



April 4, 2024

Mr. Jonathan R. Hollinger, Chair
Environmental Planning Commission
600 Second NW
Albuquerque, NM 87102

**RE: SITE PLAN – EPC MAJOR AMENDMENT
TRACT A PLAT OF GATEWAY SUBDIVISION CONT 2.7845 AC
IDO ZONE ATLAS PAGE J-15-Z**

Dear Mr. Hollinger:

Tierra West LLC, on behalf of Cross Development, respectfully requests a Major Amendment to the controlling Site Plan for a subject site located at 1100 Woodward Pl. NE, Albuquerque, NM 87102.

The legal description of the subject site is Tract A Plat of Gateway Subdivision containing 2.7845 acres. The subject site is located at 1100 Woodward Pl. NE, just south of Mountain Rd. NE and west of I-25 S Frontage Road. The current zoning of this parcel is Mixed-Use – Moderate Intensity (MX-M); the EPC has recently approved a zone change to Mixed Use – High Intensity (MX-H), which is currently undergoing an appeal.

IDO provision 14-16-6-6(I)(2)(d) 2 states that if any of the proposed (site plan) boundary with a prior approved Site Plan that will remain in place, a Major Amendment shall be required.

This justification letter will discuss the request, the history of the subject site, and will outline the request per IDO 6-6(I)(3) Review and decision criteria.

IDO Section 1-10 Transitions from Previous Regulations

Per IDO Section 14-16-1-10(A)(2), any use standards or development standards associated with pre-IDO approval or zoning designation establish rights and limitations and are exclusive of and prevail over any other provision of this IDO. In the case of the Gateway Site Plan for Subdivision, the established design standards concerning height remain valid.

Proposed Development

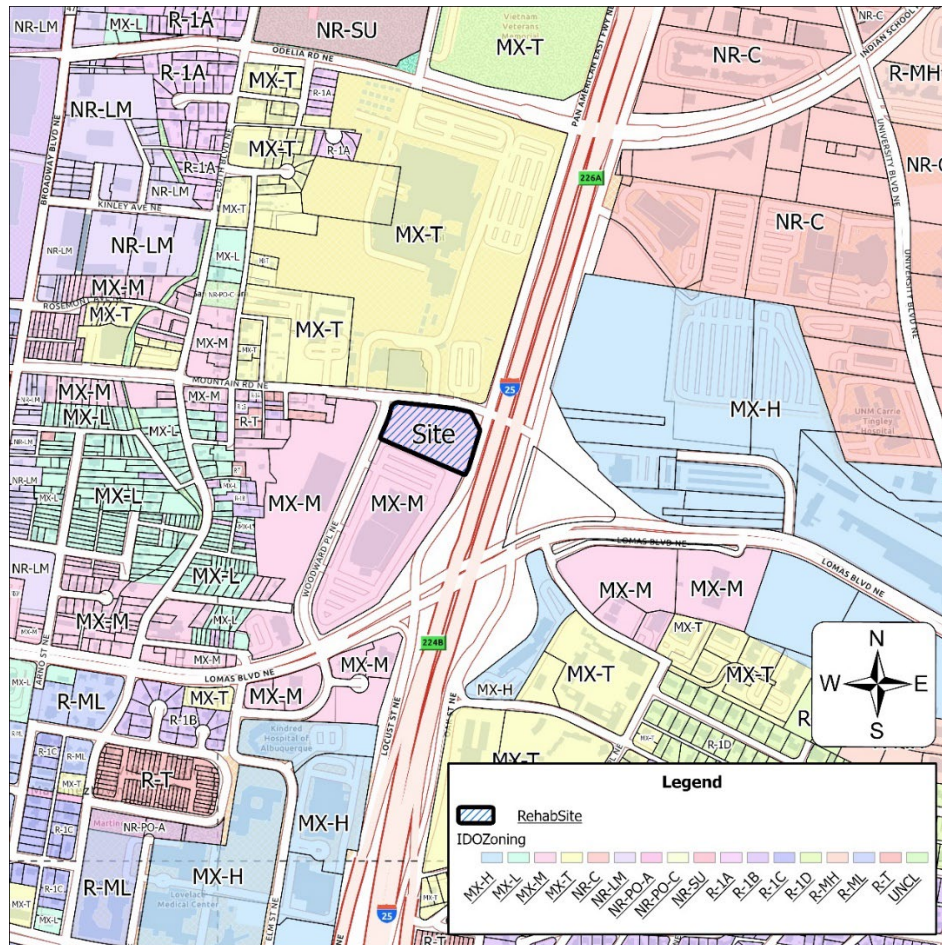
Nobis Rehabilitation Partners is an Inpatient Rehabilitation Facility (IRF). IRFs provide intensive rehabilitation services using an interdisciplinary team approach in a hospital environment. Admission to an IRF is appropriate for patients with complex nursing, medical management, and rehabilitative needs (such as hip replacements, knee replacements,). Rehabilitation programs at IRFs are supervised by rehabilitation physicians and include services such as physical and occupational therapy, rehabilitation nursing, and speech-language pathology. Approximately ninety percent (90%) of patients come from acute care settings with an average stay of 12-14 days so that they can be discharged back to their homes. On any given day, the average occupancy of this facility will be approximately 85-90%. Nobis' facilities of this size typically staff approximately 60 people during the day and 40 at night.

Planning Context

Tierra West LLC respectfully requests a Major Amendment to the controlling Site Plan titled Gateway Center. Currently, the lot is vacant. It is located within the Central ABQ Community Planning Area and is located within an Area of Change, as designated by the ABC Comp Plan. Furthermore, it is in the Santa Barbara / Martineztown Character Protection Overlay Zone, CPO-7. The subject site abuts two Major Transit Corridors, Mountain Rd., and I-25 Frontage, and is within 660 feet from Lomas Blvd., which is also designated as a Major Transit Corridor.

The overall area is characterized by a variety of uses. To the north, across Mountain Rd., is Early College Academy / Career Enrichment Center, along with Albuquerque High School, all zoned MX-T. Directly south of the parcel is a lot zoned MX-M, which is occupied by a hotel. Directly to the west is a medical facility, zoned MX-M and beyond that lies 50 acres of mixed-use development with a variety of zones, such as R-1B, NR-LM, and MX-M. Directly to the east is a parcel zoned MX-H, and beyond that there are parcels zoned MX-T, MX-M, and MX-H.

See Figure 1 below for zoning information, and Figure 2 for land uses surrounding the subject site.



East	MX-H and MX-M	Mixed-Use, Medium and High Intensity
South	MX-M	Mixed-Use, Medium Intensity
West	MX-M	Mixed-Use, Medium Intensity
Subject Site	MX-M	Mixed-Use, Medium Intensity

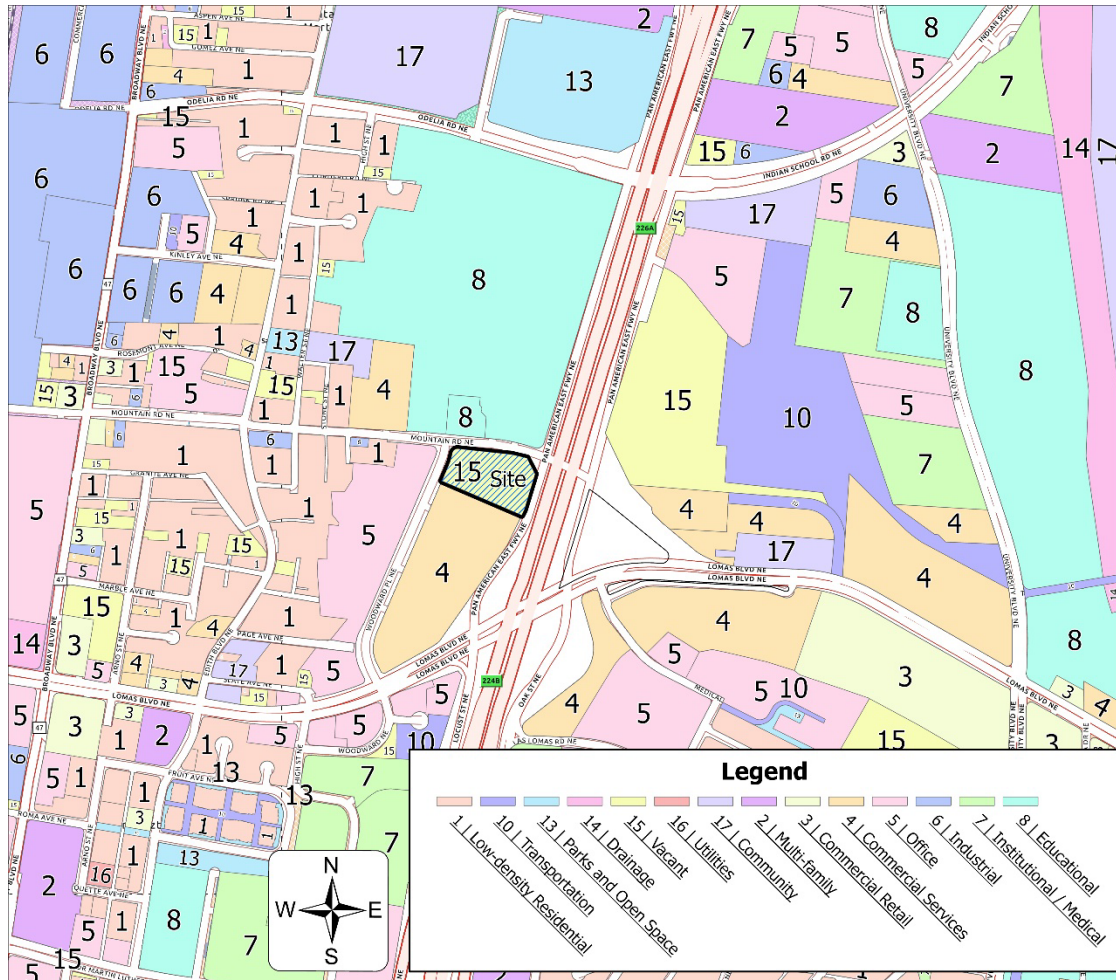


Figure 2: Land Use

Table 2. Surrounding Land Use Categories	
North	8 - Educational (school)
East	4 - Commercial services (self-storage)
South	4 - Commercial services (hotel)
West	5 - Office (medical)
Subject Site	15 - Vacant

Per the IDO, the purpose of the MX-H zone district is to provide for large-scale destination retail and high-intensity commercial, residential, light industrial, and institutional uses, as well as high-density residential uses, particularly along Transit Corridors and in Urban Centers. The proposed use fits within that zoning district.

History

The subject site is currently vacant and has no prior development history. Prior to the adoption of the IDO, this parcel was subject to the Martinez Town Sector Plan. Under this sector plan, the EPC approved a Site Plan for Gateway Center on March 24, 1994, containing seven areas of land that now contain Woodward Pl., TriCore Labs, Embassy Suites, and this vacant lot. While the other six areas have been developed as outlined in the original site plan, this site has remained vacant. The sector plan outlines a desire for mixed-use zoning and development and calls for more intense uses to be further away from developed neighborhoods and residential areas. This site lies over 300 feet from the nearest residential unit and behind the Tri-core laboratory unit.

The EPC approval of the controlling Gateway Center site plan, DRB-94-183, faced two public appeals on June 6, 1994. While the appeals themselves were not contained in the record, the responses from the City Council that were contained in the record respond similarly. Both appeals were denied by a vote of 9 for and 0 against. The response to the first appeal is wholly contained in the record and has six findings to support the appeal denial.

These findings are summarized as follows: 1) The EPC approval of this site plan was consistent with both the Comprehensive Plan and the Martineztown / Santa Barbara Sector Development Plan, 2) approval of the plan alone did not vest any property rights, 3) a courthouse use shall not be approved for this site, 4) an in-depth traffic analysis would be in order before approving site development plans for building purposes, 5) the findings and action of the EPC do not deprive owners of uses allowed under zoning, and 6) Area 7 was to be approved by the Zoning Enforcement Manager before development. Based upon those findings this site plan will not only comply with that original site plan but with the recently adopted IDO.

A Zone Map Amendment was recently approved for the subject site, though it is currently being appealed by the Santa Barbara / Martineztown Neighborhood Association.

Site Plan – EPC Major Amendment Justification

The Site Plan – EPC Major Amendment will further several Goals and Policies found in the ABC Comp Plan as shown in the following analysis. The analysis describes how the proposed Site Plan – EPC Major Amendment furthers Goals and Policies regarding Character, Centers and Corridors, Complete Communities, City Development Patterns. These Goals and policies are supported because the request will provide much needed high density, infill development as described in the definition of MX-H in the IDO, cited above. Further, the subject site is within 600-feet of three different Major Transit Corridors – Mountain Road NE, I-25 Frontage Road, and Lomas Boulevard.

Goal 4.1 – Character: Enhance, protect, and preserve distinct communities.

The proposed Site Plan – EPC Major Amendment would enhance, protect, and preserve the existing Santa Barbara / Martineztown area because it would facilitate mixed use development. Locating more intense uses to the southern portion of the Santa Barbara / Martineztown area would protect the existing residential areas by locating more intense uses where they are appropriate and desired. I.e., by focusing development on the subject site, which is an area of change, and located along two Major Transit Corridors, development pressure will be alleviated from the existing residential community. The request furthers Goal 4.1 – Character.

Policy 4.1.1 - Distinct Communities: Encourage quality development that is consistent with the distinct character of communities.

The proposed Major Amendment would encourage quality development that is consistent with the distinct character of the Santa Barbara / Martinez Town community. The Santa Barbara / Martineztown community has been historically characterized by land uses which vary in intensity. There are several manufacturing / industrial uses along Broadway Blvd which are zoned NR-LM. The area consists of a variety of Mixed-Use zones ranging from MX – T, MX – L, and MX – M. The existing residential areas are zoned primarily R-1A and are characterized by single family residential development.

The now repealed Sector Development plan discusses how more intense uses should be located away from the residential areas. The site plan amendment would continue that intent and would encourage high quality development that is consistent with the distinct character of Santa Barbara / Martinez Town as described above. The request furthers Policy 4.1.1 Distinct Communities. As shown this site lies over 300 feet from the nearest resident and furthers that policy.

Policy 4.1.2. Identity and Design: Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request would further Policy 4.1.2 Identity and Design because it would ensure that more intense uses are located to the southern portion of the existing and established Santa Barbara / Martineztown community. The site for the requested hospital use is appropriately located for more intense uses given its proximity to Major Transit Corridors and the Interstate (I-25). In the now repealed sector development plan, residents described this area as being appropriate for more intense uses. By locating intense uses at the southern boundary of Santa Barbara / Martineztown where they are appropriate and desired, the existing residential areas are relieved of development pressure and thus are preserved. The request furthers Policy 4.1.2 - Identity and Design. We believe this furthers that policy.

Goal 5.1 – Centers and Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The requested Site Plan Amendment would further Goal 5.1 by focusing more intense development along two Major Transit Corridors, Mountain Rd NE, and I-25 frontage. The subject site is within 660-feet of Lomas Blvd NE, a designated Major Transit Corridor. Development along these three Major Transit Corridors will ensure that the Central Albuquerque CPA and Santa Barbara / Martineztown area grow as a community of strong Centers connected by a multi-modal network of Corridors. The request is consistent with Goal 5.1 – Centers and Corridors.

Policy 5.1.1 – Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

The request would help capture regional growth along three Major Transit Corridors and would thus help shape the built environment into a sustainable development pattern because more intense uses are desired by Major Transit Corridors and within Areas of Change. The request would facilitate high intensity, mixed-use development which would allow a wider range of services for the public in Albuquerque, the greater metro area and beyond.

New Mexico is largely characterized by rural cities, and it is not uncommon for residents of Edgewood, Zia Pueblo, Jemez Pueblo, Ponderosa, and other surrounding communities to drive to Albuquerque for commercial and other services. Further, Lomas Blvd is classified as a Regional Principal Arterial by the MRMPO Long Range Roadway System.

The request is consistent with Policy 5.1.1 – Desired Growth.

c) Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to accommodate growth over time and discourage the need for development at the urban edge.

The request furthers 5.1.1(c) as it promotes compact infill development along three Major Transit Corridors: Mountain Rd, I-25 Frontage Rd, and Lomas Blvd. This area is appropriate for development and accommodates growth in the Central ABQ Community Planning Area. Development of the subject site would promote infill development as it is located in an established area of the city. The requested Major Amendment discourages the need for development on the urban edge by focusing development near Downtown, along designated ABC Comp Plan Corridors, in an established area already served by infrastructure and public resources such as transit. The request further sub-policy 5.1.1(c).

Policy 5.1.2 – Development Areas: Direct more intense growth to Centers and Corridors and use Development Areas to establish and maintain appropriate density and scale of development within areas that should be more stable.

The request further Policy 5.1.2 – Development Areas as it would direct more intense growth to the subject site, which is in proximity to three Major Transit Corridors: Mountain Rd, I-25 Frontage, and Lomas Blvd. The subject site is also within an Area of Change as designated by the ABC Comp Plan. Areas of Change and sites located along major transit corridors are appropriate for more intense growth, density, and land uses. Further, development of the vacant subject site would provide more stability to the Santa Barbara / Martineztown community and to the Central ABQ Community Planning Area by infilling a vacant lot, which can attract crime and other nuisances.

Policy 5.1.10 Major Transit Corridors: Foster corridors that prioritize high frequency transit service with pedestrian-oriented development.

The amendment request would foster development within 660-feet of three Major Transit Corridors: Mountain Rd, I-25 Frontage Rd, and Lomas Blvd. Development along these corridors help facilitate the use of transit services, and the proximity to Lomas Blvd would ensure accessibility to those who use alternative modes of transportation, i.e., riding the bus. The request furthers Policy 5.1.10 Major Transit Corridors.

Goal 5.2 – Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

The requested Site Plan amendment furthers Goal 5.2 – Complete Communities since it fosters the development of a long-standing vacant subject site in an area characterized by mixed use development. The subject site is in proximity to Downtown, is within the Central ABQ CPA, and the Santa Barbara / Martineztown CPO. This site plan fosters complete communities as it will serve the areas mentioned above along with the greater Albuquerque Metropolitan area and

beyond. The requested site plan change promotes the live, work, learn, heal, and play ethos because it would provide a wide range of services near established residential and mixed-use communities. The request furthers Goal 5.2 – Complete Communities.

Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request furthers Policy 5.2.1 because the subject site is in proximity to Downtown, is within the Central ABQ CPA, and the Santa Barbara / Martineztown CPO. Development at this site creates healthy, sustainable, and distinct communities as it will serve the areas mentioned above, along with the greater Albuquerque Metropolitan area. Development facilitated by this site plan would promote the existing mixed-use character of the area and would add more amenities and variety in land uses for nearby residents to use. The subject site's proximity to transit also promotes health and sustainability by encouraging and facilitating the use of alternative modes of transportation. The request furthers Policy 5.2.1 – Land Uses.

- a) Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.

The proposed Major Amendment would further sub-policy 5.2.1(a) because it would encourage development of a vacant lot within walking and biking distance of multiple neighborhoods, promoting good access for all residents. The infill development of this vacant lot would lead to an introduction of new goods, services, and/or amenities that would serve the nearby residents. The site's location on the outskirts of a residential area while being adjacent to multiple Major Transit Corridors would allow any development resulting from this amendment to effectively serve the surrounding area.

- e) Create healthy, sustainable communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The proposed Site Plan Major Amendment would support the creation of healthy, sustainable communities with a mix of uses that are conveniently accessible from surrounding neighborhoods by encouraging infill development on a lot that is easily accessible due to its location along the Mountain Rd and I-25 Frontage Major Transit Corridors. Furthermore, if approved, the hospital use would be unique to the surrounding area, increasing the variety of uses in the area and creating more sustainable, distinct communities. The request furthers sub-policy 5.2.1(e).

- h) Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development. [ABC]

If approved, this Major Amendment would encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development because the immediately surrounding development is relatively high-intensity and large. To the south sits Embassy Suites, an 8-story, 100-foot-tall building. To the west is TriCore Laboratories, a 4-story, approximately 45-foot-tall building. To the north sits the Career Enrichment Center and Albuquerque High School, whose gymnasium stands approximately 55 feet tall. To the east is I-25, a highly trafficked urban freeway. This amendment would allow for

development that is compatible in form and scale to the immediately surrounding development. The request furthers sub-policy 5.2.1(h).

n) Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

This Site Plan Major Amendment if approved, would encourage more productive use of a vacant lot by increasing its available uses, which would then spur new development on the site. The resulting new development would be significantly more productive of a use than is present in the currently vacant lot. Furthermore, development on this vacant site would discourage misuse of the lot. For example, on Google Maps Street view, the vacant lot has been and may still be used as an unpaved parking lot, presumably for the schools across the street. This amendment would allow the lot to be developed in a safe and productive manner. The request furthers sub-policy 5.2.1(n).

Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would further Goal 5.3 Efficient Development patterns because the subject site is in an area with existing infrastructure and public facilities. The subject site also promotes the use of transit, a public amenity, as it is located within 660-feet of the Lomas Blvd Major Transit Corridor, and directly abuts Mountain Rd and I-25, both of which are designated Major Transit Corridors in the ABC Comp Plan. The request furthers Goal 5.3 Efficient Development Patterns.

Policy 5.3.1 – Infill Development: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The requested major amendment furthers Policy 5.3.1 – Infill development as it promotes development patterns that maximize the utility of existing infrastructure. The subject site is in the Central ABQ CPA, and within a developed area of the city with established infrastructure and public facilities. The development of the vacant site would encourage the efficient use of land and thus supports the public good. The request furthers Policy 5.3.1.

Policy 5.3.2 – Leapfrog Development: Discourage growth in areas without existing infrastructure and public facilities.

This Site Plan Amendment would discourage growth in areas without existing infrastructure and public facilities by directing said growth to an area that has the existing infrastructure and public facilities required to support it. This lot has been vacant throughout history, despite the surrounding area being developed significantly over the past twenty years. Therefore, infrastructure and public facilities have been developed and currently exist in a capacity that can support future land uses. The request furthers Policy 5.3.2 – Leapfrog Development.

Policy 5.3.7 – Locally Unwanted Land Uses: Ensure that land uses that are objectionable to immediate neighbors but may be useful to society are located carefully and equitably to ensure that social assets are distributed evenly, and social responsibilities are borne fairly across the Albuquerque area.

The hospital use that would be allowed via this site plan amendment would be useful to society. The proposed usage, a physical rehabilitation hospital, would provide much-needed non-emergency medical services, easing the pressure on local hospitals by allowing for off-site, moderate-length outpatient treatment. Furthermore, the location of this lot, on the corner of Major Transit Corridors Mountain Rd and I-25 Frontage, would ensure that any resulting development is located carefully, away from residential streets, and equitably, in the center of Albuquerque, near I-25 (an urban freeway), making it easy to access. This would ensure even distribution of social assets and fair sharing of social responsibilities in Albuquerque.

b) Ensure appropriate setbacks, buffers, and/ or design standards to minimize offsite impacts.

This amendment does not modify any setbacks, buffers, and/or design standards set out in the current zone district. The controlling site plan is silent on design standards for this site other than building height. In the case of building height, the proposed development would be sitting at 55 feet high, which is lower than the 68 feet typically allowed in the MX-H zone district and significantly lower than the 180 feet allowed by the current controlling site plan. This height is in character with surrounding development. Where the controlling site plan is silent, the IDO ensures appropriate setbacks, buffers, and design standards to minimize offsite impacts from potential development resulting from this amendment.

Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request furthers Goal 5.6 – City Development areas as it would encourage and direct growth to the subject site, which is located wholly within an Area of Change. Areas of Change are where development is generally expected and desired, the requested amendment and subsequent development would be appropriate in intensity, density, and location. The request furthers Goal 5.6 – City Development Areas.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The requested amendment is for a subject site that is located within an Area of Change and within 660-feet of three Major Transit Corridors. Approval of the requested amendment would direct growth and more intense development where change is encouraged, expected, and appropriate. The request furthers Policy 5.6.2 – Areas of Change.

Goal 8.1 – Placemaking: Create places where businesses and talent will stay and thrive.

The site plan major amendment and proposed development further Goal 8.1 – Placemaking because the request creates places where businesses and talent will stay and thrive by helping to ensure a variety of land uses within the Central ABQ CPA, the Santa Barbara / Martineztown community, and the greater Albuquerque area. The proposed development will create jobs for a range of workers with varying occupational skills and salary levels. The request furthers Goal 8.1 – Placemaking.

Policy 8.1.1 – Diverse Places: Foster a range of interesting places and contexts with different development intensities, densities, uses, and building scale to encourage economic development opportunities.

The request furthers Policy 8.1.1 – Diverse Places because the allowance of a hospital use on this site would foster a range of development intensity, density, uses and building scale in an area with a wide range of existing land uses. Further, the subject site's location along three Major Transit Corridors, within an Area of Change, and within the Central ABQ CPA are contributing factors to the appropriateness and success of this economic development opportunity.

- a) Invest in Centers and Corridors to concentrate a variety of employment opportunities for a range of occupational skills and salary levels.

The request would further sub-policy 8.1.1(a) by investing in a subject site that is located within 660-feet of three different Major Transit Corridors. The proposed site plan amendment and proposed subsequent hospital development would create a variety of employment opportunities for a range of occupational skills and salary levels. The request furthers sub-policy 8.1.1(a).

- c) Prioritize local job creation, employer recruitment, and support for development projects that hire local residents.

The request furthers sub-policy 8.1.1(c) because the newly allowed hospital use would facilitate development which would generally hire local residents. The allowance of the requested hospital use would facilitate development on the subject site, thus prioritizing job creation and local hiring. The request furthers sub-policy 8.1.1(c).

Policy 8.1.2 Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

The proposed site plan amendment would encourage an economic development effort that would improve the quality of life for new and existing residents by allowing a range of land uses at the appropriate location, scale, intensity, and density. The subject site is located within the boundaries of three separate Major Transit Corridors. Development along these corridors would foster a robust, resilient, and diverse economy because the requested use would allow a needed high-quality use that would benefit the community. Further, the development would be an infill development, and would maximize existing infrastructure and resources such as public transit, and would provide opportunity for new jobs, thus ensuring a resilient economy. The request furthers Policy 8.1.2 – Resilient Economy.

Goal 8.2 – Entrepreneurship: Foster a culture of creativity and entrepreneurship and encourage private businesses to grow.

The request furthers Goal 8.2 Entrepreneurship because the requested hospital use would be a new use in the area and would be beholden to appropriate design standards, all of which would facilitate the development of the long standing, vacant lot. The subject site is in a prime area: near the Central ABQ CPA, along three Major Transit Corridors and within an area of

change. All these factors contribute to the growth of private business and the culture of creativity. The request furthers Goal 8.2 Entrepreneurship.

Site Plan EPC – Major Amendment – Review and Decision Criteria

As outlined in IDO provisions **14-6-6-6(I)(2)(d)** this proposed site plan includes a portion of the boundary of a site plan approved by the EPC prior to the adoption of the IDO, a Major Amendment pursuant to Subsection **14-16-6-4(Z)** is necessary. Provision **14-16-6-4(Z)(1)(b)** states that the major amendment shall be reviewed by the decision-making body that originally approved the site plan, in this case being the EPC.

The request is supported by the Comprehensive Plan Goals and policies and meets the requirements for a Site Plan – EPC per IDO **Section 14-16-6-6(I)(3)**, Review and Decision Criteria a – h, as follows:

6-6(I)(3)(a): The Site Plan is consistent with the ABC Comp Plan, as amended.

As discussed above, the requested Site Plan - Major Amendment will benefit the surrounding neighborhood because it is consistent with and furthers the ABC Comp Plan and the applicable Goals and Policies therein and clearly facilitating the implementation of the ABC Comp Plan as shown in the previous analysis. The analysis describes how the proposed Zone Map Amendment is consistent with Goals and Policies regarding Character, Centers and Corridors, Complete Communities, City Development Patterns. These Goals and policies are supported because the request will provide much needed high density, infill development as described in the definition of mixed-use zoning in the IDO, cited at the beginning of this letter. Further, the subject site is within 600-feet of three different Major Transit Corridors – Mountain Road NE, I-25 Frontage Road, and Lomas Boulevard.

6-6(I)(3)(b): The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

The site plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and related development agreements and/or regulations.

6-6(I)(3)(c): The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The proposed development complies with the applicable provisions of the IDO for the relevant zone district, including setbacks, parking requirements, etc. The Applicant will submit a grading a drainage plan to City Hydrology and will submit to DHO with other entitlement requests as necessary. The request will comply with the DPM standards with the related improvements associated with this development.

6-6(I)(3)(d): The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

The City's existing infrastructure has adequate capacity for the proposed development. A Traffic Impact Study is currently underway for the project. The TIS will identify any adverse impacts the development would have on the existing transportation network. Prior to the development of the site, any mitigation requirements as a result of the TIS will be addressed and made a condition of issuance of the building permit. This process ensures no negative impacts to the area's transportation infrastructure. We will be making all required submittals to Hydrology, Transportation, etc. The site plan will also follow the DFT Site Plan process, in which infrastructure will be addressed.

6-6(I)(3)(e): The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

The request mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable. The Major Amendment would introduce a new use to the existing Gateway Site Plan for Subdivision. The spirit of the existing, controlling site plan, which was approved in 1997, is maintained. The proposed hospital use would generate less traffic than the existing approved office use. Further, the site plan allows over 100' feet in building height, though the proposed development would stay well under that at 55' in height. The new proposed hospital use provides less intensity and density than the existing approved office use. The development is consistent with the portion of the Gateway Site Plan that is already built out. To the south of the subject site is a hotel at approximately 100' in height, to the west of the subject site are medical labs, which at their highest point are 45' in height. To the north of the subject site is the CEC, which is approximately 35' in height. The subject site is bound by I-25 frontage to the east and is within the boundary of three Major Transit Corridors. Not only are adverse impacts mitigated, but this development will also be a benefit to the surrounding area and communities.

6-6(I)(3)(f): If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject site is not within any Master Development Plan boundaries. However, the subject site is beholden to the Gateway Site Plan for Subdivision, and the IDO. The proposed site plan amendment adheres to the controlling site plan, and the IDO and relevant standards applicable to the zone district the subject property is in.

6-6(I)(3)(g): If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

A cumulative impact analysis is not required in this location because it does not fall within a Railroad and Spur Small Area.

Facilitated Meeting – Santa Barbara Martinez Town Neighborhood Association

A facilitated meeting with the Santa Barbara Martinez Town Neighborhood Association was held on March 21, 2024, via Zoom from 6pm-8pm. The report is attached as part of this application packet. It is important to note that the Neighborhood Association is opposed to the

request, however, there was no direct input on the proposed Site Plan – Amendment, or comments from the neighborhood regarding site design, building placement, etc. The applicant is open to listening to site specific grievances should the neighborhood provide comment on that topic.

Conclusion

The requested site plan major amendment would benefit the surrounding neighborhood by being consistent with the ABC Comp Plan and furthering applicable Goals and Policies in the ABC Comp Plan as shown in the preceding analysis. The proposed amendment furthers a preponderance of Goals and Policies regarding Character, Centers and Corridors, Complete Communities, City Development Patterns, and others. These Goals and policies are supported because the request would provide much needed high density, infill development as described in the definition of MX-H in the IDO. Further, the subject site is within 600-feet of three different Major Transit Corridors – Mountain Road NE, I-25 Frontage Road, and Lomas Boulevard, where this type of development is desired. Lastly, the request aligns with the controlling site plan adopted prior to the adoption of the IDO and promotes mixed uses as desired by the community and outlined in the now repealed sector plan.

Tierra West, on behalf of Cross Development, respectfully requests that this Site Plan Major Amendment is considered and approved by the Environmental Planning Commission. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sergio Lozoya', with a stylized, flowing script.

Sergio Lozoya
Sr. Planner

cc: Megan Vieren

JN: 2023074
SL/db/aj