



DEVELOPMENT FACILITATION TEAM
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DFT calendar – late submittals will not be accepted unless approved by the DFT)

PROJECT NO. 2023-009688
Application No. SI-2024-00597

- TO:
- Planning Department
 - Hydrology
 - Transportation Development
 - ABCWUA
 - Code Enforcement
 - Parks & Rec
 - City Engineer

*(Please attach this sheet with each collated set for each DFT member)

NOTE: ELECTRONIC VERSION is Required. Submittal will not be accepted without.

DFT SCHEDULED MEETING DATE: 06/05/2024 MEETING DATE OF DEFERRAL: _____

SUBMITTAL DESCRIPTION: Letter Addressing Comments; Copy of Recorded Plat; Revised Infrastructure List; Landscape plan pending Review + Approval for an Alternate landscape plan; Drawings to address Comments.

CONTACT NAME: Juanita Garcia - JAG Planning + Zoning
TELEPHONE: 5053628903 EMAIL: jag@jagpandz.com

May 28, 2024



City of Albuquerque
Albuquerque, New Mexico

Attn. : DFT Chair
Cc. : Reviewers
Re. : **SI-2024-00597 – SITE PLAN DFT**
 : **2026 Central SW**
Project No. : **PR-2023-009688**

Dear Reviewers,

I would like to thank you for your time and attention in reviewing the above referenced project in accordance with IDO 2022, and for returning your staff's comments such a rapid manner.

We have prepared individual responses to each of your previous comments that did not receive clear and complete responses.

architecture
design
management

Jeff Palmer – Code Enforcement Supervisor
jppalmer@cabq.gov

Section

1 **Comment** - Property is zoned MX-M, is located in an Area of Change, and is located within the Major Transit (MT), Premium Transit (PT), and Main Street (MS) Corridors.

Response: Concur.

2 **Comment** - Must meet Dimensional Standards as per IDO 5-1(D), Table 5-1-2. Please show setbacks more clearly on the Site Plan.

Response: Plan has been revised to show the dimensions of the setbacks on all sides.

3 **Comment** -Please show calculations and/or measurements on site plan to show how you are meeting unique requirements for Urban Center, Main Street and Premium Transit Areas, IDO 5-1(D)(2), regarding (a) setback in relation to sidewalk width and (b) percent of front property line occupied by front building (see excerpt in notes, below).

www.griggs-group.com

5-1(D)(2) Urban Center, Main Street, and Premium Transit Areas

5-1(D)(2)(a) Where sidewalks are less than 10 feet wide, the minimum front setback shall be 10 feet.

5-1(D)(2)(b) A minimum of 50 percent of front property line width must be occupied by the primary building, outdoor seating and gathering area, or outdoor dining area constructed within 15 ft. of the property line.

1. On a corner lot, the required minimum of 50 percent must begin at the corner.

2. A 3-foot wall and trees spaced 20 feet on center shall be required between any outdoor seating and gathering area or outdoor dining area and a parking or loading area.

Response: An enlarged area plan has been provided that illustrated the manner in which the project meets the unique requirements for UC, MS and PT Areas, IDO 5-1(D)(2), regarding (a) Setback in relation to sidewalk width and (b) percent of front property line occupied by front building.

4 **Comment** - Parking calculations appear correct as cited, utilizing maximum 50% reductions allowed: 20% for MS Corridor in Area of Change, IDO 5-5(C)(5)(a), and 30% for Proximity to Transit, IDO 5-5(C)(5)(c)(1).

Response: Noted.

5 **Comment** - Submittal indicates how it will comply with Neighborhood Edge requirements, as per IDO 5-9(C), in regards to building height and distance requirements from the R-1 properties to the south.

Response: Noted.

6 **Comment** - Code Enforcement has no further comments at this time.

Response: Noted.

David Guitierrez, P.E. – 505-289-3381
dgguitierrez@abcwua.org

Section

1 **Comment** - Availability Statement 230602 provides conditions for a proposed 115-room hotel.
a. There is a requirement to upsize the existing 4-inch waterline along Willis Place.

Response: The Civil plans show a new 6" water line being installed to replace the existing 6" line in Willis.

2 **Comment** - Infrastructure List:

a. Please ensure the waterline also notes it is a replacement of an existing 4-inch line.

Response: The Civil plans show a new 6" water line being installed to replace the existing 6" line in Willis.

3

Comment - Utility Plan

a. The utility plan was much smaller than the rest of the sheets. Please ensure the copy submitted for signature is a more legible copy. Please also enlarge the text and bolden line types for

b. Please label all infrastructure appropriately as public or private.

c. Please add the following notes:

i. Coordination with Water Authority Cross Connection Section will be required to ensure proper backflow containment is in place prior to release of meter for the site. Contact the Cross Connection Section at 505-289-3454.

ii. Coordination with the Water Authority Pre-Treatment Engineer is required to ensure the site complies with Water Authority Sewer Use Ordinance. Contact the Pre-Treatment Engineer at 505-289-3439.

Response:

4

Comment - Provide written response explaining how comments were addressed.

Response: Noted.

Renee Brissette, P.E. Senior Engineer 505-924-3995
rbrissette@cabq.gov

Section

1

Comment - Hydrology has an approved Grading & Drainage Plan (J13D219) with engineer's stamp 07/05/2023.

Response: Noted.

2

Comment - Hydrology has no objection to the Site Plan for Building Permit.

Response: Noted.

Renee Brissette, P.E. Senior Engineer 505-924-3995
rbrissette@cabq.gov

Section

1 **Comment** - Transportation has an approved TCL dated 8/8/2023.
No objection.

Response: Noted.

Section **Planning**

1 **Comment** - Project and Application numbers must be added to the Site Plan.

Response: The Application Number has also been added to the plans.

2 **Comment** - All Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico.

Response: Plans have been sealed by design professionals licensed in the State of New Mexico.

3 **Comment** -The DHO case associated to this project (PR-2023-009688 / SD-2024-00049 & VA-2024-00013 & VA-2024-00079) has not been signed off and recorded yet. All conditions of approval must be addressed and due to an existing lot line encroaching on the proposed hotel building construction area, a recorded copy of the plat will need to be submitted prior to final sign-off of the site plan.

Response: Concur. This will be submitted prior to final sign-off.

4 **Comment** - There is an existing billboard on this property along Central Ave SW. Explain any future plans for this billboard.

Response: This billboard is scheduled to remain.

5 **Comment** - Confirm that the Site Plan provided with this application is accurate and demonstrates the proposed project. Is the rendering the exact building for this site or a prototype?

Response: Confirmed, the site plan is accurate and demonstrates the proposed project. This is a branded hotel but is not a prototype designed specifically for this location within the City of Albuquerque.

6 **Comment** - Confirm gross lot area for this property: 47,860 sf or 48,174 sf. Confirm accurate building area and net lot area.

Response: This has been resolved and all site areas indicate 1.0903 acres (47,493 sf).

7 **Comment** Proposed building height: 51' > Confirm the correct height. 51 or 60 feet?

Response: The Total building height is 60' to the top of the parapets at the stair elements.

8 **Comment** - IDO 5-3(D)(2)(b) Reference DPM 7.2.29 for Sidewalk/landscape buffer widths. Parcel is outside of a Center. This location on Central is within a Premium Transit Station Area, a Major Transit Corridor, and a Main Street Corridor. Therefore, Central requires an 8–10-foot sidewalk and a 6–8-foot landscape buffer. Provide widths of existing features on the landscape plan to match the site plan and show street trees in the landscape buffer.

Response: An enlarged area plan has been provided that illustrated the existing features at the front property line that coordinates with the landscaped plan.

9 **Comment** Provide required walkways and comply with shading of walkways. Confirm compliance.

Response: We have indicated a shading trellis along the Central Avenue façade. Also, the façade is on the north side of the building and should be in shade most of the days.

10 **Comment** - 10-foot sidewalk has been provided partially along the frontage of the site. Please confirm.

Response: Confirmed. A 10 foot sidewalk is proposed partially along the frontage of the site. The remaining site width is the drive into the site which also has a sidewalk across it.

11 **Comment** - 5-5(G)(1) Crime Prevention Through Environmental Design (CPTED)

Above-ground parking structures or portions of structures occupied by automobile parking shall be designed using the principles of CPTED so as to deter crime and to facilitate security measures and shall meet all of the following standards in addition to the other standards of this Section.
Confirm compliance.

Response: Confirmed.

12 **Comment** - 5-5(G)(3)(b) No horizontal length of any façade shall extend longer than 40 feet without the inclusion of architectural elements such as decorative grillwork, louvers, translucent screens, alternating building materials, projection of lintels, portals, and other external features to avoid visual monotony. A change in color alone does not satisfy this requirement. Confirm compliance.

Response: Concur. The elevations have some lintels shown, but we have added some other architectural elements in the stretches of elevation that are more than 40' to avoid visual monotony.

13 **Comment** - 5-5(G)(3)(e) Where a parking structure is located beneath or within a primary building, if loading docks are provided, they shall be integrated into the parking structure. Confirm compliance.

Response: No loading dock is provided in the building design. A loading space has been provided on the south part of the site just west of the dumpster.

- 14 **Comment - 5-5(G)(4)(a)** The ground floor street-facing façade of the parking structure shall have a minimum ground floor clear height of 10 feet for a depth of at least 30 feet from the property line abutting the street to allow for conversion to a pedestrian-oriented use when the market supports that use. Confirm compliance.

Response: The parking structure has a clear height of 12' throughout the building.

- 15 **Comment -5-5(G)(4)(b)** Parking structure ramps shall not be visible from any public street. Confirm compliance.

Response: There are no ramps provided as this is a one story parking structure.

- 17 **Comment -1** off street Loading space is provided. Confirm the location of the Loading space.

Response: A loading space has been provided on the south part of the site just west of the dumpster.

- 18 **Comment - 5-5(H)(2)(a)** Loading spaces shall be located on the same lot as the use it serves, unless Subsection (b) below applies. Confirm compliance.

Response: A loading space has been provided on the south part of the site.

- 19 **Comment - 5-5(H)(2)(b)** Joint use of an off-street loading facility may be approved by the Planning Director provided that the applicant provides documentation demonstrating the adequacy of the facility to serve anticipated loading needs, and an executed agreement among the owners of the buildings or uses sharing the facility is submitted to and approved by the Planning Director. Confirm compliance.

Response: Concur, however; joint use of the loading space is not planned as a part of this project.

- 20 **Comment - 5-5(H)(2)(c)** Where a single customer entrance to a building is provided, customer loading areas shall not be located in front of the customer entrance or within 15 feet in any direction of the entrance. Confirm compliance.

Response: Concur, however; there are multiple customer entrances to the building. The multiple entrances are identified as 1) from Central Ave and 2) from Willis Place.

1 **Comment** - Final Landscape plan must be signed and sealed by a Licensed Landscape Architect in the state of New Mexico.

Response: See attached.

2 **Comment** - Propose larger canopy deciduous trees in larger landscaping areas to provide more shade on the hardscape. Oklahoma Redbud is generally not recommended per City Forester.

Response: See attached landscape drawings.

3 **Comment** - Site plan shows the gross lot area at 47,860. Clarify and correct his number.

Response: This has been resolved and all site areas indicate 1.0903 acres (47,493 sf).

4 **Comment** - Per 5-6(C)(4)(i), shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or, where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided. Confirm compliance.

Response: See attached landscape drawings that show the existing 2 trees in the front walkway area.

5 **Comment** - 5-6(C)(4)(j) In DT-UC-MS areas, landscaped areas other than street frontage shall include pedestrian furniture, pedestrian amenities, or trash receptacles to encourage pedestrian use. Confirm compliance.

Response: See attached landscape drawings noting existing trees.

6 **Comment** - 5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area, or 50 percent in DT-UC-MS areas. Confirm compliance. Calculate the organic mulch ring around trees as your non gravel groundcover. Provide a breakdown showing square footage for both.

Response: See attached landscape drawings.

7 **Comment** - Per 5-6(C)(5)(e), organic mulch is required as ground cover under trees within a 5- foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. (See figure below.) Modify your tree planting detail to reflect this requirement. The organic mulch used under the trees can be counted towards non gravel mulch used on the site as discussed

earlier under 5-6(C)(5)(c). Please make sure you are mention 'Organic Mulch' on your planting details.

Response: See attached landscape drawings.

- 8 **Comment** - IDO 5-3(D)(2)(b) Reference DPM 7.2.29 for Sidewalk/landscape buffer widths. Parcel is outside of a Center. This location on Central is within a Premium Transit Station Area, a Major Transit Corridor, and a Main Street Corridor. Therefore, Central requires an 8–10-foot sidewalk and a 6–8-foot landscape buffer. Provide widths of existing features on the landscape plan to match the site plan and show street trees in the landscape buffer.

Response: See attached landscape drawings.

- 9 **Comment** - Per 5-6(C)(5)(f), all landscaped areas shall be protected from vehicular encroachment by curbs or wheel stops located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated swales and stormwater infiltration areas. Please provide more information regarding this code and storm water run-off collection for this project.

Response: See attached landscape drawings.

- 10 **Comment** - Per 5-6(C)(7)(a), vegetation required by this Section 14-16-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections. Please confirm compliance with this code.

Response: See attached landscape drawings.

- 11 **Comment** - The clear sight triangle shall be maintained at all exits of parking areas and street intersections. Please show the site triangle on the landscape plan and demonstrate compliance with this code.

Response: See attached landscape drawings.

- 12 **Comment** - Per 5-6(C)(10)(a), trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced. Confirm compliance with this code.

Response: See attached landscape drawings.

- 13 **Comment** - Per 5-6(C)(10)(b), trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line. (See figure below.) Please confirm compliance with this code. Confirm compliance with this code.

Response: See attached landscape drawings.

14 **Comment** - Confirm whether or not any existing vegetation will be maintained.

Response: See attached landscape drawings.

15 **Comment** - Per 5-6(C)(13)(a), required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation. Articulate how this project has considered this code.

Response: See attached landscape drawings.

17 **Comment** - 1 off street Loading space is provided. Confirm the location of the Loading space.

Response: Concur the loading space is provided on the south end of the parking area.

18 **Comment** - Per 5-6(D)(1)(a), all development shall comply with Part 6-6-2 of ROA 1994 (Street Trees) and any standards developed by the Parks and Recreation Department or other City department to implement that Ordinance. Trees are generally required along street frontages every 25 feet on center unless specified otherwise in Part 6-6-2 of ROA 1994 (Street Trees). Along street frontages where street trees are required, trees that are planted within 20 feet of the back of curb of the abutting street may fulfill this requirement. (See figure below.) Confirm compliance with this code.

Response: See Alternative Site Plan Application, submitted for review.

19 **Comment** - 5-6(D)(1)(c) Planting areas necessary for trees in the street frontage shall meet the minimum size requirements in Table 5-6-3 unless specified otherwise in this IDO. Tree grates may be used in constrained locations to accommodate pedestrian circulation, to allow the required planting areas to have a walkable surface. Confirm compliance with this code.

Response: See Alternative Site Plan Application, submitted for review.

20 **Comment** - 5-6(D)(2)(b) Downtown, Urban Centers, and Main Street and Premium Transit areas: Fifty (50) percent of any front setback area not used for pedestrian access to the building or improved with pedestrian furniture and amenities shall be landscaped, and no part of the front setback area surface shall be asphalt. Confirm compliance with this code.

Response: The front setback is primarily used as the primary pedestrian entrance or one of the gathering areas with seating height landscaped planters. There is no asphalt planned for this area.

21 **Comment** - Confirm compliance with the buffering requirements above. More information is provided below under 5-6(E)(2) Development Next to Low-density Residential Zone Districts and 5-6(E)(3) Development Next to a Multi-family Residential Zone District.

Response: A 6' CMU wall exists to the west between this site between the R-ML zoned lot. A 6'+ wall exists to the south of this site between this site and the R-1C zoned lots. In other locations the required buffering has been provided.

22 **Comment** - If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b)2 if it meets, or is improved to meet, the height and design standards above. Confirm compliance with the buffering requirements above.

Response: A 6' CMU wall exists to the west between this site between the R-ML zoned lot. A 6'+ wall exists to the south of this site between this site and the R-1C zoned lots.

23 **Comment** - 5-6(E)(5)(a) If the lot in the Area of Consistency is in an R-A, R-1, R-MC, or R-T zone district, the requirements of Subsections 14-16-5-6(E)(1) and 14-16-5-6(E)(2) shall apply. The requirements for this item have been discussed above under 14-16-5-6 (E)(2).

Response: Concur. See Responses to those questions.

24 **Comment** - 5-6(F)(2)(b) Downtown, Urban Centers, and Main Street and Premium Transit Areas At least 5 percent of the parking lot area of lots containing 50 or fewer spaces, and at least 10 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped. Confirm compliance.

Response: See attached landscape drawings.

25 **Comment** - At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet. Confirm compliance.

Response: See attached landscape drawings.

26 **Comment** - The minimum size of tree planters within off-street parking areas shall be 60 square feet per tree. This requirement may be reduced to 36 square feet if the surface of a parking or vehicle circulation area abutting the tree planter is of a permeable material and, combined with the tree planter area, meets the 60 square foot per tree requirement. Confirm compliance with this code.

Response: See attached landscape drawings.

27 **Comment** - 5-6(G)(1)(b) In any R-ML, R-MH, Mixed-use, NR-C, NR-BP, NR-SU, or NR-PO zone district, roof-mounted mechanical equipment shall be screened by a parapet wall or similar feature that is an integral part of the building's architectural design. The parapet wall

or similar feature shall be sufficient to screen the mechanical equipment from all sides when viewed from 5 feet above ground level at any property line abutting a City park or trail, Major Public Open Space, major arroyo, or public street classified as a collector, arterial, or interstate highway. Confirm compliance with this code.

Response: Confirmed. Given no changes in grade elevation, the RTUs cannot be seen from 5' above grade level.

28

Comment - Per 5-6(G)(2)(a), R-ML, R-MH, and Mixed-use Zone Districts, outdoor ground-mounted mechanical equipment shall be located where it is not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties to the maximum extent practicable. Confirm compliance with this code.

Response: There is no ground-mounted mechanical equipment scheduled for this project.

29

Comment - No screening of ground-mounted solar energy equipment that would reduce the efficiency or effectiveness of the solar energy equipment is required. Confirm compliance with this code.

Response: There is no ground-mounted solar energy planned for this project.

30

Comment - Per 5-6(G)(3)(a) Covering Waste Containers, all waste containers and dumpsters shall be in a roofed enclosure or be equipped with and use a lid covering and shall be designed so that stormwater runoff does not reach storm drain inlets. Confirm compliance with this code

Response: The dumpster incorporates the city of Albuquerque design.

31

Comment - Per 5-6(G)(3)(c) R-ML, R-MH, and Mixed-use Zone Districts Outdoor loading, service, and refuse areas shall be integrated into the building design if possible, or shall be located where they are not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties to the maximum extent practicable. Confirm compliance with this code.

Response: We Have shown this shown on civil.

32

Comment - Where it is not practicable to locate the loading, service, and refuse areas pursuant to Subsections (c) and (d) above, they shall be screened from view by an opaque decorative wall or fence at least 6 feet tall but not more than 8 feet tall that incorporates at least 1 of the primary materials and colors of the nearest wall of the primary building (but excluding exposed CMU block) or a vegetative screen planted along the full length of the

area to be screened and at least 8 feet high at the time of planting. Confirm compliance with this code.

Response: The current design is the city of Albuquerque design.

- 33 **Comment – 5-7 WALLS and FENCES**
Please demonstrate compliance with this section if there are any walls or fences being proposed for this project. Development requires separate permitting. Height per table 5-7-1.

Response: There are no new site walls proposed.

- 34 **Comment – 5-8 OUTDOOR AND SITE LIGHTING**
Please articulate how the project meets codes under this section.

Response: We have met the fc requirements of the code under this section and will submit a site photometric plan for review.

- 35 **Comment - 5-11(E)(1) Ground Floor Clear Height**
 In any Mixed-use zone district in UC-MS-PT areas, the ground floor of primary buildings for development other than low-density residential development shall have minimum clear height of 10 feet. Confirm compliance.

Response: The ground-floor of the primary building has a clear height of 12'.

- 36 **Comment - Provide color rendered elevations and articulate compliance to the codes above.**

Response: These will be submitted.

- 37 **Comment – 5-12 SIGNS**
Please articulate how the project meets this section of the IDO. Reference table 5-12-2.

Response: This will be permitted by the sign provider.

- 38 **Comment - Add the following notes to your landscaping and Irrigation plan notes:**

Per 5-6(C)(4)(g), all vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6- 6-2 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.

Per 5-6(C)(4)(h), all required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ASNA) of the American Nursery and Landscape Association.

□ Per 5-6(C)(5)(a), all vegetated material required by this Section 14-16-5-6 shall be planted in uncompacted soil. Please add a note to the Landscape Plan general notes to reflect this code.

□ Per 5-6(C)(5)(b), if used, weed barriers shall be permeable to optimize stormwater infiltration and prevent runoff.

□ Per 5-6(C)(5)(d), a minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended.

5-6(C)(9) Planting in or over the Public Right-of-way

5-6(C)(9)(a) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of-way.

5-6(C)(9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8-foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 9-foot clearance over the street surface.

Per 5-6(C)(9)(c), where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way.

5-6(C)(14) Irrigation Systems

Per 5-6(C)(14)(a), irrigation systems shall comply with Section 8 of the ABCWUA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).

Per 5-6(C)(14)(b), all irrigation systems shall be designed to minimize the use of water.

5-6(C)(14)(c), all non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.

Per 5-6(C)(14)(d), the irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.

5-6(C)(15) Installation

5-6(C)(15)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or

easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of plant materials that have been approved by the applicable public utility as part of a plan for landscaping, screening, or buffering on the public right of way shall be the responsibility of such public utility. If a public utility disturbs landscaping, screening, or buffering in a public right-of-way, private way, or easement, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If the plant materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials.

5-6(C)(15)(d) Property owners acknowledge that approved landscaping and trees installed and maintained in a public right-of-way, private way, or easement abutting private properties are the property of the City, and that that the City reserves the right to remove them if necessary for a transportation project without compensation, but at no cost to the property owner. Landscaping installed in an abutting public right-of-way, private way, or easement by property owners and later removed by the City shall not impact previously approved net lot area calculations for required landscaping.

5-13(B)(7) Landscaping, Buffering, and Screening

5-13(B)(7)(a) Landscaping, screening and buffering areas shall be maintained in compliance with Articles 6-6 and 9-8 of ROA 1994 (Trees, Vegetation, and Landscaping and Weeds, Litter, and Snow) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance).

5-13(B)(7)(b) All landscaped areas shall be maintained with a neat and orderly appearance, which includes pruning, removal and replacement of dead or diseased plants and trees, disposal of litter, repair of damaged walls and hard surface areas, and upkeep of irrigation systems.

5-13(B)(7)(d) Where landscaping was installed pursuant to a Site Plan or development approval, the landscaping shall be replaced according to any landscaping and maintenance plan under that approval.

5-13(B)(7)(e) Trees or plants that die shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 calendar days after notice from the City. The replacement of dead vegetation is the responsibility of the property owner.

5-13(B)(7)(f) Street trees shall be maintained alive and healthy. Maintaining and replacing street trees or other trees planted in the public right-of-way are the responsibility of abutting property owners.

Response: Concur.

Once again, thank you for your time and attention to our project. If you have any questions, comments and / or concerns, please do not hesitate to contact me directly.

Respectfully,

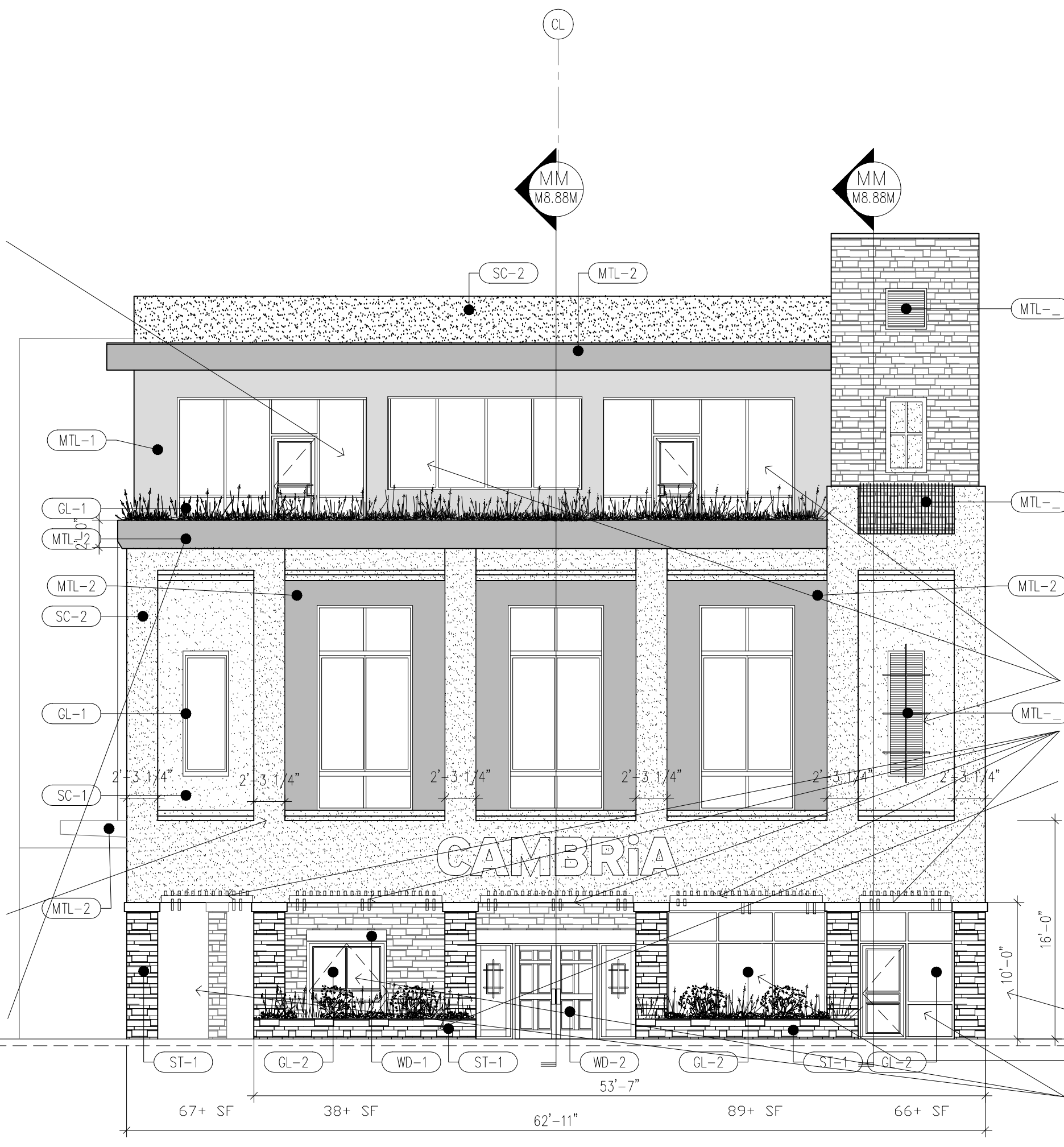
J. Glenn Griggs

Cf: File

The sheets have been amended by the design team responsible for any information, all or in part, on this sheet.

PER IDD SECTION 5-11K(2)(6)

1. WINDOWS ON UPPER FLOORS SHALL BE RECESSED NOT LESS THAN 2".
2. EACH GROUND FLOOR OF A STREET-FACING FACADE SHALL CONTAIN A MINIMUM OF 30% OF ITS SURFACES IN TRANSPARENT WINDOWS AND/OR DOORS.
3. EACH STREET-FACING FACADE SHALL INCORPORATE AT LEAST THREE OF THE FOLLOWING FEATURES ALONG AT LEAST 20 PERCENT OF THE LENGTH OF THE FACADE, DISTRIBUTED ALONG THE FACADE, SO THAT AT LEAST 1 OF THE INCORPORATED FEATURES OCCURS EVERY 30 FEET OF FACADE LENGTH:
 - A. WINDOWS ON UPPER FLOORS.
 - B. PRIMARY PEDESTRIAN ENTRANCES.
 - C. ARCADES, TRELLISES, OR OTHER ELEMENTS THAT PROVIDE SHADE OR PROTECTION FROM THE WEATHER.
 - D. RAISED PLANTERS BETWEEN 12" AND 24" (18") WITH SURFACE PLANTED TO ACHIEVE 75% VEGETATIVE COVER AT MATURITY.
4. EACH STREET-FACING FACADE LONGER THAN 50 FEET SHALL INCORPORATE AT LEAST 2 OF THE FOLLOWING ADDITIONAL FEATURES:
 - A. AN OFFSET, REVEAL, PLASTER, OR PROJECTING ELEMENT, NO LESS THAN 2 FEET IN WIDTH, PROJECTING AT LEAST 6 INCHES FROM THE FACADE AND REPEATING AT MINIMUM INTERVALS OF 25 FEET OF FACADE LENGTH.
 - B. THREE-DIMENSIONAL CORNICE OR BASE FEATURES THAT ARE DIFFERENT IN MATERIAL FROM THE PRIMARY FACADE AND PROJECT AT LEAST 3 INCHES FROM THE FACADE. A BASE FEATURE SHALL BEND SHORTER THAN 18 INCHES, AND A CORNICE FEATURE SHALL BE NO SHORTER THAN 12 INCHES.



PER IDD SECTION 5-11K(2)(6)

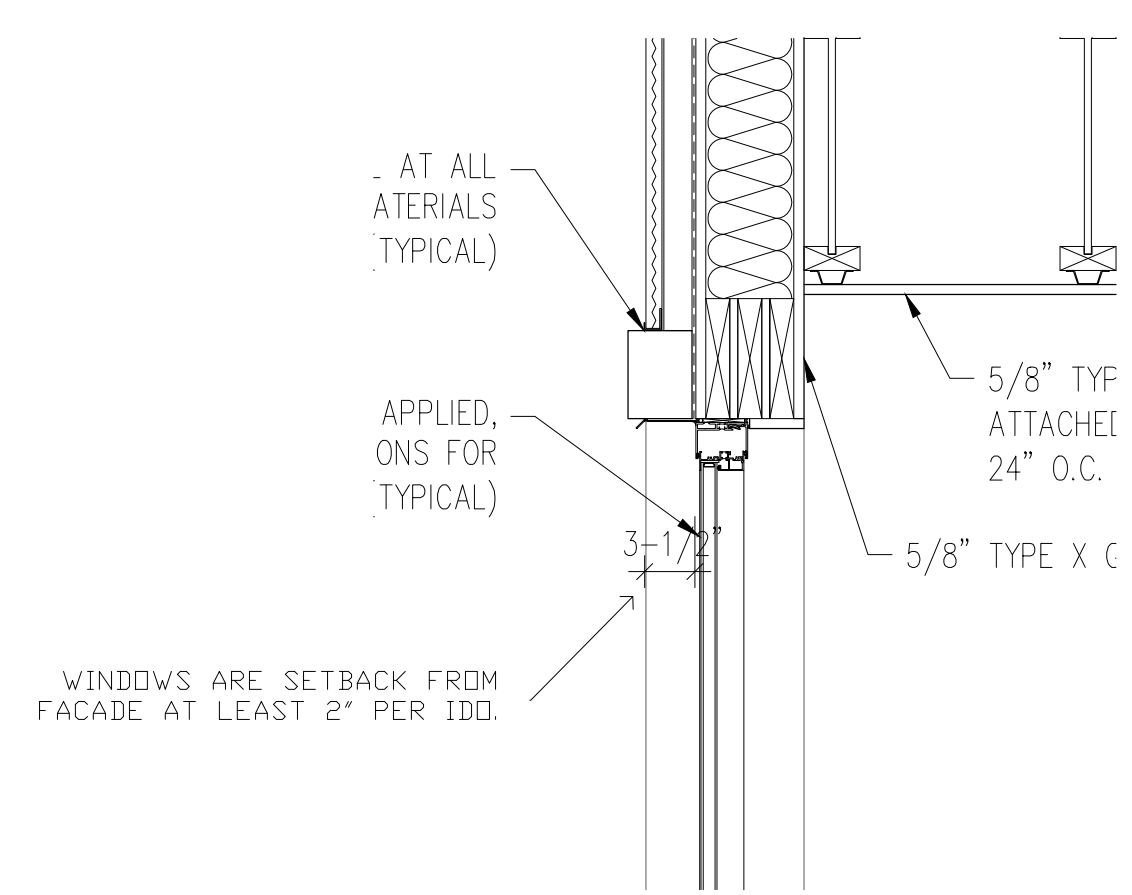
1. SENSE OF HUMAN SCALE BY PROVIDING A CLEAR ARCHITECTURAL DISTINCTION BETWEEN GROUND FLOOR LEVELS AND ALL ADDITIONAL LEVELS.
2. EACH STREET-FACING FACADE SHALL INCORPORATE AT LEAST 2 OF THE FOLLOWING FEATURES ALONG AT LEAST 30% OF THE LENGTH OF THE FACADE:
 - A. WINDOWS ON UPPER FLOORS.
 - B. PRIMARY PEDESTRIAN ENTRANCES.
 - C. ARCADES, TRELLISES, OR OTHER ELEMENTS THAT PROVIDE SHADE OR PROTECTION FROM THE WEATHER.
 - D. RAISED PLANTERS BETWEEN 12" AND 24" (18") ABOVE GRADE WITH SURFACE PLANTED TO ACHIEVE 75% VEGETATIVE COVER AT MATURITY.

PER IDD SECTION 5-11K(1)

1. GROUND FLOOR HEIGHT SHALL BE AT LEAST 10 FEET HIGH.

PER IDD SECTION 5-11K(2)(6)

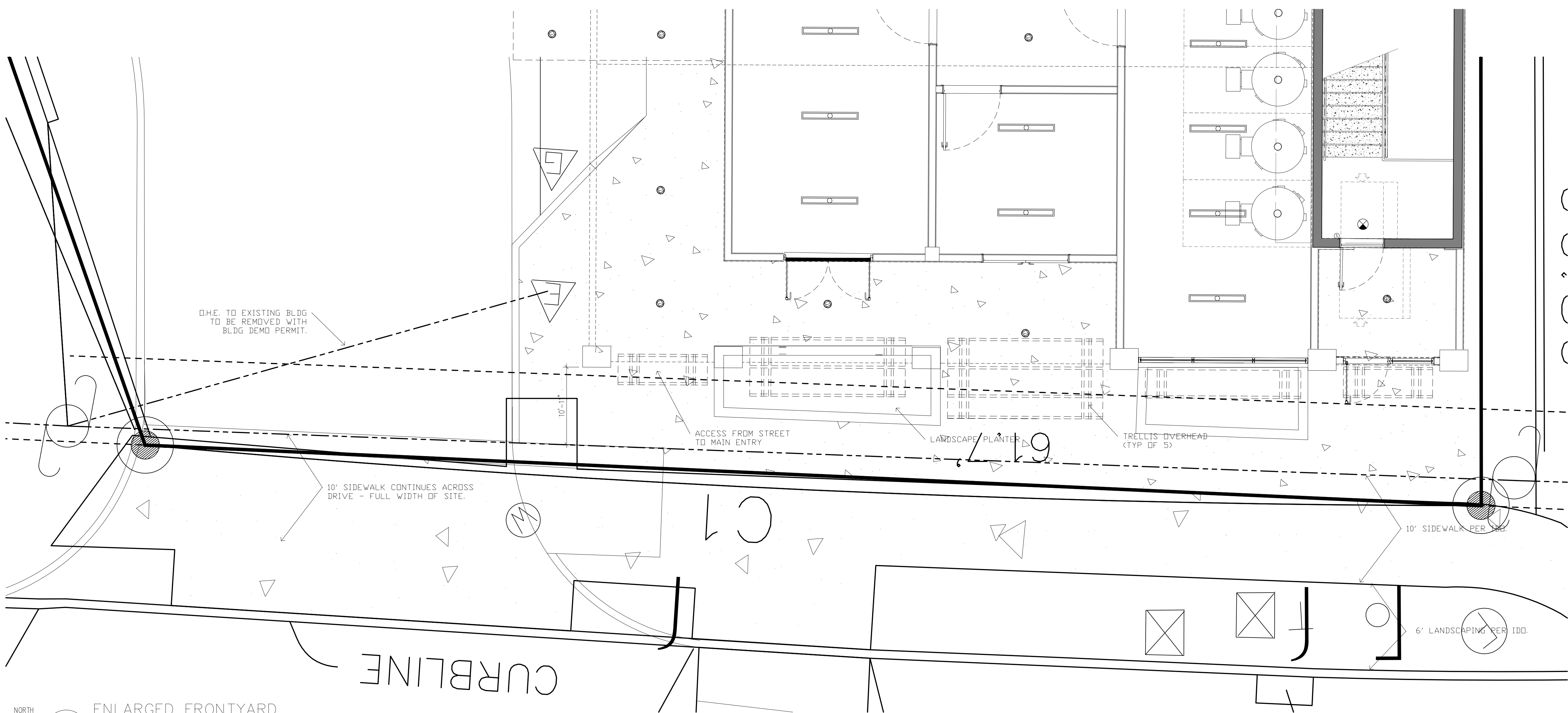
2. GROUND FLOOR SHALL BE AT LEAST 30% TRANSPARENT WINDOWS & DOORS. 700 SF X 30 = 210 SF TOTAL PROVIDED = 260 SF.



WINDOWS ARE SETBACK FROM FACADE AT LEAST 2" PER IDD.

07 NORTH EXT. ELEVATION STREET-FACING FACADE
SCALE: 1/8" = 1'-0"

02 WINDOW DETAIL @ LEAST SETBACK



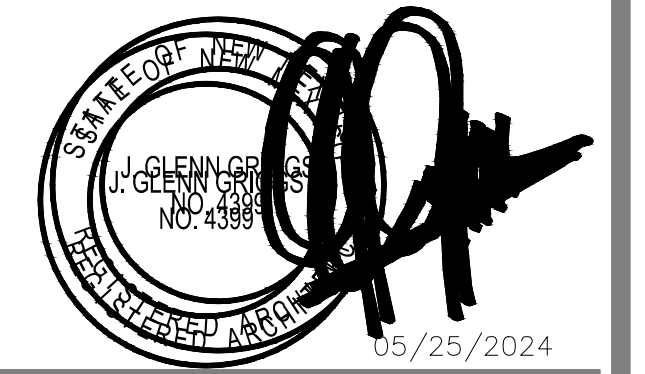
01 ENLARGED FRONTYARD SITE AREA

EXTERIOR FINISH NOTES



hospitality design management

DALLAS TX 75201-4545
www.g2group.com



508-CONSULTANT SEAL

508-CONSULTANT SEAL

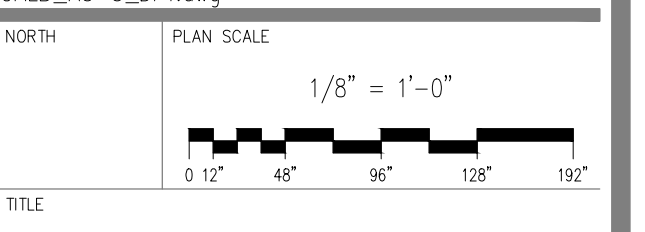
CAMBRIA®
hotels
DEVELOPED BY
GATEHOUSE CAPITAL
FOR ALVARADO HOTELS

2026 CENTRAL AVENUE
ALBUQUERQUE, NM
APPLICATION #: SI-2024-00597

SITE DEVELOPMENT SUBMITTAL

DATE (YY/MM/DD)	REVISION DESCRIPTION
01/17/23	30% BRAND SUBMITTAL
02/16/23	01 REVISED 30% DESIGN SUBMITTAL WITH REVISED OWNER DIRECTION
07/31/23	60% DESIGN DEVELOPMENT BRAND SUBMITTAL
11/20/23	60% DESIGN DEVELOPMENT BRAND RESUBMITTAL, WITHOUT INTERIOR DESIGN

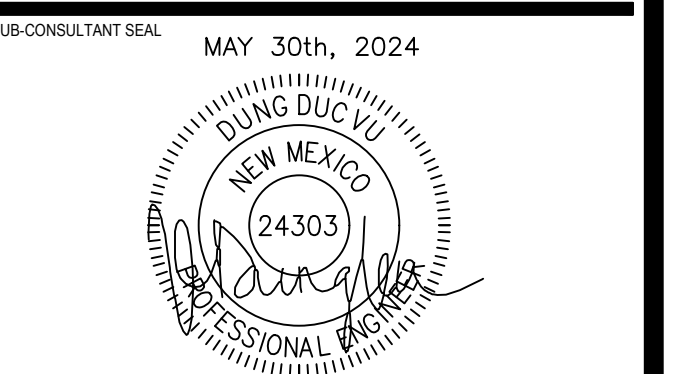
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Thursday, May 30, 2024 4:51:47 AM
ELECTRONIC FRENCH STAMP
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KEY PLAN

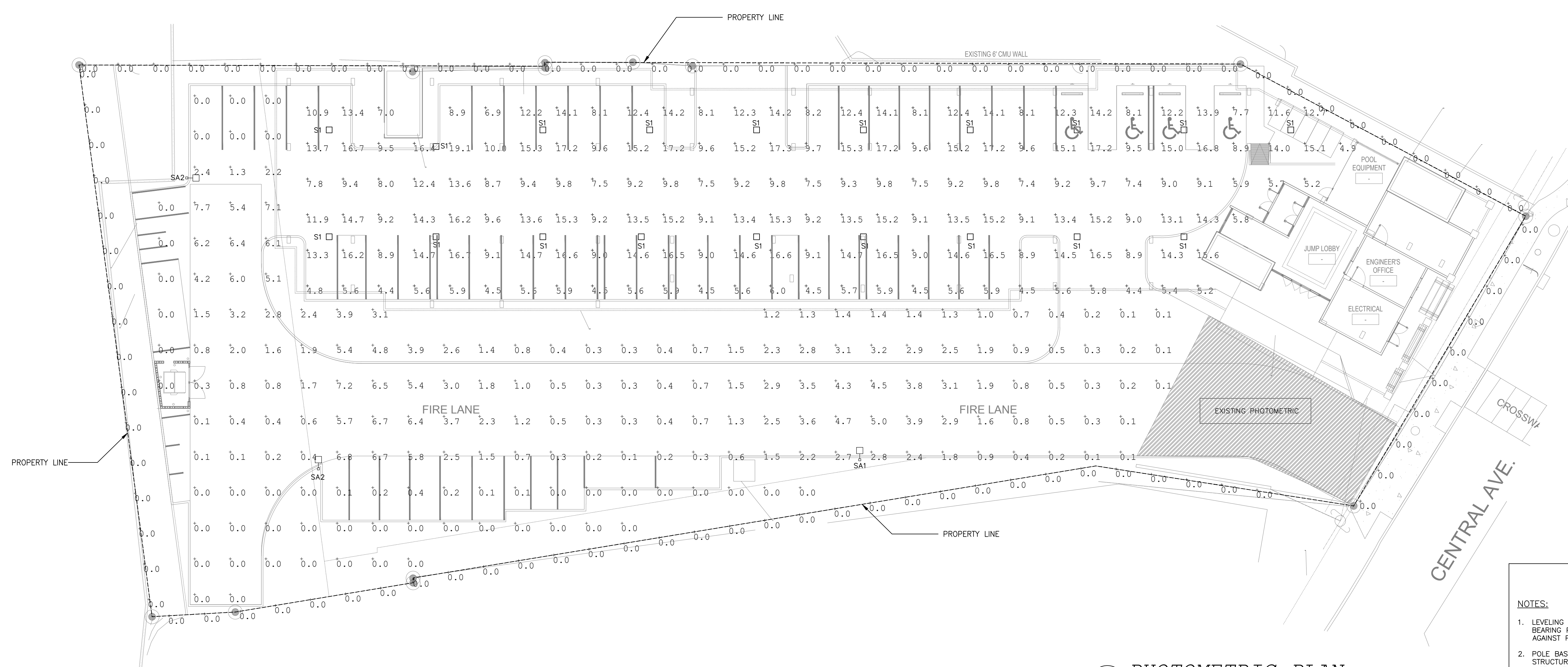
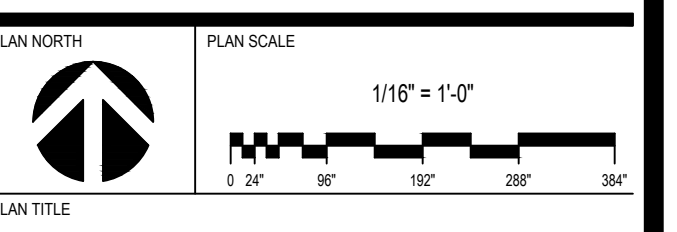
EXTERIOR ELEVATIONS

PLAN NUMBER
A3.3



DATE (Y/M/D)	REVISION DESCRIPTION

ELECTRONIC PLOT DATE STAMP
ELECTRONIC FILENAME STAMP

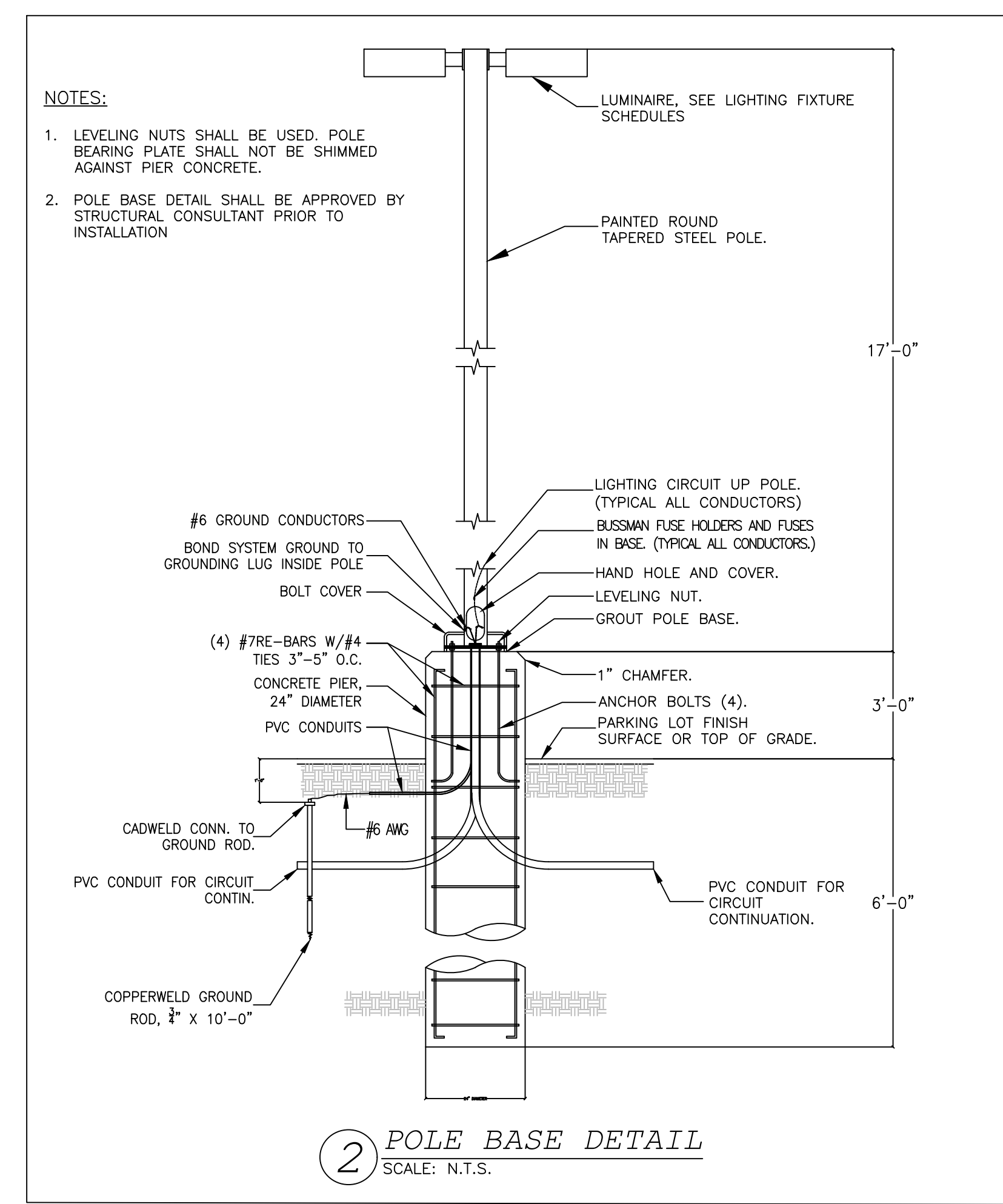


1 PHOTOMETRIC PLAN
SCALE: 1/16"=1'-0"

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Parking Lots	Illuminance	Fc	1.53	7.7	0.0	N.A.
Parking Indoor	Illuminance	Fc	10.59	7.7	0.0	N.A.
Property Line	Illuminance	Fc	0.0	0.0	0.0	N.A.

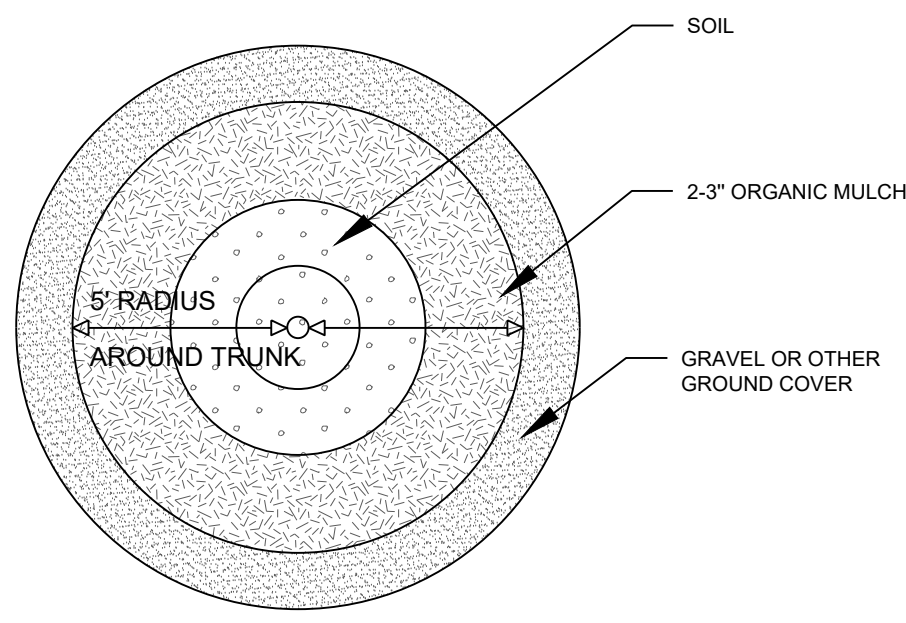
Luminaire Schedule						
Qty	Label	Arrangement	LLF	Description	Lum. Watts	Lum. Lumens
1	SA1	SINGLE	1.000	DSXO LED P6 30K 70CRI BLC3	137	11957
2	SA2	SINGLE	1.000	DSXO LED P6 30K 70CRI LC00	137	11966
19	S1	SINGLE	1.000	GPS-CANDOPY-LIGHT-5700-95W-IES	95.21	11959

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING THE SITE LIGHTING PHOTOMETRIC TESTING AND COMMISSIONING TO ENSURE THE ACTUAL PHOTOMETRIC READINGS ARE CONSISTENT WITH THOSE OF THE DESIGNED PHOTOMETRIC PLAN.

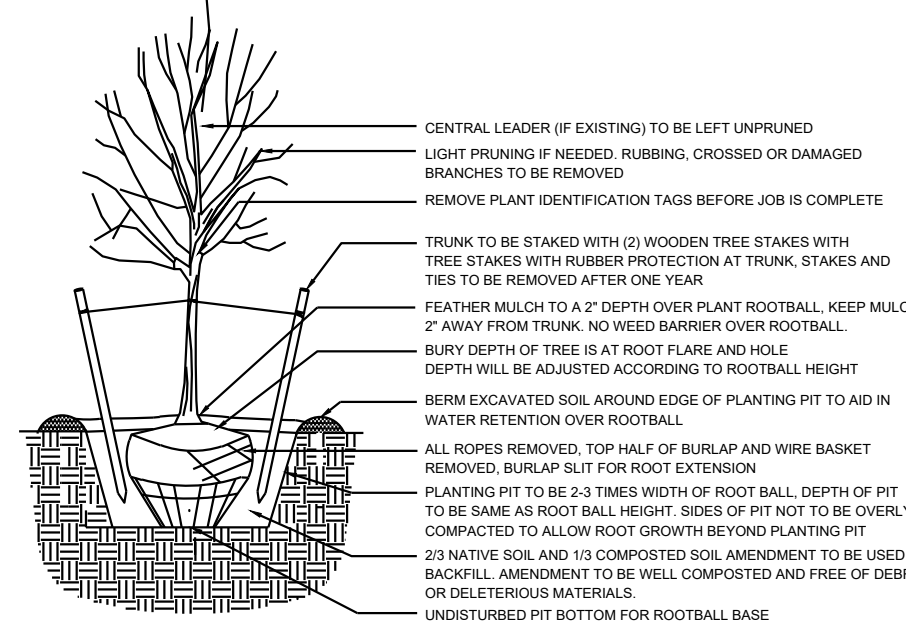


2 POLE BASE DETAIL
SCALE: N.T.S.

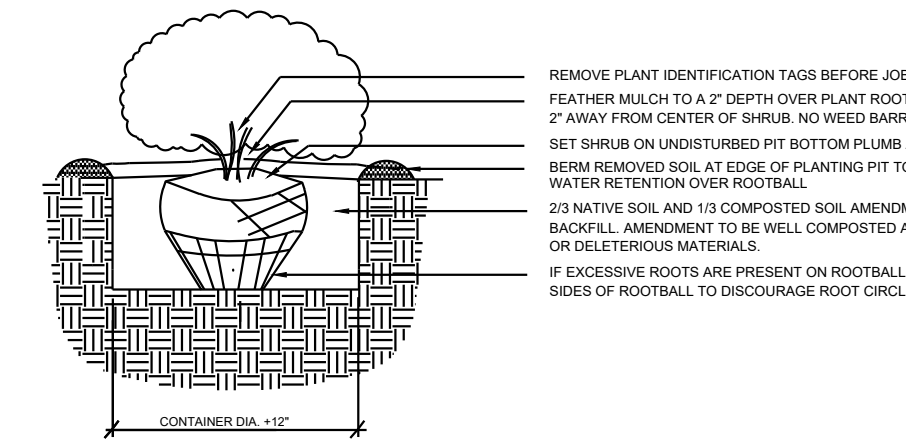
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3 TREE DETAIL N.T.S.



2 TREE PLANTING DETAIL N.T.S.



1 SHRUB PLANTING DETAIL N.T.S.

GENERAL NOTES

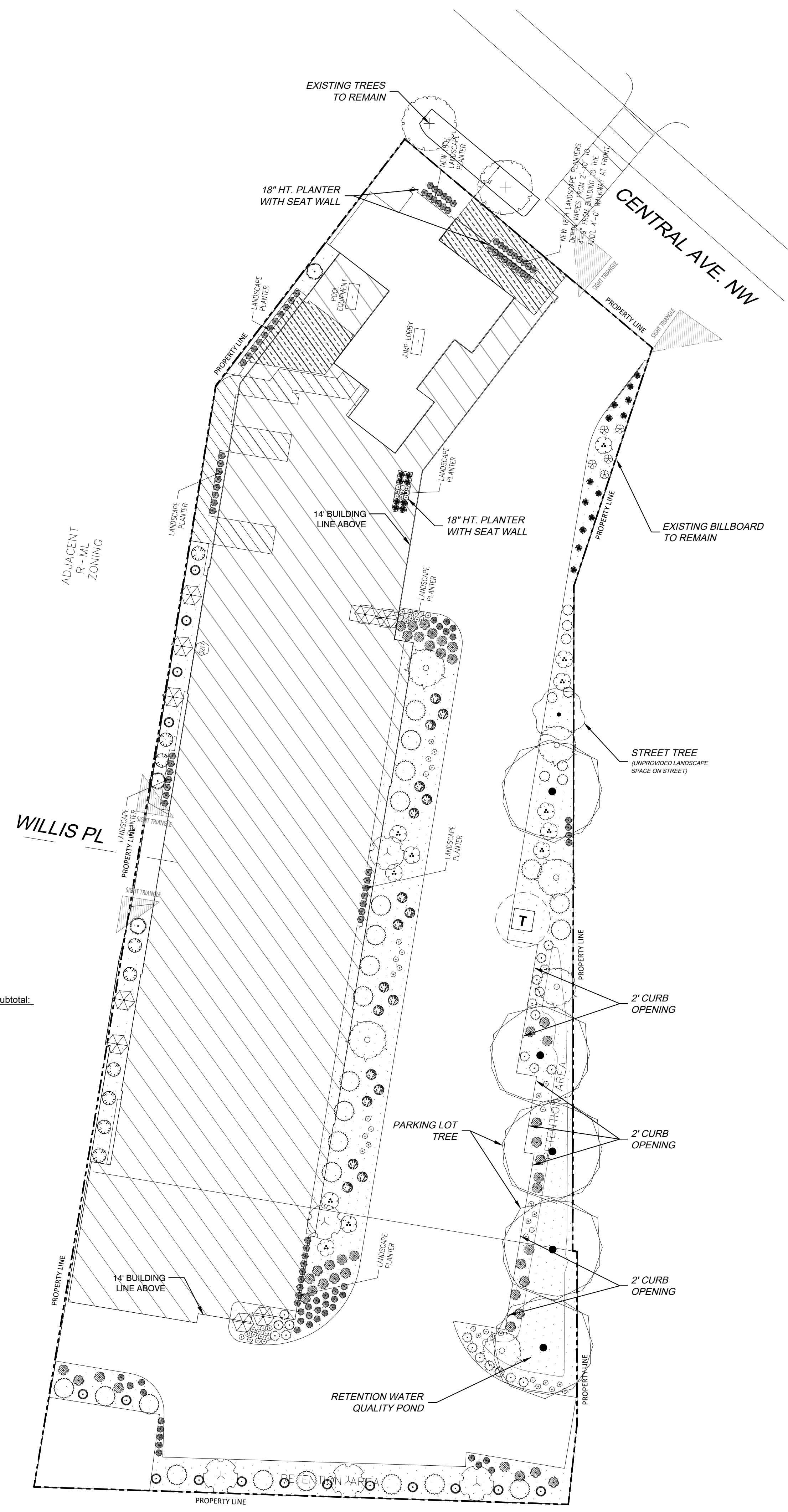
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- PURSUANT 5-6(C)(4)(h), ALL REQUIRED PLANT MATERIALS SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ASNA) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- PURSUANT 5-6(C)(5)(a), ALL VEGETATED MATERIAL REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE PLANTED IN UNCOMPACTED SOIL.
- PURSUANT 5-6(C)(5)(b), WEED BARRIERS SHALL BE PERMEABLE.
- PURSUANT 5-6(C)(5)(d), A MINIMUM OF 2 INCHES OF ORGANIC MULCH IS REQUIRED IN ALL PLANTING AREAS, WITH 3-4 IN. RECOMMENDED.
- PURSUANT 5-6(C)(15)(c), ANY DAMAGES TO UTILITY LINES RESULTING FROM NEGLIGENCE OF THE ABUTTING PROPERTY OWNER OR THEIR AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF ANY LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC ROW, PRIVATE WAY, OR EASEMENT SHALL BE THE RESPONSIBILITY OF SUCH PROPERTY OWNER. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWTH OF PLANT MATERIALS, SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY, IF A PUBLIC UTILITY DISTURBS LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC ROW, PRIVATE WAY, OR EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF THE PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE ABUTTING PROPERTY OWNER TO REPLACE THE PLANT MATERIALS.
- PURSUANT 5-6(C)(15)(d), PROPERTY OWNERS ACKNOWLEDGE THAT APPROVED LANDSCAPING AND TREES INSTALLED AND MAINTAINED IN A PUBLIC ROW, PRIVATE WAY, OR EASEMENT ABUTTING PRIVATE PROPERTIES ARE THE PROPERTY OF THE CITY, AND THE CITY RESERVES THE RIGHT TO REMOVE THEM IF NECESSARY FOR A TRANSPORTATION PROJECT WITHOUT COMPENSATION. LANDSCAPING INSTALLED IN AN ABUTTING PUBLIC ROW, PRIVATE WAY, OR EASEMENT BY PROPERTY OWNERS AND LATER REMOVED BY THE CITY SHALL NOT IMPACT PREVIOUSLY APPROVED NET LOT AREA CALCULATIONS FOR REQUIRED LANDSCAPING.
- PURSUANT 5-13(B)(7)(a), LANDSCAPING, SCREENING AND BUFFERING AREAS SHALL BE MAINTAINED IN COMPLIANCE WITH ARTICLES 6-6 AND 9-8 OF ROA 1994 AND SECTION 4 OF THE ABCWUA LEGISLATION AND ORDINANCES.
- PURSUANT 5-13(B)(7)(b), ALL LANDSCAPED AREAS SHALL BE MAINTAINED WITH A NEAT AND ORDERLY APPEARANCE, WHICH INCLUDES PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED PLANTS AND TREES, DISPOSAL OF LITTER, REPAIR OF DAMAGED WALLS AND HARD SURFACE AREAS, AND UPKEEP OF IRRIGATION SYSTEMS.
- PURSUANT 5-13(B)(7)(d), WHERE LANDSCAPING WAS INSTALLED PURSUANT TO A SITE PLAN OR DEVELOPMENT APPROVAL, THE LANDSCAPING SHALL BE REPLACE ACCORDING TO ANY LANDSCAPING AND MAINTENANCE PLAN UNDER THAT APPROVAL.
- PURSUANT 5-13(B)(7)(e), TREES OR PLANTS THAT DIE SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 DAYS AFTER NOTICE FROM THE CITY. REPLACEMENT OF THE DEAD VEGETATION IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- PURSUANT 5-13(B)(7)(f), STREET TREES SHALL BE MAINTAINED ALIVE AND HEALTHY. MAINTAINING AND REPLACING STREET TREES OR OTHER TREES PLANTED IN THE PUBLIC ROW ARE THE RESPONSIBILITY OF ABUTTING PROPERTY OWNERS.

LANDSCAPE DATA

IDO UPC#	101906403903830134	ZONING DESIGNATION	MX-L		
GROSS LOT AREA (SF)	47,493				
BUILDING AREA (SF)	3,304				
NET LOT AREA (SF)	44,189				
MINIMUM LANDSCAPE	REQUIRED	PROVIDED			
AREA (SF) - MINIMUM 15% OF NET LOT AREA*	6,628	12,416		28%	
TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	4,971	7,992		121%	
VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	1,243	4,108		83%	
PLANTING AREA MULCH	REQUIRED	PROVIDED			
GRAVEL OR CRUSHER FINES (SF)	MAX. 75%	9,188		74%	
STREET TREES - 1 PER 25 LF	REQUIRED	PROVIDED			
STREET FRONTS (63 LF)	-	63			
STREET TREES (insufficient space for trees along Central Ave.; labeled and provided elsewhere on site)	3	3			
EDGE BUFFER LANDSCAPE	REQUIRED	PROVIDED			
TREES					
PARKING LOT EDGES					
WITHIN 30' OF FRONT LOT LINE - CONTINUOUS 3' HT EVERGREEN SHRUBS	-	PROVIDED			
WITHIN 20' SIDE AND REAR LOT EDGES (156 LF)	-	156			
TREES PER (2 PER 25 LF); 156 LF	12	12			
SHRUBS (6 PER 25 LF); 156 LF	37	37			
PARKING LOT INTERIOR	REQUIRED	PROVIDED			
PARKING STALLS: 14 stalls	-	14			
PARKING LOT AREA (SF)	-	2,312			
LANDSCAPED AREA (10% OF PARKING LOT AREA)*	231	3,790			
TREES (1 PER 10 PARKING SPACES)	2	2			
TOTALS	REQUIRED	PROVIDED			
TREES	16	19			

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	H X W	H X W
TREES						
	2	EXISTING TREE			VARIES	50
DECIDUOUS TREE						
	5	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2" B&B	MEDIUM	40' X 30'	707
	1	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24" BOX	MEDIUM	15' X 15'	177
EVERGREEN TREE						
	3	JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER	15 GAL	LOW	20' X 5'	20
	16	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	15 GAL	LOW	12' X 3'	7
					Tree Subtotal:	3,884
DESERT ACCENT						
	12	DASYLIRON TEXANUM / TEXAS SOTOL	5 GAL	RW	5' X 5'	20
PERENNIAL						
	21	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL	MEDIUM	2' X 2'	3
	5	CENTRANTHUS RUBER / RED VALERIAN	1 GAL	MEDIUM	1.5' X 2.5'	5
	8	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA	1 GAL	MEDIUM	3' X 3'	7
	67	PENSTEMON PINIFOLIUS 'RED ROCKS' / BEARDTONGUE 'RED ROCKS'	1 GAL	LOW	1' X 1.5'	2
ORNAMENTAL GRASS						
	72	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	MEDIUM	30" X 2'	3
	40	HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL	MEDIUM	2' X 2'	3
	43	MUHLBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	MEDIUM	3' X 3'	20
DECIDUOUS SHRUBS						
	18	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	5 GAL	LOW	3' X 3'	7
	22	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	5 GAL	MEDIUM	3' X 3'	7
	24	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL	LOW	6' X 6'	28
EVERGREEN SHRUBS						
	6	CERCOCARPUS LEDIFOLIUS / CURL-LEAF MOUNTAIN MAHOGANY	5 GAL	LOW	8' X 12'	113
	9	NANDINA DOMESTICA 'MOON BAY' TM / HEAVENLY BAMBOO	5 GAL	MEDIUM	3' X 4'	13
	9	ROSMARINUS OFFICINALIS / ROSEMARY	5 GAL	LOW	6' X 6'	28
	5	VAUQUELINIA CALIFORNICA / ARIZONA ROSEWOOD	5 GAL	LOW	12' X 10'	79
					Shrub Subtotal:	4,108
					Plant Coverage:	7,992

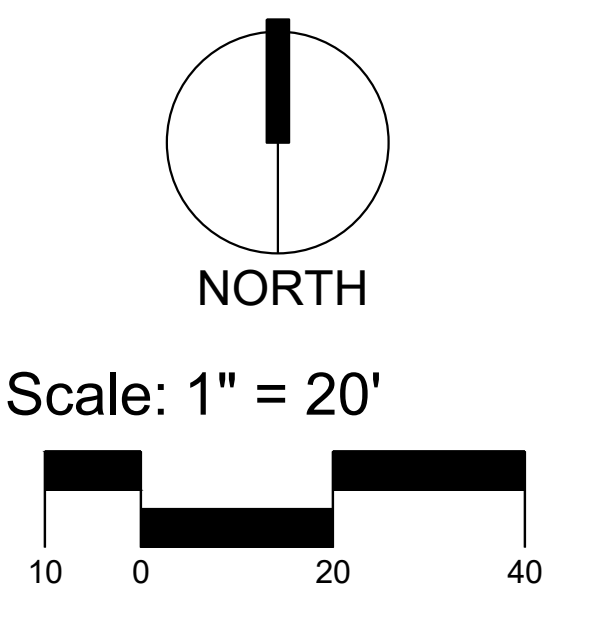


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LANDSCAPE
www.yellowstonelandscape.com
PO Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com

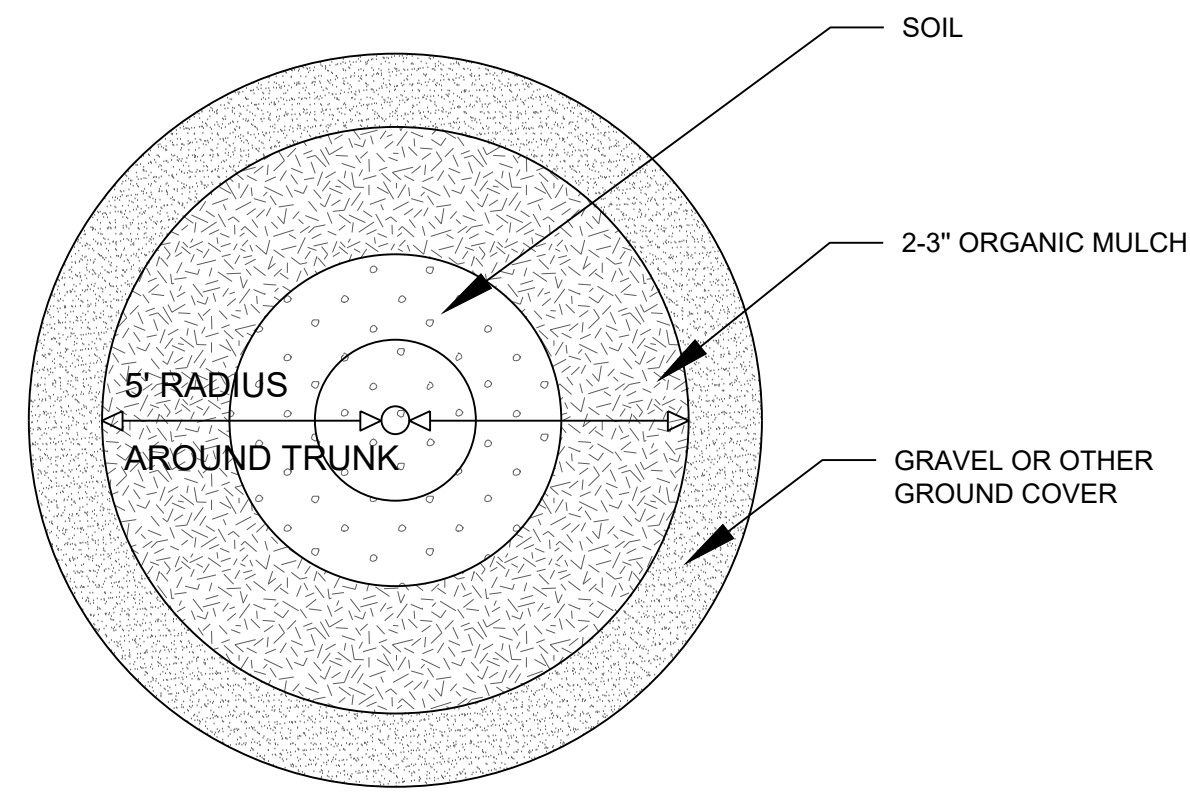


Date: 10/26/2023
Revisions:
 △ 02/28/2024
 △ 05/09/2024
 △ 5/14/2024
 △ 5/28/2024
 Drawn by: E.G.
 Reviewed by: CM

Cambria Hotel
2026 Central Ave SW
Albuquerque, New Mexico

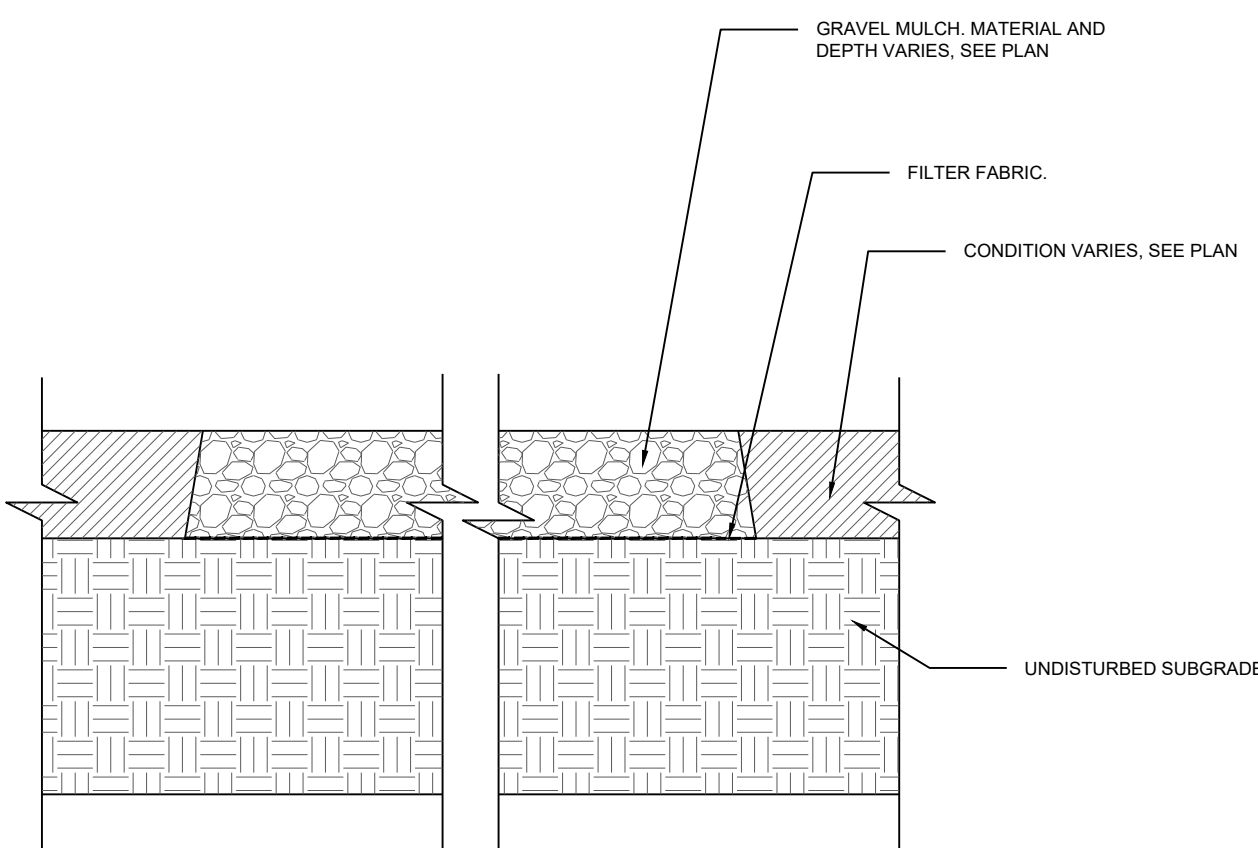


Sheet Title:
Landscape Plan
Sheet Number:
LS-01



2 TREE DETAIL

N.T.S.



1 GRAVEL MULCH WITH FILTER FABRIC

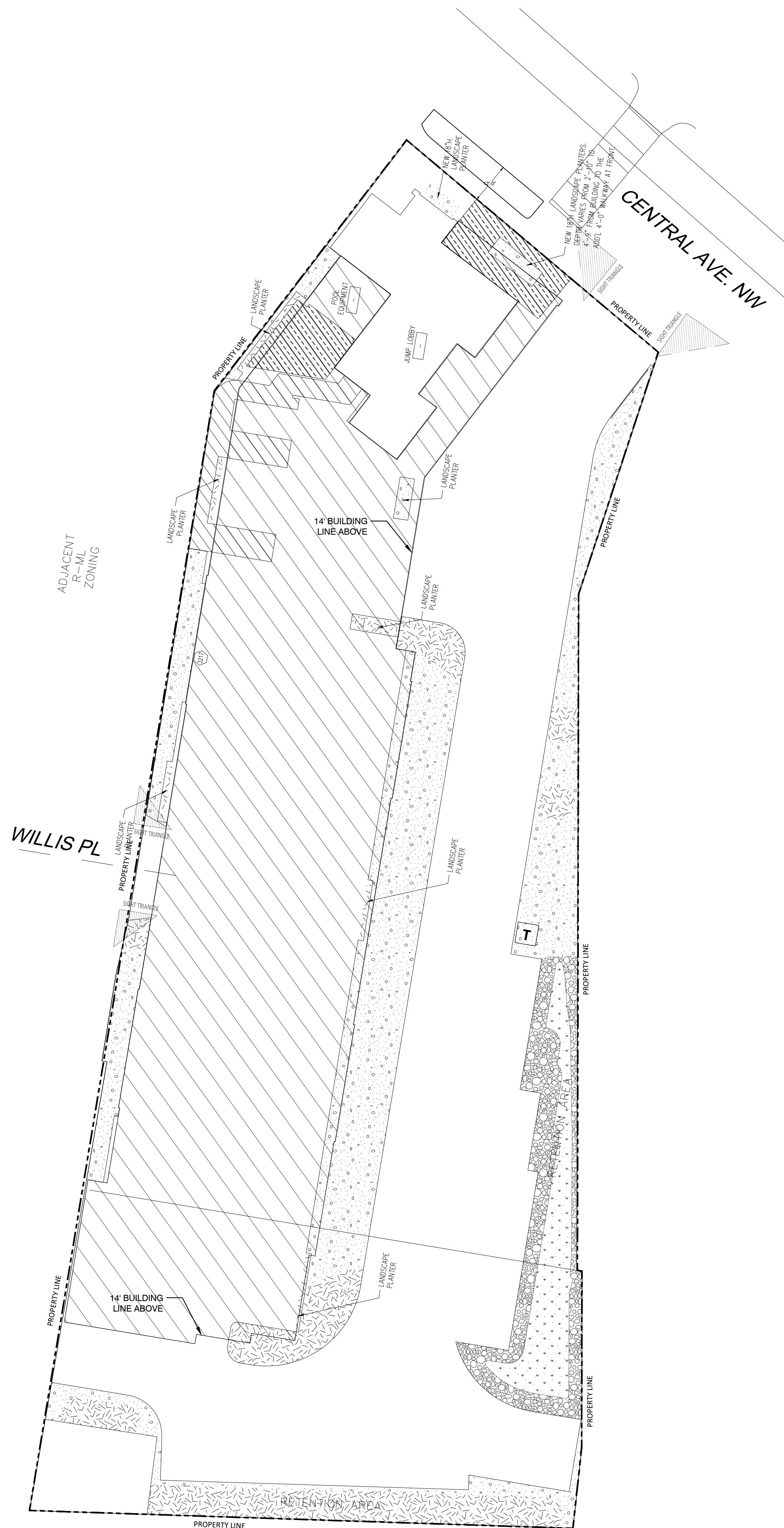
N.T.S.

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- PURSUANT 5-6(C)(5)(a), ALL VEGETATED MATERIAL REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE PLANTED IN UNCOMPACTED SOIL.
- PURSUANT 5-6(C)(5)(b), WEED BARRIERS SHALL BE PERMEABLE.
- PURSUANT 5-6(C)(5)(d), A MINIMUM OF 2 INCHES OF ORGANIC MULCH IS REQUIRED IN ALL PLANTING AREAS, WITH 3-4 IN. RECOMMENDED.
- PURSUANT 5-6(C)(15)(c), ANY DAMAGES TO UTILITY LINES RESULTING FROM NEGLIGENCE OF THE ABUTTING PROPERTY OWNER OR THEIR AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF ANY LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC ROW, PRIVATE WAY, OR EASEMENT SHALL BE THE RESPONSIBILITY OF SUCH PROPERTY OWNER. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWTH OF PLANT MATERIALS, SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY, IF A PUBLIC UTILITY DISTURBS LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC ROW, PRIVATE WAY, OR EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF THE PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE ABUTTING PROPERTY OWNER TO REPLACE THE PLANT MATERIALS.
- PURSUANT 5-6(C)(15)(d), PROPERTY OWNERS ACKNOWLEDGE THAT APPROVED LANDSCAPING AND TREES INSTALLED AND MAINTAINED IN A PUBLIC ROW, PRIVATE WAY, OR EASEMENT ABUTTING PRIVATE PROPERTIES ARE THE PROPERTY OF THE CITY, AND THE CITY RESERVES THE RIGHT TO REMOVE THEM IF NECESSARY FOR A TRANSPORTATION PROJECT WITHOUT COMPENSATION. LANDSCAPING INSTALLED IN AN ABUTTING PUBLIC ROW, PRIVATE WAY, OR EASEMENT BY PROPERTY OWNERS AND LATER REMOVED BY THE CITY SHALL NOT IMPACT PREVIOUSLY APPROVED NET LOT AREA CALCULATIONS FOR REQUIRED LANDSCAPING.
- PURSUANT 5-13(B)(7)(a), LANDSCAPING, SCREENING AND BUFFERING AREAS SHALL BE MAINTAINED IN COMPLIANCE WITH ARTICLES 6-6 AND 9-8 OF ROA 1994 AND SECTION 4 OF THE ABCWUA LEGISLATION AND ORDINANCES.
- PURSUANT 5-13(B)(7)(b), ALL LANDSCAPED AREAS SHALL BE MAINTAINED WITH A NEAT AND ORDERLY APPEARANCE, WHICH INCLUDES PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED PLANTS AND TREES, DISPOSAL OF LITTER, REPAIR OF DAMAGED WALLS AND HARD SURFACE AREAS, AND UPKEEP OF IRRIGATION SYSTEMS.
- PURSUANT 5-13(B)(7)(d), WHERE LANDSCAPING WAS INSTALLED PURSUANT TO A SITE PLAN OR DEVELOPMENT APPROVAL, THE LANDSCAPING SHALL BE REPLACE ACCORDING TO ANY LANDSCAPING AND MAINTENANCE PLAN UNDER THAT APPROVAL.
- PURSUANT 5-13(B)(7)(e), TREES OR PLANTS THAT DIE SHALL BE REPLACE BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 DAYS AFTER NOTICE FROM THE CITY. REPLACEMENT OF THE DEAD VEGETATION IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- PURSUANT 5-13(B)(7)(f), STREET TREES SHALL BE MAINTAINED ALIVE AND HEALTHY. MAINTAINING AND REPLACING STREET TREES OR OTHER TREES PLANTED IN THE PUBLIC ROW ARE THE RESPONSIBILITY OF ABUTTING PROPERTY OWNERS.

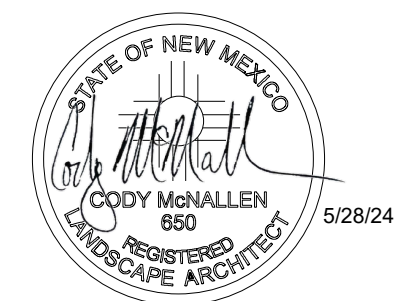
MATERIALS SCHEDULE

SYMBOL	DESCRIPTION
	AMARETTO 5/8 - 1 1/4" GRAVEL 3" DEPTH OVER FILTER FABRIC
	NATIVE MULCH SHREDDED 3" DEPTH NOT OVER FILTER FABRIC
	BLUE SAIS 2-4" ANGULAR COBBLE 4" DEPTH OVER FILTER FABRIC
	NATIVE SEED REVEGETATION



YELLOWSTONE
LANDSCAPE

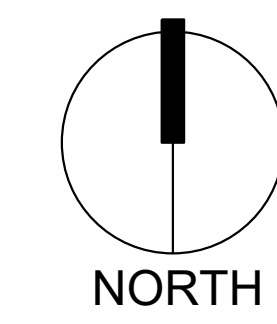
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design@yellowstonelandscape.com



Date: 10/26/2023
Revisions:
△ 02/28/2024
△ 05/09/2024
△ 5/14/2024
△ 5/28/2024

Drawn by: E.G.
Reviewed by: CM

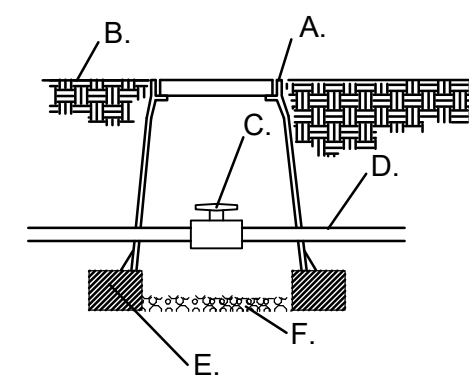
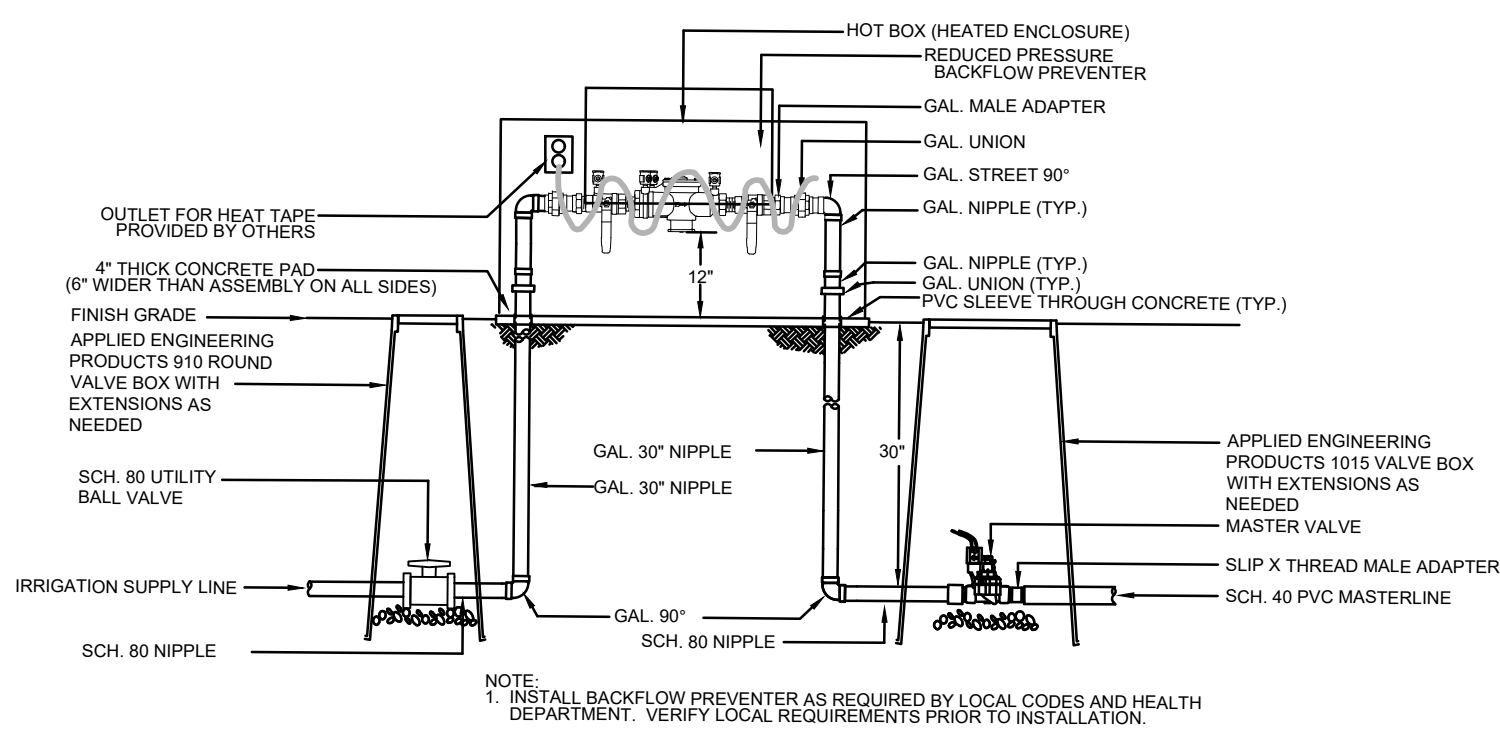
Cambria Hotel
2026 Central Ave SW
Albuquerque, New Mexico



Scale: 1" = 20'
10 0 20 40

Sheet Title:
Materials Plan

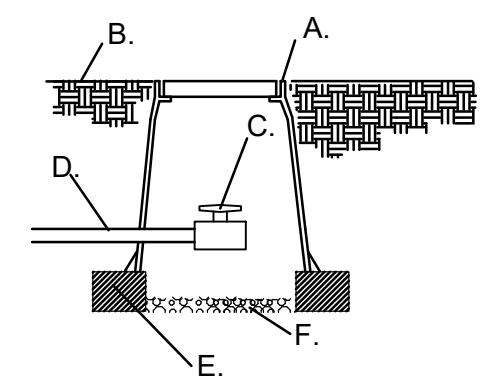
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LS-02



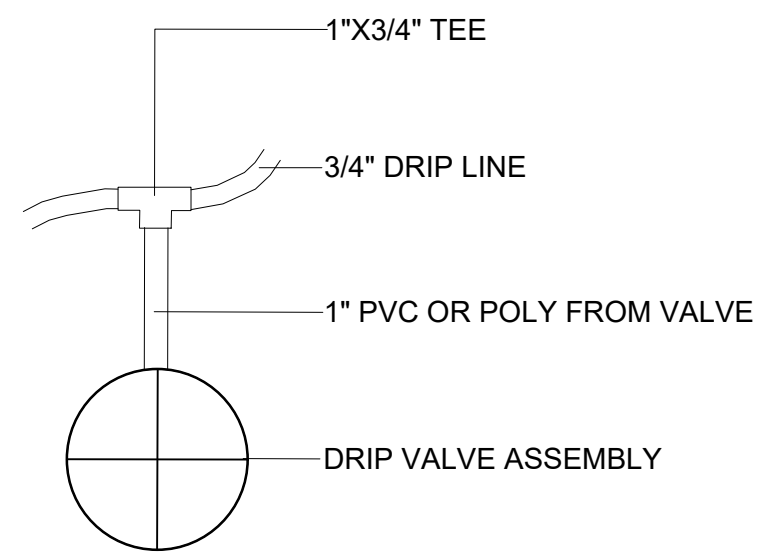
- A. APPLIED ENGINEERING PRODUCTS 910 ROUND VALVE BOX WITH EXTENSIONS AS NEEDED
- B. FINISH GRADE
- C. SCH. 80 UTILITY BALL VALVE
- D. MAINLINE/24\"/>

1 RP BACKFLOW/MASTER VALVE DETAIL N.T.S.

2 MAINLINE ISOLATION VALVE DETAIL N.T.S.

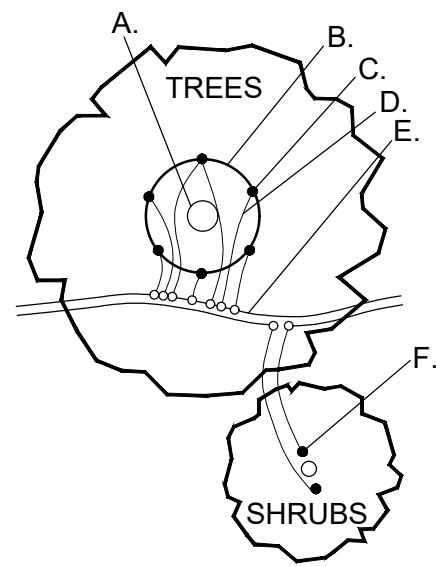


- A. APPLIED ENGINEERING PRODUCTS 910 ROUND VALVE BOX WITH EXTENSIONS AS NEEDED
- B. FINISH GRADE
- C. SCH. 80 UTILITY BALL VALVE
- D. MAINLINE/24\"/>

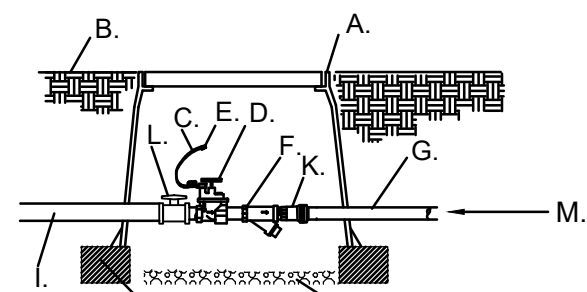


4 DRIP VALVE DETAIL N.T.S.

3 MANUAL DRAIN VALVE DETAIL N.T.S.



- A. TREE TRUNK/ ROOT CROWN
- B. 24\"/>



- F. \"/>

6 DRIP VALVE WITH FILTER & PRESSURE REGULATOR N.T.S.

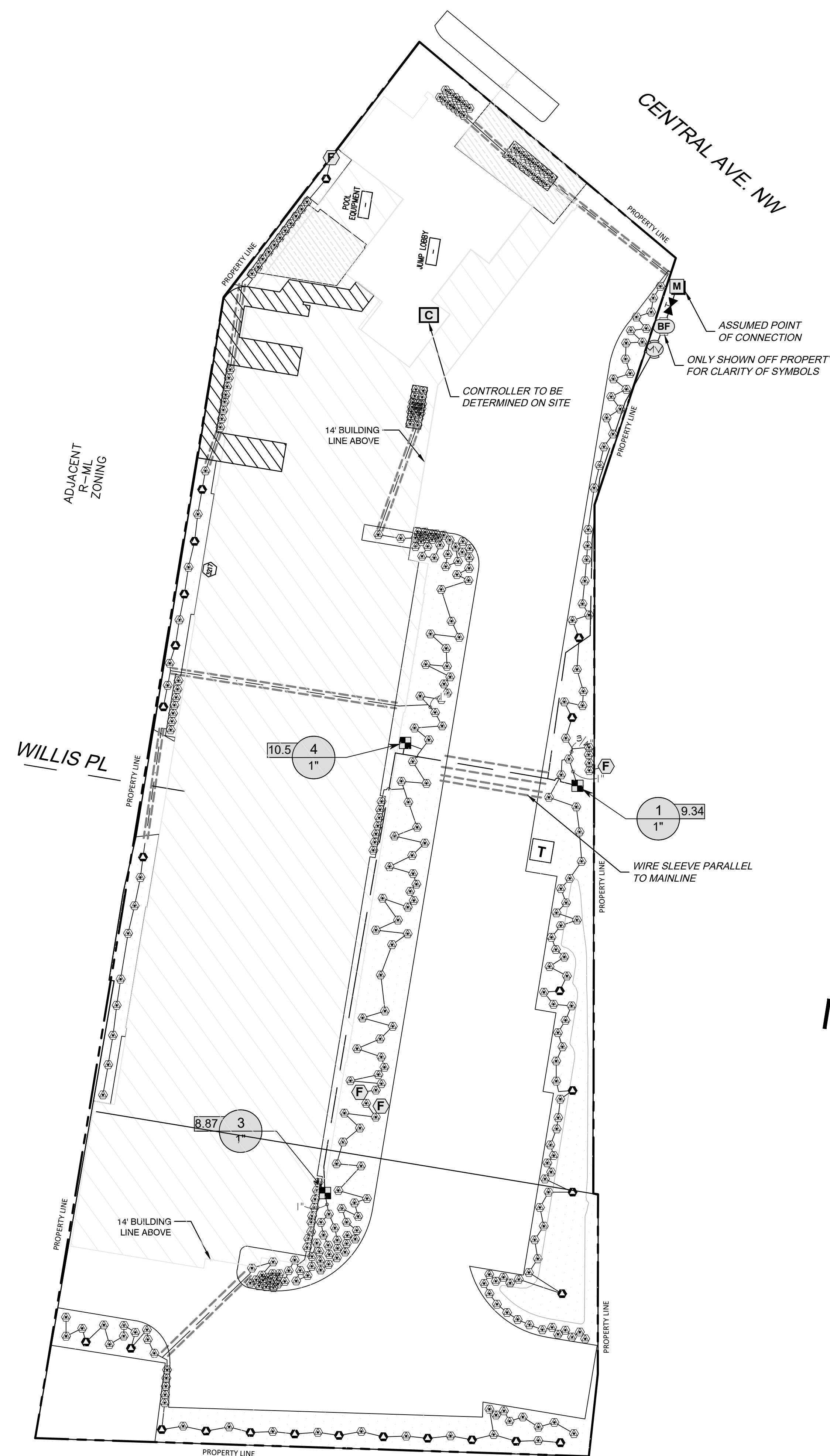
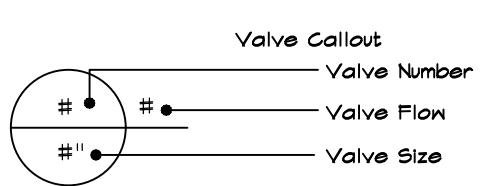
5 EMITTER PLACEMENT DETAIL N.T.S.

IRRIGATION NOTES

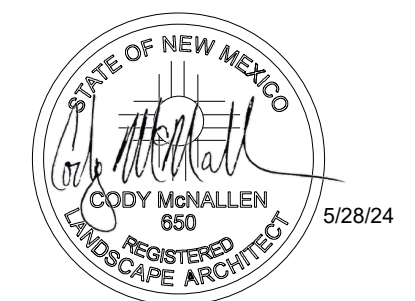
1. THE LANDSCAPE CONTRACTOR SHALL FURNISH LABOR, MATERIALS AND EQUIPMENT TO INSTALL PROPOSED IRRIGATION SYSTEM AS SHOWN PER PLAN AND DETAILS.
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3. LANDSCAPE INSTALLER SHALL PERFORM PRESSURE/GPM TEST AT POINT OF CONNECTION BEFORE INSTALLING IRRIGATION SYSTEM TO VERIFY PSI AND GPM FOR THE SITE.
4. IRRIGATION SYSTEM HAS BEEN DESIGNED TO A MINIMUM STATIC PRESSURE OF 75 PSI AND 50 GPM. IF THE PSI/GPM ARE LOWER THAN 75/50 THE LANDSCAPE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.
5. THE CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS AND MAKE ANY NECESSARY FIELD ADJUSTMENTS WITH GENERAL CONTRACTOR.
6. THE LOCATION OF IRRIGATION EQUIPMENT IS APPROXIMATE AND SHALL BE LOCATED IN THE LANDSCAPE AREAS. ANY IRRIGATION EQUIPMENT AND PIPING SHOWN OUTSIDE OF LANDSCAPE AREAS ARE FOR GRAPHIC CLARITY ONLY.
7. THE LANDSCAPE CONTRACTOR SHALL PROVIDE TO OWNER AN ACCURATE AS-BUILT IRRIGATION PLAN WHEN THE WORK IS COMPLETED. AS-BUILT DOCUMENTS SHOULD BE UPDATED WEEKLY FOR ACCURATE RECORDING OF IRRIGATION SYSTEM.
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12. CONTROLLER LOCATION IS APPROXIMATE AND THE FINAL LOCATION WILL BE DETERMINED IN THE FIELD.
13. SLEEVES TO BE INSTALLED, AS SHOWN PER PLAN, BEFORE HARDSCAPE IS INSTALLED. THE LANDSCAPE CONTRACTOR MUST BE GIVEN A MINIMUM OF 72 HOUR NOTICE BEFORE SLEEVE LOCATIONS ARE PAVED OVER.
14. WATER METER TO BE PROVIDED BY OTHERS.
15. PURSUANT 5-6(C)(14)(a), IRRIGATION SYSTEMS SHALL COMPLY WITH SECT.8 OF THE ABCWUA LEGISLATION AND ORDINANCES.
16. PURSUANT 5-6(C)(14)(b), ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
17. PURSUANT 5-6(C)(14)(c), ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING.
18. PURSUANT 5-6(C)(14)(d), THE IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, DRIVE AISLES, STREETS, AND PARKING/LOADING AREAS.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	DRIP CONTROL VALVE RAIN BIRD XCZ-100-PRF. MEDIUM FLOW DRIP CONTROL KIT, 3 1IN. DV VALVE, 1IN. PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 3 GPM-15 GPM.	3
⊕	FLUSH CAP NDS CEP900	4
⊗	DRIP EMITTER - SHRUB (2) NDS TAE 20 DRIP EMITTERS	360
⊙	DRIP EMITTER - TREE (6) NDS TAE 20 DRIP EMITTERS	25
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊗	MAIN SHUT OFF VALVE SPEARS SCH80 PVC COMPACT BALL VALVE	1
⊕	MASTER VALVE 1-1/2\"/>	
⊕	REDUCED PRESSURE BACKFLOW PREVENTER 1-1/2\"/>	
⊕	CONTROLLER - RAIN BIRD ESP4ME3 4-22 STATION, HYBRID MODULAR OUTDOOR CONTROLLER. FOR RESIDENTIAL OR LIGHT COMMERCIAL USE. LNK WIFI MODULE AND FLOW SENSOR READY.	1
⊕	WATER METER 1\"/>	
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	
---	IRRIGATION LATERAL LINE: A940 DRIP POLYLINE	
---	IRRIGATION MAINLINE: PVC SCHEDULE 40	
---	PIPE SLEEVE: PVC CLASS 200 SDR 21	

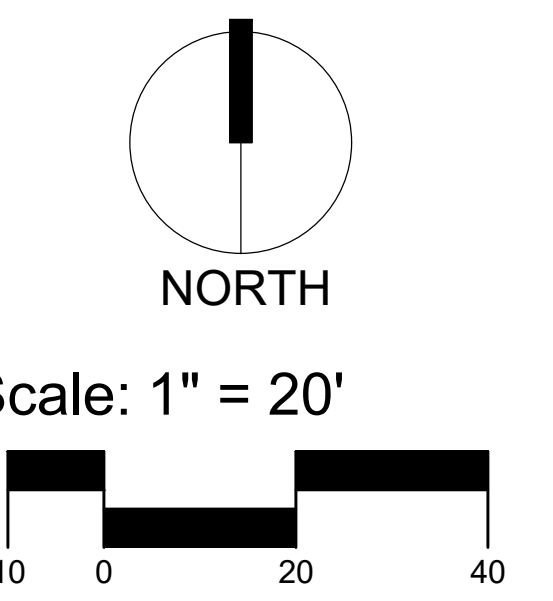


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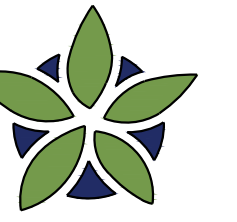


Date: 10/26/2023
Revisions:
△ 02/28/2024
△ 05/09/2024
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Drawn by: E.G.
Reviewed by: CM

Cambria Hotel
2026 Central Ave SW
Albuquerque, New Mexico

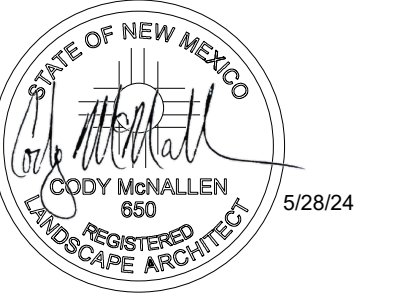


Sheet Title:
Irrigation Plan
Sheet Number:
LI-01



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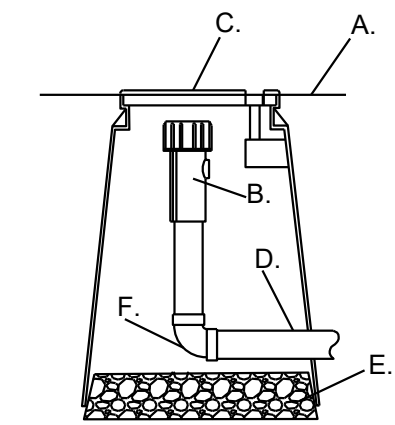
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Cambria Hotel
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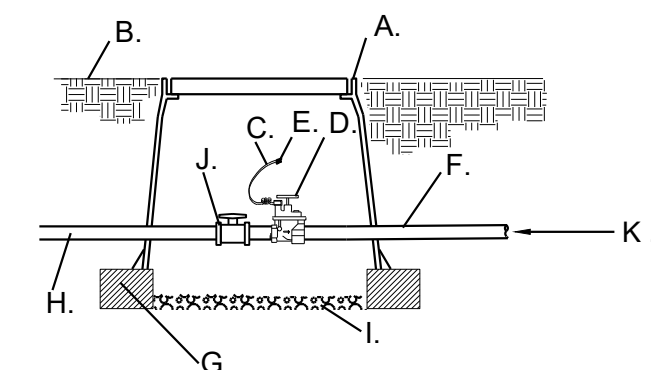
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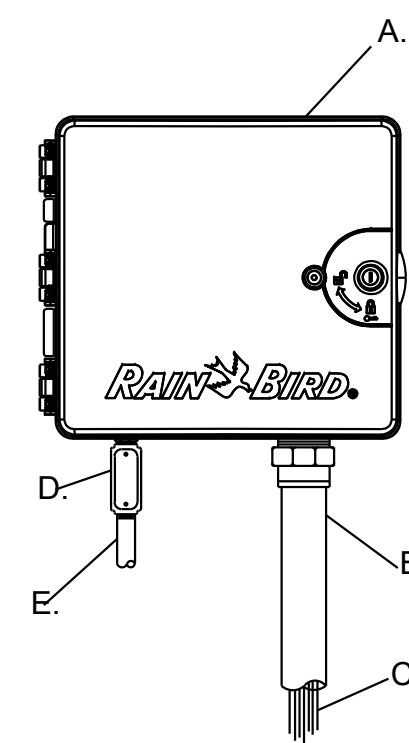
- A. FINISH GRADE
- B. END FLUSH CAP
- C. 6" ROUND BOX WITH LID
- D. 3/4" POLY DRIP PIPE
- E. 2" DEPTH OF GRAVEL
- F. 90° FITTING

7 END FLUSH CAP _____ N.T.S.



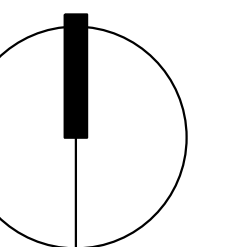
- A. APPLIED ENGINEERING PRODUCTS 1320 VALVE BOX WITH EXTENSIONS AS NEEDED
- B. FINISH GRADE
- C. 24" WIRE LOOP
- D. AUTOMATIC VALVE- SEE IRRIGATION LEGEND.
- E. DRY SPLICE CONNECTOR OR EQUAL
- F. LATERAL LINE/24" BURY
- G. 8" X 8" X 16" CMU CONCRETE BLOCK
- H. MASTERLINE/24" BURY
- I. 4" LAYER OF 3/4" GRAVEL
- J. SCH. 80 TRUE UNION BALL VALVE
- K. SCH. 40 PVC LATERAL LINE

8 AUTOMATIC VALVE _____ N.T.S.



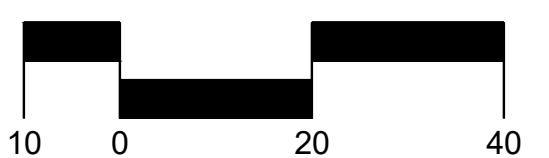
- A. CONTROLLER (see plan for model)
- B. 2" PVC SCH. 40 CONDUIT AND FITTINGS
- C. WIRES TO REMOTE CONTROL VALVES
- D. JUNCTION BOX
- E. 1" PVC SCH. 40 CONDUIT AND FITTINGS TO POWER SUPPLY

9 WALL MOUNTED AUTOMATIC CONTROLLER _____ N.T.S.



NORTH

Scale: 1" = 20'



Sheet Title:
**Irrigation
Details**

Sheet Number:

LI-02

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 5/29/24

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DFT Project No.: PR-2023-009688

DFT Application No.: SI-2024-00597

CAMBRIA HOTEL

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

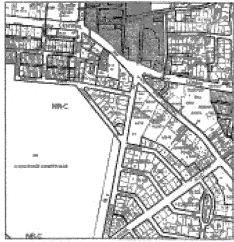
TR 145 A AND B, MRGCD MAP 38

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		6"	Paving Replace 4" Water Line, Hydrant, Services and Appurtances	Willis Pl.	Rio Grande Blvd.	Site	/	/	/
							/	/	/
							/	/	/
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VICINITY MAP (J-13) NO SCALE



PURPOSE OF PLAT

This plat has been prepared for the purpose of creating one lot from two existing lots.

NOTES

- 1. Boundaries shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 83.
2. Particular distances are field measurements made on the ground.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. No property within the area of requested plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting water collection from being installed on buildings or erected on the lots or parcels within the area of proposed plat.
5. The subject properties (as shown herein) appear to lie within 'Zone X' (land with reduced flood risk due to levee) as shown on the National Flood Insurance Program Flood Insurance Rate Map Number 2202100231N, Revised August 18, 2012.
6. Existing public water and/or sanitary sewer infrastructure may not be constructed or used to adequately serve potential future development, improvement or updating of existing public infrastructure may be required on a condition of future development approval.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
A. Public Service Company of New Mexico (PSCNM), a New Mexico corporation, (Cable District) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and related facilities reasonably necessary to provide natural gas services.
C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide communication services.
D. Cable TV for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide cable services.
E. In approving this plat, Public Service Company of New Mexico (PSCNM), New Mexico Gas Company (NMGC) and Qwest Corporation d/b/a CenturyLink (QWEST) did not conduct a Title Search of the properties shown herein. Consequently, PSCNM, NMGC and QWEST do not waive or release any easement or easements rights which may have been granted by prior plat, deed or other document and which are not shown on this plat.

THIS IS TO CERTIFY THAT THESE ARE CORRECT AND TRUE COPIES.

UPON 1 633 688 137 34143, 10308819324704

PROPERTY OWNER OF RECORD

ALVARADO HOTEL, LLC, ONEBEN MORNING RESORTS, LLC

BERNALILLO COUNTY TREASURER'S OFFICE

Mm 6/11 5/30/24

DOCS 2024036720

RECEIVED BY RECORDER AND CLERK OF BERNALILLO COUNTY

COUNTY CLERK RECORDING LABEL HERE

SURVEY LEGAL DESCRIPTION

A certain tract of land in Projected Section 18 Township 10 North, Range 3 East, N.M.P.M., within the Town of Albuquerque Grant, Albuquerque, Bernalillo County, New Mexico, and being known as Tracts numbered 145-A and 145-B of the Middle Rio Grande Conservancy District Property Map 38, and being more particularly described as follows:

BEING of the Northeast corner of the property herein described, being a point on the southern right-of-way line of Central Avenue, SW, from whence the ACS Monument "S-1134" (S=1515, S33.322, y=1,491,318.377, NAD 83 (2011) NM Central Zone) bears N 31° 18' 40" E, 1,706.09 feet distant;
THENCE leaving said southern right-of-way line, S 18° 18' 13" W, 73.18 feet;
THENCE S 00° 43' 28" W, 194.51 feet;
THENCE S 01° 11' 03" W, 50.74 feet;
THENCE S 08° 58' 15" W, 63.27 feet to the Southeast corner;
THENCE N 87° 50' 44" W, 120.81 feet to the Southwest corner;
THENCE N 07° 04' 59" E, 23.47 feet;
THENCE N 82° 10' 01" W, 92.00 feet;
THENCE N 09° 16' 03" E, 25.90 feet;
THENCE N 10° 54' 00" E, 170.13 feet;
THENCE N 35° 28' 02" E, 90.91 feet to the Northwest corner, being a point on said southern right-of-way line;
THENCE along said right-of-way line, S 48° 50' 18" E, 94.53 feet to the Point of Beginning.

APPROVED on the condition that all rights of the Middle Rio Grande Conservancy District in assessment, right-of-way, easements and liens, are fully approved to said District, and that if approval for proposed survey and easements are not provided for by the subdivision for the subdivision, section, or plat, said District is obligated to furnish irrigation water and services to any persons thereof, other than those existing tenants.

M.A.C.C. APPROVED

Ray 5/29/24

DATE 5/29/2024

FREE CONSENT

The platting of the property as described above is with the free consent and in accordance with the desire of the undersigned owner(s). Said owner(s) warrant(s) that they hold complete and indefeasible title in fee simple to the land subdivided.

Mark Gumbon, Authorized Agent for Alvarado Hotel, LLC and Oneben Morning Resorts, LLC Date 5/29/24

ACKNOWLEDGMENT

SITE OF NEW MEXICO

COUNTY OF BERNALILLO

On this 29th day of February, 2024, the foregoing instrument was acknowledged by Mark Gumbon, Authorized Agent for Alvarado Hotel, LLC and Oneben Morning Resorts, LLC.

My Commission expires February 11, 2025

Notary Public

PLAT OF TRACT A, LANDS OF ALVARADO HOTEL LLC

WITHIN PROJECTED SECTION 18, T. 10 N., R. 3 E., N.M.P.M. WITHIN THE TOWN OF ALBUQUERQUE GRANT ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO DECEMBER 2023

PROJECT NUMBER: PA-2023-009666

Application Number: SD-2024-00049

Utility Company Approvals:

City Approvals:

City Engineer

City Engineer

City Engineer

City Engineer

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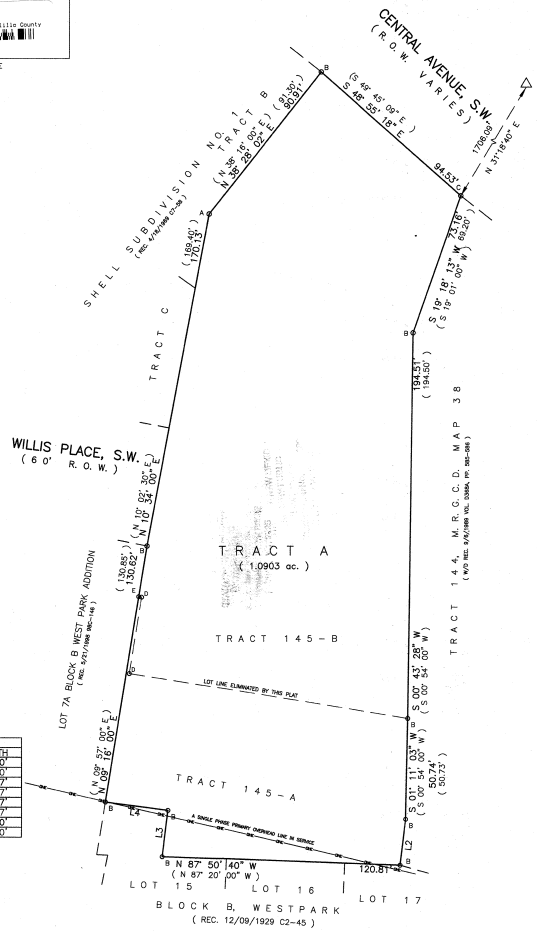
City Engineer

DOC# 2024038720
 05/17/2024 04:00 PM Page 2 of 2 Linda Steiner, Bernalillo County
 11/11/2024 04:00 PM

COUNTY CLERK RECORDING LABEL HERE

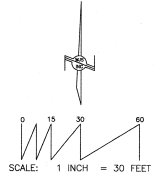
PLAT OF
TRACT A, LANDS OF ALVARADO HOTEL LLC
 WITHIN PROJECTED SECTION 18, T. 10 N., R. 3 E., N.M.P.M.
 WITHIN THE TOWN OF ALBUQUERQUE GRANT
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 2023

ACS MONUMENT "0-1134"
 x=1,515,633.327 US SURVEY FEET
 y=1,491,318.377 US SURVEY FEET
 Ground-to-ground: 0.999564462
 Mapping Angle: -001423.54"
 NAD83 CENTRAL ZONE NAD 83

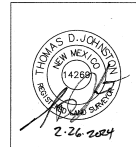


LINE NO.	BEARING	LENGTH
L1	N 05° 15' 03" E	45.90
(L1)	N 05° 57' 00" E	25.90
L2	S 05° 58' 15" W	23.77
(L2)	S 07° 05' 00" W	23.77
L3	N 07° 04' 59" E	23.47
(L3)	N 07° 45' 00" E	23.47
L4	N 82° 15' 01" W	32.00
(L4)	N 81° 34' 00" W	32.00

NOTES CONTINUED:
 THE DEVELOPMENT HEARING OFFICER (DHO)
 APPROVED THIS PRELIMINARY/FINAL PLAT
 (SD-2024-00049) ON MARCH 27, 2024.



FOUND/SET MONUMENT LEGEND:
 A: FOUND #4 REBAR AND CAP "LS 9703"
 B: FOUND #4 REBAR AND CAP "LS 10491"
 C: FOUND #4 NAIL AND DISK "LS 10461"
 D: FOUND #4 REBAR AND CAP "WAYJOHN PS 14289"
 E: FOUND #4 NAIL AND DISK "WAYJOHN PS 14289"



1609 2nd STREET NW
 ALBUQUERQUE, N.M. 87102
 PHONE: (505) 255-2052 FAX: (505) 255-2887

PREPARED INFORMATION FOR COUNTY CLERK OWNER: ALVARADO HOTEL LLC GENESIS WORLDWIDE RESORTS LLC UPLC: 1018027654-181212 LOCATION: SECTION 18, T10N, R3E SUBDIVISION: LANDS OF ALVARADO HOTEL	DRAWN: P A M CHECKED: T D J DRAWING NO.: SP110323.DWG	SCALE: 1" = 30' 6 DEC 2023	FILE NO.: SP-11-03-2023 SHEET 2 OF 2
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