










PR-2024-009765-SI-202400468_1100 Woodward Rehab Hospital EPC-DFT Signatures

Final Audit Report

2025-12-29

Created:	2025-11-12
By:	Jacob Boylan (jboylan@cabq.gov)
Status:	Signed
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"PR-2024-009765-SI-202400468_1100 Woodward Rehab Hospital EPC-DFT Signatures" History

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 Agreement completed.

2025-12-29 - 5:13:57 PM GMT



EXTERIOR FINISH LEGEND

 EF-1 EIFS - 1 STOLIT 1.0 COLOR - 31335 JUTE	 MR-1 MODULAR BRICK - PEBBLE GRAY	 SS-1 LOUVERED SUNSHADES - PLATINUM ICE
 EF-2 EIFS - 2 STOLIT 1.0 COLOR - 32138 COTTON	 ACM-1 / SC-1 ACM PANEL / PREFORMED METAL WALL PANEL - PLATINUM ICE	 ACM-1 ACM PANELS AT CANOPY, COLUMN WRAPS - PLATINUM ICE
 EF-3 EIFS - 3 STOLIT 1.0 COLOR - 31334 THATCH	 WW-1 STOREFRONT SYSTEM - PLATINUM ICE GLAZING - GUARDIAN S668, CRYSTAL GRAY	

SOUTH ELEVATION - NOT STREET FACING

- IDO COMPLIANCE WITH 5-11(E)(2)(a)
- CLEAR ARCHITECTURAL DISTINCTION BY USING A DIFFERENT MATERIAL ON THE FIRST FLOOR AS COMPARED TO FLOORS 2 & 3.
 - THIS IS NOT A STREET FACING FACADE, HOWEVER THE FOLLOWING FEATURES ARE PROVIDED TO ENHANCE THE PROPERTY:
 - UPPER FLOOR WINDOWS
 - GROUND FLOOR WINDOWS WITH SILLS AT 32"
 - BUILDING OVERHANGS AND COLUMNS
 - HORIZONTAL SUNSHADE LOUVERS
 - SCREENWALL TO MATCH BUILDING
 - THIS IS NOT A STREET FACING FACADE, HOWEVER THE FOLLOWING FEATURES ARE PROVIDED TO ENHANCE THE PROPERTY:
 - CHANGES IN BRICK COLOR AND MATERIAL
 - BRICK AT THE GROUND FLOOR
 - THREE DIFFERENT COLORS OF EIFS ON FLOORS 2 AND 3
 - MAIN FIELD COLOR
 - HORIZONTAL BAND COLOR (1" PROJECTION)
 - INSET COLOR BETWEEN WINDOWS (1" RECESS)
 - HORIZONTAL SUNSHADE LOUVERS (30" PROJECTION)
 - THREE DIMENSIONAL MASONRY BASE (1" PROJECTION)
 - THREE DIMENSIONAL EIFS CORNICE (1" PROJECTION)

- IDO COMPLIANCE WITH 5-6(G)(2)
- (A) GROUND MOUNTED EQUIPMENT INCLUDING EMERGENCY GENERATOR AND GROUND SET CONDENSING UNITS ARE SCREENED FROM VIEW BY THE MASONRY SCREEN WALL (C)1. THE MASONRY SCREENWALL WILL BE 10' HIGH AND WILL BE THE SAME BRICK AS THE FIRST FLOOR OF THE BUILDING WITH THREE DIMENSIONAL PROJECTING BASE AND CORNICE.

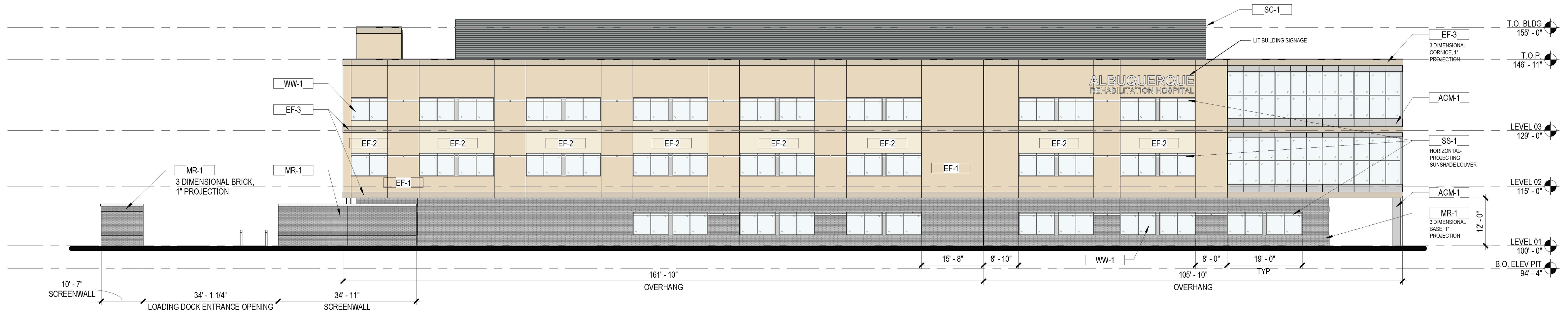
- IDO COMPLIANCE WITH 5-6(G)(3)
- (C) THE OUTDOOR LOADING, SERVICE, AND REFUSE AREAS ARE SCREENED FROM VIEW BY THE MASONRY SCREEN WALL (C)1. THE MASONRY SCREENWALL WILL BE 10' HIGH AS REQUIRED BY 5-6(G)(2) AND WILL BE THE SAME BRICK AS THE FIRST FLOOR OF THE BUILDING WITH THREE DIMENSIONAL PROJECTING BASE AND CORNICE.

NORTH ELEVATION - STREET FACING

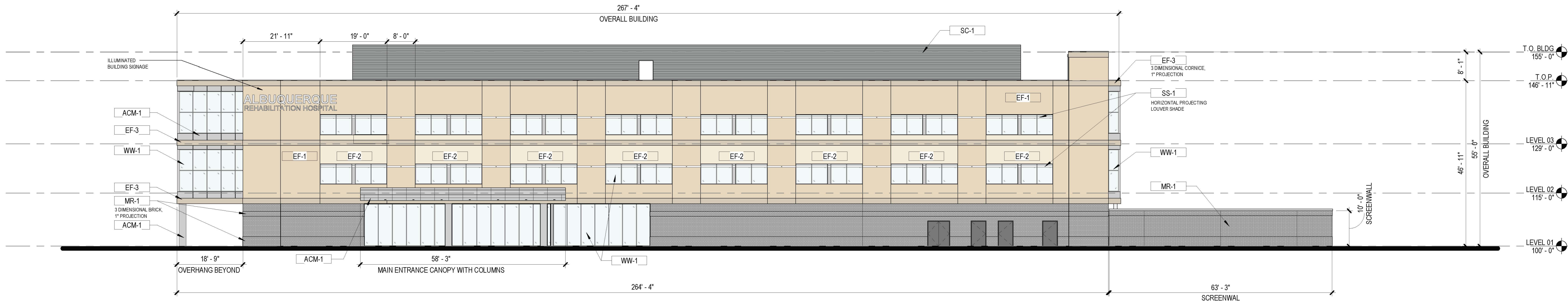
- IDO COMPLIANCE WITH 5-11(E)(2)(a)
- CLEAR ARCHITECTURAL DISTINCTION BY USING A DIFFERENT MATERIAL ON THE FIRST FLOOR COMPARED TO FLOORS 2 & 3.
 - THIS IS A STREET FACING FACADE AND THE FOLLOWING FEATURES ARE PROVIDED:
 - UPPER FLOOR WINDOWS
 - GROUND FLOOR WINDOWS & MAIN ENTRY
 - CANOPY, BUILDING OVERHANGS & COLUMNS
 - HORIZONTAL SUNSHADE LOUVERS
 - THIS IS A STREET FACING FACADE AND THE FOLLOWING FEATURES ARE PROVIDED:
 - CHANGES IN COLOR AND MATERIAL
 - BRICK AT THE GROUND FLOOR
 - THREE DIFFERENT COLORS OF EIFS ON FLOORS 2 & 3.
 - MAIN FIELD COLOR
 - HORIZONTAL BAND COLOR (1" PROJECTION)
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- IDO COMPLIANCE WITH 5-6(G)(3)
- (C) THE OUTDOOR LOADING, SERVICE, AND REFUSE AREAS ARE SCREENED FROM VIEW BY THE MASONRY SCREEN WALL (C)1. THE MASONRY SCREENWALL WILL BE 10' HIGH AS REQUIRED BY 5-6(G)(2) AND WILL BE THE SAME BRICK AS THE FIRST FLOOR OF THE BUILDING WITH THREE DIMENSIONAL PROJECTING BASE AND CORNICE.



02 SOUTH ELEVATION
1/16" = 1'-0" | NOT STREET FACING

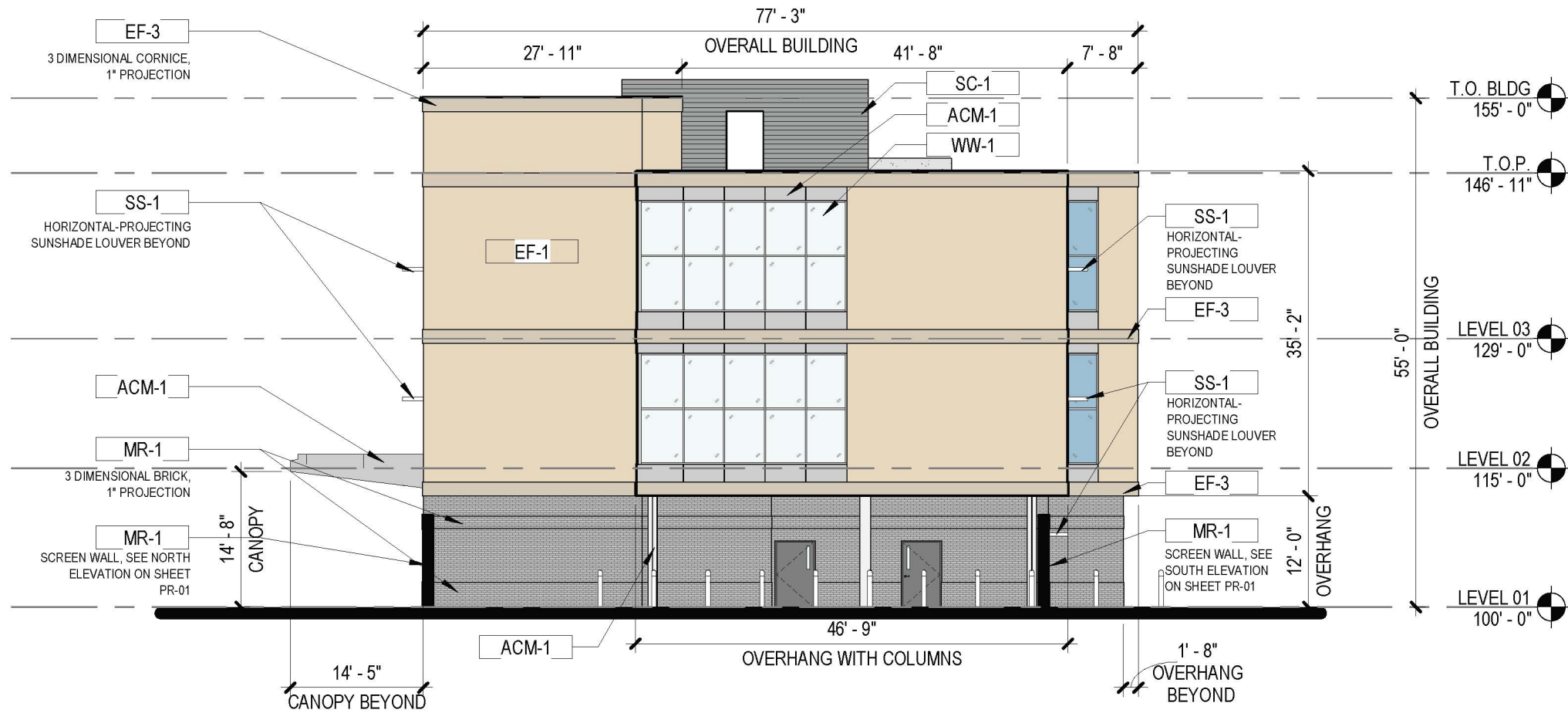


01 NORTH ELEVATION
1/16" = 1'-0" | STREET FACING



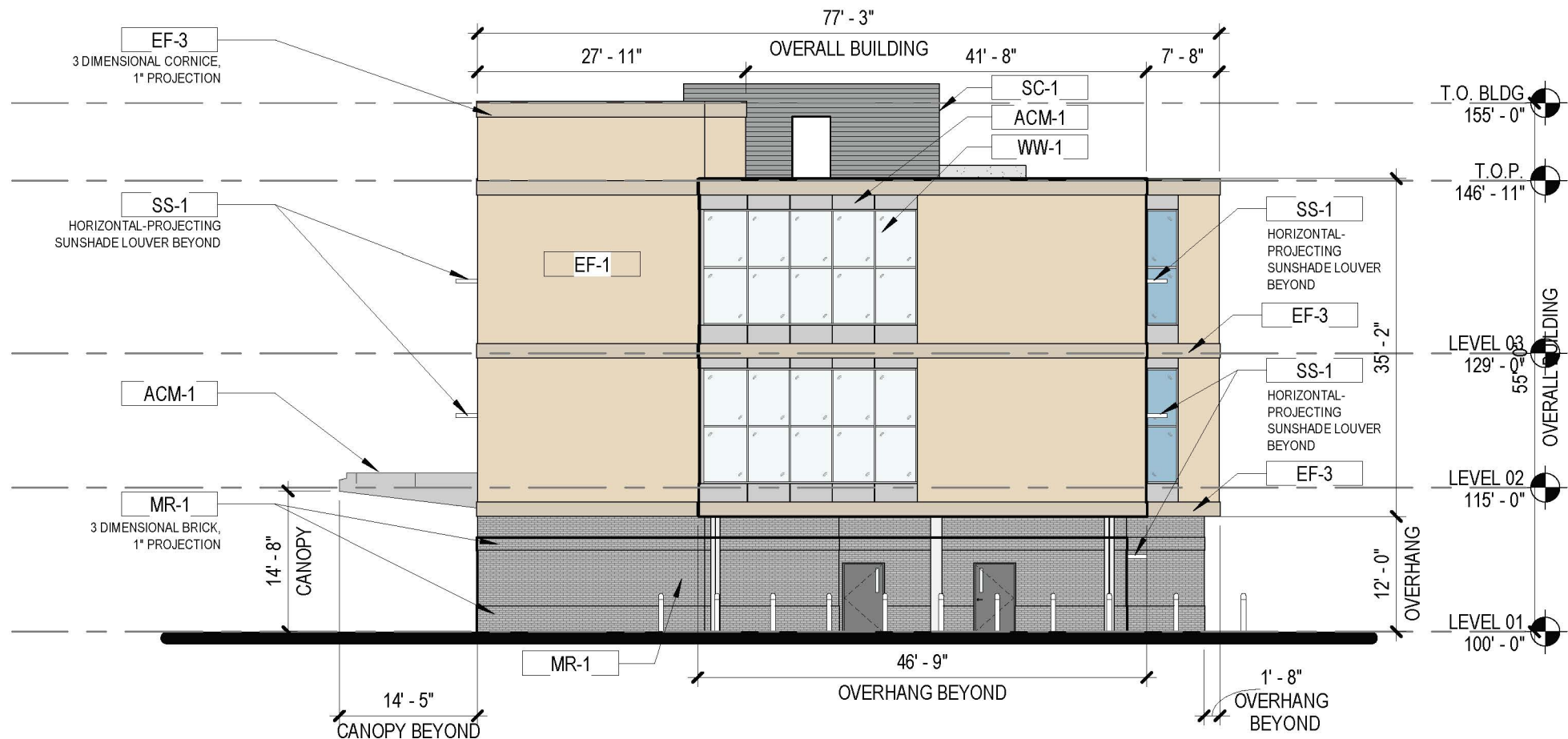
EXTERIOR FINISH LEGEND

 EF-1 EIFS - 1 STOLIT 1.0 COLOR 31335 JUTE	 MR-1 MODULAR BRICK - PEBBLE GRAY	 SS-1 LOUVERED SUNSHADES - PLATINUM ICE
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 EF-3 EIFS - 3 STOLIT 1.0 COLOR - 31334 THATCH	 WW-1 STOREFRONT SYSTEM - PLATINUM ICE GLAZING - GUARDIAN SN68, CRYSTAL GRAY	



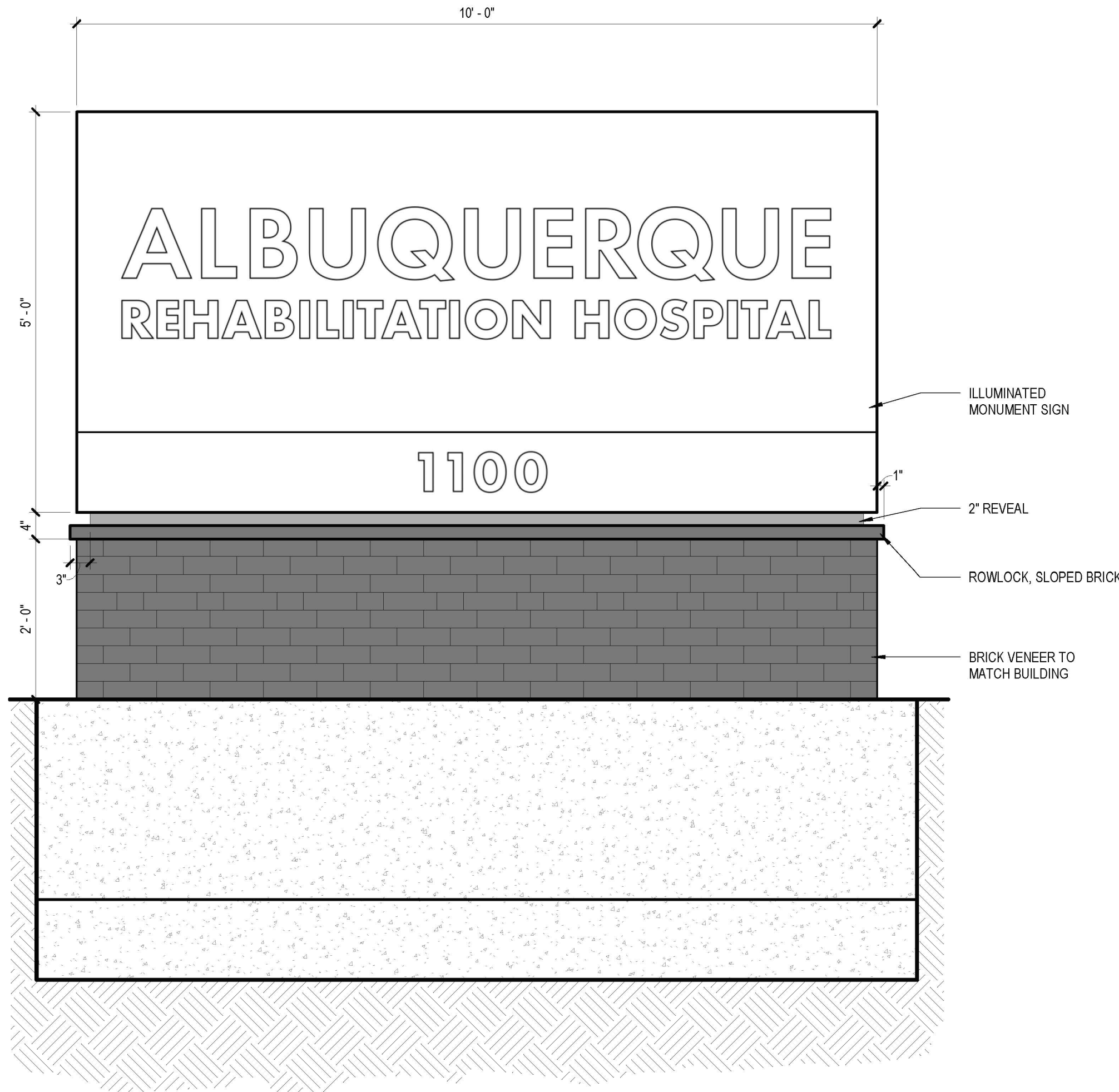
05 WEST ELEVATION WITHIN LOADING DOCK
1/16" = 1'-0" | STREET FACING

- WEST ELEVATION - STREET FACING (PARTIALLY BLOCKED BY LOADING DOCK SCREEN WALL)
- IDO COMPLIANCE WITH 5-11(E)(2)(a)
1. CLEAR ARCHITECTURAL DISTINCTION BY USING A DIFFERENT MATERIAL ON THE FIRST FLOOR AS COMPARED TO FLOORS 2 & 3.
 2. THIS IS A STREET FACING FACADE AND THE FOLLOWING FEATURES ARE PROVIDED:
 - A. UPPER FLOOR WINDOWS
 - B. CANOPY, BUILDING OVERHANGS, AND COLUMNS
 - C. SECONDARY STAFF ENTRY
 3. THIS IS A STREET FACING FACADE AND THE FOLLOWING FEATURES ARE PROVIDED:
 - A. CHANGES IN COLOR AND MATERIAL
 1. BRICK AT THE GROUND FLOOR
 2. TWO DIFFERENT COLORS OF EIFS ON FLOORS 2 & 3.
 - A. MAIN FIELD COLOR
 - B. HORIZONTAL BAND COLOR (1" PROJECTION)
 - B. THREE DIMENSIONAL MASONRY BASE (1" PROJECTION)
 - C. THREE DIMENSIONAL EIFS CORNICE (1" PROJECTION)

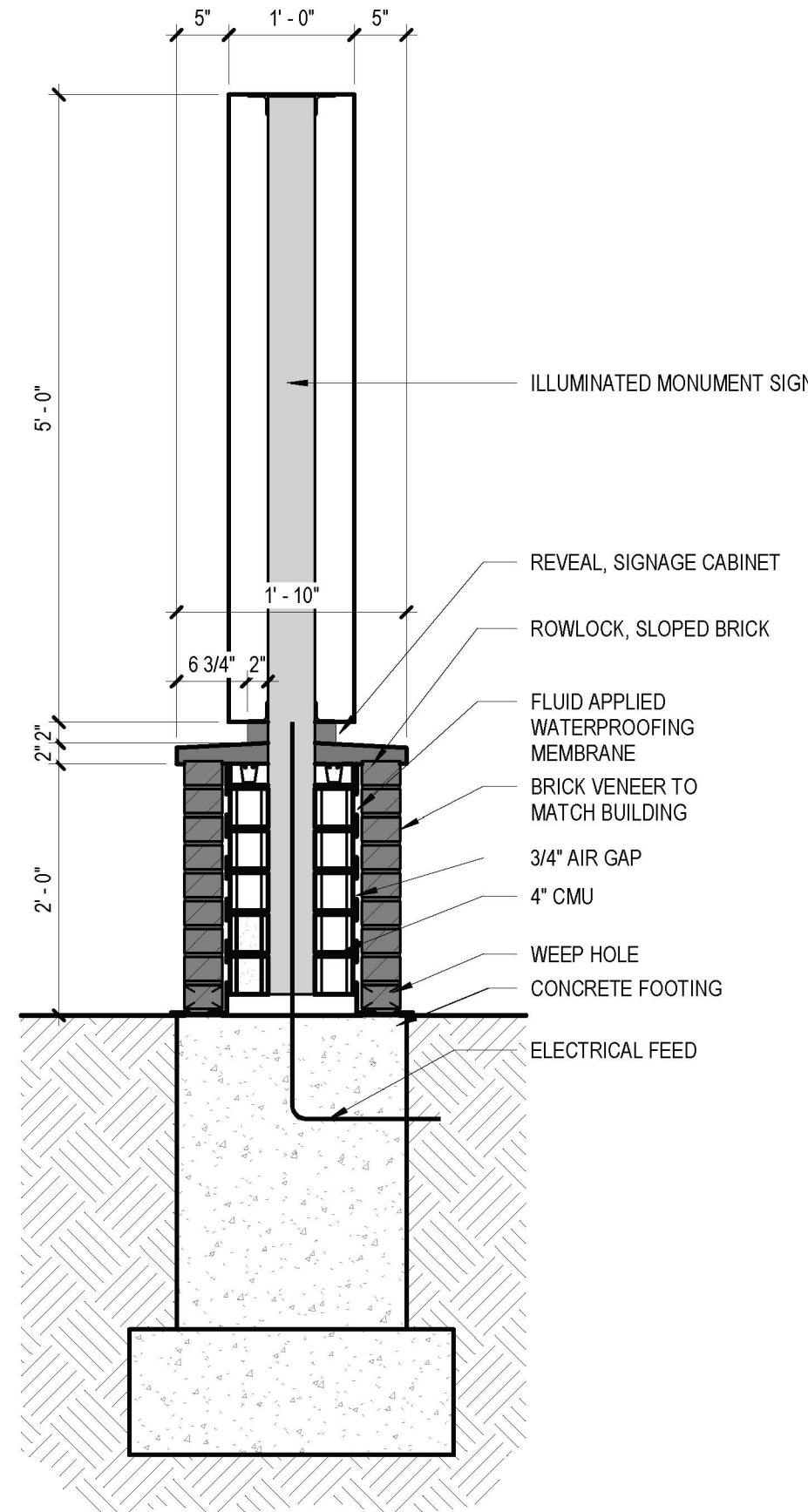


04 WEST ELEVATION AT SCREEN WALL
1/16" = 1'-0" | STREET FACING

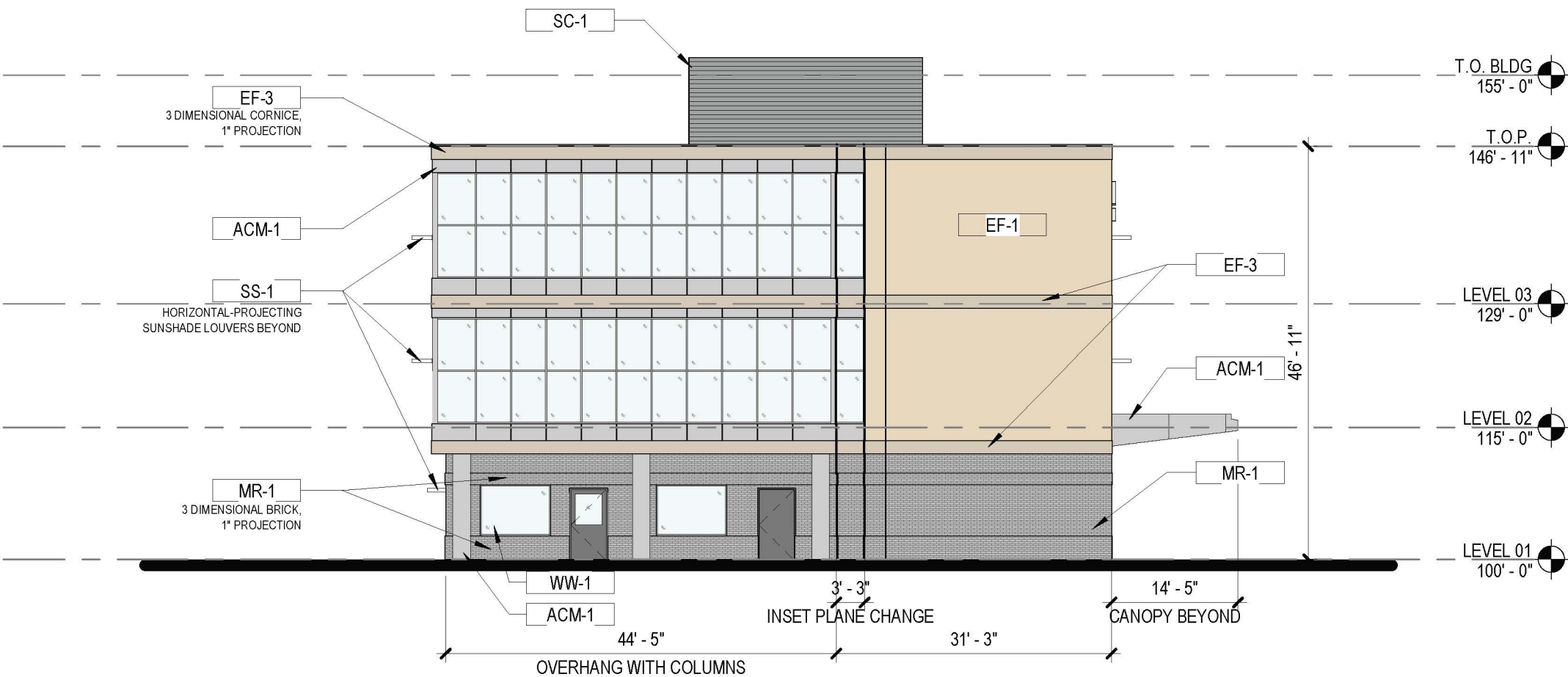
- WEST ELEVATION - STREET FACING, PARTIALLY BLOCKED BY LOADING DOCK SCREEN WALL
- IDO COMPLIANCE WITH 5-11(E)(2)(a)
1. CLEAR ARCHITECTURAL DISTINCTION BY USING A DIFFERENT MATERIAL ON THE FIRST FLOORS AS COMPARED TO FLOORS 2 & 3.
 2. THIS IS A STREET FACING FACADE AND THE FOLLOWING FEATURES ARE PROVIDED:
 - A. UPPER FLOOR WINDOWS
 - B. CANOPY, BUILDING OVERHANGS, AND COLUMNS
 - C. SECONDARY STAFF ENTRY
 3. THIS IS A STREET FACING FACADE AND THE FOLLOWING FEATURES ARE PROVIDED:
 - A. CHANGES IN COLOR AND MATERIAL
 1. BRICK AT THE GROUND FLOOR
 2. TWO DIFFERENT COLORS OF EIFS ON FLOORS 2 AND 3.
 - A. MAIN FIELD COLOR
 - B. HORIZONTAL BAND COLOR (1" PROJECTION)
 - B. THREE DIMENSIONAL MASONRY BASE (1" PROJECTION)
 - C. THREE DIMENSIONAL EIFS CORNICE (1" PROJECTION)
- IDO COMPLIANCE WITH 5-6(G)(2)
- (A) GROUND MOUNTED EQUIPMENT INCLUDING EMERGENCY GENERATOR AND GROUND SET CONDENSING UNITS ARE SCREENED FROM VIEW BY THE MASONRY SCREEN WALL (C)1. THE MASONRY SCREENWALL WILL BE 10' HIGH AS REQUIRED BY 5-6(G)(2) AND WILL BE THE SAME BRICK AS THE FIRST FLOOR OF THE BUILDING WITH THREE DIMENSIONAL PROJECTION BASE AND CORNICE.
- IDO COMPLIANCE WITH 5-6(G)(3)
- (C) THE OUTDOOR LOADING, SERVICE, AND REFUSE AREAS ARE SCREENED FROM VIEW BY THE MASONRY SCREEN WALL (C)1. THE MASONRY SCREENWALL WILL BE 10' HIGH AS REQUIRED BY 5-6(G)(2) AND WILL BE THE SAME BRICK AS THE FIRST FLOOR OF THE BUILDING WITH THREE DIMENSIONAL PROJECTION BASE AND CORNICE.



02 MONUMENT SIGN
3/4" = 1'-0" |

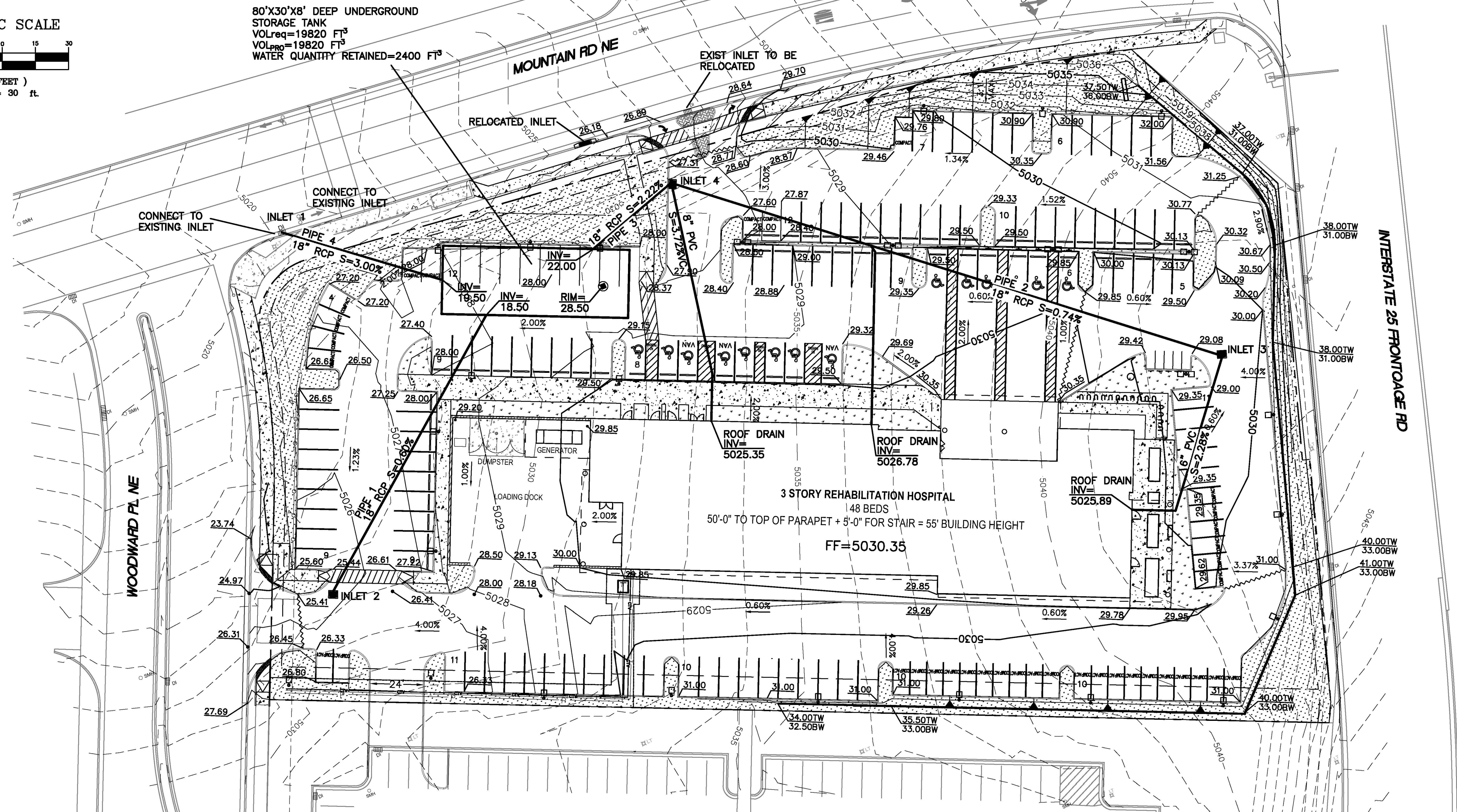
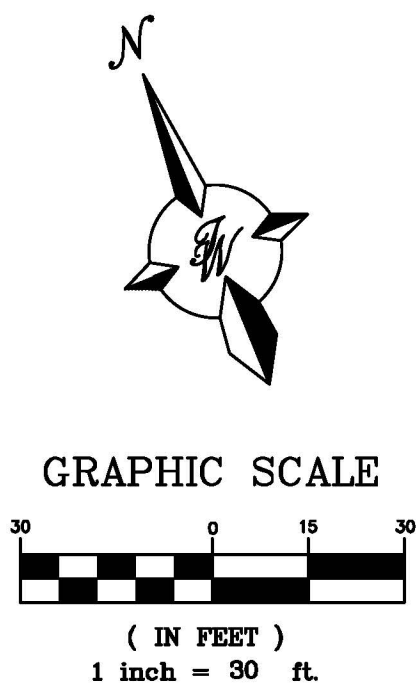


01 MONUMENT SIGN SECTION
3/4" = 1'-0" |



03 EAST ELEVATION
1/16" = 1'-0" | STREET FACING

- EAST ELEVATION - STREET FACING
- IDO COMPLIANCE WITH 5-11(E)(2)(a)
1. CLEAR ARCHITECTURAL DISTINCTION BY USING A DIFFERENT MATERIAL ON THE FIRST FLOORS AS COMPARED TO FLOORS 2 & 3.
 2. THIS IS A STREET FACING FACADE AND THE FOLLOWING FEATURES ARE PROVIDED:
 - A. UPPER FLOOR WINDOWS
 - B. GROUND FLOOR WINDOWS WITH SILLS AT 32"
 - C. CANOPY, BUILDING OVERHANGS, AND COLUMNS
 - D. PRIMARY STAFF ENTRY
 3. THIS IS A STREET FACING FACADE AND THE FOLLOWING FEATURES ARE PROVIDED:
 - A. CHANGES IN COLOR AND MATERIAL
 1. BRICK AT THE GROUND FLOOR
 2. TWO DIFFERENT COLORS OF EIFS ON FLOORS 2 AND 3.
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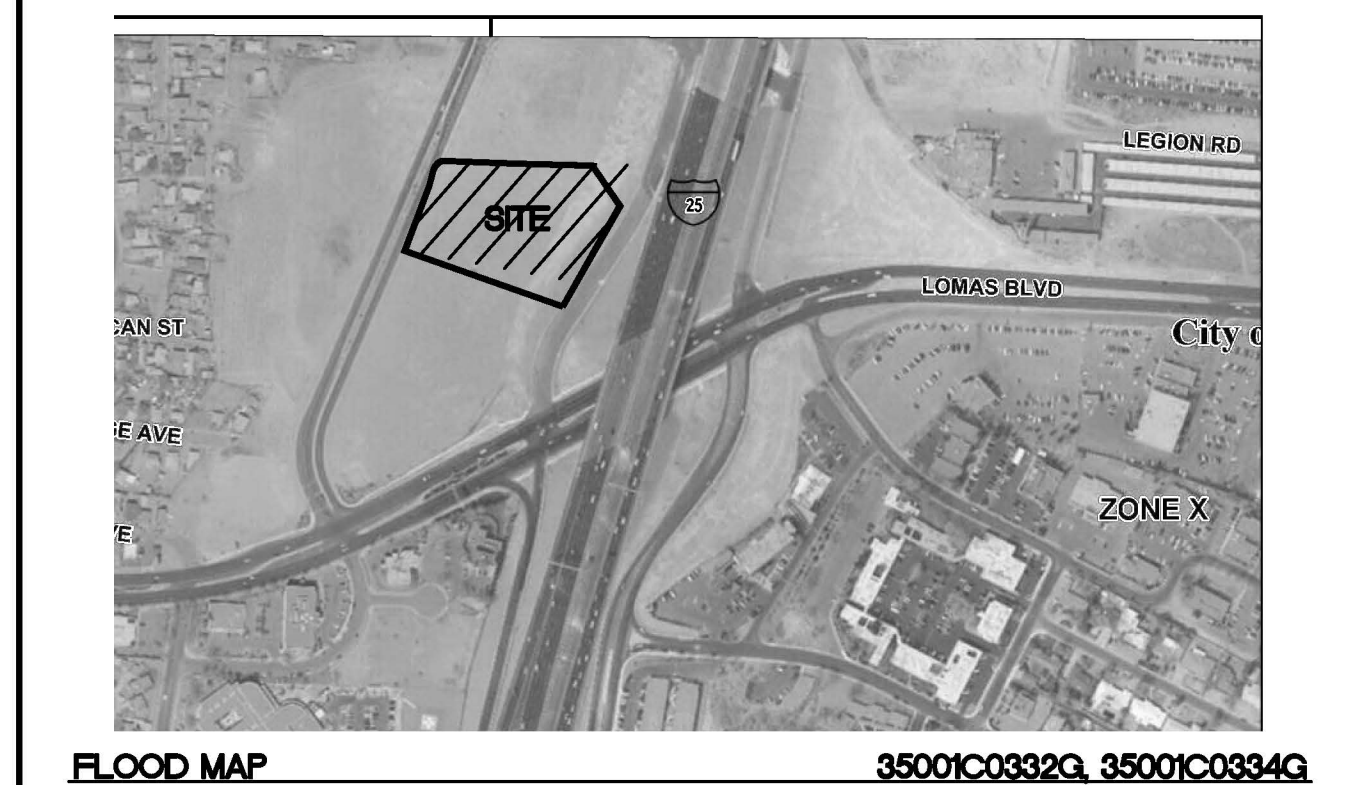
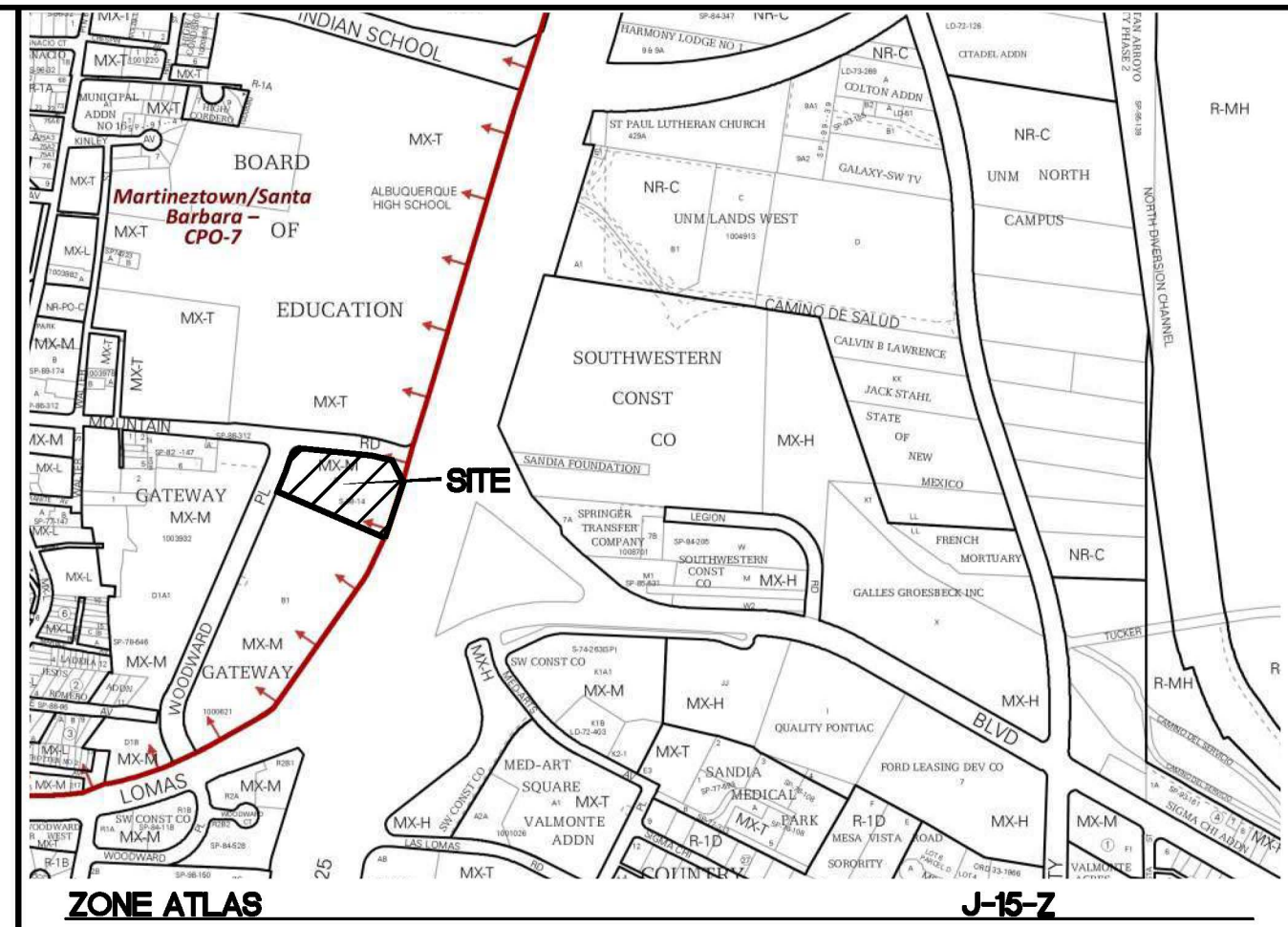
LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	LANDSCAPING
	GRADE BREAK
	PROPOSED STORM SEWER
	DROP INLET

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR $\frac{1}{4}$ " GRAVEL.

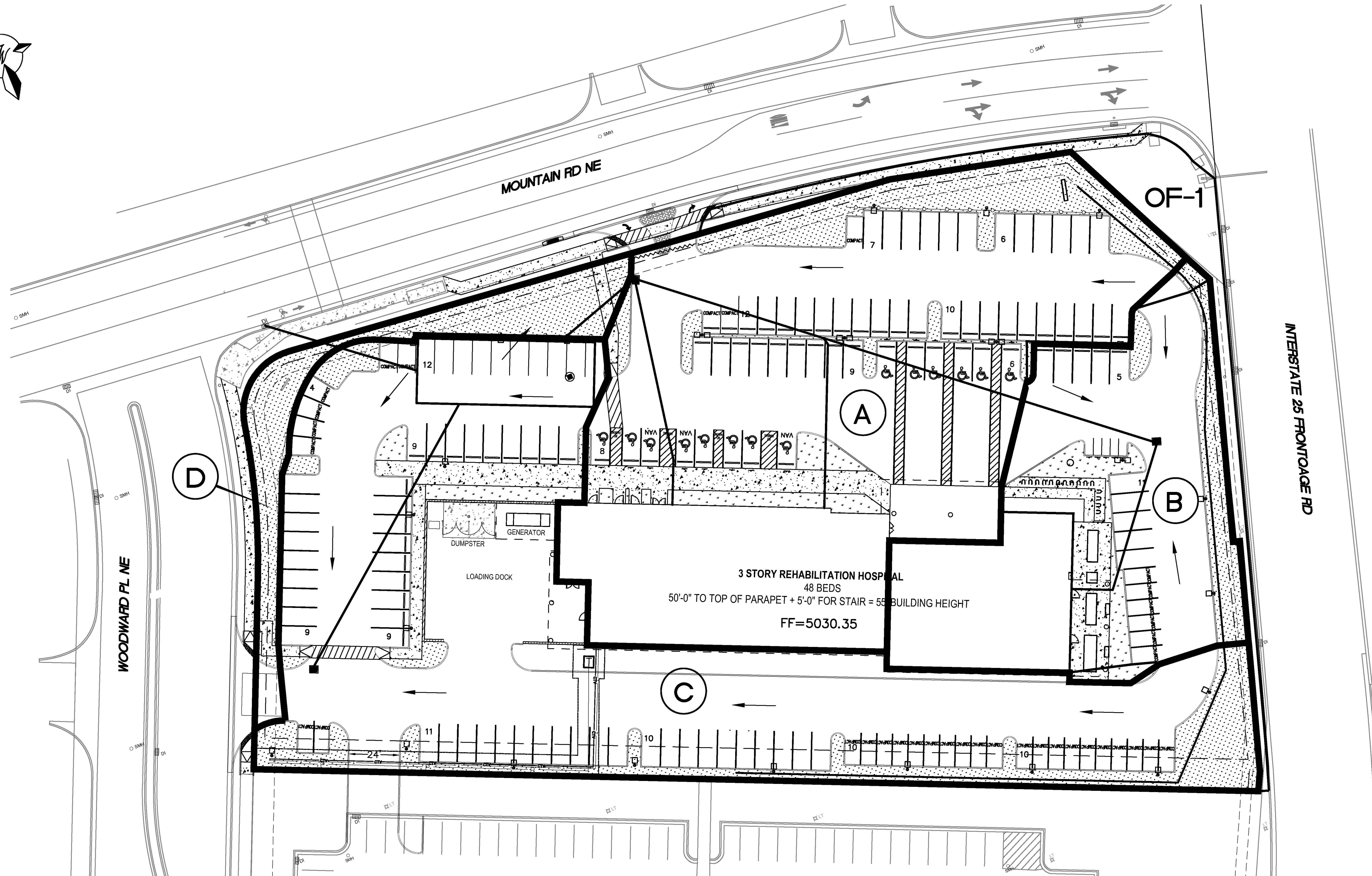
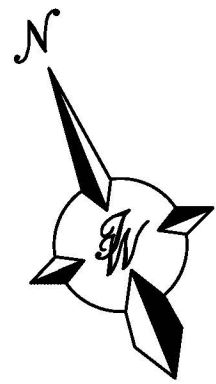
CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



STRUCTURE TABLE		
STRUCTURE	GRATE	INVERT
INLET 1	5020.00	5017.00
INLET 2	5025.30	5021.30
INLET 3	5028.90	5024.90 IN 5024.80 OUT
INLET 4	5027.05	5023.00 IN 502.90 OUT

	NOBIS REHAB HOSPITAL 1100 WOODWARD PL.	DRAWN BY pm
	GRADING PLAN	DATE 7-14-25
	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-1
RONALD R. BOHANNAN P.E. #7868		JOB # 2023123



EXISTING DRAINAGE:

THIS SITE IS LOCATED AT THE SOUTHEAST CORNER OF WOODWARD PLACE AND MOUNTAIN ROAD. THE SITE IS BOUNDED BY A HOTEL ON THE SOUTH, BY WOODWARD PLACE ON THE EAST, MOUNTAIN ROAD ON THE NORTH AND THE INTERSTATE 25 FRONTAGE ROAD ON THE EAST CONTAINING APPROXIMATELY 2.75 ACRES. THE SITE IS CURRENTLY VACANT AND DRAINS FROM EAST TO WEST. THERE ARE MINIMAL OFFSITE FLOWS THAT ENTER THE SITE FROM THE EAST ALONG THE FRONTAGE ROAD. THE SITE IS NOT LOCATED IN A FLOOD PLAIN AS SHOWN ON FIRM MAP 35001C0334G. THE SITE CURRENTLY DISCHARGES 8.37 CFS.

PROPOSED DRAINAGE:

THE PROJECT IS LOCATED WITHIN THE GATEWAY CENTER MASTER DRAINAGE PLAN AREA AND CONSISTS OF THREE DEVELOPED BASINS WITHIN THAT PLAN AREA. BASIN A-1 CONSISTS OF MOST OF THIS PROJECT AREA AND MAY RELEASE A RESTRICTED DISCHARGE OF 2.90 CFS TO THE EXISTING STORM SEWER LOCATED IN WOODWARD PLACE. BASIN A-2 CONSISTS MAINLY OF AN OFFSITE AREA ALONG THE FRONTAGE ROAD THAT DRAINS THROUGH THE SITE AND FREELY DISCHARGES 1.44 CFS TO MOUNTAIN ROAD. BASIN A-3 IS THE SLOPE ALONG MOUNTAIN ROAD AND FREELY DISCHARGES 0.77 CFS TO THE STREET WHICH IS CAPTURED IN EXISTING DROP INLETS.

THE PROPOSED SITE IS DIVIDED INTO FOUR NEW BASINS. BASINS A, B AND C WILL DRAIN TO DROP INLETS AND BE CONVEYED TO AN UNDERGROUND DETENTION FACILITY THAT WILL DISCHARGE AT A CONTROLLED RATE TO THE EXISTING STORM SEWER IN WOODWARD PLACE. BASIN D IS A SLOPED AREA DRAINING 0.31 CFS TO WOODWARD PLACE AND MOUNTAIN ROAD. BASIN OF-1 IS THE OFF-SITE BASIN THAT WILL BE ALLOWED TO PASS THROUGH THE SITE. PER THE GATEWAY CENTER MASTER DRAINAGE PLAN THIS SITE MAY DISCHARGE A TOTAL OF 5.09 CFS TO THE EXISTING STORM SEWER. THEREFORE THE DISCHARGE FROM THE UNDERGROUND DETENTION FACILITY WILL BE LIMITED TO 4.78 CFS AS 0.31 CFS WILL SURFACE DISCHARGE TO THE STREET.

THE UNDERGROUND DETENTION FACILITY WILL RETAIN THE REQUIRED WATER QUALITY VOLUME OF 2,086 CUBIC FEET, WHICH WILL BE ALLOWED TO INFILTRATE INTO THE GROUND.

POND			
Ab - Bottom Of The Pond Surface Area			
At - Top Of The Pond Surface Area			
D - Water Depth			
Dt - Total Pond Depth			
C - Change In Surface Area / Water Depth			
Volume = Ab * D + 0.5 * C * D ²			
C = (At - Ab) / Dt			
Ab = 2,400.00			
At = 2,400.00			
Dt = 7.00			
C = 0.00			
ACTUAL ELEV.	DEPTH (FT)	VOLUME (AC-FT)	Q (CFS)
5019.50	0.00	0.00	0.0000
5021.50	2.00	0.1102	2.3802
5022.50	3.00	0.1653	3.0165
5023.50	4.00	0.2204	3.5402
5024.50	5.00	0.2755	3.9958
5025.50	6.00	0.3306	4.4046
5026.50	7.00	0.3857	4.7785
Orifice Equation			
Q = CA SQRT(2gH)			
C = 0.6			
Diameter (in) = 8.4			
Area (ft ²) = 0.385			
g = 32.2			
H (Ft) = Depth of water above center of orifice			
Q (CFS) = Flow			

Weighted E Method

On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
OF-1	5,065	0.12	0%	0	0%	0.00	100%	0.12	0%	0.00	1.030	0.010	0.35	0.480	0.005	0.18
A	44,804	1.03	0%	0	14%	0.14	0%	0.00	86%	0.88	2.116	0.181	4.18	1.341	0.115	2.53
B	20,855	0.48	0%	0	13%	0.06	0%	0.00	87%	0.42	2.131	0.085	1.95	1.353	0.054	1.19
C	48,464	1.11	0%	0	19%	0.21	0%	0.00	81%	0.90	2.039	0.189	4.41	1.280	0.119	2.64
D	5,464	0.13	0%	0	93%	0.12	0%	0.00	7%	0.01	0.907	0.009	0.31	0.385	0.004	0.13
										2.21	0.455	10.86				

Equations:

Weighted E = Ea * Aa + Eb * Ab + Ec * Ac + Ed * Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Water Quality Calculation: 0.26" x 2.21 ac = 2,086 cubic feet (0.048 ac-ft)

Excess Precipitation, E (inches)		
Zone 2	100-Year	10 - Year
Ea	0.62	0.15
Eb	0.8	0.3
Ec	1.03	0.48
Ed	2.33	1.51

Peak Discharge (cfs/acre)		
Zone 2	100-Year	10 - Year
Qa	1.71	0.41
Qb	2.36	0.95
Qc	3.05	1.59
Qd	4.34	2.71

Pipe Capacity

Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	18	0.60	1.77	0.375	8.16	4.41	2.50
2	18	0.74	1.77	0.375	9.06	1.95	1.10
3	18	2.22	1.77	0.375	15.69	6.48	3.67
4	18	3.00	1.77	0.375	18.24	4.78	2.70

Manning's Equation:

$Q = 1.49/n * A * R^{2/3} * S^{1/2}$

A = Area

R = D/4

S = Slope

n = 0.013



NOBIS REHAB HOSPITAL
1100 WOODWARD PL.

GRADING PLAN
BASIN MAP

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY

pm

DATE

7-14-25

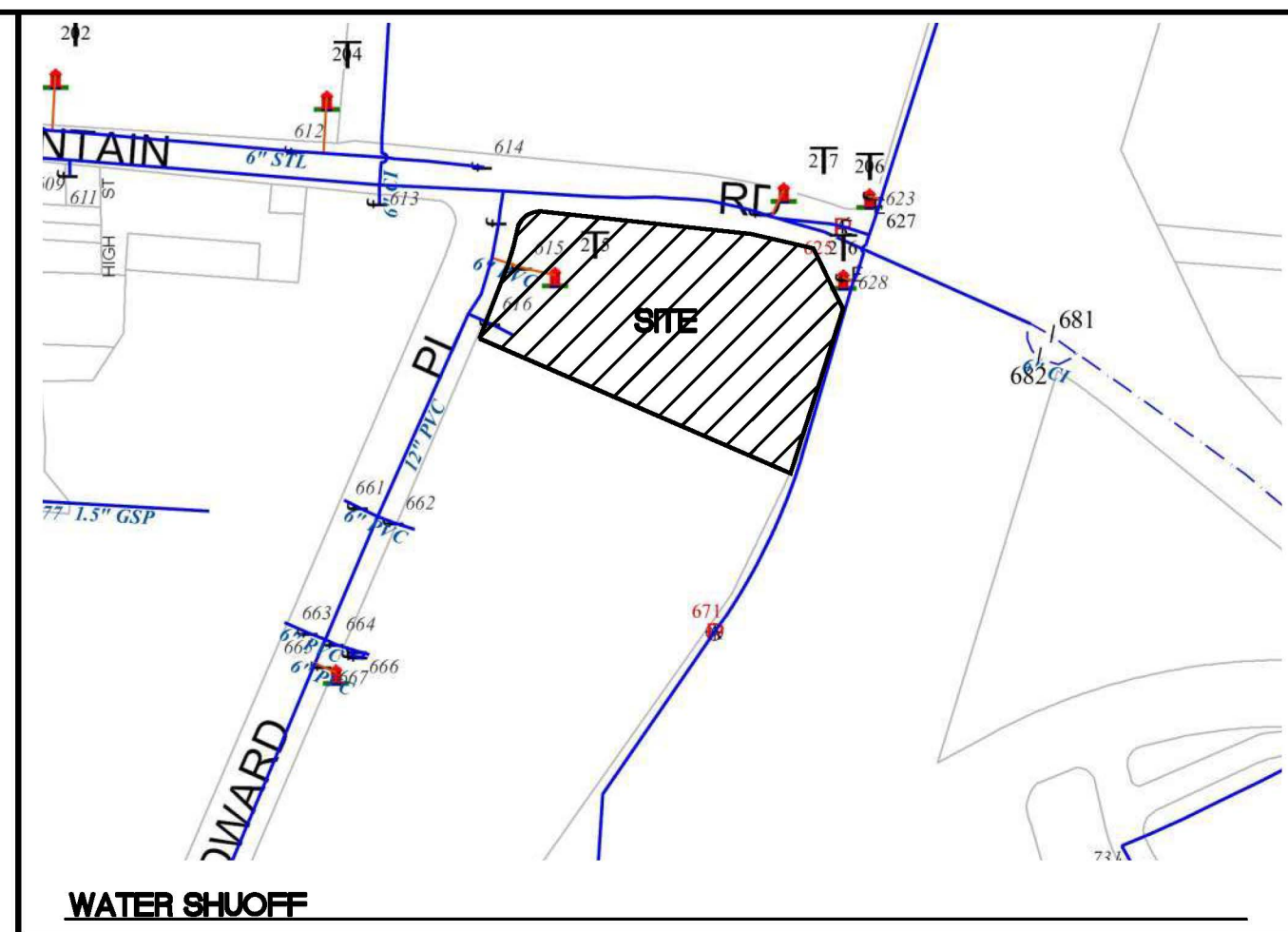
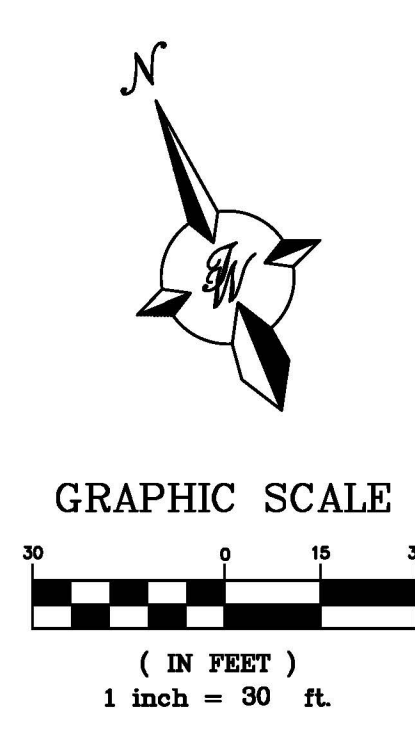
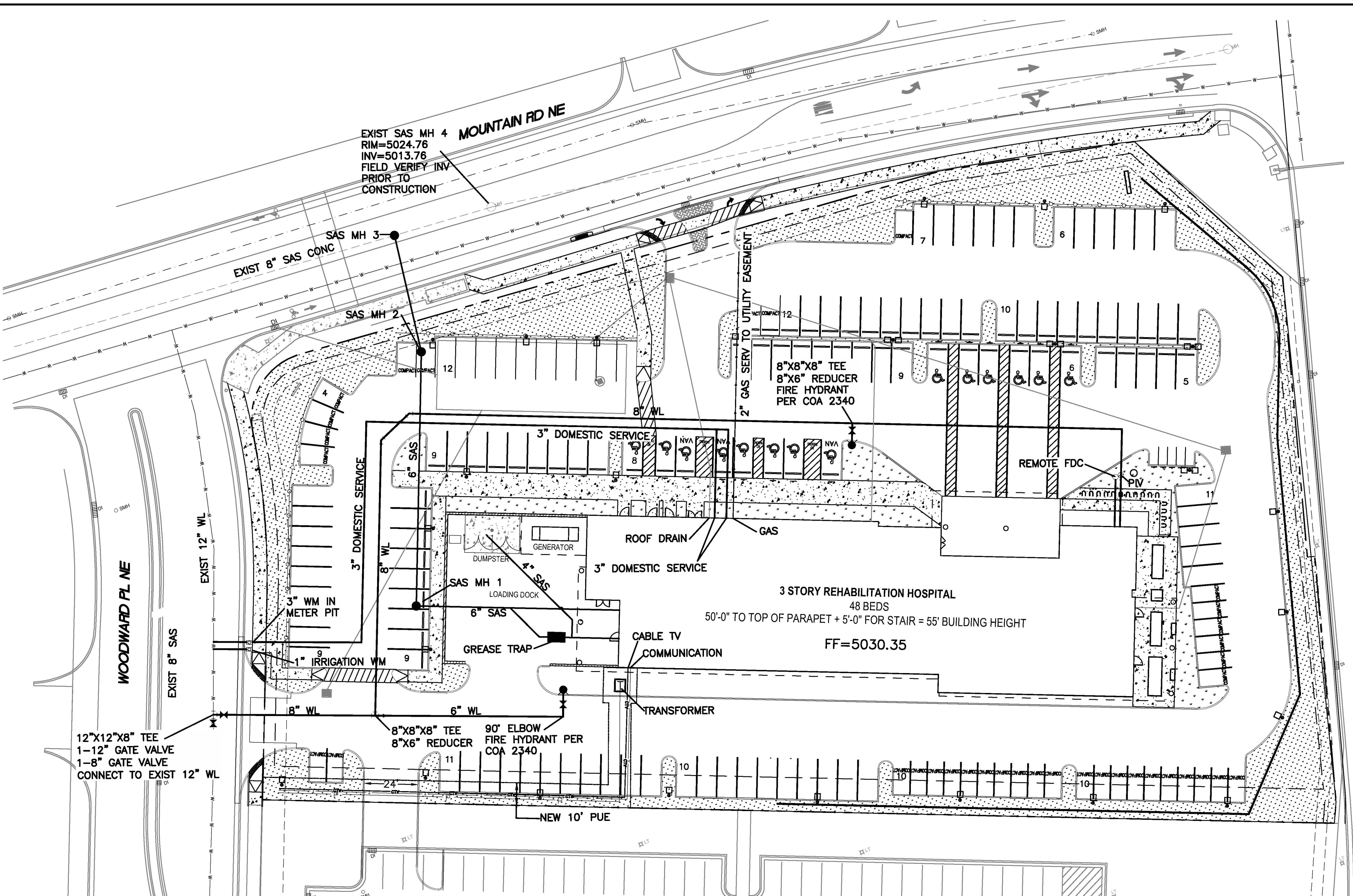
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SHEET #

GR-2

JOB #

2023123



THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).

GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE, DOMESTIC, AND IRRIGATION LINES MUST HAVE BACKFLOW PREVENTORS PER THE ABCWUA CROSS CONNECTION ORDINANCE.
- ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
- SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
- COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

GENERAL NOTES

- COMPACTION IN CITY OR STATE RIGHT-OF-WAYS SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS
- SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE AND TYPE IV, CLASS 2 FOR CABLE IN CONDUIT, TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
- IF TRENCH-RUN MATERIAL MEETS BACK FILL MATERIAL TYPE REQUIREMENTS, 3" BEDDING MAY BE OMITTED PROVIDED THE TRENCH BOTTOM IS SMOOTH, FLAT AND WITHOUT SURFACE IRREGULARITIES.
- SEPARATION BETWEEN JACKETED PRIMARY AND COMMUNICATION CABLES SHALL BE AT LEAST 12".
- SPOIL PILE SHALL BE PLACED ON THE FIELD SIDE A MINIMUM OF 2' FROM TRENCH EDGE.
- WATER LINES SHALL MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES AND MAY BE INSTALLED EITHER ABOVE OR BELOW OTHER UTILITIES DEPENDING ON FREEZE DEPTH.
- LATEST OSHA TRENCH SAFETY REQUIREMENTS SHALL BE STRICTLY OBSERVED.
- WARNING TAPE SHALL BE PLACED A MINIMUM OF 12" ABOVE THE UPPER LEVEL OF UTILITIES AT THE CENTER OF TRENCH.
- WHEN BINGING CABLES TO PEDESTALS, 12" SEPARATION MUST BE MAINTAINED FROM THE GAS LINE.
- PNM OWNED OR MAINTAINED STREETLIGHT CIRCUITS MAY BE INSTALLED IN TRENCH NEXT TO ELECTRIC CABLES.
- PRIVATE AREA LIGHTING OR PRIVATE STREETLIGHT CIRCUITS MAY NOT BE IN JOINT TRENCH.
- GAS SERVICE MUST BE 12" AWAY FROM WHERE IT WILL PASS EQUIPMENT OR PEDESTALS.

REFERENCES

- NESC RULE 352, 353, 354.

STRUCTURE TABLE

STRUCTURE	RIM	INV IN	INV OUT
SAS MH 1	5027.48	5019.90	5019.80
SAS MH 2	5028.00	5018.10	5018.00
SAS MH 3	5022.75	5013.00	5012.64

ALL SAS MH'S ARE TYPE 'C' 4' DIA
PER COA DWG 2101

SEE SHEET DET-2 FOR
UTILITY TRENCH AND
BEDDING DETAIL

INSPECTION NOTE

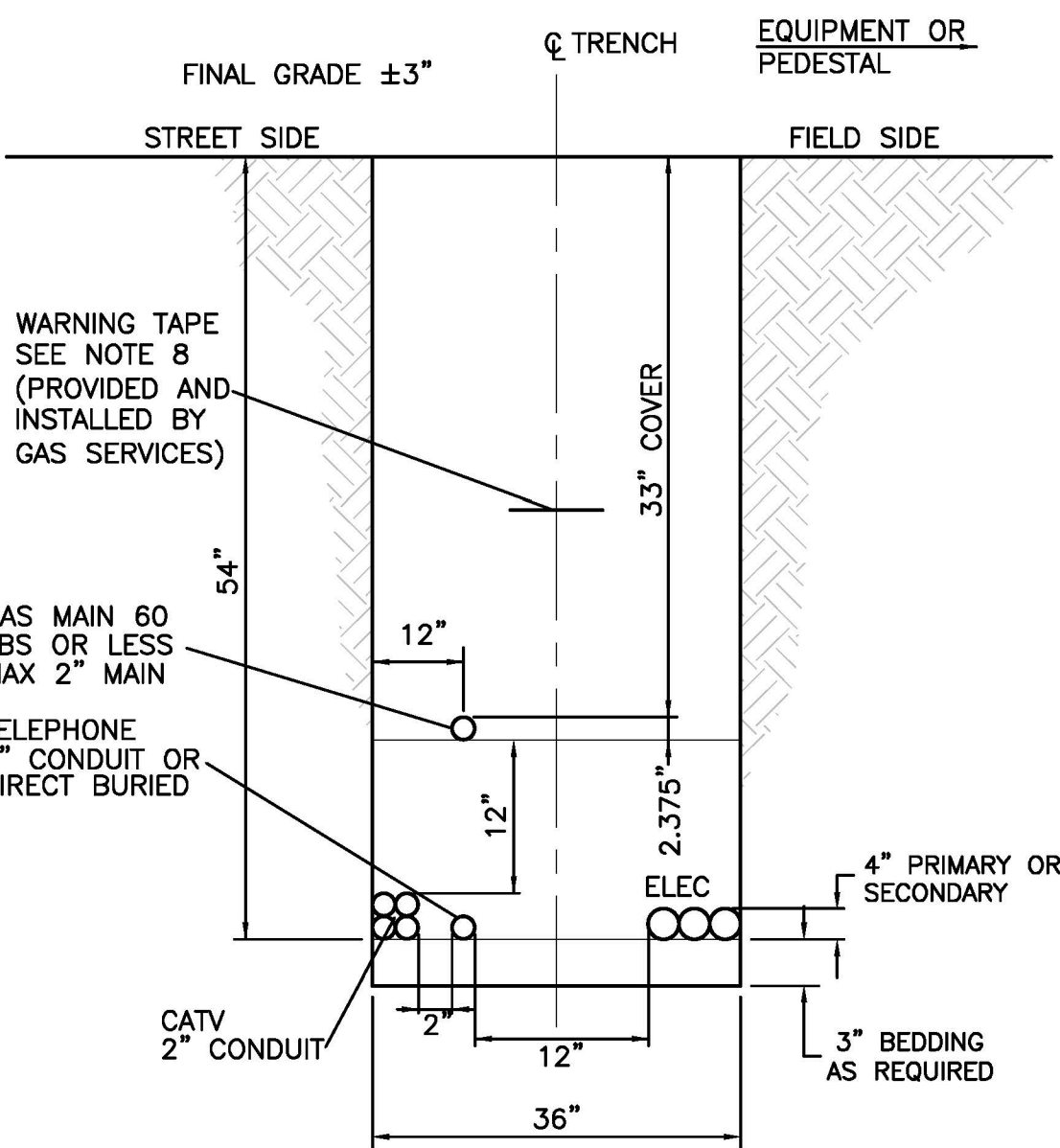
CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

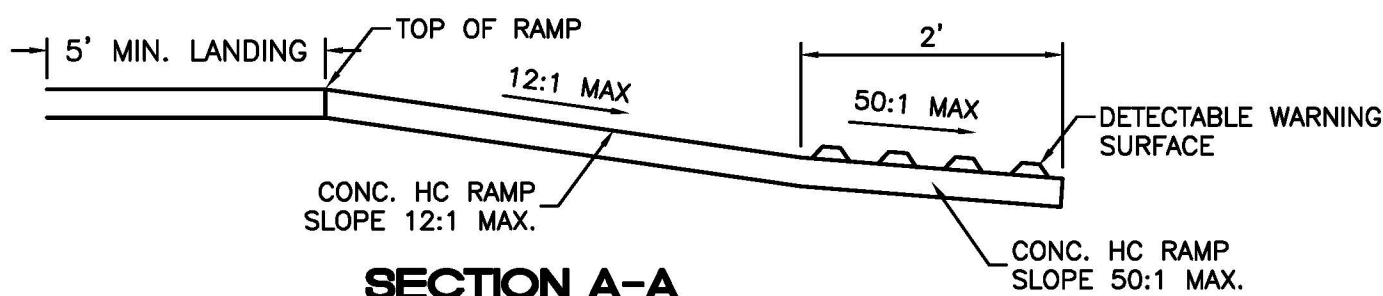
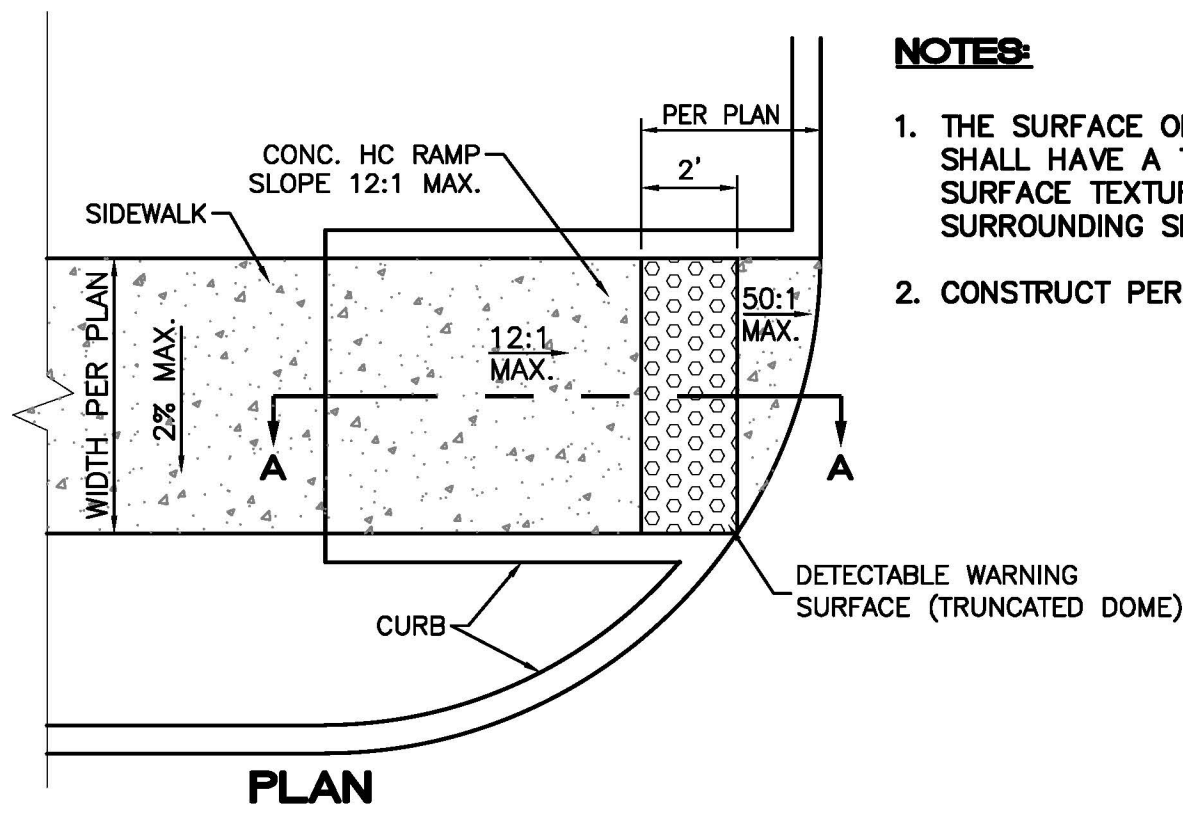
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- RETAINING WALL
- 8" SAS
- 8" WL
- PROPOSED HYDRANT
- NEW SAS MH
- NEW WATER METER
- COMMUNICATION LINE
- CTV
- CABLE TV LINE



TYPICAL TRENCH DETAIL
NTS

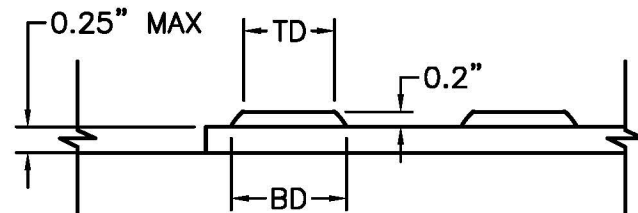
	ENGINEER'S SEAL	NOBIS REHAB HOSPITAL 1100 WOODWARD PL.	DRAWN BY pm
		MASTER UTILITY PLAN	DATE 7-14-25
			DRAWING
		Tierra West, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # MU-1
			JOB # 2023123



UNIDIRECTIONAL HC RAMP
NOT TO SCALE

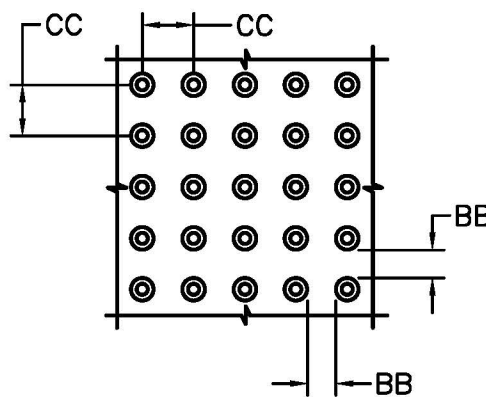
NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



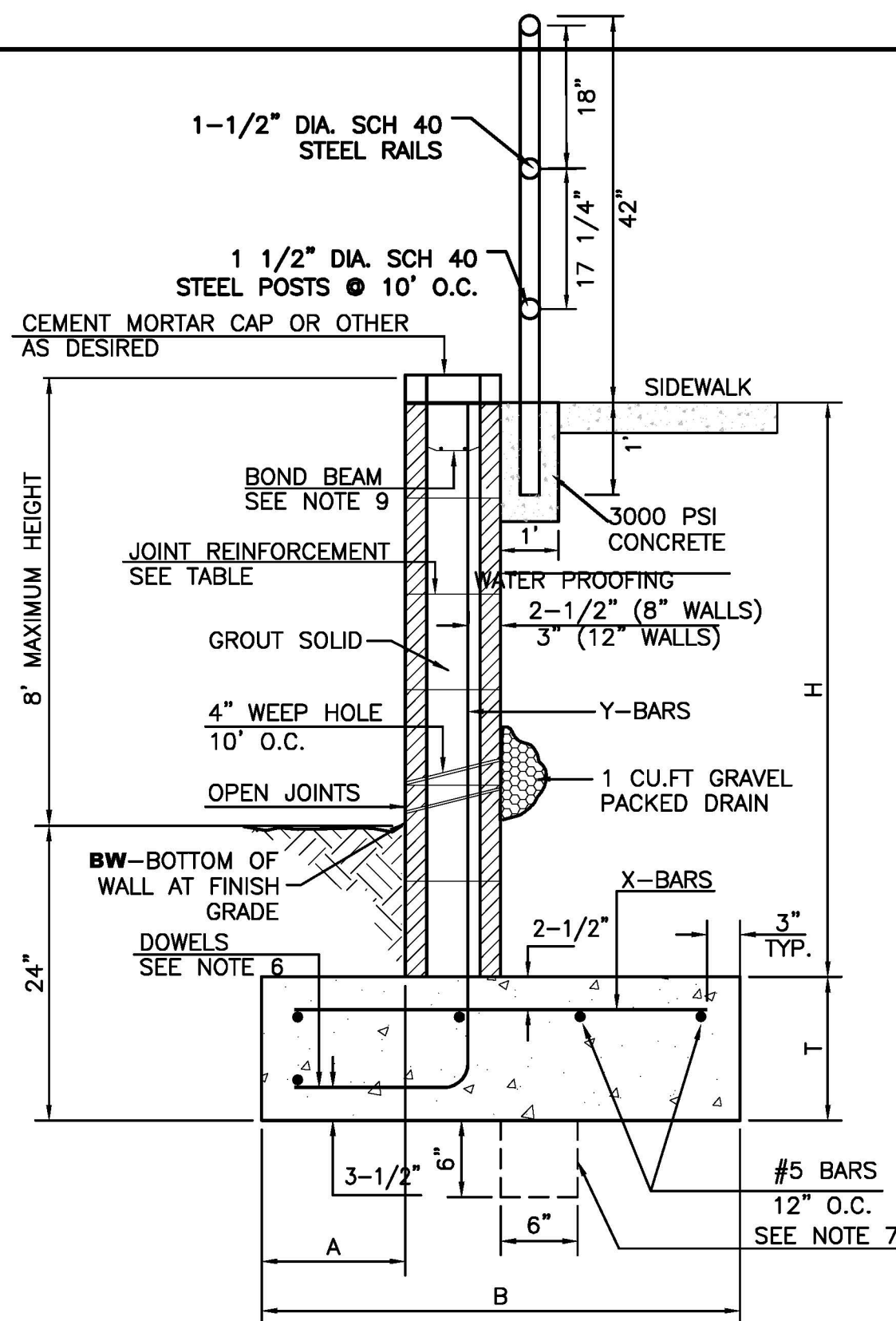
DOME SECTION

BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOME SPACING

CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

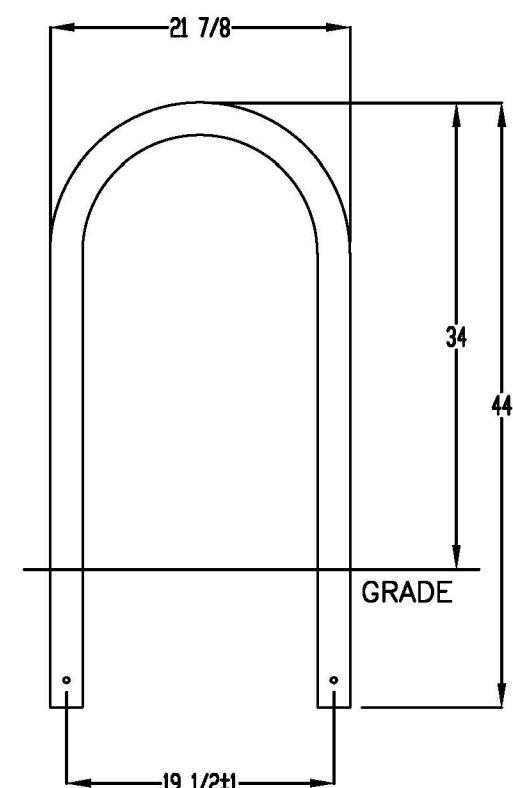
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

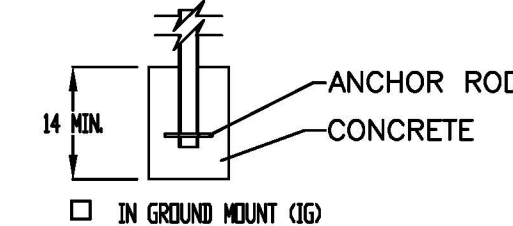
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE \pm 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

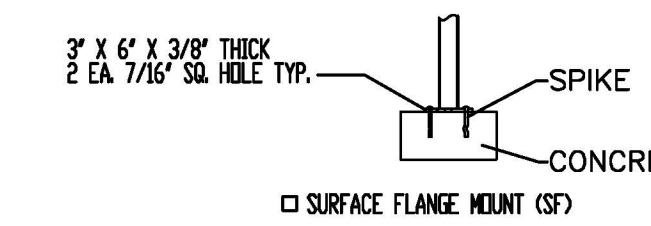
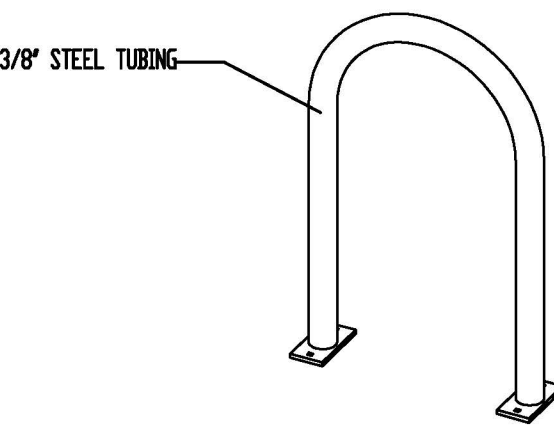


CHECK DESIRED MOUNT



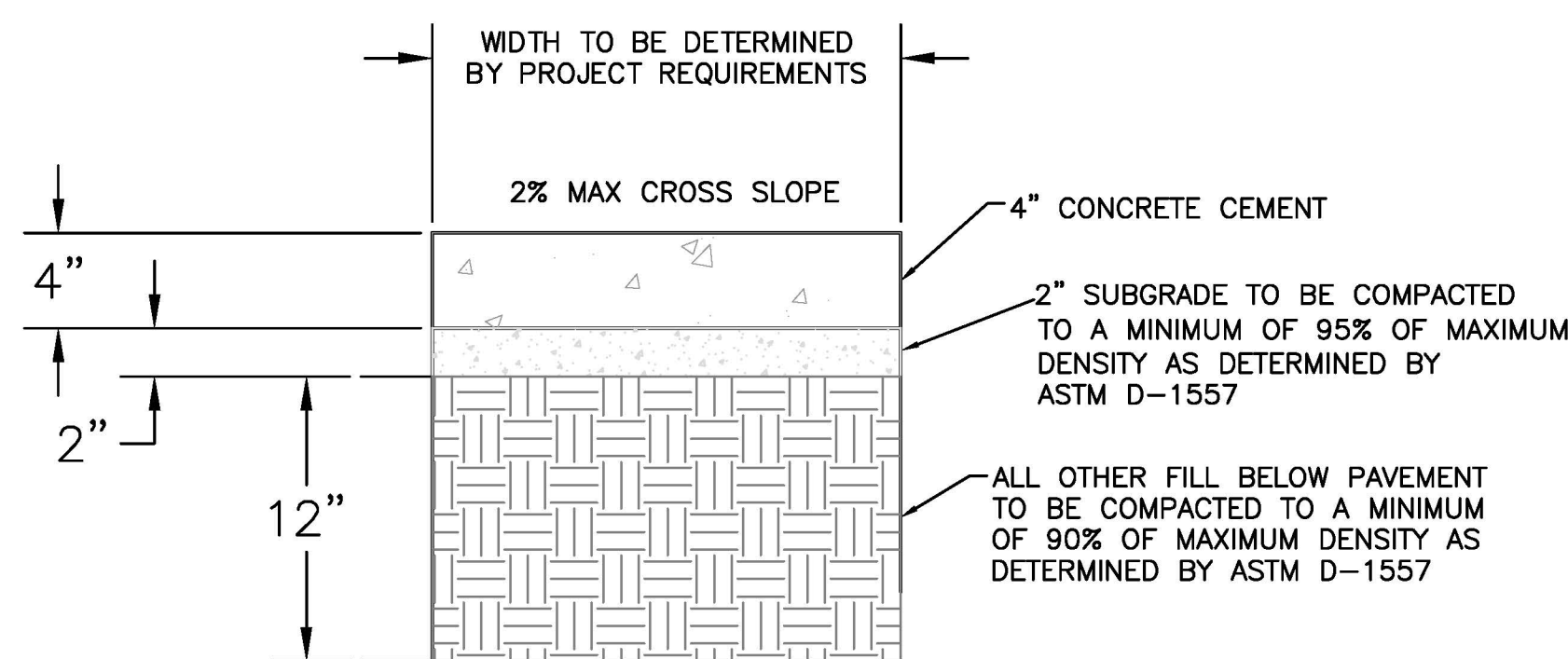
PRODUCT: U238-1G(SF)
DESCRIPTION: 1" BIKE RACK
DATE: 10-4-18
ENG: SPC
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PHONE 448-7930 FAX 849-1080, 849-1081
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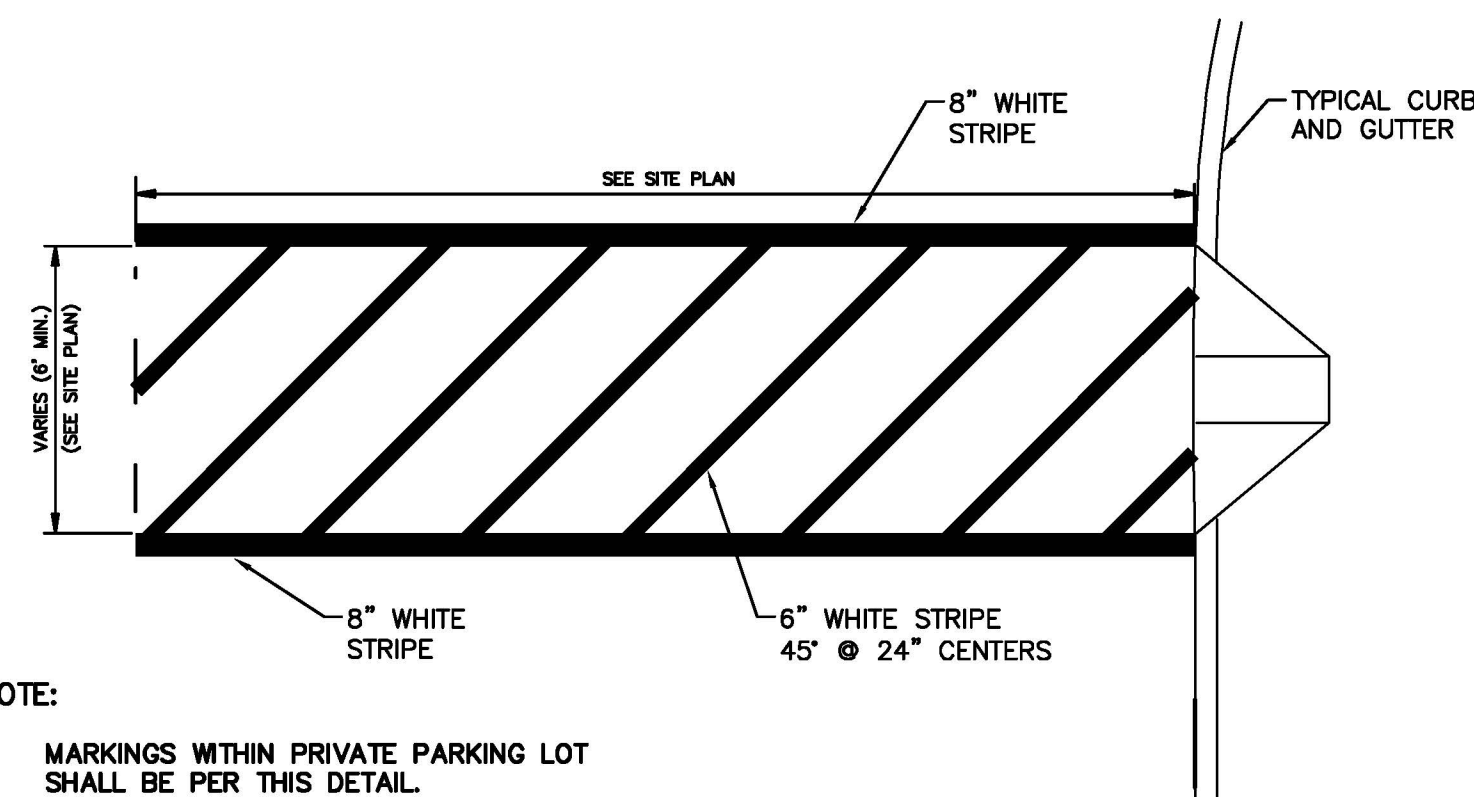


- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT BUREAU.
 4. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
 5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

BIKE RACK DETAIL
NTS



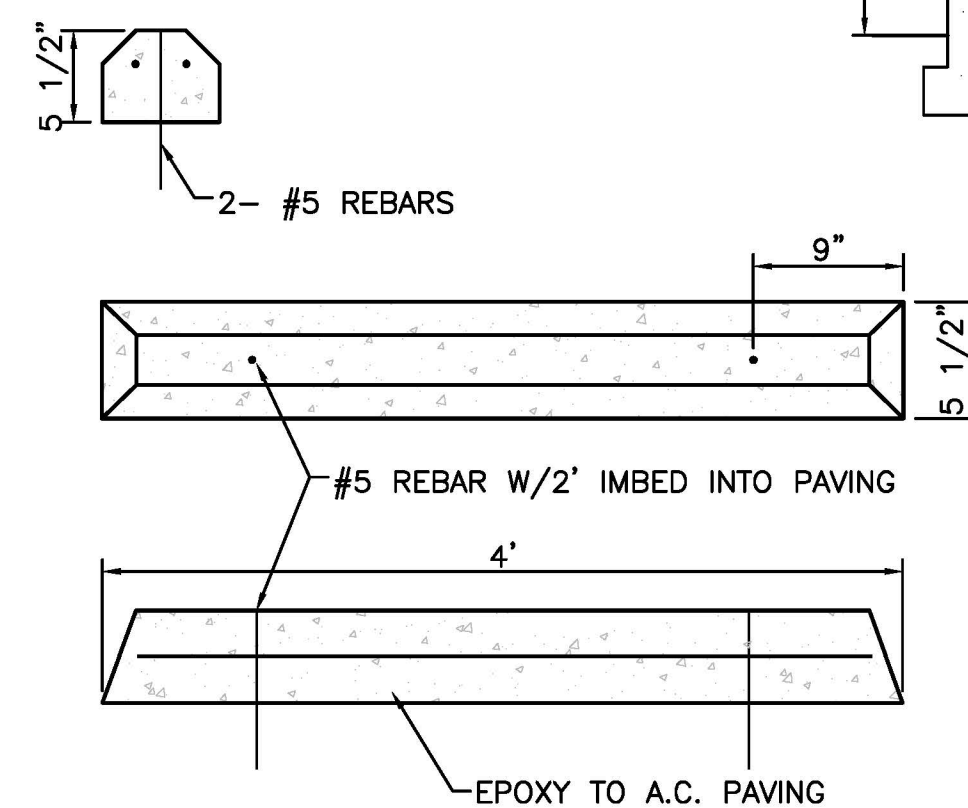
CONCRETE SIDEWALK SECTION



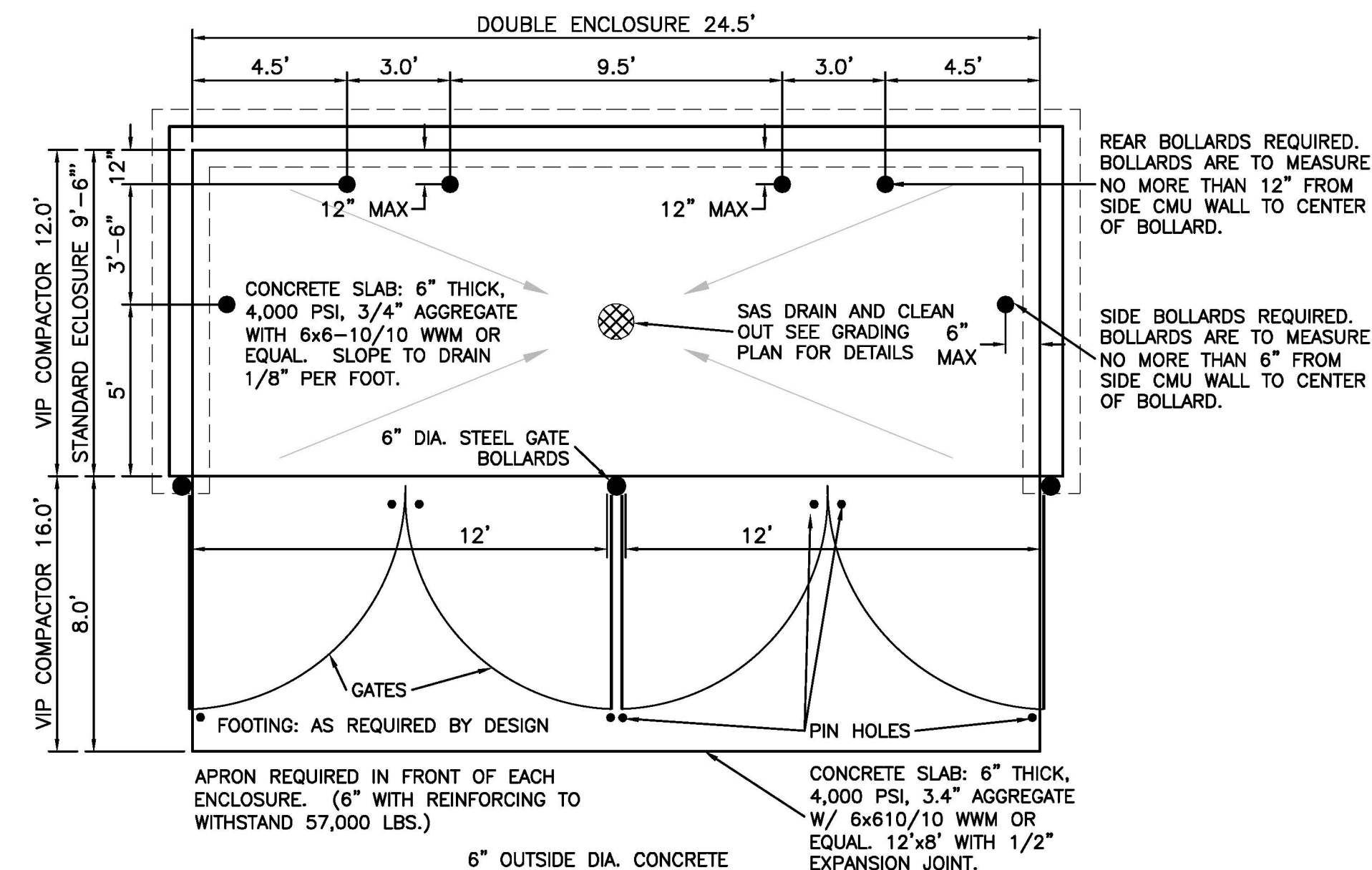
NOTE:

1. MARKINGS WITHIN PRIVATE PARKING LOT SHALL BE PER THIS DETAIL.
2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

CROSSWALK/PED. CROSSING
NTS



WHEEL BUMPER
NTS



DUMPSTER w/SAS DRAIN - ENCLOSURE DETAIL

- NOTE:**
1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
 2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

ENGINEER'S SEAL
RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER
7-14-25
RONALD R. BOHANNAN
P.E. #7868

NOBIS REHAB HOSPITAL
1100 WOODWARD PL.
CONSTRUCTION DETAILS




TIERRA WEST, LLC
5571 MIDWAY PARK PL. NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

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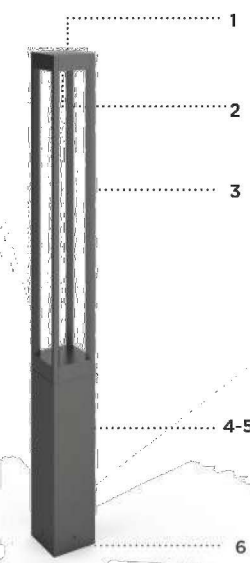
1. BEDDING SHALL BE CLASS I-A WORKED BY HAND, IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 90% STANDARD PROCTOR.
5. FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.
6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.
7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

NTS

<div><div>ENGINEER'S SEAL</div><div></div><div></div><div>RONALD R. BOHANNAN P.E. #7868</div></div>	NOBIS REHAB HOSPITAL 1100 WOODWARD PL.	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 7-14-25
	<div><div></div><div>TIERRA WEST, LLC</div><div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div></div>	DRAWING
	7-14-25	
		JOB # 2023123

LUMINIS®

TYPE:	B1	QUANTITY:	PROJECT:
CATALOG NUMBER:	LQ427	L1L20-R5	277V
FIXTURE	SUFFIX	VOLTAGE	FINISH
			LVR
			K4
			OPTION
			OPTION



- 1 Heavy cast aluminum top cover.
- 2 Optical system assembly.
- 3 4x extruded aluminum struts.
- 4 Cast aluminum driver housing.
- 5 4" (102mm) x 4" (102mm) extruded aluminum square body.
- 6 Cast aluminum mounting base.



MATERIALS

Lumiquad is made of corrosion resistant, 356 aluminum alloy with a copper (Cu) content of less than 0.1%.

ELECTRICAL DRIVER

Standard driver is a 0-10V dimming-ready (dims to 10%) with 120-277 multi-volt compatibility (50-60Hz), operating temperatures of -40°C/-40°F to 55°C/131°F, output over voltage protection, output over current protection, output short circuit protection with auto-recovery, 3000K/3500K/4000K CCT with 80 CRI.

LED

Optional true amber LED for turtle sensitive areas. Wavelength: 585nm to 597nm.

LIFE

60,000hrs L₈₀ (Based on IESNA TM-30 Test Method and LM-80 data). Up to 70,000hrs L₉₀ (calculated projection from LM-80 data).

FINISH

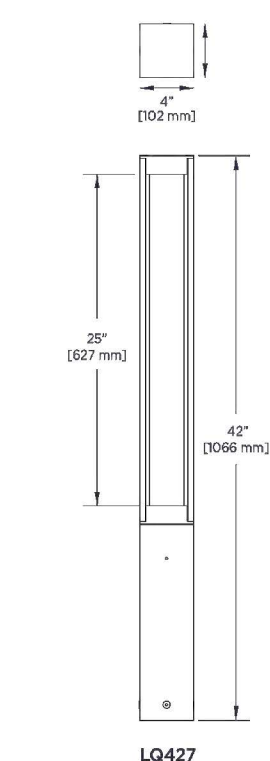
Five-stage preparation process includes preheating of cast aluminum parts for air extraction. Polyester powder coating is applied through an electrostatic process, and oven-cured for long-term finish.

CERTIFICATION

Certified and Approved per CSA C22.2 No. 250.0 standard and ANSI/UL 1598 standard, for wet location. Rated IP65. Photometric testing performed by an independent laboratory in accordance with IES LM-79-08 standards at 25°C. Lumen depreciation in accordance with IESNA LM80 standards.

MOUNTING

Mounts with a set of 4 5/8" x 3/4" galvanized anchor bolts.



LQ427

Rev. 8

LUMINIS Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com
260 Labrosse, Pointe-Claire (QC) Canada H9R 5L5
Luminaires may be altered for design improvement without prior notice.

LUMINIS.COM
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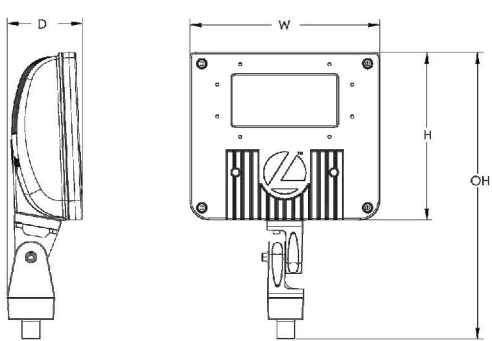
D-Series DSXF1 LED Floodlight



d'series

Specifications

EPA: 0.6 ft² (0.06 m²)
Depth: 3.52" (8.9 cm)
Width: 8.86" (22.5 cm)
Height: 7.84" (19.9 cm)
Overall Height: 13.37" (34.0 cm)
Weight: 7.2 lbs (3.3 kg)



Catalog Number	DSXF1 LED P2 40K NSP MVOLT IS UVB DDBXD
Notes	
Type	SL1

For the Tab key or mouse over the page to see all interactive elements.

Introduction

The D-Series floodlights feature a site-wide offering to meet specifier's every floodlighting need in application. The D-Series flood offers three sizes delivering 3,000 to 27,000 lumens. Available with seven precision optics, three mountings and three color temperatures, D-Series floodlights offer vast design capabilities while delivering significant energy savings and long life.

The DSXF1 delivers 3,000 to 5,500 lumens, meeting a large breadth of illumination requirements for design and renovation when replacing 70W to 150W HID floodlights. All configurations are assembled in the USA allowing for quick delivery.

Ordering Information					
EXAMPLE: DSXF1 LED P1 40K MSP MVOLT THK DDBXD					
Series	Performance Package	Color Temperature	Distribution	Package	Mounting
DSXF1 LED	P1	30K 3000K	WFL Wide flood (63)	MVOLT	347
	P2	40K 4000K	RFL Flood (33)		
		50K 5000K	MLL Medium flood (44)		
			WFLR Wide flood rectangular (63)		
			HMF Horizontal medium flood (64)		
			MSP Medium spot (44)		
			NSP Narrow spot (33)		

Options	Shipped installed	Shipped separately ¹	Finish (see ref.)
PE Photometric, bottom style ²		UVB Open bottom view (see ref.)	DBXD Black
DMG 0-10V dimming when pulled outside fixture (for use with an external control, ordered separately)		FV Full view	DNXD Natural aluminum
SPDWK Separate driver protection		VG Vandal guard	DWHD White

Accessories ³	NOTES
DSXF1S DDBXD 1 Single face 1" (25.4 mm) x 2" (50.8 mm) 12" (304.8 mm) x 12" (304.8 mm)	1. MVOLT driver operates on line voltage from 120-277V.
DSXF1S DDBXD 2 Single face 2" (50.8 mm) x 2" (50.8 mm) 12" (304.8 mm) x 12" (304.8 mm)	2. Requires MVOLT or 347V (not available in 48V).
DSXF1S DDBXD 3 Single face 3" (76.2 mm) x 3" (76.2 mm) 12" (304.8 mm) x 12" (304.8 mm)	3. Also available as an accessory, see Accessories Information at left.
DSXF1S DDBXD 4 Single face 4" (101.6 mm) x 4" (101.6 mm) 12" (304.8 mm) x 12" (304.8 mm)	
DSXF1S DDBXD 5 Single face 5" (127 mm) x 5" (127 mm) 12" (304.8 mm) x 12" (304.8 mm)	
DSXF1S DDBXD 6 Single face 6" (152.4 mm) x 6" (152.4 mm) 12" (304.8 mm) x 12" (304.8 mm)	
DSXF1S DDBXD 7 Single face 7" (177.8 mm) x 7" (177.8 mm) 12" (304.8 mm) x 12" (304.8 mm)	
DSXF1S DDBXD 8 Single face 8" (203.2 mm) x 8" (203.2 mm) 12" (304.8 mm) x 12" (304.8 mm)	
DSXF1S DDBXD 9 Single face 9" (228.6 mm) x 9" (228.6 mm) 12" (304.8 mm) x 12" (304.8 mm)	
DSXF1S DDBXD 10 Single face 10" (254 mm) x 10" (254 mm) 12" (304.8 mm) x 12" (304.8 mm)	

For more mounting options, visit our www.luminis.com website.



One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (3738) • www.lithonia.com
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DSXF1 LED
Rev. 04/19/23
Page 1 of 6



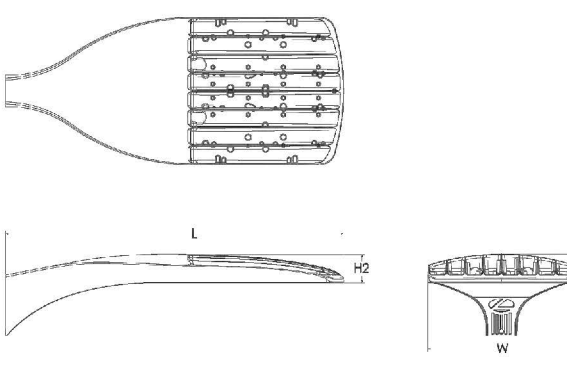
D-Series Size 1 LED Area Luminaire



d'series

Specifications

EPA: 0.69 ft² (0.06 m²)
Length: 32.71" (83.1 cm)
Width: 14.25" (36.2 cm)
Height H1: 7.88" (20.0 cm)
Height H2: 2.73" (6.9 cm)
Weight: 34 lbs (15.4 kg)



Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information			EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD				
Series	LEDs	Color temperature	Color Rendering Index	Distribution	Voltage	Mounting	
DSX1 LED	Forward optics	(this section 70CRI only)					
DSX1 LED	P1 P6	30K 3000K	70CRI	AFR Automotive front row	TSM Type I medium	MVOLT (120V/120V)	Shipped included
	P2 P7	40K 4000K	70CRI	T1S Type I short	T3LG Type I low glare	HYVAL (24V/480V)	SPA Square pole mounting (65 drilling)
	P3 P8	50K 5000K	70CRI	T3M Type II medium	TSM Type I wide	XVOLT (72V/140V)	SPAS Square pole mounting (65 drilling)
	P4 P9	(this section 80CRI only, extended lead times apply)	80CRI	T3LG Type I low glare	BLCS Type I backlight control	120V	SPAS Square pole mounting (65 drilling)
	P5	40K 4000K	70CRI	14LG Type I low glare	BLCS Type I backlight control	208V	SPAS Square pole mounting (65 drilling)
	P10 P15	27K 2700K	80CRI	TFM Forward three medium	LCCO Left corner cabinet	347V	SPAS Round pole mounting (45 drilling)
	P11 P16	30K 3000K	80CRI		LCCO Right corner cabinet	347V	SPAN Square pole mounting (65 drilling)
	P12 P17	35K 3500K	80CRI				WBA Wall bracket
	P13 P18	40K 4000K	80CRI				NBA Mgmt arm adapter (mounts on 2.5" OD horizontal track)
	P14 P19	50K 5000K	80CRI				
Control options		Option options			Finish options		
Shipped installed		PER7 Seven pin receptacle only (controls ordered separately) ^{1,2}		Shipped installed		DSXSD Non-Brass	
NLTAR2 PIRHN		FAO Field adjustable output ^{1,2}	BLU3 0-10V ball switched dimming, 30% ^{1,2}	SPRVCN 200V surge protection	DSXSD Black		
PIR	high/bw, motion/ambient w/arc & 30-min timing, ambient sensor enabled at 26% ^{1,2,3}	BLU3 0-10V ball switched dimming, 30% ^{1,2}	DWG3 0-10V dimming w/arc ball switch dimming, 30% ^{1,2}	HS1 Household white (black finish standard) ^{1,2}	DWHD White		
	PER NEMA type lock receptacle only (controls ordered separately) ^{1,2}	DWG3 0-10V dimming w/arc ball switch dimming, 30% ^{1,2}	CCE Right control receptacle	ISO Left control receptacle	DWHD Natural Aluminum		
PERS	Non-pin receptacle only (controls ordered separately) ^{1,2}	DWG3 0-10V dimming w/arc ball switch dimming, 30% ^{1,2}	RCO Control receptacle	RCO Control receptacle	DWHD Textured dark bronze		
		DWG3 0-10V dimming w/arc ball switch dimming, 30% ^{1,2}	BA8 Bay Area (California) Act Compliance	SF Single face (120, 247, 347V) ^{1,2}	DWHD Textured black		
		DWG3 0-10V dimming w/arc ball switch dimming, 30% ^{1,2}	DF Double face (120, 247, 480V) ^{1,2}		DWHD Textured white		
		DWG3 0-10V dimming w/arc ball switch dimming, 30% ^{1,2}					
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		DWG3					

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Dallas, TX 75201
t 214.283.8700
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DALLAS, TX 75254

STRUCTURAL
STANTEC
6080 TENNYSON PARKWAY, SUITE 200
PLANO, TX 75024

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ALBUQUERQUE, NM 87109

LANDSCAPING
TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NM 87109

FOOD SERVICE
BOSMA DESIGN SOLUTIONS
2201 LONG PRAIRIE RD, SUITE 107-727
FLOWER MOUND, TX 75022

CONTRACTOR

OPERATOR
NOBIS REHABILITATION PARTNERS, LLC
450 CENTURY PARKWAY SUITE 320
ALLEN, TX 75013

OWNER
KENNOR CROSS INVESTMENTS, LLC
4332 MARSH RIDGE ROAD
CARROLLTON, TX 75010

FACILITY
TUCSON REHABILITATION HOSPITAL
820 E TUCSON MARKETPLACE BLVD
TUCSON, AZ 85713

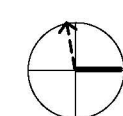
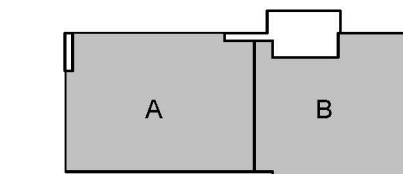


07/31/2025
PROJECT

**ALBUQUERQUE
REHABILITATION
HOSPITAL**
1100 WOODWARE PL NE,
ALBUQUERQUE, NM 87102

**KENNOR CROSS
INVESTMENTS, LLC**
4332 MARSH RIDGE ROAD
CARROLLTON, TX 75010

KEYPLAN



ISSUE CHART

2	ADDENDUM #3	07/31/2025
MARK	ISSUE	DATE
Job Number	147797.000	
TITLE		

**SITE PLAN -
PHOTOMETRICS**

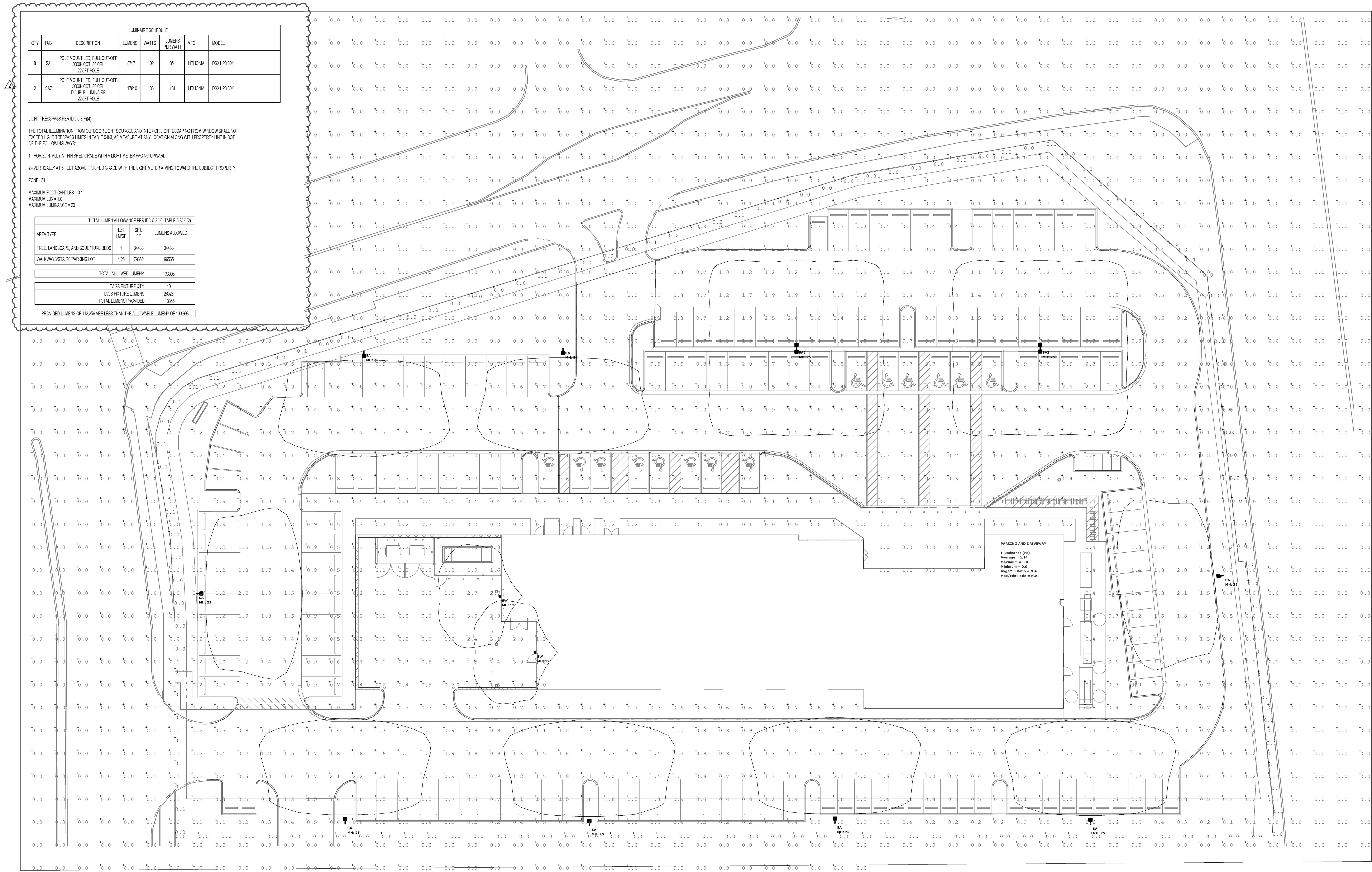
SHEET NUMBER

ES1-01P

6000 Quorum Drive, Suite 400
Dallas, Texas 75254
214.217.9600 p 214.217.9606 f

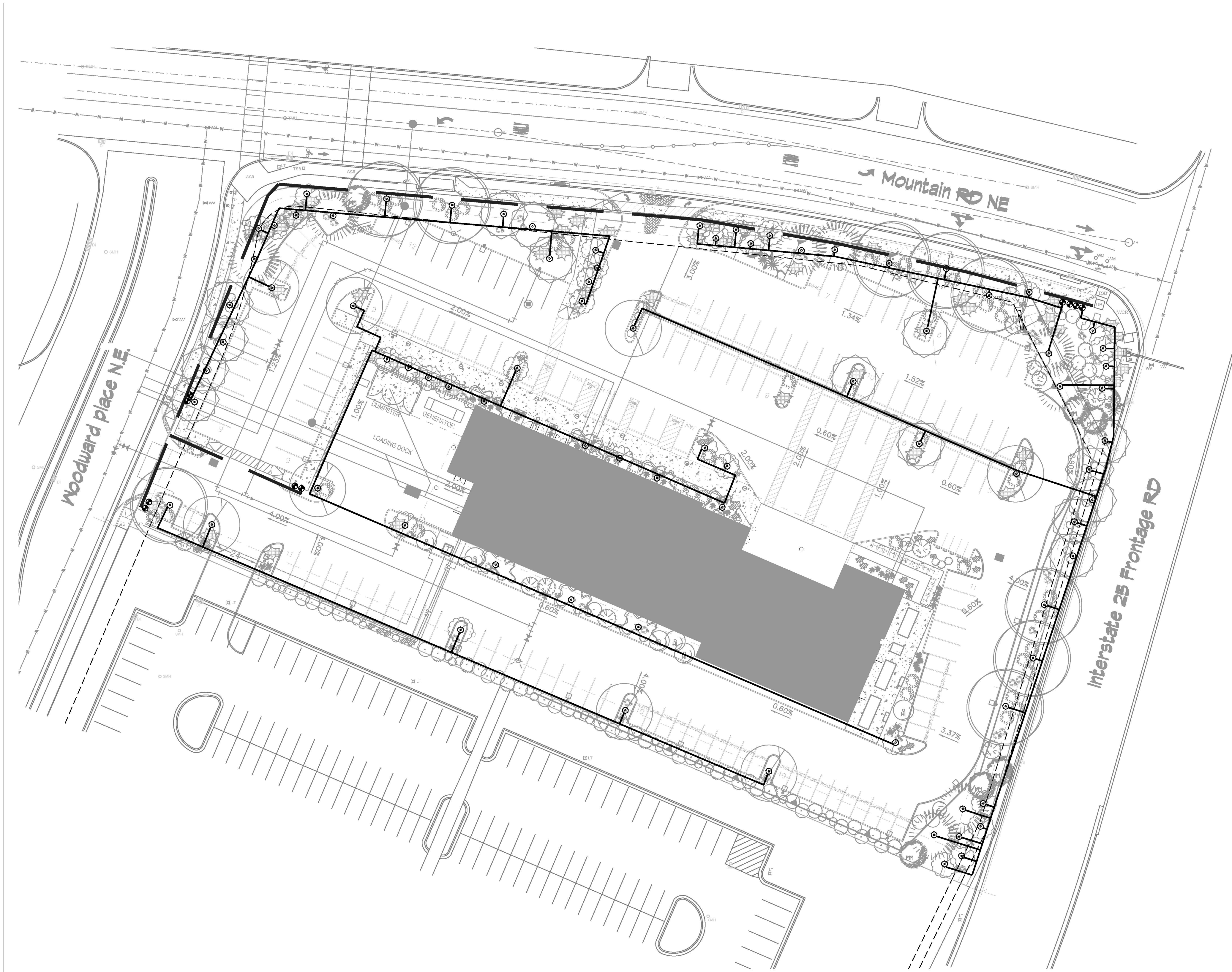
TBPE Firm Registration No. 2234

DBR Project Number	243037			
RH	MD	BL	WM	-



Luminaire Schedule				Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
Symbol	Type	Qty	Manufacturer / Catalog Number					
	SW	2	LITHONIA WDGE2 LED P4 30K 80CRI TFTM MVOLT [MOUNT] [FINISH]	4402	1.000	0.850	1.000	1.000
	SA2	2	LITHONIA DSX1 LED P3 30K 80CRI TSLG MVOLT [MOUNT] [FINISH]	17810	135.58	1.000	0.850	1.000
	SA	8	LITHONIA DSX1 LED P3 30K 80CRI BLC3 MVOLT [MOUNT] [FINISH]	8718	102.17	1.000	0.850	1.000
			DM19AS @ 25' MH					

Calculation Summary						
Calculation Grid Location		Calc. Height (Ft.)	Units	Avg	Max	Avg/Min
GRADE Planar		0	Fc	0.44	3.1	0.0
PROPERTY LINE		N.A.	Fc	0.04	0.3	0.0
PARKING AND DRIVEWAY			Fc	1.14	3.0	0.0



IRRIGATION LEGEND

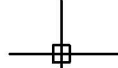
COMPONENT	MANUFACTURER	SIZE / NOTES
POINT OF CONNECTION, PROVIDED BY OTHERS	SEE CIVIL PLANS	1" As Required
IRRIGATION CONTROLLER	HUNTER	1" Cover, Provide Freeze Protection
BACKFLOW PREVENTION DEVICE RFA	FEBCO (OR EQUAL)	1"
MASTERYVALVE ASSEMBLY	HUNTER	1"
MAINLINE	Sch 40 PVC	1"
ELECTRIC ZONE VALVE	HUNTER	1" with Pressure Regulation and Y Filter
SLEEVES	Class 200 PVC	2 SIZES LARGER THAN PIPE TO BE SLEEVED.
Drip Line, Tree Netatm Rings	Class 200 PVC	1"
Drip Line, Shrub Drip Emitter Line	Polyline	3/4" - 1"
Tree Drip Emmitter	RAINBIRD,	SEE DETAIL

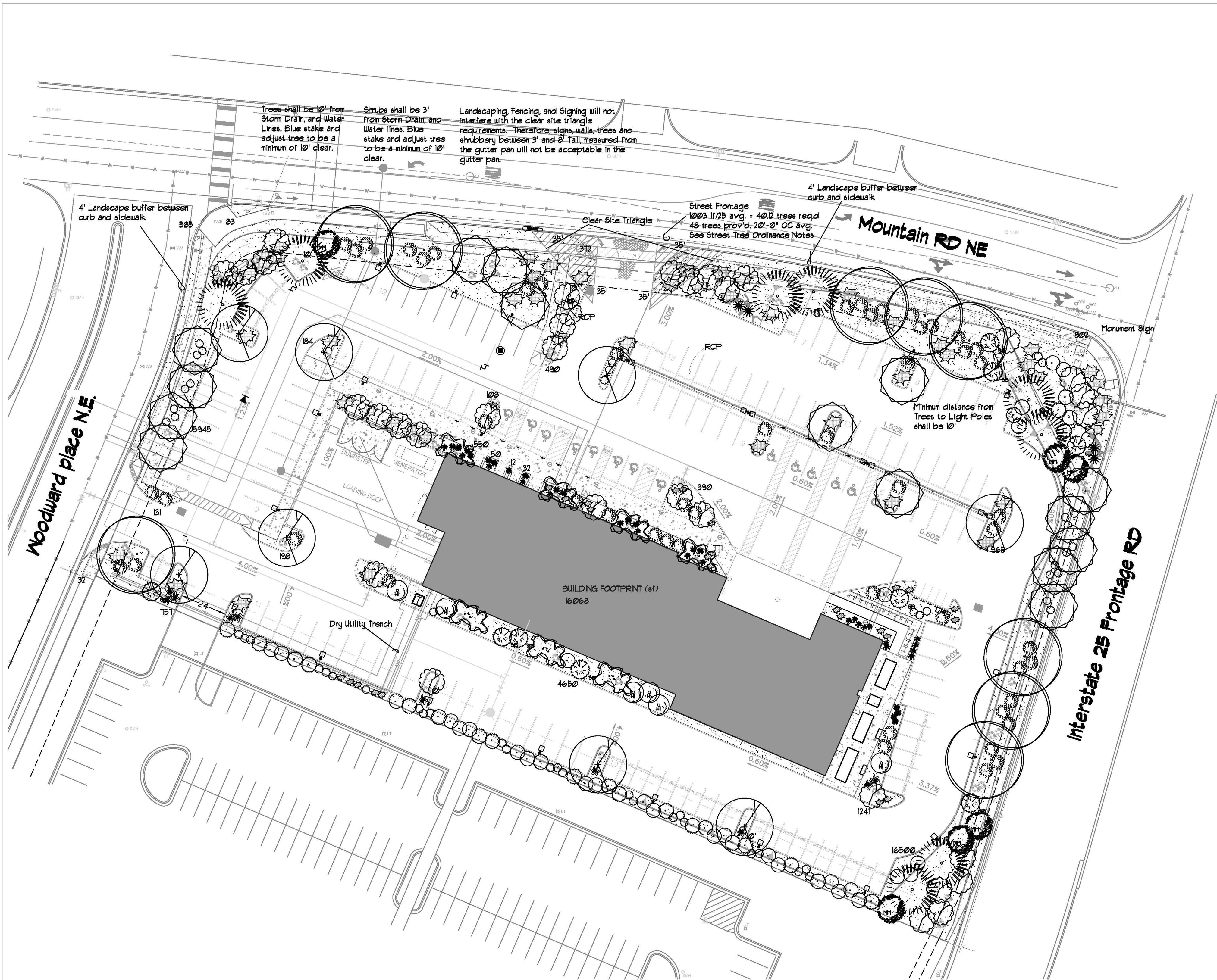
Size Equipment as Required for Flow Rate

IRRIGATION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
 - CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
 - THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
 - ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS, CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
 - THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
 - IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
 - IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN, ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
 - ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
 - SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNER. BACKFLOW PREVENTOR TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER.
- IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM. TREES AND SHRUBS SHALL BE ON SEPARATE VALVES. POINT OF CONNECTION FOR IRRIGATION SYSTEM SHALL BE AS INDICATED ON THE UTILITY PLAN, CIVIL DRAWINGS. LANDSCAPE CONTRACTOR POINT OF CONNECTION AND RESPONSIBILITY SHALL BEGIN DOWNSTREAM OF THE POINT OF CONNECTION. IRRIGATION WILL BE OPERATED BY SMART IRRIGATION SYSTEM AUTOMATIC CONTROLLER, CAPABLE OF MULTI-PROGRAMMING ABILITY. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY THE OWNER. IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. WATER AND POWER SOURCE FOR IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

NOT FOR CONSTRUCTION

Proj. No. 2024-035	Mountain Rehab Hospital Mountain Rd. / I-25		DRAWN BY DM
	LANDSCAPE IRRIGATION		DATE 4/23/2025
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com		SHEET # L2
			JOB # 20231213



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	115591
TOTAL BUILDING AREA (SF)	16075
TOTAL NET LOT AREA (SF)	103516.00
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED	15536

TOTAL ON-SITE LANDSCAPE PROVIDED (SF)	34433
TOTAL VEGETATIVE COVERAGE REQUIRED (SF)	25825
TOTAL VEGETATIVE COVERAGE PROVIDED (SF)	39875
TOTAL GROUND VEGETATIVE COVERAGE REQUIRED (SF)	6456
TOTAL GROUND VEGETATIVE COVERAGE PROVIDED (SF)	9203

Parking Lot Landscaping

Parking Lot	126
One (1) tree per 10 parking spaces	
Tree Required	13
Tree Provided	14
75 percent of the required parking area shall be deciduous canopy-type shade trees	
deciduous Tree Required	10
deciduous Tree Provided	14

LANDSCAPE LEGEND

QTY SIZE COMMON/BOTANICAL H2O USE

Trees

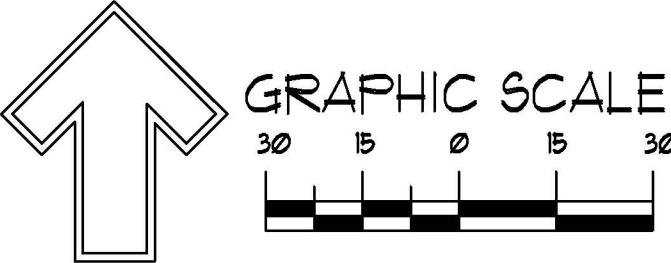
8	2" cal	Chinese Pistache 40x30	107	5656	M+
		<i>Pistacia chinensis</i>			
9	2" cal	Texas Red Oak 40x40	1256	11304	M
		<i>Quercus texana</i> syn buckleyi			
8	6 - 8'	Austrian Pine 35x25	491	3928	M
		<i>Pinus nigra</i>			
1	25 Gal	Crape Myrtle 15x15	176	1232	M
		<i>Lagerstroemia indica</i> x <i>fauriei</i>			
		Tree Form, Multi-Trunk			
34	2" Cal	Pom Pom Redbud 15x12	113	3842	M
		<i>Cercis canadensis</i>			
		Pom Pom Poms			
		Per COA mandate			
15	2" Cal	Desert Willow 20x25	491	7365	M
		<i>Chilopsis linearis</i>			
		Multi-Trunk			
81	Total Trees	Tree Coverage		33321	

Shrubs & Groundcovers

4	4 - 6'	Palm Yucca 15x6	28	112	M
		<i>Yucca taxoniana</i>			
		Note: Install 3 Boulders and 150sf cobble accent			
6	5 Gal	Curly-leaf Mountain Mahogany 15x15	176	1056	L+
		<i>Cercocarpus ledifolius</i>			
9	5 Gal	Spanish Broom 10x10	79	711	M
		<i>Spartium junceum</i>			
6	5 Gal	Rose of Sharon 10x10	79	474	M
		<i>Hibiscus syriacus</i>			
53	5 Gal	India Hawthorne 3x6	28	1484	M
		<i>Raphiolepis indica</i>			
51	5 Gal	Buffalo Juniper 1x8	50	2550	M
		<i>Juniperus sabina</i> 'Buffalo'			
53	5 Gal	Turpentine Bush 3x4	13	689	L
		<i>Eriocarya laricifolia</i>			
19	5 Gal	Knock Out Roses 3x4	13	247	L
		Rosa 'Knock Out'			
27	5 Gal	Apache Plume 6x1	39	1053	L
		<i>Fallugia paradoxa</i>			
27	5 Gal	Chamisa 5x5	20	540	L
		<i>Chrysothamnus nauseosus</i>			
10	5 Gal	Beargrass 3x3	7	70	L
		<i>Nolina texana</i>			
17	5 Gal	Dwarf Fountain Grass 3x3	7	119	M
		<i>Pennisetum alopecuroides</i> 'Hamelin'			
14	5 Gal	Karl Foerster Grass 25x3	7	98	M
		<i>Calamagrostis acutiflora</i> 'Karl Foerster'			
262	Total Shrubs	Shrub Coverage		9203	

35630 SF	Landscape Area Ground Treatment
25825 SF	75% 7/8" Santa Fe Brown, Filter Fabric
8608 SF	25% Organic Mulch
Note: Trees shall have a 5' dia of organic mulch, min 2" thick.	
Shrubs shall have a 2' dia of organic mulch, min 2" thick.	
Per City of Albuquerque IDO	
54	2-3cft Boulders, Moss Rock
To be placed at contractor discretion	
Buried 1/3, not shown at epc level	

Organic Mulch 25% Required	
Note, Each Tree, min, 5' rad.	78.5sf
89 Trees x 78.5 sf =	6,987
See Tree Detail, a 5' radius of wood mulch is require around each tree w/out Filter Fabric	
Note, Each Shrub, min, 2' rad.	12.56 sf
262 Shrubs x 12.56 sf=	3,291
Total Mulch Provided	10,278
Total Mulch Required	9203

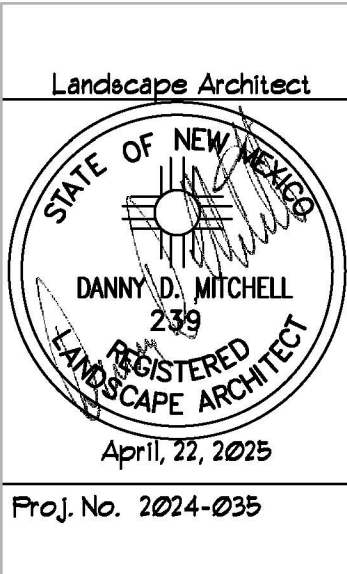


Mitchell Associates, inc



danny@mitchellassociatesllc.com

505.639.9583



Mountain Rehab Hospital
Mountain Rd. / I-25

LANDSCAPE
PLAN

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(505) 858-3100
www.tierrawestllc.com

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DM

DATE
4/23/2025

SHEET #

L1

JOB #
20231213

LANDSCAPE NOTES:

Contractor is responsible for quantity takeoff's. Quantities provided are for COA planning purposes only.

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner.

All landscaping will be in compliance with the City of Albuquerque, Zoning Codes. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

It is the intent of this plan to comply with the City Of Albuquerque Integrated Development Ordinance, Section 14-16-5-6, Landscaping, Buffering, and Screening.

Landscape plant materials used on this plan are derived from the current approved Official Albuquerque Plant Palette and Sizing List.

This landscape plan meets or exceeds all requirements of the COA IDO.

IRRIGATION NOTES:

Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owners responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system, operated by automatic timer.

Point of connection for Irrigation system is unknown at current time.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

Clear Site Triangle Note:

Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.

Street Tree Notes:

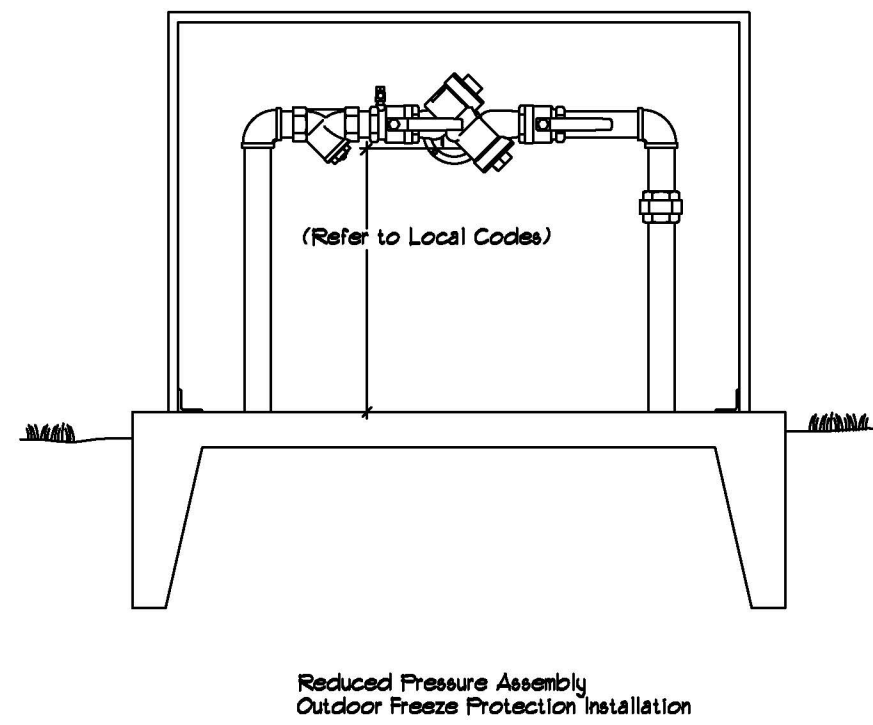
Per Section 5-6(D) (1) (a) Required Street Trees. Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

Section 6-6-2-5 Street Trees (A)

- Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing, and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
- On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

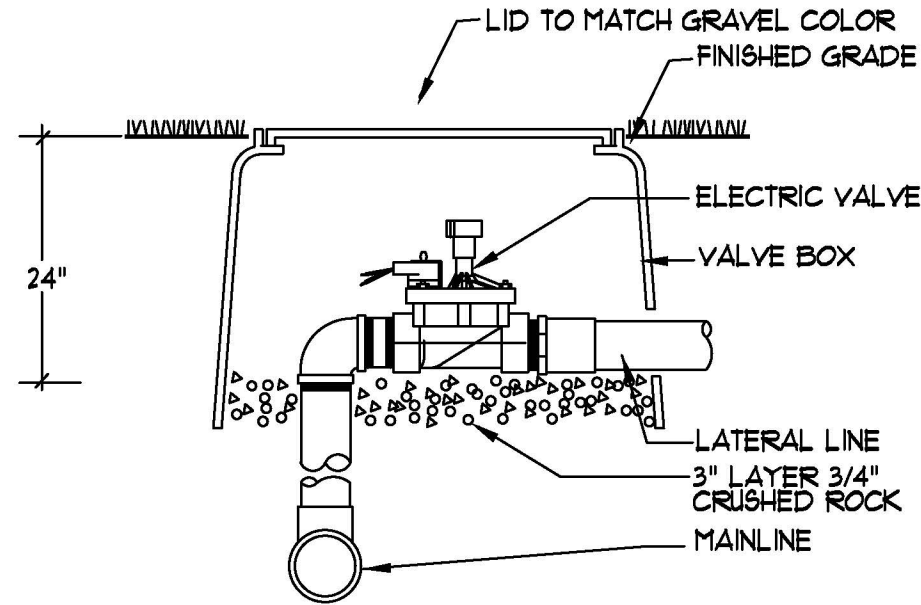
Drainage Basin Treatments
Per City of Albuquerque
Drainage Basin Treatments

The bottom and sides must be seeded with a native mix per City standard specification 10122 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.
For pond bottoms: Gravel 1/2 to 1 inch mulch. One layer thick, not stacked
Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeded will likely be needed. Maintenance will be per City of Albuquerque Specification 10123.1 and 10123.2.
Contractor must weed the basin during/after the first growing season.
Needs city inspection. Stormwater Quality Ordinance-Final stabilization must be accepted by the City.



RPA, HOTBOX TYP.

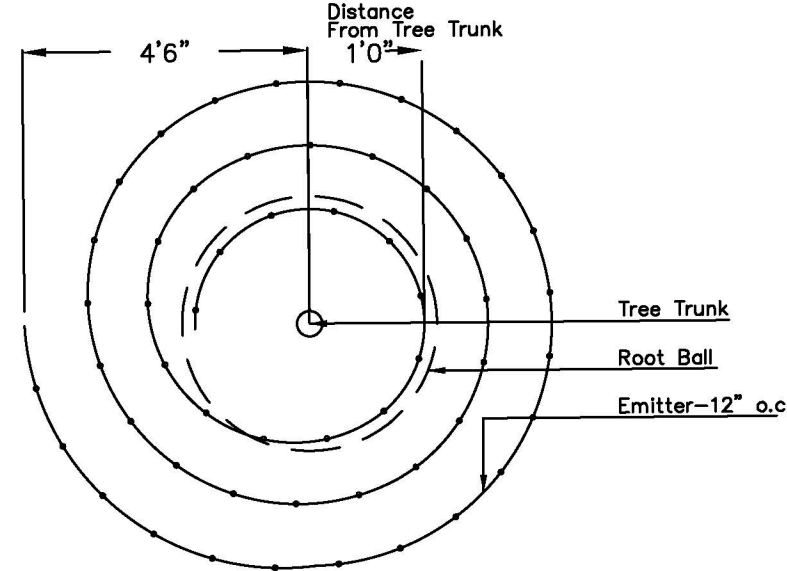
N.T.S.



ELECTRIC VALVE ASSEMBLY

NOTE: ALL IRRIGATION COMPONENTS WILL USE RECLAIMED WATER WHEN IT BECOMES AVAILABLE TO MESA DEL SOL.

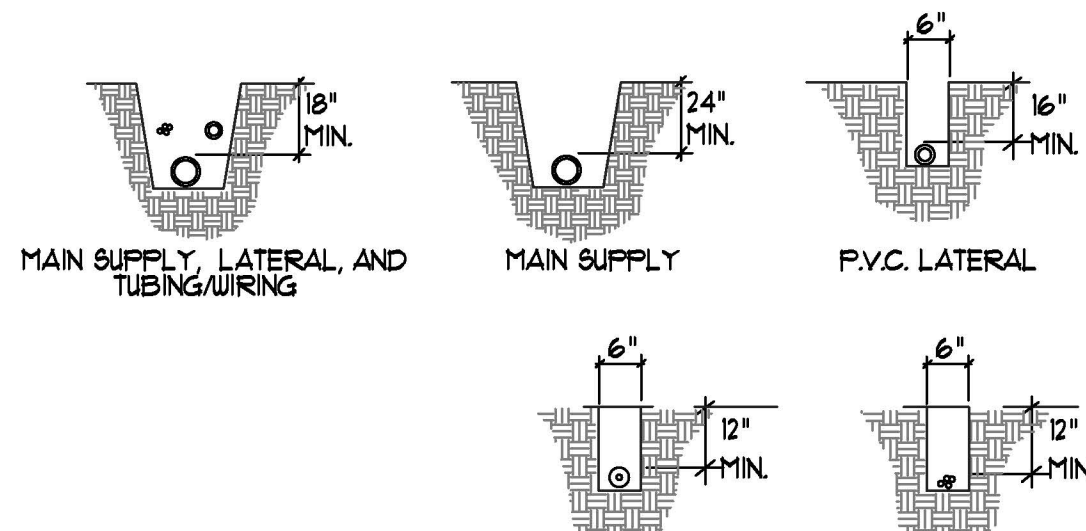
N.T.S.



Netafim Spiral Detail

NETAFIM DETAIL

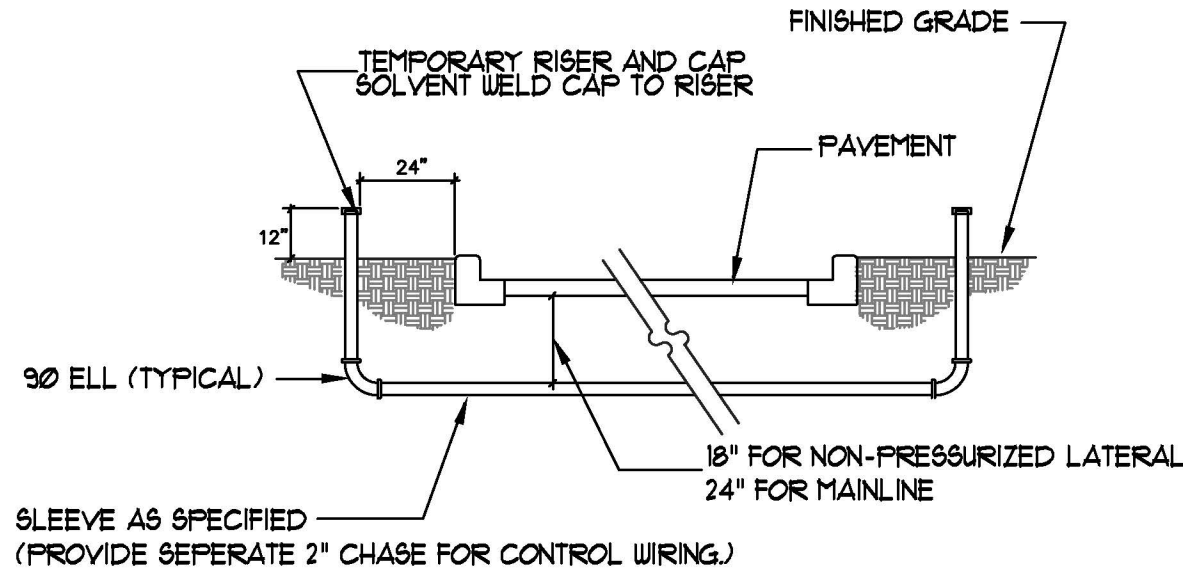
N.T.S.



- DETAIL NOTES:
1. ALL P.V.C. PIPING SHALL BE SLOPED IN TRENCHES.
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
 3. ALL WIRING TO BE RACKED AND TAPED AT 90° INTERVALS.
 4. ALL MAIN SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
 5. PROVIDE PIPE AND WIRE SLEEVING UNDER ALL PAVED SURFACES.
 6. WIRE SHALL BE WITHIN SEPERATE 2" ELECTRICAL CHASE.

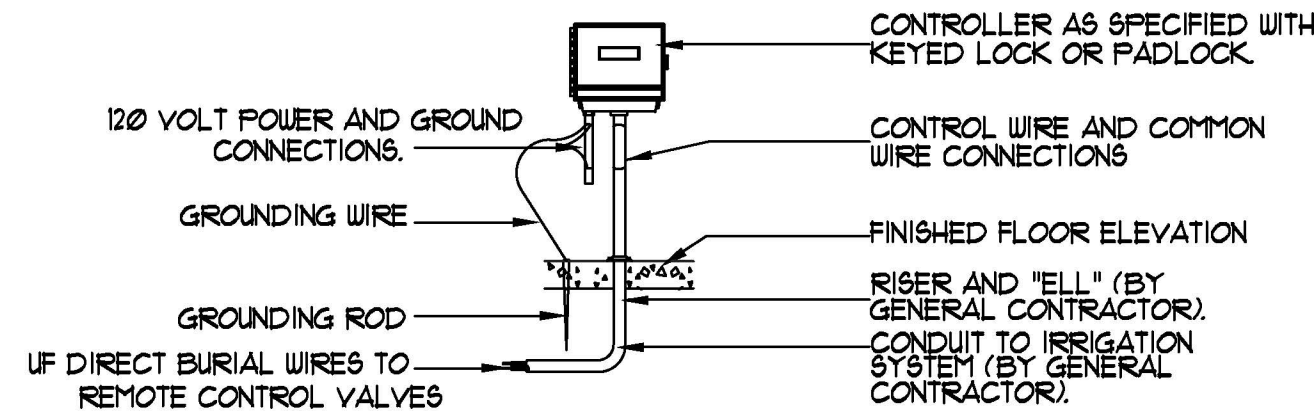
TRENCHING DETAIL

N.T.S.



SLEEVE INSTALLATION DETAIL

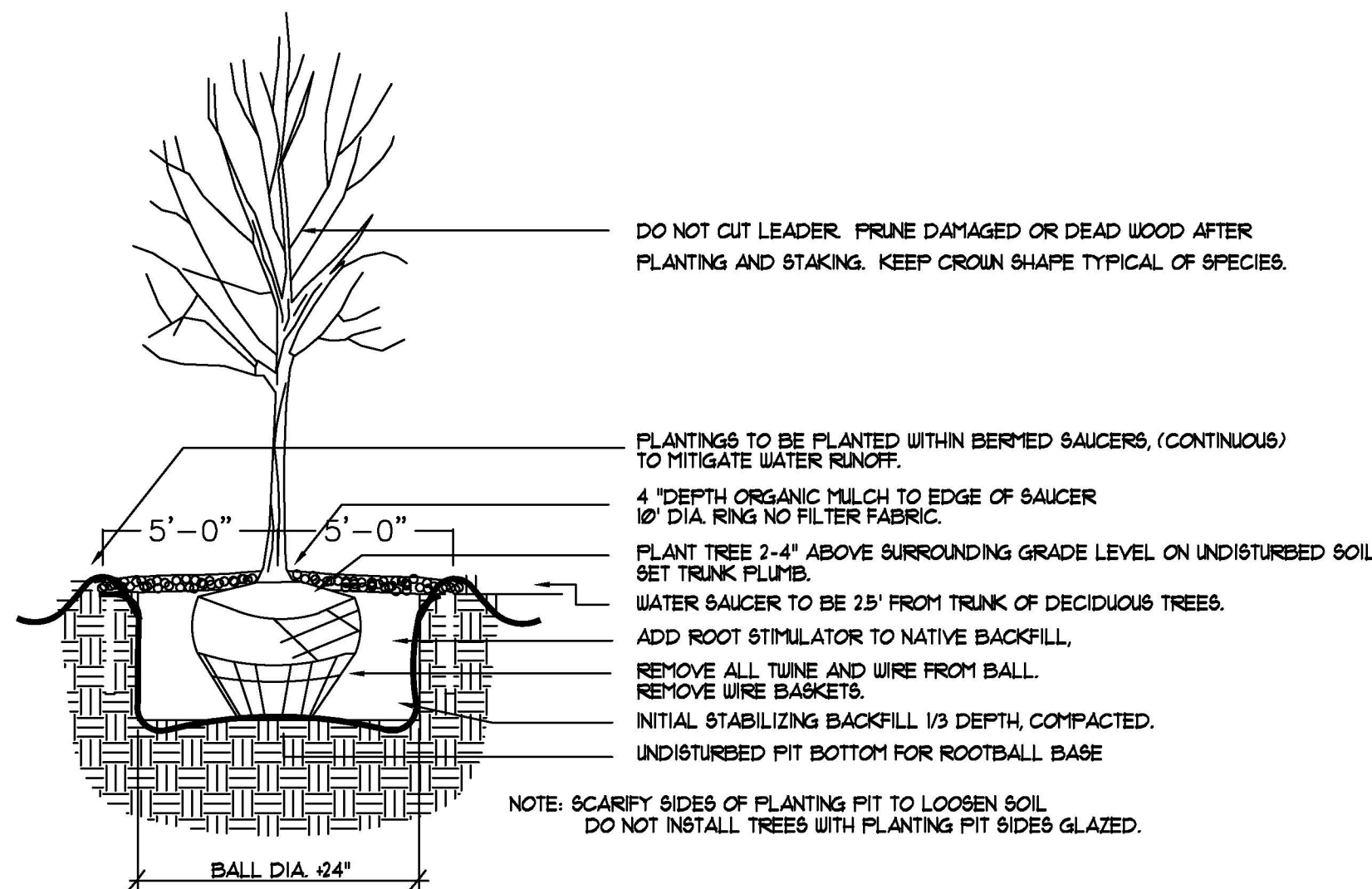
N.T.S.



- DETAIL NOTES:
1. ELECTRICAL POWER TO BE SUPPLIED BY OTHERS.
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
 3. SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER.
 4. CONTROLLER TO BE MOUNTED APPROXIMATELY 5'-0\"/>

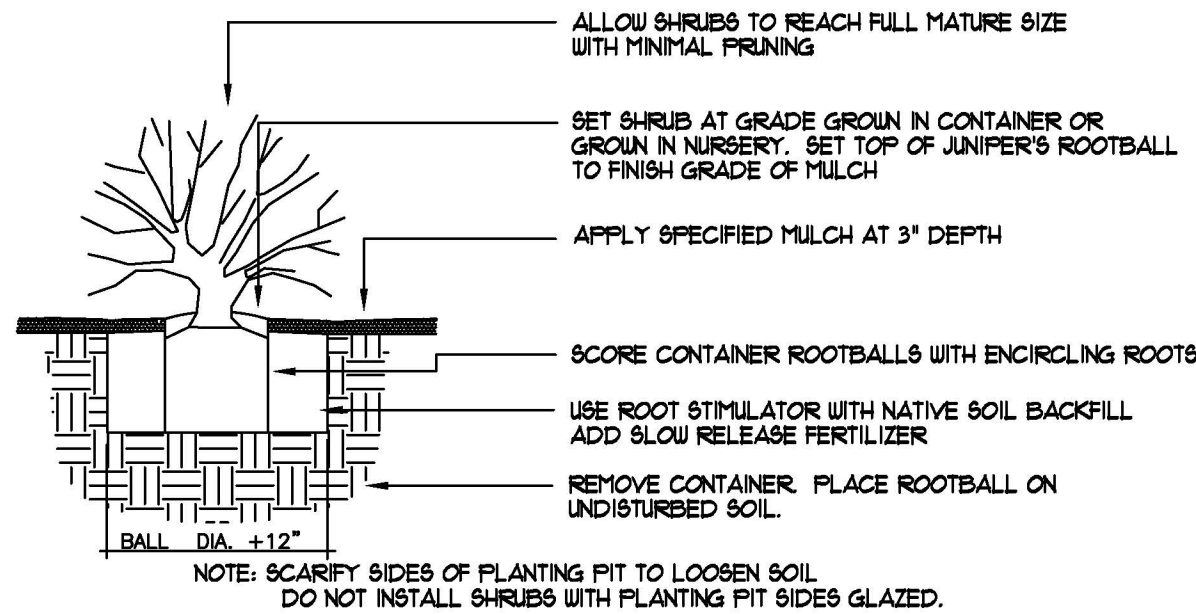
CONTROLLER DETAIL

N.T.S.



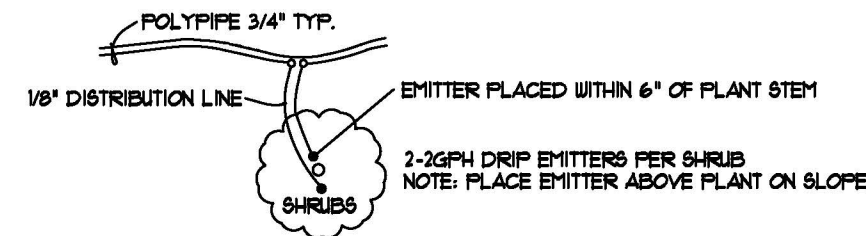
TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.



SHRUB EMITTER PLACEMENT DETAIL

N.T.S.

Mountain Rehab Hospital
Mountain Rd. / I-25

LANDSCAPE DETAILS

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
DM

DATE
4/23/2025

SHEET #
L3

JOB #
20231213

Proj. No. 2024-035

City of Albuquerque Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided for Reference

PURPOSE

This Section 14-6-5-6 regulates landscaping to ensure visually attractive, sustainable design landscapes that aid in the creation of a quality public realm. The City recognizes landscape as a visual component to quality environments that enhance Albuquerque's overall appearance and provide other public benefits through:

- 5-6(A)(1) Providing visual relief from urbanization.
- 5-6(A)(2) Establishing a consistent, attractive streetscape that generates a sense of continuity and a strong positive city image.
- 5-6(A)(3) Improving the aesthetic appearance of commercial, industrial, and multi-family residential development to protect and enhance public and private investments and property values.
- 5-6(A)(4) Encouraging the use of native and/or adapted, low water-use, or xeric species and regionally appropriate, sustainable design and maintenance techniques to conserve water resources.
- 5-6(A)(5) Contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscaping should be designed to retain soil moisture, prevent erosion, encourage the growth of abutting plantings, and mitigate urban heat-island effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and glare.
- 5-6(A)(6) Providing screening of some types of facilities, structures, and equipment.
- 5-6(A)(7) Providing shade and comfort for pedestrian and visually enhancing streets, which has been shown to reduce vehicle speeding and accidents.

5-6(B) APPLICABILITY

5-6(B)(1) The provisions of this Section 14-6-5-6 shall apply to all of the following unless specified otherwise in this IDO:

- 5-6(B)(1)(a) Construction of a new building containing multi-family mixed-use, non-residential development, or an accessory parking structure.
- 5-6(B)(1)(b) Construction of a new parking lot containing 25 or more spaces, or expansion of an existing parking lot by 25 spaces or more.
- 5-6(B)(1)(c) Expansion of the gross floor area of an existing building containing multi-family mixed-use, or non-residential development by 2500 square feet or more, or 25 percent or more, whichever is less.
- 5-6(B)(1)(d) Renovation or redevelopment of an existing building containing multi-family mixed-use or non-residential development, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, indicated by building permits, is \$500,000 or more.
- 5-6(B)(2) In the case of walls provided for buffering or screening requirements with conflicting standards in this Section 14-6-5-6, Section 14-6-5-6 (Parking and

Landscaping), and Section 14-6-5-9 (Neighborhood Edges), the highest applicable shall height obligations prevail.

5-6(B)(3) Requirements for walls provided to meet buffering and screening requirements prevail over maximum wall height regulations in Section 14-6-5-1 (Walls and Fences), but shall be subject to any other applicable material and design requirements in Subsection 14-6-5-10 (Street Frontage Landscaping).

5-6(C) GENERAL LANDSCAPING STANDARDS

The following standards apply to all landscaping, screening, or buffering required by the Section 14-6-5-6:

5-6(C)(1) Landscape Plan Required

A landscape plan with designed landscape areas shall be submitted as a part of all development applications where landscaping, buffering, or screening is required, unless the relevant decision-making body determines that compliance with the provisions of this Section 14-6-5-6 can be demonstrated without the use of a landscape plan. A landscape plan may be combined with other required application materials if compliance with this Section 14-6-5-6 can be demonstrated in the combined materials. Landscaping shall be maintained pursuant to the requirements of Subsection 14-6-5-9 (Maintenance).

5-6(C)(2) Minimum Landscape Area

5-6(C)(2)(a) Except as noted in Subsection (b) below, a minimum of 15 percent of the net lot area of each development shall contain landscaping.

5-6(C)(2)(b) In DT-UC-HS-PT areas, a minimum of 10 percent of the net lot area of each development shall contain landscaping. In these areas, landscaping required to meet this requirement need not be at ground level. (See figure below.)

5-6(C)(2)(c) The nature realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows:

- Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscape area as measured by canopy width or area beneath the drip line of the mature tree.
- Size of the actual vegetation of the required vegetative coverage a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the natural size of the actual vegetation. (See figure below.)

5-6(C)(2)(d) See also Subsections 14-6-5-6(D) (Street Frontage Landscaping), 14-6-5-6(E) (Edge Buffer Landscaping), and 14-6-5-6(F) (Parking Lot Landscaping) for additional Landscaping Requirements.

5-6(C)(3) Overlapping Requirements

5-6(C)(3)(1) If areas required to be landscaped by 2 or more provisions of this Section 14-6-5-6 overlap each other, the provision requiring the greater amount of landscaping shall apply, and landscaping provided that meets the greater requirement shall count toward fulfilling the overlapping requirements.

1. See Subsection 14-6-5-6(C)(2) (Existing Vegetation Credit).

2. See Subsection 14-6-5-6(C)(3) (Stormwater Management Features).

3. See Subsection 14-6-5-6(D) (Street Frontage Landscaping).

4. See Subsection 14-6-5-6(E) (Edge Buffer Landscaping).

5. See Subsection 14-6-5-6(F) (Parking Lot Landscaping).

5-6(C)(3)(b) Landscaped areas can count toward satisfying applicable open space requirements specified for Residential zone districts in Table 3-1-1 and for Mixed-use zone districts in Table 3-1-2.

5-6(C)(3)(c) Gardens and community gardens provided may count toward satisfying the requirements of Subsection 14-6-5-6(C)(2) (Minimum Landscape Area).

5-6(C)(3)(d) Any landscaping provided to meet requirements in Subsection 14-6-5-9(X)(1) (Any Open Space Standards) may count toward any required landscaping in this Section 14-6-5-6 but shall be subject to Subsection 14-6-5-6(C) (General Landscaping Standards).

5-6(C)(3)(e) Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-6-5-9(E)(3) (Outdoor Seating and Gathering Areas) may count toward up to 10% of required landscaping in Section 14-6-5-6 but shall be subject to standards in Subsection 14-6-5-6(C) (General Landscaping Standards).

5-6(C)(4) Required Plant Materials and Site Amenities

5-6(C)(4)(a) A minimum of 5 species must be used in the landscaped area.

5-6(C)(4)(b) Only trees and shrubs selected from the Official Albuquerque Plant Palette of 14-6-5-6(C) (General Landscaping Standards).

5-6(C)(4)(c) All screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crews and public during maintenance and repair.

5-6(C)(4)(d) Trees shall not be planted near existing or proposed street light.

5-6(C)(4)(e) Standards in the DPT may apply to tree planting in or near other utility easements, such as gas lines.

5-6(C)(4)(f) Parking and Landscaping Areas Prohibited

Parking of automobiles, trucks, trailers, boats, recreational vehicles, or other motor vehicles is prohibited on any required landscape or buffer area.

5-6(C)(5) Existing Vegetation Credit

5-6(C)(5)(a) If existing non-prohibited vegetation meets the location, requirements and intent of landscaping, buffering, or screening required by this Section 14-6-5-6, that existing vegetation may be credited toward the requirements of this Section 14-6-5-6.

5-6(C)(5)(b) All existing vegetation preserved and used for credit against the requirements for new vegetation shall be protected during construction by a fence erected one foot beyond the drip line of the vegetation.

5-6(C)(5)(c) Trees may be credited only 1 line toward any one buffer, screen, or other landscape requirement.

5-6(C)(5)(d) Trees shall be credited in accordance with Table 5-6-2.

least 3 feet in any direction from any impermeable hard surface. (A buffer using organic mulch can be used when planting cool season grass adjacent to impermeable surface.)

5-6(C)(4)(a) Landscaping abutting any area of sensitive plants that are included on the Official Albuquerque Plant Palette.

5-6(C)(4)(b) Artificial turfgrass will not be counted as living vegetative material or to meet the requirements of this Subsection 14-6-5-6(C) (General Landscaping Standards).

5-6(C)(4)(c) All vegetation shall comply with Article 9-B and Parts 6-1-1 and 6-2-7 of RDA 1994 (Polen Control, Water Conservation Landscaping and Water Use, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABQWUA) Legislation and Ordinances (Water Use Reduction Ordinance) as applicable.

5-6(C)(4)(d) All required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ANSI) of the American Nursery and Landscape Association.

5-6(C)(4)(e) Shade trees planted approximately 25 feet from center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided.

5-6(C)(4)(f) In DT-UC-HS areas, landscaped areas other than street frontage shall include pedestrian furniture, pedestrian amenities, or trash receptacles to encourage pedestrian use.

5-6(C)(4)(g) See also Subsection 14-6-5-6(D) (Street Frontage Landscaping) for additional landscaping requirements.

5-6(C)(5) Soil Condition and Planting Bed 5-6(C)(5)(a) All vegetated material required by this Section 14-6-5-6 shall be planted in uncompacted soil.

5-6(C)(5)(b) If used, weed barriers shall be permeable to optimize permeable infiltration and prevent runoff.

5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area, or 50 percent in DT-UC-HS areas 5-6(C)(5)(d) A minimum of 2 inches of organic mulch is required in all planting areas, with 3 inches recommended.

5-6(C)(5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, wear barrier fabric is prohibited.

5-6(C)(5)(f) Landscaped areas shall be protected from vehicle encroachment by curbs or other barriers located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff and stormwater infiltration areas.

5-6(C)(6) Minimum Plant Size at Installation

All vegetation required by this Section 14-6-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO.

5-6(C)(7) Plant Material Spacing

5-6(C)(7)(a) Vegetation required by this Section 14-6-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve boxes, hose bibs, manholes, systems, and fire department connections.

5-6(C)(7)(b) Where tree planting requirements are based on the length of the street frontage, areas occupied by driveways and drive aisles shall be included when calculating the number of trees required to be planted, and all trees that would otherwise be required in driveway or drive aisles shall be planted in other landscaped from yard areas.

5-6(C)(7)(c) The Planning Director may authorize adjustments to any spacing requirements when required due to topography, drainage, utilities or obstructions, provided that the total amount of required landscaping is not reduced.

5-6(C)(8) Protecting Clear Sight Triangle

The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

5-6(C)(9) Planting in or over the Public Right-of-Way

5-6(C)(9)(a) All planting or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repair, or liability for all the landscaping placed in or over the public right-of-way.

5-6(C)(9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain a 5-foot clearance above the sidewalk.

5-6(C)(9)(c) Any trees that overhang a public street shall be trimmed to maintain a 5-foot clearance above the street surface.

5-6(C)(9)(d) Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of RDA 1994 (Trees, Vegetation and Landscaping) and the DPT, with a separate meter for the landscape area in the public right-of-way or a separate valve(s) at the property line allowing the location of the irrigation in the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way.

5-6(C)(9)(e) Planting near Utilities

5-6(C)(9)(f) Trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced.

5-6(C)(9)(g) Trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line.

5-6(C)(9)(h) Trees or shrubs planted within utility easements shall comply with the standards of the utility provider to minimize effects on facilities maintenance and repair.

5-6(C)(9)(i) If overhead distribution electric lines are present and large trees cannot be planted due to potential interference with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflict with existing electric facilities.

5-6(C)(9)(j) All screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crews and public during maintenance and repair.

5-6(C)(9)(k) Trees shall not be planted near existing or proposed street light.

5-6(C)(9)(l) Standards in the DPT may apply to tree planting in or near other utility easements, such as gas lines.

5-6(C)(9)(m) Screening and Landscaping Areas Prohibited

Parking of automobiles, trucks, trailers, boats, recreational vehicles, or other motor vehicles is prohibited on any required landscape or buffer area.

5-6(C)(9)(n) Existing Vegetation Credit

5-6(C)(9)(n)(a) If existing non-prohibited vegetation meets the location, requirements and intent of landscaping, buffering, or screening required by this Section 14-6-5-6, that existing vegetation may be credited toward the requirements of this Section 14-6-5-6.

5-6(C)(9)(n)(b) All existing vegetation preserved and used for credit against the requirements for new vegetation shall be protected during construction by a fence erected one foot beyond the drip line of the vegetation.

5-6(C)(9)(n)(c) Trees may be credited only 1 line toward any one buffer, screen, or other landscape requirement.

5-6(C)(9)(n)(d) Trees shall be credited in accordance with Table 5-6-2.

Table 5-6-2: Credits for Preserving Trees		
Diameter at Breast Height (in.)	Number of Trees Credited	
≥18 and <25	6	
≥18 and <13	4	
≥14 and <8	2	
<14	1	
≤1/4" (Prohibited trees are those that do not appear on the Official Albuquerque Plant Palette and may appear on the City or State list of prohibited or invasive species)		

5-6(C)(10) Stormwater Management Features

5-6(C)(10)(a) Required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation.

5-6(C)(10)(b) Required landscape and buffer areas shall be designed pursuant to the DPT and the City Standard Specifications for Public Works Construction.

5-6(C)(10)(c) In the R-L, R-M, R-H, Mixed-use, and NR-SL zone districts, and on lots containing multi-family dwellings or non-residential uses in the R-A, R-L, R-H, and R-T zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collection areas that are located in landscape areas and that meet all applicable standards in the DPT.

5-6(C)(10)(d) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(e) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(f) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(g) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(h) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(i) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(j) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(k) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(l) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(m) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(n) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(o) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(p) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(q) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(r) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(s) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(t) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(u) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(v) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(w) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(x) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(y) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in these areas, provided that the area includes vegetation required by this Section 14-6-5-6.

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5-6(E) EDGE BUFFER LANDSCAPING

5-6(E)(1) General Requirements

5-6(E)(1)(a) Landscaped edge buffers and/or edge buffer walls are required between properties to minimize sound and light impacts of the proposed development on the adjacent property.

5-6(E)(1)(b) Landscaped edge buffers and/or edge buffer walls are required between properties to minimize sound and light impacts of the proposed development on the adjacent property.

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5-6(E)(1)(i) Landscaped edge buffers and/or edge buffer walls are required between properties to minimize sound and light impacts of the proposed development on the adjacent property.

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5-6(E)(1)(k) Landscaped edge buffers and/or edge buffer walls are required between properties to minimize sound and light impacts of the proposed development on the adjacent property.

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5-6(E)(1)(u) Landscaped edge buffers and/or edge buffer walls are required between properties to minimize sound and light impacts of the proposed development on the adjacent property.

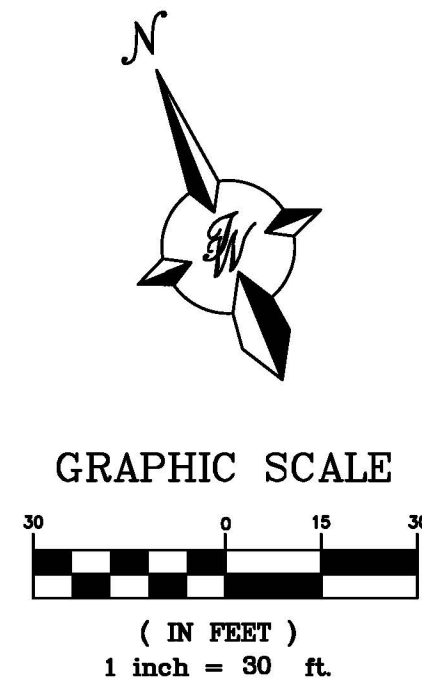
5-6(E)(1)(v) Landscaped edge buffers and/or edge buffer walls are required between properties to minimize sound and light impacts of the proposed development on the adjacent property.

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5-6(E)(1)(z) Landscaped edge buffers and/or edge buffer walls are required between properties to minimize sound and light impacts of the proposed development on the adjacent property.



LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

SIGHT TRIANGLE (TYP)

NOTE

ALL BROKEN OR CRACKED SIDEWALK AND CURB & GUTTER MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STD DWG#2415 AND 2430



Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up between the hours of 5AM and 8PM.

Reviewer: *Herman Gallagos*

Date: 10-17-24

Hazard Route Only

Access will be granted to Solid Waste Department from the Woodward PI Side of this property

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- LANDSCAPING
- RETAINING WALL
- SETBACK LINE
- SCREEN WALL
- ADA ACCESS

LINE TABLE

NO. BEARING & DISTANCE
L1 S 73°02'15" E, 3.27'
L2 S 17°01'04" W, 109.94'
L3 S 26°24'22" W, 9.58'

CURVE TABLE

NO. RADIUS LENGTH DELTA
C1 335.00' 73.03' 12°29'23"
C2 30.00' 44.66' 85°17'07"

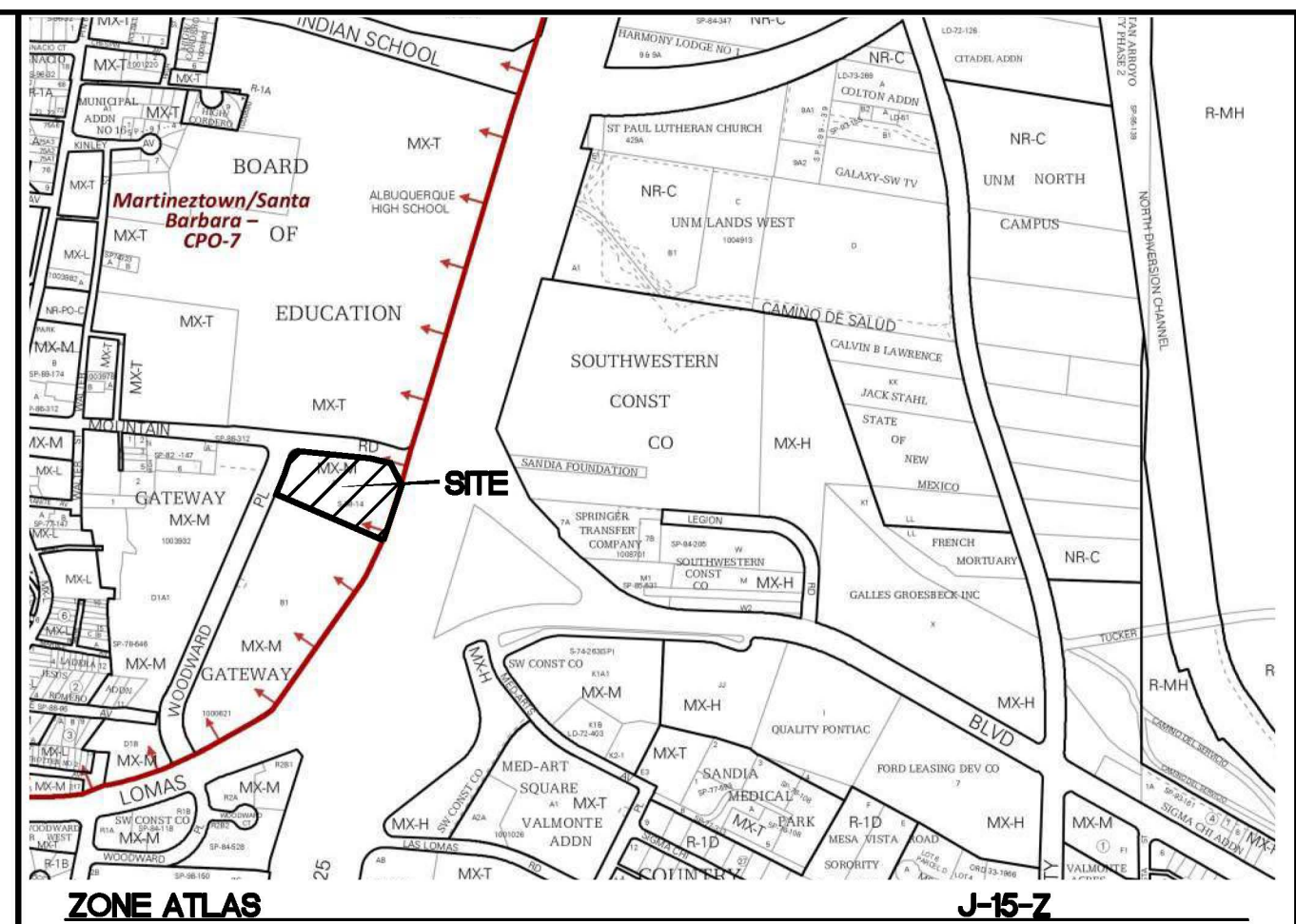
MAJOR AMENDMENT - SITE PLAN EPC PR - 2024 - 009765, SI - 2024 - 00468

- MAJOR AMENDMENT FOR AREA 3 OF THE CONTROLLING SITE PLAN FOR "TRACT A" ONLY.
- THIS AMENDMENT WOULD CHANGE THE ALLOWABLE USE ON AREA 3 "TRACT A" TO INCLUDE HOSPITAL.
- BUILDING AREA AND HEIGHT MAXIMUMS AS DESCRIBED IN CONTROLLING SITE PLAN, REMAIN APPLICABLE TO AREA 3 "TRACT A".
- SETBACKS FOR AREA 3 TO BE CONTROLLED BY IDO.
- PER IDO SECTION 1-10(A)(2) : ANY USE STANDARDS OR DEVELOPMENT STANDARDS ASSOCIATED WITH ANY PRE-IDO APPROVAL OR ZONING DESIGNATION ESTABLISH RIGHTS AND LIMITATIONS AND ARE EXCLUSIVE OF AND PREVAIL OVER ANY OTHER PROVISION OF THIS IDO. WHERE THOSE APPROVALS ARE SILENT, PROVISIONS IN THE IDO SHALL APPLY.

KEYED NOTES

- ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN (2 VAN ACCESSIBLE, 5 AUTO)
- 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- WHEEL STOP SEE DETAIL SHEET DET-1
- 11' CONCRETE SIDEWALK PER COA STD DWG 2430
- UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
- MOTORCYCLE SPACES (5, 8'X4') W/SIGN
- BICYCLE RACK
- LIGHT POLE TO BE RELOCATED EAST OF ENTRANCE
- CURB INLET TO BE RELOCATED EAST OF ENTRANCE
- EXISTING ACCESSIBLE RAMP
- EXISTING CONCRETE SIDEWALK
- NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430
- EXISTING LIGHT POLE TO BE RELOCATED BEHIND WALK
- EXISTING BUS STOP
- 6' VALLEY GUTTER PER COA STD DWG 2420
- SITE LIGHTING (TYP)
- ILLUMINATED BOLLARD (TYP)
- SCREEN WALL
- MOUNTABLE MEDIAN CURB PER COA STD 2415A
- RAISED CONTRETE MEDIAN
- CHAIN LINK FENCE
- NEW 4" SOLID WHITE STRIPE
- LEFT TURN PAVEMENT MARKING
- OBLITERATE EXISTING STRIPE
- NEW CROSSWALK
- EXISTING STRIPING TO REMAIN
- REMOVE EXISTING PARKING SPACES AND CURB
- RELOCATE LIGHT POLE TO BEHIND THE CURB
- MONUMENT SIGN
- 6' PEDESTRIAN ACCESS
- 4' LANDSCAPE BUFFER
- UNIDIRECTIONAL ACCESSIBLE RAMP WITH TRUNCATED DOMES WITHIN ROW SEE DETAIL SHEET DET-1

THIS SITE PLAN AMENDMENT ONLY APPLIES TO AREA 3 OF THE GATEWAY CENTER SITE PLAN FOR SUBDIVISION



LEGAL DESCRIPTION

TRACT LETTERED "A" OF THE PLAT OF GATEWAY SUBDIVISION

SITE DATA

PROPOSED USAGE HOSPITAL
LOT AREA 119591 SF (2.7454 ACRES)
ZONING MX-H

BUILDING AREA 55098 SF
BUILDING FOOTPRINT 16068 SF
BUILDING COVERAGE 13%

BUILDING SETBACK

FRONT 5'
REAR 15'
SIDE 0' SOUTH SIDE, 5' NORTH SIDE

GFA 55098 SF/4 SPACE PER 1,000 = 220 SPACES

5-5(C)(5)(A) PARKING REDUCTION = 20%

5-5(C)(5)(C) PARKING REDUCTION = 10%

REDUCED PARKING REQUIRED = 154 SPACES

PARKING PROVIDED 146 SPACES
ACCESSIBLE PARKING REQUIRED 14 SPACES
ACCESSIBLE SPACES PROVIDED 14 SPACES (3 VAN ACCESSIBLE)
TOTAL 160 SPACES

BICYCLE SPACES REQUIRED 15
BICYCLE SPACES PROVIDED 15
MOTORCYCLE SPACES REQUIRED 5 SPACES
MOTORCYCLE SPACES PROVIDED 5 SPACES

LANDSCAPE REQUIRED 15528 SF
LANDSCAPE PROVIDED 16205 SF

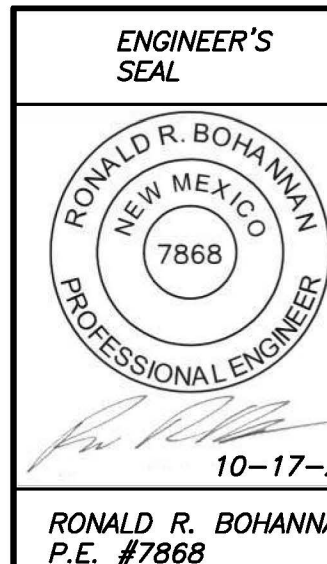
PROJECT NUMBER:

Application Number:

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division Date
ABCWUA Date
Parks and Recreation Department Date
Hydrology Date
Code Enforcement Date
* Environmental Health Department (conditional) Date
Herman Gallagos 10-17-24
Solid Waste Management Date
Planning Department Date



NOBIS REHAB HOSPITAL
1100 WOODWARD PL.

SITE PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY

pm

DATE

10-17-24

DRAWING

2023123-SP

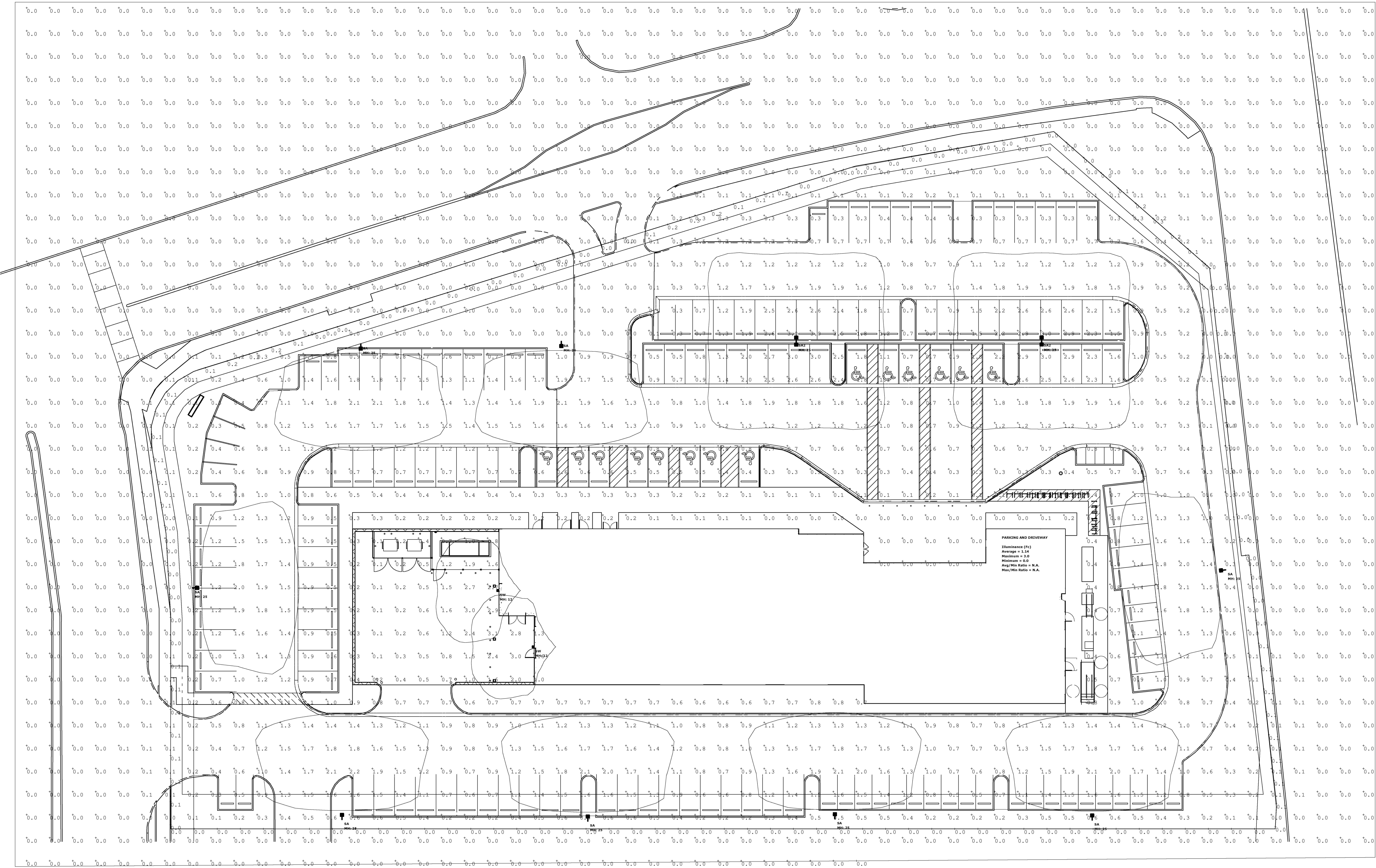
SHEET #

SP-1

JOB #

2023123

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Luminaire Schedule									
Symbol	Type	Qty	Manufacturer / Catalog Number		Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
	SW	2	LITHONIA WDG2 LED P4 30K 80CRI TFTM MVOLT [MOUNT] [FINISH]		4402	46.659	1.000	0.850	1.000
	SA2	2	LITHONIA DSX1 LED P3 30K 80CRI TSLG MVOLT [MOUNT] [FINISH]		17810	135.58	1.000	0.850	1.000
			DM28AS @ 25' MH						
	SA	8	LITHONIA DSX1 LED P3 30K 80CRI BLC3 MVOLT [MOUNT] [FINISH]		8718	102.17	1.000	0.850	1.000
			DM19AS @ 25' MH						

Calculation Summary							
Calculation Grid Location							
GRADE Planar	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min	
PROPERTY LINE	0	Fc	0.44	3.1	0.0	N.A.	
PARKING AND DRIVEWAY	N.A.	Fc	0.04	0.3	0.0	N.A.	
		Fc	1.14	3.0	0.0	N.A.	

8000 Quorum Drive, Suite 400
Dallas, Texas 75254
214.217.9600 p 214.217.9606 f

TBPE Firm Registration No. 2234

DBR Project Number 243037

RH MD BL WM -

Perkins&Will

2218 Bryan St., Suite 200
Dallas, TX 75201
214.253.8700
perkinswill.com

CONSULTANTS

MEP
DBR ENGINEERING CONSULTANTS
5000 QUORUM DRIVE, SUITE 400
DALLAS, TX 75254

STRUCTURAL
STANTEC
6080 TENNYSON PARKWAY, SUITE 300
PLANO, TX 75024

CIVIL
TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NM 87109

LANDSCAPING
TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NM 87109

FOOD SERVICE
BOSMA DESIGN SOLUTIONS
2201 LONG PRAIRIE RD, SUITE 107-727
FLOWER MOUND, TX 75022

CONTRACTOR

OPERATOR
NOBIS REHABILITATION PARTNERS, LLC
450 CENTURY PARKWAY SUITE 320
ALLEN, TX 75013

OWNER
KENNOR CROSS INVESTMENTS, LLC
4332 MARSH RIDGE ROAD
CARROLLTON, TX 75010

FACILITY
TUCSON REHABILITATION HOSPITAL
820 E TUCSON MARKETPLACE BLVD
TUCSON, AZ 85713

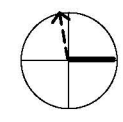
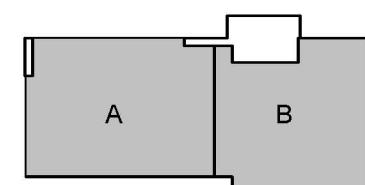


PROJECT

**ALBUQUERQUE
REHABILITATION
HOSPITAL**
1100 WOODWARE PL NE,
ALBUQUERQUE, NM 87102

**KENNOR CROSS
INVESTMENTS, LLC**
4332 MARSH RIDGE ROAD
CARROLLTON, TX 75010

KEYPLAN



ISSUE CHART

MARK	ISSUE	DATE
Job Number		147797.000
		TITLE

**SITE PLAN -
PHOTOMETRICS**

SHEET NUMBER

ES1-01P