

PR-2024-009765-SI-202400468_1100

Woodward Rehab Hospital EPC-DFT

Signatures

Final Audit Report

2025-12-29

Created:	2025-11-12
By:	Jacob Boylan (jboylan@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAMvMb7bOlmbZH-jNAyfA3ZP6mGKFpR4n

"PR-2024-009765-SI-202400468_1100 Woodward Rehab Hospital EPC-DFT Signatures" History

- 📄 Document created by Jacob Boylan (jboylan@cabq.gov)
2025-11-12 - 9:56:54 PM GMT
- ✉️ Document emailed to Tiequan Chen (tchen@cabq.gov) for signature
2025-11-12 - 9:57:04 PM GMT
- ✉️ Document emailed to Whitney Phelan (wphelan@cabq.gov) for signature
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- ✉️ Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature
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- ✉️ Document emailed to Jeff Palmer (jppalmer@cabq.gov) for signature
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- ✉️ Document emailed to David Gutierrez (dggutierrez@abcwua.org) for signature
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- ✉️ Document emailed to Jay Rodenbeck (jrodenbeck@cabq.gov) for signature
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- 📄 Email viewed by Whitney Phelan (wphelan@cabq.gov)
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- 🔗 Document e-signed by Whitney Phelan (wphelan@cabq.gov)
Signature Date: 2025-11-12 - 10:14:14 PM GMT - Time Source: server

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 Email viewed by Jay Rodenbeck (jrodenbeck@cabq.gov)
2025-12-18 - 3:19:03 AM GMT

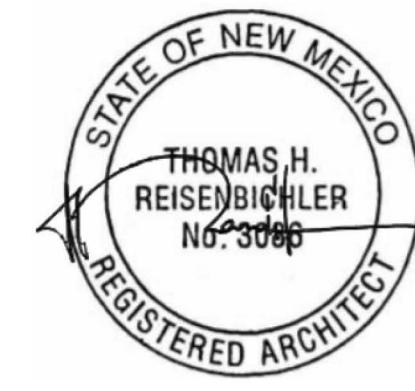
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Signature Date: 2025-12-29 - 5:13:57 PM GMT - Time Source: server

 Agreement completed.
2025-12-29 - 5:13:57 PM GMT



Adobe Acrobat Sign



EXTERIOR FINISH LEGEND

EF-1
EIFS - 1
STOLIT 1.0
COLOR 31335 JUTE

MR-1
MODULAR BRICK -
PEBBLE GRAY

SS-1
LOUVERED SUNSHADES -
PLATINUM ICE

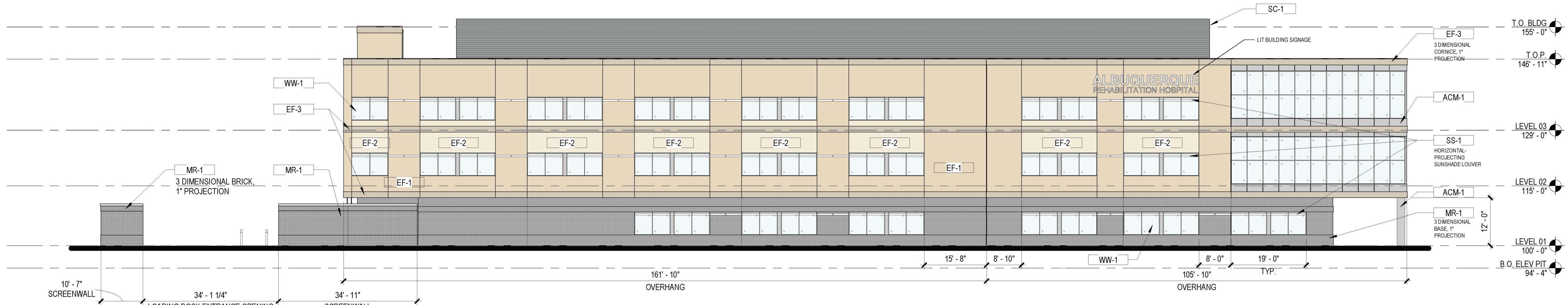
EF-2
EIFS - 2
STOLIT 1.0
COLOR - 32138 COTTON

ACM-1 / SC-1
ACM PANEL / PREFORMED
METAL WALL PANEL -
PLATINUM ICE

ACM-1
ACM PANELS AT
CANOPY,
COLUMN
WRAPS -
PLATINUM ICE

EF-3
EIFS - 3
STOLIT 1.0
COLOR - 31334 THATCH

WW-1
STOREFRONT SYSTEM -
PLATINUM ICE
GLAZING - GUARDIAN SN68,
CRYSTAL GRAY



02 SOUTH ELEVATION

1/16" = 1'-0" | NOT STREET FACING

01 NORTH ELEVATION

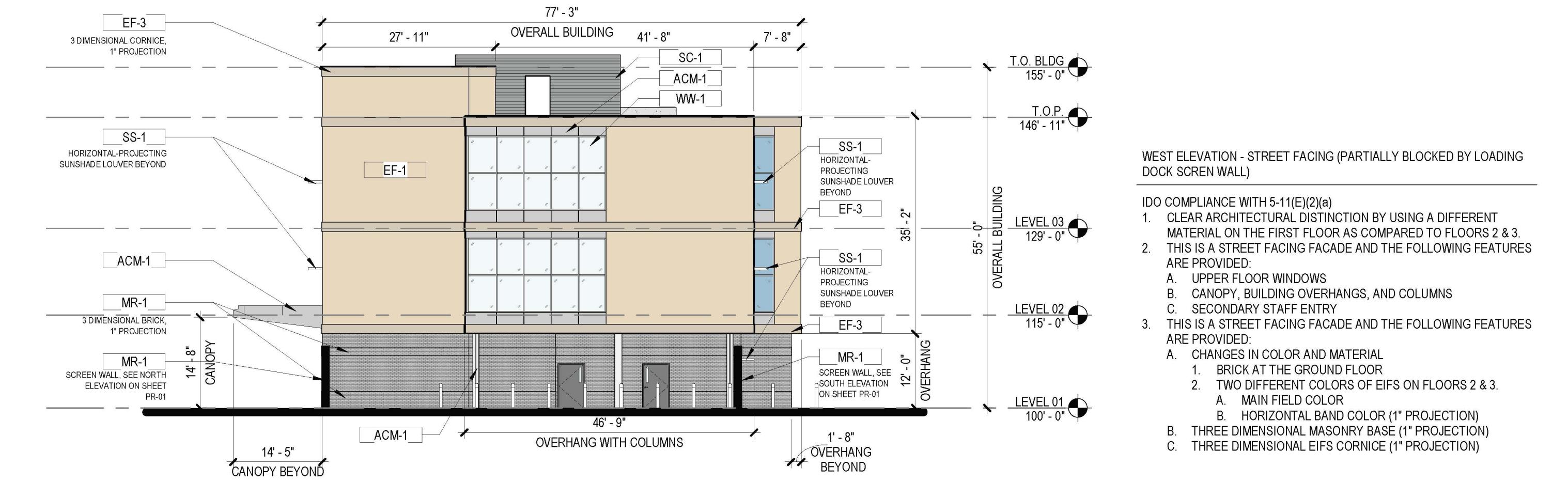
1/16" = 1'-0" | STREET FACING

ALBUQUERQUE REHABILITATION HOSPITAL

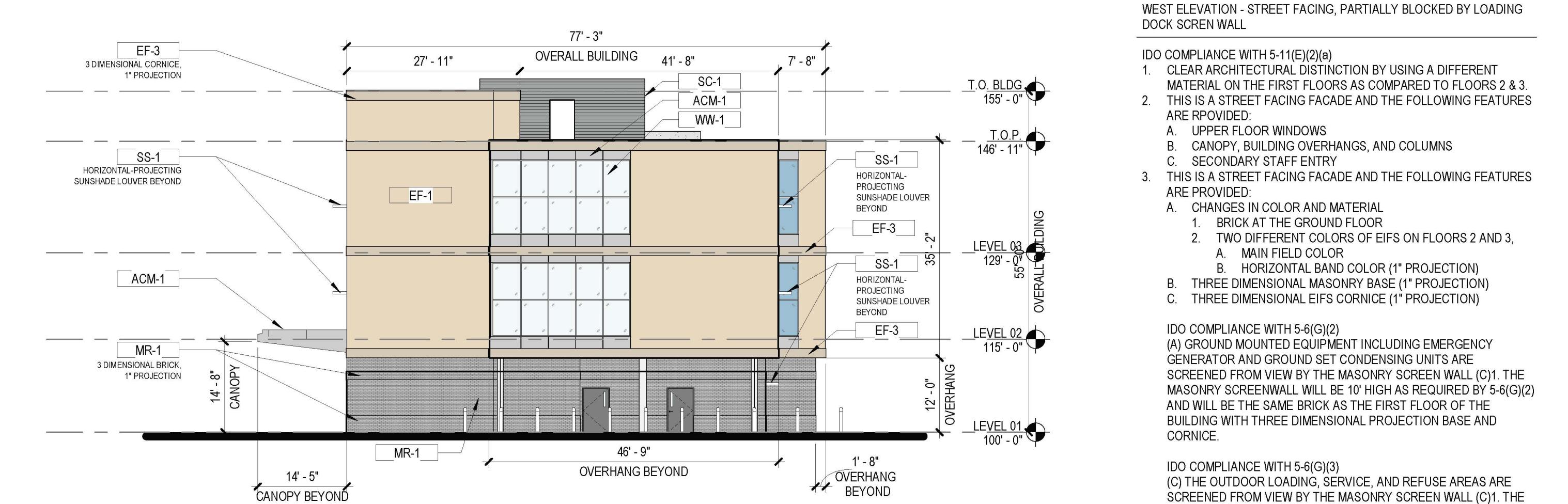
PRESENTATION ELEVATIONS

SCAI F: As indicated

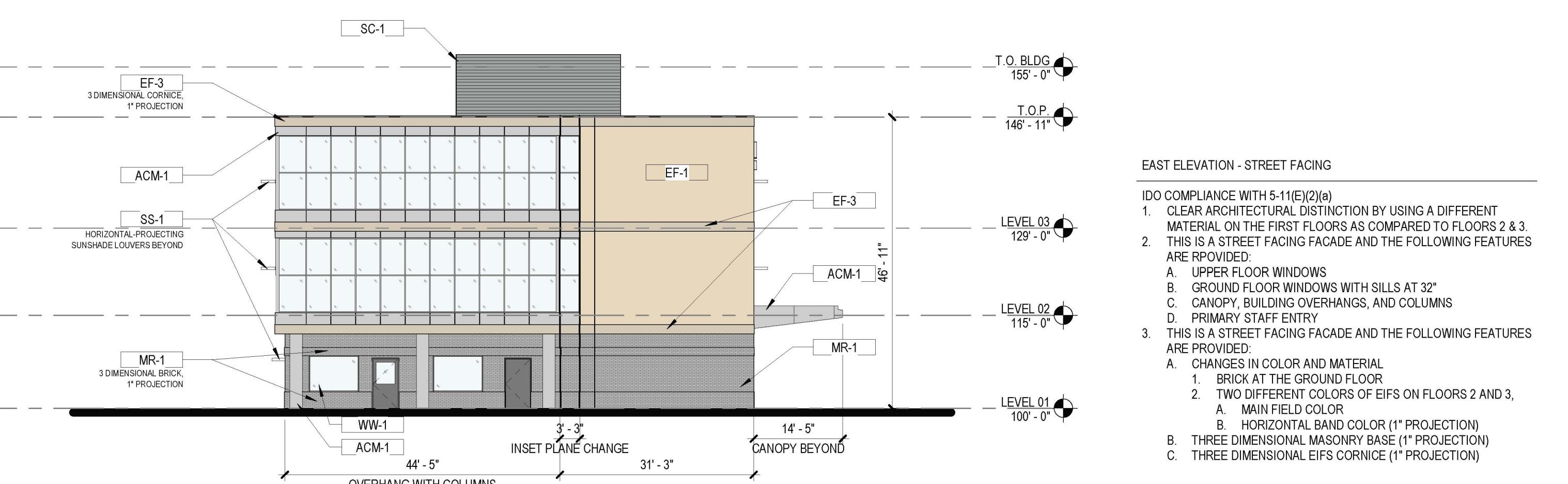
Perkins&Will



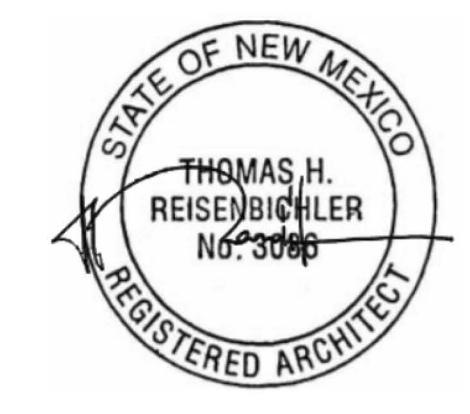
05 WEST ELEVATION WITHIN LOADING DOCK
1/16" = 1'-0" | STREET FACING



04 WEST ELEVATION AT SCREEN WALL
1/16" = 1'-0" | STREET FACING



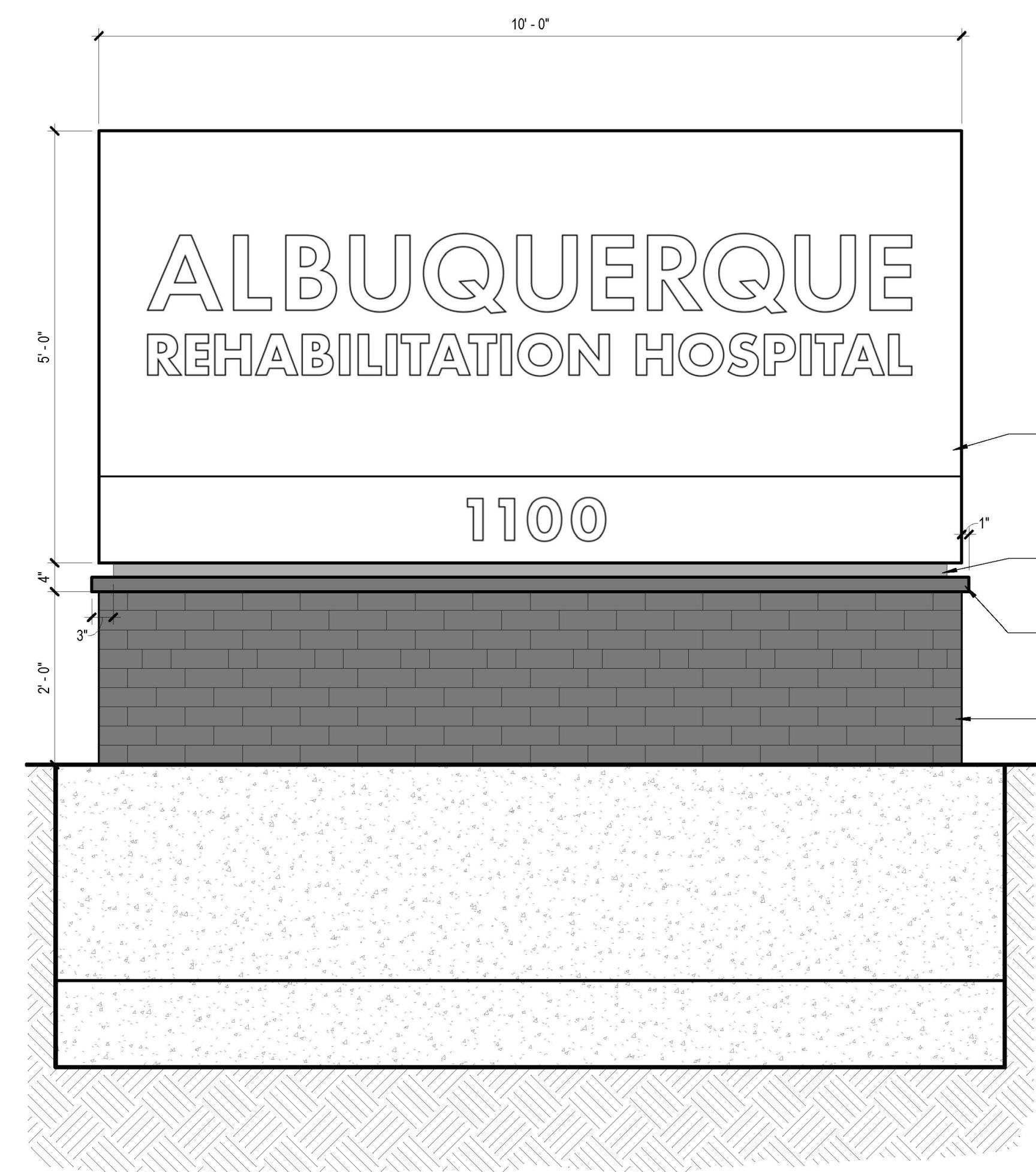
03 EAST ELEVATION
1/16" = 1'-0" | STREET FACING



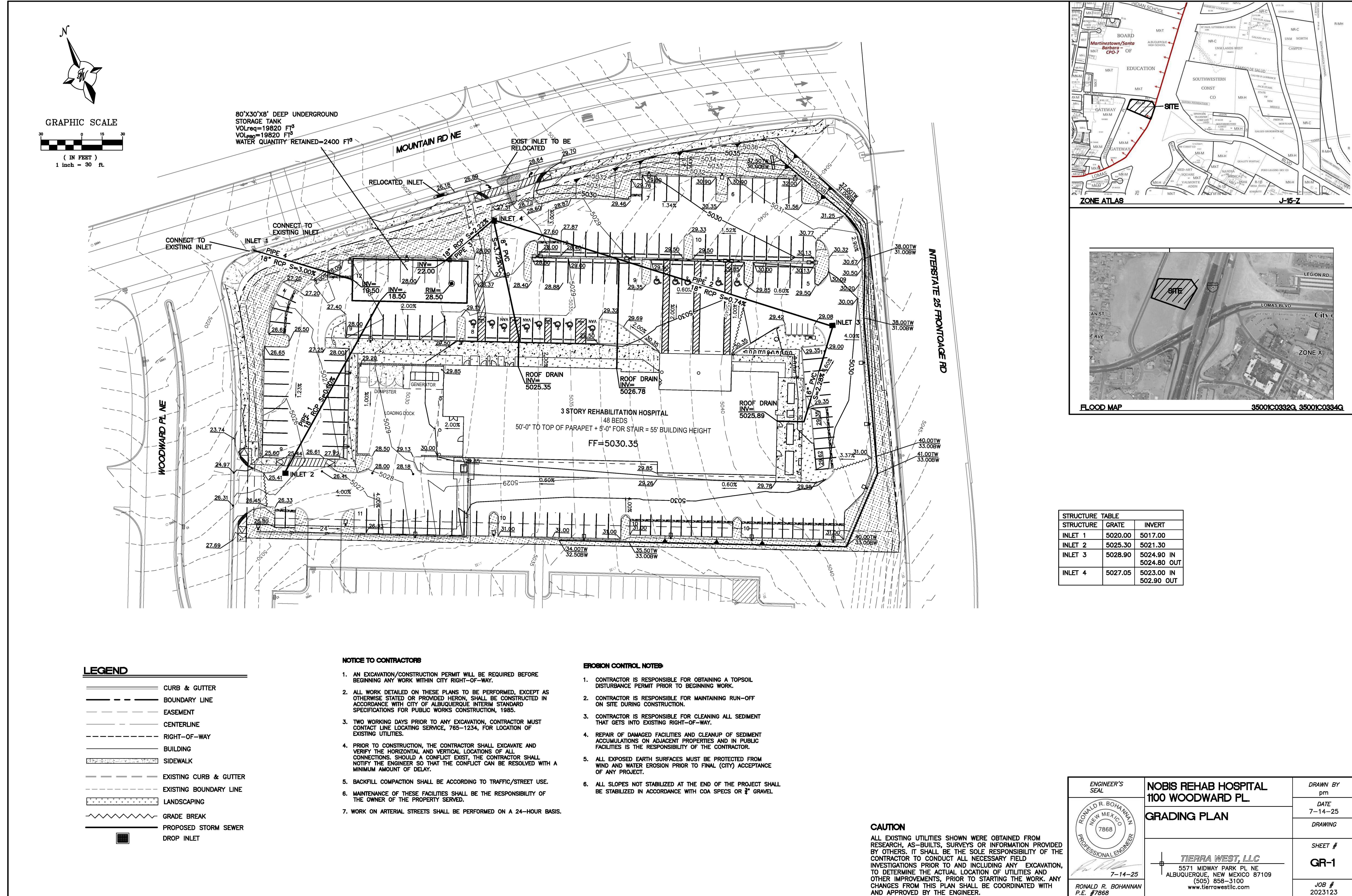
EXTERIOR FINISH LEGEND

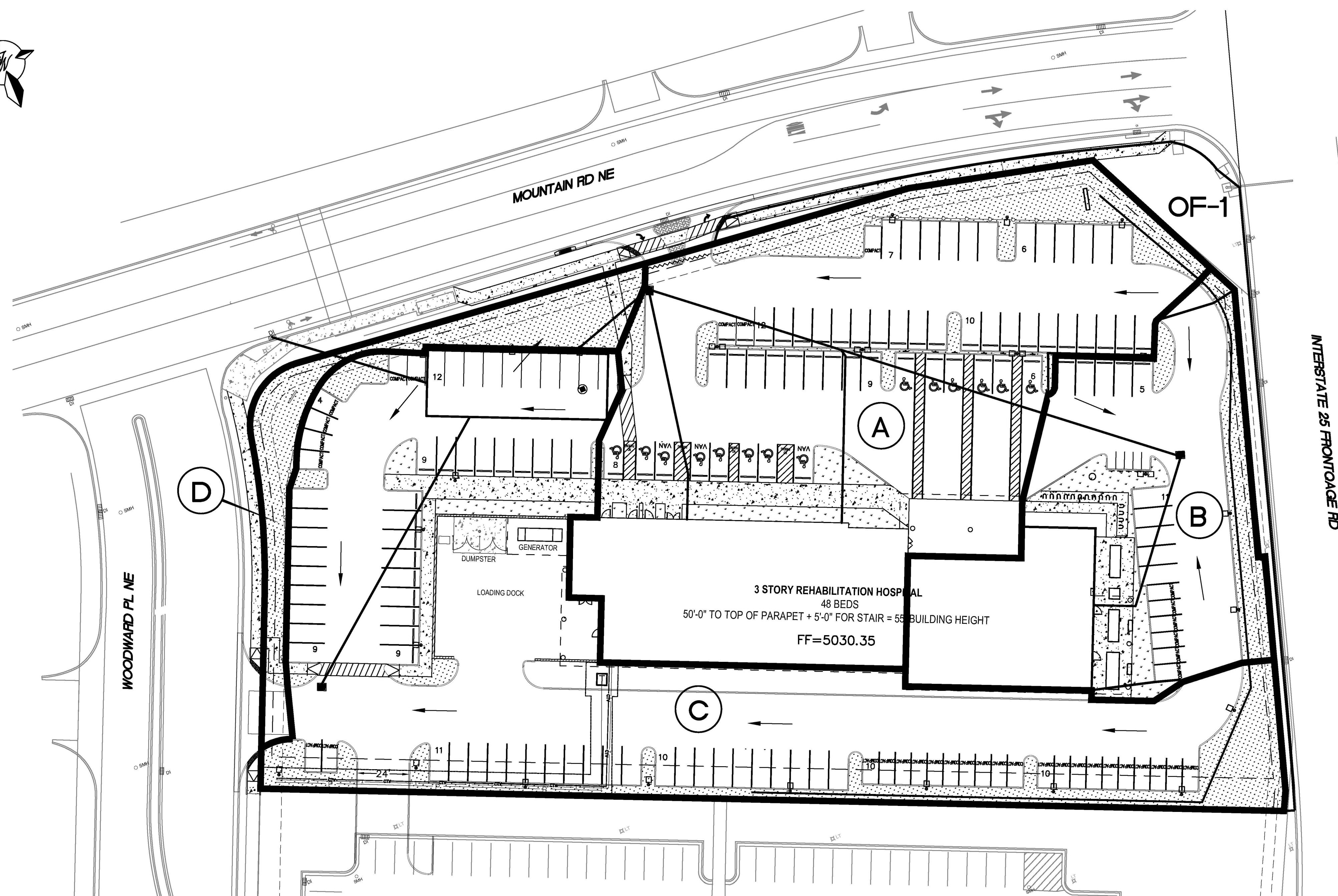
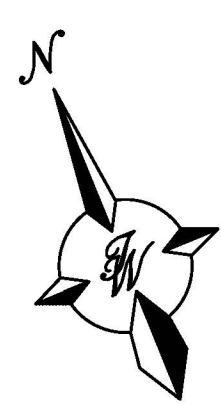
EF-1	EIFS-1 STOILT 1.0 COLOR 31335 JUTE	MR-1	MODULAR BRICK - PEBBLE GRAY	SS-1	LOUVERED SUNSHADES - PLATINUM ICE
EF-2	EIFS-2 STOILT 1.0 COLOR - 32138 COTTON	ACM-1 / SC-1	ACM PANEL / PREFORMED METAL WALL PANEL - PLATINUM ICE	ACM-1	ACM PANELS AT CANOPY, COLUMN WRAPS - PLATINUM ICE
EF-3	EIFS-3 STOILT 1.0 COLOR - 31334 THATCH	WW-1	STOREFRONT SYSTEM - PLATINUM ICE GLAZING - GUARDIAN SN68, CRYSTAL GRAY		

02 MONUMENT SIGN
3/4" = 1'-0" |



01 MONUMENT SIGN SECTION
3/4" = 1'-0" |





EXISTING DRAINAGE:

THIS SITE IS LOCATED AT THE SOUTHEAST CORNER OF WOODWARD PLACE AND MOUNTAIN ROAD. THE SITE IS BOUNDED BY A HOTEL ON THE SOUTH, BY WOODWARD PLACE ON THE EAST, MOUNTAIN ROAD ON THE NORTH AND THE INTERSTATE 25 FRONTAGE ROAD ON THE EAST CONTAINING APPROXIMATELY 2.75 ACRES. THE SITE IS CURRENTLY VACANT AND DRAINS FROM EAST TO WEST. THERE ARE MINIMAL OFFSITE FLOWS THAT ENTER THE SITE FROM THE EAST ALONG THE FRONTAGE ROAD. THE SITE IS NOT LOCATED IN A FLOOD PLAIN AS SHOWN ON FIRM MAP 35001C0334G. THE SITE CURRENTLY DISCHARGES 8.37 CFS.

PROPOSED DRAINAGE:

THE PROJECT IS LOCATED WITHIN THE GATEWAY CENTER MASTER DRAINAGE PLAN AREA AND CONSISTS OF THREE DEVELOPED BASINS WITHIN THAT PLAN AREA. BASIN A-1 CONSISTS OF MOST OF THIS PROJECT AREA AND MAY RELEASE A RESTRICTED DISCHARGE OF 2.90 CFS TO THE EXISTING STORM SEWER LOCATED IN WOODWARD PLACE. BASIN A-2 CONSISTS MAINLY OF AN OFFSITE AREA ALONG THE FRONTAGE ROAD THAT DRAINS THROUGH THE SITE AND FREELY DISCHARGES 1.44 CFS TO MOUNTAIN ROAD. BASIN A-3 IS THE SLOPE ALONG MOUNTAIN ROAD AND FREELY DISCHARGES 0.77 CFS TO THE STREET WHICH IS CAPTURED IN EXISTING DROP INLETS.

THE PROPOSED SITE IS DIVIDED INTO FOUR NEW BASINS. BASINS A, B AND C WILL DRAIN TO DROP INLETS AND BE CONVEYED TO AN UNDERGROUND DETENTION FACILITY THAT WILL DISCHARGE AT A CONTROLLED RATE TO THE EXISTING STORM SEWER IN WOODWARD PLACE. BASIN D IS A SLOPED AREA DRAINING 0.31 CFS TO WOODWARD PLACE AND MOUNTAIN ROAD. BASIN OF-1 IS THE OFF-SITE BASIN THAT WILL BE ALLOWED TO PASS THROUGH THE SITE. PER THE GATEWAY CENTER MASTER DRAINAGE PLAN THIS SITE MAY DISCHARGE A TOTAL OF 5.09 CFS TO THE EXISTING STORM SEWER. THEREFORE THE DISCHARGE FROM THE UNDERGROUND DETENTION FACILITY WILL BE LIMITED TO 4.78 CFS AS 0.31 CFS WILL SURFACE DISCHARGE TO THE STREET.

THE UNDERGROUND DETENTION FACILITY WILL RETAIN THE REQUIRED WATER QUALITY VOLUME OF 2,086 CUBIC FEET, WHICH WILL BE ALLOWED TO INFILTRATE INTO THE GROUND.

POND

Ab - Bottom Of The Pond Surface Area
At - Top Of The Pond Surface Area
D - Water Depth
Dt - Total Pond Depth
C - Change In Surface Area / Water Depth

$$\text{Volume} = Ab \cdot D + 0.5 \cdot C \cdot D^2$$

$$C = (At - Ab) / Dt$$

$$Ab = 2,400.00$$

$$At = 2,400.00$$

$$Dt = 7.00$$

$$C = 0.00$$

ACTUAL ELEV.	DEPTH (FT)	VOLUME (AC-FT)	Q (CFS)
5019.50	0.00	0.00	0.0000
5021.50	2.00	0.1102	2.3802
5022.50	3.00	0.1653	3.0165
5023.50	4.00	0.2204	3.5402
5024.50	5.00	0.2755	3.9958
5025.50	6.00	0.3306	4.4046
5026.50	7.00	0.3857	4.7785

Orifice Equation

$$Q = CA \sqrt{2gh}$$

C =	0.6
Diameter (in)	8.4
Area (ft ²) =	0.385
g =	32.2
H (ft) =	Depth of water above center of orifice
Q (CFS) =	Flow

Weighted E Method									
On-Site Basins									
Basin	Area (sf)	Area (acres)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow cfs
OF-1	5,065	0.12	0%	0%	100%	0%	1.030	0.010	0.35
A	44,804	1.03	0%	0%	14%	0.14	0.00	0.86	0.221
B	20,855	0.48	0%	0%	13%	0.06	0.00	0.87	0.213
C	48,464	1.11	0%	0%	19%	0.21	0%	0.81	0.209
D	5,464	0.13	0%	0%	93%	0.12	0%	7%	0.01
							2.21	0.455	10.86

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Water Quality Calculation: $0.26" \times 2.21 \text{ ac} = 2,086 \text{ cubic feet (0.048 ac-ft)}$

Zone 2	100-Year	10-Year
E _a	0.62	0.15
E _b	0.8	0.3
E _c	1.03	0.48
E _d	2.33	1.51

Zone 2	100-Year	10-Year
Q _a	1.71	0.41
Q _b	2.36	0.95
Q _c	3.05	1.59
Q _d	4.34	2.71

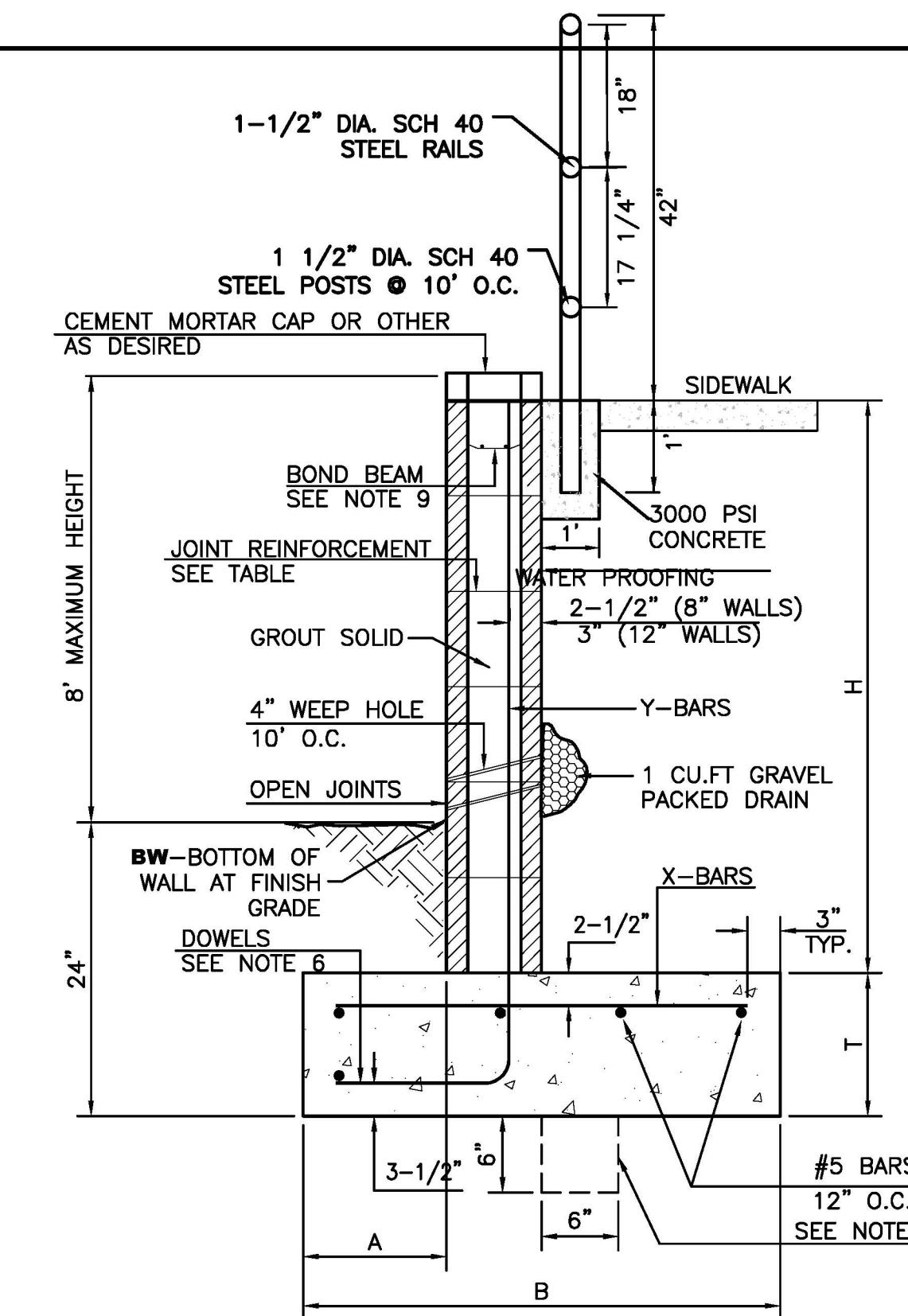
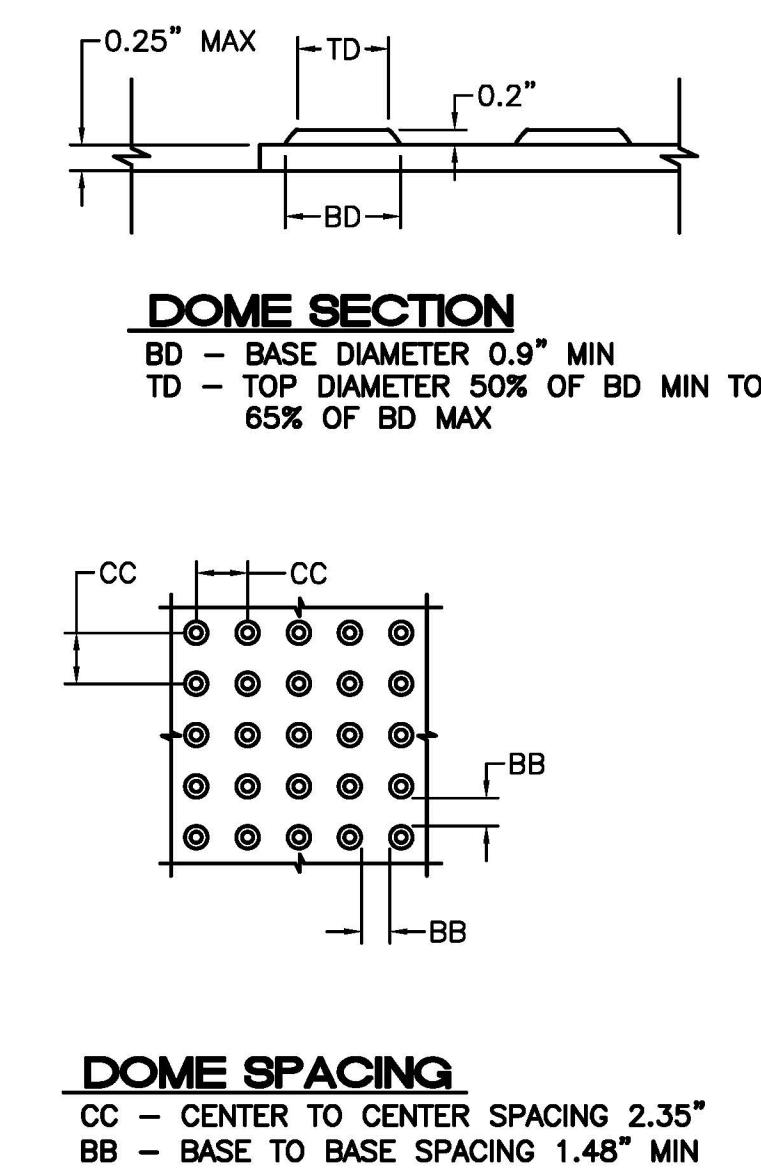
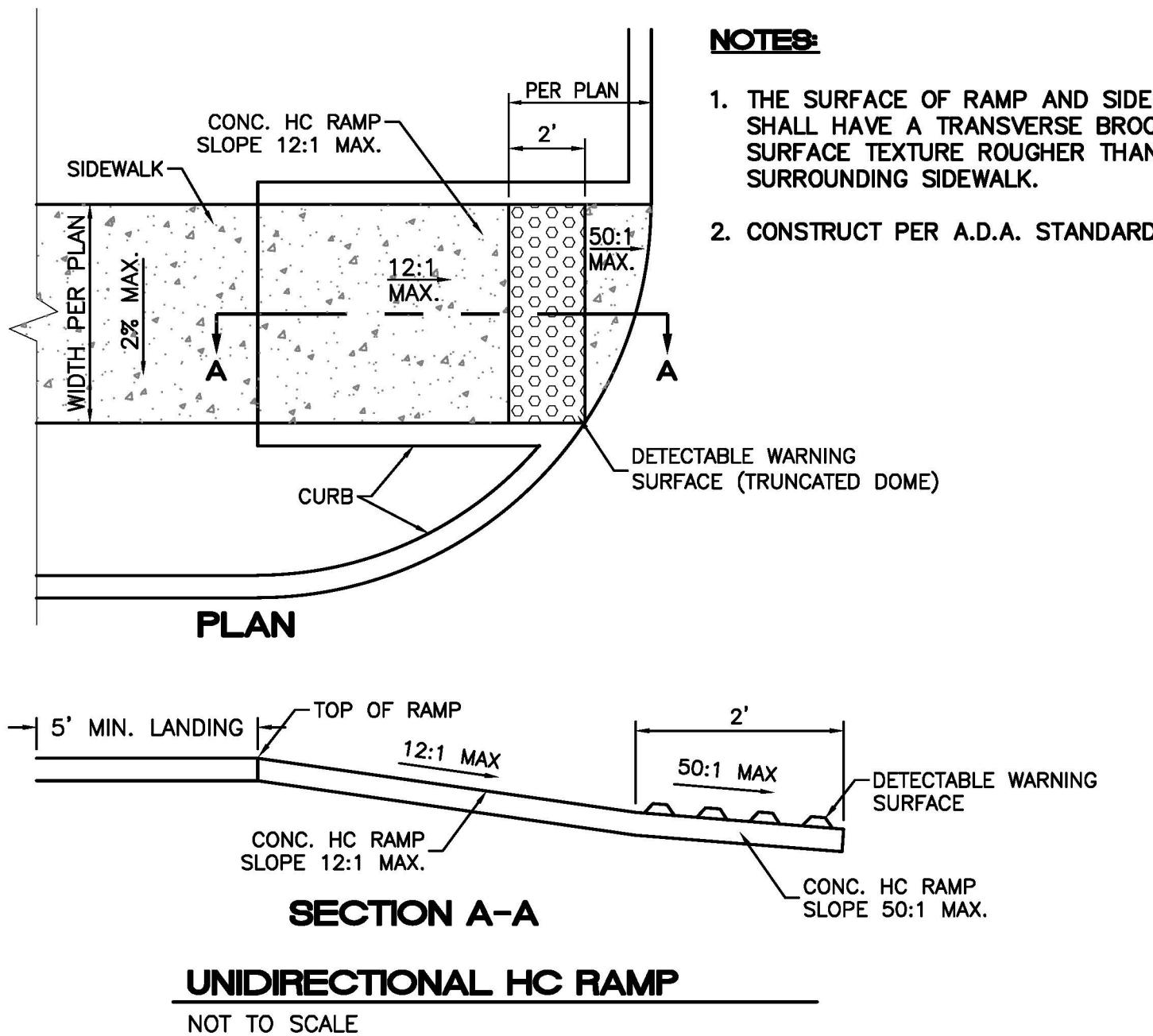
Pipe Capacity						
Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)
1	18	0.60	1.77	0.375	8.16	4.41
2	18	0.74	1.77	0.375	9.06	1.95
3	18	2.22	1.77	0.375	15.69	6.48
4	18	3.00	1.77	0.375	18.24	4.78

Manning's Equation:

$$Q = 1.49/n \cdot A \cdot R^{(2/3)} \cdot S^{(1/2)}$$

A = Area
R = D/4
S = Slope
n = 0.013

ENGINEER'S SEAL		DRAWN BY pm
GRADING PLAN BASIN MAP		DATE 7-14-25
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		DRAWING # GR-2
		JOB # 2023123

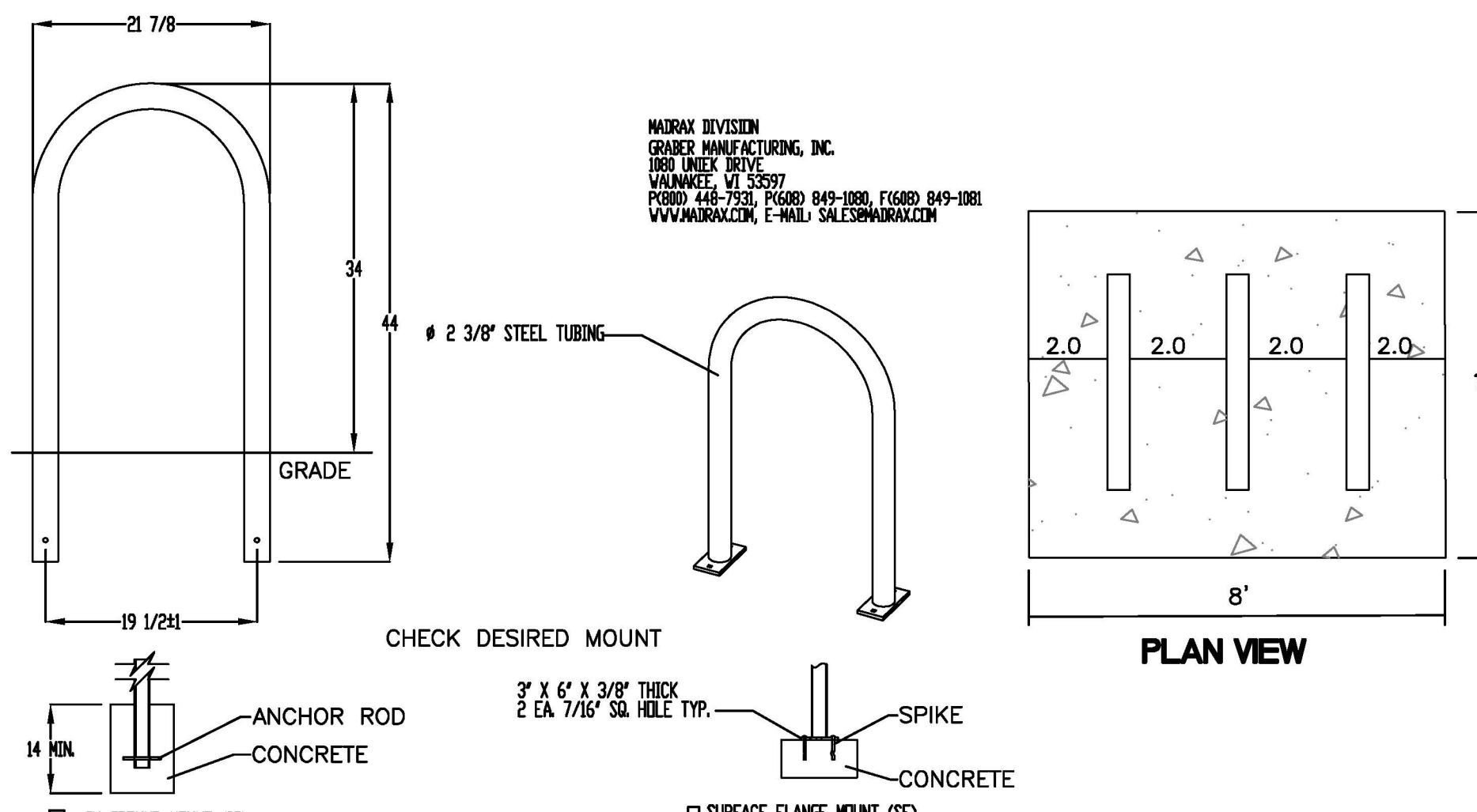


8 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @ 8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

GENERAL NOTES:

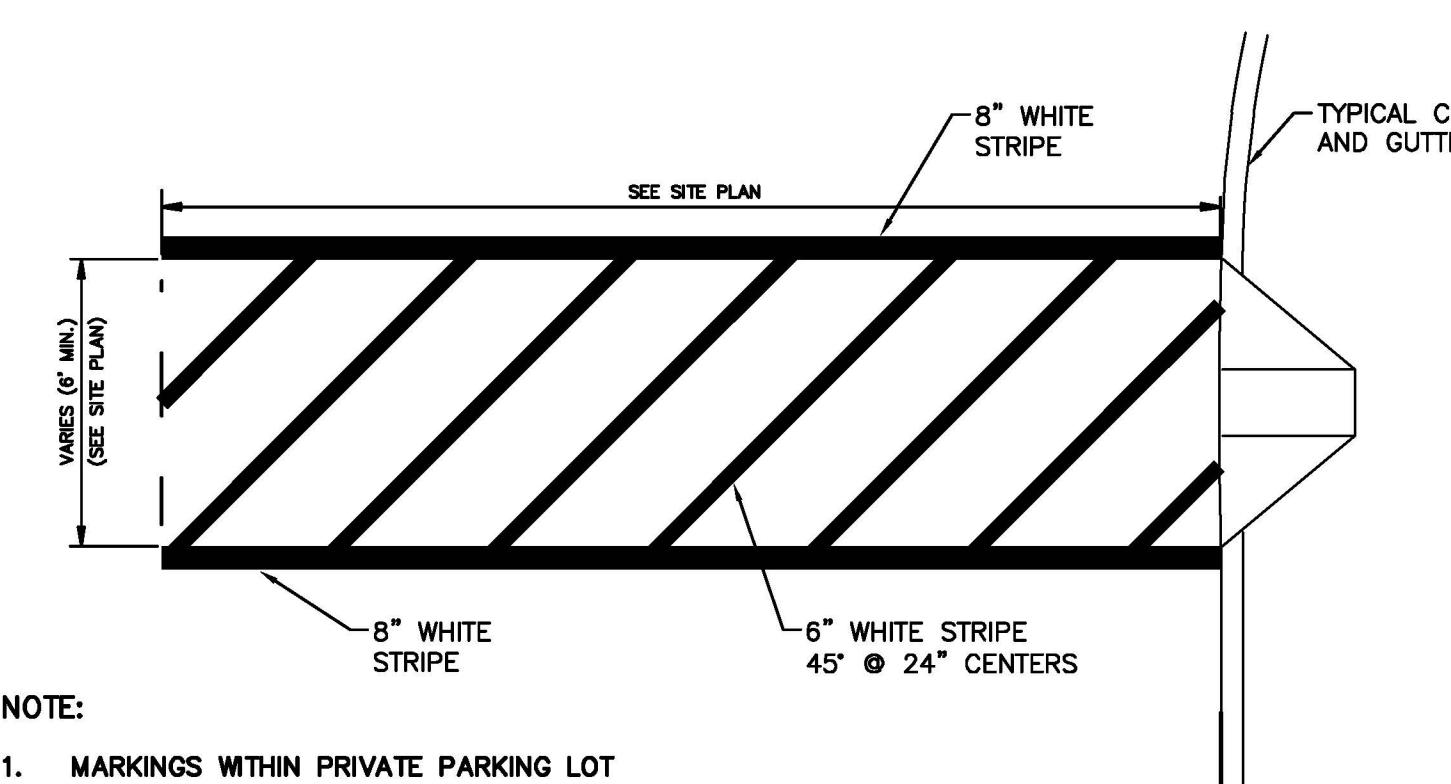
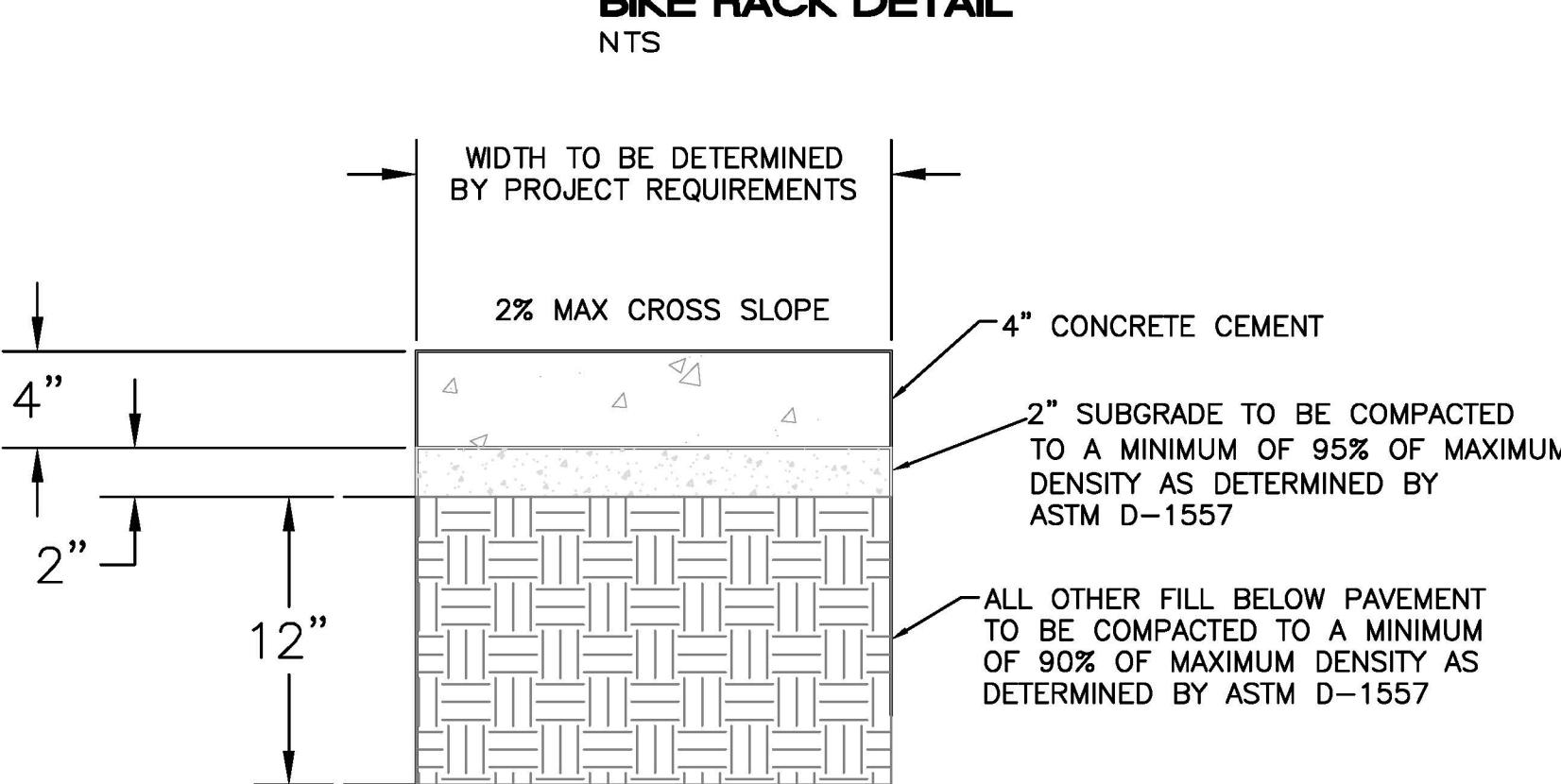
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE \pm 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



PRODUCT: U238-IG(SF)
DESCRIPTION: 'U' BIKE RACK
2 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 10-4-18
ENG: SMC

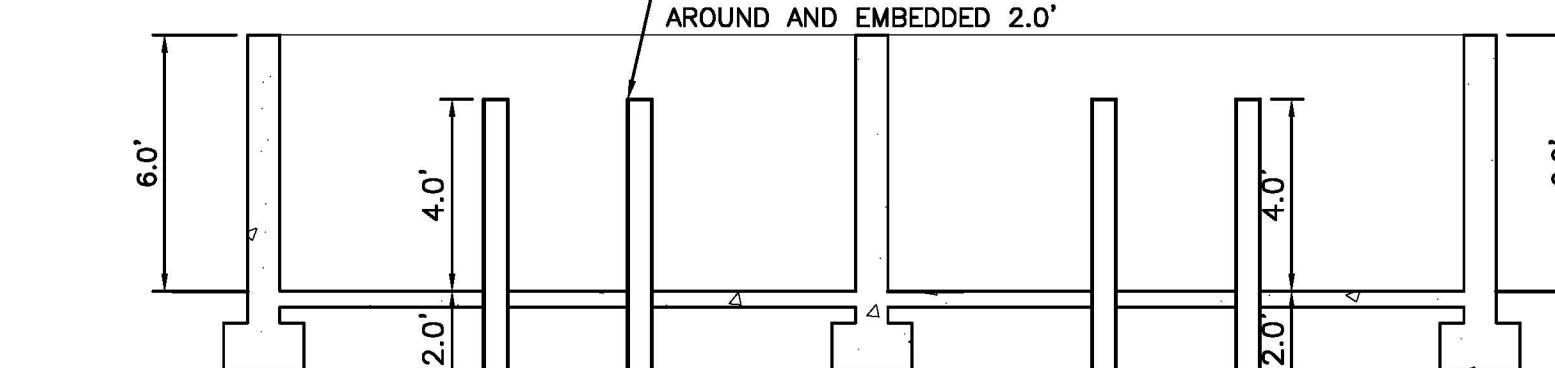
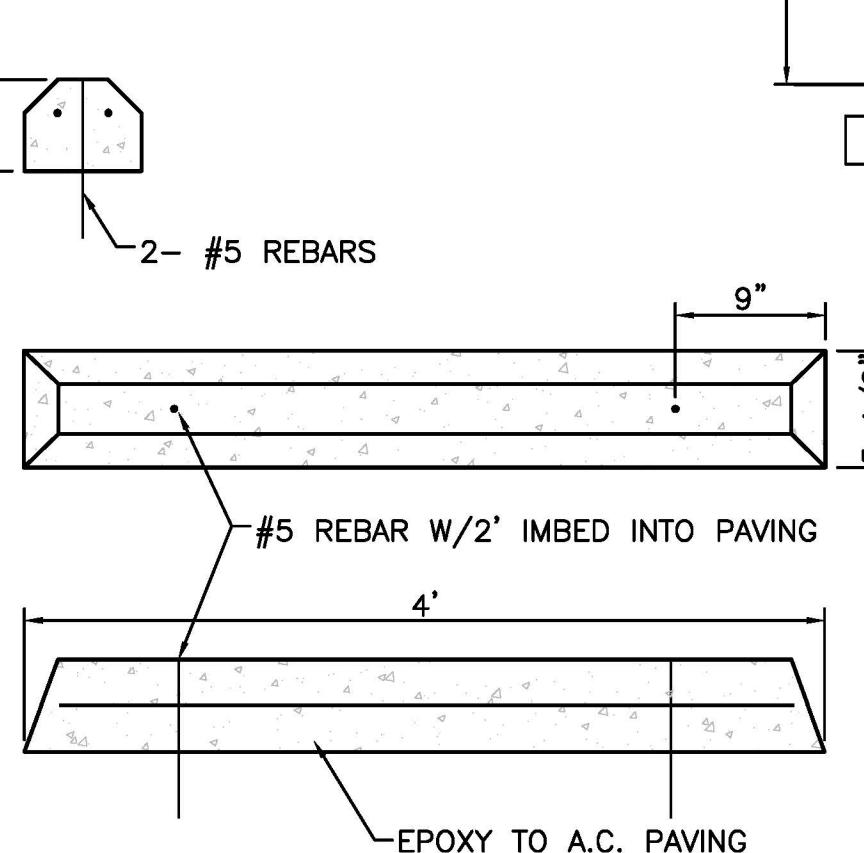
CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED
TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC.
SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.

NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR (FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
3. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
3. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.



NOTE:

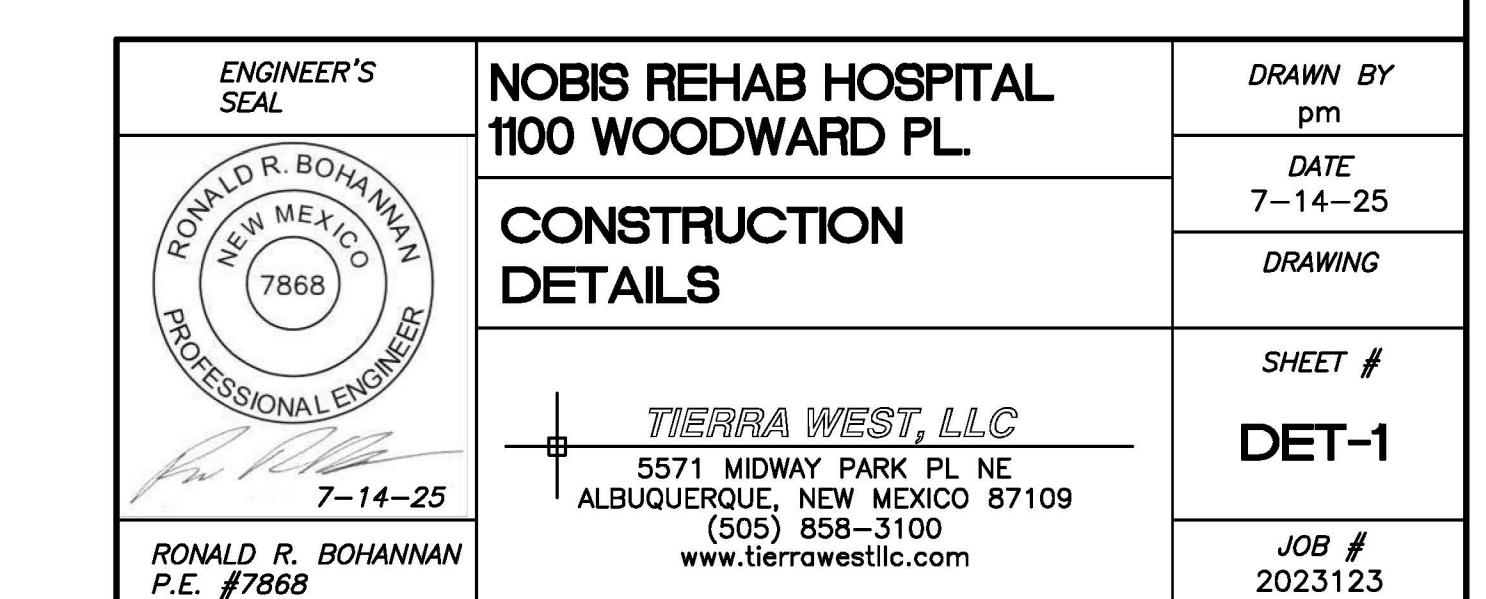
1. MARKINGS WITHIN PRIVATE PARKING LOT
SHALL BE PER THIS DETAIL.
2. THESE MARKINGS ARE TO BE PAINTED
REFLECTIVE WHITE.

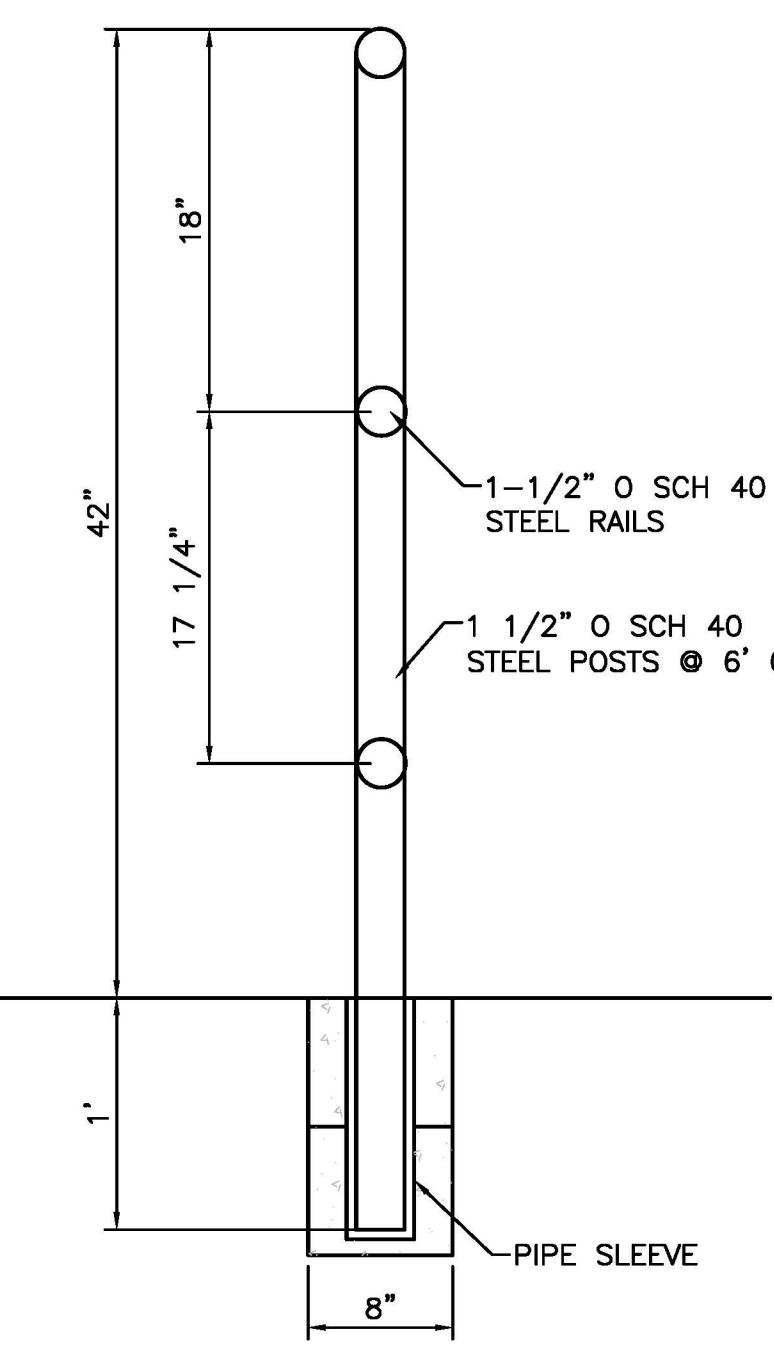


DUMPSTER w/SAS DBAIN - ENCL OS/URE DETAIL

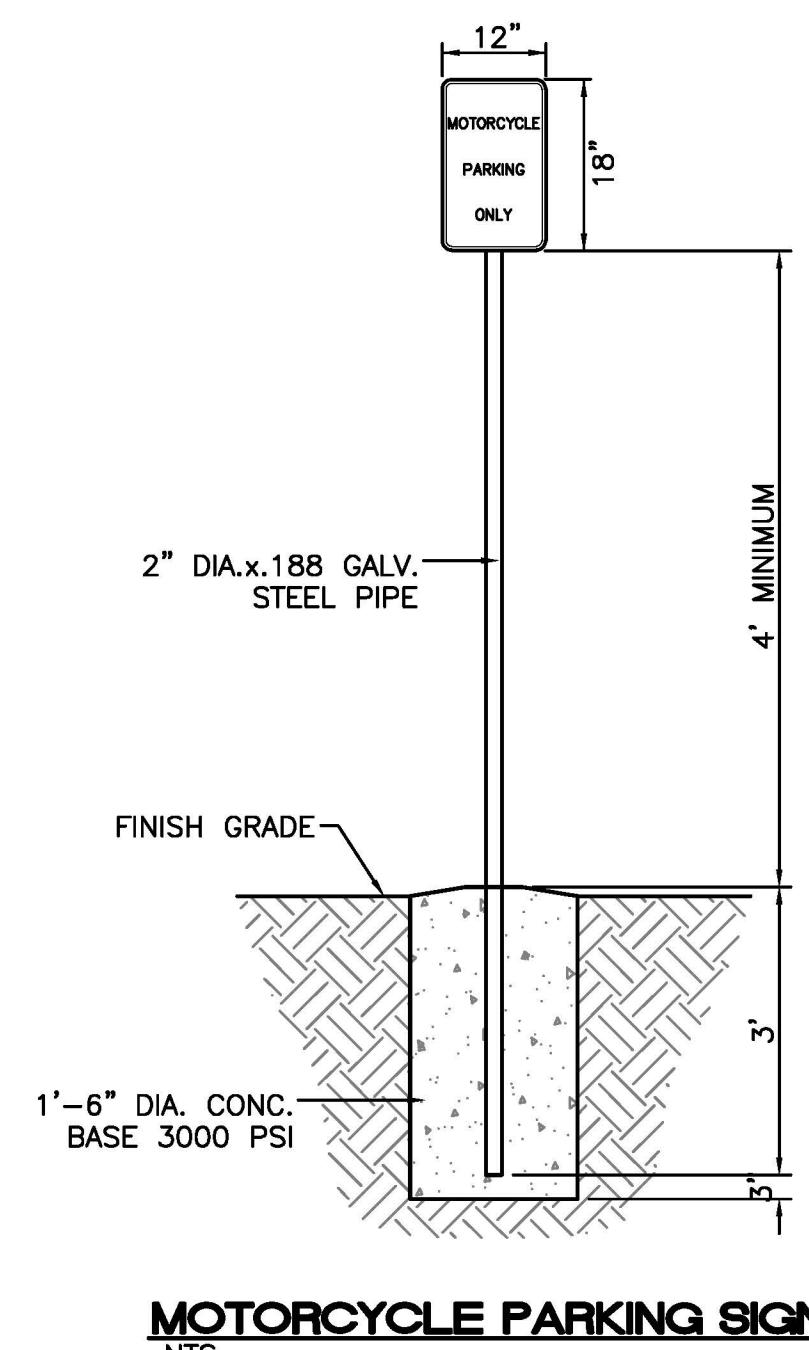
NOTE:

1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN. SEE FOR FINAL OS

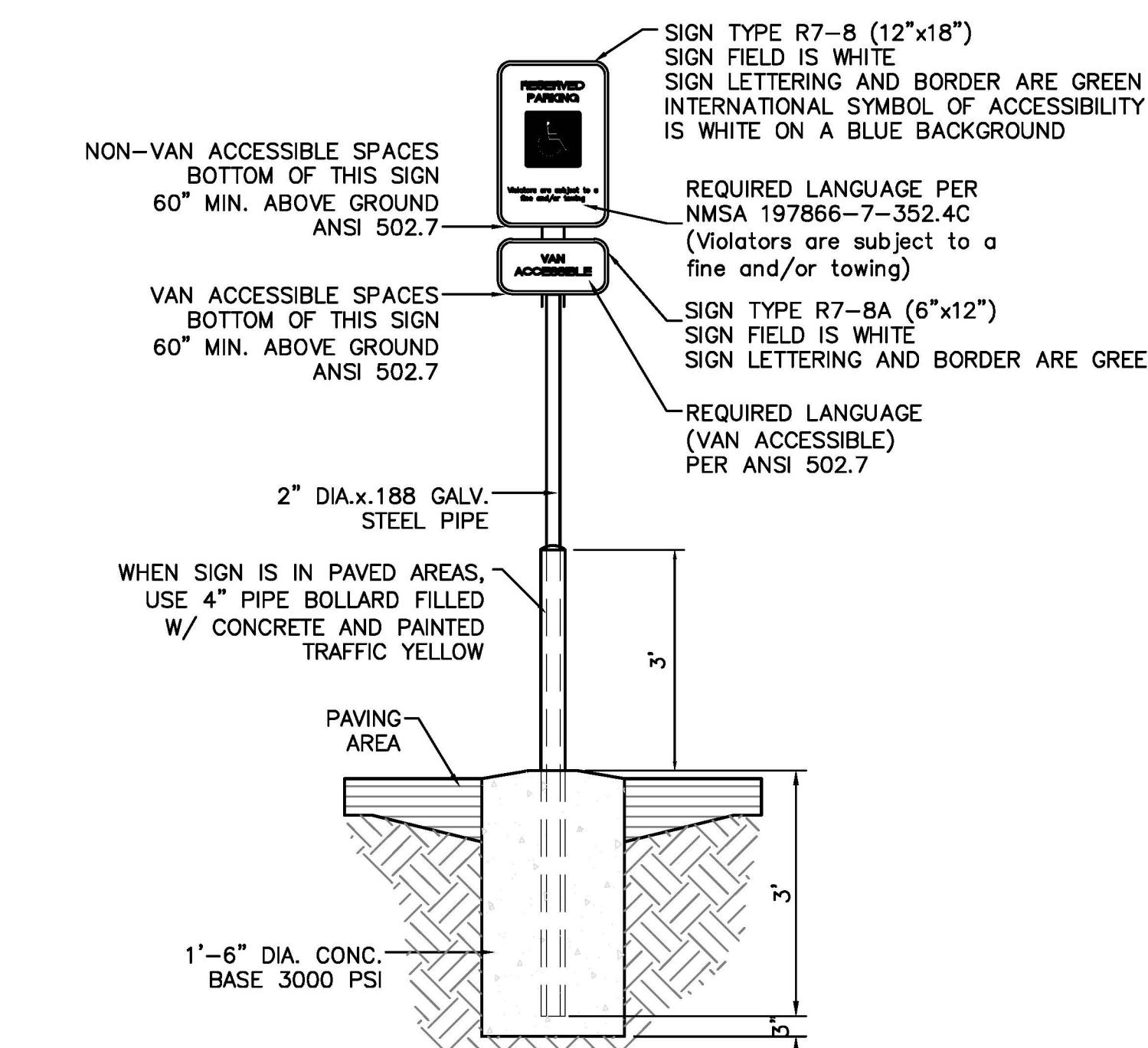




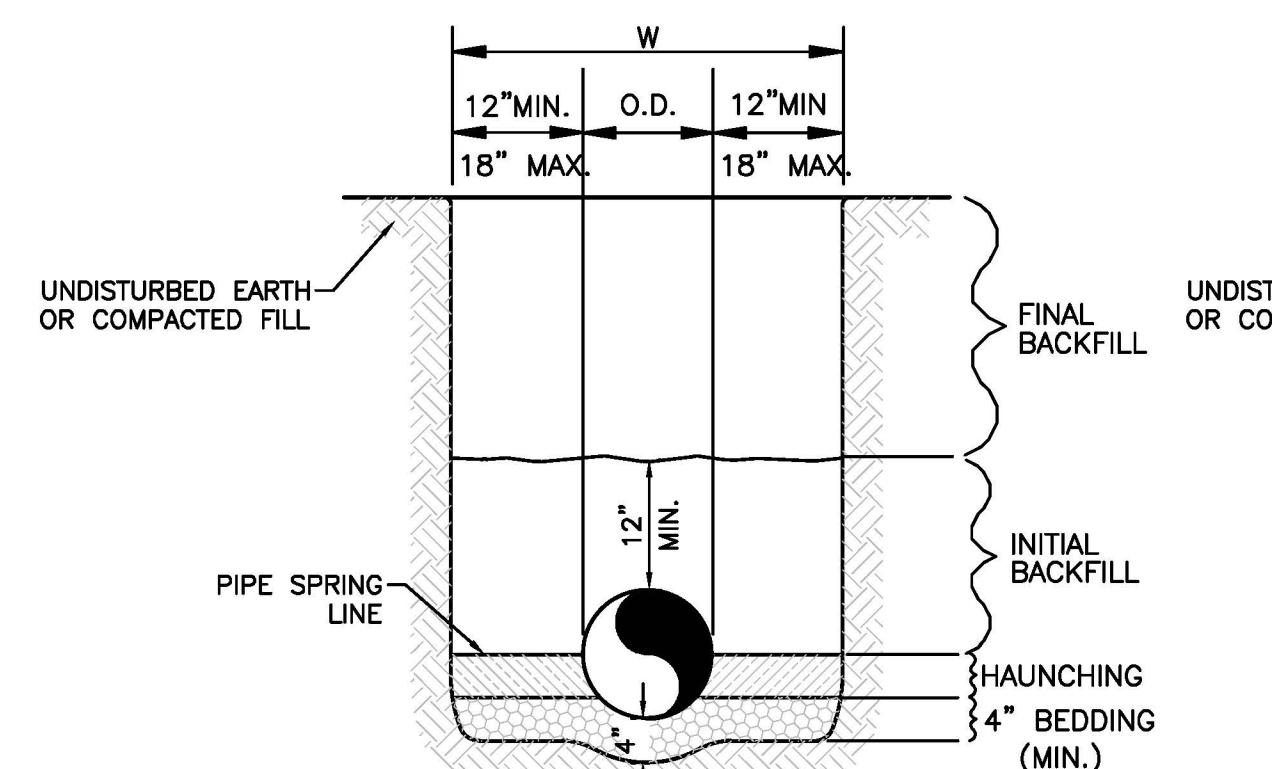
GUARD RAIL DETAIL
NTS



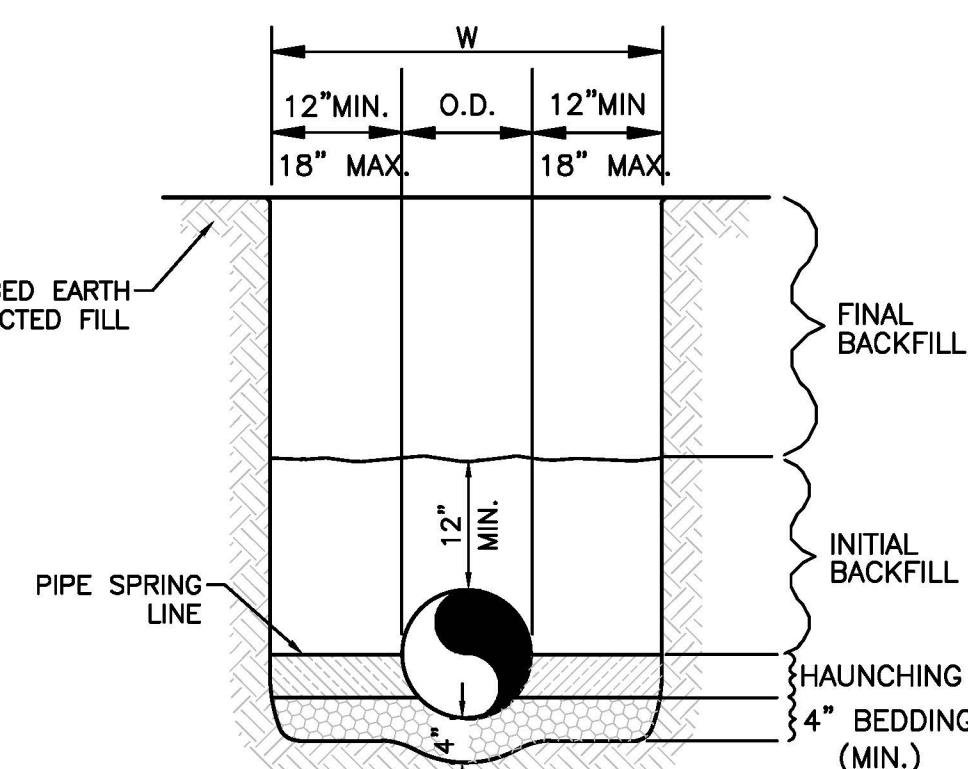
MOTORCYCLE PARKING SIGN
NTS



ACCESSIBLE PARKING SIGN
NTS



WATER LINE

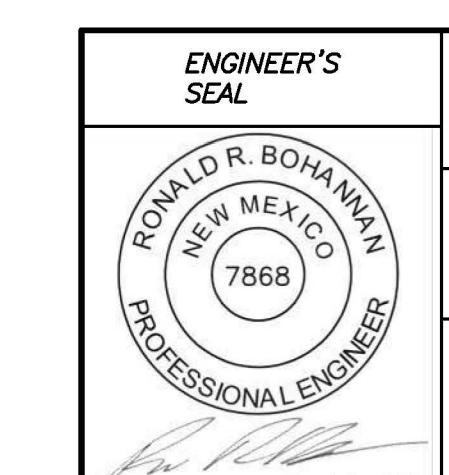


SANITARY SEWER

GENERAL NOTES

1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 90% STANDARD PROCTOR.
5. FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.
6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.
7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

UTILITY TRENCH AND BEDDING DETAIL
NTS

	NOBIS REHAB HOSPITAL 1100 WOODWARD PL.	DRAWN BY pm DATE 7-14-25 DRAWING DET-2
	CONSTRUCTION DETAILS	
 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # DET-2	JOB # 2023123

D-Series Size 1
LED Area Luminaire

Catalog Number	DSX1 LED P4 40K 70CRI T4M MVOLT RPA DDBXD
Notes	
Type	S1 AND S2

RTA
LITHONIA LIGHTING®
FEATURES & SPECIFICATIONS
INTENDED USE — These specifications are for USA standards only. Round Tapered Aluminum is a general purpose light for up to 10-foot mounting heights. This pole provides a lighter and naturally corrosion-resistant option for mounting area light fixtures and floodlights.

Catalog Number	RTA 6G DM28AS DDBXD
Notes	
Type	S2 POLE

Anchor Base Poles

RTA

ROUND TAPERED ALUMINUM

LIGHTING NOTE: NEON LIGHTS ARE PROHIBITED WITHIN 300 FEET OF LEARNING ROAD.

Ordering Information							EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD						
DSX1 LED		Series	LED	Color temperature ^a	Color Rendering Index ^a	Distribution	Voltage	Mounting					
DSX1 LED		P1	P7	40K 4000K	87	AIR	MVOLT	Shipped included	SP400	Dark bronze	PIRHN	PIRHN	
		P2	P8	40K 4000K	87	T1S	277V	PIR	SP400	Black			
		P3	P9	40K 4000K	87	T2M	277V	PIR	SP400	Natural aluminum			
		P4	P9	(this section 80CRI only, extended lead times apply)	87	T3M	277V	PIR	SP400	White			
		P5		(this section 80CRI only, extended lead times apply)	87	T3G	277V	PIR	SP400	Textured dark bronze			
		P6		(this section 80CRI only, extended lead times apply)	87	T4M	277V	PIR	SP400	Textured black			
		P7		(this section 80CRI only, extended lead times apply)	87	T5M	277V	PIR	SP400	Textured natural aluminum			
		P8		(this section 80CRI only, extended lead times apply)	87	T6M	277V	PIR	SP400	Textured white			
		P9		(this section 80CRI only, extended lead times apply)	87	T7M	277V	PIR	SP400				
		P10		(this section 80CRI only, extended lead times apply)	87	T8M	277V	PIR	SP400				
		P11		(this section 80CRI only, extended lead times apply)	87	T9M	277V	PIR	SP400				
		P12		(this section 80CRI only, extended lead times apply)	87	T10M	277V	PIR	SP400				
		P13		(this section 80CRI only, extended lead times apply)	87	T11M	277V	PIR	SP400				
		P14		(this section 80CRI only, extended lead times apply)	87	T12M	277V	PIR	SP400				
		P15		(this section 80CRI only, extended lead times apply)	87	T13M	277V	PIR	SP400				
		P16		(this section 80CRI only, extended lead times apply)	87	T14M	277V	PIR	SP400				
		P17		(this section 80CRI only, extended lead times apply)	87	T15M	277V	PIR	SP400				
		P18		(this section 80CRI only, extended lead times apply)	87	T16M	277V	PIR	SP400				
		P19		(this section 80CRI only, extended lead times apply)	87	T17M	277V	PIR	SP400				
		P20		(this section 80CRI only, extended lead times apply)	87	T18M	277V	PIR	SP400				
		P21		(this section 80CRI only, extended lead times apply)	87	T19M	277V	PIR	SP400				
		P22		(this section 80CRI only, extended lead times apply)	87	T20M	277V	PIR	SP400				
		P23		(this section 80CRI only, extended lead times apply)	87	T21M	277V	PIR	SP400				
		P24		(this section 80CRI only, extended lead times apply)	87	T22M	277V	PIR	SP400				
		P25		(this section 80CRI only, extended lead times apply)	87	T23M	277V	PIR	SP400				
		P26		(this section 80CRI only, extended lead times apply)	87	T24M	277V	PIR	SP400				
		P27		(this section 80CRI only, extended lead times apply)	87	T25M	277V	PIR	SP400				
		P28		(this section 80CRI only, extended lead times apply)	87	T26M	277V	PIR	SP400				
		P29		(this section 80CRI only, extended lead times apply)	87	T27M	277V	PIR	SP400				
		P30		(this section 80CRI only, extended lead times apply)	87	T28M	277V	PIR	SP400				
		P31		(this section 80CRI only, extended lead times apply)	87	T29M	277V	PIR	SP400				
		P32		(this section 80CRI only, extended lead times apply)	87	T30M	277V	PIR	SP400				
		P33		(this section 80CRI only, extended lead times apply)	87	T31M	277V	PIR	SP400				
		P34		(this section 80CRI only, extended lead times apply)	87	T32M	277V	PIR	SP400				
		P35		(this section 80CRI only, extended lead times apply)	87	T33M	277V	PIR	SP400				
		P36		(this section 80CRI only, extended lead times apply)	87	T34M	277V	PIR	SP400				
		P37		(this section 80CRI only, extended lead times apply)	87	T35M	277V	PIR	SP400				
		P38		(this section 80CRI only, extended lead times apply)	87	T36M	277V	PIR	SP400				
		P39		(this section 80CRI only, extended lead times apply)	87	T37M	277V	PIR	SP400				
		P40		(this section 80CRI only, extended lead times apply)	87	T38M	277V	PIR	SP400				
		P41		(this section 80CRI only, extended lead times apply)	87	T39M	277V	PIR	SP400				
		P42		(this section 80CRI only, extended lead times apply)	87	T40M	277V	PIR	SP400				
		P43		(this section 80CRI only, extended lead times apply)	87	T41M	277V	PIR	SP400				
		P44		(this section 80CRI only, extended lead times apply)	87	T42M	277V	PIR	SP400				
		P45		(this section 80CRI only, extended lead times apply)	87	T43M	277V	PIR	SP400				
		P46		(this section 80CRI only, extended lead times apply)	87	T44M	277V	PIR	SP400				
		P47		(this section 80CRI only, extended lead times apply)	87	T45M	277V	PIR	SP400				
		P48		(this section 80CRI only, extended lead times apply)	87	T46M	277V	PIR	SP400				
		P49		(this section 80CRI only, extended lead times apply)	87	T47M	277V	PIR	SP400				
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		P53		(this section 80CRI only, extended lead times apply)	87	T51M	277V	PIR	SP400				
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		P55		(this section 80CRI only, extended lead times apply)	87	T53M	277V	PIR	SP400				
		P56		(this section 80CRI only, extended lead times apply)	87	T54M	277V	PIR	SP400				
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		P58		(this section 80CRI only, extended lead times apply)	87	T56M	277V	PIR	SP400				
		P59		(this section 80CRI only, extended lead times apply)	87	T57M	277V	PIR	SP400				
		P60		(this section 80CRI only, extended lead times apply)	87	T58M	277V	PIR	SP400				
</													

CONSULTANTS

MEP

DBR ENGINEERING CONSULTANTS
5000 QUORUM DRIVE, SUITE 400
DALLAS, TX 75254

STRUCTURAL

STANTEC
6080 TENNYSON PARKWAY, SUITE 200
PLANO, TX 75024

CIV

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NM 87109

LANDSCAPING

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NM 87109

FOOD SERVICE

BOSMA DESIGN SOLUTIONS
2201 LONG PRAIRIE RD, SUITE 107-272
FLOWER MOUND, TX 75022

CONTRACTOR

NOBIS REHABILITATION PARTNERS, LLC
450 CENTURY PARKWAY SUITE 320
ALLEN, TX 75201

OWNER
KENNOR CROSS INVESTMENTS, LLC
4332 MARSH RIDGE ROAD
CARROLLTON, TX 75006

FACILITY

TUCSON REHABILITATION HOSPITAL
820 E TUCSON MARKETPLACE BLVD
TUCSON, AZ 85713

BRIAN C. UHLRICH
NEW MEXICO
24074

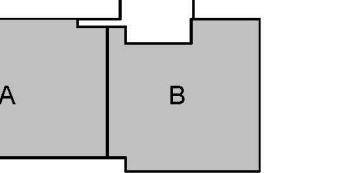
07/23/2025

ALBUQUERQUE
REHABILITATION
HOSPITAL

1100 WOODWATER PL NE,
ALBUQUERQUE, NM 87102

KENNOR CROSS
INVESTMENTS, LLC
4332 MARSH RIDGE ROAD
CARROLLTON, TX 75010

KEYPLAN



ISSUE CHART

2 ADDENDUM #3 07/31/2025
MARK ISSUE DATE
Job Number 147797.000

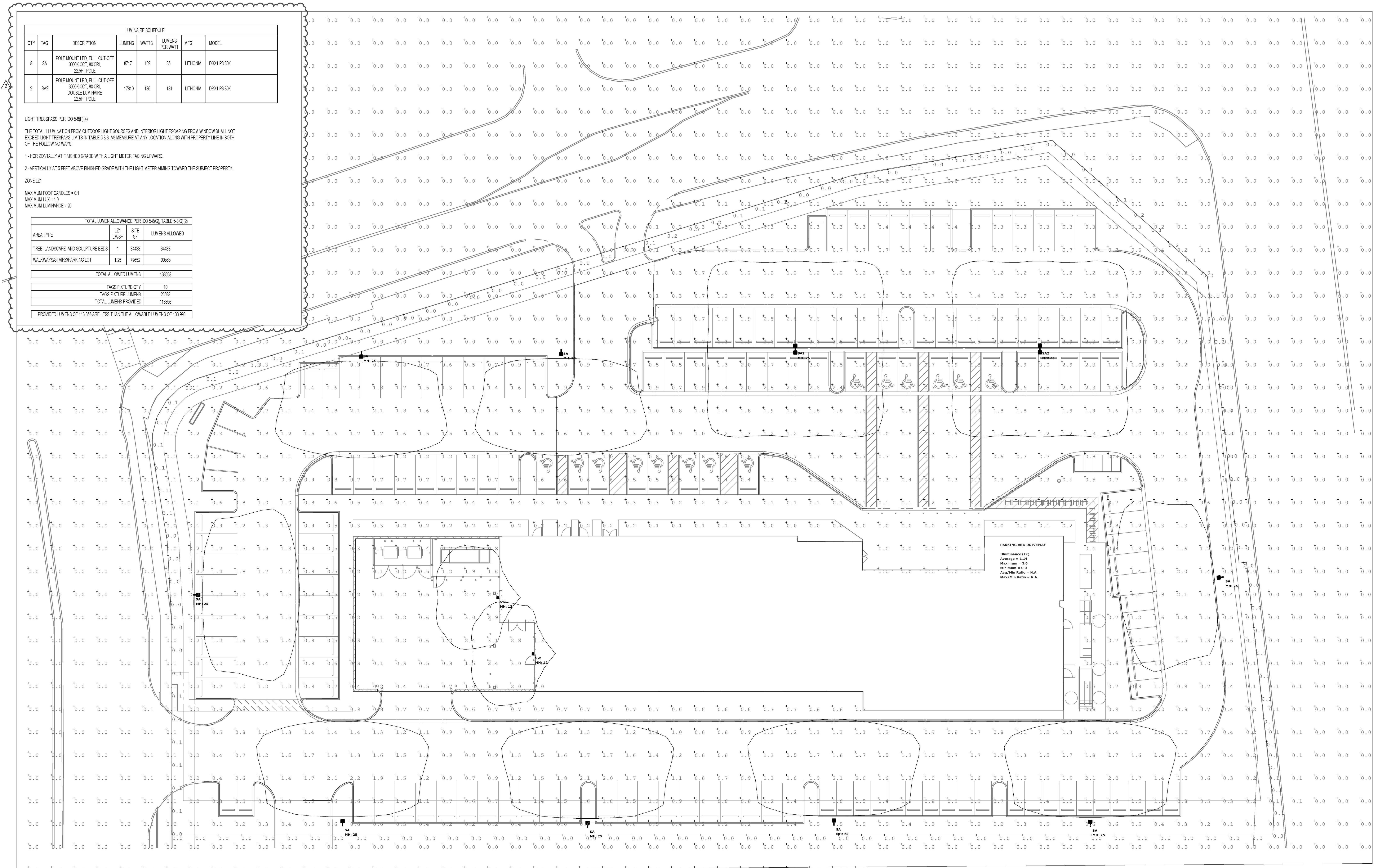
TITLE

SITE PLAN -
PHOTOMETRICS

SHEET NUMBER

ES1-01P

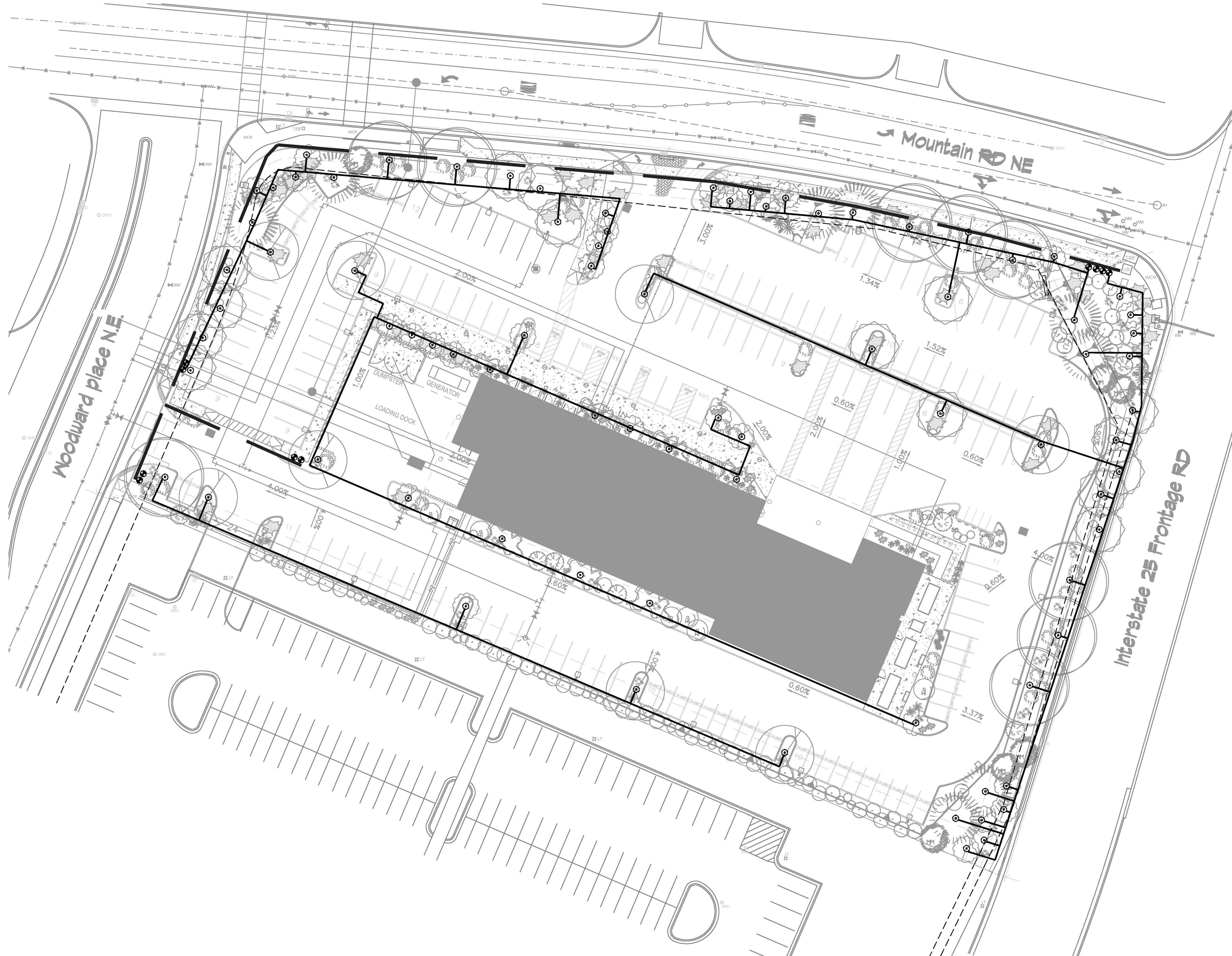
2024 Perkins & Will, Inc



Luminaire Schedule		Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
		SW	2	2	LITHONIA WDG2 LED P4 30K 80CRI TFTL MVOLT [MOUNT] [FINISH]	4402	46.659	1.000	0.850	1.000
		SA2	2	2	LITHONIA DSX1 LED P3 30K 80CRI T5LG MVOLT [MOUNT] [FINISH]	17810	135.58	1.000	0.850	1.000
		SA	8	8	LITHONIA DSX1 LED P3 30K 80CRI BLC3 MVOLT [MOUNT] [FINISH]	8718	102.17	1.000	0.850	1.000
DM28AS @ 25' MH		DM19AS @ 25' MH								

Calculation Summary						
Calculation Grid Location		Calc. Height (Ft.)	Units	Avg	Max	Min
GRADE_Planar		0	Fc	0.44	3.1	0.0
PROPERTY LINE			Fc	0.04	0.3	0.0
PARKING AND DRIVEWAY			Fc	1.14	3.0	0.0





IRRIGATION LEGEND

COMPONENT	MANUFACTURER	SIZE / NOTES
POINT OF CONNECTION, PROVIDED BY OTHERS	SEE CIVIL PLANS	1"
IRRIGATION CONTROLLER	HUNTER	As Required
BACKFLOW PREVENTION DEVICE RPA	FEBCO (OR EQUAL)	1" Cover, Provide Freeze Protection
MASTERVALVE ASSEMBLY	HUNTER	1"
MAINLINE	Sch 40 PVC	1"
SLEEVES	HUNTER	1" with Pressure Regulation and Y Filter
Drip Lines, Tree Netting Rings	Class 200 PVC	2 SIZES LARGER THAN PIPE TO BE SLEEVED.
Drip Line, Shrub Drip Emitter Line	Class 200 PVC	1"
Tree Drip Emitter	POULIN	3/4"- 1"
	RAINBIRD,	SEE DETAIL

Size Equipment as Required for Flow Rate

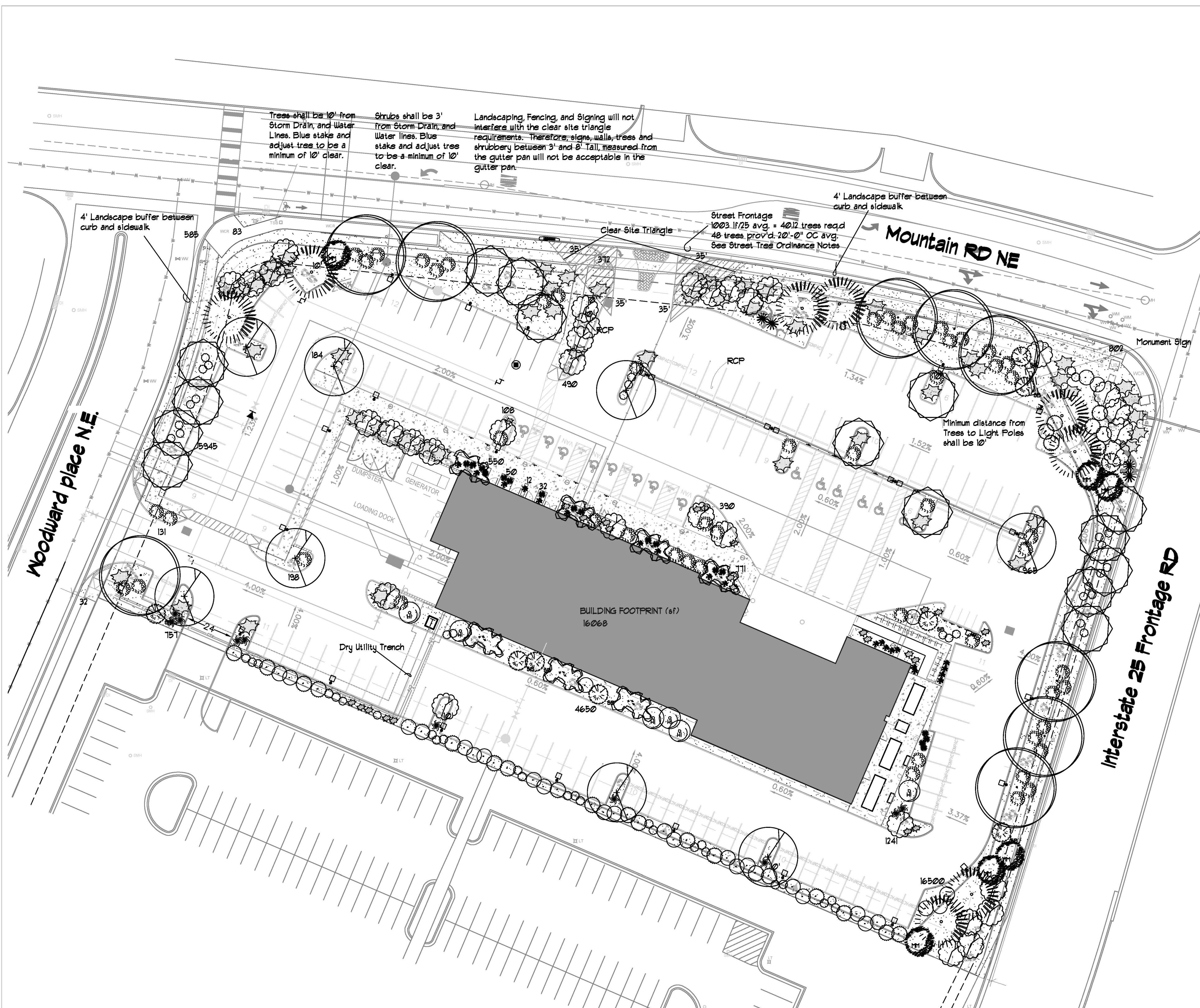
IRRIGATION NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
2. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
3. THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
4. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
5. THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
6. IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
7. IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
8. ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
9. SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNER/BACKFLOW PREVENTOR TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER.

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM. TREES AND SHRUBS SHALL BE ON SEPARATE VALVES. POINT OF CONNECTION FOR IRRIGATION SYSTEM SHALL BE AS INDICATED ON THE UTILITY PLAN, CIVIL DRAWINGS. LANDSCAPE CONTRACTOR POINT OF CONNECTION AND RESPONSIBILITY SHALL BEGIN DOWNSTREAM OF THE POINT OF CONNECTION. IRRIGATION WILL BE OPERATED BY SMART IRRIGATION SYSTEM AUTOMATIC CONTROLLER CAPABLE OF MULTI-PROGRAMMING ABILITY. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY THE OWNER. IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. WATER AND POWER SOURCE FOR IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

NOT FOR CONSTRUCTION

Mountain Rehab Hospital Mountain Rd. / I-25	DRAWN BY DM
LANDSCAPE IRRIGATION	DATE 4/23/2025
TIERRA WEST, LLC	
5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # L2
Proj. No. 2024-035	JOB # 20231213



LANDSCAPE CALCULATIONS

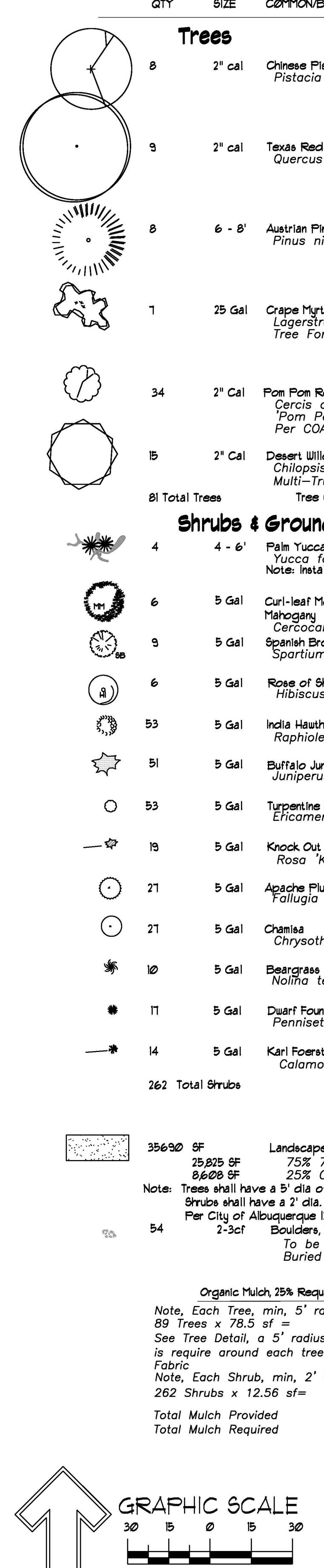
TOTAL LOT AREA	118591
TOTAL BUILDING AREA (sf)	16015
TOTAL NET LOT AREA (sf)	103576.00
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED	15536
TOTAL ON-SITE LANDSCAPE PROVIDED (sf)	34433
TOTAL VEGETATIVE COVERAGE REQUIRED (sf)	25825
TOTAL VEGETATIVE COVERAGE PROVIDED (sf)	39875
TOTAL GROUND VEGETATIVE COVERAGE REQUIRED (sf)	6456
TOTAL GROUND VEGETATIVE COVERAGE PROVIDED (sf)	9203

Parking Lot Landscaping

Parking Lot	126
One (1) tree per 10 parking spaces	
Tree Required	13
Tree Provided	14
15 percent of the required parking area shall be deciduous canopy-type shade trees	
deciduous Tree Required	10
deciduous Tree Provided	14

LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
8	2" cal	Chinese Pistache 40x30 Pistacia chinensis	101 5656 M+
9	2" cal	Texas Red Oak 40x40 Quercus texana syn buckleyi	126 11304 M
8	6 - 8'	Austrian Pine Pinus nigra	35x25 491 3928 M
1	25 Gal	Crape Myrtle Lagerstroemia indica x fowieri Tree Form, Multi-Trunk	116 1232 M
34	2" Cal	Pon Pon Redbud Cercis canadensis 'Pon Pon' Per COA mandate	113 3842 M
15	2" Cal	Desert Willow Chilopsis linearis Multi-Trunk	20x25 491 7365 M
81	Total Trees	Tree Coverage	33327
Shrubs & Groundcovers			
4	4 - 6'	Palm Yucca Yucca faxoniana	15x6 28 112 M
		Note: Install 3 Boulders and 150sf cobble accent	
6	5 Gal	Curl-leaf Mountain Mahogany Cercocarpus ledifolius	116 1056 L+
9	5 Gal	Spanish Broom Spartium junceum	19 711 M
6	5 Gal	Rose of Sharon Hibiscus syriacus	19 474 M
53	5 Gal	India Hawthorne Raphiolepis indica	28 1484 M
51	5 Gal	Buffalo Juniper Juniperus sabina 'Buffalo'	50 2550 M
53	5 Gal	Turpentine Bush Ericameria laricifolia	13 688 L
19	5 Gal	Knock Out Roses Rosa 'Knock Out'	13 241 L
21	5 Gal	Apache Plume Fallugia paradoxa	39 1053 L
21	5 Gal	Chamisa Chrysothamnus nauseosus	20 540 L
10	5 Gal	Beargrass Nolina texana	3 70 L
11	5 Gal	Dwarf Fountain Grass Pennisetum alopecuroides 'Hamelin'	118 M
14	5 Gal	Karl Foerster Grass Calamagrostis acutiflora 'Karl Foerster'	1 98 M
262	Total Shrubs	Shrub Coverage	9203
35690 SF Landscape Area Ground Treatment			
	25825 SF	75% 7/8" Santa Fe Brown, Filter Fabric	
	8608 SF	25% Organic Mulch	
Note: Trees shall have a 5' dia. of organic mulch, min 2" thick. Shrubs shall have a 2' dia. of organic mulch, min 2" thick.			
Per City of Albuquerque COA			
54	2-3cf	Boulders, Moss Rock	
		To be placed at contractor discretion	
		Buried 1/3, not shown at epc level	
Organic Mulch, 25% Required			
Note, Each Tree, min. 5' rad. 78.5sf			
89 Trees x 78.5 sf = 6,987			
See Tree Detail, a 5' radius of wood mulch is required around each tree w/out Filter Fabric			
Note, Each Shrub, min. 2' rad. 12.56 sf			
262 Shrubs x 12.56 sf= 3,291			
Total Mulch Provided 10,278			
Total Mulch Required 9203			



LANDSCAPE NOTES:
Contractor is responsible for quantity takeoff's. Quantities provided are for COA planning purposes only.

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner.

All landscaping will be in compliance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

It is the intent of this plan to comply with the City of Albuquerque Integrated Development Ordinance, Section 14-16-5-6, Landscaping, Buffering, and Screening.

Landscape plant materials used on this plan are derived from the current approved Official Albuquerque Plant Palette and Sizing List.

This landscape plan meets or exceeds all requirements of the COA IDO.

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system, operated by automatic timer.

Point of connection for irrigation system is unknown at current time.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.

Street Tree Notes:

Per Section 5-6(D) (1) (a) Required Street Trees. Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

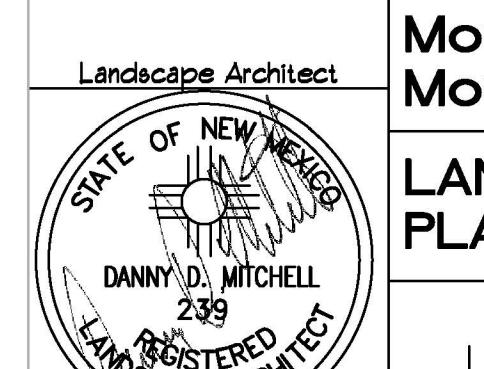
Section 6-6-2-5 Street Trees (A)

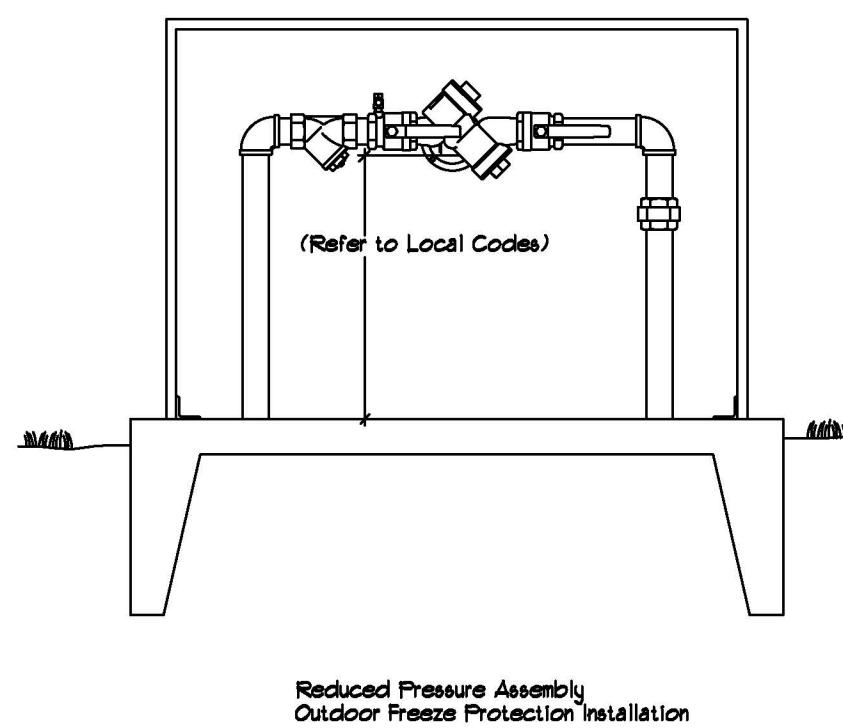
- Size of the trees at maturity should be in proportion to the planting space provided for them. Smaller species of trees will require closer spacing, and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
- On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

Drainage Basin Treatments Per City of Albuquerque Drainage Basin Treatments

The bottom and sides must be seeded with a native mix per City Standard specification 1012 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet. For pond bottom: Gravel 1/2" to 1 inch mulch. One layer thick, not stacked. Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed. Maintenance will be per City of Albuquerque specification 1023.91 and 1023.92. Contractor must weed the basin during/after the first growing season.

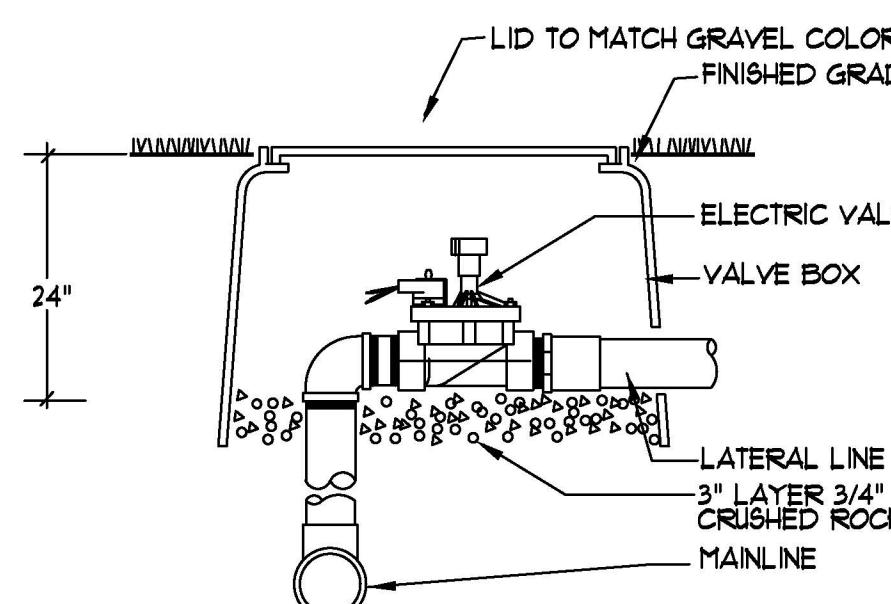
Nearest city inspection, Stormwater Quality Ordinance-Final stabilization must be accepted by the City.

Mountain Rehab Hospital Mountain Rd. / I-25		DRAWN BY DM
		DATE 4/23/2025
LANDSCAPE PLAN		SHEET # L1
 Landscape Architect DANNY D. MITCHELL LANDSCAPE ARCHITECT April 22, 2025 Proj. No. 2024-035		JOB # 20231213
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		



RPA, HOTBOX TYP.

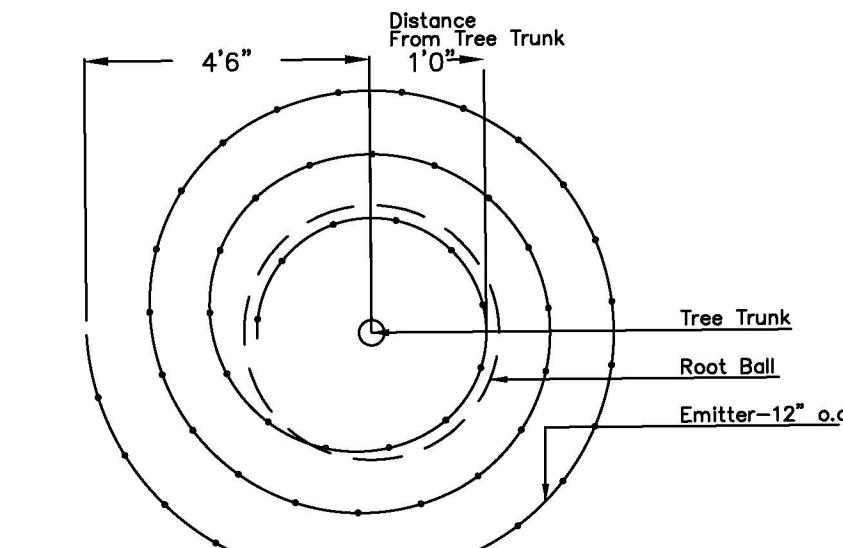
N.T.S.



ELECTRIC VALVE ASSEMBLY

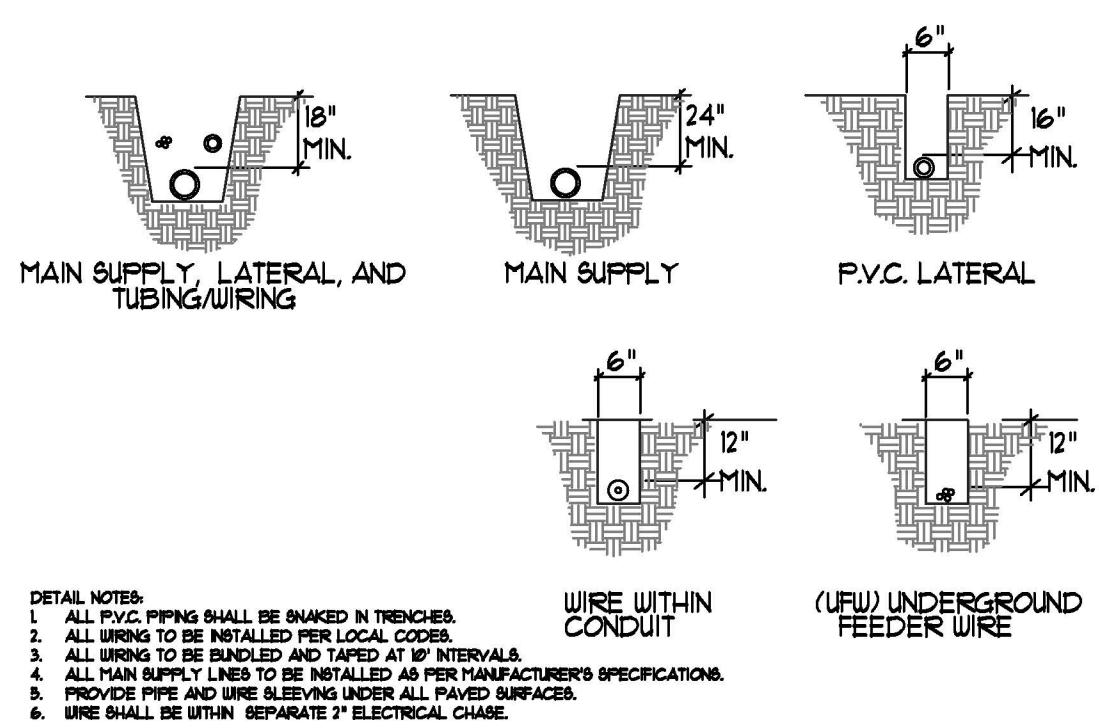
NOTE: ALL IRRIGATION COMPONENTS WILL
USE RECLAIMED WATER WHEN IT BECOMES
AVAILABLE TO MESA DEL SOL

N.T.S.



NETAFIM SPIRAL DETAIL

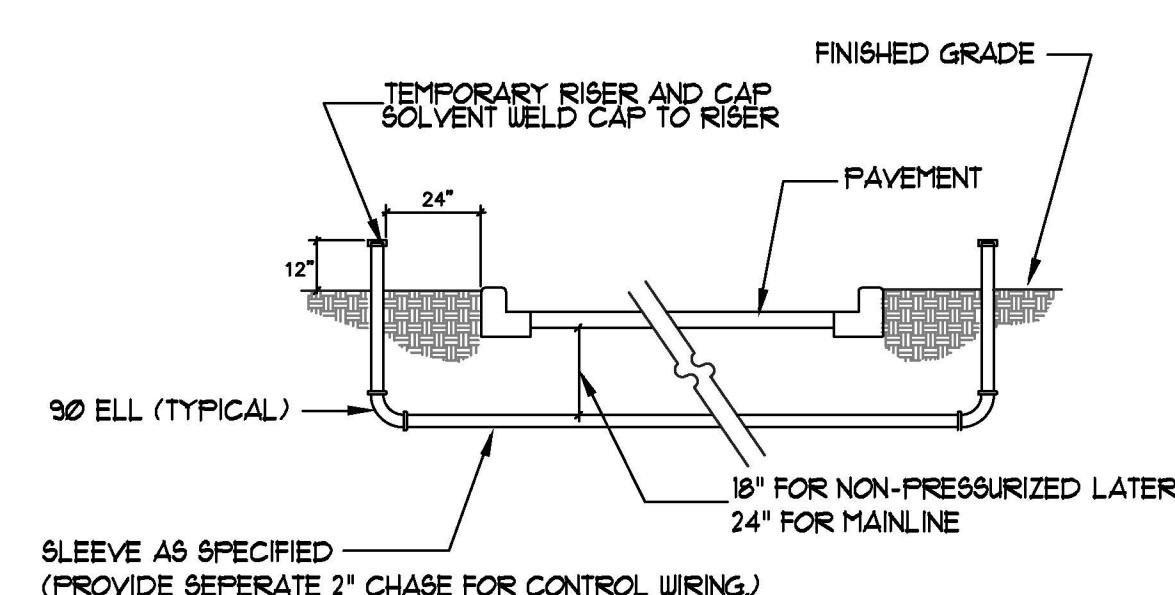
N.T.S.



DETAIL NOTES:
1. ALL PVC PIPES SHALL BE BURIED IN TRENCHES.
2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
3. ALL WIRING TO BE BUNDLED AND TAPE AT 18" INTERVALS.
4. ALL WIRING TO BE BURIED IN CONDUIT PER MANUFACTURER'S SPECIFICATIONS.
5. PROVIDE PIPE AND WIRE SLEEVING UNDER ALL PAVED SURFACES.
6. WIRE SHALL BE WITHIN SEPARATE 2" ELECTRICAL CHASE.

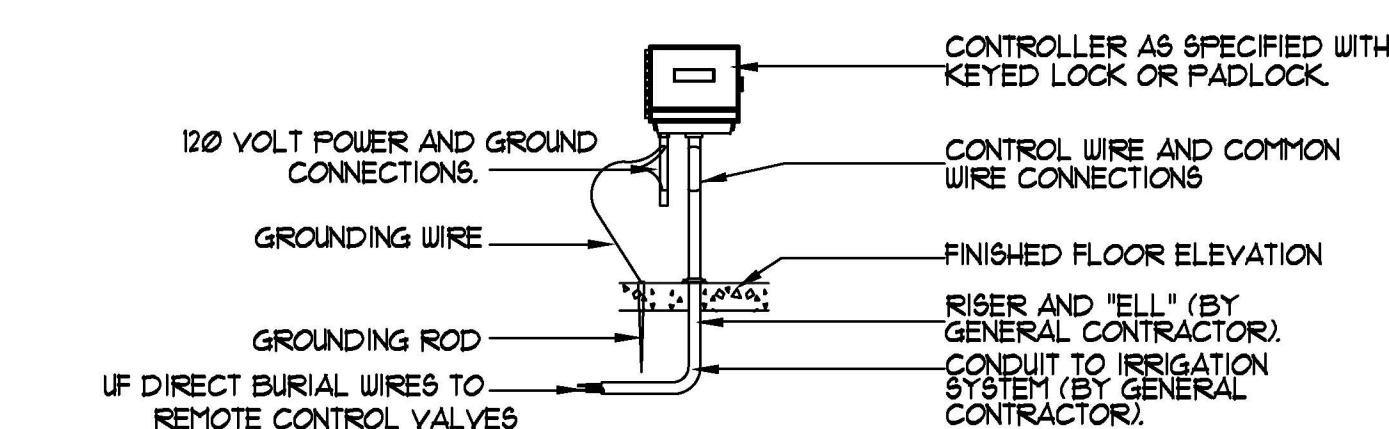
TRENCHING DETAIL

N.T.S.



SLEEVE INSTALLATION DETAIL

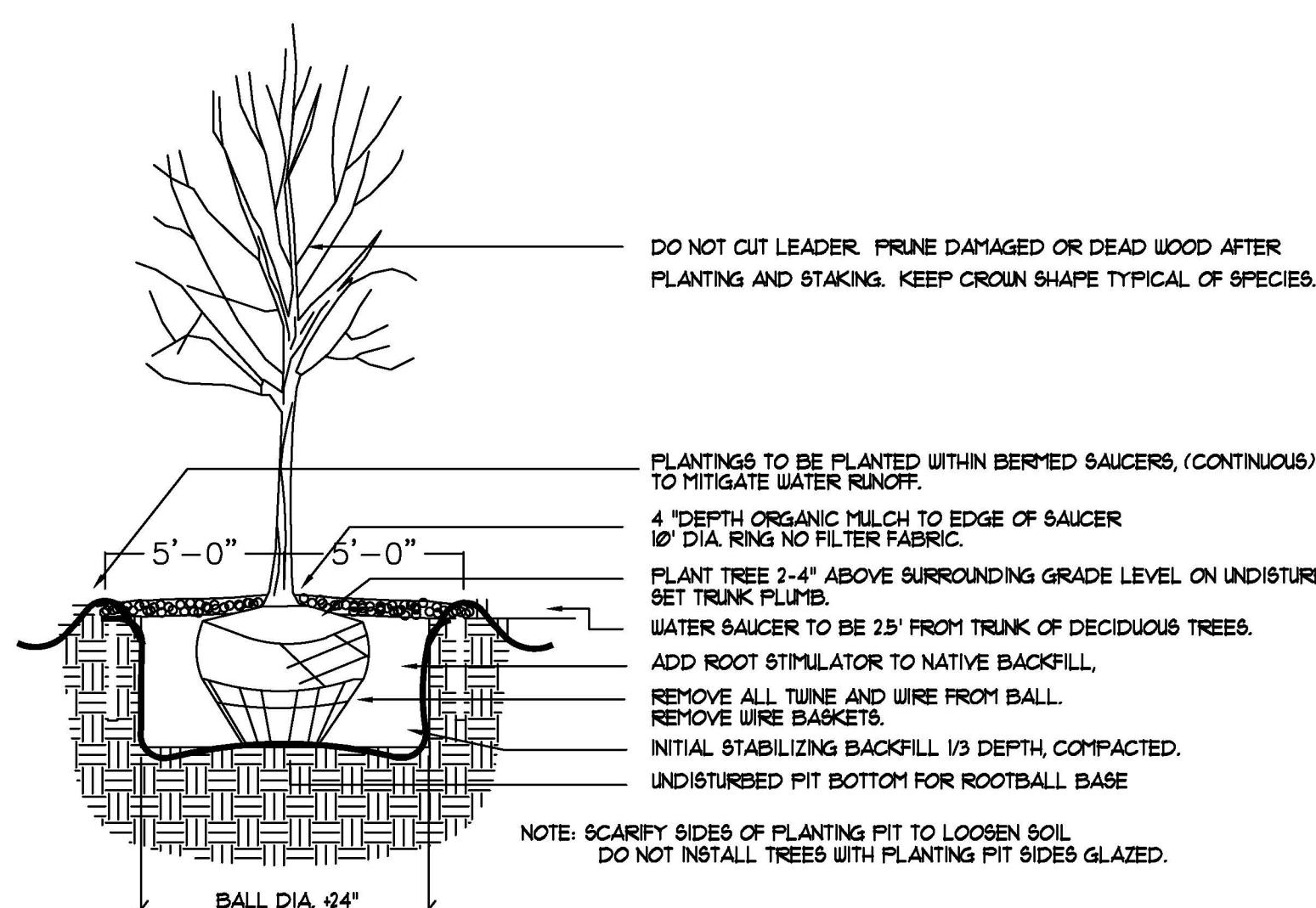
N.T.S.



DETAIL NOTES:
1. ELECTRICAL POWER TO BE SUPPLIED BY OTHERS.
2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
3. SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER.
4. CONTROLLER TO BE MOUNTED APPROXIMATELY 5'-0" ABOVE
FINISHED FLOOR ELEVATION.

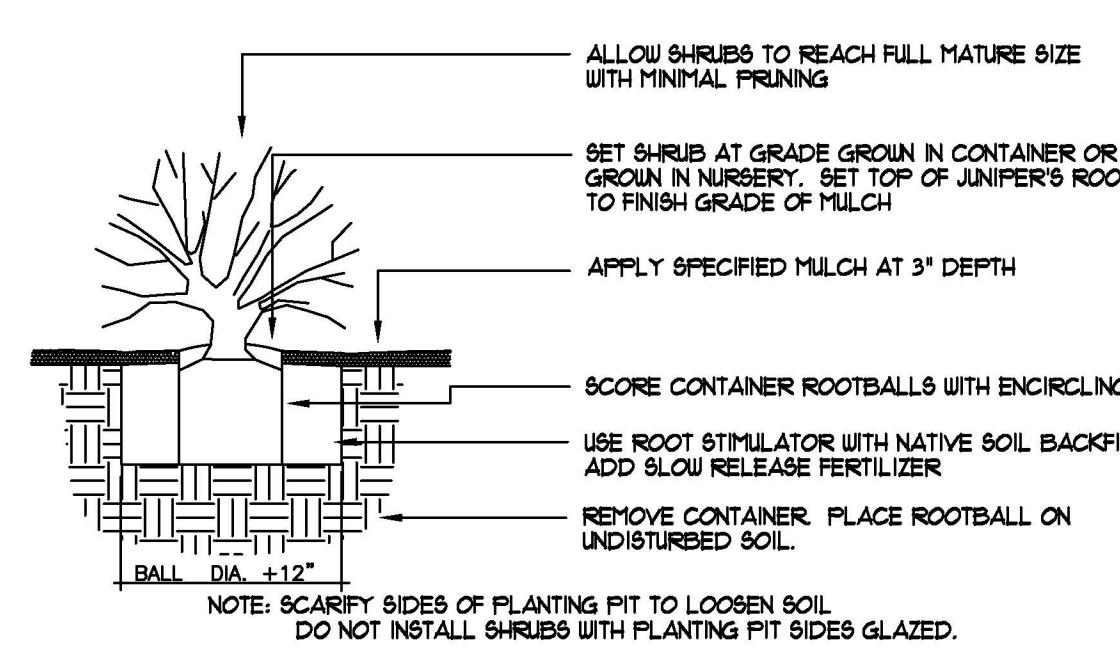
CONTROLLER DETAIL

N.T.S.



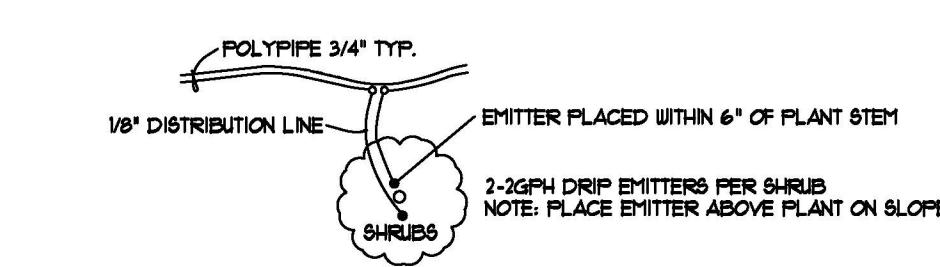
TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

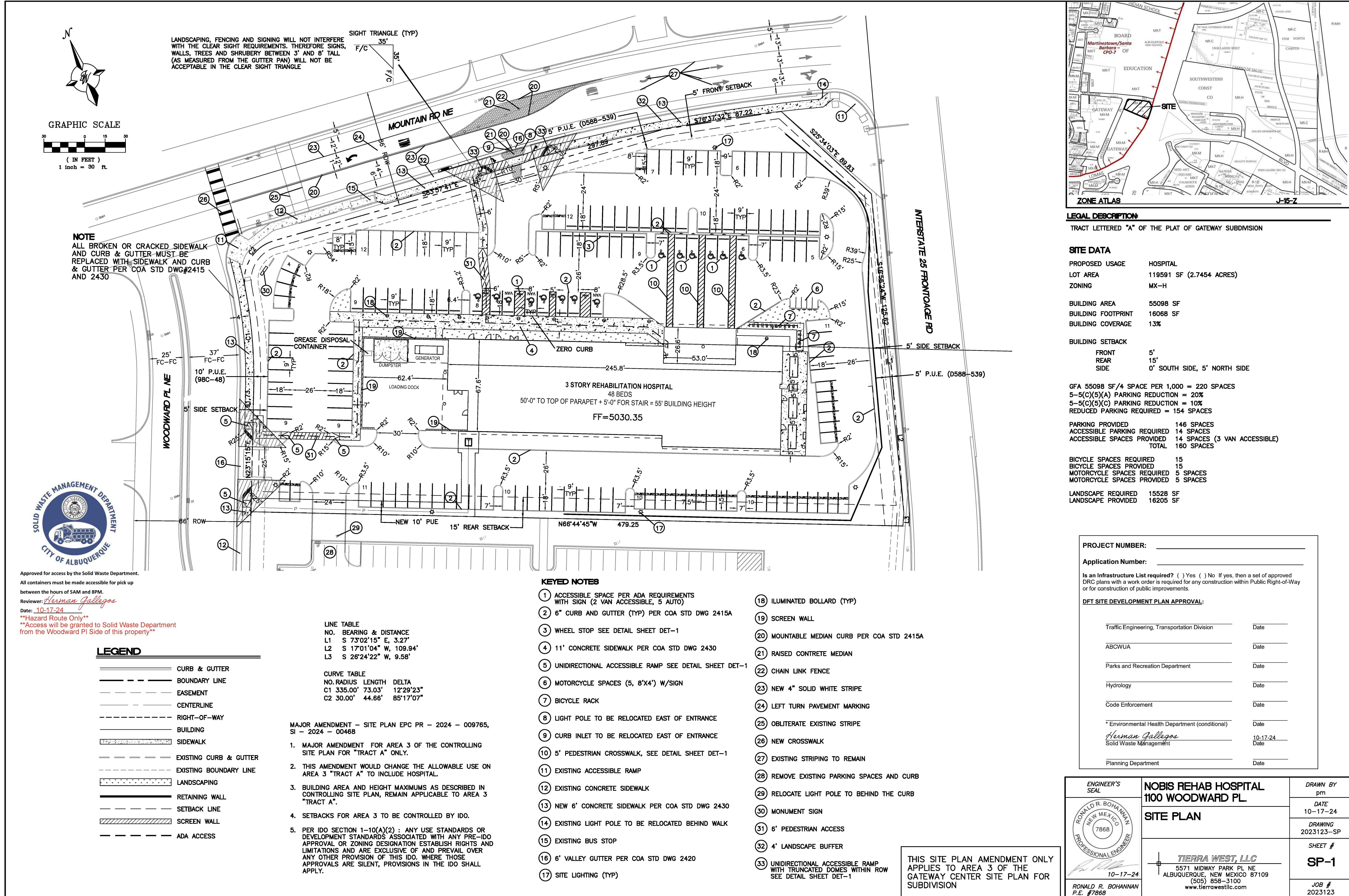
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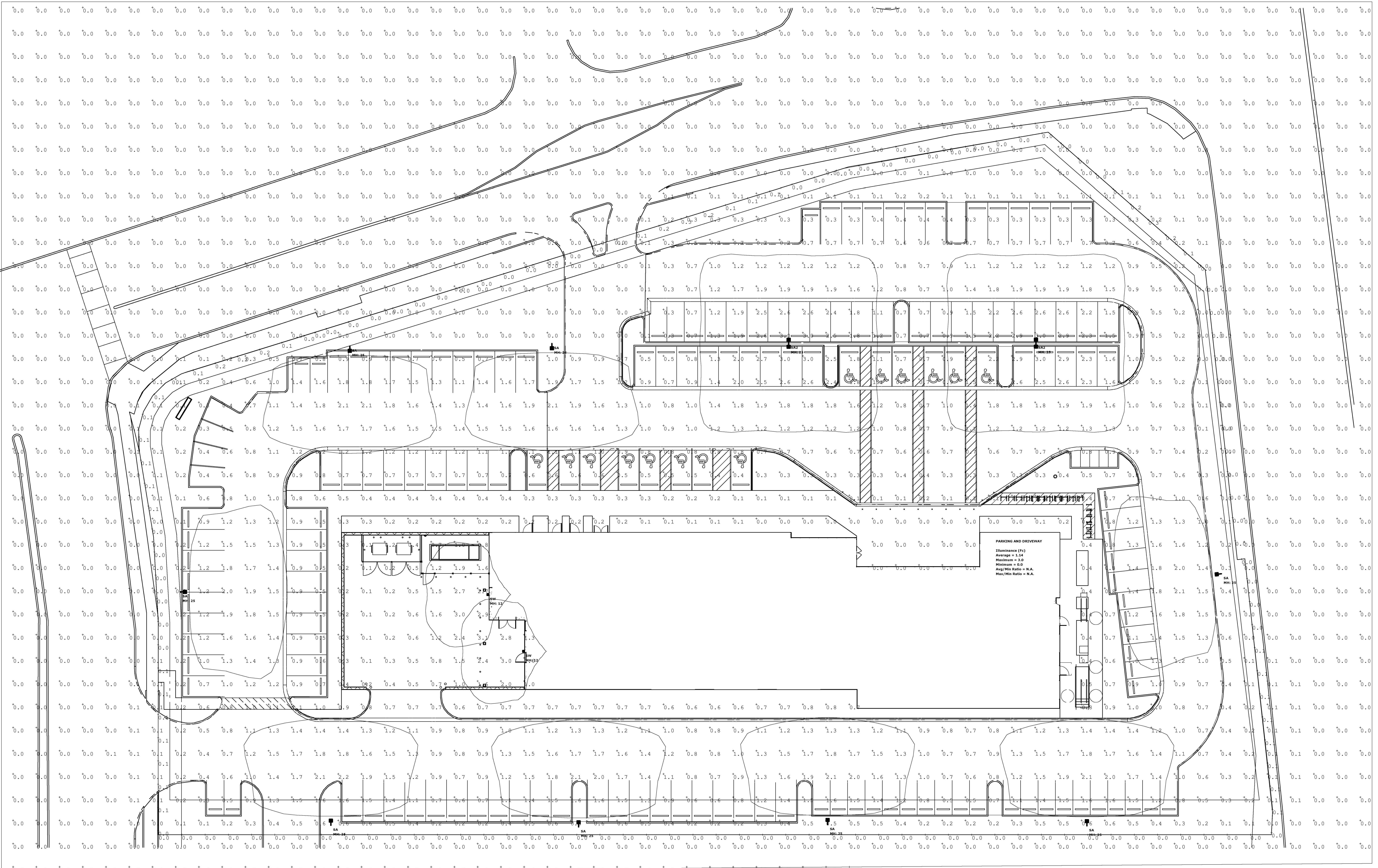
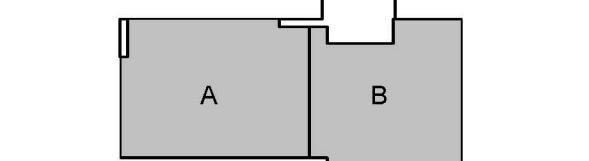
SHRUB Emitter Placement Detail

N.T.S.

	Mountain Rehab Hospital Mountain Rd. / I-25	DRAWN BY DM
		DATE 4/23/2025
LANDSCAPE DETAILS		
		SHEET # L3
TIERRA WEST, LLC	5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 20231213
Proj. No. 2024-035		




**ALBUQUERQUE
REHABILITATION
HOSPITAL**
 1100 WOODWARD PL NE,
 ALBUQUERQUE, NM 87102

**KENNOR CROSS
INVESTMENTS, LLC**
 4332 MARSH RIDGE ROAD
 CARROLLTON, TX 75010


Luminaire Schedule			Total Lumen Output	Total Input Watts	Ballast Factor	Light Loss Factor	User Defined Factor
Symbol	Type	Qty	Manufacturer / Catalog Number				
SW	2	LITHONIA WDG2 LED P4 30K 80CRI TFTM MVOLT [MOUNT] [FINISH]	4402	46.659	1.000	0.850	1.000
SA2	2	LITHONIA DSX1 LED P3 30K 80CRI T5LG MVOLT [MOUNT] [FINISH] DM28AS @ 25' MH	17810	135.58	1.000	0.850	1.000
SA	8	LITHONIA DSX1 LED P3 30K 80CRI BLC3 MVOLT [MOUNT] [FINISH] DM19AS @ 25' MH	8718	102.17	1.000	0.850	1.000

 MARK ISSUE DATE
 Job Number 147797.000
 TITLE


Calculation Summary		Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE: Planar	PROPERTY LINE							
0	N.A.	PARKING AND DRIVEWAY	Ft.	Fc	0.44	3.1	0.0	N.A.
				Fc	0.04	0.3	0.0	N.A.
				Fc	1.14	3.0	0.0	N.A.