © City of Albuquerque

1: 7,212

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

BUFFER MAP ADDRESSES 100-FEET

Owner	Owner Address	Owner Address 2
LOMELI AUGUSTIN TRUSTEE LOMELI FAMILY TRUST	123 N SALINAS ST	SANTA BARBARA CA 93103-2827
MILLER BETTY	1560 CEDAR CREST DR	FORNEY TX 75126-1397
JASTRAM JONATHAN R & JANET R	5400 ARABIAN DR NW	ALBUQUERQUE NM 87120
CARRIAGA DAVID E & BEATRICE E & STEVE D	6452 EDITH BLVD NE	ALBUQUERQUE NM 87107-5917
CITY OF ALBUQUERQUE	PO BOX 1293	ALBUQUERQUE NM 87103-2248
SONATA TRAILS LAND LLC	8201 GOLF COURSE RD NW SUITE D3-	ALBUQUERQUE NM 87120-5842
LOMELI AUGUSTIN TRUSTEE LOMELI FAMILY TRUST	123 N SALINAS ST	SANTA BARBARA CA 93103-2827
PACHECO SILVANO M & HUIZAR LIZETH	612 KENTUCKY ST SE	ALBUQUERQUE NM 87108-3837
MCT DEVELOPMENT INC	7451 PAN AMERICAN FWY NE	ALBUQUERQUE NM 87109
RACHELSON HERBERT TRUSTEE RACHELSON TR	573 EVERGREEN LN	TAOS NM 87571-6434
CITY OF ALBUQUERQUE	PO BOX 1293	ALBUQUERQUE NM 87103-2248
CITY OF ALBUQUERQUE	PO BOX 1293	ALBUQUERQUE NM 87103-2248
ROMERO EZEQUIEL P	2538 RAMIREZ RD SW	ALBUQUERQUE NM 87105-4150
CITY OF ALBUQUERQUE	PO BOX 1293	ALBUQUERQUE NM 87103-2248
ROMERO EZEQUIEL P	2538 RAMIREZ RD SW	ALBUQUERQUE NM 87105-4150
TURRI MICHAEL V & JOHNESE M TRUSTEES TURRI LVT	HC 70 BOX 38	OCATE NM 87734-9705
J & A CRUZ HOLDINGS LLC	3616 SAN YGNACIO RD SW	ALBUQUERQUE NM 87121-3400
JALSWAL KRISHNA & ANJU C	11720 PINO AVE NE	ALBUQUERQUE NM 87122
CARRIAGA DAVID E & BEATRICE E & STEVE D	6452 EDITH BLVD NE	ALBUQUERQUE NM 87107-5917
CROWLEY PAUL J ETUX	15 OLD WESTON RD	WAYLAND MA 01778-2123
STOREY GILBERT JR & BARBARA	8819 MENDOCINO CT NE	ALBUQUERQUE NM 87122
LUJAN MICHAEL L & LISA M	8804 CORALITA CT NE	ALBUQUERQUE NM 87122-1211
BEDROCK INVESTORS LIMITED C/O GERALD GOLD	1509 HARVARD CT NE	ALBUQUERQUE NM 87106-3712
RANSOM RICHARD E TRUSTEES RICHARD & CECILIA RANSOM RVT	PO BOX 7457	ALBUQUERQUE NM 87194-7457
ONTIVEROS ADRIAN JESUS	6232 MESQUITE DR NW	ALBUQUERQUE NM 87120-2583
BEDROCK INVESTORS LIMITED C/O GERALD GOLD	1509 HARVARD CT NE	ALBUQUERQUE NM 87106-3712
SONATA TRAILS LAND LLC	8201 GOLF COURSE RD NW SUITE D3-	ALBUQUERQUE NM 87120-5842



January 16, 2025

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Neighbors,

This letter provides notification that Consensus Planning is re-submitting a Preliminary Plat application for the property located at the southwest corner of Unser Boulevard and Avenida de Jaimito. As part of the application, the Applicant is requesting a Waiver to the Sidewalk widths to allow a 6-foot sidewalk along the future Woodmont Avenue to the north of the site. The City of Albuquerque Development Process Manual requires a 10-foot sidewalk because the site is within the Volcano Heights Urban Center. This notification packet includes an exhibit of sidewalk locations for your review.

Our office has sent several notifications pertaining to the development of this site as required by the City's Integrated Development Ordinance (IDO). We appreciate your patience as we get through this process and will continue to notify you of hearings and other actions as we proceed.

You are not required to respond to this email, but if you have any questions, please feel free to contact our office. We are happy to answer any questions you have about this project and future development.

Sincerely,

Charlene Johnson, Senior Planner

johnson@consensusplanning.com

PRINCIPALS

James K. Strozier, FAICP
Jacqueline Fishman, AICP

ASSOCIATES

Ken Romig, PLA, ASLA
Margaret Ambrosino, AICP

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type:

Decision-making Body:

Pre-Application meeting required: ☐ Yes ☐ No

Neighborhood meeting required: ☐ Yes ☐ No

Mailed Notice required: ☐ Yes ☐ No

Electronic Mail required: ☐ Yes ☐ No

Is this a Site Plan Application: ☐ Yes ☐ No **Note: if yes, see second page**

PART II – DETAILS OF REQUEST

Address of property listed in application:

Name of property owner:

Name of applicant:

Date, time, and place of public meeting or hearing, if applicable:

Address, phone number, or website for additional information:

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☐ Zone Atlas page indicating subject property.

☐ Drawings, elevations, or other illustrations of this request.

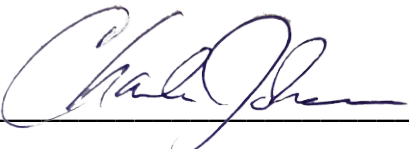
☐ Summary of pre-submittal neighborhood meeting, if applicable.

☐ Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT:

**PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [IDO §14-16-6-4\(K\)](#).
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON
APPLICATION.**

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) _____ (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO §14-16-6-9(B)(3) and may lead to a denial of your application.

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN & LC APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- ☐ a. Location of proposed buildings and landscape areas.
- ☐ b. Access and circulation for vehicles and pedestrians.
- ☐ c. Maximum height of any proposed structures, with building elevations.
- ☐ d. For residential development: Maximum number of proposed dwelling units.
- ☐ e. For non-residential development:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

PRELIMINARY PLAT AND SIDEWALK EXHIBIT ATTACHED

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) §14-16-6-4(K) Public Notice. This notice is being provided to (mark as relevant):

- ☐ Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.¹
- ☐ Property Owners within 100 feet of the Subject Property.

No neighborhood associations within 660 feet of subject property.

Information Required by IDO §14-16-6-4(K)(1)(a)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Applicant* [if applicable] _____
4. Application Type(s)²* per IDO Table 6-1-1
 - ☐ Site Plan – EPC
 - ☐ Subdivision _____ (Minor or Major or Bulk Land)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance – EPC
 - ☐ Waiver _____ (DHO or Wireless Telecommunication Facility)
 - ☐ Other: _____

Summary of project/request³*: _____

5. This application will be decided at a public meeting or hearing by*:

- ☐ Development Hearing Officer (DHO)
- ☐ Landmarks Commission (LC)
- ☐ Environmental Planning Commission (EPC)

¹ If this box is marked, the Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination must be included as an attachment.

² Applications for the Zoning Hearing Examiner require a public notice form available here: <https://www.cabq.gov/planning/boards-commissions/zoning-hearing-examiner>. Otherwise, mark all that apply.

³ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Hearing Date/Time*: _____

Location*⁴: _____

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860 and select the option for “Boards, Commissions, and ZHE Signs.”

6. Where more information about the project can be found*:

Preferred project contact information:

Name: _____

Email: _____

Phone: _____

☐ Attachments:

- ☐ Neighborhood Association Representative Contact List from the City’s Office of Neighborhood Coordination*
- ☐ Others: _____

☐ Online website or project page: _____

Project Information Required for Mail/Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ _____

2. Project Illustrations, as relevant*⁶

- ☐ Architectural drawings
- ☐ Elevations of the proposed building(s)
- ☐ Other illustrations of the proposed application

See attachments or the website/project page noted above for the items marked above.

3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

⁴ Physical address or Zoom link

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas>

⁶ While not required for applications other than Site Plan – EPC, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project. For Site Plan – EPC, see additional attachments required below.

[Note: Items with an asterisk (*) are required.]

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☐ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information from IDO Zoning Map⁷:

- 1. Area of Property [typically in acres] _____
- 2. IDO Zone District _____
- 3. Overlay Zone(s) [if applicable] _____
- 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] _____

NOTE: Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3860 and select option for “Boards, Commissions, and ZHE Signs.”

Useful Links

Integrated Development Ordinance (IDO): <https://ido.abc-zone.com>

IDO Interactive Map: <https://tinyurl.com/idozoningmap>

⁷ Available here: <https://tinyurl.com/idozoningmap>

Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

Notificación de Acceso Lingüístico.

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

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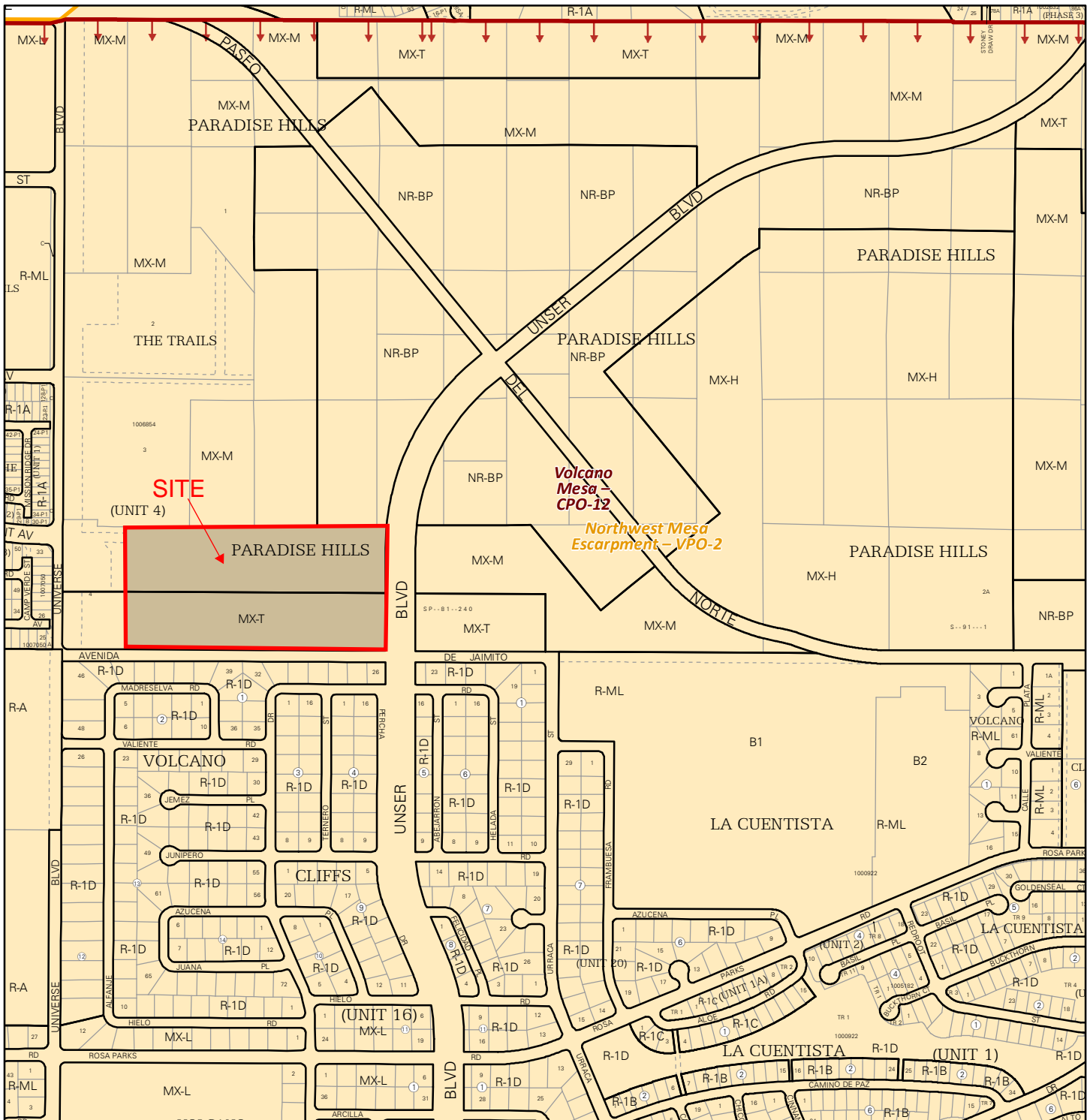
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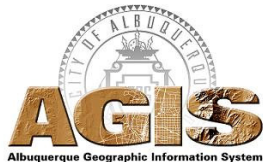
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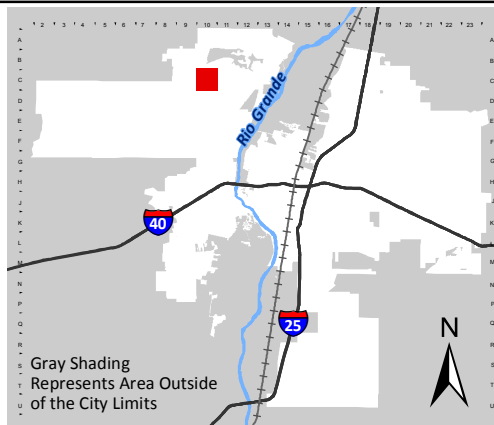


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
C-10-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- 0 250 500 1,000 Feet

LEGEND

- FOUND PROPERTY CORNER (AS NOTED)
- SET 5/8" REBAR & PLASTIC CAP MARKED L527277
- CALCULATED POINT (NOT SET)

LOT LINES AFFECTED BY THIS PLATTING ACTION

EXISTING UTILITY EASEMENT

ADJACENT LOT LINES

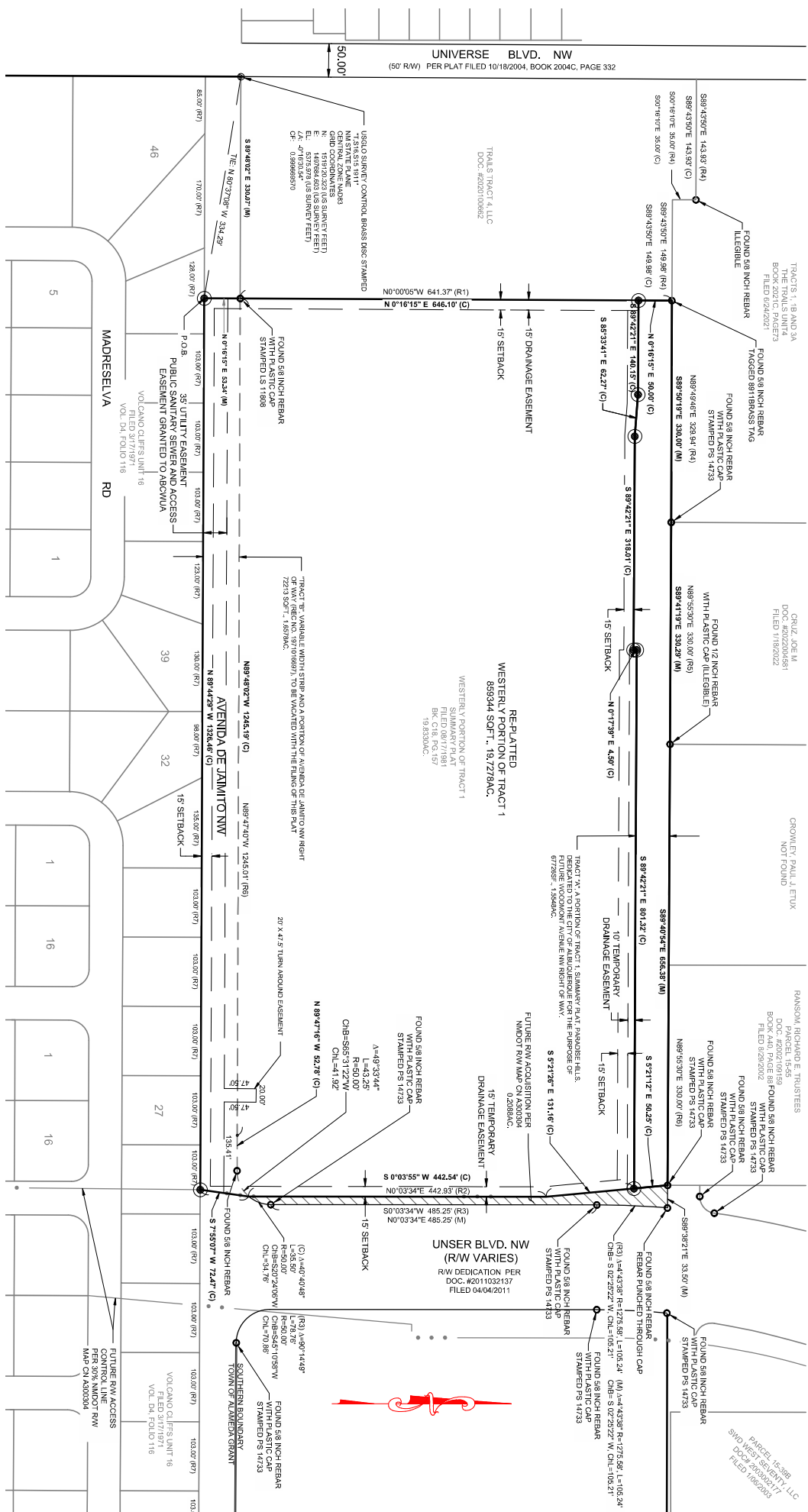
EXISTING R.O.W.

FUTURE ACCESS CONTROL LINE

LOT LINE ELIMINATED BY THE FILING OF THIS PLAT

- (R1) = DOCUMENT # 11804002
WESTERLY PORTION OF TRACT 1 SUMMARY PLAT FILED 08/17/18 BK. C18 PG. 157
- (R2) = FUTURE R/W ACQUISITION NMDOT R/W MAP ON A000304
(R3) = R/W DEDICATION DOC. #2011032137 FILED 04/04/2011
- (R4) = PLAT OF TRACTS 1A, 1B AND 3A, THE TRAILS UNIT 4, BOOK 201C, PAGE 073
- (R5) = CRUZ, JOE M. DOC. #20200451, FILED 11/16/2022
- (R6) = RANSOM, RICHARD E. TRUSTEES, PARCEL 15-56, DOC. #2002109159
BOOK 40, PAGE 8842, FILED 02/26/2002
- (R7) = VOLCANO CLIFFS UNIT 16, FILED 3/17/1971, BOOK 04, FOLIO 116
- (M) = MEASURED BEARINGS AND DISTANCES
(C) = INDICATED CALCULATED BEARING OR DISTANCE

A REPLAT OF THE WESTERLY PORTION OF TRACT 1 SUMMARY PLAT, 68.75 ACRE TRACT & 66.15 ACRE TRACT PARADISE HILLS, TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



CobbFendley

3820 Academy Parkway North N.E.
Albuquerque, New Mexico 87109
505.508.0786 Fax 505.508.0837 www.cobbhendley.com

GRAPHIC SCALE
SCALE 1" = 100'
(NAD 83)

RIGHT OF WAY VACATION EXHIBIT
THE WESTERLY PORTION OF TRACT 1
SUMMARY PLAT, 68.75 ACRE TRACT
& 66.15 ACRE TRACT
PARADISE HILLS, TOWN OF ALAMEDA GRANT, CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

SVD DOC. #202201852
FILED 3/03/2022
TRACTS 1, 1B AND 3A
THE TRAILS UNIT
BOOK 2021C, PAGE 73
FILED 06/24/2021

CRUZ, JOE M.
DOC. #202204651
FILED 1/19/2022

GROWLEY, PAUL J. ETUX
NOT FOUND

RANSOM, RICHARD E. TRUSTEES
PARCEL 16, 388
SVD WEST SEVERITY
BOOK 440, PAGE 8842
FILED 8/29/2002

PARCEL 16, 388
SVD WEST SEVERITY
DOC. #202204651
FILED 1/19/2022

UNIVERSE BLVD. NW
(50' R/W) PER PLAT FILED 10/18/2004, BOOK 2004C, PAGE 332

TRAILS TRACT 4, LLC
DOC. #2020101662

RE-PLATTED
WESTERLY PORTION OF TRACT 1
859344 SQFT., 19.7278AC.
WESTERLY PORTION OF TRACT 1
SUMMARY PLAT
FILED 08/17/1981
BOOK 153, PAGE 157
19.8330AC.

UNSER BLVD. NW
(R/W VARIES)
RW DEDICATION PER
DOC. #201831354
FILED 04/04/2011

TRACT 1B, VACABLE WITHIN STRIP AND A PORTION OF AVENIDA DE JAMITO NW RIGHT
OF WAY (REC'D NO. 1971016591), TO BE VACATED WITH THE FILING OF THIS PLAT
22213 SQFT., 1.6597AC.

TRACT 1A, A PORTION OF TRACT 1, SUMMARY PLAT PARADISE HILLS,
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, THE PORPOSE OF
67285F., 1.5548AC.

FUTURE RW ACQUISITION PER
300' NINDOT RW TO TEMPORARILY
DRAINAGE EASEMENT

A=49°13'44"
L=43.25'
R=50.00'
CHB=S65°31'22"W
CHL=41.92'

(C) 1460°40'45"
L=73.76'
R=50.00'
CHB=S20°24'05"W
CHL=73.88'

VOLCANO CLIFFS UNIT 16
FILED 3/17/1971
VOL. DA FOLIO 116

FUTURE RW ACCESS
PER 300' NINDOT RW
MAP CN A30004



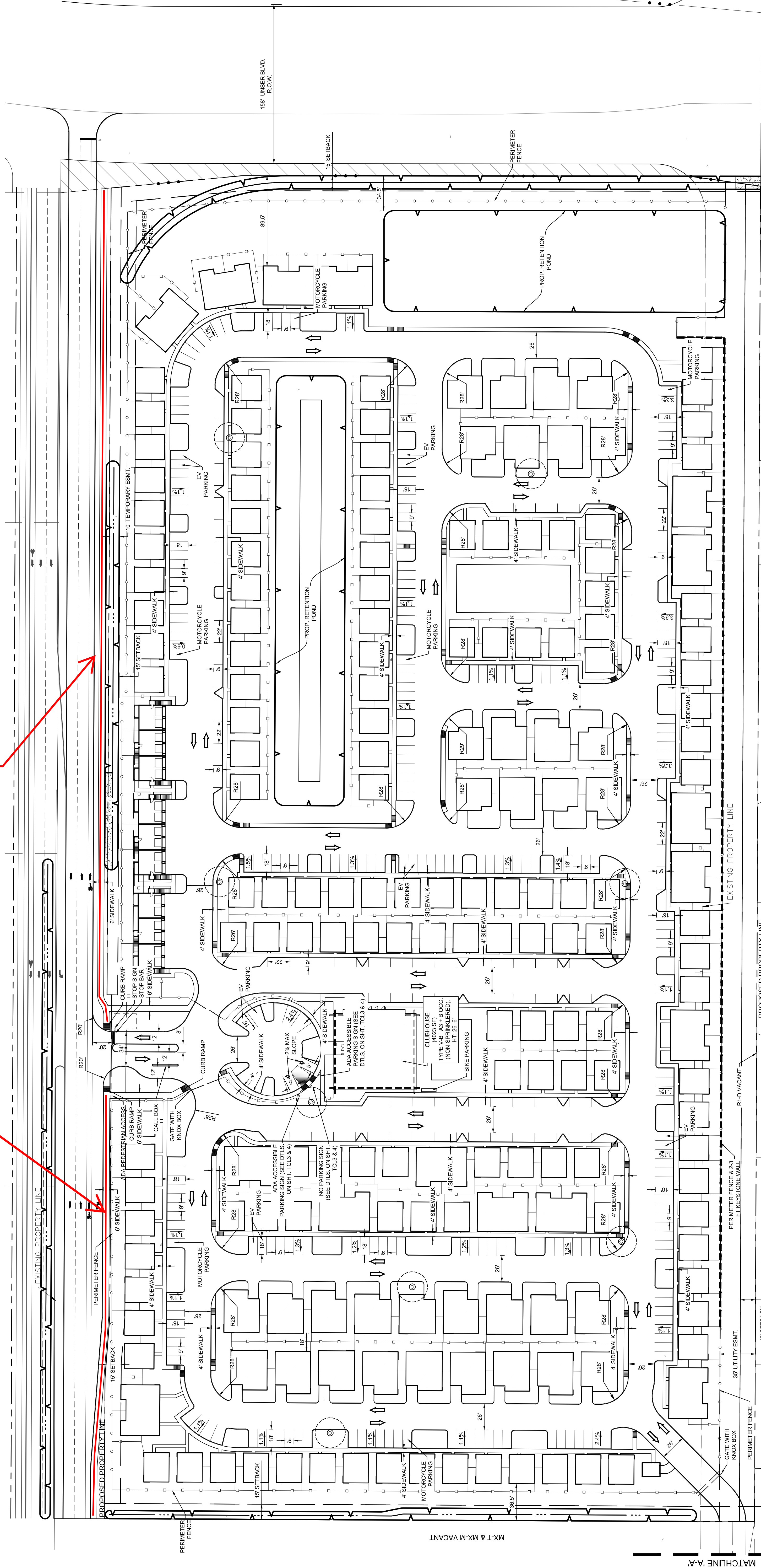
3820 Academy Parkway North N.E.
Albuquerque, New Mexico 87109
505.508.0786 fax 505.508.0837 www.cobbhendley.com



SIDEWALK WAIVER EXHIBIT

**SIDEWALK WAIVER
LOCATION - 10' to 6'**

**SIDEWALK WAIVER
LOCATION - 10' to 6'**



Albuquerque, NM 87102

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JAN 16 2025

RANSOM RICHARD E TRUSTEES
RICHARD & CECILIA RANSOM RVT
PO BOX 7457
ALBUQUERQUE NM 87194-7457

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8th Street NW
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WAYLAND MA 01778-2123

Consensus Planning
302 8th Street NW
Albuquerque, NM 87102



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J & A CRUZ HOLDINGS LLC
3616 SAN YGNACIO RD SW
ALBUQUERQUE NM 87121-3400

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Albuquerque, NM 87102

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PACHECO SILVANO M & HUIZAR
LIZETH
612 KENTUCKY ST SE
ALBUQUERQUE NM 87108-3837

Consensus Planning
302 8th Street NW
Albuquerque, NM 87102

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CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103-2248

Albuquerque, NM 87102

MCT DEVELOPMENT INC
7451 PAN AMERICAN FWY NE
ALBUQUERQUE NM 87109



Consensus Planning
302 8th Street NW
Albuquerque, NM 87102



CARRIAGA DAVID E & BEATRICE E &
STEVE D
6452 EDITH BLVD NE
ALBUQUERQUE NM 87107-5917

Consensus Planning
302 8th Street NW
Albuquerque, NM 87102



LOMELI AUGUSTIN TRUSTEE LOMELI
FAMILY TRUST
123 N SALINAS ST
SANTA BARBARA CA 93103-2827

Street NW
erque, NM 87102

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ALBUQUERQUE NM 87122-1211

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TAOS NM 87571-6434

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street NW
, NM 87102

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FORNEY TX 75126-1397

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BEDROCK INVESTORS LIMITED C/O
GERALD GOLD
1509 HARVARD CT NE
ALBUQUERQUE NM 87106-3712

nsensus Planning
th Street NW
que, NM 87102

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JASTRAM JONATHAN R & JANET R
5400 ARABIAN DR NW
ALBUQUERQUE NM 87120

us Planning
Street NW
e, NM 87102

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JAN 16 2025

SONATA TRAILS LAND LLC
8201 GOLF COURSE RD NW SUITE
D3-338
ALBUQUERQUE NM 87120-5842

Albuquerque, NM 87102

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JAN 16 2025

CARRIAGA DAVID E & BEATRICE E &
STEVE D
6452 EDITH BLVD NE
ALBUQUERQUE NM 87107-5917

Consensus Planning
28th Street NW
Albuquerque, NM 87102

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ZIP 87102
02 7H
0006057985
\$ 000.97⁰
JAN 16 2025

TURRI MICHAEL V & JOHNESE M
TRUSTEES TURRI LVT
HC 70 BOX 38
OCATE NM 87734-9705

Consensus Planning
28th Street NW
Albuquerque, NM 87102

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ZIP 87102
02 7H
0006057985
\$ 000.97⁰
JAN 16 2025

STOREY GILBERT JR & BARBARA
8819 MENDOCINO CT NE
ALBUQUERQUE NM 87122

Consensus Planning
302 8th Street NW
Albuquerque, NM 87102

JALSWAL KRISHNA & ANJU C
11720 PINO AVE NE
ALBUQUERQUE NM 87122

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Consensus Planning
302 8th Street NW
Albuquerque, NM 87102

ROMERO EZEQUIEL P
2538 RAMIREZ RD SW
ALBUQUERQUE NM 87105-4150

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