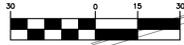




GRAPHIC SCALE



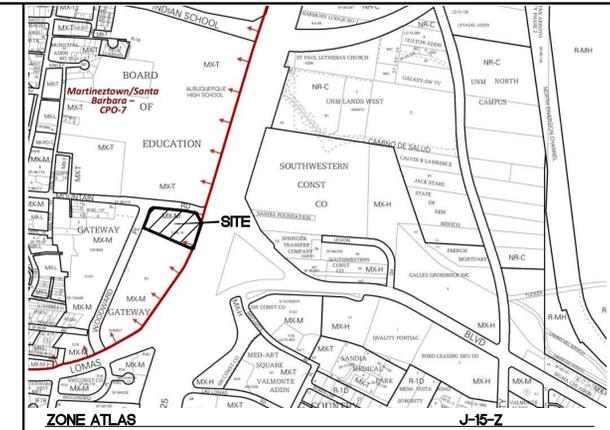
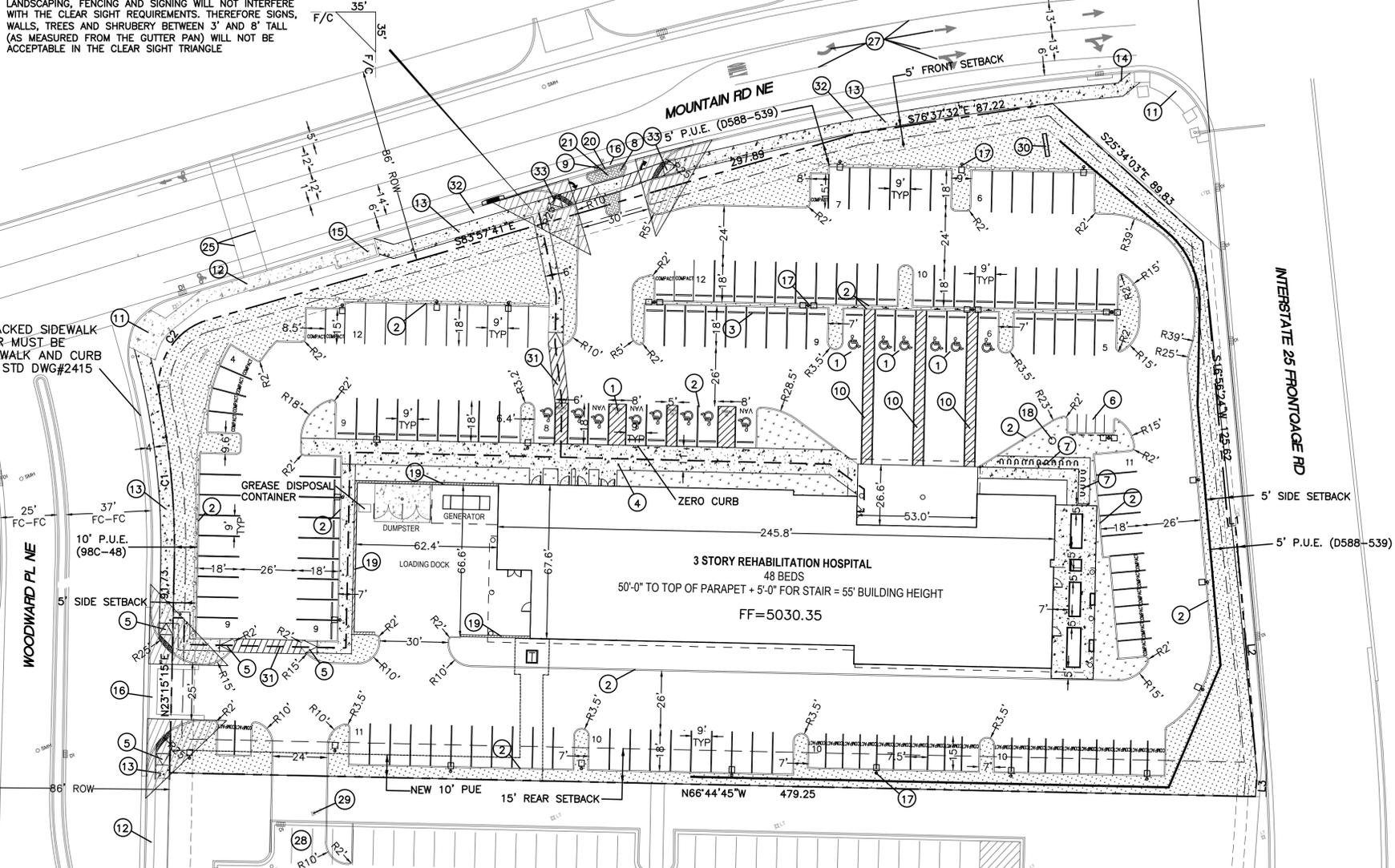
(IN FEET)
1 inch = 30 feet

ALL BROKEN OR CRACKED SIDEWALK AND CURB & GUTTER MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STD DWG#2415 AND 2430

NOTE

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

SIGHT TRIANGLE (TYP)



LEGAL DESCRIPTION:
TRACT LETTERED "A" OF THE PLAT OF GATEWAY SUBDIVISION

SITE DATA

PROPOSED USAGE	HOSPITAL
LOT AREA	119591 SF (2.7454 ACRES)
ZONING	MX-H
BUILDING AREA	55098 SF
BUILDING FOOTPRINT	16068 SF
BUILDING COVERAGE	13%
BUILDING SETBACK	
FRONT	5' MINIMUM
REAR	15' MINIMUM
SIDE	0' MINIMUM SOUTH SIDE, 5' MINIMUM NORTH SIDE

GFA 55098 SF/4 SPACE PER 1,000 =	220 SPACES
5-5(C)(5)(A) PARKING REDUCTION =	20%
5-5(C)(5)(C) PARKING REDUCTION =	10%
REDUCED PARKING REQUIRED =	154 SPACES
PARKING PROVIDED	
PARKING PROVIDED	146 SPACES
ACCESSIBLE PARKING REQUIRED	14 SPACES
ACCESSIBLE SPACES PROVIDED	14 SPACES (3 VAN ACCESSIBLE)
TOTAL	160 SPACES
BICYCLE SPACES REQUIRED	
BICYCLE SPACES PROVIDED	15
MOTORCYCLE SPACES REQUIRED	
MOTORCYCLE SPACES PROVIDED	5 SPACES
LANDSCAPE REQUIRED	
LANDSCAPE PROVIDED	34433 SF

PROJECT NUMBER: PR-2024-009765
APPLICATION NUMBER: SI-2024-00468

Is an Infrastructure List required? (X) Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

* Environmental Health, if necessary

	NOBIS REHAB HOSPITAL 1100 WOODWARD PL. SITE PLAN	DRAWN BY pm DATE 7-14-25 DRAWING
	ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 7-14-25 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com

KEYED NOTES

- ① ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN (3 VAN ACCESSIBLE, 5 AUTO)
- ② 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- ③ WHEEL STOP SEE DETAIL SHEET DET-1
- ④ 11' CONCRETE SIDEWALK PER COA STD DWG 2430
- ⑤ UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
- ⑥ MOTORCYCLE SPACES (5, 8'x4') W/SIGN
- ⑦ BICYCLE RACK
- ⑧ LIGHT POLE TO BE RELOCATED EAST OF ENTRANCE
- ⑨ CURB INLET TO BE RELOCATED EAST OF ENTRANCE
- ⑩ 5' PEDESTRIAN CROSSWALK, SEE DETAIL SHEET DET-1
- ⑪ EXISTING ACCESSIBLE RAMP
- ⑫ EXISTING CONCRETE SIDEWALK
- ⑬ NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430
- ⑭ EXISTING LIGHT POLE TO BE RELOCATED BEHIND WALK
- ⑮ EXISTING BUS STOP
- ⑯ 6' VALLEY GUTTER PER COA STD DWG 2420
- ⑰ SITE LIGHTING (TYP)
- ⑱ FLAG POLE SEE ARCHITECT'S PLAN FOR DETAIL
- ⑲ SCREEN WALL
- ⑳ NOT USED
- ㉑ NOT USED
- ㉒ NOT USED
- ㉓ NOT USED
- ㉔ NOT USED
- ㉕ EXISTING PEDESTRIAN CROSSWALK TO REMAIN PLACE PEDESTRIAN BEACONS ON EITHER SIDE
- ㉖ NOT USED
- ㉗ EXISTING STRIPING TO REMAIN
- ㉘ REMOVE EXISTING PARKING SPACES AND CURB
- ㉙ RELOCATE LIGHT POLE TO BEHIND THE CURB
- ㉚ MONUMENT SIGN
- ㉛ 6' PEDESTRIAN ACCESS
- ㉜ 4' LANDSCAPE BUFFER
- ㉝ UNIDIRECTIONAL ACCESSIBLE RAMP WITH TRUNCATED DOMES WITHIN ROW SEE DETAIL SHEET DET-1

LINE TABLE

NO.	BEARING & DISTANCE
L1	S 73°02'15" E, 3.27'
L2	S 17°01'04" W, 109.94'
L3	S 26°24'22" W, 9.58'

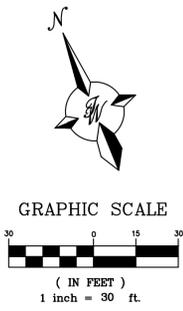
CURVE TABLE

NO.	RADIUS	LENGTH	DELTA
C1	335.00'	73.03'	12°29'23"
C2	30.00'	44.66'	85°17'07"

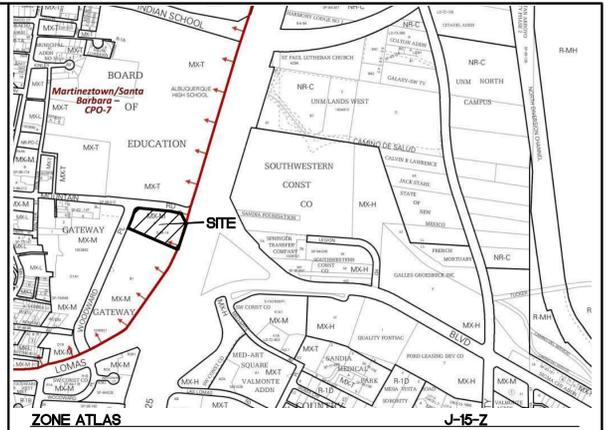
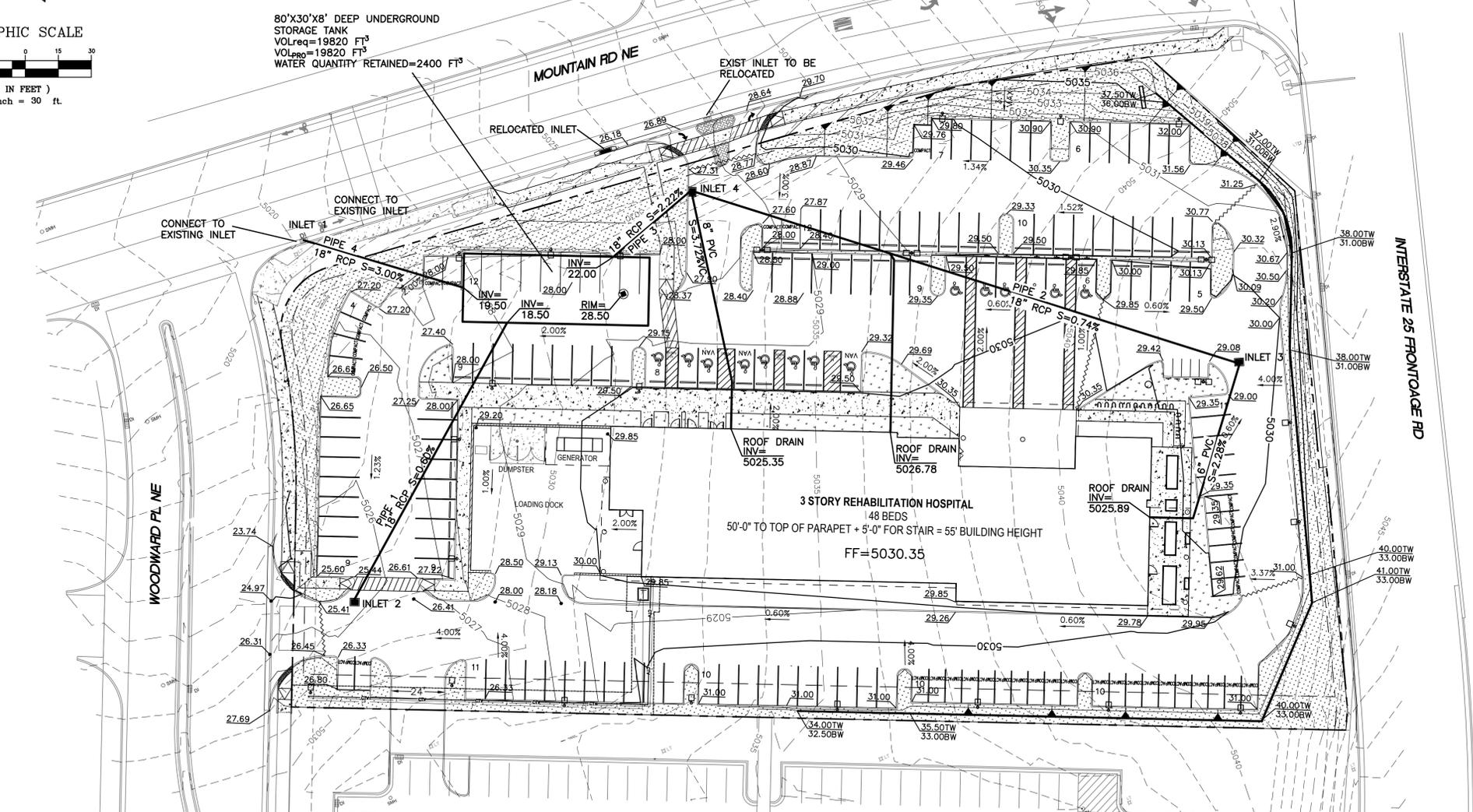
MAJOR AMENDMENT - SITE PLAN EPC PR - 2024 - 009765, SI - 2024 - 00468

- MAJOR AMENDMENT FOR AREA 3 OF THE CONTROLLING SITE PLAN FOR "TRACT A" ONLY.
- THIS AMENDMENT WOULD CHANGE THE ALLOWABLE USE ON AREA 3 "TRACT A" TO INCLUDE HOSPITAL.
- BUILDING AREA AND HEIGHT MAXIMUMS AS DESCRIBED IN CONTROLLING SITE PLAN, REMAIN APPLICABLE TO AREA 3 "TRACT A".
- SETBACKS FOR AREA 3 TO BE CONTROLLED BY IDO.
- PER IDO SECTION 1-10(A)(2) : ANY USE STANDARDS OR DEVELOPMENT STANDARDS ASSOCIATED WITH ANY PRE-IDO APPROVAL OR ZONING DESIGNATION ESTABLISH RIGHTS AND LIMITATIONS AND ARE EXCLUSIVE OF AND PREVAIL OVER ANY OTHER PROVISION OF THIS IDO. WHERE THOSE APPROVALS ARE SILENT, PROVISIONS IN THE IDO SHALL APPLY.

THIS SITE PLAN AMENDMENT ONLY APPLIES TO AREA 3 OF THE GATEWAY CENTER SITE PLAN FOR SUBDIVISION



80'X30'X8' DEEP UNDERGROUND STORAGE TANK
 VOL_{req}=19820 FT³
 VOL_{pro}=19820 FT³
 WATER QUANTITY RETAINED=2400 FT³



STRUCTURE	GRATE	INVERT
INLET 1	5020.00	5017.00
INLET 2	5025.30	5021.30
INLET 3	5028.90	5024.90 IN 5024.80 OUT
INLET 4	5027.05	5023.00 IN 502.90 OUT

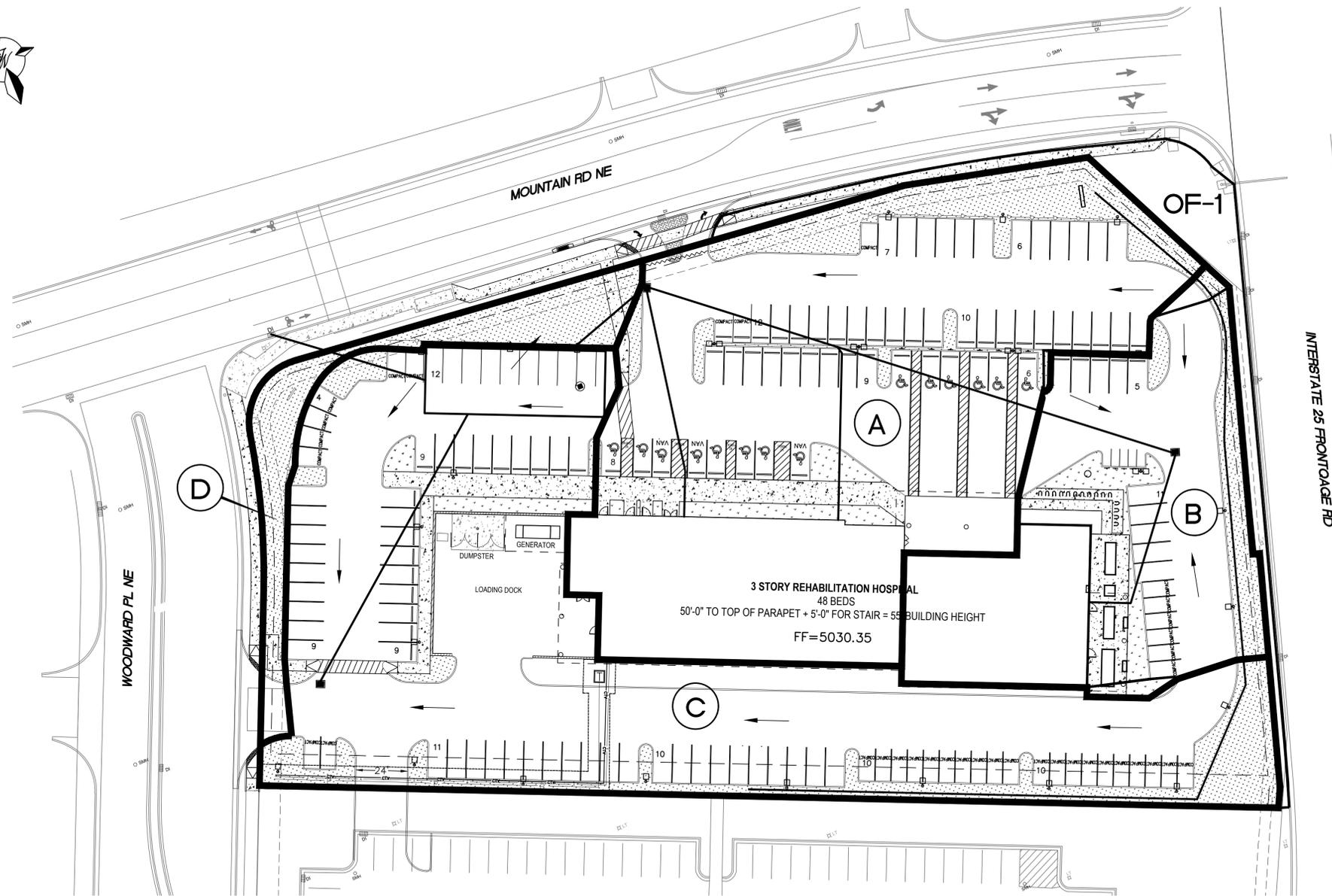
LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	LANDSCAPING
	GRADE BREAK
	PROPOSED STORM SEWER
	DROP INLET

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 1/2" GRAVEL.

CAUTION
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	NOBIS REHAB HOSPITAL 1100 WOODWARD PL.	DRAWN BY pm
	GRADING PLAN	DATE 7-14-25
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-1
RONALD R. BOHANNAN P.E. #7868		JOB # 2023123



EXISTING DRAINAGE:

THIS SITE IS LOCATED AT THE SOUTHEAST CORNER OF WOODWARD PLACE AND MOUNTAIN ROAD. THE SITE IS BOUNDED BY A HOTEL ON THE SOUTH, BY WOODWARD PLACE ON THE EAST, MOUNTAIN ROAD ON THE NORTH AND THE INTERSTATE 25 FRONTAGE ROAD ON THE EAST CONTAINING APPROXIMATELY 2.75 ACRES. THE SITE IS CURRENTLY VACANT AND DRAINS FROM EAST TO WEST. THERE ARE MINIMAL OFFSITE FLOWS THAT ENTER THE SITE FROM THE EAST ALONG THE FRONTAGE ROAD. THE SITE IS NOT LOCATED IN A FLOOD PLAIN AS SHOWN ON FIRM MAP 35001C0334G. THE SITE CURRENTLY DISCHARGES 8.37 CFS.

PROPOSED DRAINAGE:

THE PROJECT IS LOCATED WITHIN THE GATEWAY CENTER MASTER DRAINAGE PLAN AREA AND CONSISTS OF THREE DEVELOPED BASINS WITHIN THAT PLAN AREA. BASIN A-1 CONSISTS OF MOST OF THIS PROJECT AREA AND MAY RELEASE A RESTRICTED DISCHARGE OF 2.90 CFS TO THE EXISTING STORM SEWER LOCATED IN WOODWARD PLACE. BASIN A-2 CONSISTS MAINLY OF AN OFFSITE AREA ALONG THE FRONTAGE ROAD THAT DRAINS THROUGH THE SITE AND FREELY DISCHARGES 1.44 CFS TO MOUNTAIN ROAD. BASIN A-3 IS THE SLOPE ALONG MOUNTAIN ROAD AND FREELY DISCHARGES 0.77 CFS TO THE STREET WHICH IS CAPTURED IN EXISTING DROP INLETS.

THE PROPOSED SITE IS DIVIDED INTO FOUR NEW BASINS. BASINS A, B AND C WILL DRAIN TO DROP INLETS AND BE CONVEYED TO AN UNDERGROUND DETENTION FACILITY THAT WILL DISCHARGE AT A CONTROLLED RATE TO THE EXISTING STORM SEWER IN WOODWARD PLACE. BASIN D IS A SLOPED AREA DRAINING 0.31 CFS TO WOODWARD PLACE AND MOUNTAIN ROAD. BASIN OF-1 IS THE OFF-SITE BASIN THAT WILL BE ALLOWED TO PASS THROUGH THE SITE. PER THE GATEWAY CENTER MASTER DRAINAGE PLAN THIS SITE MAY DISCHARGE A TOTAL OF 5.09 CFS TO THE EXISTING STORM SEWER. THEREFORE THE DISCHARGE FROM THE UNDERGROUND DETENTION FACILITY WILL BE LIMITED TO 4.78 CFS AS 0.31 CFS WILL SURFACE DISCHARGE TO THE STREET.

THE UNDERGROUND DETENTION FACILITY WILL RETAIN THE REQUIRED WATER QUALITY VOLUME OF 2,086 CUBIC FEET, WHICH WILL BE ALLOWED TO INFILTRATE INTO THE GROUND.

POND

Ab - Bottom Of The Pond Surface Area
 At - Top Of The Pond Surface Area
 D - Water Depth
 Dt - Total Pond Depth
 C - Change In Surface Area / Water Depth

Volume = $Ab * D + 0.5 * C * D^2$
 $C = (At - Ab) / Dt$

Ab = 2,400.00
 At = 2,400.00
 Dt = 7.00
 C = 0.00

ACTUAL ELEV.	DEPTH (FT)	VOLUME (AC-FT)	Q (CFS)
5019.50	0.00	0.00	0.0000
5021.50	2.00	0.1102	2.3802
5022.50	3.00	0.1653	3.0165
5023.50	4.00	0.2204	3.5402
5024.50	5.00	0.2755	3.9958
5025.50	6.00	0.3306	4.4046
5026.50	7.00	0.3857	4.7785

Orifice Equation
 $Q = CA \text{ SQRT}(2gH)$

C = 0.6
 Diameter (in) = 8.4
 Area (ft²) = 0.385
 g = 32.2
 H (Ft) = Depth of water above center of orifice
 Q (CFS) = Flow

Weighted E Method

On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A				Treatment B				Treatment C				Treatment D				100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs						
OF-1	5,065	0.12	0%	0	0%	0.00	100%	0.12	0%	0.00	1.030	0.010	0.35	0.480	0.005	0.18								
A	44,804	1.03	0%	0	14%	0.14	0%	0.00	86%	0.88	2.116	0.181	4.18	1.341	0.115	2.53								
B	20,855	0.48	0%	0	13%	0.06	0%	0.00	87%	0.42	2.131	0.085	1.95	1.353	0.054	1.19								
C	48,464	1.11	0%	0	19%	0.21	0%	0.00	81%	0.90	2.039	0.189	4.41	1.280	0.119	2.64								
D	5,464	0.13	0%	0	93%	0.12	0%	0.00	7%	0.01	0.907	0.009	0.31	0.385	0.004	0.13								
											2.21			0.455			10.86							

Equations:

Weighted E = $E_a * A_a + E_b * A_b + E_c * A_c + E_d * A_d / (\text{Total Area})$

Volume = Weighted D * Total Area

Flow = $Q_a * A_a + Q_b * A_b + Q_c * A_c + Q_d * A_d$

Excess Precipitation, E (inches)			Peak Discharge (cfs/acre)		
Zone	100-Year	10-Year	Zone	100-Year	10-Year
E _a	0.62	0.15	Q _a	1.71	0.41
E _b	0.8	0.3	Q _b	2.36	0.95
E _c	1.03	0.48	Q _c	3.05	1.59
E _d	2.33	1.51	Q _d	4.34	2.71

Water Quality Calculation: $0.26'' \times 2.21 \text{ ac} = 2,086 \text{ cubic feet (0.048 ac-ft)}$

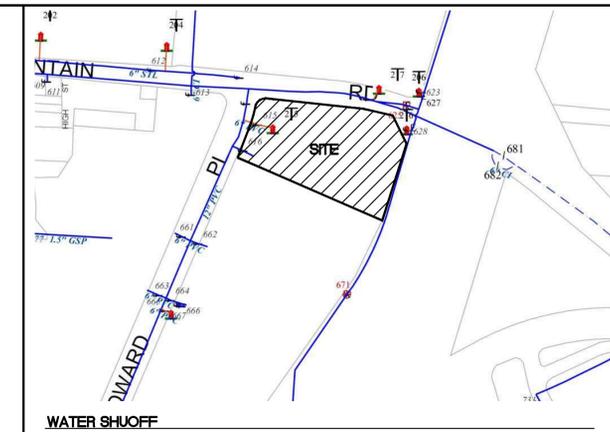
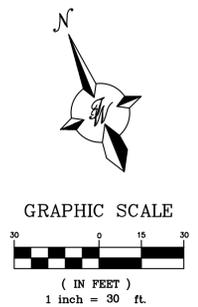
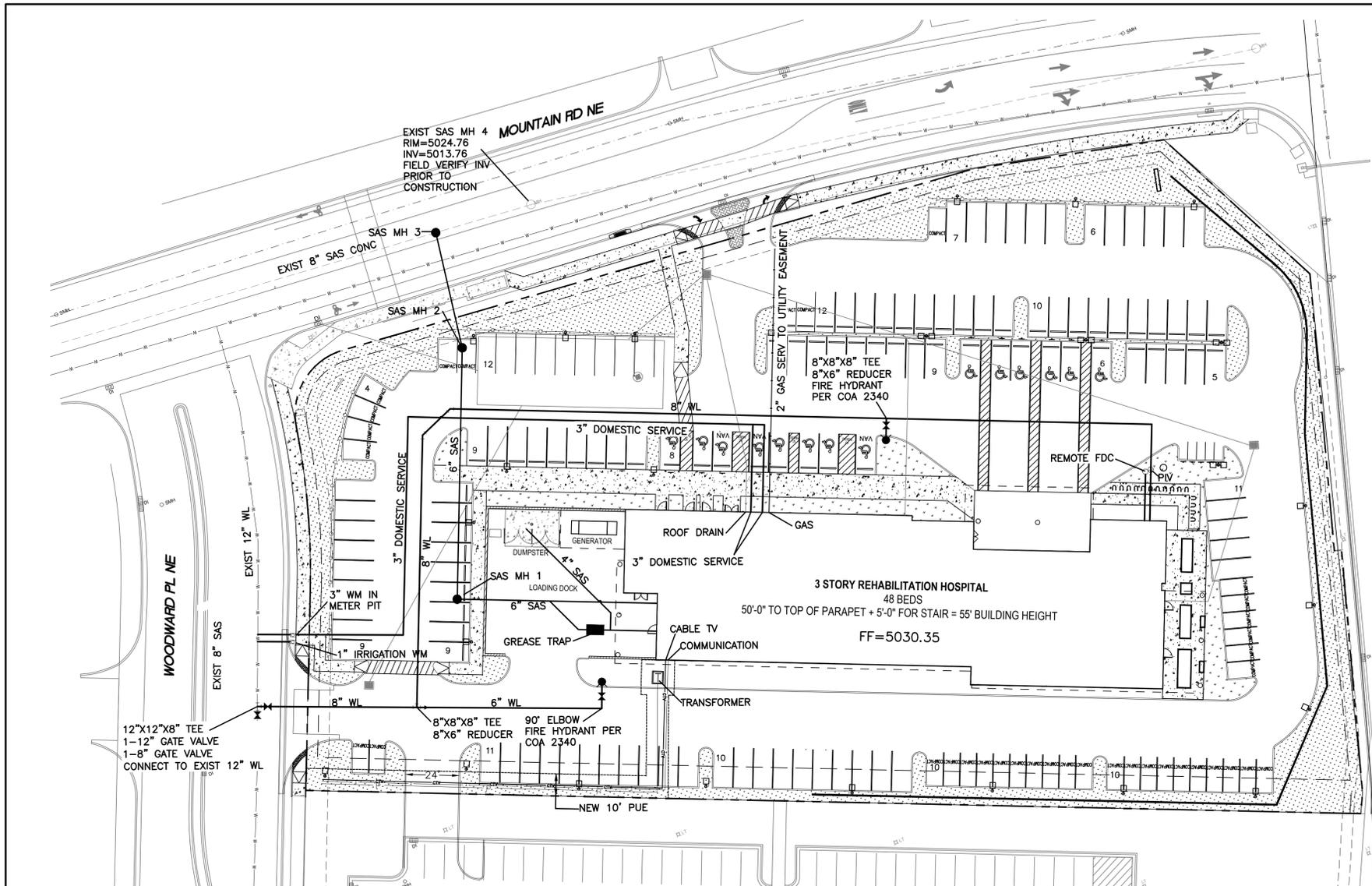
Pipe Capacity

Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	18	0.60	1.77	0.375	8.16	4.41	2.50
2	18	0.74	1.77	0.375	9.06	1.95	1.10
3	18	2.22	1.77	0.375	15.69	6.48	3.67
4	18	3.00	1.77	0.375	18.24	4.78	2.70

Manning's Equation:
 $Q = 1.49/n * A * R^{2/3} * S^{1/2}$

A = Area
 R = D/4
 S = Slope
 n = 0.013

	NOBIS REHAB HOSPITAL 1100 WOODWARD PL.	DRAWN BY pm
	GRADING PLAN BASIN MAP	DATE 7-14-25
	TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
RONALD R. BOHANNAN P.E. #7868		SHEET # GR-2
		JOB # 2023123



THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE, DOMESTIC, AND IRRIGATION LINES MUST HAVE BACKFLOW PREVENTORS PER THE ABCWUA CROSS CONNECTION ORDINANCE.
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
13. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
14. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

GENERAL NOTES

1. COMPACTION IN CITY OR STATE RIGHT-OF-WAYS SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS
2. SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE AND TYPE IV, CLASS 2 FOR CABLE IN CONDUIT, TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
3. IF TRENCH-RUN MATERIAL MEETS BACK FILL MATERIAL TYPE REQUIREMENTS, 3" BEDDING MAY BE OMITTED PROVIDED THE TRENCH BOTTOM IS SMOOTH, FLAT AND WITHOUT SURFACE IRREGULARITIES.
4. SEPARATION BETWEEN JACKETED PRIMARY AND COMMUNICATION CABLES SHALL BE AT LEAST 12".
5. SPOIL PILE SHALL BE PLACED ON THE FIELD SIDE A MINIMUM OF 2' FROM TRENCH EDGE.
6. WATER LINES SHALL MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES AND MAY BE INSTALLED EITHER ABOVE OR BELOW OTHER UTILITIES DEPENDING ON FREEZE DEPTH.
7. LATEST OSHA TRENCH SAFETY REQUIREMENTS SHALL BE STRICTLY OBSERVED.
8. WARNING TAPE SHALL BE PLACED A MINIMUM OF 12" ABOVE THE UPPER LEVEL OF UTILITIES AT THE CENTER OF TRENCH.
9. WHEN BINGING CABLES TO PEDESTALS, 12" SEPARATION MUST BE MAINTAINED FROM THE GAS LINE.
10. PNM OWNED OR MAINTAINED STREETLIGHT CIRCUITS MAY BE INSTALLED IN TRENCH NEXT TO ELECTRIC CABLES.
11. PRIVATE AREA LIGHTING OR PRIVATE STREETLIGHT CIRCUITS MAY NOT BE IN JOINT TRENCH.
12. GAS SERVICE MUST BE 12" AWAY FROM WHERE IT WILL PASS EQUIPMENT OR PEDESTALS.

REFERENCES

1. NESO RULE 352, 353, 354.

STRUCTURE TABLE

STRUCTURE	RIM	INV IN	INV OUT
SAS MH 1	5027.48	5019.90	5019.80
SAS MH 2	5028.00	5018.10	5018.00
SAS MH 3	5022.75	5013.00	5012.64

ALL SAS MH'S ARE TYPE 'C' 4' DIA PER COA DWG 2101

SEE SHEET DET-2 FOR UTILITY TRENCH AND BEDDING DETAIL

INSPECTION NOTE

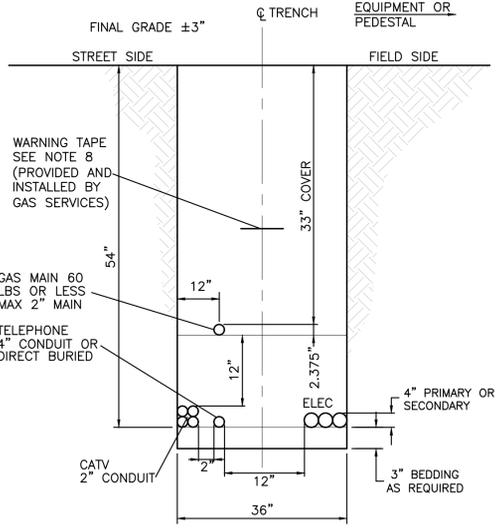
CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

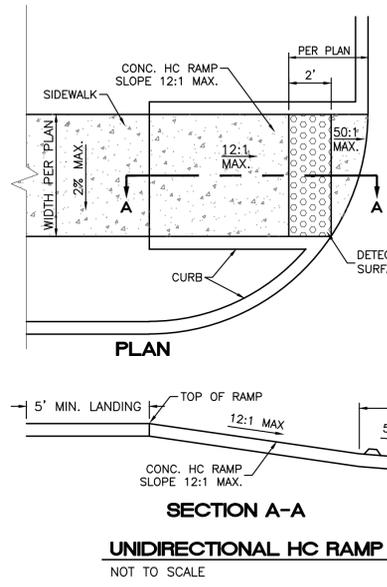
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- - - RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- RETAINING WALL
- 8" SAS SANITARY SEWER LINE
- 8" WL WATERLINE
- PROPOSED HYDRANT
- NEW SAS MH
- NEW WATER METER
- COMMUNICATION LINE
- CTV CABLE TV LINE

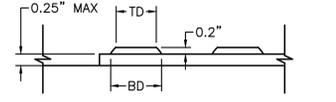


TYPICAL TRENCH DETAIL
NTS

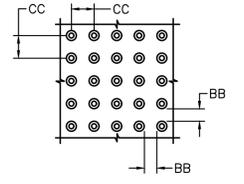
	NOBIS REHAB HOSPITAL 1100 WOODWARD PL.	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 7-14-25
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # MU-1
	7-14-25 RONALD R. BOHANNAN P.E. #7868	JOB # 2023123



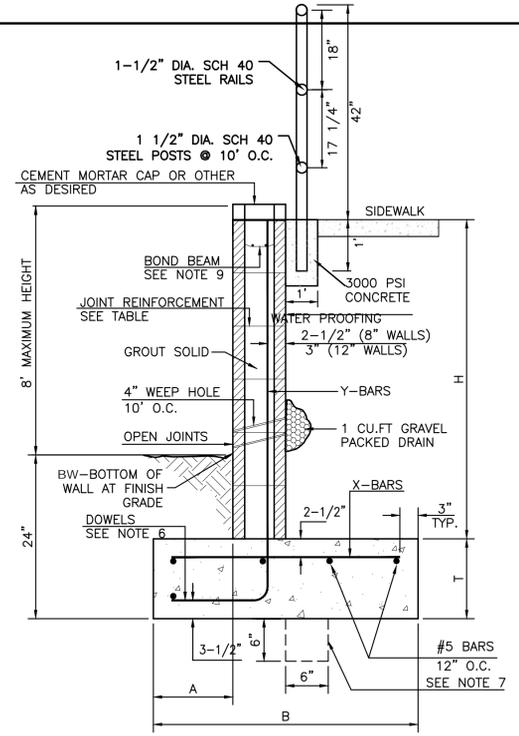
- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.



DOME SECTION
 BD - BASE DIAMETER 0.9" MIN
 TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOME SPACING
 CC - CENTER TO CENTER SPACING 2.35"
 BB - BASE TO BASE SPACING 1.48" MIN



RETAINING WALL DETAIL
 NTS

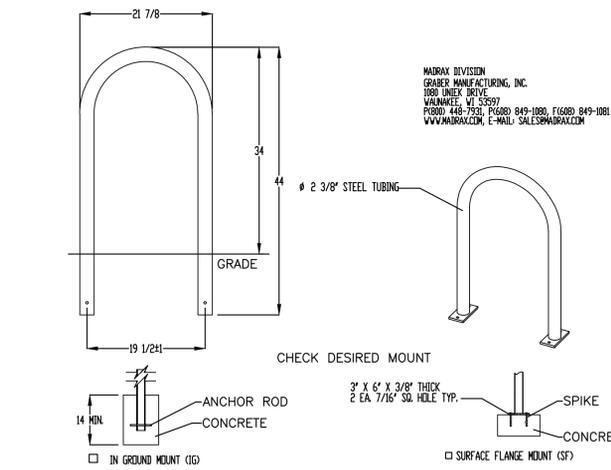
8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

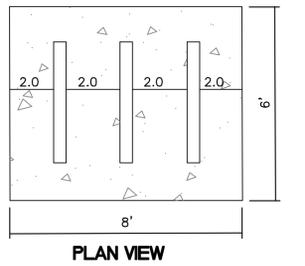
- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



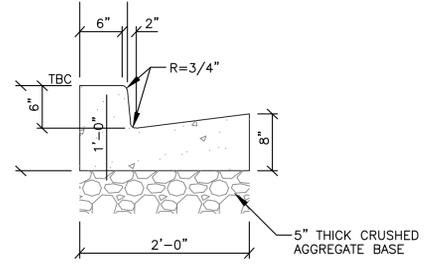
MADRAY DIVISION
 GRABER MANUFACTURING, INC.
 1080 UNEX DRIVE
 WASHINGTON, VT 05697
 PHONE 446-7930, FAX 446-7930, TOLL FREE 800-849-1080
 WWW.GRABER.COM, E-MAIL SALES@GRABER.COM

- PRODUCT: 10238-1IGSF**
 DESCRIPTION: 1" BIKE RACK
 2 BARS, SURFACE OR IN GROUND MOUNT
 DATE: 10-4-18
 ENG: SNC
- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
 4. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
 5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.
- CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.
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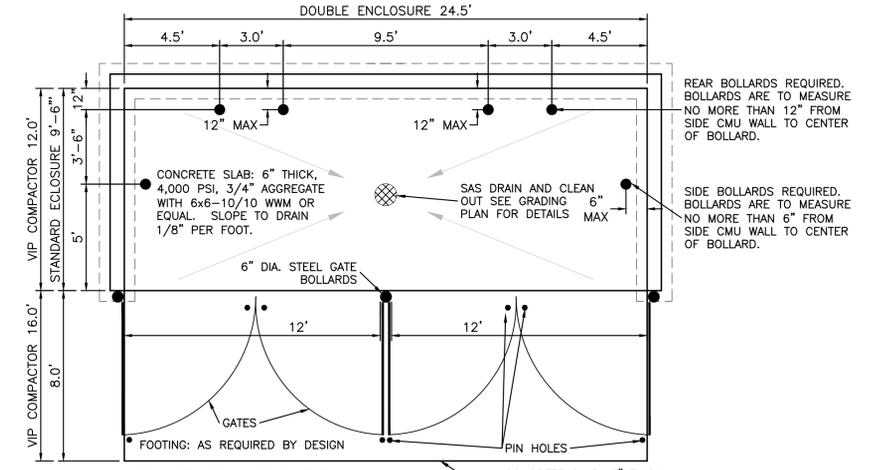
BIKE RACK DETAIL
 NTS



PLAN VIEW

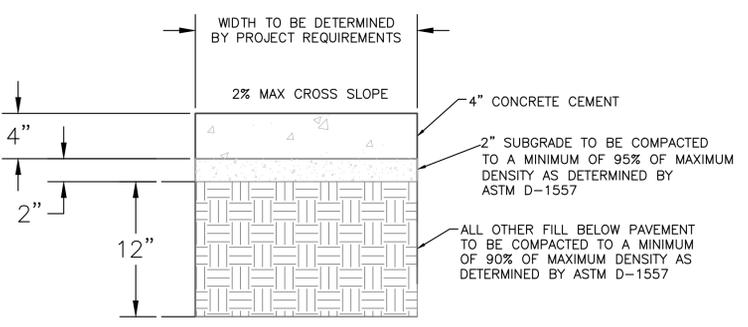


STANDARD CURB AND GUTTER
 NTS

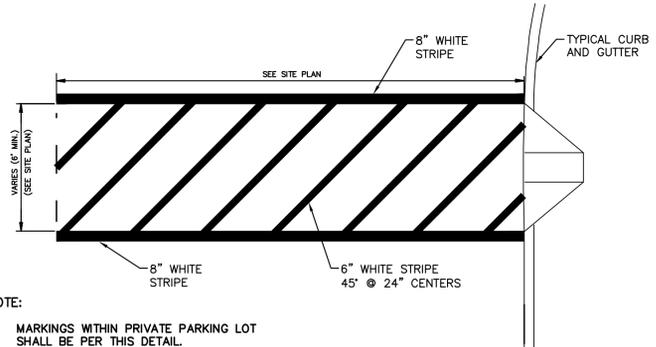


DUMPSTER w/SAS DRAIN - ENCLOSURE DETAIL

- NOTE:**
1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
 2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

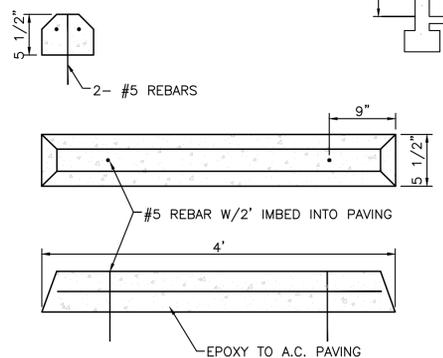


CONCRETE SIDEWALK SECTION



- NOTE:**
1. MARKINGS WITHIN PRIVATE PARKING LOT SHALL BE PER THIS DETAIL.
 2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

CROSSWALK/PED. CROSSING
 NTS

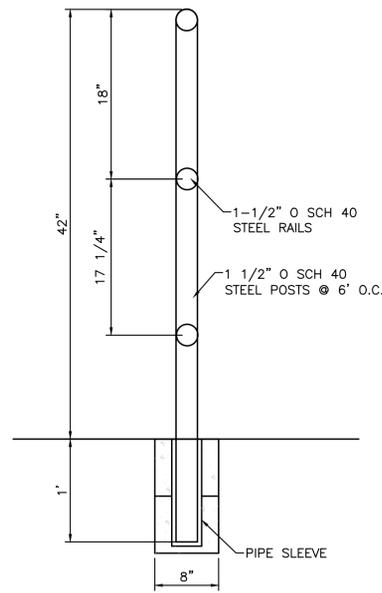


WHEEL BUMPER
 NTS

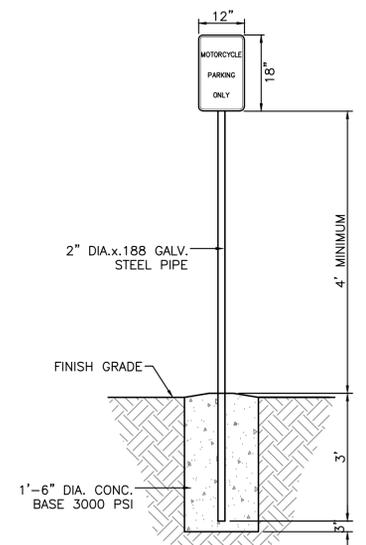
ENGINEER'S SEAL
 RONALD R. BOHANNAN
 NEW MEXICO
 7868
 PROFESSIONAL ENGINEER
 7-14-25
 RONALD R. BOHANNAN
 P.E. #7868

NOBIS REHAB HOSPITAL
 1100 WOODWARD PL.
CONSTRUCTION DETAILS
 TIERRA WEST, LLC
 5571 MIDWAY PARK PL. NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 858-3100
 www.tierrawestllc.com

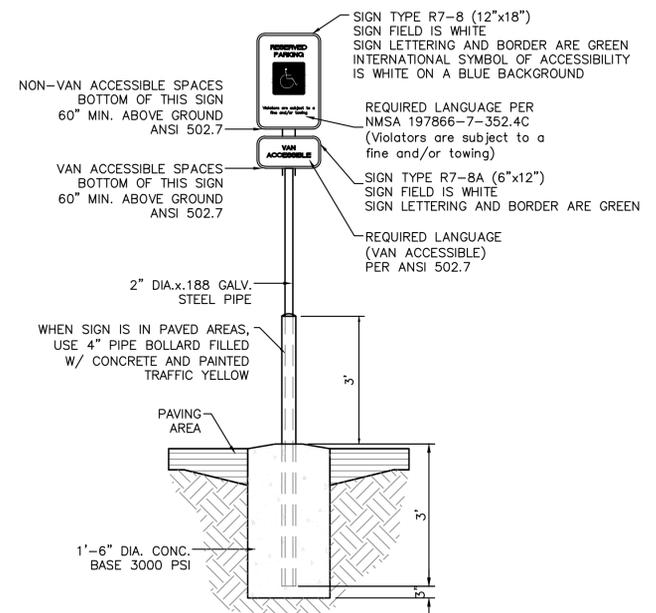
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 DATE
 7-14-25
 DRAWING
 SHEET #
 DET-1
 JOB #
 2023123



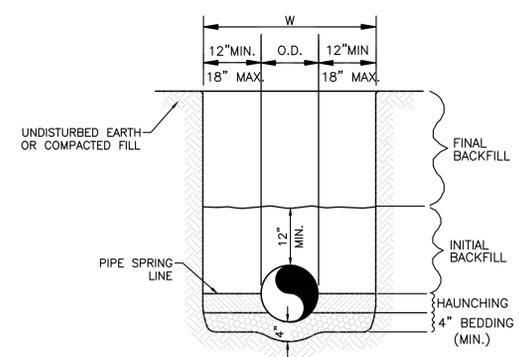
GUARD RAIL DETAIL
NTS



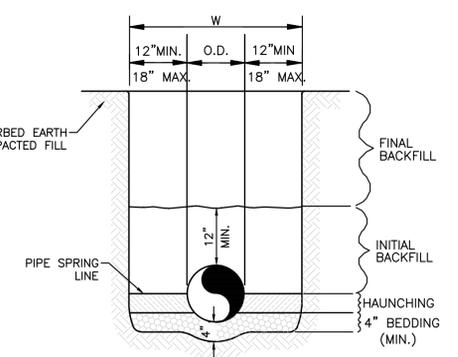
MOTORCYCLE PARKING SIGN
NTS



ACCESSIBLE PARKING SIGN
NTS



WATER LINE



SANITARY SEWER

GENERAL NOTES

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

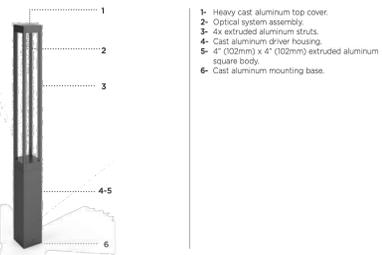
UTILITY TRENCH AND BEDDING DETAIL
NTS

	NOBIS REHAB HOSPITAL 1100 WOODWARD PL.	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 7-14-25
7-14-25 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING SHEET # DET-2
		JOB # 2023123

LUMINIS

LQ427 SERIES
Lumiquad
4" BOLLARD

TYPE:	B1	QUANTITY:		PROJECT:	
CATALOG NUMBER:	LQ427	L1L20-R5	277V	TBD	LVR
FIXTURE	SUFFIX	VOLTAGE	FINISH	OPTION	OPTION
				OPTION	OPTION



LQ427

- Heavy cast aluminum top cover.
- Optical system assembly.
- 4x extruded aluminum struts.
- Cast aluminum driver housing.
- 4" (102mm) x 4" (102mm) extruded aluminum square body.
- Cast aluminum mounting base.

MATERIALS

Lumiquad bollard is made of corrosion resistant 356 aluminum alloy with a copper (Cu) content of less than 0.1%.

ELECTRICAL DRIVER

Standard driver is 0-10V dimming-ready (dims to 10%) with 120-277 multi-volt compatibility (50-60Hz); operating temperatures of -40°C/-40°F to 55°C/133°F, output over voltage protection, output over current protection, output short circuit protection with auto-recovery.

LED

3000K/3500K/4000K CCT with 80 CRI. Optional true amber LED for turtle sensitive areas. Wavelengths: 585nm to 597nm.

LIFE

60,000hrs L₇₀ (Based on IESNA TM-21 Test Method and LM-80 data). Up to 70,000hrs L₇₀ (calculated projection from LM-80 data).

FINISH

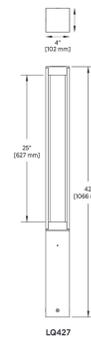
Five-stage preparation process includes preheating of cast aluminum parts for air extraction. Polyester powder coating is applied through an electrostatic process, and oven cured for long-term finish.

CERTIFICATION

Certified and Approved per CSA C22.2 No. 250.0 standard and ANSI/UL 1598 standard, for wet location. Rated IP65. Photometric testing performed by an independent laboratory in accordance with IES LM-79-08 standards at 25°C. Lumen depreciation in accordance with IESNA LM80 standards.

MOUNTING

Mounts with a set of 4 x 3/8" x 3 x 3/4" galvanized anchor bolts.



LQ427

LUMINIS | Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com
260 Labrosse, Pointe-Claire (QC) Canada H9R 5L5

LUMINIS.COM

Rev. 04/2023

D-Series Size 1 LED Area Luminaire



d'series

Specifications

EPA:	0.69 ft ² (0.06 m ²)
Length:	32.71" (831 mm)
Width:	14.25" (362 mm)
Height H1:	7.86" (200 mm)
Height H2:	2.73" (69 mm)
Weight:	34 lbs (15.4 kg)

Example: DSX1 LED P4 40K 70CRI T4M MVOLT RPA DDBXD

Example: S1 AND S2

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LEDs	Color Temp./State	Color Rendering Index	Distribution	Voltage	Mounting
DSX1 LED	Forward optics	(this section 70CRI only)				
P1	P6	30K 3000K	70CRI	T1S Type I select	120V	SPA Square pole mounting (8" drilling)
P2	P7	40K 4000K	70CRI	T2M Type II medium	120V	SPA Square pole mounting (8" drilling)
P3	P8	50K 5000K	70CRI	T3M Type III medium	120V	SPA Square pole mounting (8" drilling)
P4	P9	(this section 80CRI only, extended lead times apply)		T3LG Type III low glare*	120V	SPA Square pole mounting (8" drilling)
P5				T4M Type IV medium	120V	SPA Square pole mounting (8" drilling)
P10*	P12*	27K 2700K	80CRI	T4M Type IV medium	277V	SPA Square pole mounting (8" drilling)
P11*	P13*	35K 3500K	80CRI	T4M Type IV medium	277V	SPA Square pole mounting (8" drilling)
		40K 4000K	80CRI	T4M Type IV medium	277V	SPA Square pole mounting (8" drilling)
		50K 5000K	80CRI	T4M Type IV medium	277V	SPA Square pole mounting (8" drilling)

Control options	Other options	Finish options
Shipped installed	SP20V 20V surge protection	0200 Light Bronze
NLTAR2 PIRHN Light AIR gen 2 enabled with hi-level motion / ambient sensor, 8-12" mounting height, ambient sensor enabled at 26" (6.61m)	HS Houseline shield (back finish standard)**	0202 Black
FAO Field adjustable output**	L90 Left rotated optics*	0204 Natural Aluminum
BL30 Bi-level switched dimming, 30%+**	R90 Right rotated optics*	0206 White
BL50 Bi-level switched dimming, 50%+**	CC Central Construction**	0207 Textured dark bronze
DMG 0-10V dimming wire pulled outside fixture (for use with an external control, ordered separately)**	HA 50% ambient operation**	0208 Textured black
PER NEMA twist-lock receptacle only (controls ordered separately)**	BA Buy America(s) Act Compliant	0209 Textured natural aluminum
PERS Five-pin receptacle only (controls ordered separately)**	DF Double face (208, 240, 480V)*	0210 Textured white
	ECR External Face Shield (invertible, field install required, matches housing finish)	
	ES38 Best Spikes (field install required)	

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FEATURES & SPECIFICATIONS

INTENDED USE — These specifications are for USA standards only. Round Tapered Aluminum is a general purpose light pole for up to 50-foot mounting heights. This pole provides a lighter and naturally corrosion-resistant option for mounting area light fixtures and floodlights.

CONSTRUCTION

Pole Shaft: The pole shaft is of uniform wall thickness and is one-piece extruded 6063 aluminum alloy with 16 temper. The shaft is cone-tapered. Available shaft diameters are 4", 5", 6", 7", 8", and 10".

Pole Top: Options include tenon top, drilled for side mount fixture, tenon with drilling (includes extra hardware) and open top. A removable cast aluminum top cap with set screws is provided for all poles that will receive drilling patterns for side mount luminaires. An assembly or weld collar with open top (PT) option. The top cap resists intrusion of moisture and environmental contaminants.

Handhole: 4" - 6" RPA poles have non-reinforced 2" x 4" handhole with overlap cover. 7" - 10" RPA poles have reinforced 4" x 6" handhole with flush surface covers. 4" - 5" RPA poles have handhole located 12" above base. 6" - 10" RPA pole handhole located 18" above base w/ side A. Poles with non-reinforced handhole have supplemental ground lag with tapped hole for 3/8-16 ground bolt welded inside pole opposite handhole. Poles with reinforced handhole have 5/16-18 tapped hole in handhole reinforcement adjacent to opening. Positioning the handhole lower than standard may not be possible and requires engineering review, consult Tech Support/Outdoor for further information. Standard and extra handholes come with cover and attachment hardware.

Ball Cap/Base Cover: Pole base plate for RPA poles utilizes cast aluminum A365 ball caps to cover anchor bolts and not assembly included. 1 piece, open aluminum base cover available as an option.

Anchor Base/Bolts: Anchor base is cast from A356 alloy aluminum and is heat treated to a T6 temper after welding. Anchor bolts are manufactured to ASTM F1554 Standard Grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Upper portion of anchor bolt is galvanized per ASTM A-153; bolts have an "X" thread on bottom end and are galvanized a minimum of 12" on the threaded end. Each hot-dipped galvanized anchor bolt is furnished with two hex nuts and two flat washers.

HARDWARE — All structural and non-structural fasteners are stainless-steel.

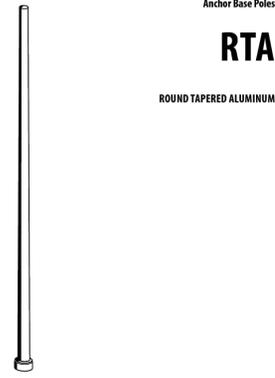
FINISH — Extra durable painted finish is coated with polyester powder that meets SA and 5B specifications of ASTM D3359. Standard powder-coat finishes include Dark Bronze, White, Black, and Natural Aluminum colors. Other finishes include Brushed Aluminum, and Anodized Dark Bronze, Anodized Natural Aluminum and Anodized Black. Architectural Colors and Special Finishes are available by quote and include, but are not limited to RAL Colors, Custom Colors and Extended Warranty Finishes.

INSTALLATION — Do not erect poles without having fixtures installed. Factory supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use Lithonia Lighting factory templates. If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage. Lithonia Lighting is not responsible for the foundation design.

WARRANTY — 1 year limited warranty. This is the only warranty provided and no other statements in this specification shall create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.lithonia.com/support/warranty/terms-and-conditions

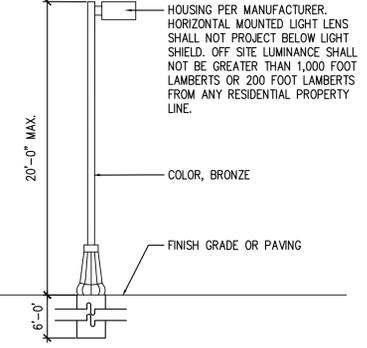
NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Catalog Number:	RTA 6G DM28AS DDBXD
Notes:	
Type:	S2 POLE



RTA

ROUND TAPERED ALUMINUM



HOUSING PER MANUFACTURER. HORIZONTAL PROJECTED LIGHT LENS SHALL NOT PROJECT BELOW LIGHT SHIELD. OFF-SITE LUMINANCE SHALL NOT BE GREATER THAN 1,000 FOOT LAMBERTS OR 200 FOOT LAMBERTS FROM ANY RESIDENTIAL PROPERTY LINE.

COLOR, BRONZE

FINISH GRADE OR PAVING

20'-0" MAX.

6'-0" MAX.

LIGHTING NOTE: NEON LIGHTS ARE PROHIBITED WITHIN 300 FEET OF LEARNING ROAD.

NOTE: WALL SCONES AND FLOOD LIGHTS SHALL BE PURSUANT TO IDO 5-8(D)(4) AND 5-8(E)



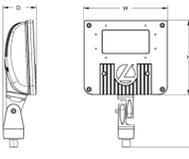
D-Series DSXF1 LED Floodlight



d'series

Specifications

EPA:	0.6 ft ² (0.05 m ²)
Depth:	3.52" (89 mm)
Width:	8.86" (225 mm)
Height:	7.84" (199 mm)
Overall Height:	13.37" (340 mm)
Weight:	7.2 lbs (3.3 kg)



Catalog Number:	DSXF1 LED P2 40K NSP MVOLT IS UVB DDBXD
Notes:	
Type:	SL1

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The D-Series floodlights feature a site-wide offering to meet specifier's every floodlighting need in application. The D-Series flood offers three sizes delivering 3,000 to 27,000 lumens. Available with seven precision optics, three mountings and three color temperatures, D-Series floodlights offer vast design capabilities while delivering significant energy savings and long life.

The DSXF1 delivers 3,000 to 5,500 lumens, meeting a large breadth of illumination requirements for design and renovation when replacing 70W to 150W HID floodlights. All configurations are assembled in the USA allowing for quick delivery.

Ordering Information EXAMPLE: DSXF1 LED P1 40K MSP MVOLT THK DDBXD

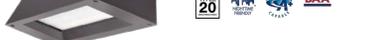
Series	Performance Package	Color Temperature	Distribution	Package	Mounting
DSXF1 LED	P1	30K 3000K	WFL Wide flood (63)	MVOLT 347	
	P2	40K 4000K	R Flood (33)		
		50K 5000K	MFL Medium flood (44)		
			WFR Wide flood rectangular (63)		
			HMF Horizontal medium flood (64)		
			MSP Medium spot (44)		
			NSP Narrow spot (33)		

Options	Shipped separately*	Finish options
PE Photometric, button style*	UVB UVB (open fixture color luminaires)	0200 Light Bronze
DMG 0-10V dimming wire pulled outside fixture (for use with an external control, ordered separately)**	FY Full view	0202 Black
SP20V Separate surge protection	VG Vandal guard	0204 Natural Aluminum
		0206 White

Accessories*	NOTES
DSXF12000D Single face 1" x 2" x 3" (25mm, 1/2" thick) (back finish)	1. MVOLT driver operates on line voltage from 120-277V.
DSXF13000D Single face 2" x 3" x 3" (51mm, 1/2" thick) (back finish)	2. Requires MVOLT or 347V (not available in 480V).
DSXF14000D Single face 3" x 3" x 3" (76mm, 1/2" thick) (back finish)	3. Also available as accessories; see Accessories information at left.
DSXF15000D Double face back, 2" x 3" x 3" (51mm, 1/2" thick) (back finish)	
DSXF16000D Double face front, 2" x 3" x 3" (51mm, 1/2" thick) (back finish)	
DSXF17000D Single face view assembly (back finish)	
DSXF18000D Full view assembly (back finish)	
DSXF19000D Metal post assembly	

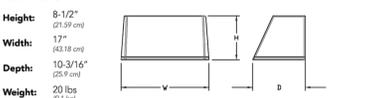
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WST LED Architectural Wall Sconce



Specifications

Luminaire	8-1/2" (21.59 cm)
Width:	17" (431.8 mm)
Depth:	10-3/16" (25.9 cm)
Weight:	20 lbs (9.1 kg)



Catalog Number:	WST LED P2 40K VF MVOLT PE E20WC DDBXD
Notes:	
Type:	WAE

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The WST LED is designed with the specifier in mind. The traditional, trapezoidal shape offers a soft, non-pixelated light source for end-user visual comfort. For emergency egress lighting, the WST LED offers six battery options, including remote. For additional code compliance and energy savings, there is also a Bi-level motion sensor option. With so many standard and optional features, three lumen packages, and high LPW, the WST LED is your "go to" luminaire for most any application.

Ordering Information EXAMPLE: WST LED P1 40K VF MVOLT DDBXD

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
WST LED	P1 1,500 Lumen package	27K 2700K	VF Visual comfort forward throw	MVOLT 120V	
	P2 3,000 Lumen package	30K 3000K	VW Visual comfort wide	347V	
	P3 6,000 Lumen package	40K 4000K		480V	
		50K 5000K		240V	

Options	Finish options
NLTAR2 PIR nLGH1 AIR Wireless enabled motion/ambient sensor for 8'-15' mounting heights**	0200 Light Bronze
NLTAR2 PIRN nLGH1 AIR Wireless enabled motion/ambient sensor for 15'-30' mounting heights**	0202 Black
PE Photometric cell, button type*	0204 Natural Aluminum
PER NEMA twist-lock receptacle only (controls ordered separately)*	0206 White
P5 Five-wire receptacle only (controls ordered separately)**	0208 Sandstone
PER2 Seven-wire receptacle only (controls ordered separately)**	0207 Textured dark bronze
PE Motion/Ambient Light Sensor, 8-15' mounting height**	0208 Textured black
PE20V Emergency battery pack, 20% 30W constant power, Certified in CA Title 20 MALDS**	0209 Textured natural aluminum
PE20VW Remote emergency battery backup, CA Title 20 Noncompliant (remote 20V)***	0210 Textured white
PE20VWR Remote emergency battery backup, CA Title 20 Noncompliant (remote 20V)***	0210 Textured sandstone
LEE Left side conduit entry**	
REE Right side conduit entry**	
BAA Buy America(s) Act Compliant	
Shipped separately	
RPW Remote back plate*	
VG Vandal guard*	
WG Wire guard**	

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WST LED Architectural Wall Sconce



Specifications

Luminaire	8-1/2" (21.59 cm)
Width:	17" (431.8 mm)
Depth:	10-3/16" (25.9 cm)
Weight:	20 lbs (9.1 kg)



Catalog Number:	WST LED P3 40K VF MVOLT DS DDBXD
Notes:	
Type:	WP1

Hit the Tab key or mouse over the page to see all interactive elements.

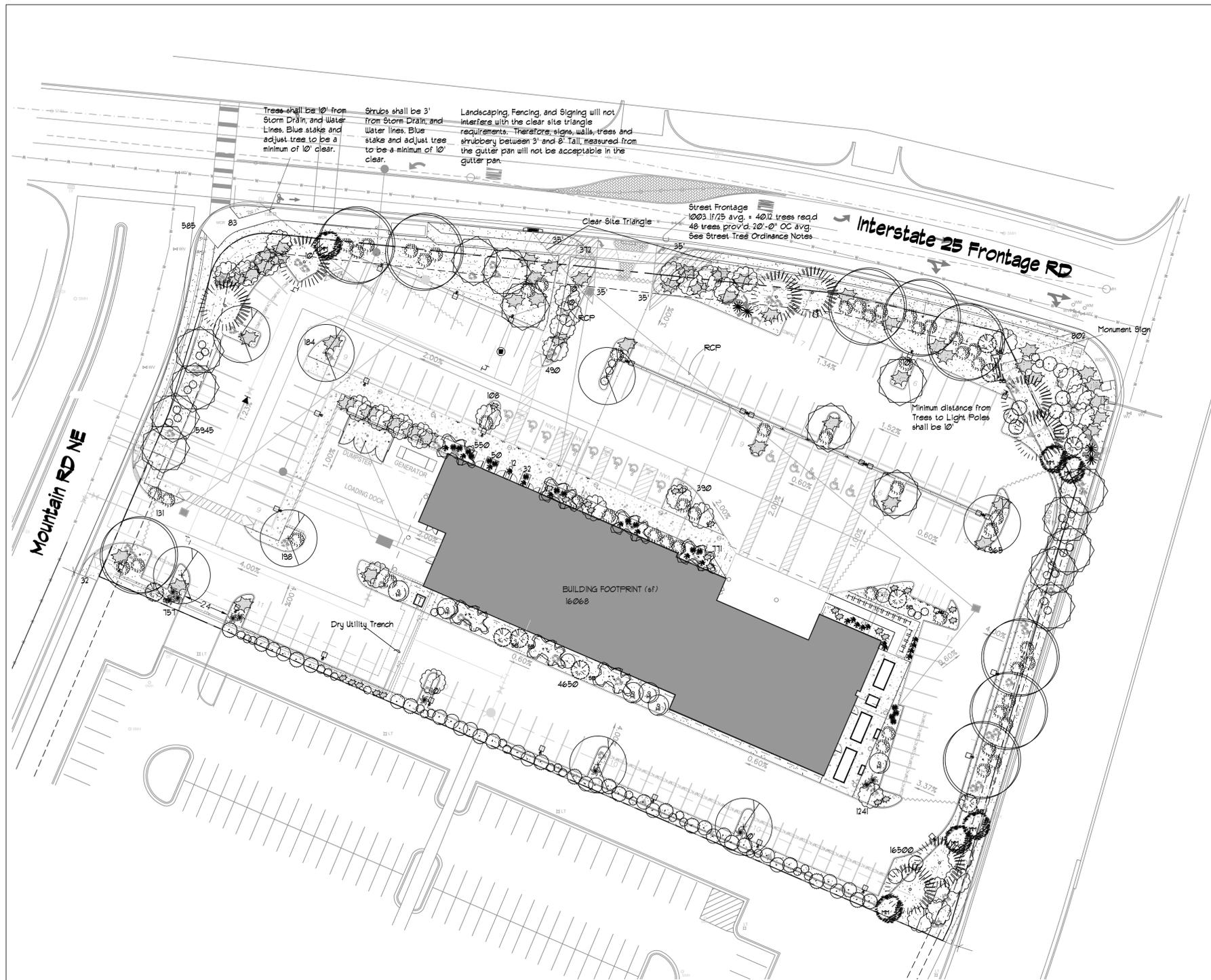
Introduction

The WST LED is designed with the specifier in mind. The traditional, trapezoidal shape offers a soft, non-pixelated light source for end-user visual comfort. For emergency egress lighting, the WST LED offers six battery options, including remote. For additional code compliance and energy savings, there is also a Bi-level motion sensor option. With so many standard and optional features, three lumen packages, and high LPW, the WST LED is your "go to" luminaire for most any application.

Ordering Information EXAMPLE: WST LED P1 40K VF MVOLT DDBXD

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
WST LED	P1 1,500 Lumen package	27K 2700K	VF Visual comfort forward throw	MVOLT 120V	
	P2 3,000 Lumen package	30K 3000K	VW Visual comfort wide	347V	
	P3 6,000 Lumen package	40K 4000K		480V	
		50K 5000K		240V	

Options	Finish options
NLTAR2 PIR nLGH1 AIR Wireless enabled motion/ambient sensor for 8'-15' mounting heights**	0200 Light Bronze
NLTAR2 PIRN nLGH1 AIR Wireless enabled motion/ambient	



Trees shall be 10' from Storm Drain and Water Lines. Blue stake and adjust tree to be a minimum of 10' clear.

Shrubs shall be 3' from Storm Drain and Water Lines. Blue stake and adjust tree to be a minimum of 10' clear.

Landscaping, Fencing, and Signage will not interfere with the clear site triangle requirements. Therefore, signs, walls, trees and shrubbery between 3' and 8' Tall, measured from the gutter pan will not be acceptable in the gutter pan.

Street Frontage
1003 1/25 avg. = 4012 trees req'd
48 trees prov'd. 20'-0" OC avg.
See Street Tree Ordinance Notes

Interstate 25 Frontage RD

Mountain RD NE

BUILDING FOOTPRINT (sf)
16068

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	19591
TOTAL BUILDING AREA (SF)	16068
TOTAL NET LOT AREA (SF)	103516.00
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED	15536
TOTAL ON-SITE LANDSCAPE PROVIDED (SF)	34433
TOTAL VEGETATIVE COVERAGE REQUIRED (SF)	25825
TOTAL VEGETATIVE COVERAGE PROVIDED (SF)	39875
TOTAL GROUND VEGETATIVE COVERAGE REQUIRED (SF)	6456
TOTAL GROUND VEGETATIVE COVERAGE PROVIDED (SF)	9203

Parking Lot Landscaping

Parking Lot	126
One (1) tree per 10 parking spaces	
Tree Required	13
Tree Provided	14
75 percent of the required parking area shall be deciduous canopy-type shade trees	
deciduous Tree Required	10
deciduous Tree Provided	14

LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
14	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	600 8400 M+
9	2" cal	Texas Red Oak <i>Quercus texana syn buckleyi</i>	600 5400 M
8	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25 490 3920 M
1	25 Gal	Crape Myrtle <i>Lagerstroemia indica x fauriei</i> Tree Form, Multi-Trunk	176 1232 M
30	2" Cal	Pom Pom Redbud <i>Cercis canadensis</i> "Pom Pom Poms" Per COA mandate	113 3390 M
11	2" Cal	Desert Willow <i>Chilopsis linearis</i> Multi-Trunk	490 8330 M
89	Total Trees	Tree Coverage	30672
Shrubs & Groundcovers			
4	4 - 6'	Falm Yucca <i>Yucca taxoniana</i> Note: Install 3 Boulders and 150sf cobble accent	28 112 M
6	5 Gal	Curly-leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	116 1056 L+
9	5 Gal	Spanish Broom <i>Spartium junceum</i>	79 711 M
6	5 Gal	Rose of Sharon <i>Hibiscus syriacus</i>	79 474 M
53	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	28 1484 M
51	5 Gal	Buffalo Juniper <i>Juniperus sobina</i> "Buffalo"	50 2550 M
53	5 Gal	Turpentine Bush <i>Ericameria laricifolia</i>	13 688 L
19	5 Gal	Knock Out Roses <i>Rosa</i> "Knock Out"	13 241 L
21	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	39 1053 L
21	5 Gal	Chamae <i>Chrysothamnus nauseosus</i>	5x5 20 540 L
10	5 Gal	Beargrass <i>Nolina texana</i>	3x3 1 70 L
11	5 Gal	Dwarf Fountain Grass <i>Pennisetum alopecuroides</i> "Hamelin"	3x3 1 119 M
14	5 Gal	Karl Foerster Grass <i>Calamagrostis acutiflora</i> "Karl Foerster"	25x3 1 98 M
262	Total Shrubs	Shrub Coverage	9203
35630 SF	Landscape Area Ground Treatment 75% 7/8" Santa Fe Brown, Filter Fabric 25% Organic Mulch		
25825 SF	Note: Trees shall have a 5' dia of organic mulch, min 2" thick.		
8608 SF	Shrubs shall have a 2' dia. of organic mulch, min 2" thick.		
Per City of Albuquerque IDO			
54	2-3cf	Boulders, Moss Rock	To be placed at contractor discretion Buried 1/3, not shown at epc level
Organic Mulch 25% Required			
Note, Each Tree, min, 5' rad.	78.5sf		
89 Trees x 78.5 sf =	6,987		
See Tree Detail, a 5' radius of wood mulch is require around each tree w/out Filter Fabric			
Note, Each Shrub, min, 2' rad.	12.56 sf		
262 Shrubs x 12.56 sf =	3,291		
Total Mulch Provided	10,278		
Total Mulch Required	9203		

LANDSCAPE NOTES:
Contractor is responsible for quantity takeoff's. Quantities provided are for COA planning purposes only.

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner.

All landscaping will be in compliance with the City of Albuquerque, Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

It is the intent of this plan to comply with the City Of Albuquerque Integrated Development Ordinance, Section 14-16-5-6, Landscaping, Buffering, and Screening.

Landscape plant materials used on this plan are derived from the current approved Official Albuquerque Plant Palette and Sizing List.

This landscape plan meets or exceeds all requirements of the COA IDO.

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owners responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system, operated by automatic timer.

Point of connection for Irrigation system is unknown at current time.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.

Street Tree Notes:

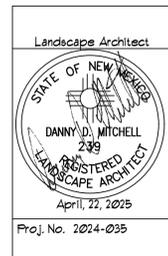
Per Section 5-6(D)(1) (a) Required Street Trees. Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

Section 6-6-2-5 Street Trees (A)

- Size of the trees at maturity should be in proportion to the planting space provided for them. Smaller species of trees will require closer spacing, and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
- On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

Drainage Basin Treatments
Per City of Albuquerque
Drainage Basin Treatments

The bottom and sides must be seeded with a native mix per City Standard specification 10122 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.
For pond bottoms: Gravel 1/2 to 1 inch mulch. One layer thick, not stacked.
Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeded will likely be needed. Maintenance will be per City of Albuquerque Specification 10123.1 and 10123.2.
Contractor must weed the basin during/after the first growing season.
Needs city inspection. Stormwater Quality Ordinance-final stabilization must be accepted by the City.

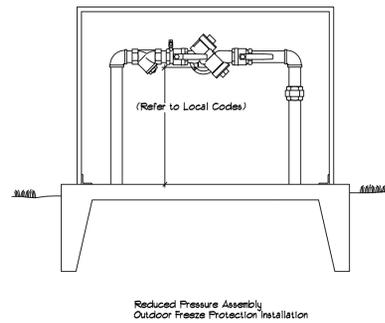


Mountain Rehab Hospital
Mountain Rd. / I-25

LANDSCAPE PLAN

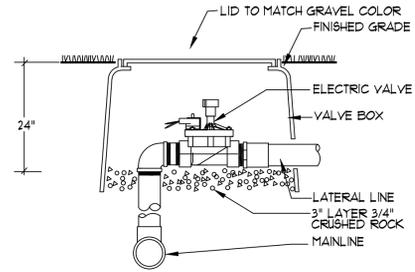
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ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
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20231213



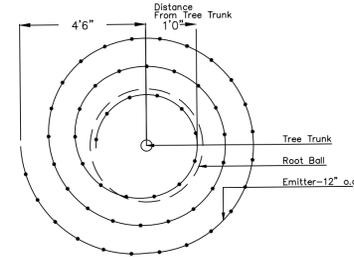
RPA, HOTBOX TYP.

N.T.S.



ELECTRIC VALVE ASSEMBLY

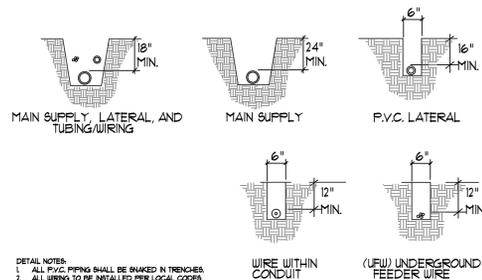
NOTE: ALL IRRIGATION COMPONENTS WILL USE RECLAIMED WATER WHEN IT BECOMES AVAILABLE TO MESA DEL SOL



Netafim Spiral Detail

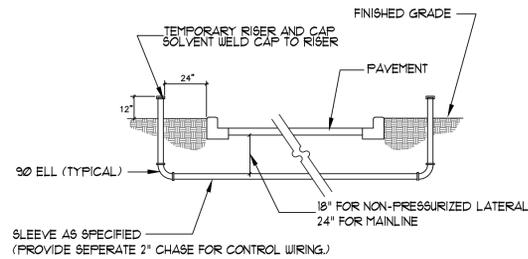
NETAFIM DETAIL

N.T.S.



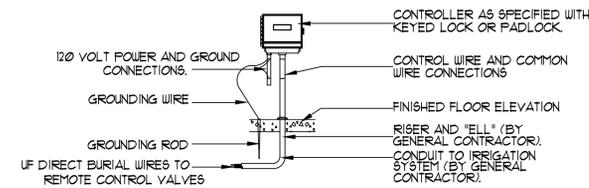
TRENCHING DETAIL

N.T.S.



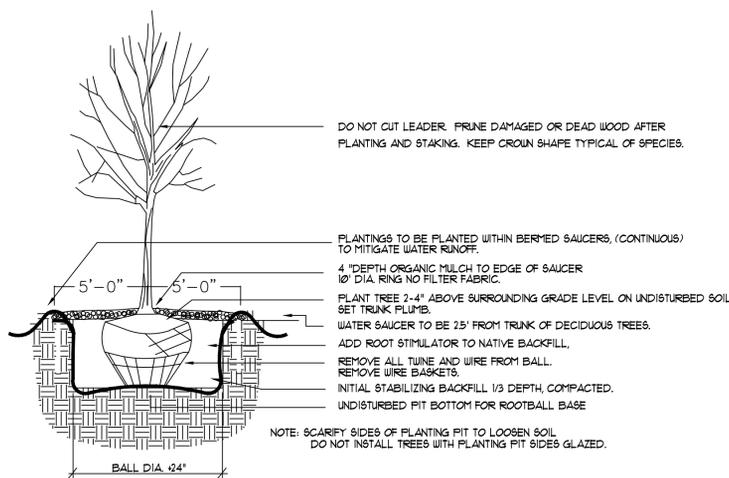
SLEEVE INSTALLATION DETAIL

N.T.S.



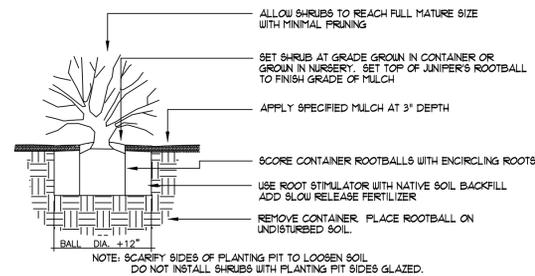
CONTROLLER DETAIL

N.T.S.



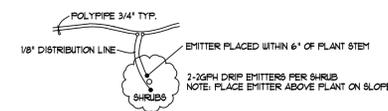
TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.



SHRUB EMITTER PLACEMENT DETAIL

N.T.S.

Mountain Rehab Hospital
Mountain Rd. / I-25

LANDSCAPE DETAILS

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DATE

4/23/2025

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Proj. No. 2024-025

City of Albuquerque Integrated Development Ordinance-Buffering, Buffering, and Screening Provided for Reference

PURPOSE

The Section 14-6-5-6 regulates landscaping to ensure visually attractive, sustainable design landscapes that aid in the creation of a quality public realm. The City recognizes landscaping as a visual component to quality environments that enhance Albuquerque's overall appearance and provide other public benefits through landscaping. The City recognizes landscaping as a visual component to quality environments that enhance Albuquerque's overall appearance and provide other public benefits through landscaping. The City recognizes landscaping as a visual component to quality environments that enhance Albuquerque's overall appearance and provide other public benefits through landscaping.

least 3 feet in any direction from any impermeable hard surface. (A buffer using organic mulch can be used when planting cool season grass adjacent to impermeable surface.)

5-6(C)(4)(a) Landscaping abutting arroyos shall consist of native plants that are included on the Official Albuquerque Plant Palette.

5-6(C)(4)(b) Artificial turfgrass shall not be used as living vegetative material or to meet the requirements of this Subsection 14-6-5-6(C)(4) (General Landscaping Standards).

5-6(C)(4)(c) Artificial turfgrass shall not be used as living vegetative material or to meet the requirements of this Subsection 14-6-5-6(C)(4) (General Landscaping Standards).

5-6(C)(4)(d) Artificial turfgrass shall not be used as living vegetative material or to meet the requirements of this Subsection 14-6-5-6(C)(4) (General Landscaping Standards).

Table 5-6-2: Credits for Preserving Trees

Diameter at Breast Height (in.)	Number of Trees Credited
2 1/2 and <25	4
3 and <13	6
3 1/2 and <8	2
<4	1
Unhabited trees 8 in. or greater ¹	1

1) Prohibited trees are those that do not appear on the Official Albuquerque Plant Palette and may appear on the City or State list of prohibited or invasive species.

5-6(C)(3) Stormwater Management Features

5-6(C)(3)(a) Required Landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation.

5-6(C)(3)(b) Required Landscape and buffer areas shall be designed pursuant to the DPM and the City Standard Specifications for Public Works Construction.

5-6(C)(3)(c) In the R-1L, R-M1, Mixed-use, and NR-SU zone districts, and on lots containing multi-family dwellings or non-residential uses in the R-A, R-1, R-1C, and R-1T zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collection areas that are located in landscape areas and that meet all applicable standards in the subject ordinance.

5-6(E) EDGE BUFFER LANDSCAPING

5-6(E)(1) General Requirements

5-6(E)(1)(a) Landscaped edge buffers and/or edge buffer walls are required between properties to mitigate impacts of significant differences in property use, or scale through standards specified in Subsections (2) through (5) below.

5-6(E)(1)(b) If a landscaped edge buffer is required and a wall is required or allowed, the wall shall be provided on the property line between the two properties unless specified otherwise in the IDO.

5-6(E)(1)(c) Required edge buffering is not required to be installed along any portion of the lot line covered by an access easement between adjacent lots, but an equivalent amount of landscaping shall be installed on remaining portions of the side or rear lot line, as applicable.

5-6(E)(1)(d) Additional buffering may be required for specific uses, pursuant to any use-specific standards for those uses in Section 14-6-4-3 or Neighborhood Edge Standards in Section 14-6-3-3.

Table 5-6-4: Edge Buffer - Development Type Summary¹

Development Type	Height	Standard	General Buffering	Minimum IDO Buffering
Industrial	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family	6-10 ft	6-10 ft	Landscaping	6-10 ft
Mixed-use (or other non-residential)	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family Residential	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family Residential	6-10 ft	6-10 ft	Landscaping	6-10 ft
Mixed-use (or other non-residential)	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family Residential	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family Residential	6-10 ft	6-10 ft	Landscaping	6-10 ft

5-6(E)(2) Development Next to Low-density Residential Zone Districts

5-6(E)(2)(a) In the R-1L, R-M1, Mixed-use, and NR-SU zone districts, and on lots containing multi-family dwellings or non-residential uses in the R-A, R-1, R-1C, and R-1T zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collection areas that are located in landscape areas and that meet all applicable standards in the subject ordinance.

5-6(F) PARKING LOT LANDSCAPING

5-6(F)(1) General Requirements

5-6(F)(1)(a) Landscaping in parking lots shall be provided to separate off-street parking and circulation areas from front, side, and rear boundaries of premises.

5-6(F)(1)(b) Landscaping in parking lots shall be provided to separate off-street parking and circulation areas from front, side, and rear boundaries of premises.

Table 5-6-5: Edge Buffer - Development Area Summary¹

Development Area	Height	Standard	General Buffering	Minimum IDO Buffering
Industrial	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family	6-10 ft	6-10 ft	Landscaping	6-10 ft
Mixed-use (or other non-residential)	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family Residential	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family Residential	6-10 ft	6-10 ft	Landscaping	6-10 ft
Mixed-use (or other non-residential)	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family Residential	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family Residential	6-10 ft	6-10 ft	Landscaping	6-10 ft

5-6(F)(2) Development Next to Low-density Residential Zone Districts

5-6(F)(2)(a) In the R-1L, R-M1, Mixed-use, and NR-SU zone districts, and on lots containing multi-family dwellings or non-residential uses in the R-A, R-1, R-1C, and R-1T zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collection areas that are located in landscape areas and that meet all applicable standards in the subject ordinance.

5-6(G) SCREENING OF MECHANICAL EQUIPMENT AND SUPPORT AREAS

5-6(G)(1) Location and Dimension of Landscaped Areas

5-6(G)(1)(a) The minimum size of trees planted within off-street parking areas shall be 60 square feet per tree. This requirement may be reduced to 36 square feet per tree if the surface of a parking or vehicle circulation area abutting the tree is paved or if both of the following requirements are met:

- Landscaping that meets the requirements in Subsection 2. below shall be provided between the wall and the street.
- The landscaping shall be maintained by the owner of the subject property.

Table 5-6-6: Edge Buffer - Development Area Summary¹

Development Area	Height	Standard	General Buffering	Minimum IDO Buffering
Industrial	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family	6-10 ft	6-10 ft	Landscaping	6-10 ft
Mixed-use (or other non-residential)	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family Residential	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family Residential	6-10 ft	6-10 ft	Landscaping	6-10 ft
Mixed-use (or other non-residential)	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family Residential	6-10 ft	6-10 ft	Landscaping	6-10 ft
Multi-Family Residential	6-10 ft	6-10 ft	Landscaping	6-10 ft

5-6(G)(2) Development Next to Low-density Residential Zone Districts

5-6(G)(2)(a) In the R-1L, R-M1, Mixed-use, and NR-SU zone districts, and on lots containing multi-family dwellings or non-residential uses in the R-A, R-1, R-1C, and R-1T zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collection areas that are located in landscape areas and that meet all applicable standards in the subject ordinance.

Landscaping and Section 14-6-5-9 (Neighborhood Edges) the Highest applicable will enforce provisions.

5-6(B)(3) Requirements for walls provided to meet buffering and screening requirements prevail over maximum wall height regulations in Section 14-6-5-1 (Walls and Fences), but shall be subject to any other applicable material and design requirements in Subsection 14-6-5-1 (Walls and Fences).

5-6(C) GENERAL LANDSCAPING STANDARDS

The following standards apply to all landscaping, screening, or buffering required by the Section 14-6-5-6.

5-6(C)(1) Landscaping Plan Required

A landscape plan with designed landscaped areas shall be submitted as a part of all development applications where landscaping, buffering, or screening is required unless the relevant decision-making body determines that compliance with the provisions of this Section 14-6-5-6 can be demonstrated without the use of a landscape plan. A landscape plan may be combined with other required application materials if compliance with this Section 14-6-5-6 can be demonstrated in the combined materials. Landscaping shall be maintained pursuant to the requirements of Subsections 14-6-5-6(B)(6) and 14-6-5-6(B)(7).

5-6(C)(2) Minimum Planting Area

5-6(C)(2)(a) Except as noted in Subsection (b) below, a minimum of 15 percent of the net lot area of each development shall contain landscaping. 5-6(C)(2)(b) In DT-UC-M5-PT areas, a minimum of 10 percent of the net lot area of each development shall contain landscaping. In these areas, landscaping required to meet this requirement need not be at ground level. (See figure below.)

5-6(C)(3) The nature realistic spread of trees and shrubs will be used to illustrate required vegetative coverage as follows:

- Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscape area as measured by canopy width or area beneath the drip line of the mature tree.
- Size of the actual vegetation. Of the required vegetative coverage a minimum of 75 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the nature size of the actual vegetation. (See figure below.)

5-6(C)(4) See also Subsections 14-6-5-6(D) (Street Frontage Landscaping), 14-6-5-6(E) (Edge Buffer Landscaping), and 14-6-5-6(F) (Parking Lot Landscaping).

5-6(C)(5) Overlapping Requirements

5-6(C)(5)(a) All areas that are to be landscaped by 2 or more provisions of this Section 14-6-5-6 overlap each other, the provision requiring the greater amount of landscaping shall apply, and landscaping provided that meets the greater requirement shall count toward fulfilling the overlapping requirements.

1. See Subsection 14-6-5-6(C)(2) (Existing Vegetation Credit).

2. See Subsection 14-6-5-6(C)(3) (Stormwater Management Features).

3. See Subsection 14-6-5-6(D) (Street Frontage Landscaping).

4. See Subsection 14-6-5-6(E) (Edge Buffer Landscaping).

5-6(C)(3)(b) Landscaped areas may count toward satisfying usable open space requirements specified for Residential zone districts in Table 5-1-1 and for Mixed-use zone districts in Table 5-1-2.

5-6(C)(3)(c) Gardens and community gardens provided may count toward satisfying the requirements of Subsection 14-6-5-6(C)(2) (Minimum Landscape Area).

5-6(C)(3)(d) Any landscaping provided to meet requirements in Subsection 14-6-5-6(C)(1) (Major Arroyo Standards) may count toward any required landscaping in this Section 14-6-5-6 but shall be subject to Subsection 14-6-5-6(C) (General Landscaping Standards).

5-6(C)(3)(e) Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-6-5-6(E)(3) (Outdoor Seating and Gathering Areas) may count toward up to 10 percent of required landscaping in Section 14-6-5-6 but shall be subject to standards in Subsection 14-6-5-6(C) (General Landscaping Standards).

5-6(C)(4) Required Plant Materials and Site Amenities

5-6(C)(4)(a) A minimum of 5 species must be used in the landscaped area.

5-6(C)(4)(b) Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-6-5-6(C) (General Landscaping Standards), except that, upon presentation of evidence, the relevant decision-making body may authorize alternative species or cultivars that meet all of the following requirements:

- Are not hazardous.
- Are not considered as invasive on a City or State plant list.
- Are not listed in the City's Invasive Plant Handbook.
- Are equally well suited to the New Mexico climate.
- 5-6(C)(4)(c) Installation of any trees, shrubs, or other vegetation included in a State list of prohibited or invasive species or listed as noxious weeds in the City's Invasive Identification Handbook is prohibited.
- 5-6(C)(4)(d) No more than 10 percent of required landscape areas shall be cool season grass species, irrigated cool season grass shall not be planted on slopes exceeding 14 degrees or planted in arroyos or irregularly shaped areas (10 feet or less in any dimension) in order to avoid water waste. Any cool season grass shall be installed at:

5-6(C)(5) Planting Area

5-6(C)(5)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(6) Planting Area

5-6(C)(6)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(7) Planting Area

5-6(C)(7)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(8) Planting Area

5-6(C)(8)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(9) Planting Area

5-6(C)(9)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(10) Planting Area

5-6(C)(10)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(11) Planting Area

5-6(C)(11)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(12) Planting Area

5-6(C)(12)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(13) Planting Area

5-6(C)(13)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(14) Planting Area

5-6(C)(14)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(15) Planting Area

5-6(C)(15)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(16) Planting Area

5-6(C)(16)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(17) Planting Area

5-6(C)(17)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(18) Planting Area

5-6(C)(18)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(19) Planting Area

5-6(C)(19)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(20) Planting Area

5-6(C)(20)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(21) Planting Area

5-6(C)(21)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(22) Planting Area

5-6(C)(22)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(23) Planting Area

5-6(C)(23)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(24) Planting Area

5-6(C)(24)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(25) Planting Area

5-6(C)(25)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(26) Planting Area

5-6(C)(26)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(27) Planting Area

5-6(C)(27)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(28) Planting Area

5-6(C)(28)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(29) Planting Area

5-6(C)(29)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(30) Planting Area

5-6(C)(30)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(31) Planting Area

5-6(C)(31)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(32) Planting Area

5-6(C)(32)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(33) Planting Area

5-6(C)(33)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(34) Planting Area

5-6(C)(34)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(35) Planting Area

5-6(C)(35)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(36) Planting Area

5-6(C)(36)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(37) Planting Area

5-6(C)(37)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(38) Planting Area

5-6(C)(38)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(39) Planting Area

5-6(C)(39)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(40) Planting Area

5-6(C)(40)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(41) Planting Area

5-6(C)(41)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(42) Planting Area

5-6(C)(42)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building.

5-6(C)(43) Planting Area

5-6(C)(43)(a) All planting or installation of any landscaping, buffering, or screening material shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site, the landscaping,

CONSULTANTS

MEP
DBR ENGINEERING CONSULTANTS
5000 QUORUM DRIVE, SUITE 400
DALLAS, TX 75254

STRUCTURAL
STANTEC
6080 TENNYSON PARKWAY, SUITE 300
PLANO, TX 75024

CIVIL
TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NM 87109

LANDSCAPING
TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NM 87109

FOOD SERVICE
BOSMA DESIGN SOLUTIONS
2201 LONG PRAIRIE RD, SUITE 107-727
FLOWER MOUND, TX 75022

CONTRACTOR

OPERATOR
NOBIS REHABILITATION PARTNERS, LLC
450 CENTURY PARKWAY SUITE 320
ALLEN, TX 75013

OWNER
KENNOR CROSS INVESTMENTS, LLC
4332 MARSH RIDGE ROAD
CARROLLTON, TX 75010

FACILITY
TUCSON REHABILITATION HOSPITAL
820 E TUCSON MARKETPLACE BLVD
TUCSON, AZ 85713

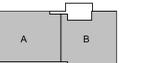


PROJECT

ALBUQUERQUE REHABILITATION HOSPITAL
1100 WOODWARE PL NE,
ALBUQUERQUE, NM 87102

KENNOR CROSS INVESTMENTS, LLC
4332 MARSH RIDGE ROAD
CARROLLTON, TX 75010

KEYPLAN



ISSUE CHART

MARK	ISSUE	DATE
Job Number	147797.000	TITLE

SITE PLAN - PHOTOMETRICS

SHEET NUMBER

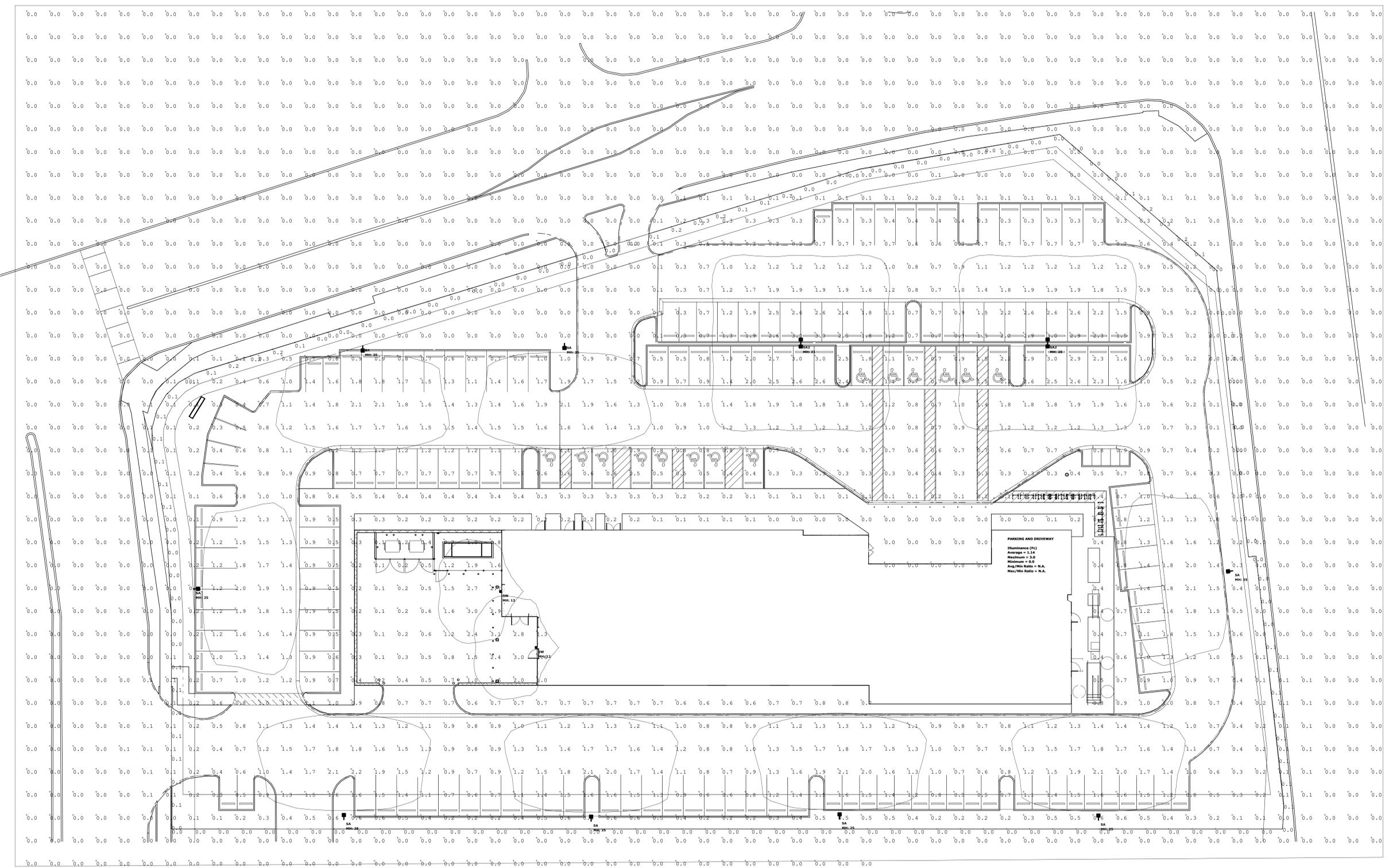
ES1-01P

5000 Quorum Drive, Suite 400
Dallas, Texas 75254
214.217.9500 p 214.217.9505 f

TXPE Firm Registration No. 2234

DBR Project Number 243037

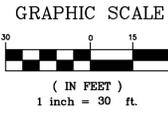
RH MD BL WM -



PARKING AND DRIVEWAY
Illuminance (Fc)
Average = 1.8
Minimum = 3.0
Maximum = 0.0
Avg./Min Ratio = N.A.
Max/Min Ratio = N.A.

Luminaire Schedule			Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
SW	2	LITHONIA WDG2 LED P4 30K 80CRI TFTM MVOLT [MOUNT] [FINISH]	4402	46.659	1.000	0.850	1.000
SA2	2	LITHONIA DSX1 LED P3 30K 80CRI TSLG MVOLT [MOUNT] [FINISH]	17810	135.58	1.000	0.850	1.000
SA	8	LITHONIA DSX1 LED P3 30K 80CRI BLC3 MVOLT [MOUNT] [FINISH]	8718	102.17	1.000	0.850	1.000

Calculation Summary	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.44	3.1	0.0	N.A.
PROPERTY LINE	N.A.	Fc	0.04	0.3	0.0	N.A.
PARKING AND DRIVEWAY	N.A.	Fc	1.14	3.0	0.0	N.A.



LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

NOTE
ALL BROKEN OR CRACKED SIDEWALK AND CURB & GUTTER MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STD DWG#2415 AND 2430



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up between the hours of 5AM and 8PM.

Reviewer: *Herman Gallagos*
Date: 10-17-24

****Hazard Route Only****
****Access will be granted to Solid Waste Department from the Woodward PI Side of this property****

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- LANDSCAPING
- RETAINING WALL
- SETBACK LINE
- SCREEN WALL
- ADA ACCESS

LINE TABLE

NO.	BEARING & DISTANCE
L1	S 73°02'15" E, 3.27'
L2	S 17°01'04" W, 109.94'
L3	S 26°24'22" W, 9.58'

CURVE TABLE

NO.	RADIUS	LENGTH	DELTA
C1	335.00'	73.03'	12°29'23"
C2	30.00'	44.66'	85°17'07"

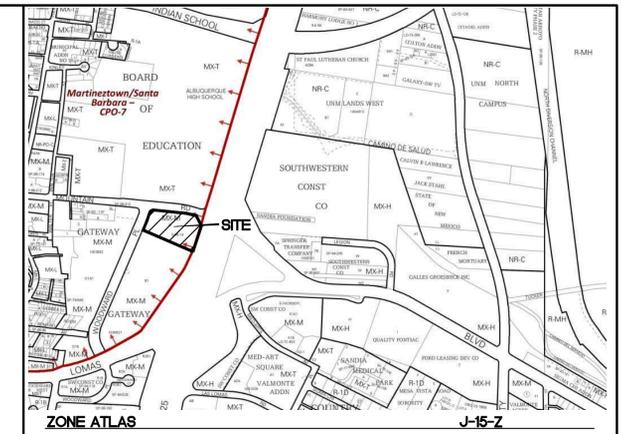
MAJOR AMENDMENT - SITE PLAN EPC PR - 2024 - 009765, SI - 2024 - 00468

- MAJOR AMENDMENT FOR AREA 3 OF THE CONTROLLING SITE PLAN FOR "TRACT A" ONLY.
- THIS AMENDMENT WOULD CHANGE THE ALLOWABLE USE ON AREA 3 "TRACT A" TO INCLUDE HOSPITAL.
- BUILDING AREA AND HEIGHT MAXIMUMS AS DESCRIBED IN CONTROLLING SITE PLAN, REMAIN APPLICABLE TO AREA 3 "TRACT A".
- SETBACKS FOR AREA 3 TO BE CONTROLLED BY IDO.
- PER IDO SECTION 1-10(A)(2) : ANY USE STANDARDS OR DEVELOPMENT STANDARDS ASSOCIATED WITH ANY PRE-IDO APPROVAL OR ZONING DESIGNATION ESTABLISH RIGHTS AND LIMITATIONS AND ARE EXCLUSIVE OF AND PREVAIL OVER ANY OTHER PROVISION OF THIS IDO. WHERE THOSE APPROVALS ARE SILENT, PROVISIONS IN THE IDO SHALL APPLY.

KEYED NOTES

- ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN (2 VAN ACCESSIBLE, 5 AUTO)
- 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- WHEEL STOP SEE DETAIL SHEET DET-1
- 11' CONCRETE SIDEWALK PER COA STD DWG 2430
- UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
- MOTORCYCLE SPACES (5, 8'X4') W/SIGN
- BICYCLE RACK
- LIGHT POLE TO BE RELOCATED EAST OF ENTRANCE
- CURB INLET TO BE RELOCATED EAST OF ENTRANCE
- 5' PEDESTRIAN CROSSWALK, SEE DETAIL SHEET DET-1
- EXISTING ACCESSIBLE RAMP
- EXISTING CONCRETE SIDEWALK
- NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430
- EXISTING LIGHT POLE TO BE RELOCATED BEHIND WALK
- EXISTING BUS STOP
- 6' VALLEY GUTTER PER COA STD DWG 2420
- SITE LIGHTING (TYP)
- ILLUMINATED BOLLARD (TYP)
- SCREEN WALL
- MOUNTABLE MEDIAN CURB PER COA STD 2415A
- RAISED CONCRETE MEDIAN
- CHAIN LINK FENCE
- NEW 4" SOLID WHITE STRIPE
- LEFT TURN PAVEMENT MARKING
- OBLITERATE EXISTING STRIPE
- NEW CROSSWALK
- EXISTING STRIPING TO REMAIN
- REMOVE EXISTING PARKING SPACES AND CURB
- RELOCATE LIGHT POLE TO BEHIND THE CURB
- MONUMENT SIGN
- 6' PEDESTRIAN ACCESS
- 4' LANDSCAPE BUFFER
- UNIDIRECTIONAL ACCESSIBLE RAMP WITH TRUNCATED DOMES WITHIN ROW SEE DETAIL SHEET DET-1

THIS SITE PLAN AMENDMENT ONLY APPLIES TO AREA 3 OF THE GATEWAY CENTER SITE PLAN FOR SUBDIVISION



LEGAL DESCRIPTION:

TRACT LETTERED "A" OF THE PLAT OF GATEWAY SUBDIVISION

SITE DATA

PROPOSED USAGE	HOSPITAL
LOT AREA	119591 SF (2.7454 ACRES)
ZONING	MX-H
BUILDING AREA	55098 SF
BUILDING FOOTPRINT	16068 SF
BUILDING COVERAGE	13%
BUILDING SETBACK	
FRONT	5'
REAR	15'
SIDE	0' SOUTH SIDE, 5' NORTH SIDE

GFA 55098 SF/4 SPACE PER 1,000 = 220 SPACES
5-5(C)(5)(A) PARKING REDUCTION = 20%
5-5(C)(5)(C) PARKING REDUCTION = 10%
REDUCED PARKING REQUIRED = 154 SPACES

PARKING PROVIDED	146 SPACES
ACCESSIBLE PARKING REQUIRED	14 SPACES
ACCESSIBLE SPACES PROVIDED	14 SPACES (3 VAN ACCESSIBLE)
TOTAL	160 SPACES

BICYCLE SPACES REQUIRED	15
BICYCLE SPACES PROVIDED	15
MOTORCYCLE SPACES REQUIRED	5 SPACES
MOTORCYCLE SPACES PROVIDED	5 SPACES

LANDSCAPE REQUIRED	15528 SF
LANDSCAPE PROVIDED	16205 SF

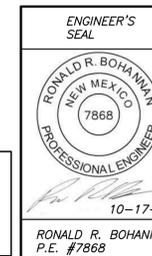
PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
Hydrology	Date _____
Code Enforcement	Date _____
* Environmental Health Department (conditional)	Date _____
<i>Herman Gallagos</i> Solid Waste Management	10-17-24 Date
Planning Department	Date _____



NOBIS REHAB HOSPITAL
1100 WOODWARD PL.

SITE PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
pm
DATE
10-17-24
DRAWING
2023123-SP
SHEET #
SP-1
JOB #
2023123