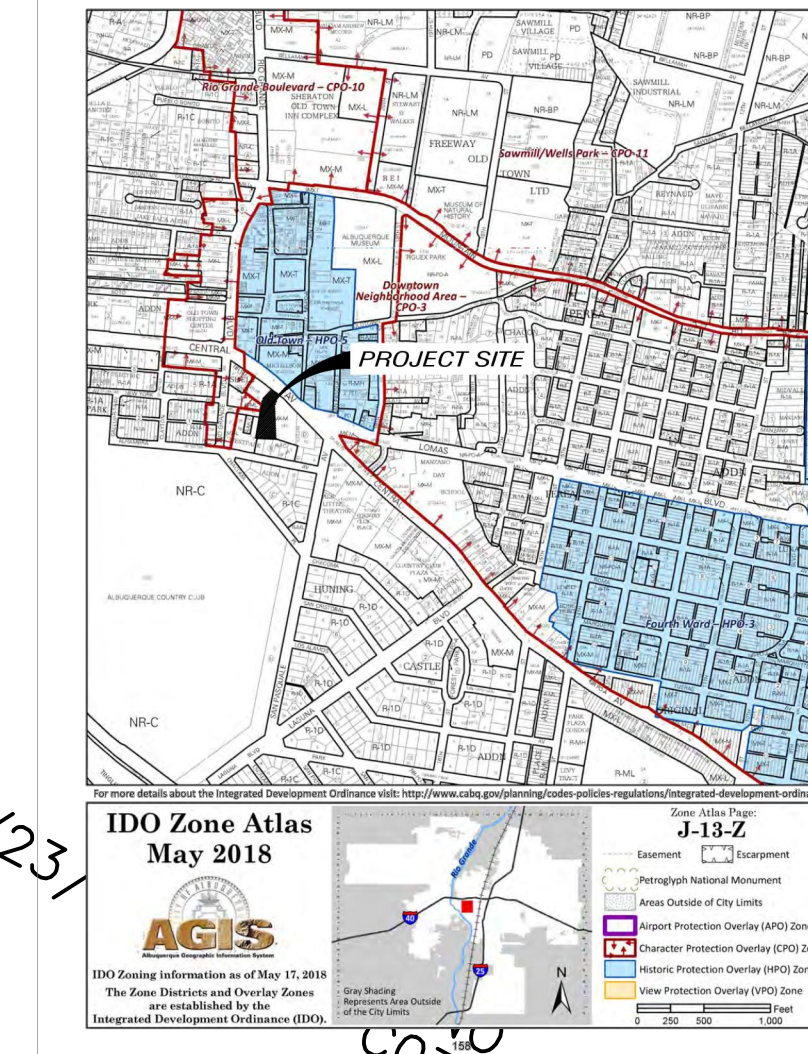


LOT 7A, BLK. B
WESTPARK ADDITION
5/21/1998, BK. 98C, PG. 146

PER QUITCLAIM DEED
FILED 11/28/1984
BK D226-A, PG 500-552
NOT SHOWN ON
M.R.G.C.D. MAP 43

LOT C
SHELL SUBD. NO. 1
4/23/1969, BK. C07, PG. 58

WILLIS PL. SW
60' R.O.W. (BK 98C, PG 146)



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DALLAS WORTH MEASURING
NO. 214288495



5/25/2024

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GATEHOUSE CAPITAL
FOR ALVARADO HOTELS

2026 CENTRAL AVENUE
ALBUQUERQUE, NM
APPLICATION #: SI-2024-00597

SITE
DEVELOPMENT
SUBMITTAL

MAY 24, 2024

DATE (YY/MM/DD)	REVISION DESCRIPTION
01/17/23	30% BRAND SUBMITTAL
02/16/23	01 REVISED 30% DESIGN SUBMITTAL WITH REVISED OWNER DIRECTION
07/31/23	60% DESIGN DEVELOPMENT BRAND SUBMITTAL
11/20/23	60% DESIGN DEVELOPMENT BRAND RESUBMITTAL, WITHOUT INTERIOR DESIGN

PROJECT NUMBER: 2023-009688
Application Number: SI-2024-00597

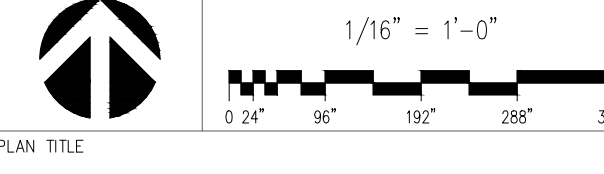
In an Infrastructure List required? () Yes () No. If yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or the construction of public improvements.

DATE SITE DEVELOPMENT PLAN APPROVAL:

Department	Date
Traffic Engineering, Transportation Division	
ABQWA	
Parks and Recreation Department	
Hydrology	
Code Enforcement	
Environmental Health Department (conditional)	
Solid Waste Management	
Planning Department	

ELECTRONIC PRINT DATE STAMP
Wednesday, June 12, 2024 4:28:50 PM

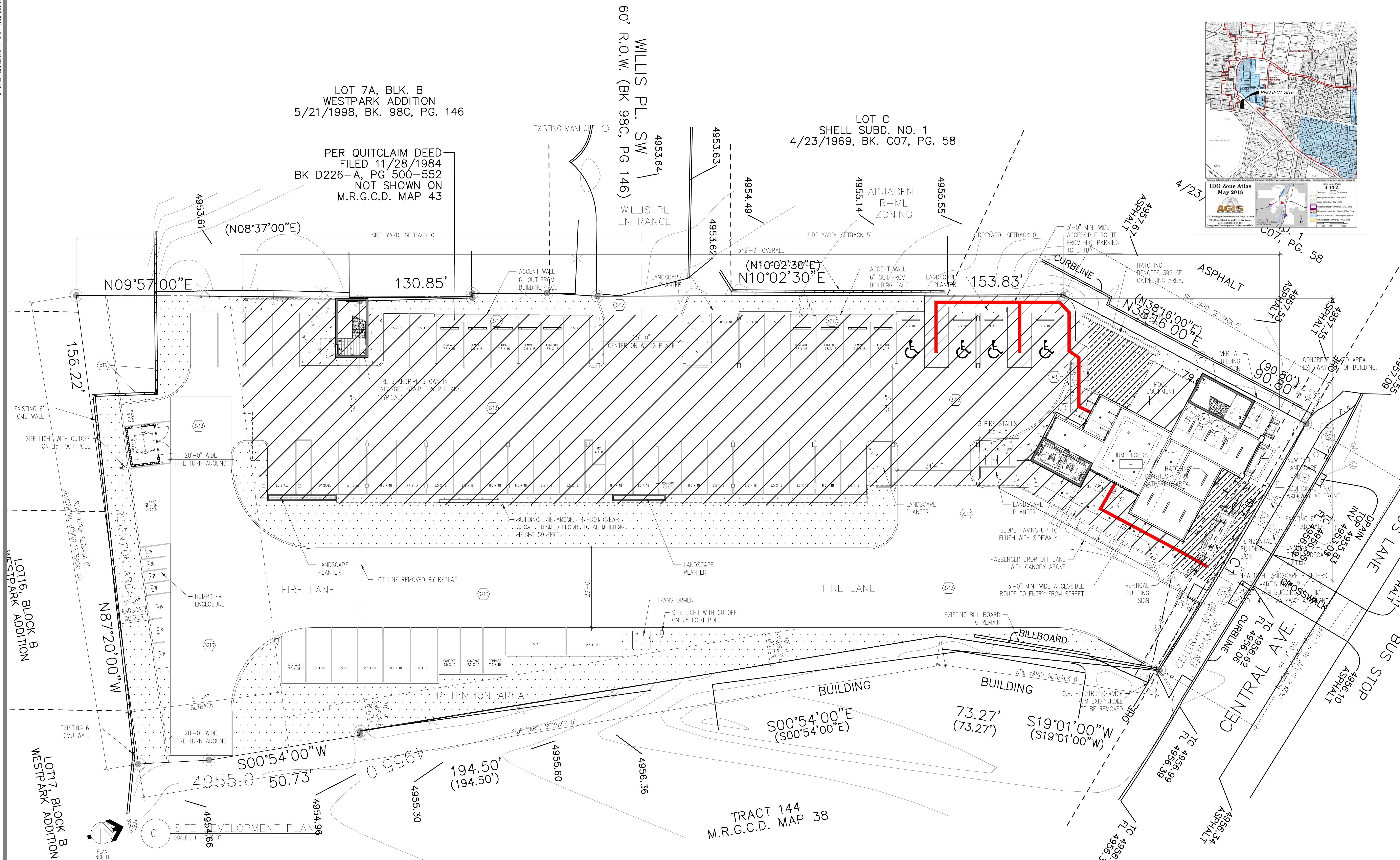
ELECTRONIC PLANNAME STAMP
CALB_SD1-1_DP1.dwg



PLAN TITLE

SITE DEVELOPMENT
PLAN

PLAN NUMBER
SD1-1



SITE DATA
SITE AREA:
Tract 145-a and tract 145-b have been re-platted to combine them into one tract comprising 1.0903 acres.
ZONING:
Property is in a MX-M moderate intensity zone and not in an overlay zone. Project is on a premium transit corridor. Project abuts a parcel zoned RT-C on the south and a parcel zoned R-ML to the west, separated by an existing 6' high CMU wall.
LANDSCAPING:
10% of parking lot area in a premium transit corridor shall be landscaped.
LANDSCAPED AREA PROVIDED: 10,010 SF (20.9%) (Excluding Landscape Planters)
SETBACKS: UC-MS-PT (min-max)
FY - 0'/5'
SY 0'/15' (5' @ R-ML)
RY 0'/50' @ R1-C

BUILDING DATA

FLOOR	AREA (SF)	ROOM COUNT
PROPOSED USE:		
MIXED-USE:		
Hotel (R-2) over a Parking Structure (S-2)		
FLOOR 4	19,843	28
FLOOR 3	21,402	46
FLOOR 2	21,402	41
FLOOR 1	2,373	0
SUB-TOTAL	65,020	115
S-2 (Parking Garage)		
FLOOR 1	19,029	0
TOTAL	84,049	
BUILDING HEIGHT (ALLOWABLE):	65'-0"	
BUILDING HEIGHT (DESIGNED):	60'-0"	

PARKING DATA

REDUCTIONS:	THAT ARE PERMITTED
Within a Premium Transit area and proximate to a Transit stop (50% Reduction minimum allowed)	-38
Motorcycle parking (Per Table 5-5-4)	2
Bicycle parking (Per Table 5-5-5)	3
REDUCED PARKING REQUIRED	44
PARKING PROVIDED:	65
Full size parking spaces	32
Compact parking spaces (25% of tpr)	15
Motorcycle parking	7
Bicycle parking	3
Electric vehicle parking (2x2)	4
Accessible parking:	4
LOADING SPACE PROVIDED	1

LEGEND

	DENOTES ADA ACCESSIBLE ROUTE FROM: 1. PUBLIC WAY (CENTRAL AVE.) TO BUILDING ENTRY. 2. ACC. PARKING TO BUILDING ENTRY.
	BOUNDARY LINE PER SURVEY
	SETBACK LINE
	BUILDING OVERHEAD
	CONC SIDEWALK
	GATHERING AND SEATING AREA
	LANDSCAPED AREA (XX% OF SITE)

COMPLIANCE WITH 5-11(E)

5-11(E)(1) GROUND FLOOR HEIGHT
- Clear height (to 1st floor): 14'-0"

5-11(E)(2)(a) FACADE DESIGN
1. Agreed.
2. Each street facing facade shall incorporate 2 of the following features: (3 provided)
- Windows on upper floors.
- Arcades, Trellises,
- Raised planters between 12" and 28" (18" high provided).
3. N/A - Street facing facade is less than 100 feet in length.
4. N/A - There are no accessory buildings.

5-11(E)(2)(b) URBAN CENTERS ... AND PREMIUM TRANSIT CENTERS
#1 Windows on the upper floors shall be recessed not less than 2".

#2 Each ground floor of a street facing facade shall include 30% of its surface in transparent windows and/or doors.
#3 Each street facing facade shall incorporate at least 3 of the following features: (3 provided)
- Windows on the upper floors.
- Arcades, Trellises,
- Raised planters between 12" and 28" (18" h provided).
#4 Each street facing facade longer than 50' shall incorporate 2 of the following additional features: (2 provided)
- Offset, reveal or pilaster no less than 2' in width, projecting at least 6" in depth and repeating every 25' of facade length.
- Three dimensional cornice, different in material from the primary facade and project at least 3" from the facade a cornice shall be no shorter than 18".
#5 Outdoor Seating and Gathering Areas.
- Two areas provided.

KEY NOTES

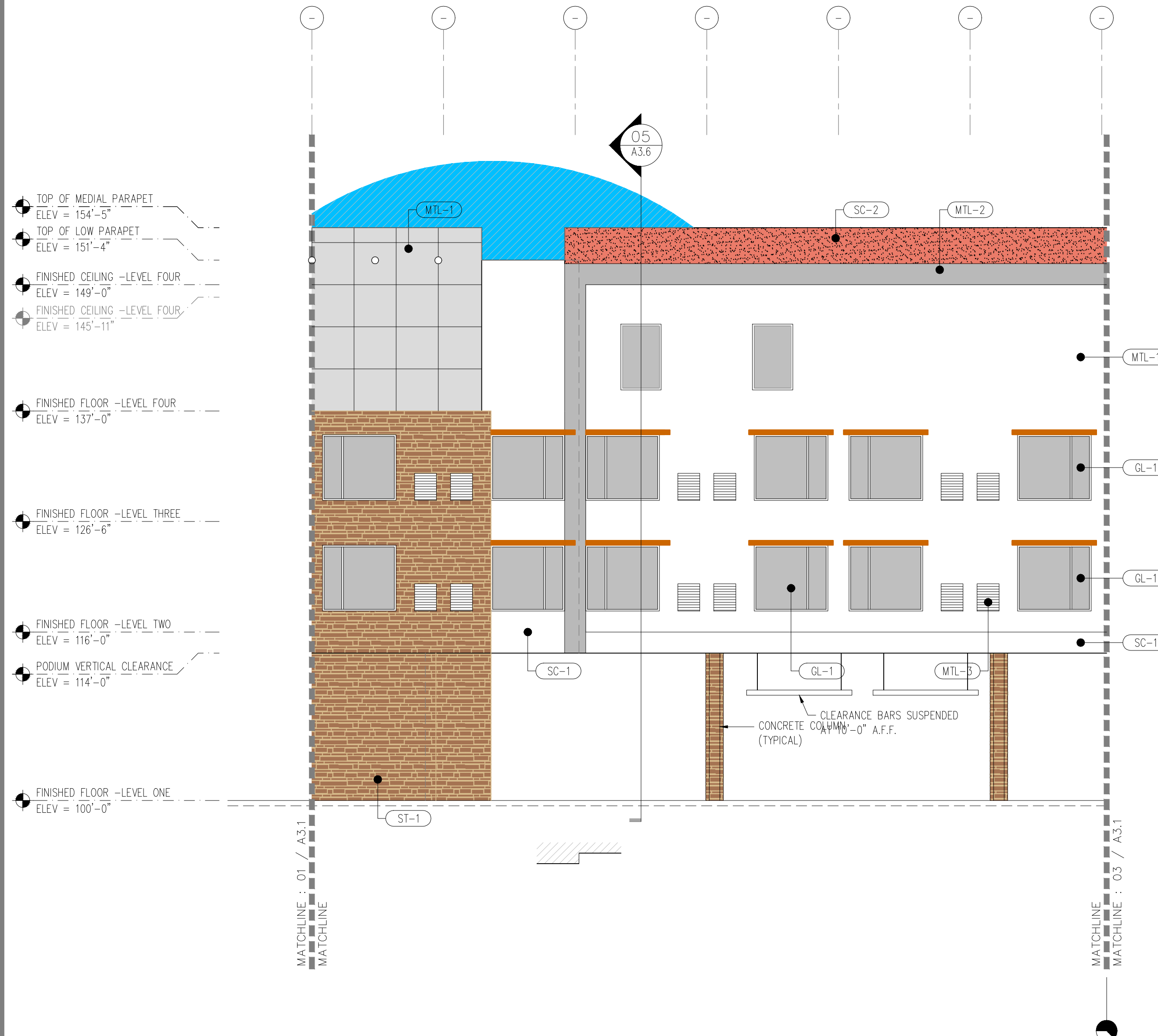
	EXISTING TO REMAIN AND BE PROTECTED
	CONC. PAVING - REFER CIVIL
	CONC. CURB AND GUTTER - REFER CIVIL
	ADA RAMP - REFER CIVIL
	C.I.P. CONCRETE COLUMN SIDEWALK
	COMPACTED STONE LANDSCAPING
	WHEEL STOP (TYP)
	LANDSCAPE PLANTER: EITHER 18" ON CENTRAL AVE OR 24" PLANTERS AT GARAGE AREA
	Outdoor Seating and Gathering Area 400 SF

Environmental Health, Forestry
197822

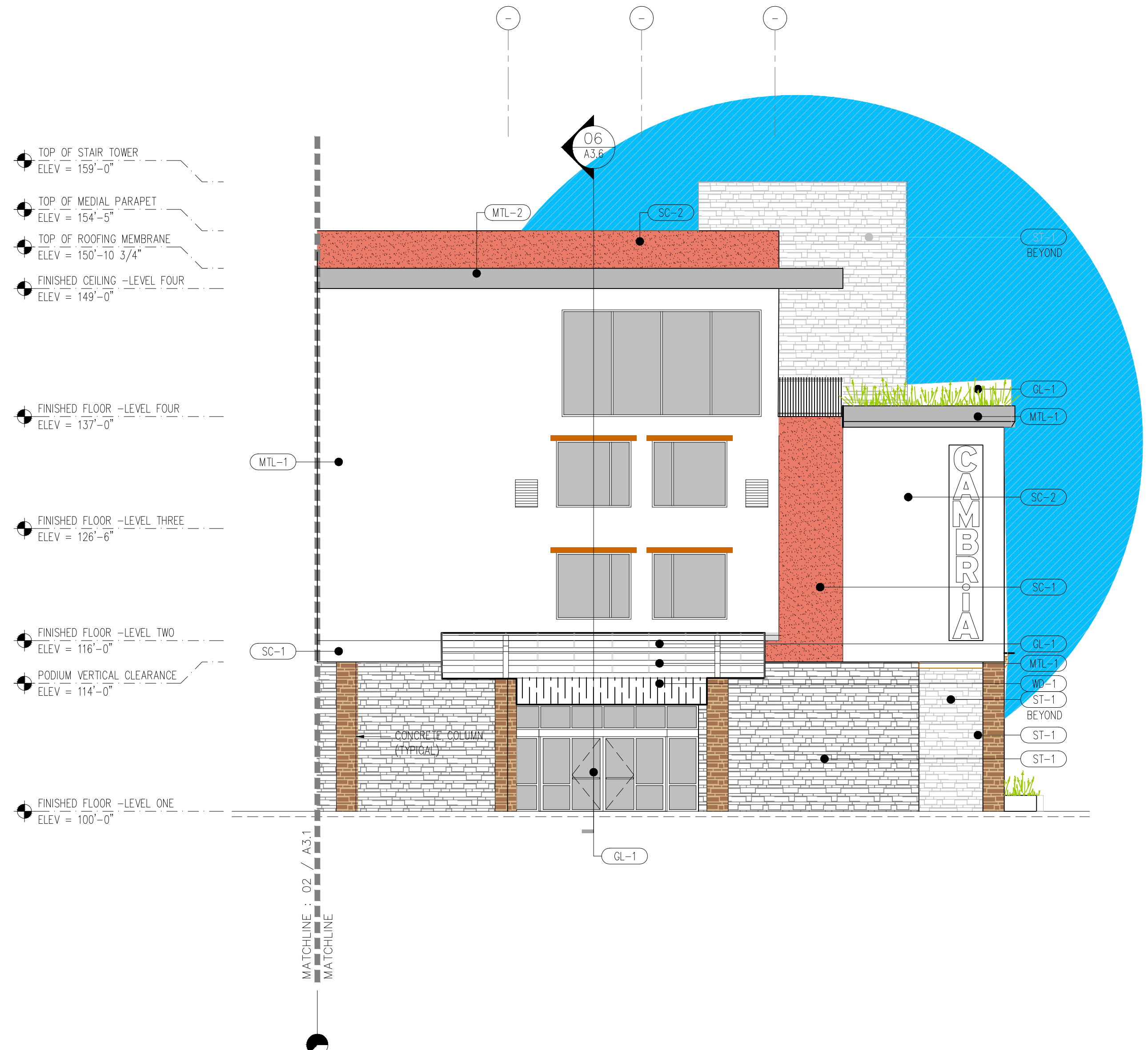
The project has been approved by the City of Albuquerque for all information, all or in part, on the date of this approval.



01 EXTERIOR ELEVATION EAST FACADE
SCALE: 1/8" = 1'-0"



02 EXTERIOR ELEVATION EAST FACADE
SCALE: 1/8" = 1'-0"



03 EXTERIOR ELEVATION EAST FACADE - LEG
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES KEYNOTE LEGEND

	GL-1	VISION GLASS
	SP-1	SPANDREL GLASS
	MTL-1	METAL PANEL SYSTEM
	MTL-2	COLORIZED METAL ACCENT PANELS
	MTL-3	ALUMINUM PTAC LOUVER
	LTS-1	LED LIGHT STRIPS
	SC-1	STUCCO - COLOR 1
	SC-2	STUCCO - COLOR 2
	P-1	PAINT - TO MATCH PT-1
	ST-1	STONE

EXTERIOR FINISHES SCHEDULE

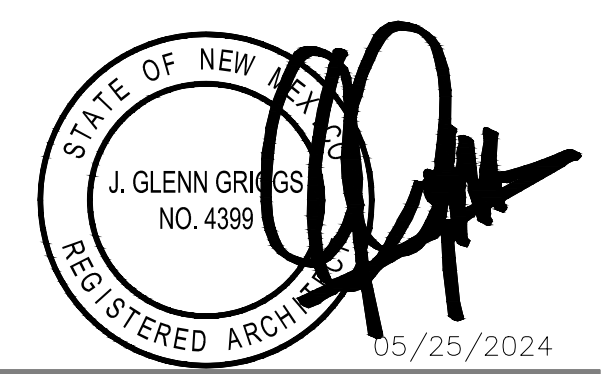
FINISH TAG	MATERIAL	ITEM DESCRIPTION
GL-1	VISION GLASS	VISION GLASS WITH LOW-E FILM APPLIED, KAWNEER CLEAR ANODIZED FINISH AA 4325
SP-1	SPANDREL GLASS	SPANDREL GLASS, 3 MM4BCY3.5 BOY GREY
MTL-1	METAL PANEL SYSTEM	COLOR TO MATCH SW 6256 SERIOUS GREY
MTL-2	COLORIZED METAL ACCENT PANELS	COLOR TO MATCH SW 6346 PENNY WISE
MTL-3	ALUMINUM PTAC LOUVER	AGX-AEL 42 CLEAR ANODIZED, RELIABLE PRODUCTS
LTS-1	LED LIGHT STRIPS	LED LIGHT STRIPS, xxxxxxx
SC-1	STUCCO	STUCCO, COLOR TBD
SC-2	STUCCO	STUCCO, COLOR TBD
P-1	PAINT	PAINT, TBD
ST-1	STONE	LEDGE STONE - COLOR AND TEXTURE - TBD
	PRE-ENGINEERED ORNAMENTAL ROOF STRUCTURE	

PER IDO SECTION 5-11(E)(2)(b)
WINDOWS ON UPPER FLOORS SHALL BE RECESSED NOT LESS THAN 2".



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FOR ALVARADO HOTELS

2026 CENTRAL AVENUE
ALBUQUERQUE, NM
APPLICATION #: SI-2024-00597

SITE DEVELOPMENT SUBMITTAL

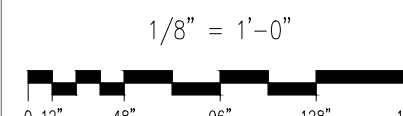
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DATE (Y/M/D)	REVISION DESCRIPTION
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PLAN NORTH



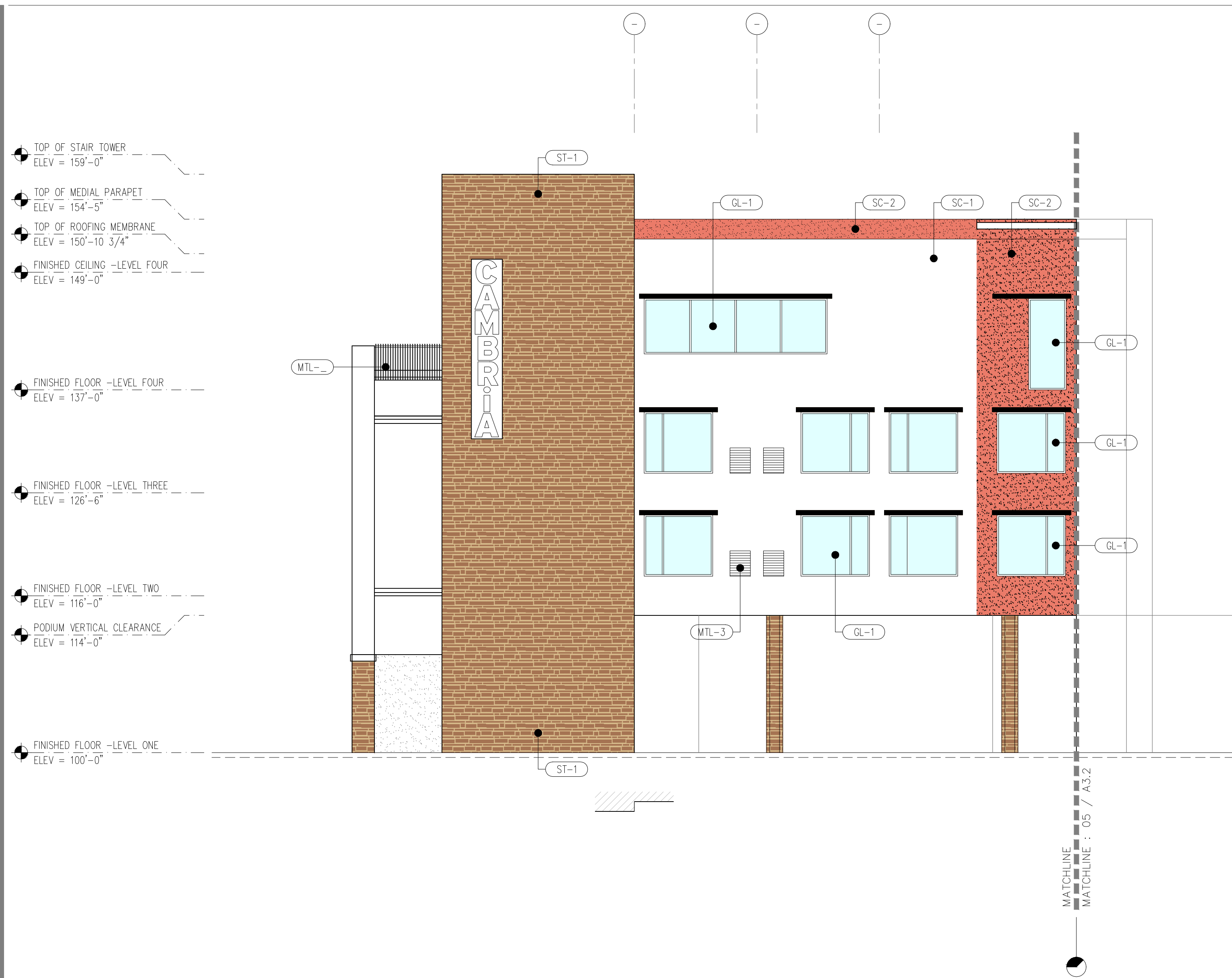
PLAN TITLE

EXTERIOR ELEVATIONS

PLAN NUMBER

A3.1

The architect has been authorized by the City of Albuquerque to prepare this drawing for the project.



04 EXTERIOR ELEVATION
WEST FACADE - LEG
SCALE: 1/8" = 1'-0"



05 EXTERIOR ELEVATION
WEST FACADE
SCALE: 1/8" = 1'-0"



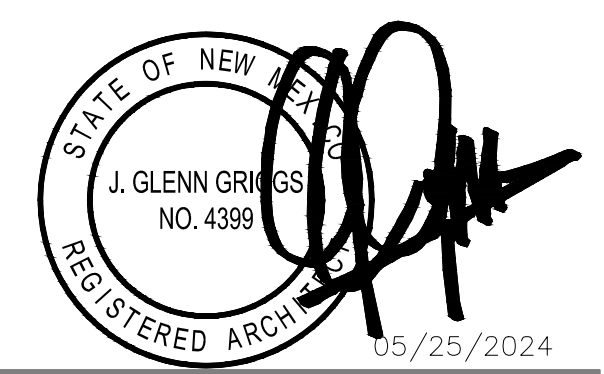
06 EXTERIOR ELEVATION
WEST FACADE
SCALE: 1/8" = 1'-0"

PER IDO SECTION 5-11(E)(2)(b)
WINDOWS ON UPPER FLOORS SHALL BE RECESSED NOT LESS THAN 2".



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2026 CENTRAL AVENUE
ALBUQUERQUE, NM
APPLICATION #: SI-2024-00597

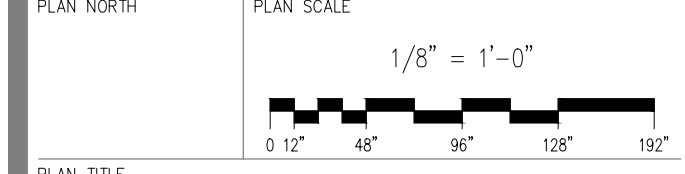
SITE DEVELOPMENT
SUBMITTAL

MAY 24, 2024

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CALB_A3-2.dwg



EXTERIOR ELEVATIONS

PLAN NUMBER
A3.2

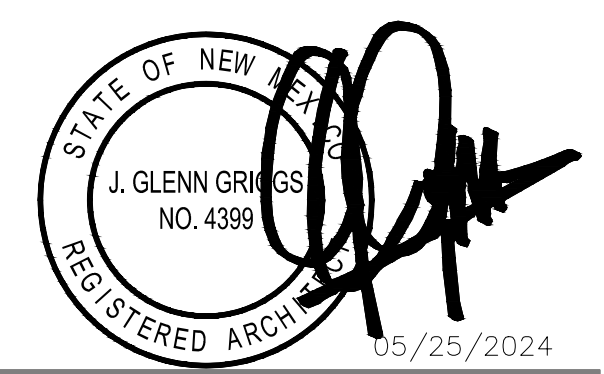
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The project has been developed by the design team. For more information, visit us on the web at www.gggp-group.com



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EXTERIOR FINISH NOTES

EXTERIOR FINISHES KEYNOTE LEGEND

- GL-1 VISION GLASS
- SP-1 SPANDREL GLASS
- MTL-1 METAL PANEL SYSTEM
- MTL-2 COLORIZED METAL ACCENT PANELS
- MTL-3 ALUMINUM PTAC LOUVER
- LTS-1 LED LIGHT STRIPS
- SC-1 STUCCO - COLOR 1
- SC-2 STUCCO - COLOR 2
- P-1 PAINT - TO MATCH PT-1
- ST-1 STONE

EXTERIOR FINISHES SCHEDULE

FINISH TAG	MATERIAL	ITEM DESCRIPTION
GL-1	VISION GLASS	VISION GLASS WITH LOW-E FILM APPLIED, KAWNEER CLEAR ANODIZED FINISH AA 4325
SP-1	SPANDREL GLASS	SPANDREL GLASS, 3 MM4BCY3.5 BOY GREY
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MTL-3	ALUMINUM PTAC LOUVER	AGX-AEL 42 CLEAR ANODIZED, RELIABLE PRODUCTS
LTS-1	LED LIGHT STRIPS	LED LIGHT STRIPS, xxxxxxx
SC-1	STUCCO	STUCCO, COLOR TBD
SC-2	STUCCO	STUCCO, COLOR TBD
P-1	PAINT	PAINT, TBD
ST-1	STONE	LEDGE STONE - COLOR AND TEXTURE - TBD
	PRE-ENGINEERED ORNAMENTAL ROOF STRUCTURE	

PER IDO SECTION 5-11(E)(2)(b)
WINDOWS ON UPPER FLOORS SHALL BE RECESSED NOT LESS THAN 2".

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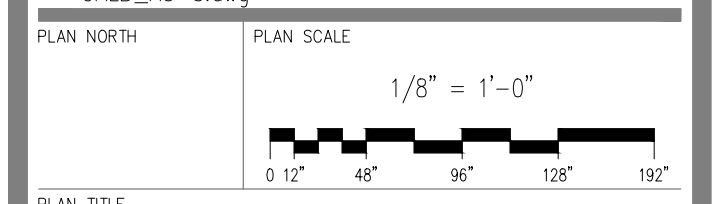
2026 CENTRAL AVENUE
ALBUQUERQUE, NM
APPLICATION #: SI-2024-00597

SITE DEVELOPMENT
SUBMITTAL

MAY 24, 2024

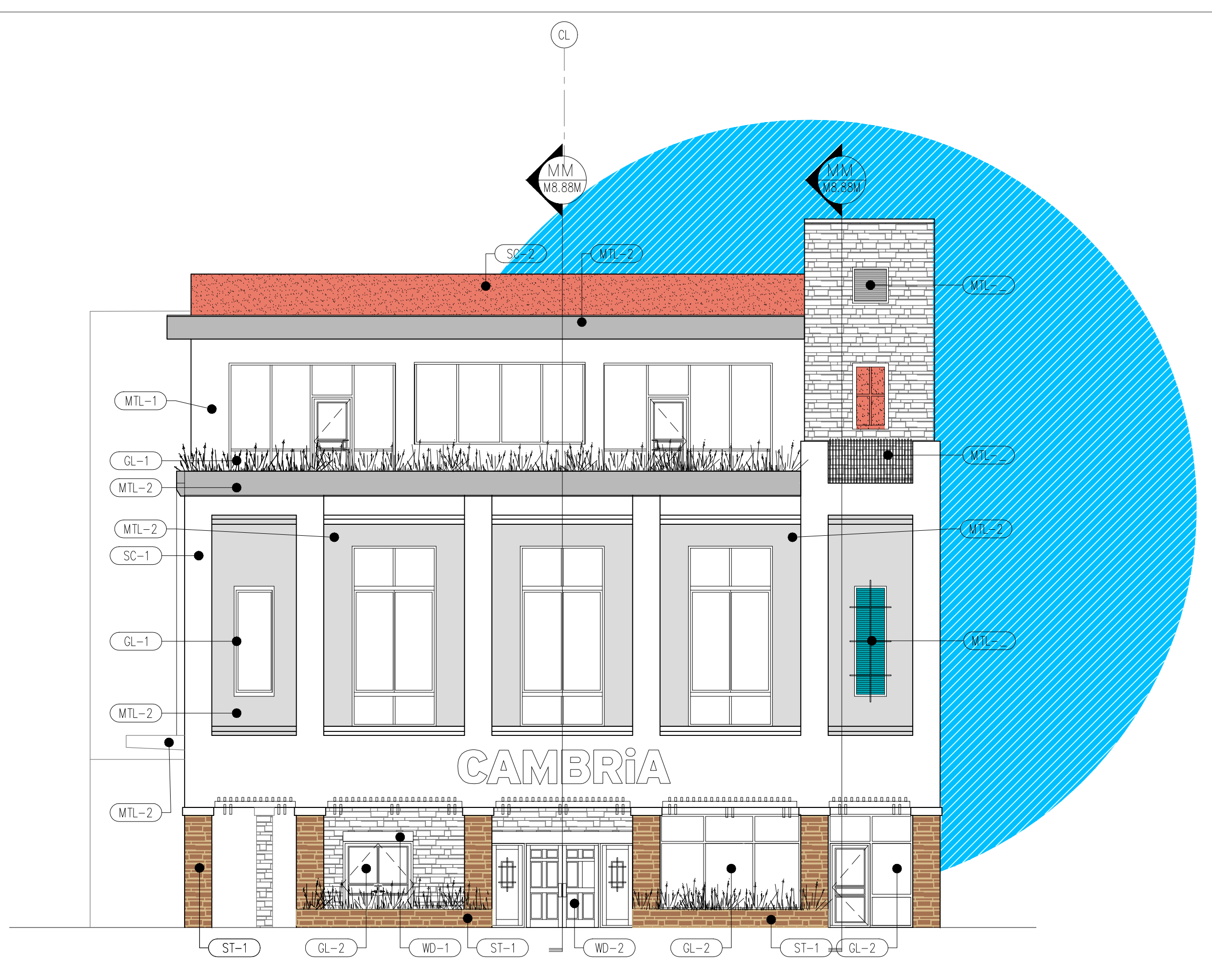
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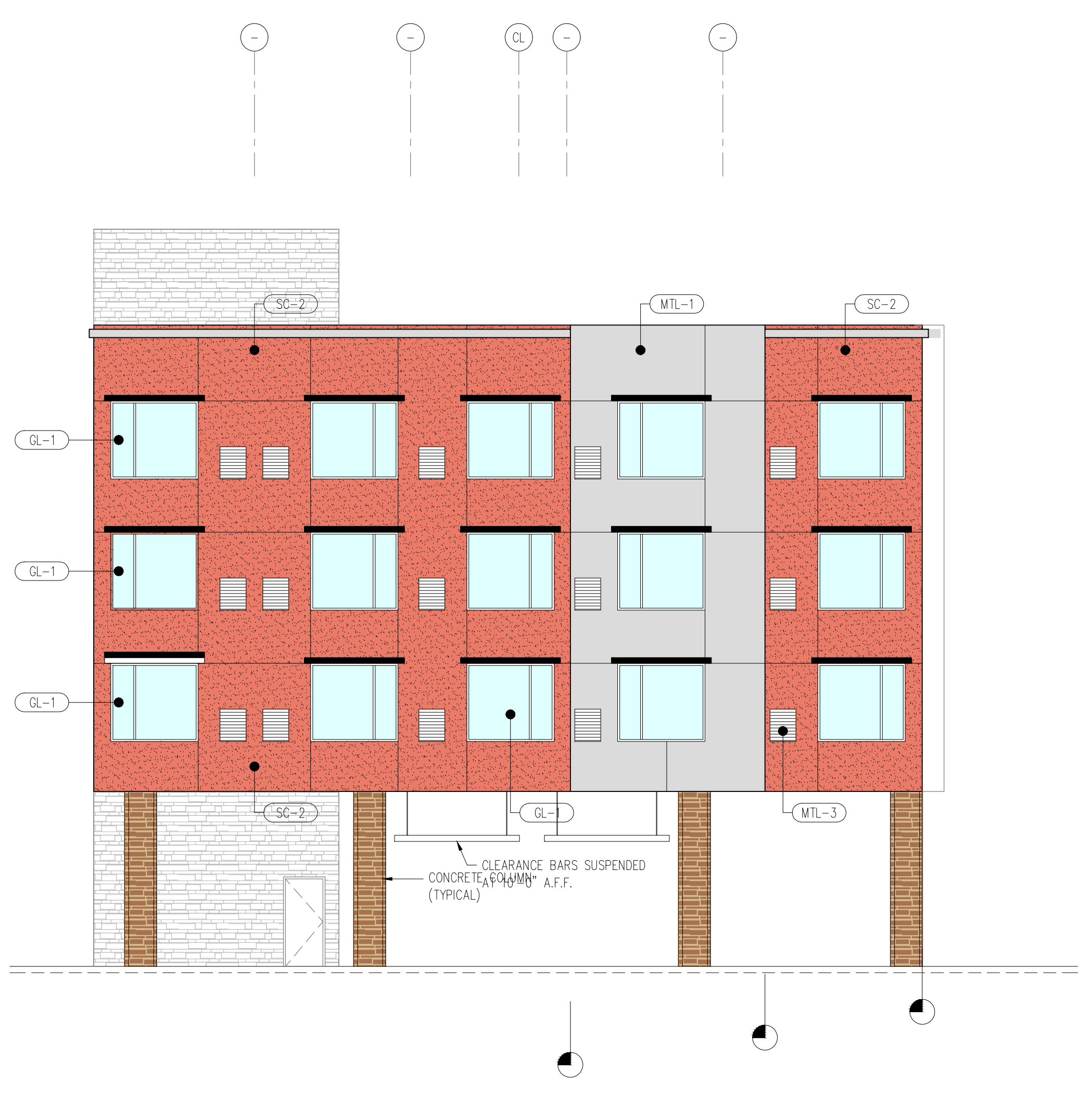


EXTERIOR ELEVATIONS

PLAN NUMBER
A3.3



07 NORTH EXT. ELEVATION
STREET-FACING FACADE
SCALE: 1/8" = 1'-0"



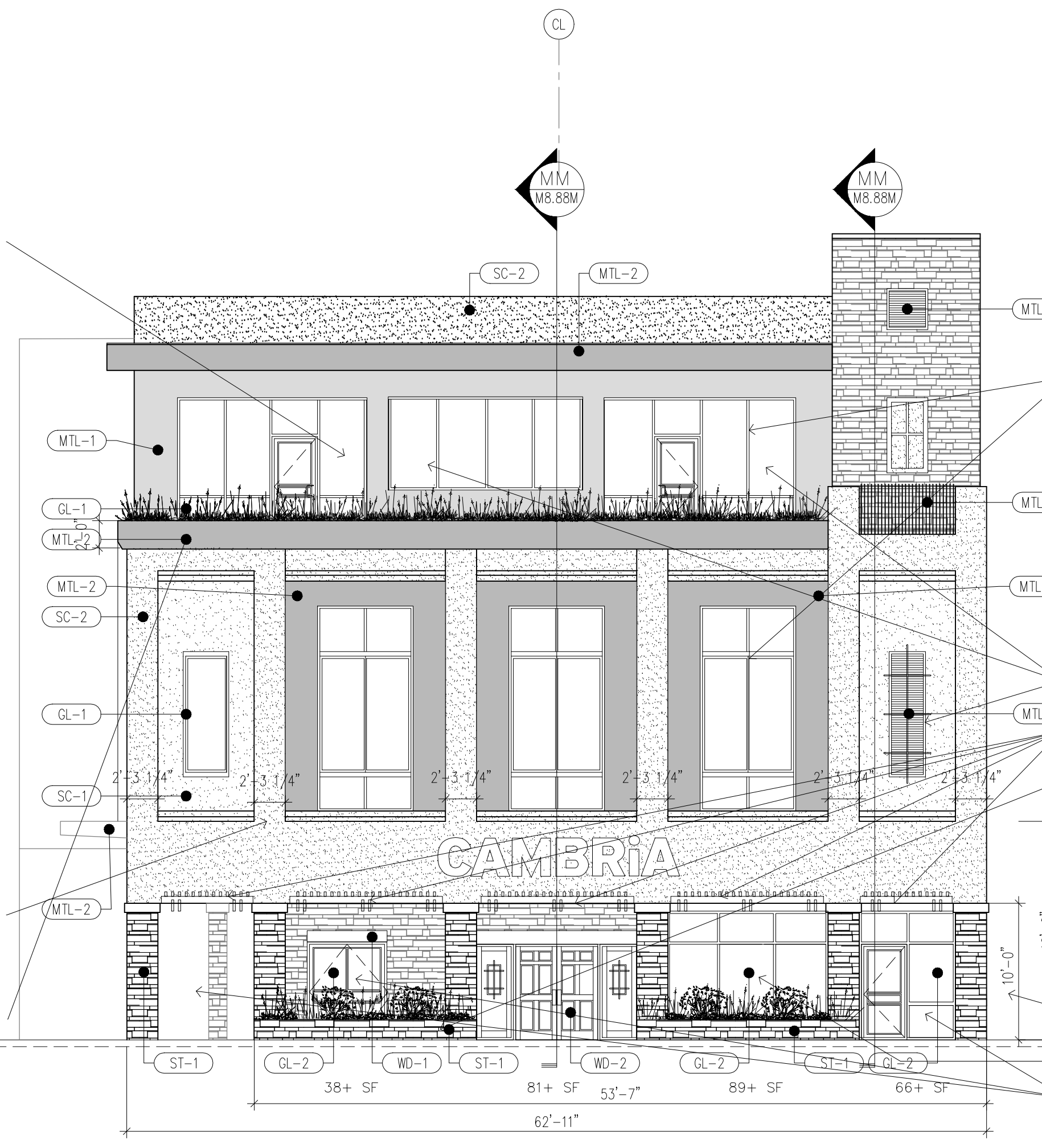
08 EXTERIOR ELEVATION
SOUTH FACADE
SCALE: 1/8" = 1'-0"

P:\2024 - Cambria, Albuquerque\07 - Project\Drawings\07-01-01.dwg
DATE: 05/24/2024 10:58:18 AM

The architect has been selected by the City of Albuquerque for this project. All work shall be in accordance with the City of Albuquerque, NM, and the state of New Mexico, NM.

PER IDO SECTION 5-11(E)(2)(b)

1. WINDOWS ON UPPER FLOORS SHALL BE RECESSED NOT LESS THAN 2".
2. EACH GROUND FLOOR OF A STREET-FACING FACADE SHALL CONTAIN A MINIMUM OF 30% OF ITS SURFACES IN TRANSPARENT WINDOWS AND/OR DOORS.
3. EACH STREET-FACING FACADE SHALL INCORPORATE AT LEAST THREE OF THE FOLLOWING FEATURES ALONG AT LEAST 20 PERCENT OF THE LENGTH OF THE FACADE, DISTRIBUTED ALONG THE FACADE SO THAT AT LEAST 1 OF THE INCORPORATED FEATURES OCCURS EVERY 30 FEET OF FACADE LENGTH:
 - A. WINDOWS ON UPPER FLOORS.
 - B. PRIMARY PEDESTRIAN ENTRANCES.
 - C. ARCADES, TRELLISES, OR OTHER ELEMENTS THAT PROVIDE SHADE OR PROTECTION FROM THE WEATHER.
 - D. RAISED PLANTERS BETWEEN 12" AND 24" (18") WITH SURFACE PLANTED TO ACHIEVE 75% VEGETATIVE COVER AT MATURITY.
4. EACH STREET-FACING FACADE LONGER THAN 50 FEET SHALL INCORPORATE AT LEAST 2 OF THE FOLLOWING ADDITIONAL FEATURES:
 - A. AN OFFSET, REVEAL, PILASTER, OR PROJECTING ELEMENT, NO LESS THAN 2 FEET IN WIDTH, PROJECTING AT LEAST 6 INCHES FROM THE FACADE AND REPEATING AT MINIMUM INTERVALS OF 25 FEET OF FACADE LENGTH.
 - B. THREE-DIMENSIONAL CORNICE OR BASE FEATURES THAT ARE DIFFERENT IN MATERIAL FROM THE PRIMARY FACADE AND PROJECT AT LEAST 3 INCHES FROM THE FACADE. A BASE FEATURE SHALL BE NO SHORTER THAN 18 INCHES, AND A CORNICE FEATURE SHALL BE NO SHORTER THAN 12 INCHES.
 - C. A CORNICE OR PROJECTING ELEMENT, NO LESS THAN 2 FEET IN WIDTH, PROJECTING AT LEAST 6 INCHES FROM THE FACADE AND REPEATING AT MINIMUM INTERVALS OF 25 FEET OF FACADE LENGTH.
 - D. THREE-DIMENSIONAL CORNICE OR BASE FEATURES THAT ARE DIFFERENT IN MATERIAL FROM THE PRIMARY FACADE AND PROJECT AT LEAST 3 INCHES FROM THE FACADE. A BASE FEATURE SHALL BE NO SHORTER THAN 18 INCHES, AND A CORNICE FEATURE SHALL BE NO SHORTER THAN 12 INCHES.
 - E.
 - F.



PER IDO SECTION 5-11(E)(2)(b)
WINDOWS ON UPPER FLOORS SHALL BE RECESSED NOT LESS THAN 2".

PER IDO SECTION 5-11(E)(2)(g)

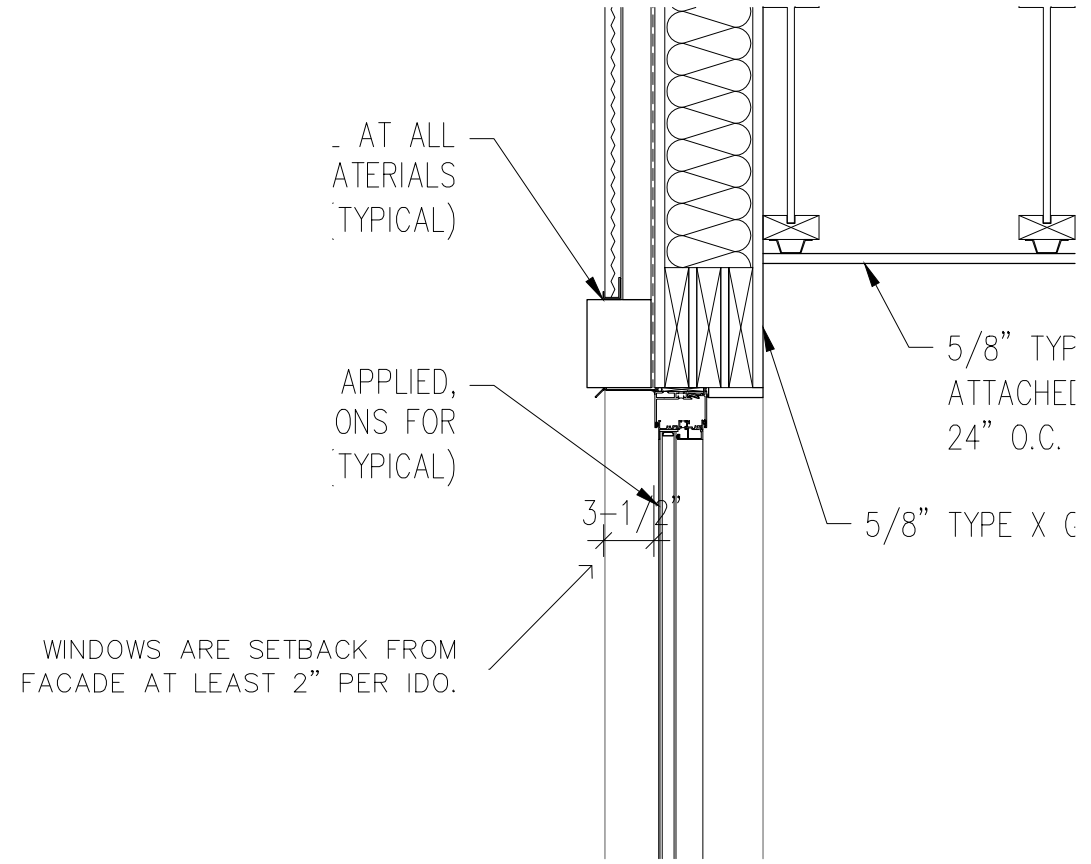
1. SENSE OF HUMAN SCALE BY PROVIDING A CLEAR ARCHITECTURAL DISTINCTION BETWEEN GROUND LEVELS AND ALL ADDITIONAL LEVELS.
2. EACH STREET-FACING FACADE SHALL INCORPORATE AT LEAST 2 OF THE FOLLOWING FEATURES ALONG AT LEAST 30% OF THE LENGTH OF THE FACADE:
 - A. WINDOWS ON UPPER FLOORS.
 - B. PRIMARY PEDESTRIAN ENTRANCES.
 - C. ARCADES, TRELLISES, OR OTHER ELEMENTS THAT PROVIDE SHADE OR PROTECTION FROM THE WEATHER.
 - D. RAISED PLANTERS BETWEEN 12" AND 24" (18") ABOVE GRADE WITH SURFACE PLANTED TO ACHIEVE 75% VEGETATIVE COVER AT MATURITY.

PER IDO SECTION 5-11(E)(1)

1. GROUND FLOOR HEIGHT SHALL BE AT LEAST 10 FEET HIGH.

PER IDO SECTION 5-11(E)(2)(b)

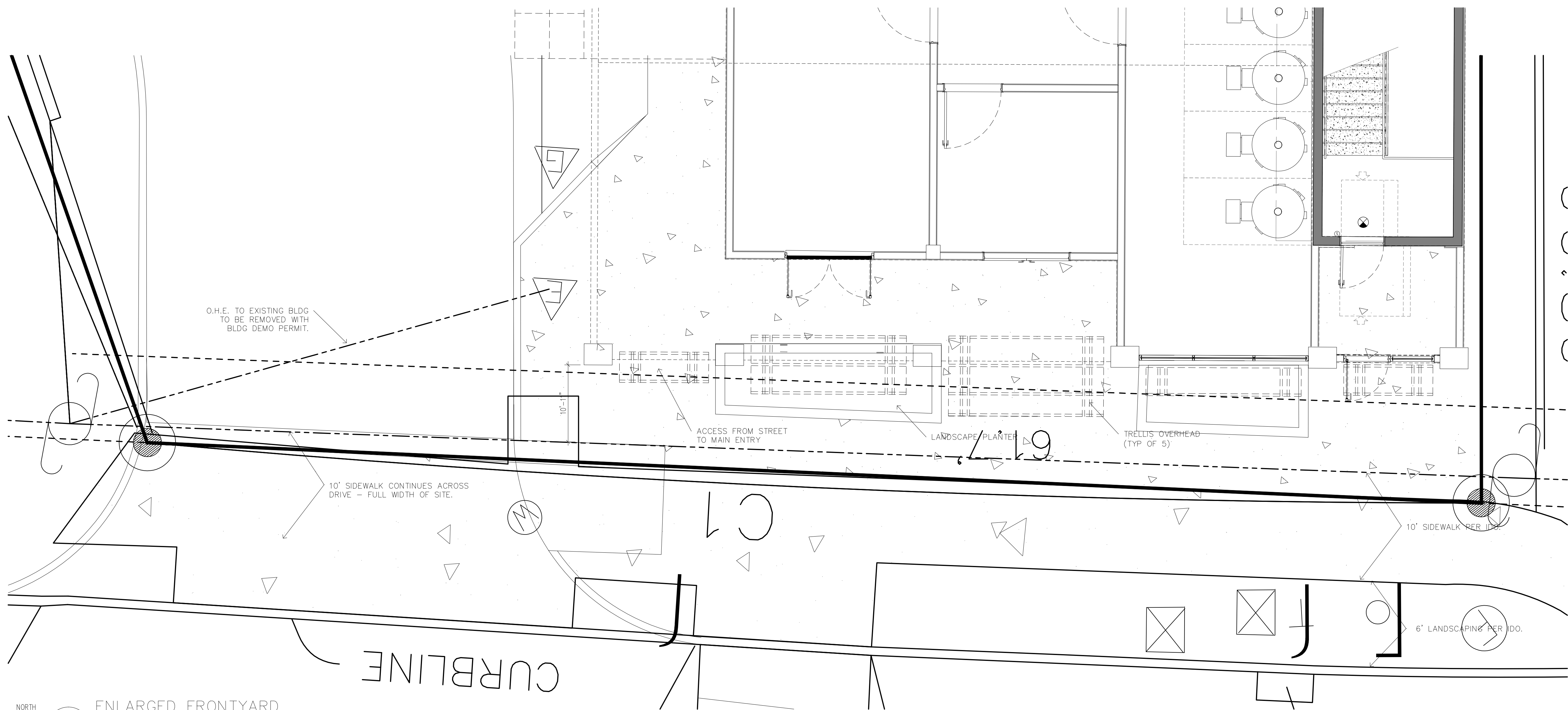
2. GROUND FLOOR SHALL BE AT LEAST 30% TRANSPARENT WINDOWS & DOORS. (700 SF X .30 = 210 SF)
TOTAL PROVIDED = 274 SF.



WINDOWS ARE SETBACK FROM FACADE AT LEAST 2" PER IDO.

07 NORTH EXT. ELEVATION STREET-FACING FACADE
SCALE: 1/8" = 1'-0"

02 WINDOW DETAIL @ LEAST SETBACK



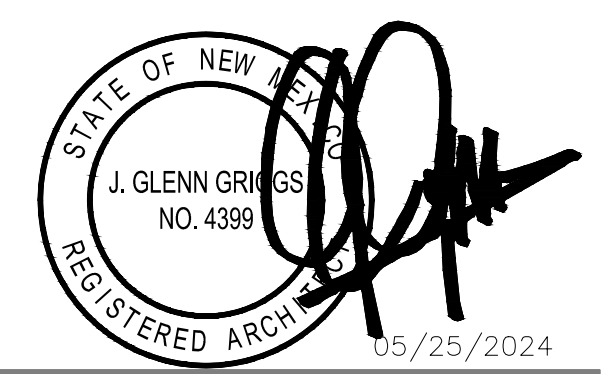
01 ENLARGED FRONTYARD SITE AREA

EXTERIOR FINISH NOTES



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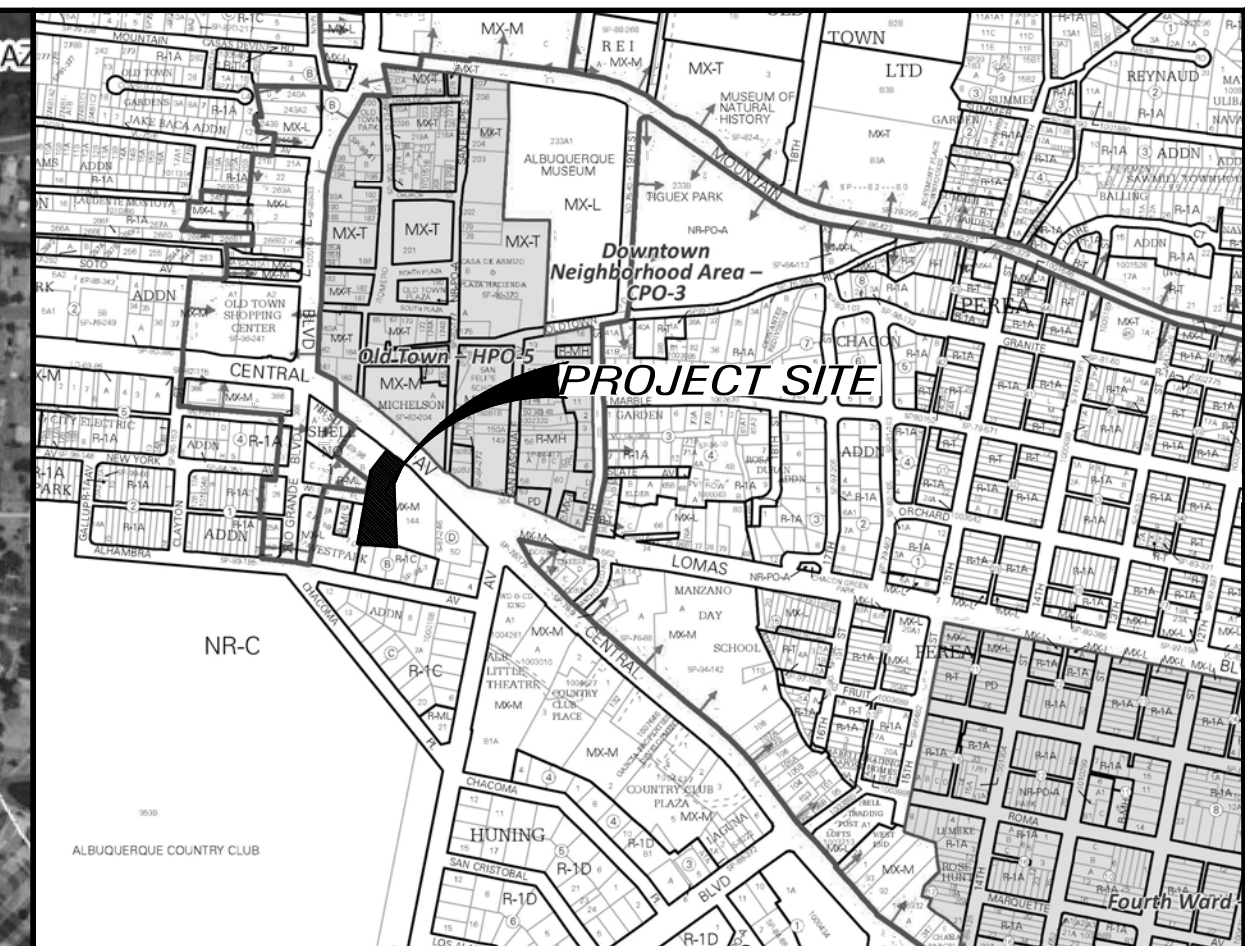
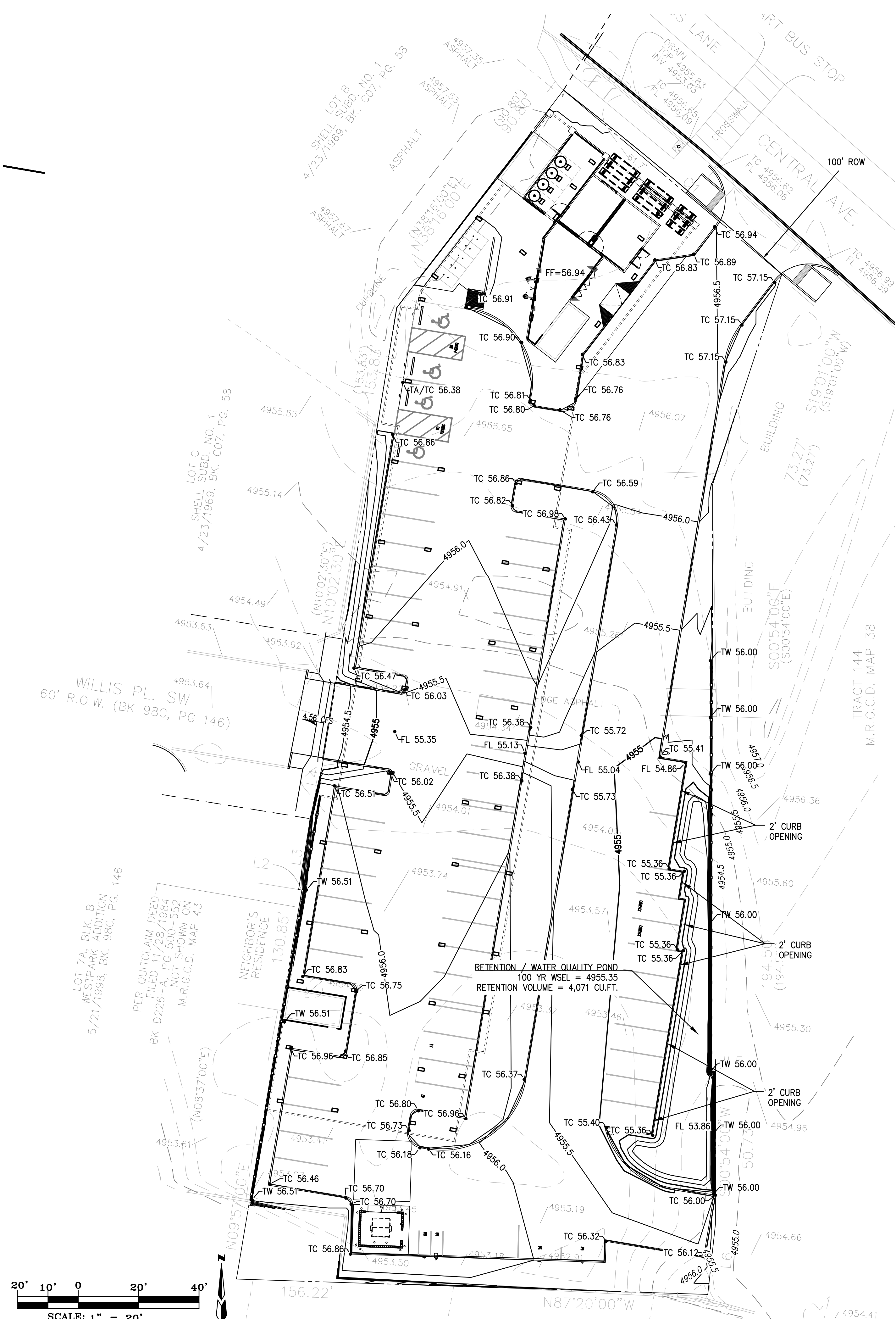
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PLAN NORTH
PLAN SCALE
1/8" = 1'-0"

PLAN TITLE

EXTERIOR ELEVATIONS

PLAN NUMBER
A3.3



FIRM MAP NO. 35001C0331H

VICINITY MAP J-13-Z

DRAINAGE INFORMATION

LOCATION & DESCRIPTION
THE PROPOSED SITE IS A DEVELOPED TRACT ON CENTRAL AVE, THAT HAS BEEN PREVIOUSLY GRADED AS A SIGNIFICANT PARKING AREA.

FLOODPLAIN STATUS
THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0331H, DATED AUGUST 16, 2012 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN.

EXISTING DRAINAGE
THE SITE DRAINS WITH FREE DISCHARGE TO WILLIS PLACE. PER DPM PART 6-5(C) THE DISCHARGE FROM THE SITE IS LIMITED TO 2.75 CFS/ACRE OR THE SITE MUST RETAIN THE FIRST 1/2 INCH OF RUNOFF.

DEVELOPED CONDITION
THE SITE WILL BE IMPROVED WITH 114 ROOM HOTEL. THE SITE RUNOFF WILL BE ROUTED TO THE POND DEPICTED TO RETAIN 48% OF THE TOTAL RUNOFF. THE OVERFLOW DISCHARGE TO WILLIS PLACE FROM THE POND WILL HAVE A PEAK FLOW OF 4.56 CFS OR 4.15 CFS/AC.

METHODOLOGY
THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE WEIGHTED E METHOD.

PRECIPITATION
THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 2 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, CHAPTER 6.

EQUATIONS:
WEIGHTED E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)
FLOW = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

BASIN	AREA (sf)	TREATMENT A %	TREATMENT B %	TREATMENT C %	TREATMENT D %	WEIGHTED E	VOLUME (cu.-ft.)	FLOW (cfs)	CFS/AC		
EXISTING	47916	0%	0%	40%	19166	60%	28750	1.8100	7227	4.21	3.82
PROPOSED	47916	0%	0%	15%	7187	85%	40729	2.1350	8525	4.56	4.15

REQUIRED WATER QUALITY VOLUME

SITE DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.

SITE DEPICTED HEREON SHALL BE RESPONSIBLE FOR MAINTAINING WATER QUALITY RUNOFF RETENTION ON THE SITE IMMEDIATELY PRIOR TO DISCHARGE. THE VOLUME SHALL BE EQUAL TO:
IMPERVIOUS AREA * 0.42/12 IN CUBIC FEET.

IMPERVIOUS AREA = 40,729 SQ.FT.
REQUIRED VOLUME = 40729 * 0.42/12 = 1,425 CU.FT.
VOLUME PROVIDED = 4,071 CU.FT.



GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO 8.
- ANY EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
- THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEEDED OR LANDSCAPED.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

CONSTRUCTION NOTES

THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE GROUP. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

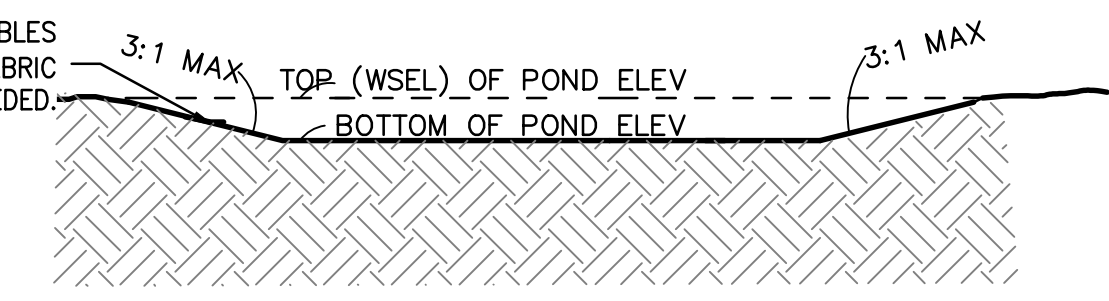
EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGEND

- SLOPE/FLOW ARROW
- EL=11.28 PROPOSED ELEVATION
- 66.33 EXISTING ELEVATION
- GRADE BREAK
- 5000 EXISTING CONTOUR
- 5000 EXISTING CONTOUR
- PROPOSED EASEMENT
- EXISTING WALL
- PROPOSED WALL

POND SIDES SHALL BE 4-6" COBBLES PLACED 12" DEEP OVER FILTER FABRIC BOTTOM SHALL BE SEEDDED.



THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 410-1622



PROJECT ADDRESS:
**2026 CENTRAL AVE. S.W.
ALBUQUERQUE, NM**

CLIENT NAME:
CAMBRIA HOTEL

PROJECT NUMBER:
PROJECT PROGRESS:
PERMIT

DRAWN BY:
REH

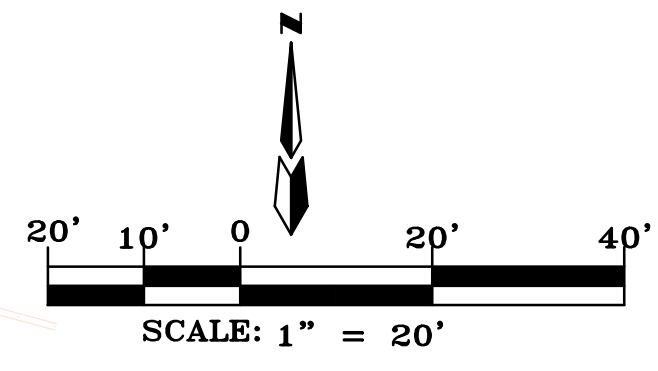
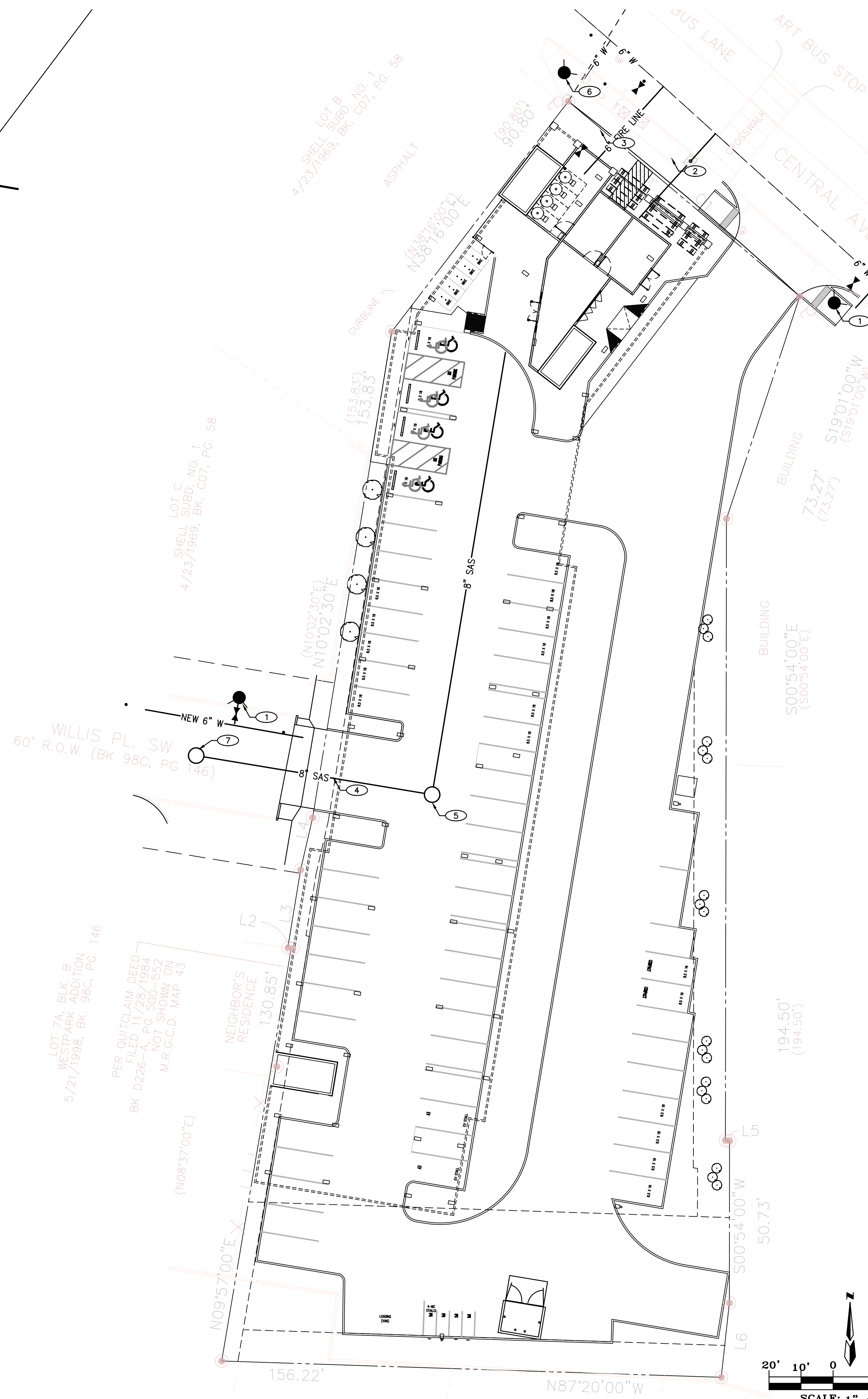
CHECKED BY: / APPROVED BY:
REH / REH

DATE:
JULY 5, 23

SCALE:
AS NOTED

SHEET:
GD 1

60' ROW



KEYED NOTES

1. NEW PUBLIC FIRE HYDRANT
2. NEW PRIVATE 2" WATER SERVICE
3. NEW PRIVATE 6" FIRE LINE
4. NEW PRIVATE 8" SAS SERVICE
5. NEW PRIVATE 4" MANHOLE
6. EXISTING PUBLIC FIRE HYDRANT
7. EXISTING PUBLIC MANHOLE

GENERAL NOTES:

1. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
2. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

LEGEND

- FIRE HYDRANT
- WATER VALVE
- EX SAS MANHOLE
- PROP SAS MANHOLE
- #\"/> SAS — PROPOSED SANITARY SEWER
- SAS — EX SANITARY SEWER
- #\"/> W — PROPOSED WATER LINE
- #\"/> W — EX WATER LINE



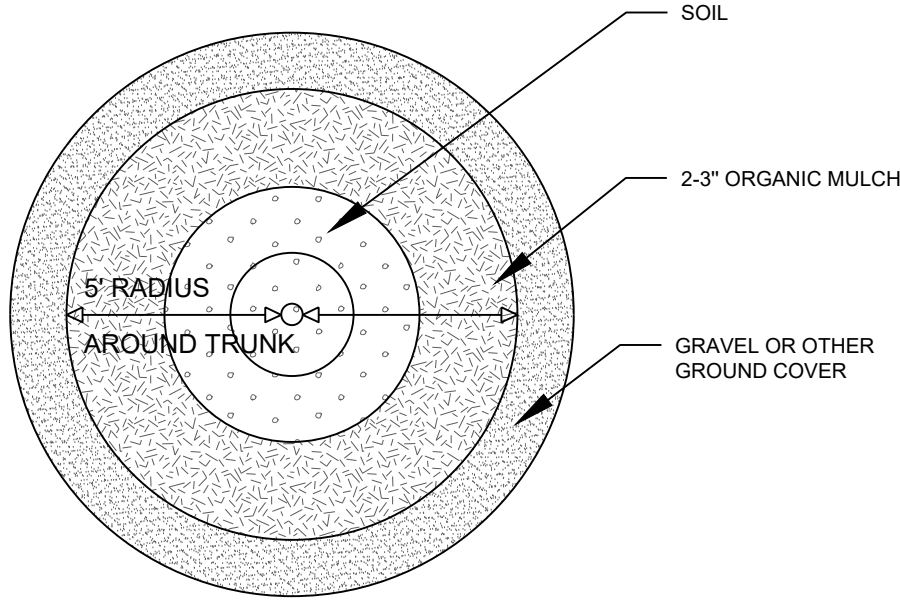
1. THIS SET OF DRAWINGS EXIST AS A WHOLE. IF THE SOLE CONTRACTOR INVOLVED IN THE PROJECT HAS ANY QUESTIONS REGARDING THE DRAWINGS, CONTACT THE PROFESSIONAL ENGINEER AT 505-289-3454.
 2. DUE TO POTENTIAL INCONSISTENCIES BETWEEN PLANS, CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. CONTACT THE PROFESSIONAL ENGINEER AT 505-289-3454.

PROJECT ADDRESS:
**2026 CENTRAL AVE. S.W.
 ALBUQUERQUE, NM**
 CLIENT'S NAME:

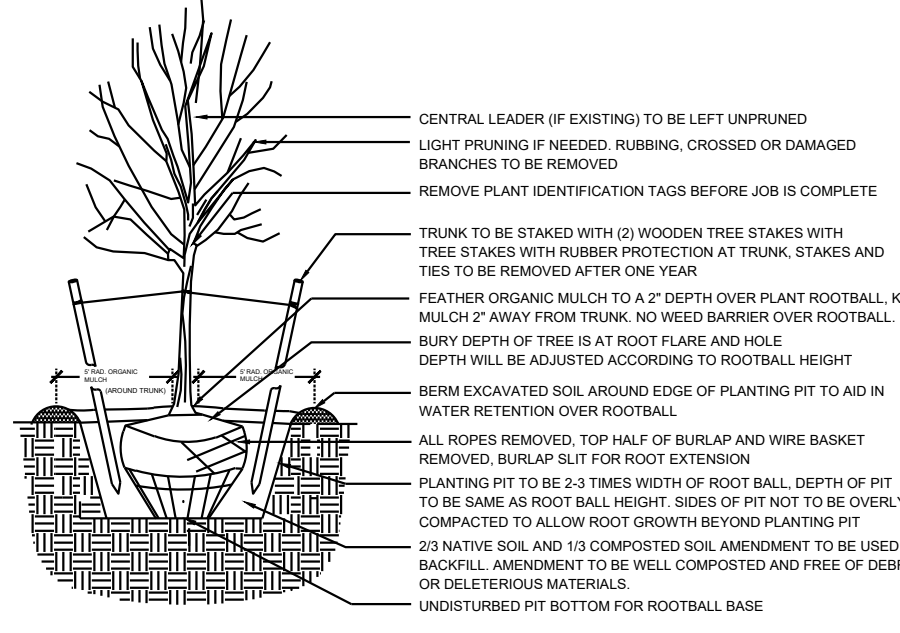
DRAWING NAME:
CONCEPTUAL UTILITY PLAN
 PROJECT NAME:
CAMBRIA HOTEL

PROJECT NUMBER:
 PROJECT PROGRESS:
PERMIT
 DRAWN BY:
REH
 CHECKED BY: / APPROVED BY:
REH / REH
 DATE:
MAY 31, 23
 SCALE:
AS NOTED
 SHEET:

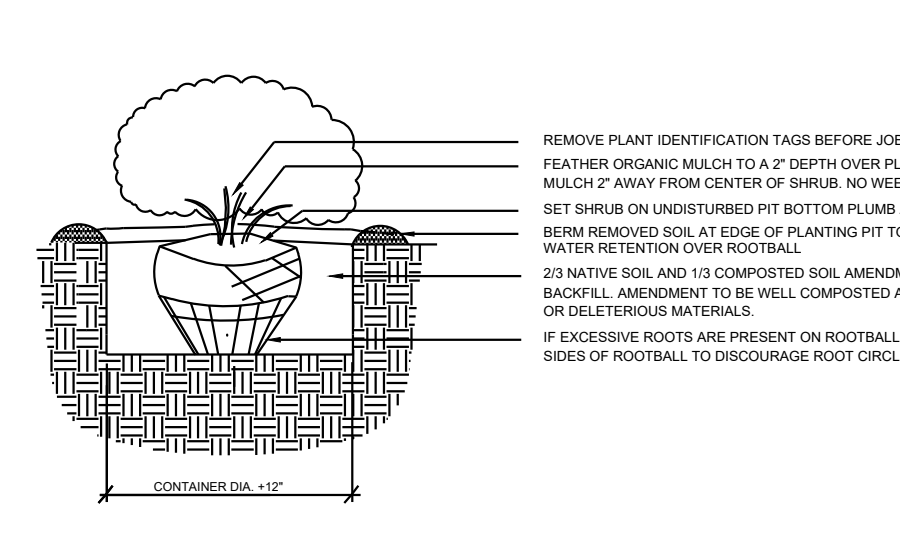
U1



3 TREE DETAIL N.T.S.



2 TREE PLANTING DETAIL N.T.S.



1 SHRUB PLANTING DETAIL N.T.S.

GENERAL NOTES

- 1. IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
2. POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.

LANDSCAPE DATA

Table with 4 columns: IDO UPC#, ZONING DESIGNATION, GROSS LOT AREA (SF), BUILDING AREA (SF), NET LOT AREA (SF). Values include MX-L, 47,493, 3,304, and 44,189.

PLANTING AREA MULCH

Table with 4 columns: REQUIRED, PROVIDED, PERCENT. Values include MAX. 75%, 9,094, and 73%.

STREET TREES - 1 PER 25 LF STREET FRONTAGE (83 LF)

Table with 4 columns: REQUIRED, PROVIDED, PERCENT. Values include 63 and 84%.

EDGE BUFFER LANDSCAPE 1 TREE AT 15' ALONG WALL: (303 LF)

Table with 4 columns: REQUIRED, PROVIDED, PERCENT. Values include 20 and 22%.

PARKING LOT EDGES WITHIN 30' OF FRONT LOT LINE - CONTINUOUS 3' HT EVERGREEN SHRUBS

Table with 4 columns: REQUIRED, PROVIDED, PERCENT. Values include 156 and 73%.

PARKING LOT INTERIOR PARKING STALLS: 14 stalls

Table with 4 columns: REQUIRED, PROVIDED, PERCENT. Values include 14 and 100%.

TOTALS TREES 37 PROVIDED 39

Table with 4 columns: REQUIRED, PROVIDED, PERCENT. Values include 37 and 39.

PLANT SCHEDULE

Table with 6 columns: SYMBOL, QTY, BOTANICAL / COMMON NAME, SIZE, WATER, H X W, COVERAGE.

TREES

Table with 6 columns: SYMBOL, QTY, BOTANICAL / COMMON NAME, SIZE, WATER, H X W, COVERAGE. Row: 2 EXISTING TREE, VARIES, 50.

DECIDUOUS TREE

Table with 6 columns: SYMBOL, QTY, BOTANICAL / COMMON NAME, SIZE, WATER, H X W, COVERAGE. Rows include ACER NEGUNDO 'SENSATION', FORESTIERA NEOMEXICANA, MALUS X 'SPRING SNOW'.

EVERGREEN TREE

Table with 6 columns: SYMBOL, QTY, BOTANICAL / COMMON NAME, SIZE, WATER, H X W, COVERAGE. Rows include JUNIPERUS CHIMENSIS 'SPARTAN', JUNIPERUS SCOPULORUM 'SKYROCKET'.

DESERT ACCENT

Table with 6 columns: SYMBOL, QTY, BOTANICAL / COMMON NAME, SIZE, WATER, H X W, COVERAGE. Row: 12 DASYLIIRION TEXANUM / TEXAS SOTOL.

PERENNIAL

Table with 6 columns: SYMBOL, QTY, BOTANICAL / COMMON NAME, SIZE, WATER, H X W, COVERAGE. Rows include ACHILLEA X 'MOONSHINE', CENTRANTHUS RUBER, GAURA LINDHEIMERI.

ORNAMENTAL GRASS

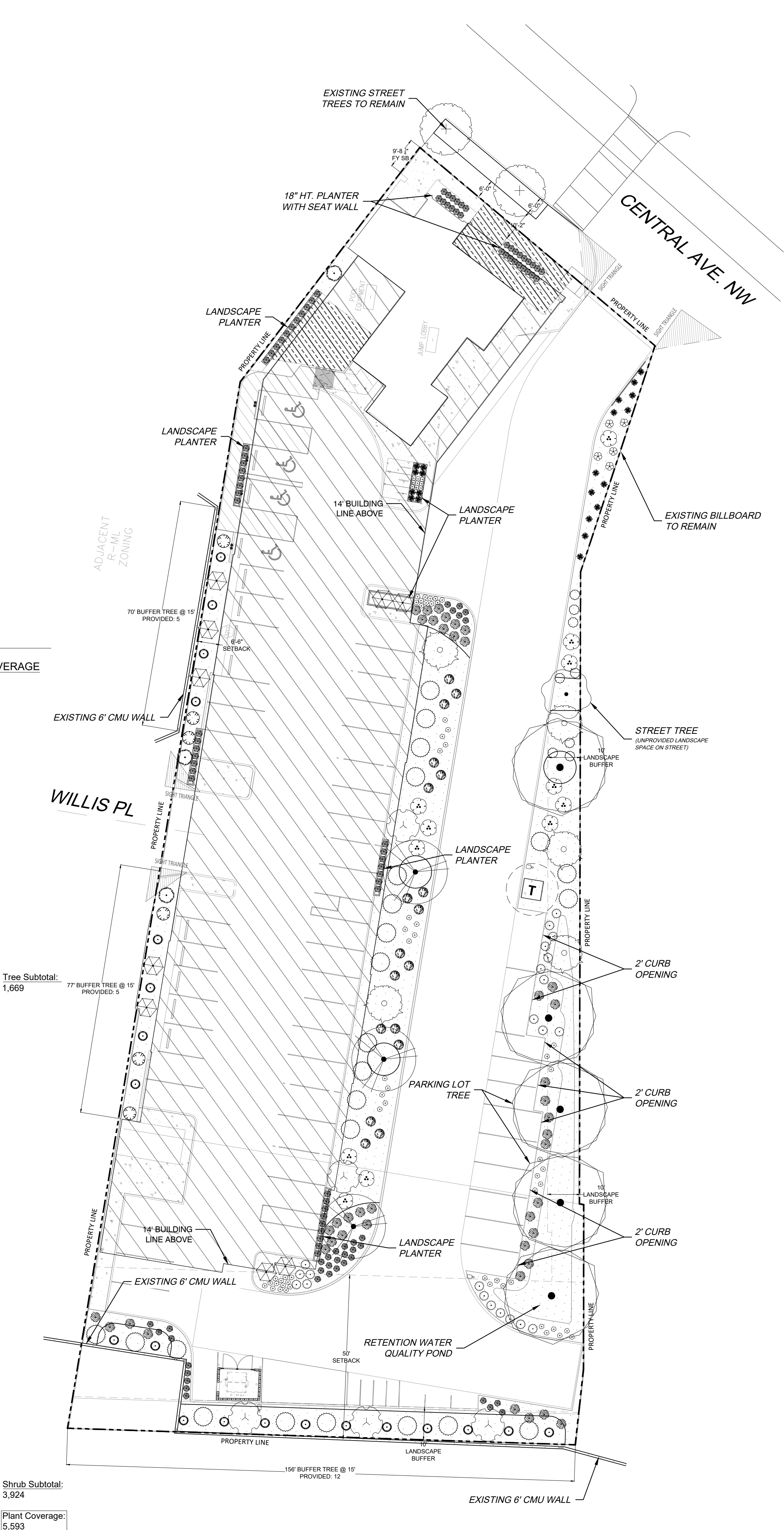
Table with 6 columns: SYMBOL, QTY, BOTANICAL / COMMON NAME, SIZE, WATER, H X W, COVERAGE. Rows include CALAMAGROSTIS X ACUTIFLORA, HELICTOTRICHON SEMPERVIRENS.

DECIDUOUS SHRUBS

Table with 6 columns: SYMBOL, QTY, BOTANICAL / COMMON NAME, SIZE, WATER, H X W, COVERAGE. Rows include CARYOPTERIS X CLANDONENSIS, LAVANDULA ANGUSTIFOLIA, LEUCOPHYLLUM FRUTESCENS.

EVERGREEN SHRUBS

Table with 6 columns: SYMBOL, QTY, BOTANICAL / COMMON NAME, SIZE, WATER, H X W, COVERAGE. Rows include CERCOCARPUS LEDIFOLIUS, NANDINA DOMESTICA, ROSMARINUS OFFICINALIS, VAUQUELINIA CALIFORNICA.



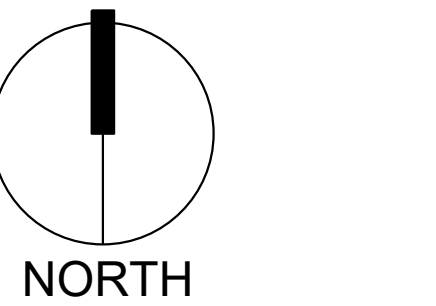
Plant Coverage: 5,593



Date: 10/26/2023 Revisions: 06/27/2024

Drawn by: E.G. Reviewed by: CM

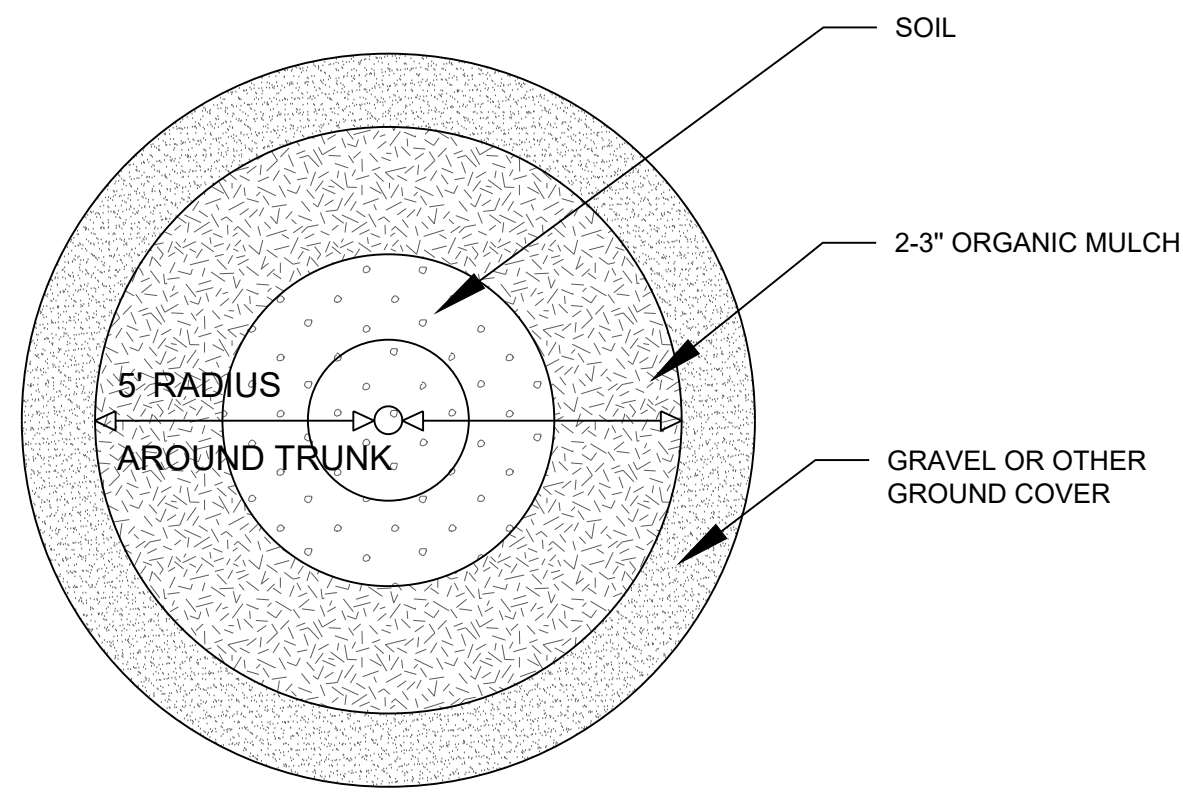
Cambria Hotel 2026 Central Ave SW Albuquerque, New Mexico



Scale: 1" = 20'

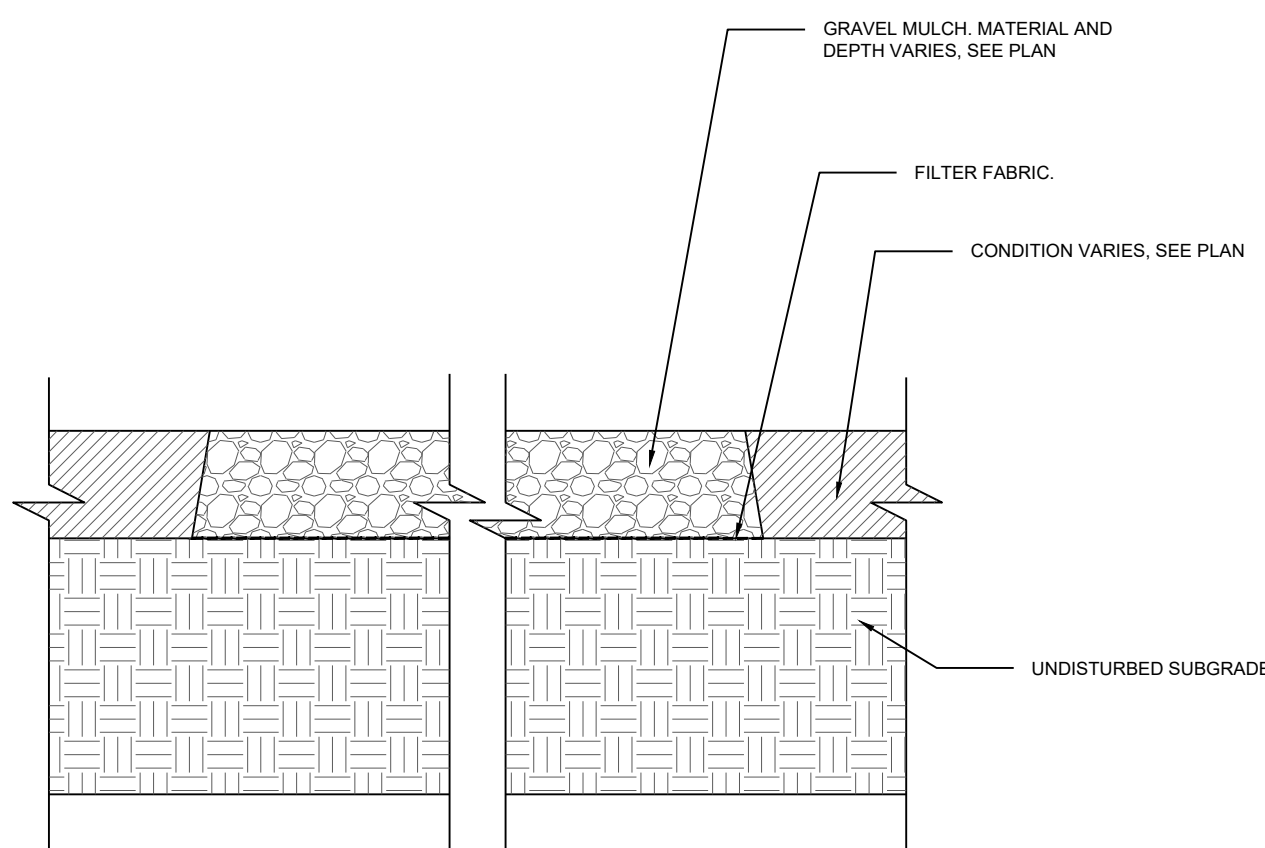
Sheet Title: Landscape Plan

Sheet Number: LS-01



2 TREE DETAIL

N.T.S.



1 GRAVEL MULCH WITH FILTER FABRIC

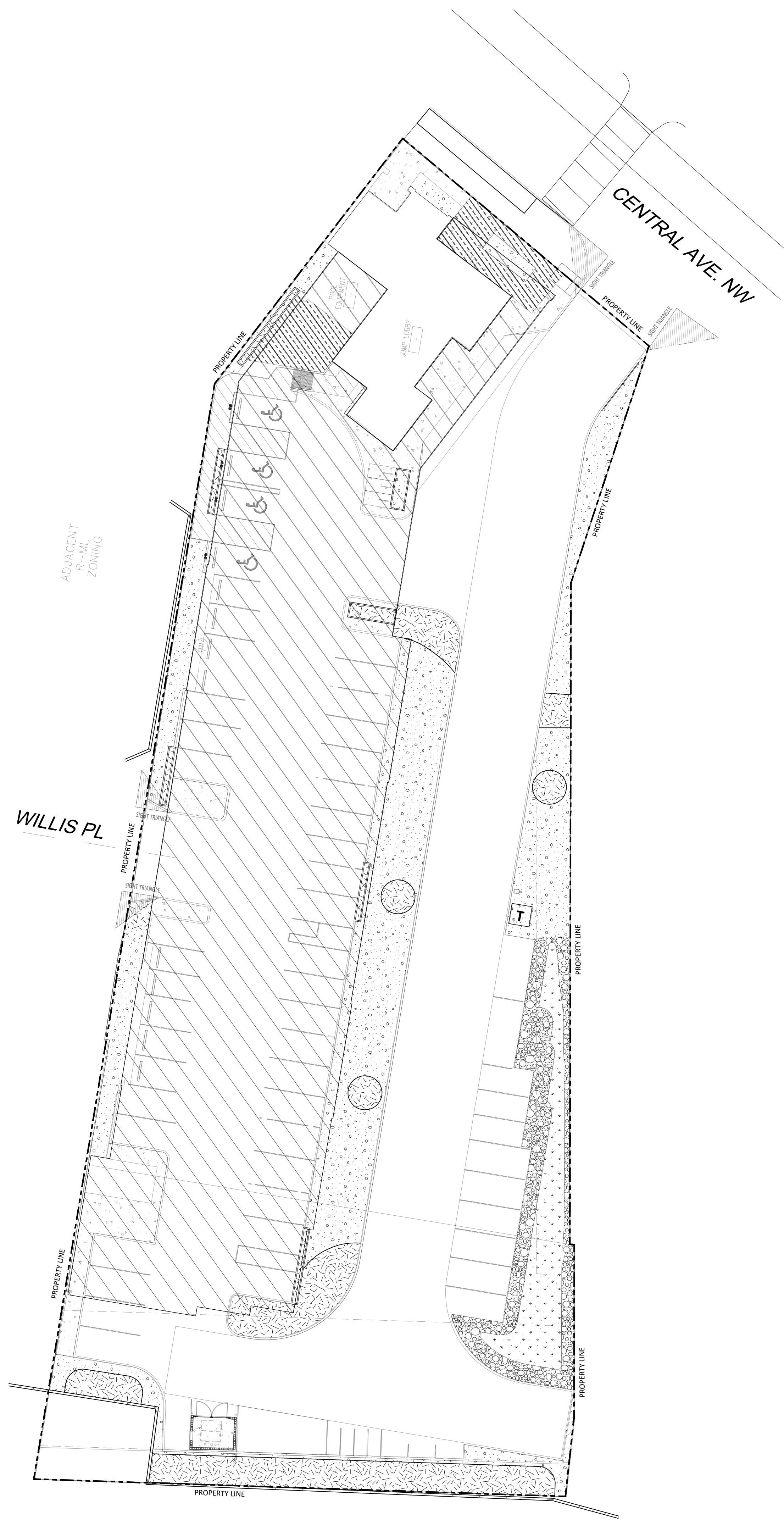
N.T.S.

GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PURSUANT TO 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PURSUANT TO 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(9)(c), WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT OF WAY, THE APPLICANT SHALL INSTALL AN ADEQUATE IRRIGATION SYSTEM THAT MEETS THE MIN. TECHNICAL REQUIREMENTS IN ARTICLE 6-6 OF ROA 1994 AND THE DPM, WITH A SEPARATE METER FOR THE LANDSCAPE AREA IN THE PUBLIC ROW, OR A SEPARATE VALVE(S) AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.
- PURSUANT TO 5-6(C)(4)(g), ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-2-6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING, WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.
- PURSUANT 5-6(C)(4)(h), ALL REQUIRED PLANT MATERIALS SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ASNA) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- PURSUANT 5-6(C)(5)(a), ALL VEGETATED MATERIAL REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE PLANTED IN UNCOMPACTED SOIL.
- PURSUANT 5-6(C)(5)(b), WEED BARRIERS SHALL BE PERMEABLE.
- PURSUANT 5-6(C)(5)(d), A MINIMUM OF 2 INCHES OF ORGANIC MULCH IS REQUIRED IN ALL PLANTING AREAS, WITH 3-4 IN. RECOMMENDED.
- PURSUANT 5-6(C)(15)(c), ANY DAMAGES TO UTILITY LINES RESULTING FROM NEGLIGENCE OF THE ABUTTING PROPERTY OWNER OR THEIR AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF ANY LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC ROW, PRIVATE WAY, OR EASEMENT SHALL BE THE RESPONSIBILITY OF SUCH PROPERTY OWNER. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWTH OF PLANT MATERIALS, SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY. IF A PUBLIC UTILITY DISTURBS LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC ROW, PRIVATE WAY, OR EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF THE PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE ABUTTING PROPERTY OWNER TO REPLACE THE PLANT MATERIALS.
- PURSUANT 5-6(C)(15)(d), PROPERTY OWNERS ACKNOWLEDGE THAT APPROVED LANDSCAPING AND TREES INSTALLED AND MAINTAINED IN A PUBLIC ROW, PRIVATE WAY, OR EASEMENT ABUTTING PRIVATE PROPERTIES ARE THE PROPERTY OF THE CITY, AND THE CITY RESERVES THE RIGHT TO REMOVE THEM IF NECESSARY FOR A TRANSPORTATION PROJECT WITHOUT COMPENSATION. LANDSCAPING INSTALLED IN AN ABUTTING PUBLIC ROW, PRIVATE WAY, OR EASEMENT BY PROPERTY OWNERS AND LATER REMOVED BY THE CITY SHALL NOT IMPACT PREVIOUSLY APPROVED NET LOT AREA CALCULATIONS FOR REQUIRED LANDSCAPING.
- PURSUANT 5-13(B)(7)(a), LANDSCAPING, SCREENING AND BUFFERING AREAS SHALL BE MAINTAINED IN COMPLIANCE WITH ARTICLES 6-6 AND 9-8 OF ROA 1994 AND SECTION 4 OF THE ABCWUA LEGISLATION AND ORDINANCES.
- PURSUANT 5-13(B)(7)(b), ALL LANDSCAPED AREAS SHALL BE MAINTAINED WITH A NEAT AND ORDERLY APPEARANCE, WHICH INCLUDES PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED PLANTS AND TREES, DISPOSAL OF LITTER, REPAIR OF DAMAGED WALLS AND HARD SURFACE AREAS, AND UPKEEP OF IRRIGATION SYSTEMS.
- PURSUANT 5-13(B)(7)(d), WHERE LANDSCAPING WAS INSTALLED PURSUANT TO A SITE PLAN OR DEVELOPMENT APPROVAL, THE LANDSCAPING SHALL BE REPLACE ACCORDING TO ANY LANDSCAPING AND MAINTENANCE PLAN UNDER THAT APPROVAL.
- PURSUANT 5-13(B)(7)(e), TREES OR PLANTS THAT DIE SHALL BE REPLACE BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 DAYS AFTER NOTICE FROM THE CITY. REPLACEMENT OF THE DEAD VEGETATION IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- PURSUANT 5-13(B)(7)(f), STREET TREES SHALL BE MAINTAINED ALIVE AND HEALTHY. MAINTAINING AND REPLACING STREET TREES OR OTHER TREES PLANTED IN THE PUBLIC ROW ARE THE RESPONSIBILITY OF ABUTTING PROPERTY OWNERS.

MATERIALS SCHEDULE

SYMBOL	DESCRIPTION
	AMARETTO 5/8 - 1 1/4" GRAVEL 3" DEPTH OVER FILTER FABRIC
	NATIVE MULCH SHREDDED 3" DEPTH NOT OVER FILTER FABRIC
	BLUE SAIS 2-4" ANGULAR COBBLE 4" DEPTH OVER FILTER FABRIC
	NATIVE SEED REVEGETATION

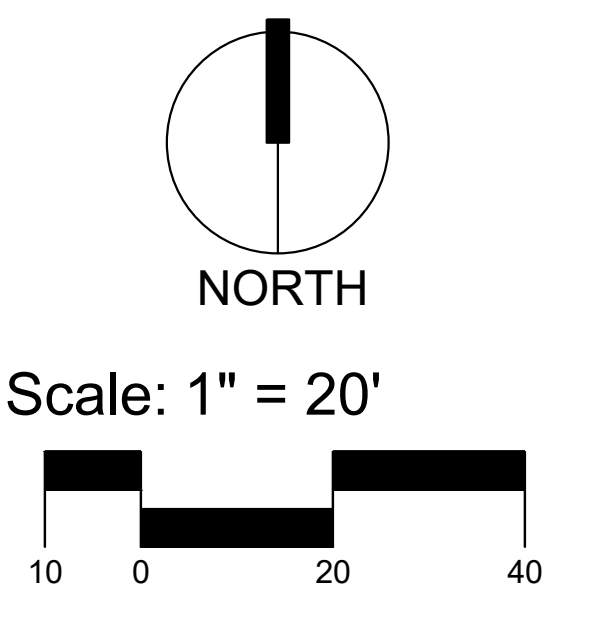


YELLOWSTONE
LANDSCAPE
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PO Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com

6/27/2024

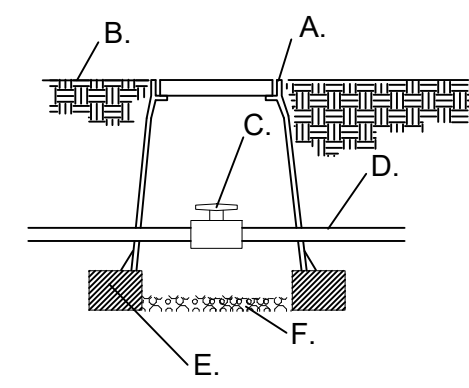
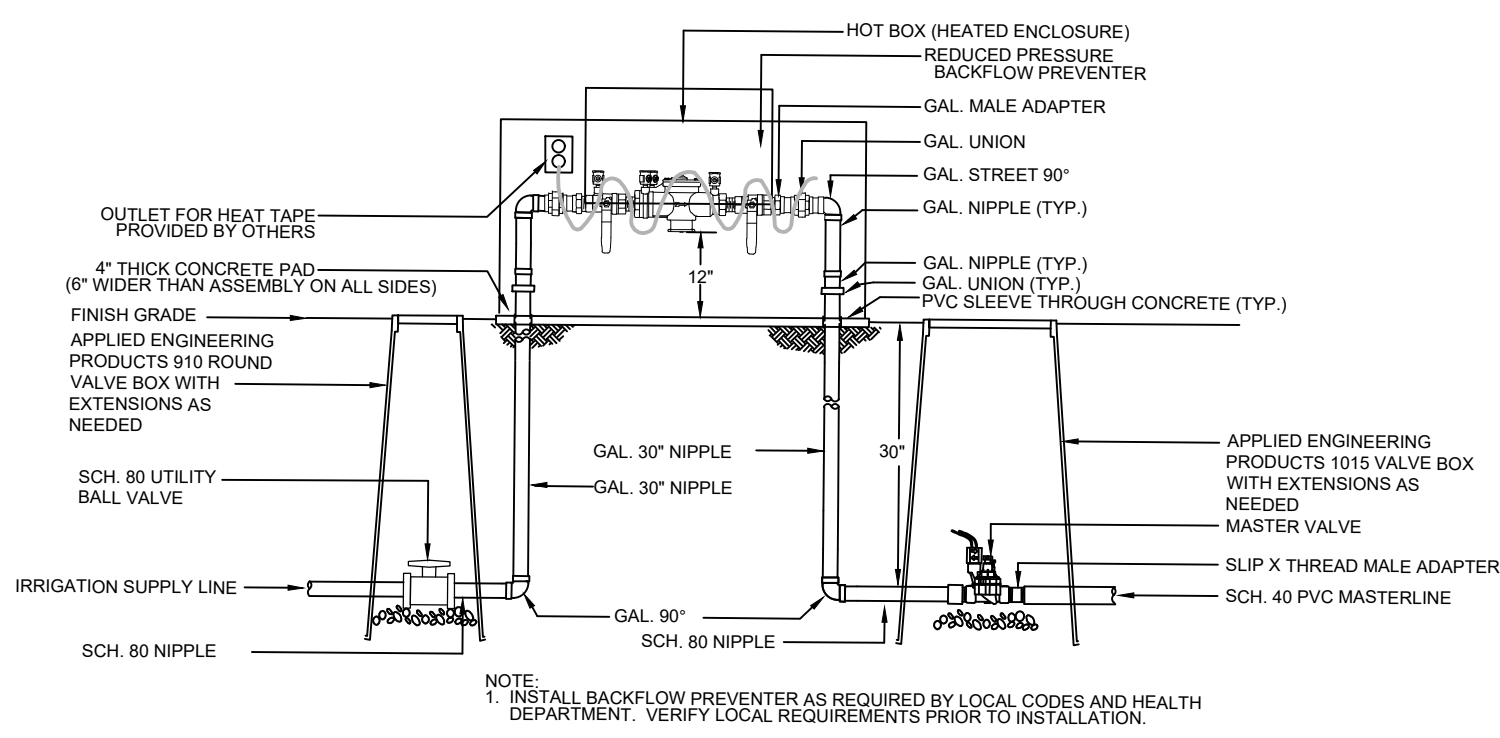
Date: 10/26/2023
Revisions:
 △ 06/27/2024
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 Drawn by: E.G.
 Reviewed by: CM

Cambria Hotel
2026 Central Ave SW
Albuquerque, New Mexico



Sheet Title:
Materials Plan

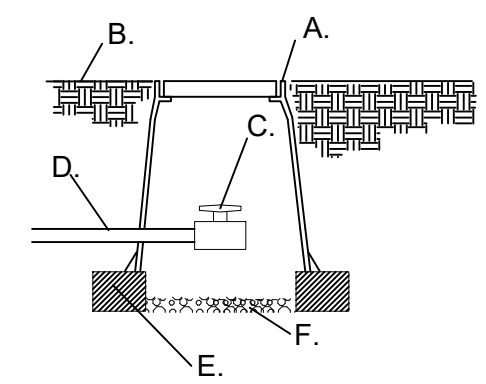
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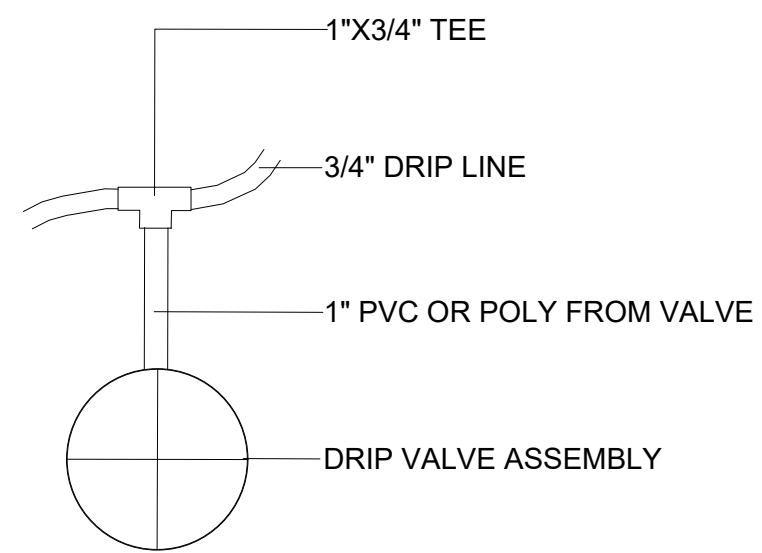
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- B. FINISH GRADE
- C. SCH. 80 UTILITY BALL VALVE
- D. MAINLINE/24\"/>
- E. 8\"/>
- F. 4\"/>

1 RP BACKFLOW/MASTER VALVE DETAIL N.T.S.

2 MAINLINE ISOLATION VALVE DETAIL N.T.S.

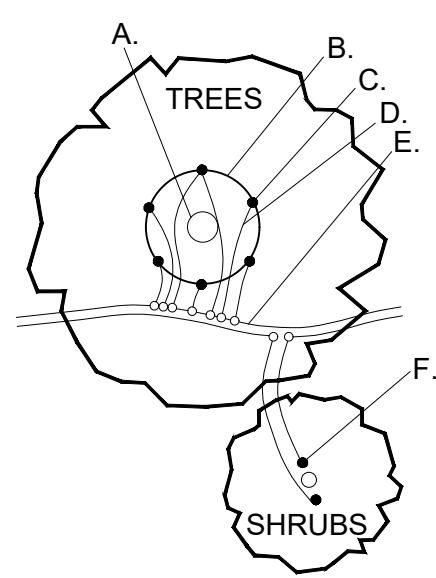


- A. APPLIED ENGINEERING PRODUCTS 910 ROUND VALVE BOX WITH EXTENSIONS AS NEEDED
- B. FINISH GRADE
- C. SCH. 80 UTILITY BALL VALVE
- D. MAINLINE/24\"/>
- E. 8\"/>
- F. 3/4\"/>



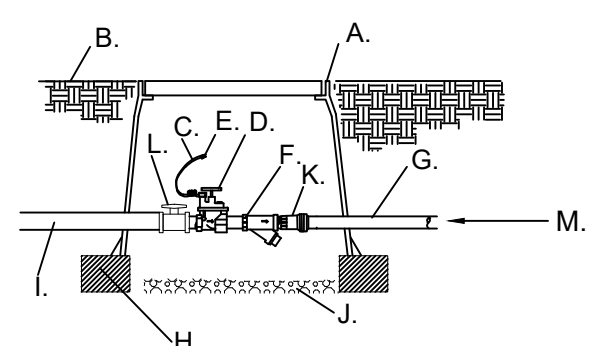
3 MANUAL DRAIN VALVE DETAIL N.T.S.

4 DRIP VALVE DETAIL N.T.S.



- A. TREE TRUNK/ ROOT CROWN
 - B. 24\"/>
 - C. EMITTERS
 - D. 1/4\"/>
 - E. PE DRIPLINE
 - F. EMITTER PLACED WITHIN 6\"/>
- NOTE: INSTALL EMITTERS ABOVE THE ROOT BALL IF PLANT IS INSTALLED ON A SLOPE.

5 EMITTER PLACEMENT DETAIL N.T.S.



- F. \"/>
- G. LATERAL LINE/24\"/>
- H. 8\"/>
- I. MASTERLINE/24\"/>
- J. 4\"/>
- K. PRESSURE REGULATOR
- L. SCH. 80 TRUE UNION BALL VALVE
- M. SCH. 40 PVC LATERAL LINE

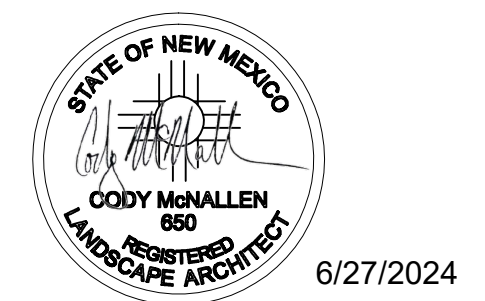
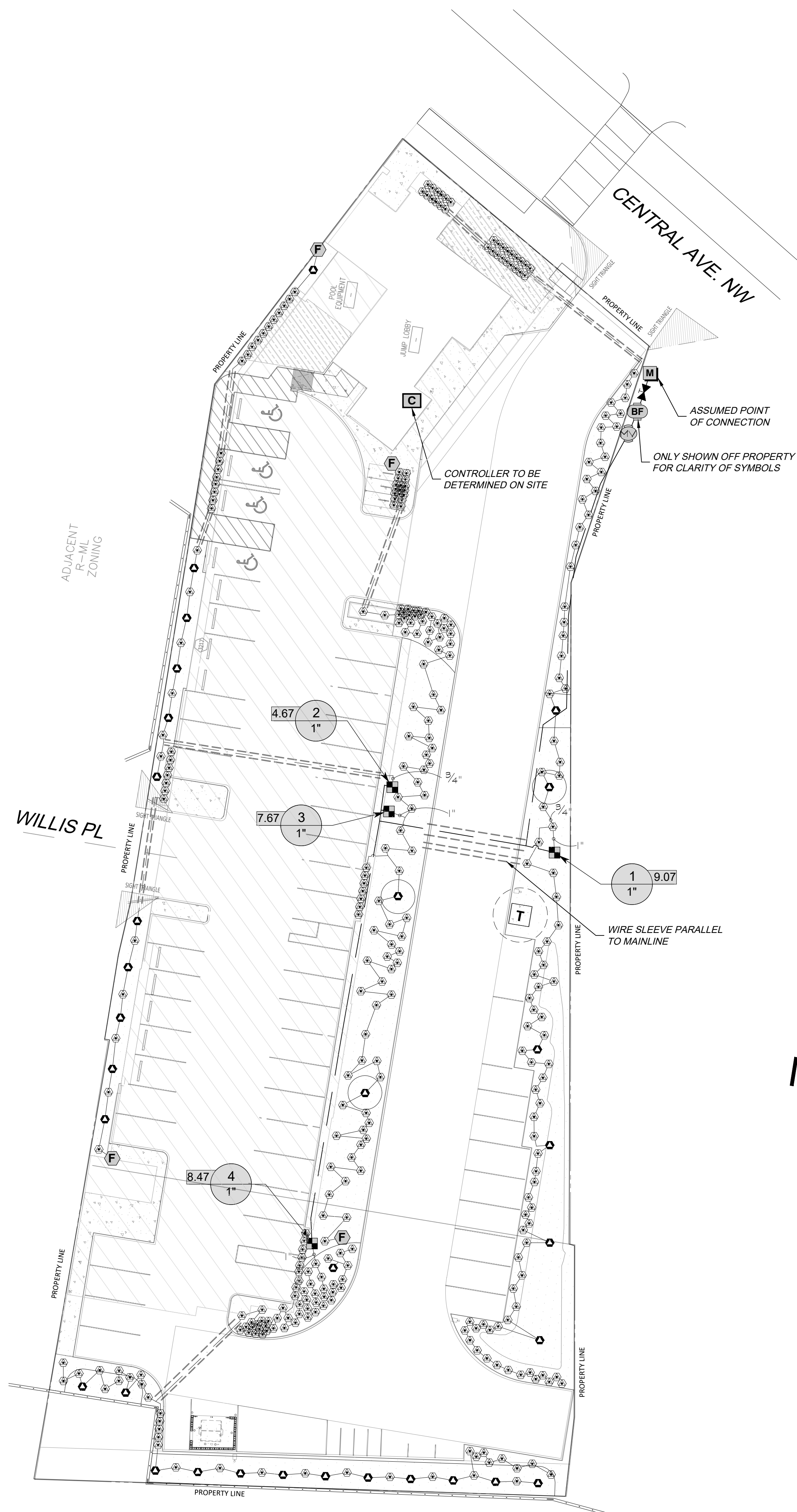
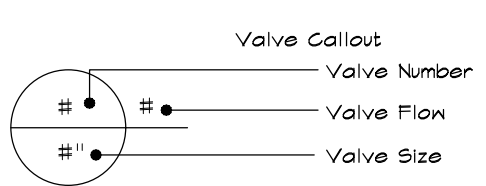
6 DRIP VALVE WITH FILTER & PRESSURE REGULATOR N.T.S.

IRRIGATION NOTES

- THE LANDSCAPE CONTRACTOR SHALL FURNISH LABOR, MATERIALS AND EQUIPMENT TO INSTALL PROPOSED IRRIGATION SYSTEM AS SHOWN PER PLAN AND DETAILS.
- IF ANY ERRORS OR DISCREPANCIES APPEAR ON THE PLAN, THEY MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION OF THE IRRIGATION SYSTEM BEGINS.
- LANDSCAPE INSTALLER SHALL PERFORM PRESSURE/GPM TEST AT POINT OF CONNECTION BEFORE INSTALLING IRRIGATION SYSTEM TO VERIFY PSI AND GPM FOR THE SITE.
- IRRIGATION SYSTEM HAS BEEN DESIGNED TO A MINIMUM STATIC PRESSURE OF 75 PSI AND 50 GPM. IF THE PSI/GPM ARE LOWER THAN 75/50 THE LANDSCAPE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.
- THE CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS AND MAKE ANY NECESSARY FIELD ADJUSTMENTS WITH GENERAL CONTRACTOR.
- THE LOCATION OF IRRIGATION EQUIPMENT IS APPROXIMATE AND SHALL BE LOCATED IN THE LANDSCAPE AREAS. ANY IRRIGATION EQUIPMENT AND PIPING SHOWN OUTSIDE OF LANDSCAPE AREAS ARE FOR GRAPHIC CLARITY ONLY.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE TO OWNER AN ACCURATE AS-BUILT IRRIGATION PLAN WHEN THE WORK IS COMPLETED. AS-BUILT DOCUMENTS SHOULD BE UPDATED WEEKLY FOR ACCURATE RECORDING OF IRRIGATION SYSTEM.
- VALVE LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT. VALVE BOX LIDS TO BE TAN IN GRAVEL AREAS AND GREEN IN SOD/SEED AREAS.
- ALL PLANTS WITHIN THE PROPERTY LINE SHALL BE IRRIGATED BY LOW FLOW POINT-SOURCE DRIP IRRIGATION SYSTEM.
- ALL PLANTS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED BY BUBBLER IRRIGATION SYSTEM PER COA SPEC. ALL PLANTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE ZONED SEPARATELY FROM THE PLANTS WITHIN THE PROPERTY LINE.
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- CONTROLLER LOCATION IS APPROXIMATE AND THE FINAL LOCATION WILL BE DETERMINED IN THE FIELD.
- SLEEVES TO BE INSTALLED, AS SHOWN PER PLAN, BEFORE HARDSCAPE IS INSTALLED. THE LANDSCAPE CONTRACTOR MUST BE GIVEN A MINIMUM OF 72 HOUR NOTICE BEFORE SLEEVE LOCATIONS ARE PAVED OVER.
- WATER METER TO BE PROVIDED BY OTHERS.
- PURSUANT 5-6(C)(14)(a), IRRIGATION SYSTEMS SHALL COMPLY WITH SECT.8 OF THE ABCWUA LEGISLATION AND ORDINANCES.
- PURSUANT 5-6(C)(14)(b), ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
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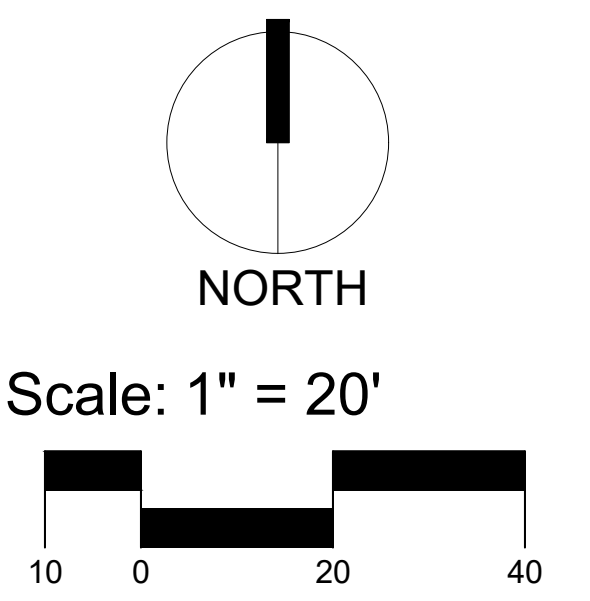
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	DRIP CONTROL VALVE RAIN BIRD XCZ-100-PRF. MEDIUM FLOW DRIP CONTROL KIT, 4 1IN. DV VALVE, 1IN. PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 3 GPM-15 GPM.	4
⊕	FLUSH CAP NDS CEP900	4
⊕	DRIP EMITTER - SHRUB (2) NDS TAE 20 DRIP EMITTERS	352
⊕	DRIP EMITTER - TREE (6) NDS TAE 20 DRIP EMITTERS	32
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊗	MAIN SHUT OFF VALVE SPEARS SCH80 PVC COMPACT BALL VALVE	1
⊕	MASTER VALVE 1-1/2\"/>	1
⊕	REDUCED PRESSURE BACKFLOW PREVENTER 1-1/2\"/>	1
⊕	CONTROLLER - RAIN BIRD ESP4ME3 4-22 STATION. HYBRID MODULAR OUTDOOR CONTROLLER. FOR RESIDENTIAL OR LIGHT COMMERCIAL USE. LNK WIFI MODULE AND FLOW SENSOR READY.	1
⊕	WATER METER 1\"/>	1
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	
---	IRRIGATION LATERAL LINE: A940 DRIP POLYLINE	
---	IRRIGATION MAINLINE: PVC SCHEDULE 40	
---	PIPE SLEEVE: PVC CLASS 200 SDR 21	

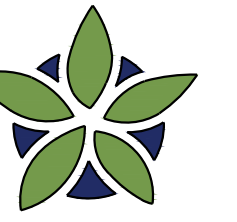


Date: 10/26/2023
Revisions:
△ 06/27/2024
△
△
△
△
△
△
Drawn by: E.G.
Reviewed by: CM

Cambria Hotel
2026 Central Ave SW
Albuquerque, New Mexico



Sheet Title:
Irrigation Plan
Sheet Number:
LI-01



YELLOWSTONE
LANDSCAPE

www.yellowstonelandscape.com
PO Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



6/27/2024

Date: 10/26/2023

Revisions:

△ 06/27/2024

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Drawn by: E.G.

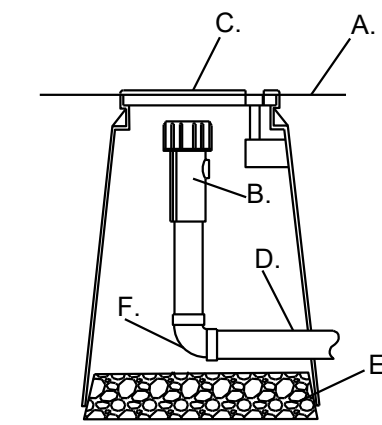
Reviewed by: CM

Cambria Hotel
2026 Central Ave SW

Albuquerque, New Mexico

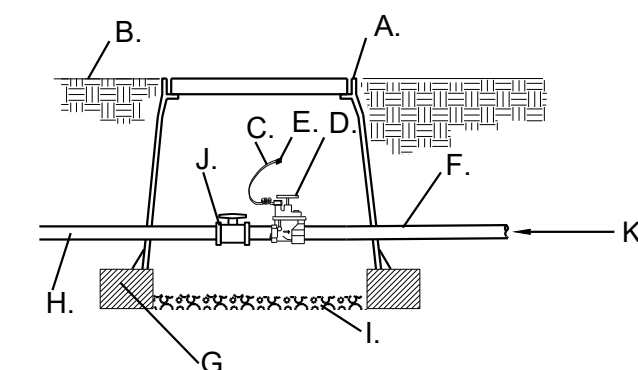
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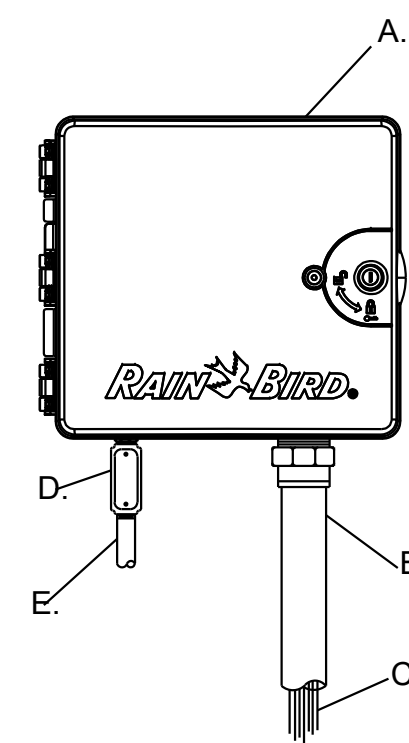
- A. FINISH GRADE
- B. END FLUSH CAP
- C. 6" ROUND BOX WITH LID
- D. 3/4" POLY DRIP PIPE
- E. 2" DEPTH OF GRAVEL
- F. 90° FITTING

7 END FLUSH CAP _____ N.T.S.



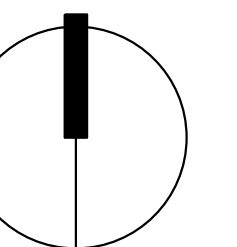
- A. APPLIED ENGINEERING PRODUCTS 1320 VALVE BOX WITH EXTENSIONS AS NEEDED
- B. FINISH GRADE
- C. 24" WIRE LOOP
- D. AUTOMATIC VALVE- SEE IRRIGATION LEGEND.
- E. DRY SPLICE CONNECTOR OR EQUAL
- F. LATERAL LINE/24" BURY
- G. 8" X 8" X 16" CMU CONCRETE BLOCK
- H. MASTERLINE/24" BURY
- I. 4" LAYER OF 3/4" GRAVEL
- J. SCH. 80 TRUE UNION BALL VALVE
- K. SCH. 40 PVC LATERAL LINE

8 AUTOMATIC VALVE _____ N.T.S.



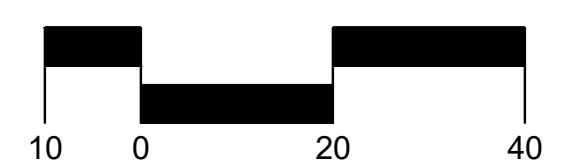
- A. CONTROLLER (see plan for model)
- B. 2" PVC SCH. 40 CONDUIT AND FITTINGS
- C. WIRES TO REMOTE CONTROL VALVES
- D. JUNCTION BOX
- E. 1" PVC SCH. 40 CONDUIT AND FITTINGS TO POWER SUPPLY

9 WALL MOUNTED AUTOMATIC CONTROLLER _____ N.T.S.



NORTH

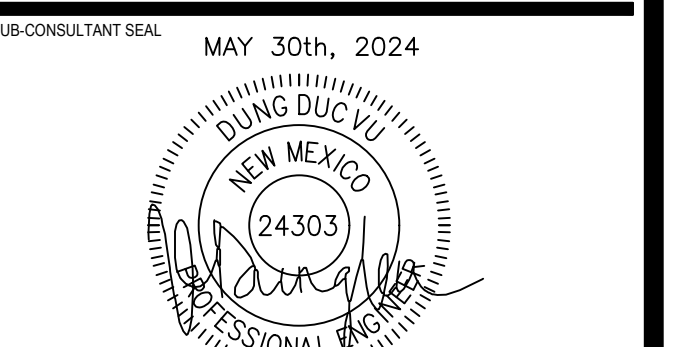
Scale: 1" = 20'



Sheet Title:
**Irrigation
Details**

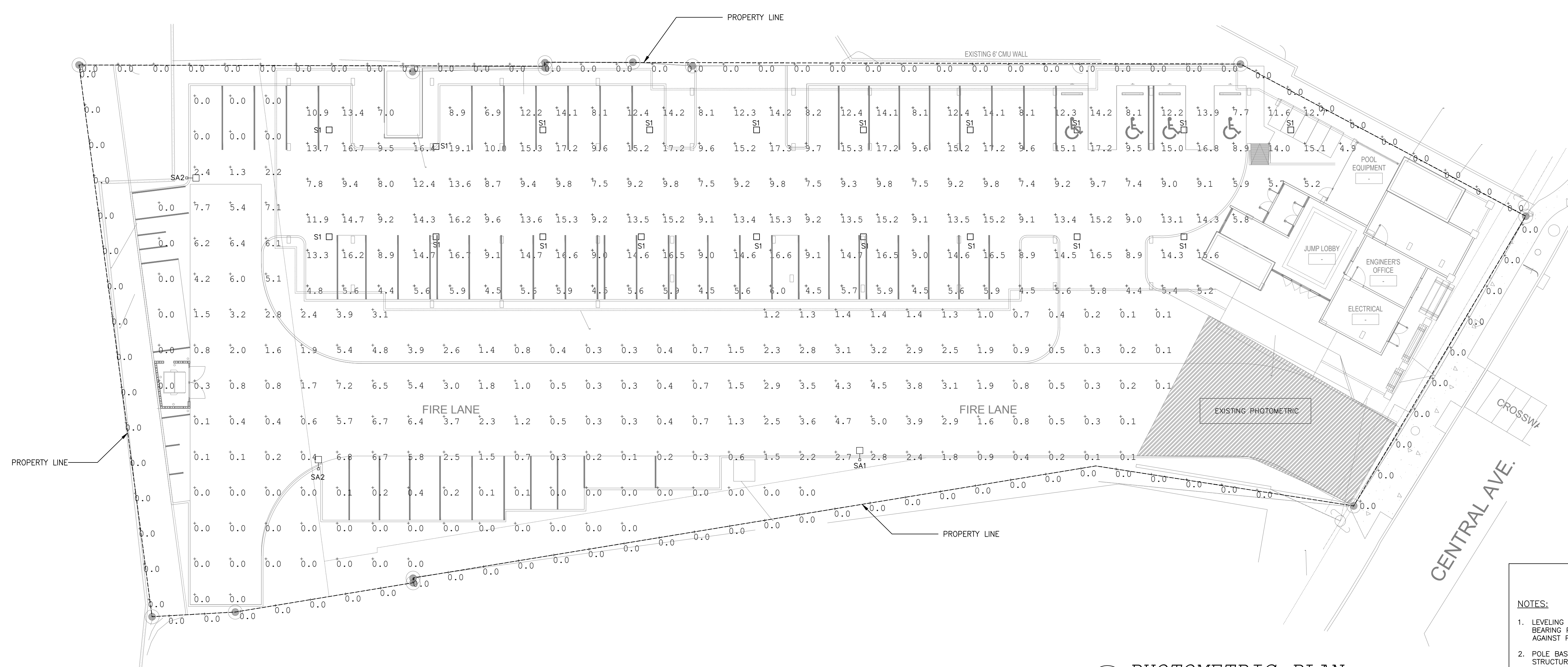
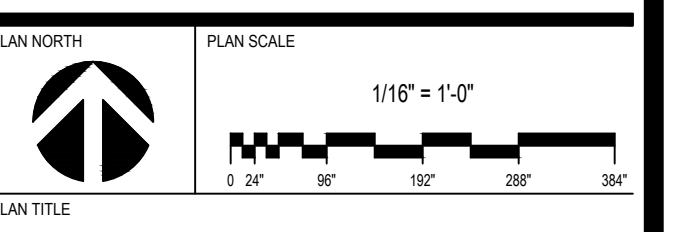
Sheet Number:

LI-02



DATE (Y/M/D)	REVISION DESCRIPTION

ELECTRONIC PLOT DATE STAMP
ELECTRONIC FILENAME STAMP

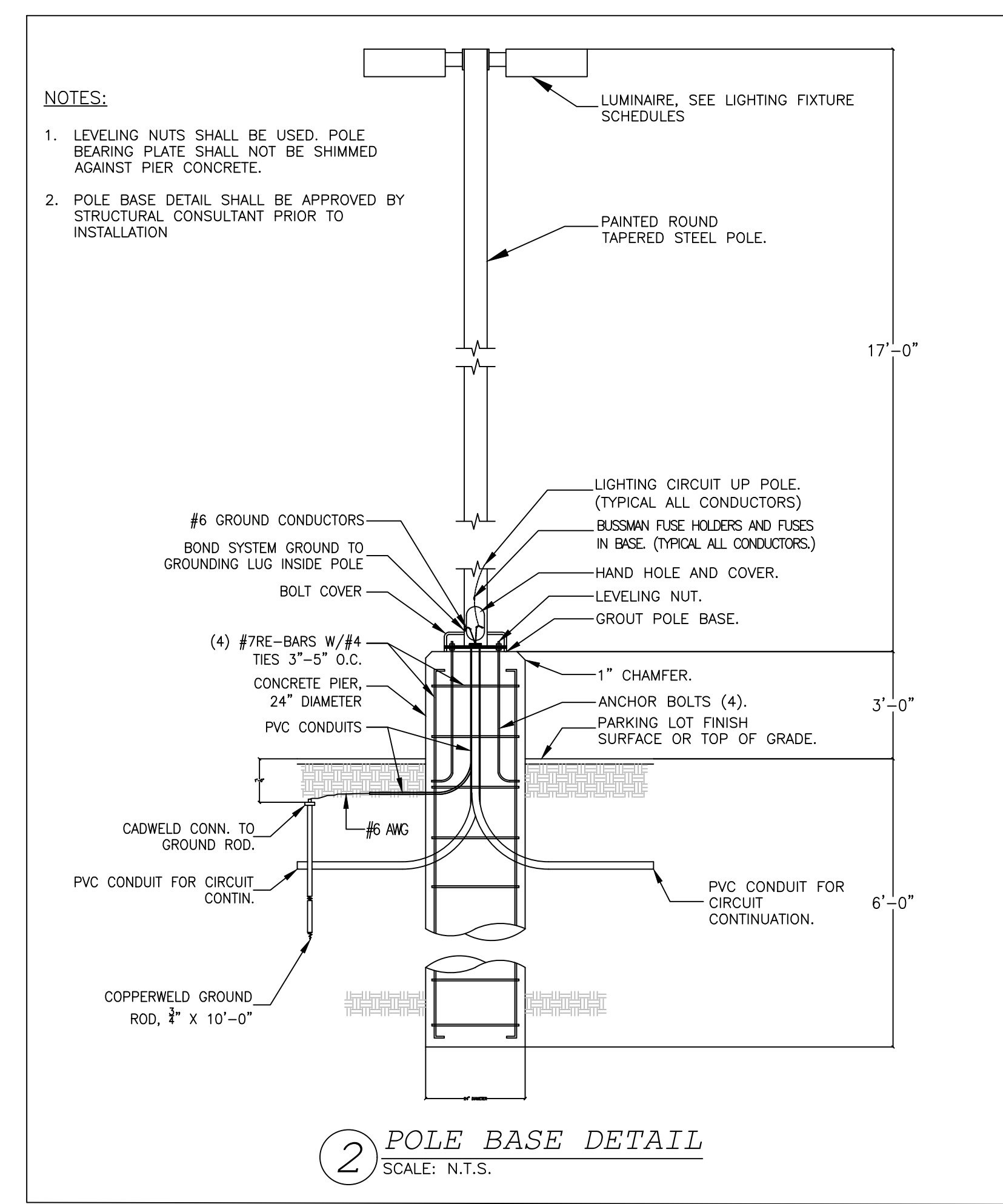


1 PHOTOMETRIC PLAN
SCALE: 1/16"=1'-0"

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Parking Lots	Illuminance	Fc	1.53	7.7	0.0	N.A.
Parking Indoor	Illuminance	Fc	10.59	7.7	0.0	N.A.
Property Line	Illuminance	Fc	0.0	0.0	0.0	N.A.

Luminaire Schedule						
Qty	Label	Arrangement	LLF	Description	Lum. Watts	Lum. Lumens
1	SA1	SINGLE	1.000	DSXO LED P6 30K 70CRI BLC3	137	11957
2	SA2	SINGLE	1.000	DSXO LED P6 30K 70CRI LC00	137	11966
19	S1	SINGLE	1.000	GPS-CANDOPY-LIGHT-5700-95W-IES	95.21	11959

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING THE SITE LIGHTING PHOTOMETRIC TESTING AND COMMISSIONING TO ENSURE THE ACTUAL PHOTOMETRIC READINGS ARE CONSISTENT WITH THOSE OF THE DESIGNED PHOTOMETRIC PLAN.



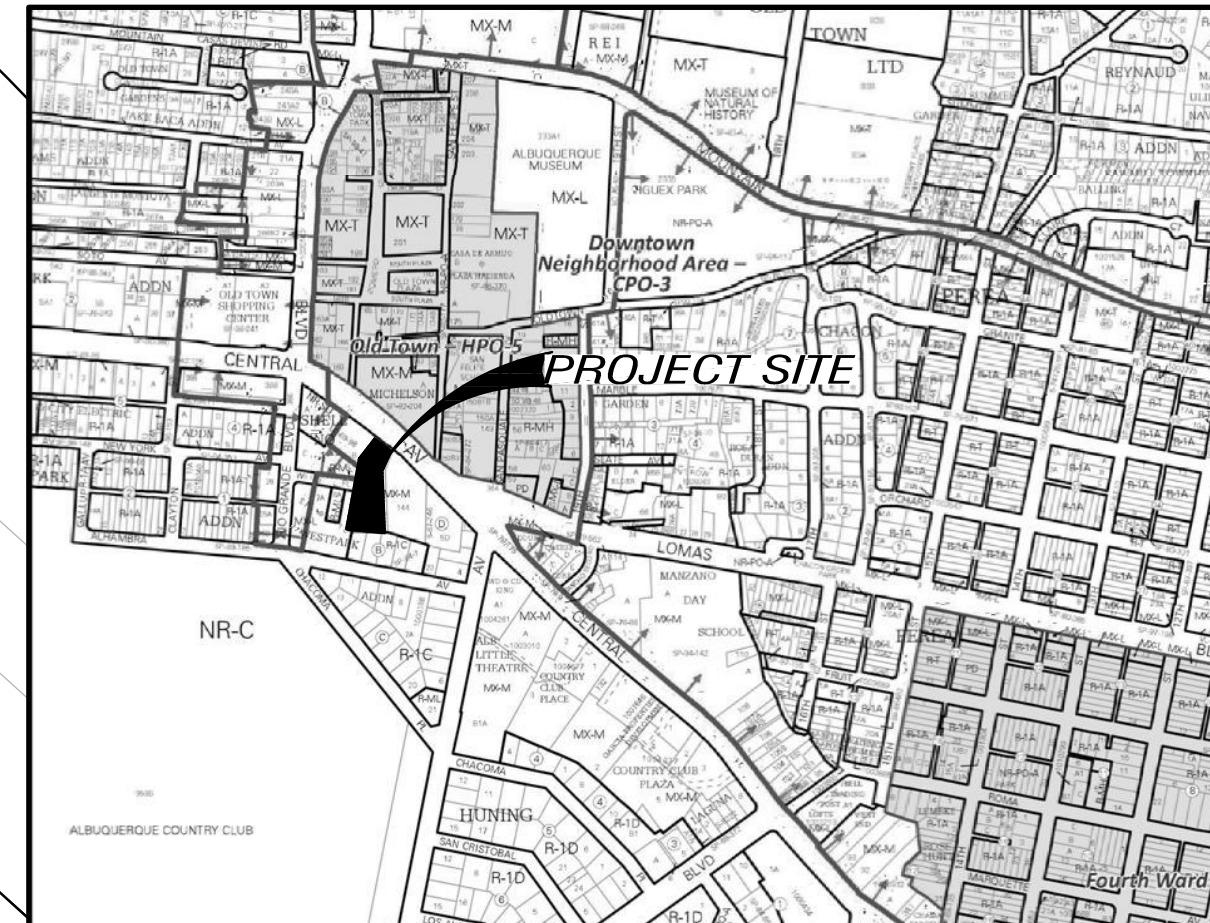
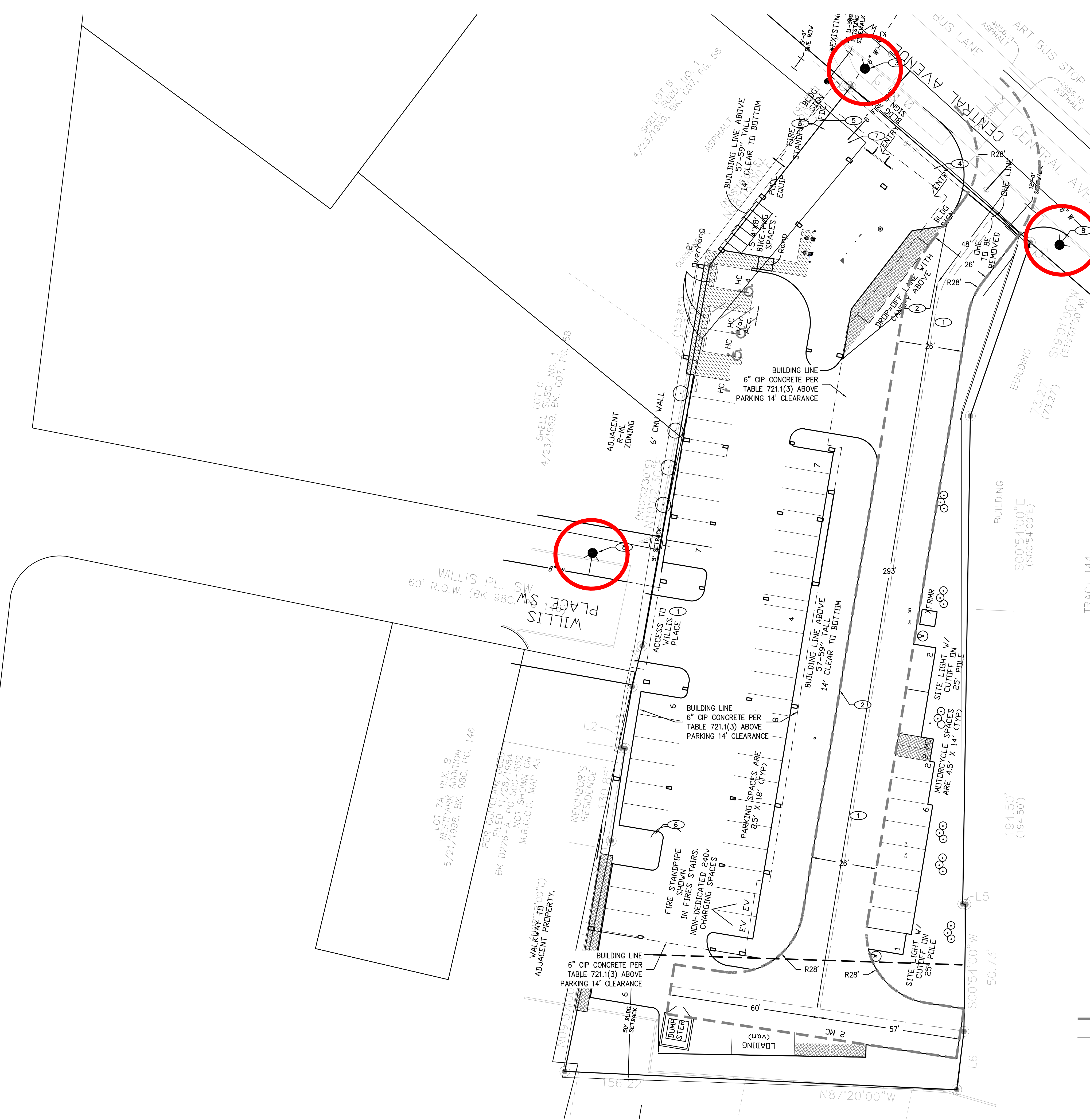
2 POLE BASE DETAIL
SCALE: N.T.S.

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**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE/PLANS
CHECKING DIVISION**
PERMIT
PERMIT NUMBER: FP 23-013722
APPROVED DATE: 06/01/23
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 2,625 GPM, 3 HYDRANTS, II-B



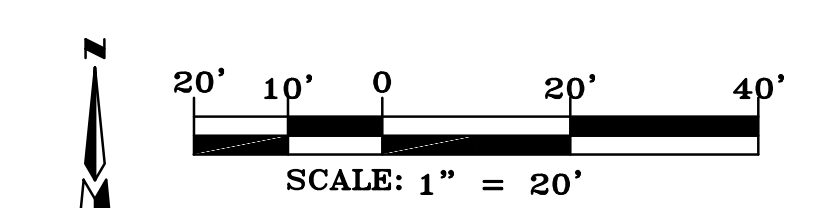
VICINITY MAP G-10-Z

- GENERAL NOTES**
- FIRE FLOW REQUIREMENTS:

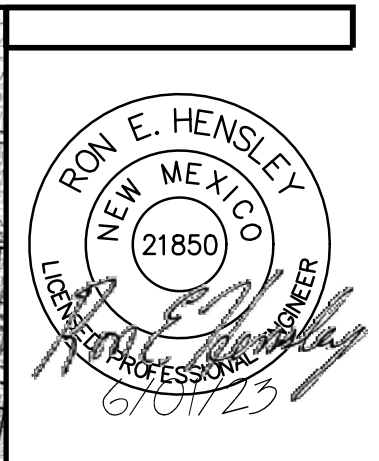
1.A. OCCUPANCY GROUP:	R-1, B, S-2
1.B. CONSTRUCTION TYPE:	II-B
1.C. FIRE AREA SQUARE FOOTAGE:	65,020
1.D. FIRE FLOW PER TABLE B105.1:	5,250 gpm
1.E. AUTOMATIC SPRINKLERS PER FIRE DEPT.:	50% of TABLE B105.1
1.F. REQUIRED FIRE FLOW PER FIRE DEPT.:	2,625 gpm @ 4HR DURATION
1.G. NUMBER OF HYDRANTS REQUIRED:	3
1.H. BUILDING HEIGHT:	3-STORY
1.I. FIRE LANE:	TWO ENTRANCES PROVIDED
 - ALL FIRE APPARATUS ACCESS ROUTE SURFACES SHALL BE CAPABLE OF SUPPORTING 75,000 POUNDS
 - FIRE ACCESS ROUTES SHALL NOT EXCEED 10 PERCENT IN GRADE.
 - REFERENCE 2015 INTERNATIONAL FIRE CODE APPENDIX B, C AND D FOR CODE CRITERIA

- KEYED NOTES**
- ASPHALT PAVING WITH 75,000 LB CAPACITY
 - CONCRETE CURB, PAINT RED, WHITE PAINT STENCIL 'NO PARKING' 'FIRE LANE' AT 20' O.C.
 - EXISTING FIRE HYDRANT
 - PREMISES STREET ADDRESS 4" HIGH MIN. W/MINIMUM STROKE WIDTH OF 0.5 IN. VISIBLE FROM STREET PER IFC 2015, SEC. 505
 - FIRE DEPARTMENT CONNECTION
 - CLASS 1 STANDPIPE PER 2015 IFC 905.3
 - FIRE RISER
 - NEW FIRE HYDRANT

TRACT 144
M.R.G.C.D. MAP 38



- LEGEND**
- FIRE HYDRANT
 - FIRE ROUTE
 - FIRE LANE
24' MINIMUM WIDTH
28' MINIMUM TURN RADIUS



PROJECT ADDRESS:
**2026 CENTRAL AVE. S.W.
ALBUQUERQUE, NM**

PROJECT NUMBER:
PERMIT

DESIGNED BY:
REH

CHECKED BY:
REH

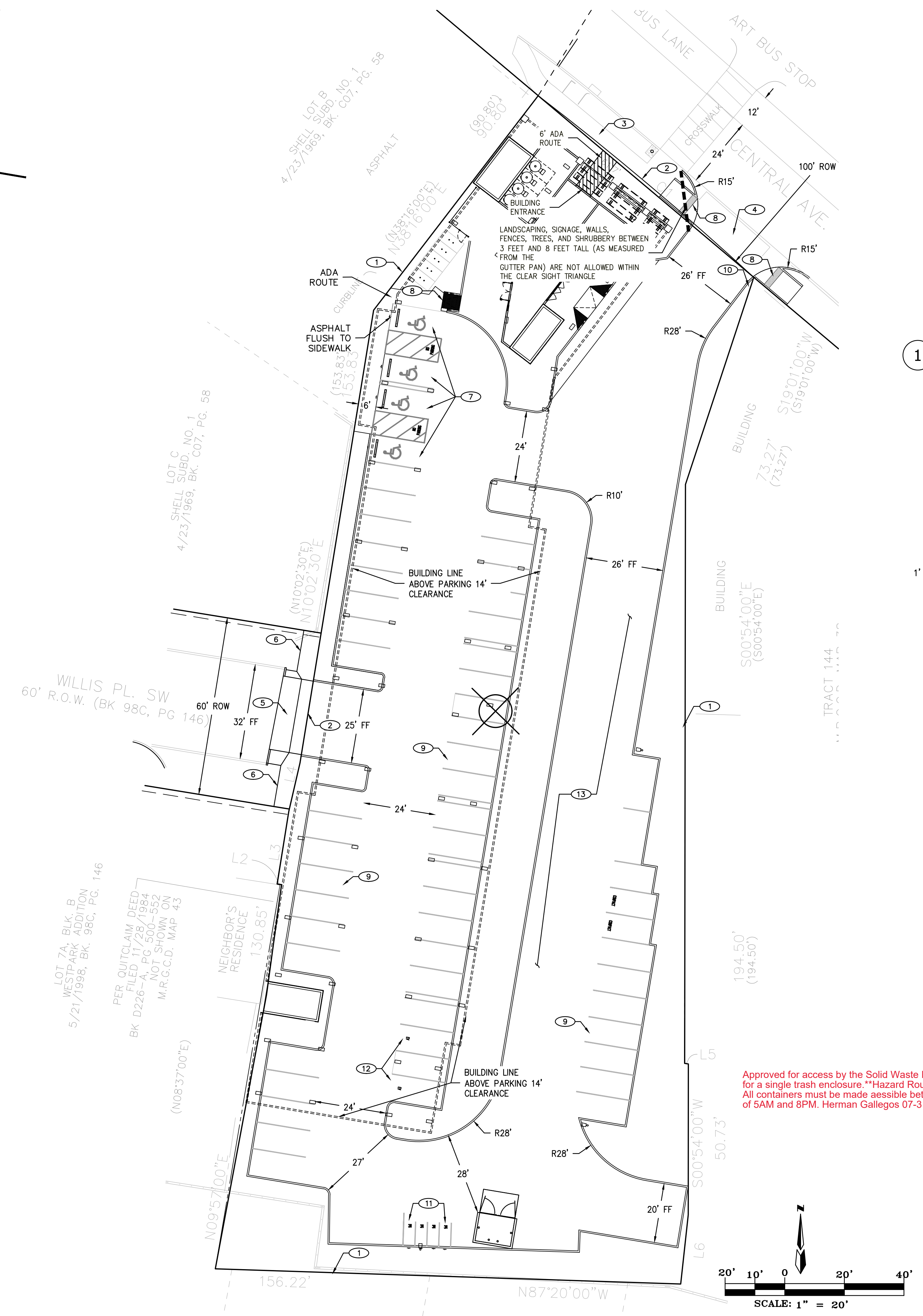
DATE:
APR. 17, 23

SCALE:
AS NOTED

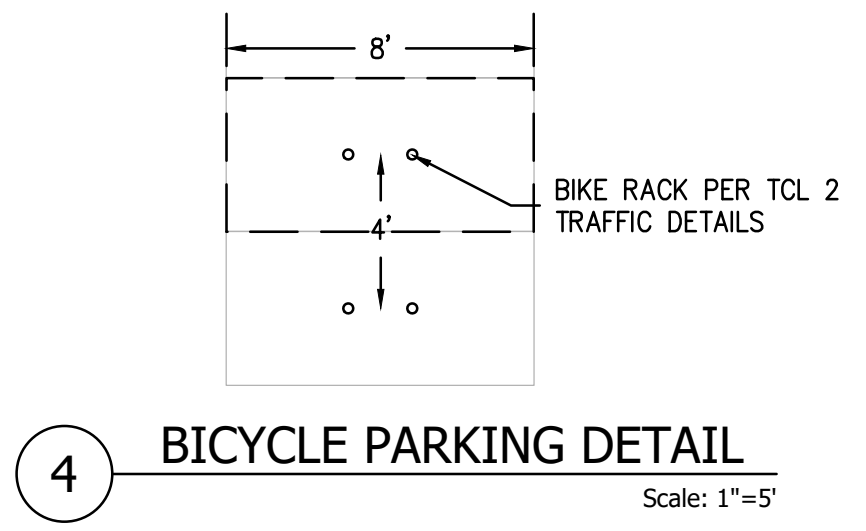
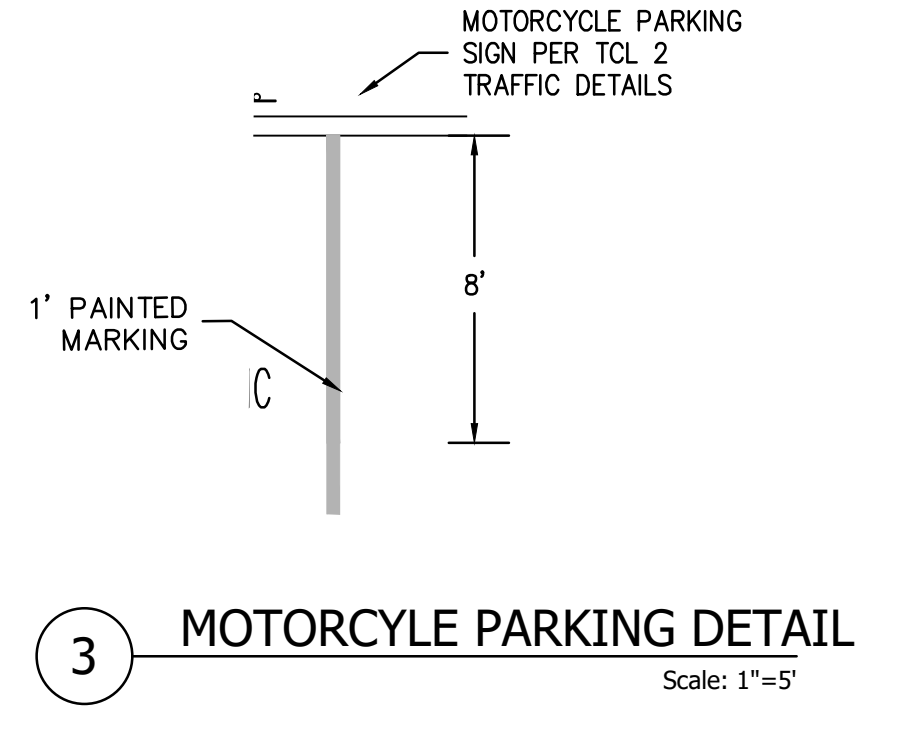
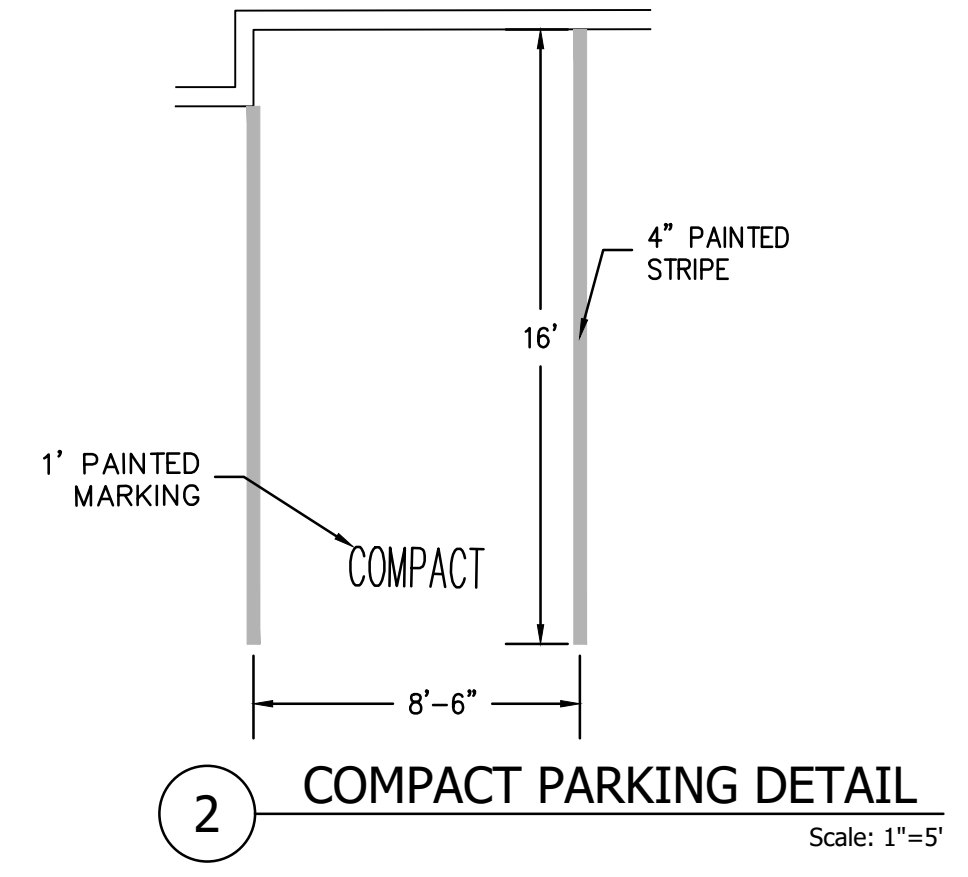
SHEET:
FIRE 1

DRAWING NAME:
FIRE ACCESS PLAN

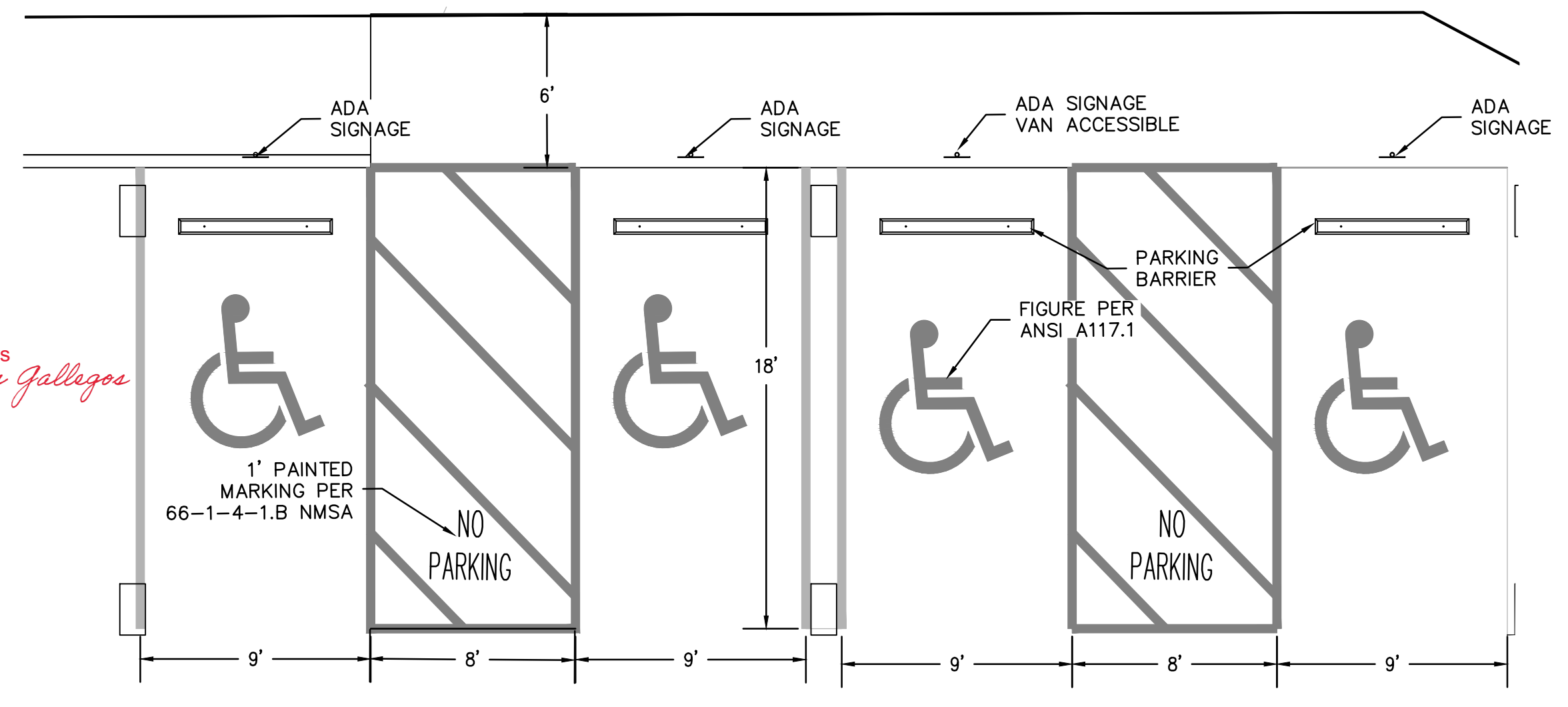
PROJECT NAME:
CAMBRIA HOTEL



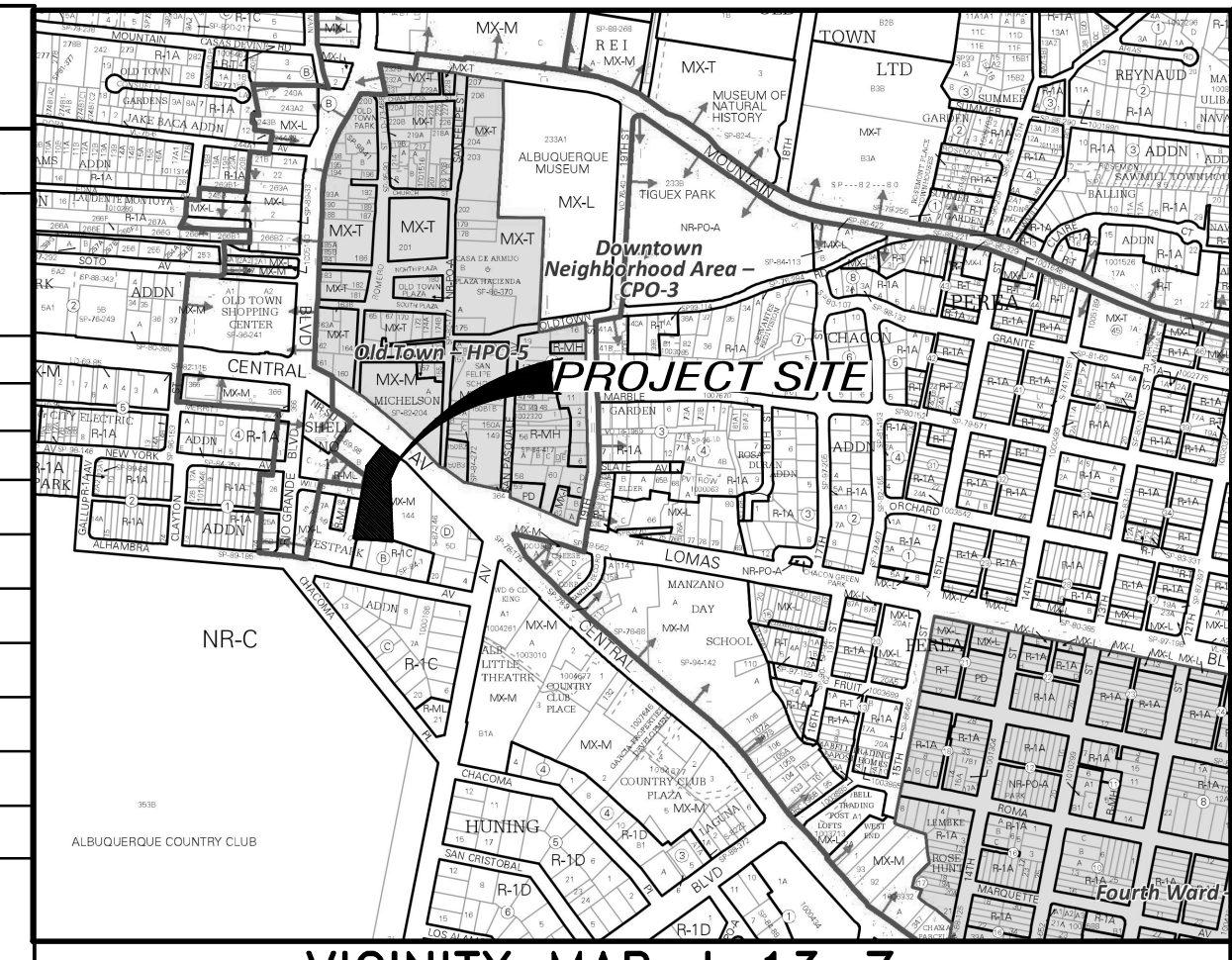
1 STANDARD PARKING DETAIL
 Scale: 1"=5'



TRAFFIC CIRCULATION LAYOUT APPROVED
 Ernest Arriaga 8/8/2023
 Signed Date



SITE DATA	
LOCATION	2026 CENTRAL AVE. S.W. ALBUQUERQUE, NM
LEGAL DESCRIPTION	TRACTS 145A AND 145B MRGCD MAP 38
CURRENT ZONING	MX-M
ZONE ATLAS PAGE	J-13
BUILDING AREA	3,304 SF
NUMBER OF ROOMS / BEDS	116 ROOMS/184 BEDS
PARKING	2/3 ROOMS OR 1/4 BEDS=78 SPACES
-20% REDUCTION PER 5-5(C)(5)(a)	
-30% REDUCTION PER 5-5(C)(5)(c)1	
-10% REDUCTION PER 5-5(C)(5)(c)2	
-50% MAXIMUM REDUCTION PER 5-5(C)(5)(c)	
REQUIRED PARKING	39 SPACES W/ 3 ADA
PARKING PROVIDED	57 SPACES
	STANDARD SPACES=47 SPACES SMALL CAR SPACES=2 SPACES ADA SPACES=4 SPACES (1 VAN) 2 EV SPACES=4 SPACES
REQUIRED MC PARKING	2 SPACES
PROVIDED MC PARKING	4 SPACES
REQUIRED BICYCLE PARKING	4 SPACES
PROVIDED BICYCLE PARKING	5 SPACES



- GENERAL NOTES**
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS
 - CURB DIMENSIONS ARE TO FACE OF CURB U.N.O.
 - WORK WITHIN CITY ROW WILL REQUIRE CITY WORK ORDER
 - SITE LIGHTING - LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS
 - SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STD DWG 2415
- KEYED NOTES**
- PROPERTY LINE
 - RIGHT OF WAY
 - EXISTING SIDEWALK
 - NEW CURB RETURN DRIVEWAY ENTRANCE PER COA SPECIFICATIONS AND STD DWG 2420
 - NEW DRIVEPAD ENTRANCE PER COA SPECIFICATIONS AND STD DWG 2425A
 - 6" CONC. SIDEWALK WITH 1.5% (2% MAX) CROSS SLOPE PER SP2-SITE DETAILS
 - ADA PARKING PER DETAIL
 - HANDICAP RAMP W/TRUNCATED DOME SURFACE PER DETAIL
 - STANDARD PARKING SPACE (TYP.)
 - STOP SIGN R1-1
 - MOTORCYCLE PARKING PER DETAIL
 - EV VEHICLE PARKING
 - ASPHALT PAVING PER SECTION PER TCL 2 TRAFFIC DETAILS



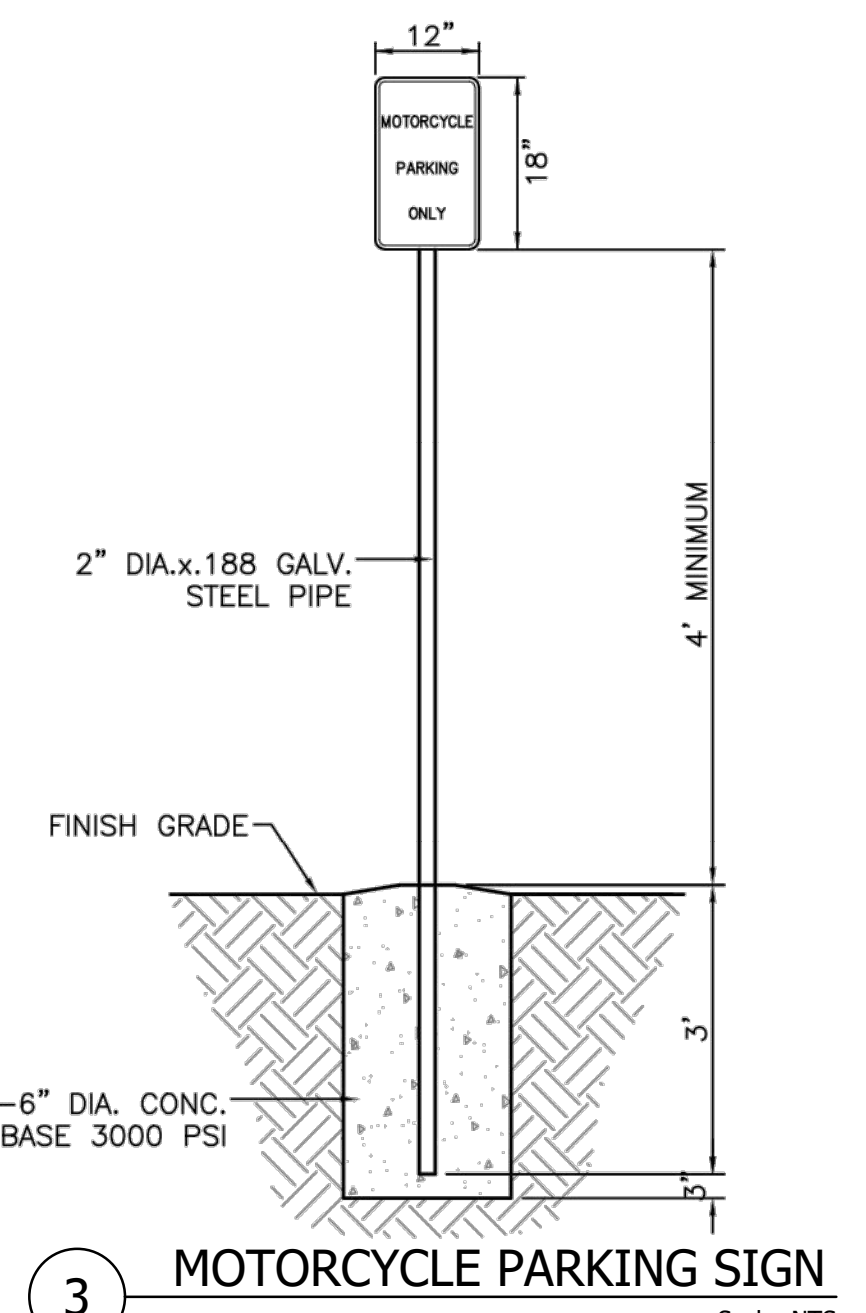
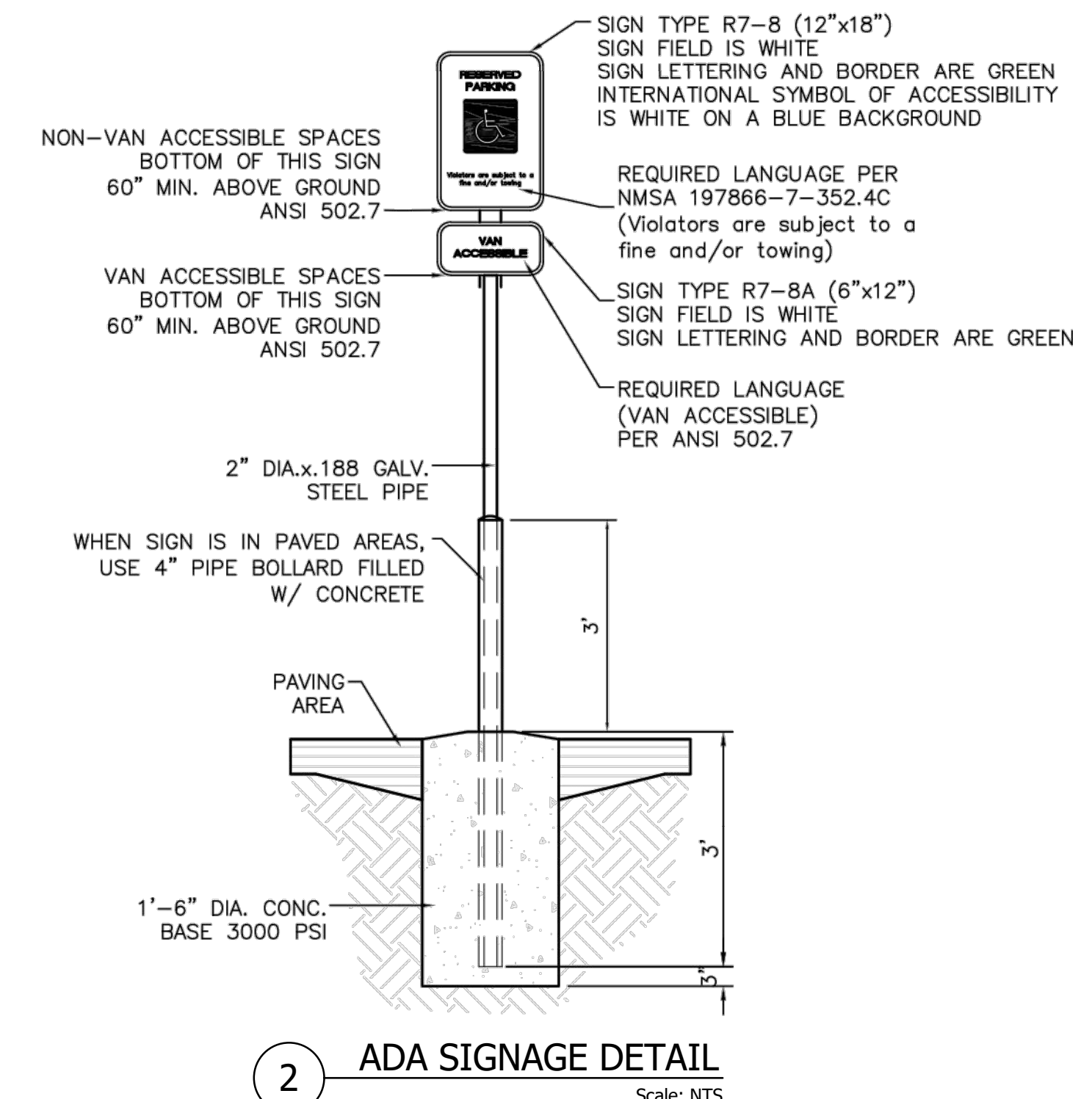
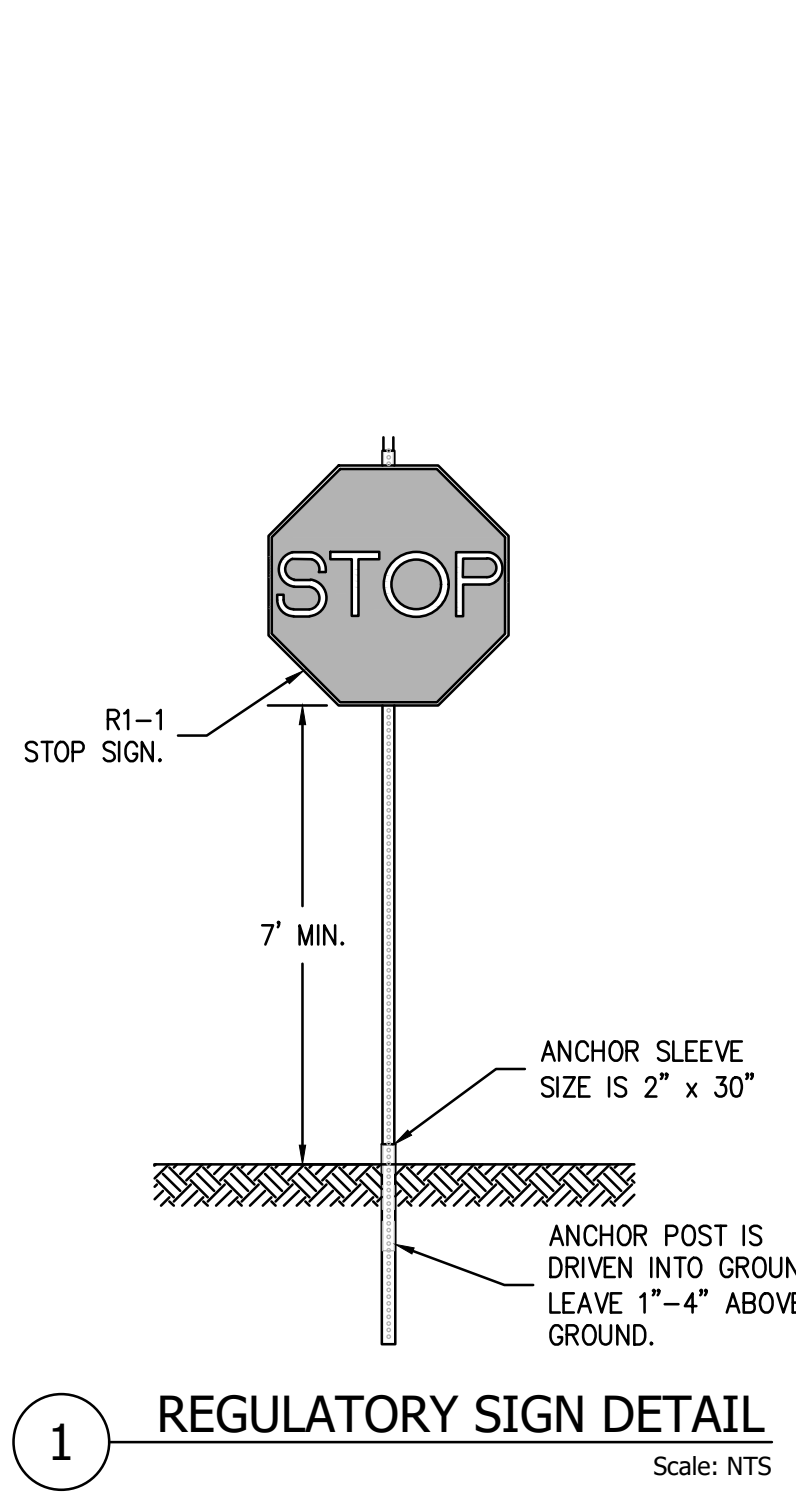
PROJECT ADDRESS
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ALBUQUERQUE, NM
 CLIENT'S NAME

PROJECT NAME
CAMBRIA HOTEL

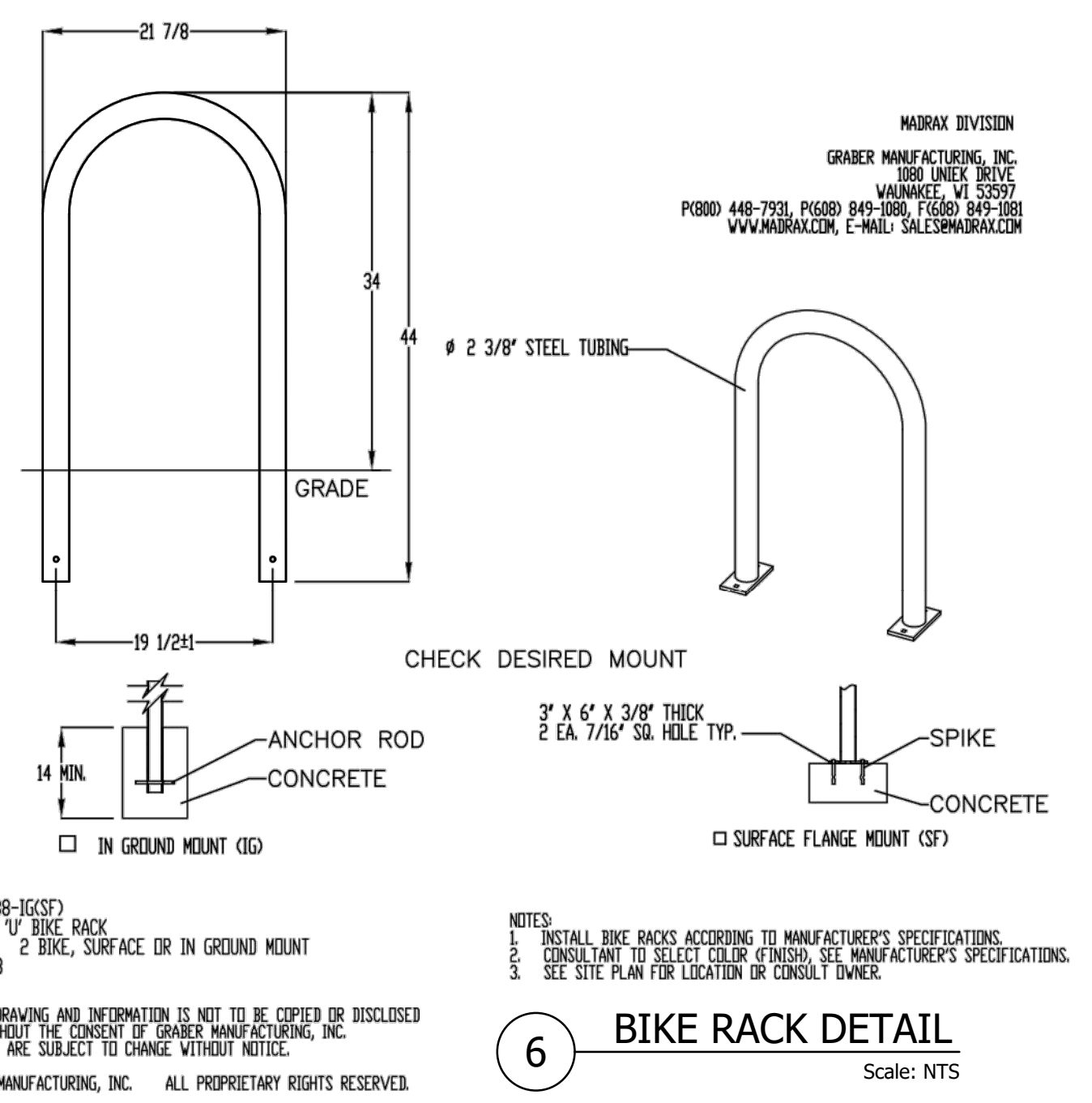
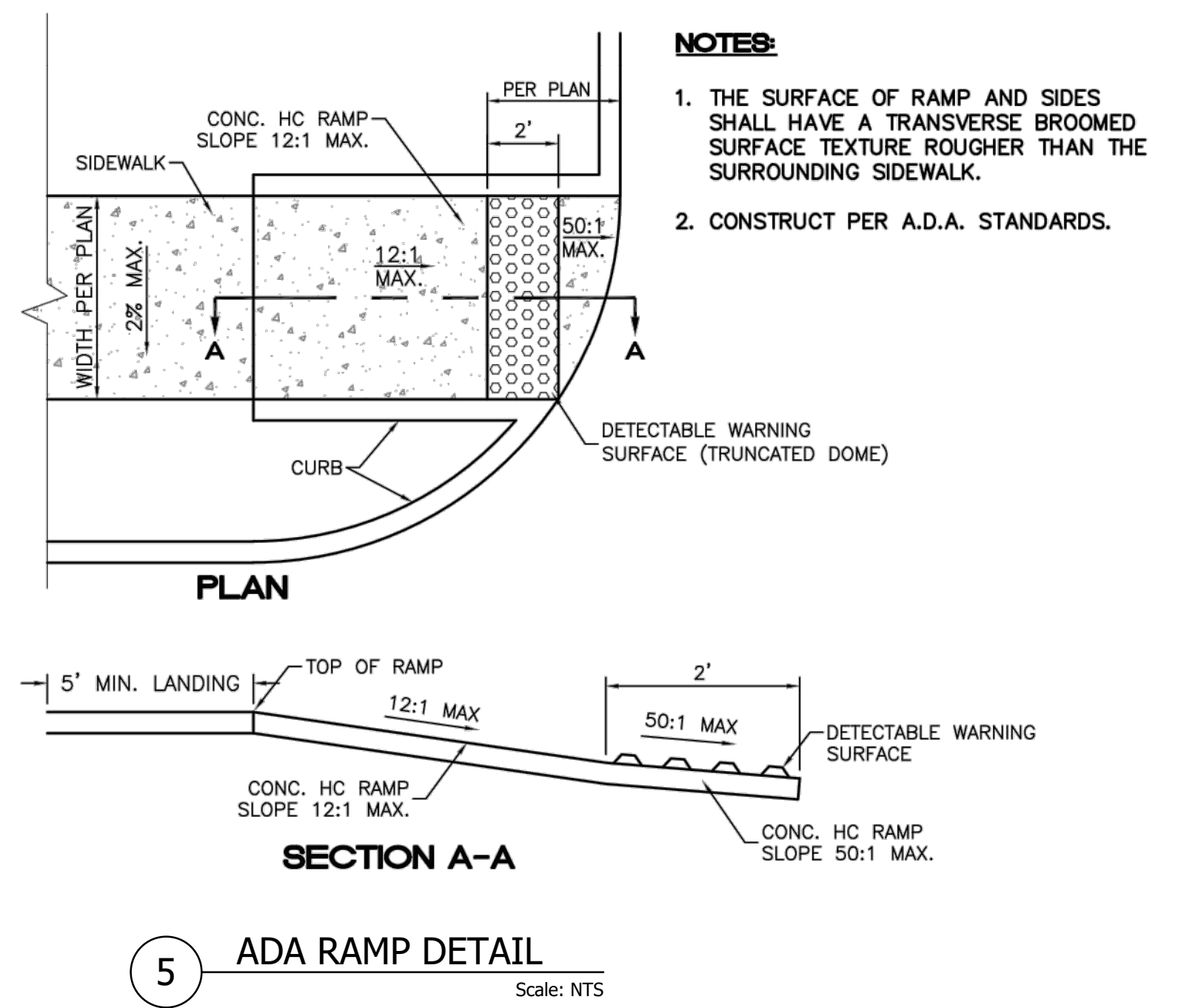
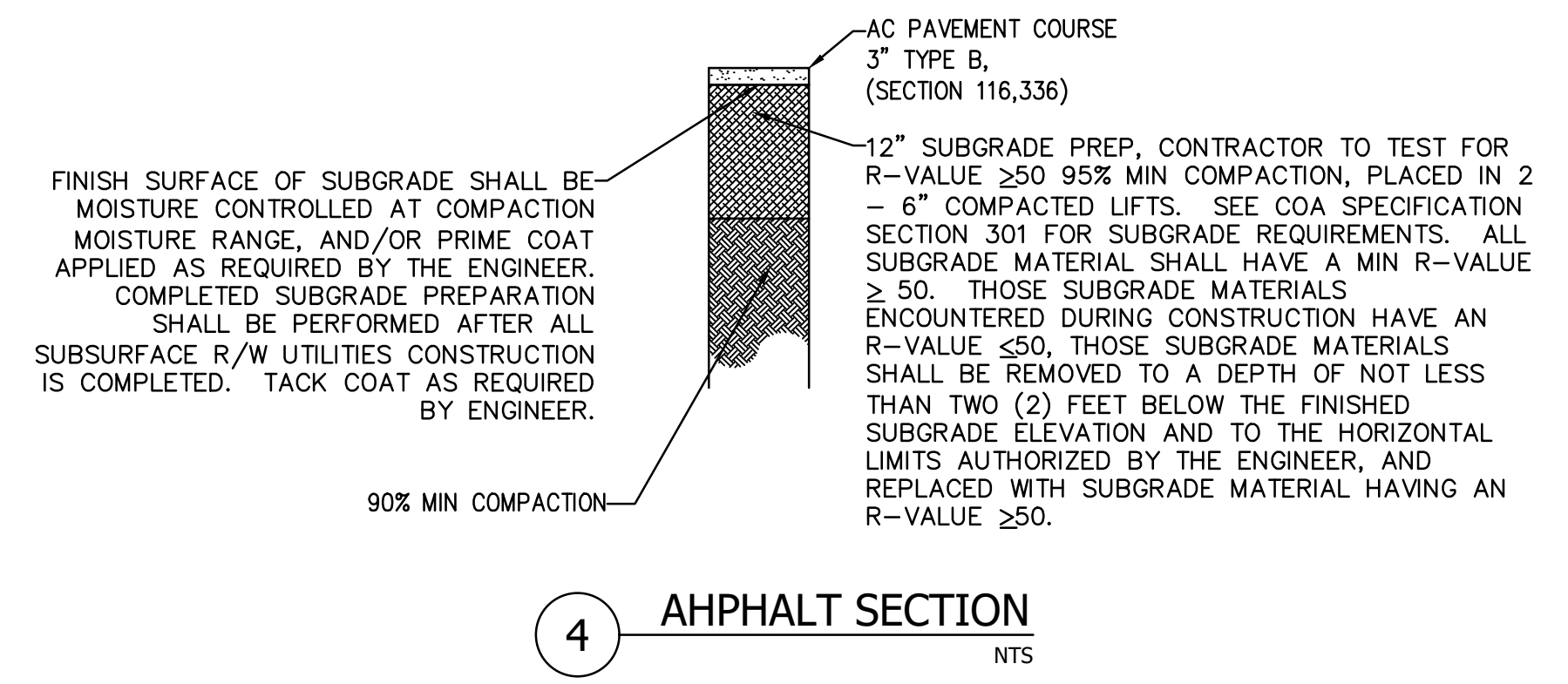
PROJECT NUMBER
 PROJECT PROGRESS
PERMIT
 DRAWN BY
REH
 CHECKED BY / APPROVED BY
REH / REH
 DATE
JUNE 7, 23
 SCALE
AS NOTED
 SHEET



TCL 1



TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: Ernest Amijo 8/8/2023
Date



PROJECT ADDRESS:
**2026 CENTRAL AVE. S.W.
ALBUQUERQUE, NM**

PROJECT NUMBER:
CAMBRIA HOTEL

PROJECT ADDRESS	2026 CENTRAL AVE. S.W. ALBUQUERQUE, NM
PROJECT NUMBER	CAMBRIA HOTEL
PROJECT PROGRESS	PERMIT
DRAWN BY	REH
CHECKED BY	REH / REH
DATE	JUNE 7, 23
SCALE	AS NOTED
SHEET	TCL 2

