

LEGAL DESCRIPTION:
TRACT LETTERED "A" OF THE PLAT OF GATEWAY SUBDIVISION

SITE DATA

PROPOSED USAGE	HOSPITAL
LOT AREA	119591 SF (2.7454 ACRES)
ZONING	MX-H
BUILDING AREA	55098 SF
BUILDING FOOTPRINT	16068 SF
BUILDING COVERAGE	13%
BUILDING SETBACK	
FRONT	5' MINIMUM
REAR	15' MINIMUM
SIDE	0' MINIMUM SOUTH SIDE, 5' MINIMUM NORTH SIDE

GFA 55098 SF/4 SPACE PER 1,000 = 220 SPACES
5-5(C)(5)(A) PARKING REDUCTION = 20%
5-5(C)(5)(C) PARKING REDUCTION = 10%
REDUCED PARKING REQUIRED = 154 SPACES
PARKING PROVIDED 146 SPACES
ACCESSIBLE PARKING REQUIRED 14 SPACES
ACCESSIBLE SPACES PROVIDED 14 SPACES (3 VAN ACCESSIBLE)
TOTAL 160 SPACES
BICYCLE SPACES REQUIRED 15
BICYCLE SPACES PROVIDED 15
MOTORCYCLE SPACES REQUIRED 5 SPACES
MOTORCYCLE SPACES PROVIDED 5 SPACES
LANDSCAPE REQUIRED 15536 SF
LANDSCAPE PROVIDED 34433 SF

PROJECT NUMBER: PR-2024-009765


APPLICATION NUMBER: SI-2024-00468

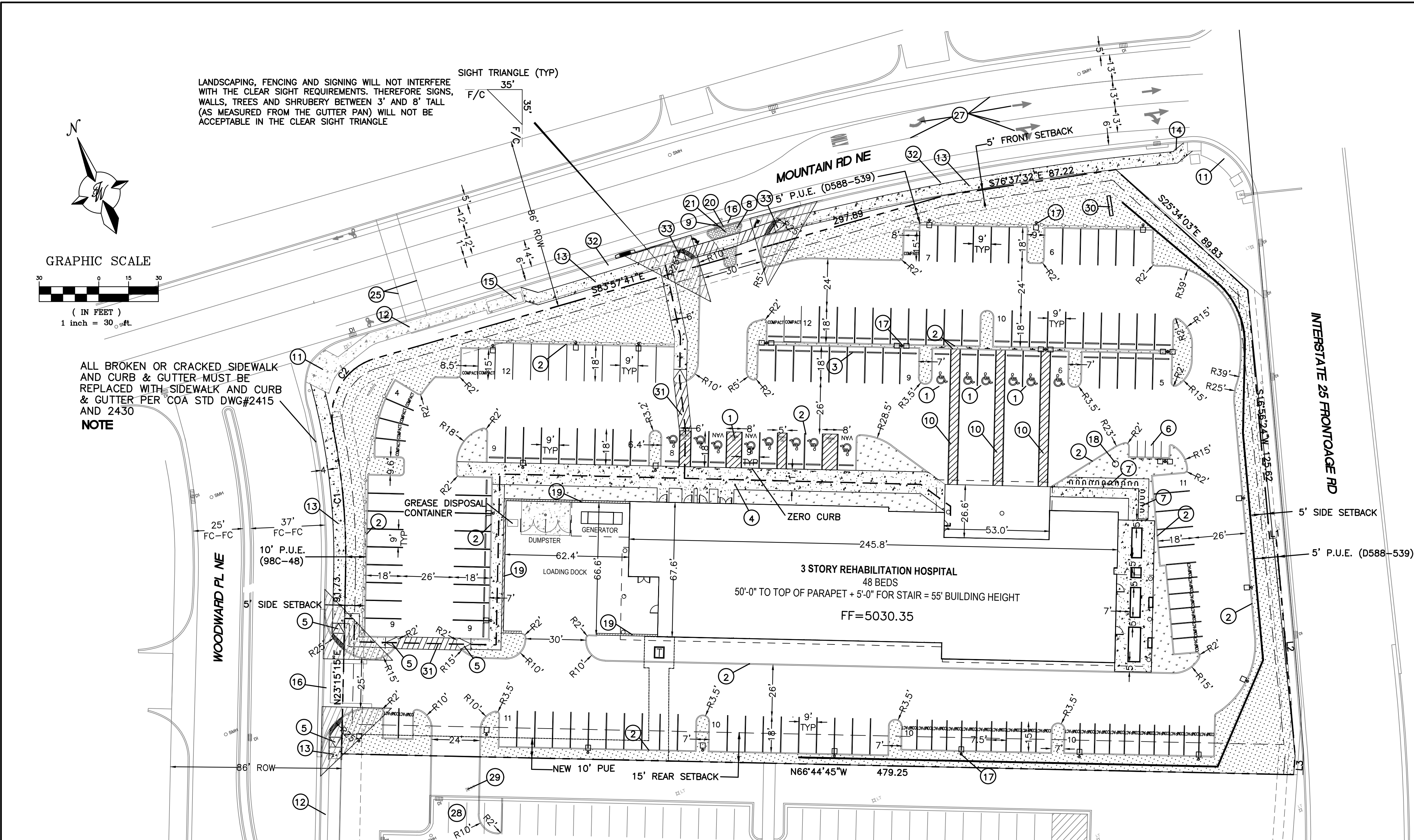
Is an Infrastructure List required? (X) Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

* Environmental Health, if necessary

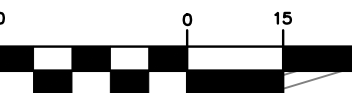
<div>ENGINEER'S SEAL</div>	<div>NOBIS REHAB HOSPITAL 1100 WOODWARD PL.</div>	<div>DRAWN BY pm</div>
<div><div><div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div><div><div>7-14-25</div></div></div><div>RONALD R. BOHANNAN P.E. #7868</div></div>		<div>DATE 7-14-25</div>
	<div><div><div><div></div><div></div></div><div><div>TERRA WEST, LLC</div><div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div></div></div></div>	<div>SHEET # SP-1</div>
	<div>JOB # 2023123</div>	



LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

SIGHT TRIANGLE (TYP)

GRAPHIC SCALE



(IN FEET)
1 inch = 30 feet

ALL BROKEN OR CRACKED SIDEWALK AND CURB & GUTTER MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STD DWG#2415 AND 2430

NOTE

LINE TABLE

NO.	BEARING & DISTANCE
L1	S 73°02'15" E, 3.27'
L2	S 17°01'04" W, 109.94'
L3	S 26°24'22" W, 9.58'

CURVE TABLE

NO.	RADIUS	LENGTH	DELTA
C1	335.00'	73.03'	12°29'23"
C2	30.00'	44.66'	85°17'07"

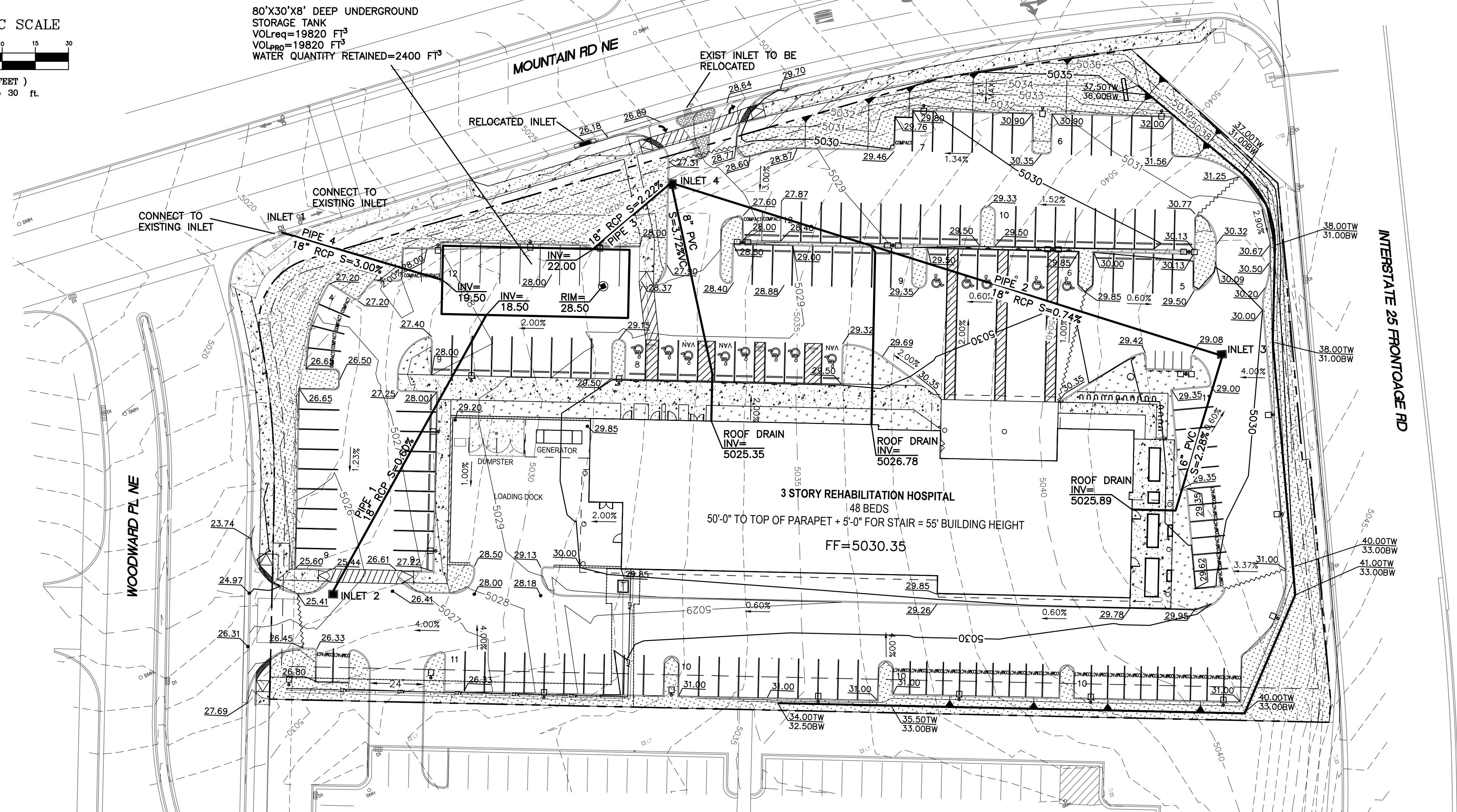
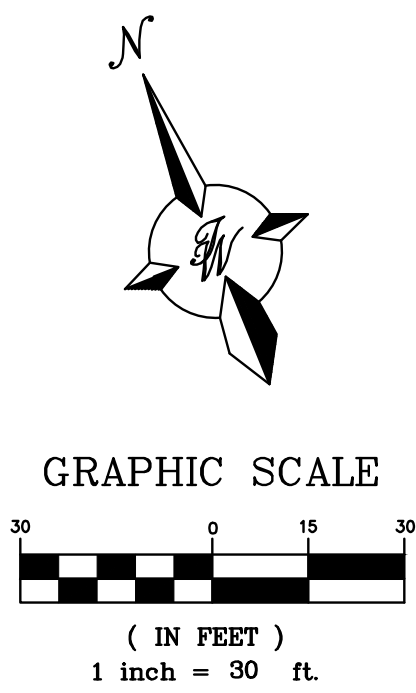
MAJOR AMENDMENT - SITE PLAN EPC PR - 2024 - 009765, SI - 2024 - 00468

- MAJOR AMENDMENT FOR AREA 3 OF THE CONTROLLING SITE PLAN FOR "TRACT A" ONLY.
- THIS AMENDMENT WOULD CHANGE THE ALLOWABLE USE ON AREA 3 "TRACT A" TO INCLUDE HOSPITAL.
- BUILDING AREA AND HEIGHT MAXIMUMS AS DESCRIBED IN CONTROLLING SITE PLAN, REMAIN APPLICABLE TO AREA 3 "TRACT A".
- SETBACKS FOR AREA 3 TO BE CONTROLLED BY IDO.
- PER IDO SECTION 1-10(A)(2) : ANY USE STANDARDS OR DEVELOPMENT STANDARDS ASSOCIATED WITH ANY PRE-IDO APPROVAL OR ZONING DESIGNATION ESTABLISH RIGHTS AND LIMITATIONS AND ARE EXCLUSIVE OF AND PREVAIL OVER ANY OTHER PROVISION OF THIS IDO. WHERE THOSE APPROVALS ARE SILENT, PROVISIONS IN THE IDO SHALL APPLY.

KEYED NOTES

- ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN (3 VAN ACCESSIBLE, 5 AUTO)
- 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- WHEEL STOP SEE DETAIL SHEET DET-1
- 11' CONCRETE SIDEWALK PER COA STD DWG 2430
- UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
- MOTORCYCLE SPACES (5, 8'X4') W/SIGN
- BICYCLE RACK
- LIGHT POLE TO BE RELOCATED EAST OF ENTRANCE
- CURB INLET TO BE RELOCATED EAST OF ENTRANCE
- 5' PEDESTRIAN CROSSWALK, SEE DETAIL SHEET DET-1
- EXISTING ACCESSIBLE RAMP
- EXISTING CONCRETE SIDEWALK
- NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430
- EXISTING LIGHT POLE TO BE RELOCATED BEHIND WALK
- EXISTING BUS STOP
- 6' VALLEY GUTTER PER COA STD DWG 2420
- SITE LIGHTING (TYP)
- FLAG POLE SEE ARCHITECT'S PLAN FOR DETAIL
- SCREEN WALL
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- EXISTING PEDESTRIAN CROSSWALK TO REMAIN PLACE PEDESTRIAN BEACONS ON EITHER SIDE
- NOT USED
- EXISTING STRIPING TO REMAIN
- REMOVE EXISTING PARKING SPACES AND CURB
- RELOCATE LIGHT POLE TO BEHIND THE CURB
- MONUMENT SIGN
- 6' PEDESTRIAN ACCESS
- 4' LANDSCAPE BUFFER
- UNIDIRECTIONAL ACCESSIBLE RAMP WITH TRUNCATED DOMES WITHIN ROW SEE DETAIL SHEET DET-1

THIS SITE PLAN AMENDMENT ONLY APPLIES TO AREA 3 OF THE GATEWAY CENTER SITE PLAN FOR SUBDIVISION



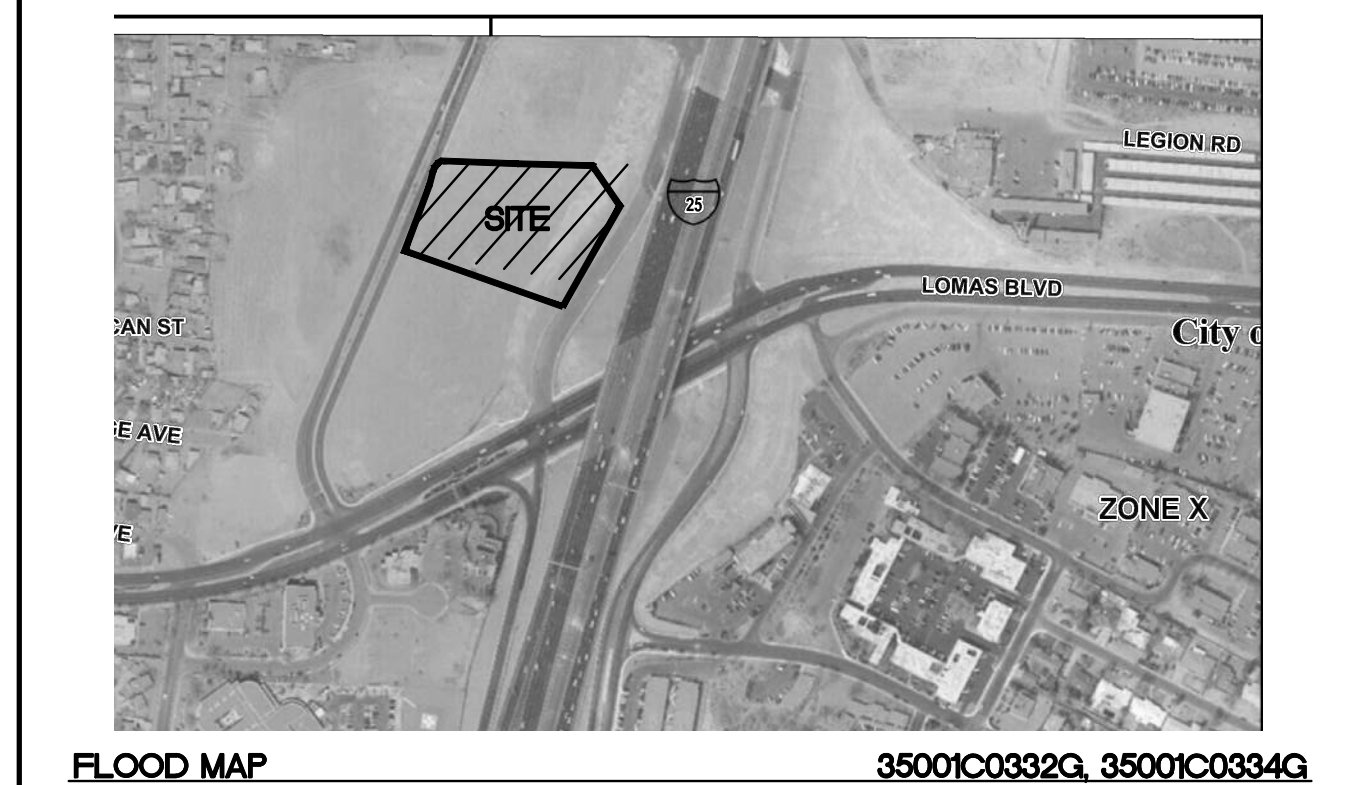
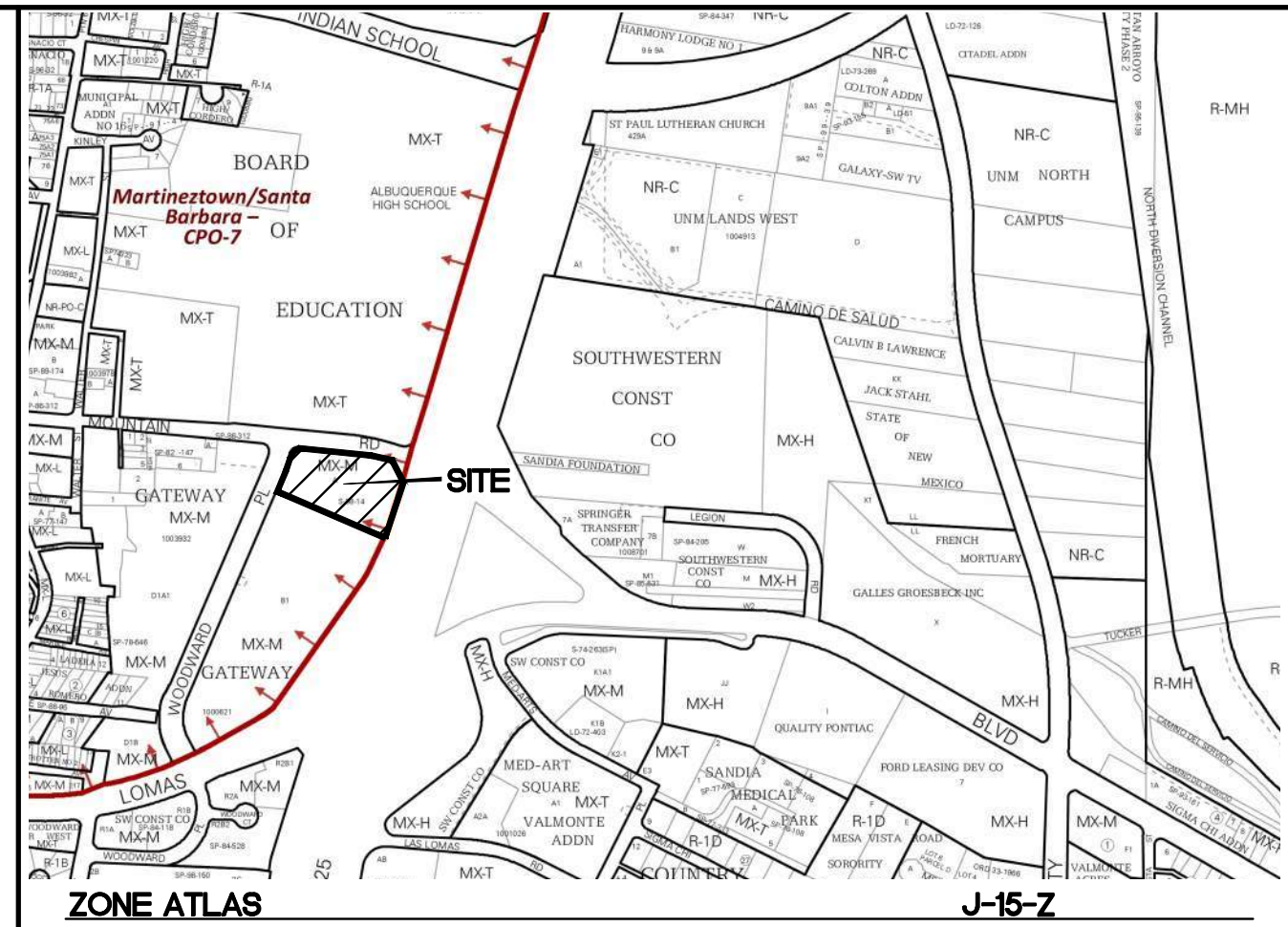
LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	LANDSCAPING
	GRADE BREAK
	PROPOSED STORM SEWER
	DROP INLET

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

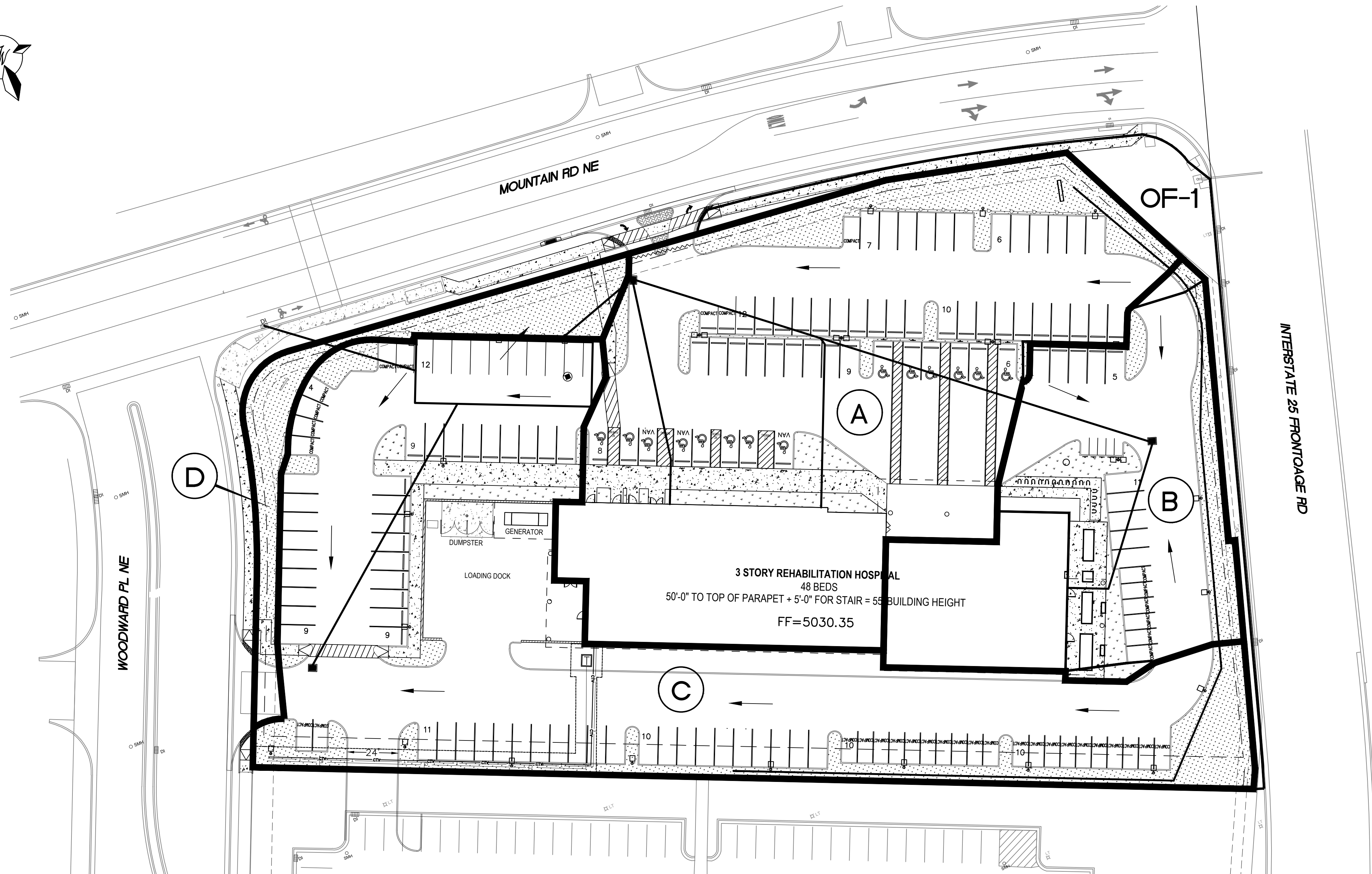
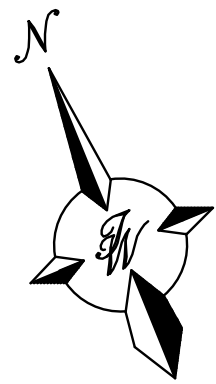
CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



STRUCTURE TABLE		
STRUCTURE	GRATE	INVERT
INLET 1	5020.00	5017.00
INLET 2	5025.30	5021.30
INLET 3	5028.90	5024.90 IN 5024.80 OUT
INLET 4	5027.05	5023.00 IN 502.90 OUT

	NOBIS REHAB HOSPITAL 1100 WOODWARD PL.	DRAWN BY pm
	GRADING PLAN	DATE 7-14-25
		SHEET # GR-1
		JOB # 2023123



EXISTING DRAINAGE:

THIS SITE IS LOCATED AT THE SOUTHEAST CORNER OF WOODWARD PLACE AND MOUNTAIN ROAD. THE SITE IS BOUNDED BY A HOTEL ON THE SOUTH, BY WOODWARD PLACE ON THE EAST, MOUNTAIN ROAD ON THE NORTH AND THE INTERSTATE 25 FRONTAGE ROAD ON THE EAST CONTAINING APPROXIMATELY 2.75 ACRES. THE SITE IS CURRENTLY VACANT AND DRAINS FROM EAST TO WEST. THERE ARE MINIMAL OFFSITE FLOWS THAT ENTER THE SITE FROM THE EAST ALONG THE FRONTAGE ROAD. THE SITE IS NOT LOCATED IN A FLOOD PLAIN AS SHOWN ON FIRM MAP 35001C0334G. THE SITE CURRENTLY DISCHARGES 8.37 CFS.

PROPOSED DRAINAGE:

THE PROJECT IS LOCATED WITHIN THE GATEWAY CENTER MASTER DRAINAGE PLAN AREA AND CONSISTS OF THREE DEVELOPED BASINS WITHIN THAT PLAN AREA. BASIN A-1 CONSISTS OF MOST OF THIS PROJECT AREA AND MAY RELEASE A RESTRICTED DISCHARGE OF 2.90 CFS TO THE EXISTING STORM SEWER LOCATED IN WOODWARD PLACE. BASIN A-2 CONSISTS MAINLY OF AN OFFSITE AREA ALONG THE FRONTAGE ROAD THAT DRAINS THROUGH THE SITE AND FREELY DISCHARGES 1.44 CFS TO MOUNTAIN ROAD. BASIN A-3 IS THE SLOPE ALONG MOUNTAIN ROAD AND FREELY DISCHARGES 0.77 CFS TO THE STREET WHICH IS CAPTURED IN EXISTING DROP INLETS.

THE PROPOSED SITE IS DIVIDED INTO FOUR NEW BASINS. BASINS A, B AND C WILL DRAIN TO DROP INLETS AND BE CONVEYED TO AN UNDERGROUND DETENTION FACILITY THAT WILL DISCHARGE AT A CONTROLLED RATE TO THE EXISTING STORM SEWER IN WOODWARD PLACE. BASIN D IS A SLOPED AREA DRAINING 0.31 CFS TO WOODWARD PLACE AND MOUNTAIN ROAD. BASIN OF-1 IS THE OFF-SITE BASIN THAT WILL BE ALLOWED TO PASS THROUGH THE SITE. PER THE GATEWAY CENTER MASTER DRAINAGE PLAN THIS SITE MAY DISCHARGE A TOTAL OF 5.09 CFS TO THE EXISTING STORM SEWER. THEREFORE THE DISCHARGE FROM THE UNDERGROUND DETENTION FACILITY WILL BE LIMITED TO 4.78 CFS AS 0.31 CFS WILL SURFACE DISCHARGE TO THE STREET.

THE UNDERGROUND DETENTION FACILITY WILL RETAIN THE REQUIRED WATER QUALITY VOLUME OF 2,086 CUBIC FEET, WHICH WILL BE ALLOWED TO INFILTRATE INTO THE GROUND.

POND			
Ab - Bottom Of The Pond Surface Area			
At - Top Of The Pond Surface Area			
D - Water Depth			
Dt - Total Pond Depth			
C - Change In Surface Area / Water Depth			
Volume = Ab * D + 0.5 * C * D ²			
C = (At - Ab) / Dt			
Ab = 2,400.00			
At = 2,400.00			
Dt = 7.00			
C = 0.00			
ACTUAL ELEV.	DEPTH (FT)	VOLUME (AC-FT)	Q (CFS)
5019.50	0.00	0.00	0.0000
5021.50	2.00	0.1102	2.3802
5022.50	3.00	0.1653	3.0165
5023.50	4.00	0.2204	3.5402
5024.50	5.00	0.2755	3.9958
5025.50	6.00	0.3306	4.4046
5026.50	7.00	0.3857	4.7785
Orifice Equation			
Q = CA SQRT(2gH)			
C = 0.6			
Diameter (in) = 8.4			
Area (ft ²) = 0.385			
g = 32.2			
H (Ft) = Depth of water above center of orifice			
Q (CFS) = Flow			

Weighted E Method

On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
OF-1	5,065	0.12	0%	0	0%	0.00	100%	0.12	0%	0.00	1.030	0.010	0.35	0.480	0.005	0.18
A	44,804	1.03	0%	0	14%	0.14	0%	0.00	86%	0.88	2.116	0.181	4.18	1.341	0.115	2.53
B	20,855	0.48	0%	0	13%	0.06	0%	0.00	87%	0.42	2.131	0.085	1.95	1.353	0.054	1.19
C	48,464	1.11	0%	0	19%	0.21	0%	0.00	81%	0.90	2.039	0.189	4.41	1.280	0.119	2.64
D	5,464	0.13	0%	0	93%	0.12	0%	0.00	7%	0.01	0.907	0.009	0.31	0.385	0.004	0.13
										2.21	0.455	10.86				

Equations:

Weighted E = Ea * Aa + Eb * Ab + Ec * Ac + Ed * Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Water Quality Calculation: 0.26" x 2.21 ac = 2,086 cubic feet (0.048 ac-ft)

Excess Precipitation, E (inches)		
Zone 2	100-Year	10 - Year
Ea	0.62	0.15
Eb	0.8	0.3
Ec	1.03	0.48
Ed	2.33	1.51

Peak Discharge (cfs/acre)		
Zone 2	100-Year	10 - Year
Qa	1.71	0.41
Qb	2.36	0.95
Qc	3.05	1.59
Qd	4.34	2.71

Pipe Capacity

Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	18	0.60	1.77	0.375	8.16	4.41	2.50
2	18	0.74	1.77	0.375	9.06	1.95	1.10
3	18	2.22	1.77	0.375	15.69	6.48	3.67
4	18	3.00	1.77	0.375	18.24	4.78	2.70

Manning's Equation:

$Q = 1.49/n * A * R^{2/3} * S^{1/2}$

A = Area

R = D/4

S = Slope

n = 0.013



NOBIS REHAB HOSPITAL
1100 WOODWARD PL.

GRADING PLAN
BASIN MAP

TIERRA WEST, LLC
5571 MIDWAY PARK PL. NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

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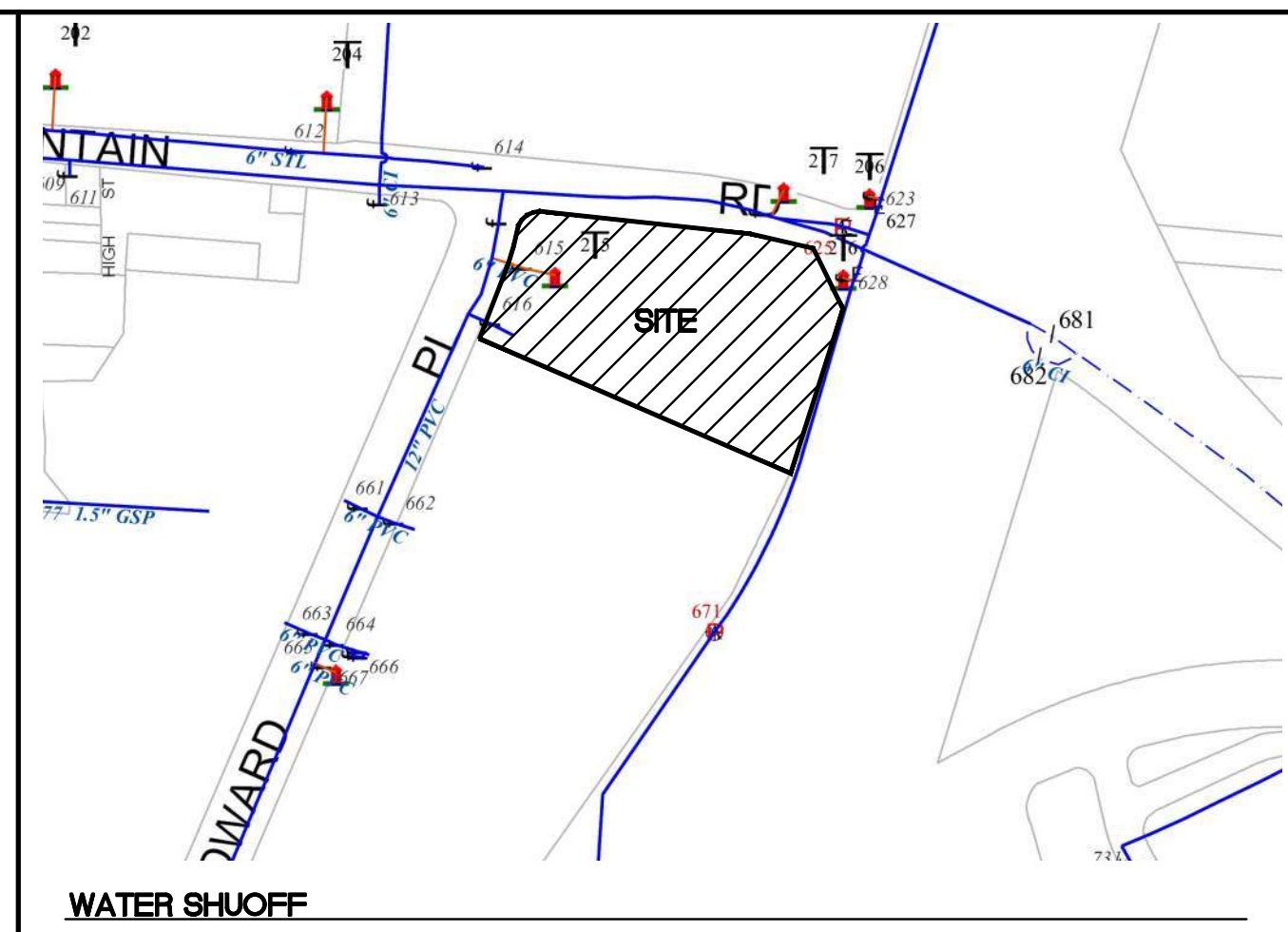
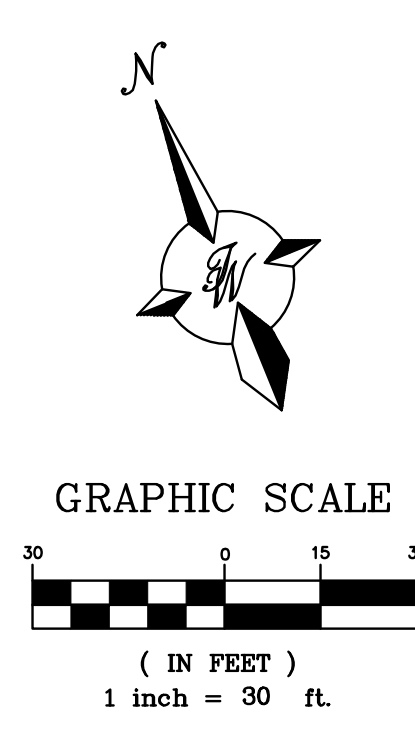
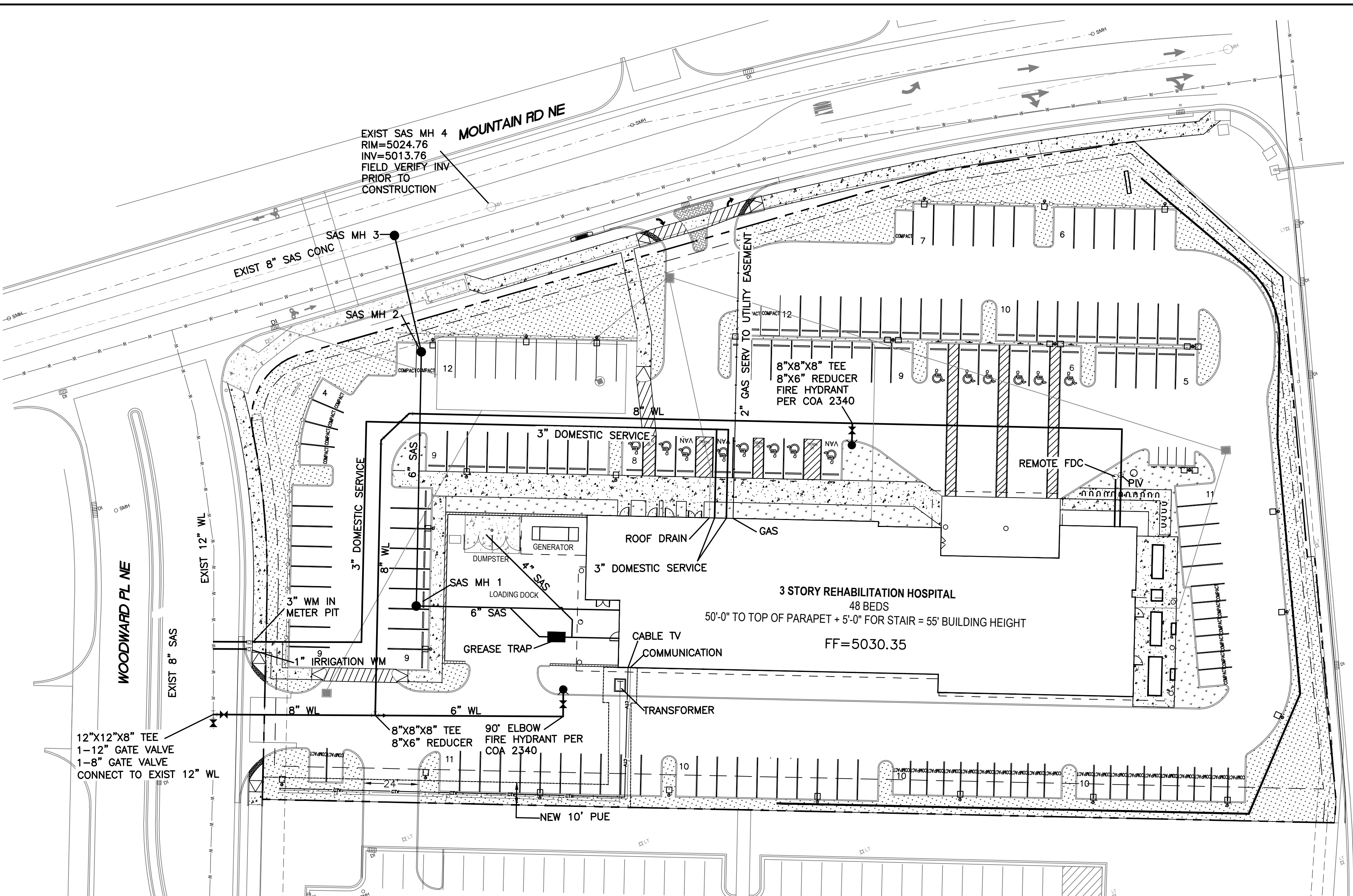
DATE
7-14-25

DRAWING

SHEET #

GR-2

JOB #
2023123



THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE, DOMESTIC, AND IRRIGATION LINES MUST HAVE BACKFLOW PREVENTORS PER THE ABCWUA CROSS CONNECTION ORDINANCE.
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
13. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
14. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

GENERAL NOTES

1. COMPACTION IN CITY OR STATE RIGHT-OF-WAYS SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS
2. SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE AND TYPE IV, CLASS 2 FOR CABLE IN CONDUIT, TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
3. IF TRENCH-RUN MATERIAL MEETS BACK FILL MATERIAL TYPE REQUIREMENTS, 3" BEDDING MAY BE OMITTED PROVIDED THE TRENCH BOTTOM IS SMOOTH, FLAT AND WITHOUT SURFACE IRREGULARITIES.
4. SEPARATION BETWEEN JACKETED PRIMARY AND COMMUNICATION CABLES SHALL BE AT LEAST 12".
5. SPOIL PILE SHALL BE PLACED ON THE FIELD SIDE A MINIMUM OF 2' FROM TRENCH EDGE.
6. WATER LINES SHALL MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES AND MAY BE INSTALLED EITHER ABOVE OR BELOW OTHER UTILITIES DEPENDING ON FREEZE DEPTH.
7. LATEST OSHA TRENCH SAFETY REQUIREMENTS SHALL BE STRICTLY OBSERVED.
8. WARNING TAPE SHALL BE PLACED A MINIMUM OF 12" ABOVE THE UPPER LEVEL OF UTILITIES AT THE CENTER OF TRENCH.
9. WHEN BINGING CABLES TO PEDESTALS, 12" SEPARATION MUST BE MAINTAINED FROM THE GAS LINE.
10. PNM OWNED OR MAINTAINED STREETLIGHT CIRCUITS MAY BE INSTALLED IN TRENCH NEXT TO ELECTRIC CABLES.
11. PRIVATE AREA LIGHTING OR PRIVATE STREETLIGHT CIRCUITS MAY NOT BE IN JOINT TRENCH.
12. GAS SERVICE MUST BE 12" AWAY FROM WHERE IT WILL PASS EQUIPMENT OR PEDESTALS.

REFERENCES

1. NESC RULE 352, 353, 354.

STRUCTURE TABLE

STRUCTURE	RIM	INV IN	INV OUT
SAS MH 1	5027.48	5019.90	5019.80
SAS MH 2	5028.00	5018.10	5018.00
SAS MH 3	5022.75	5013.00	5012.64

ALL SAS MH'S ARE TYPE 'C' 4' DIA
PER COA DWG 2101

**SEE SHEET DET-2 FOR
UTILITY TRENCH AND
BEDDING DETAIL**

INSPECTION NOTE

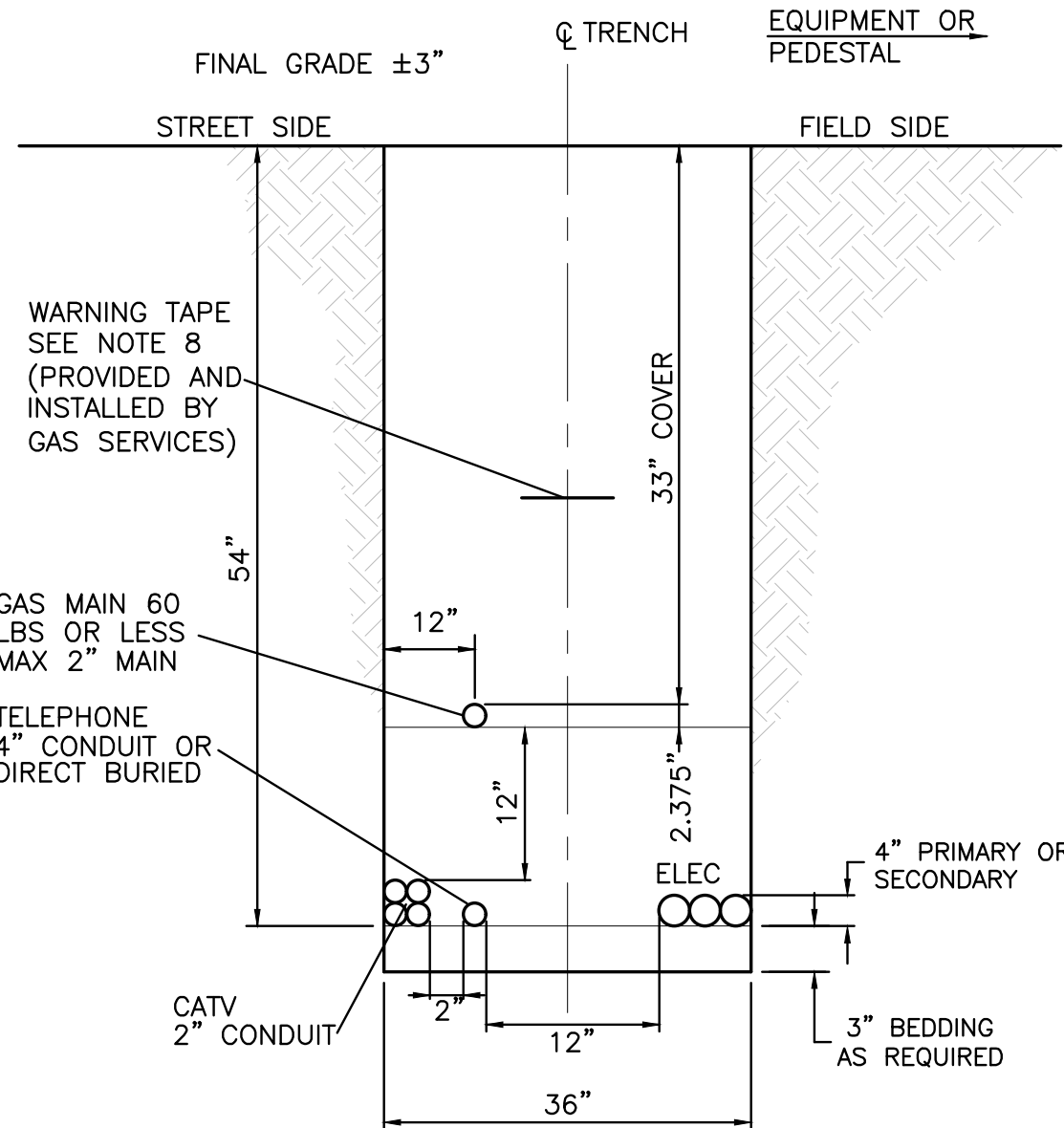
CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

CAUTION

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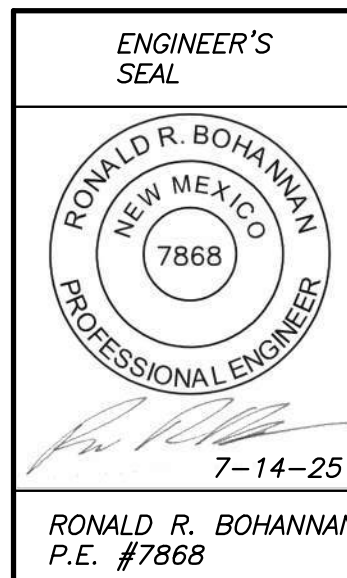

LEGEND

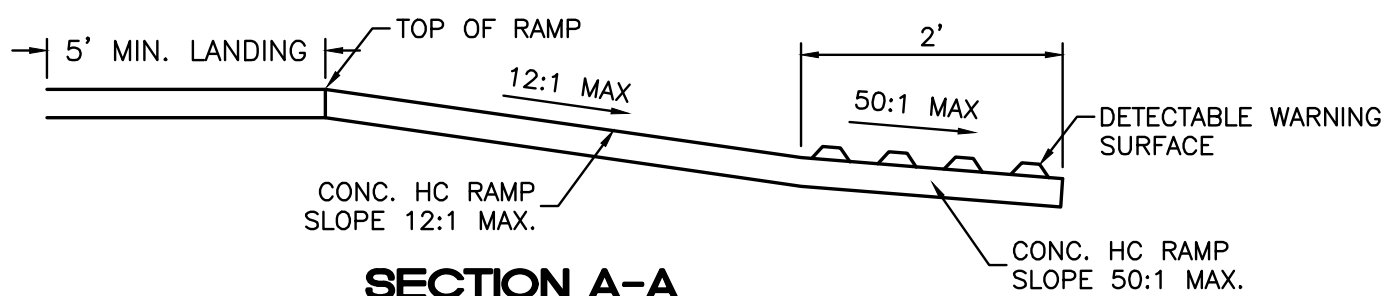
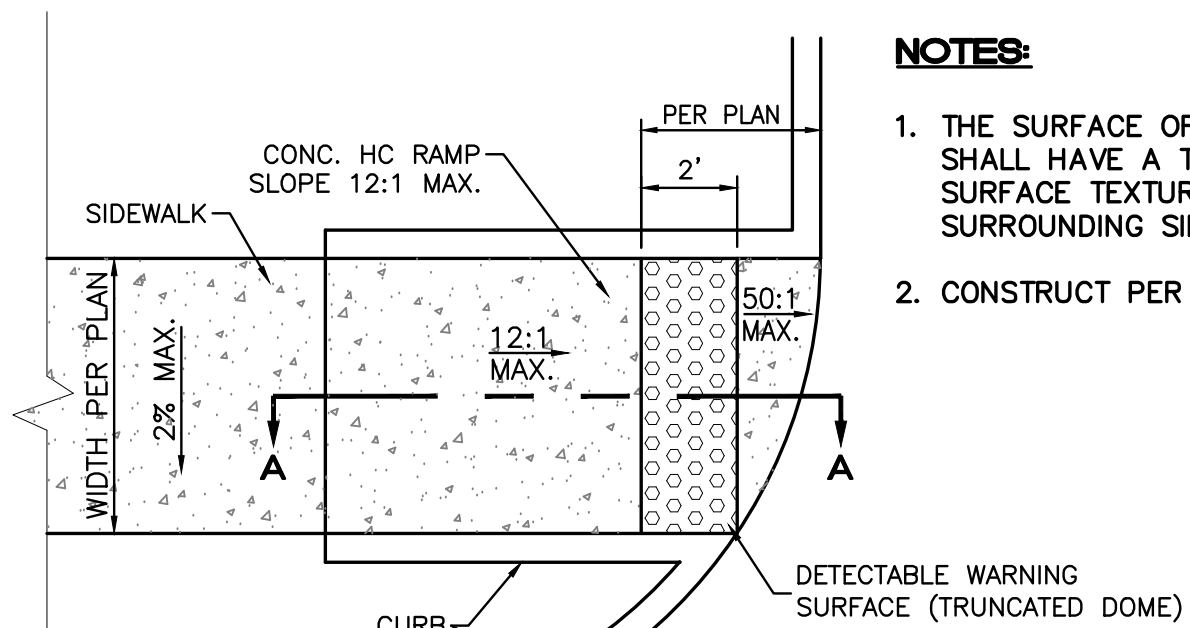
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- RETAINING WALL
- 8" SAS — SANITARY SEWER LINE
- 8" WL — WATERLINE
- PROPOSED HYDRANT
- NEW SAS MH
- NEW WATER METER
- COMMUNICATION LINE
- CTV — CABLE TV LINE



TYPICAL TRENCH DETAIL

NTS

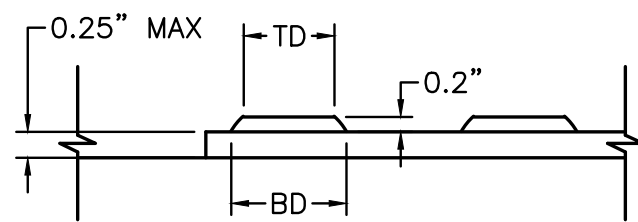
	NOBIS REHAB HOSPITAL 1100 WOODWARD PL.	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 7-14-25
	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # MU-1
		JOB # 2023123



UNIDIRECTIONAL HC RAMP
NOT TO SCALE

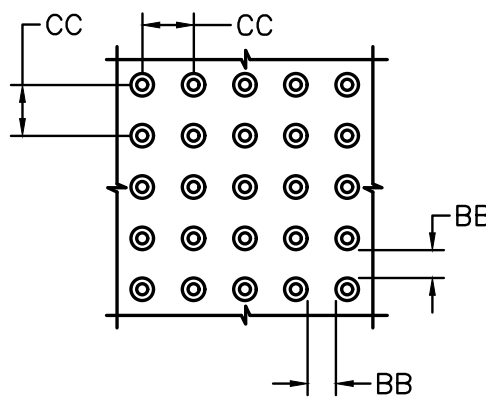
NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



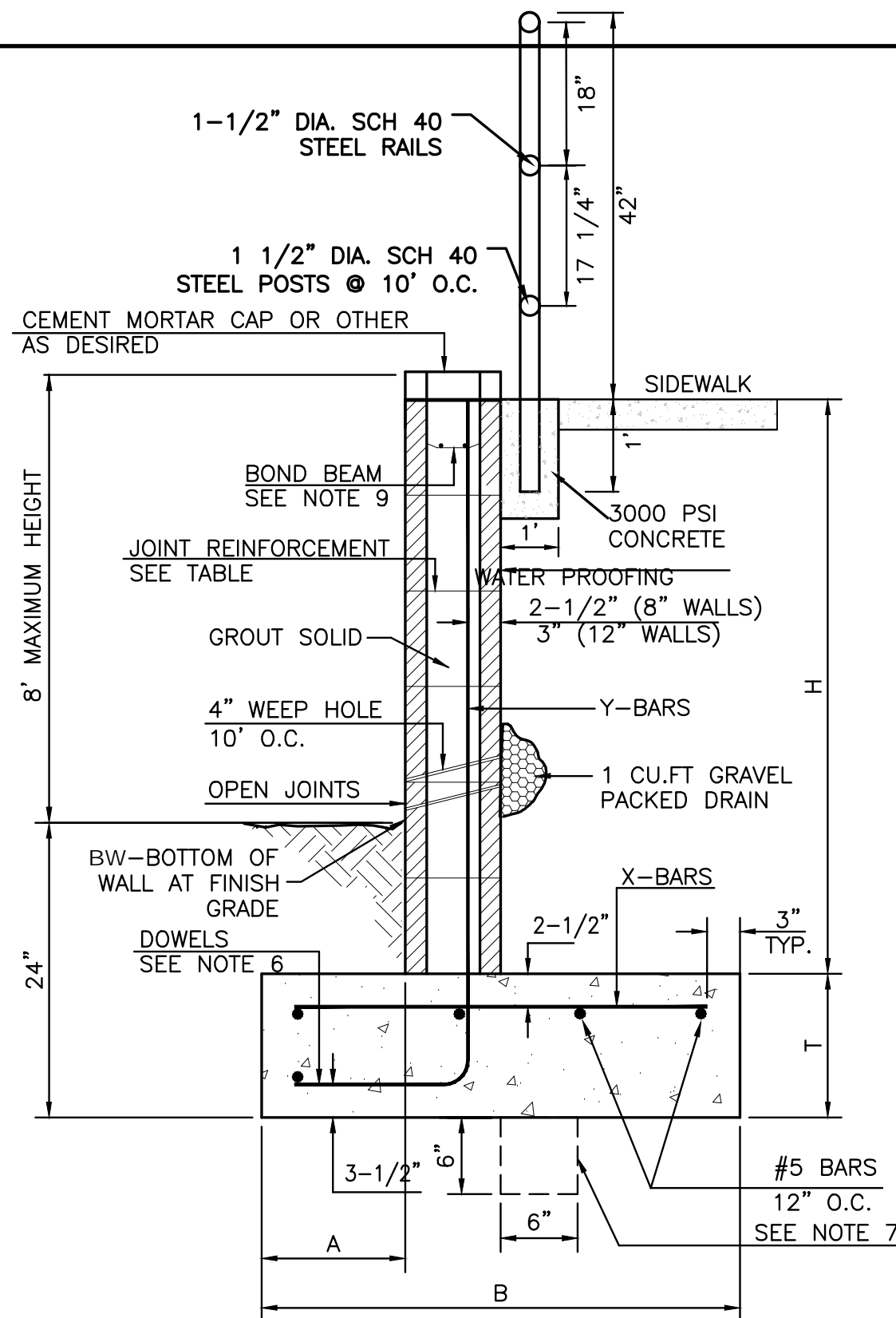
DOME SECTION

BD - BASE DIAMETER 0.9\"/>



DOME SPACING

CC - CENTER TO CENTER SPACING 2.35\"/>



RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

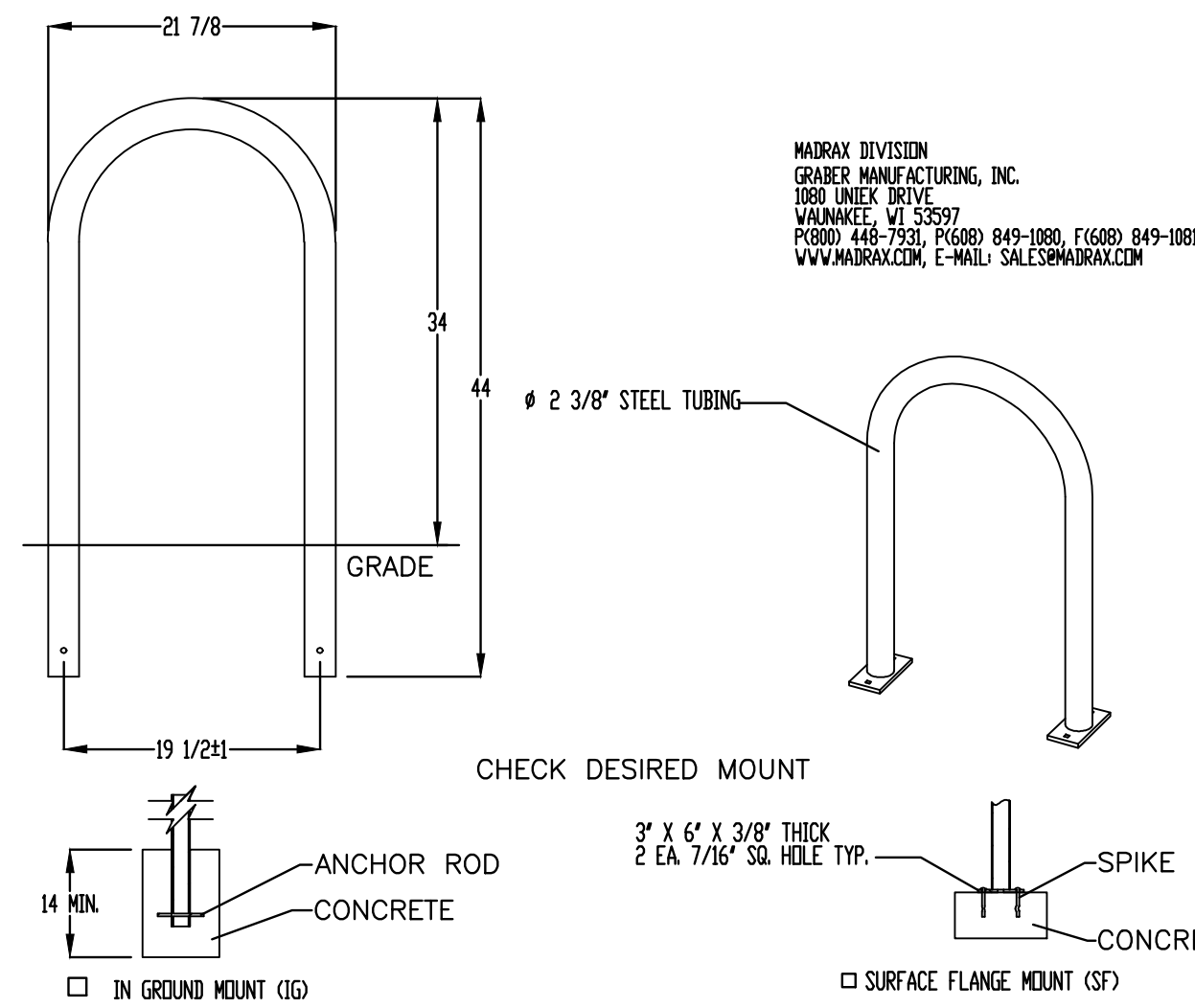
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

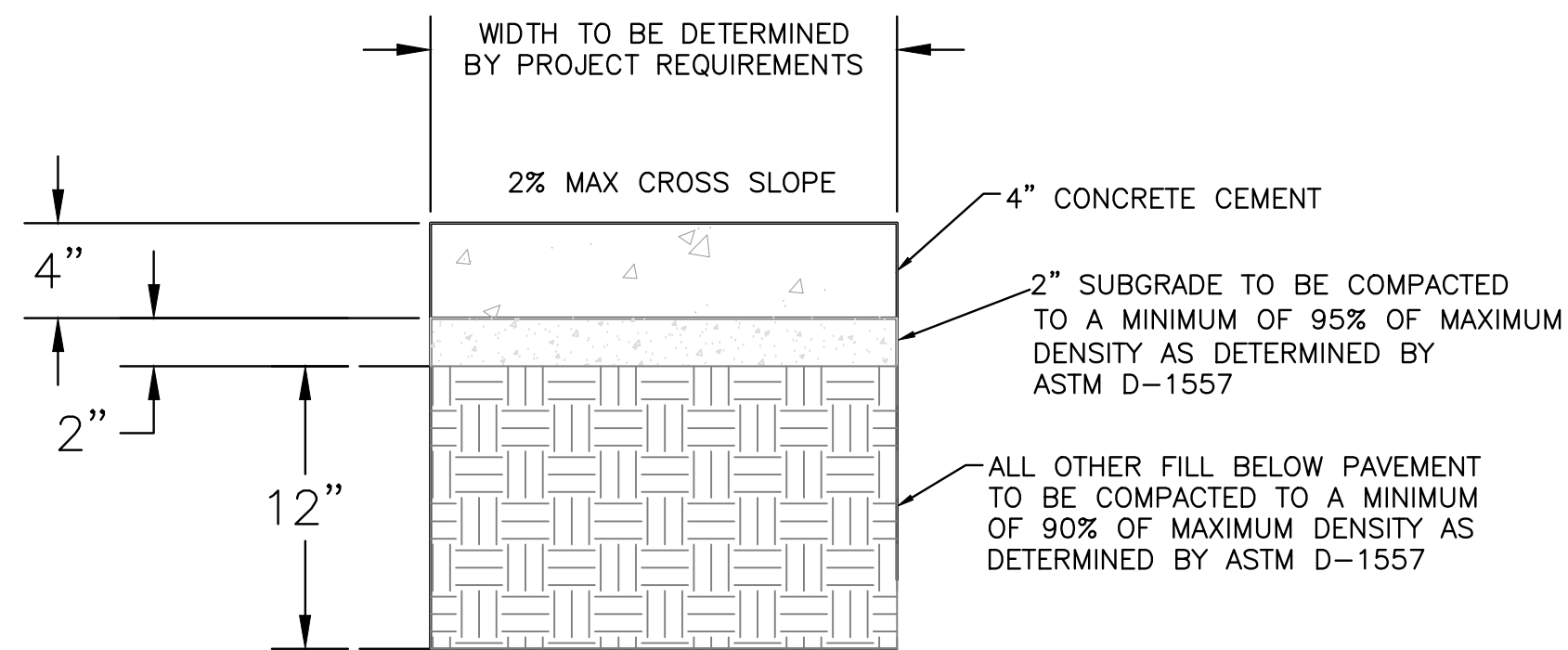


PRODUCT: U238-1G(SF)
DESCRIPTION: 1" BIKE RACK
DATE: 10-4-18
ENG: SNC
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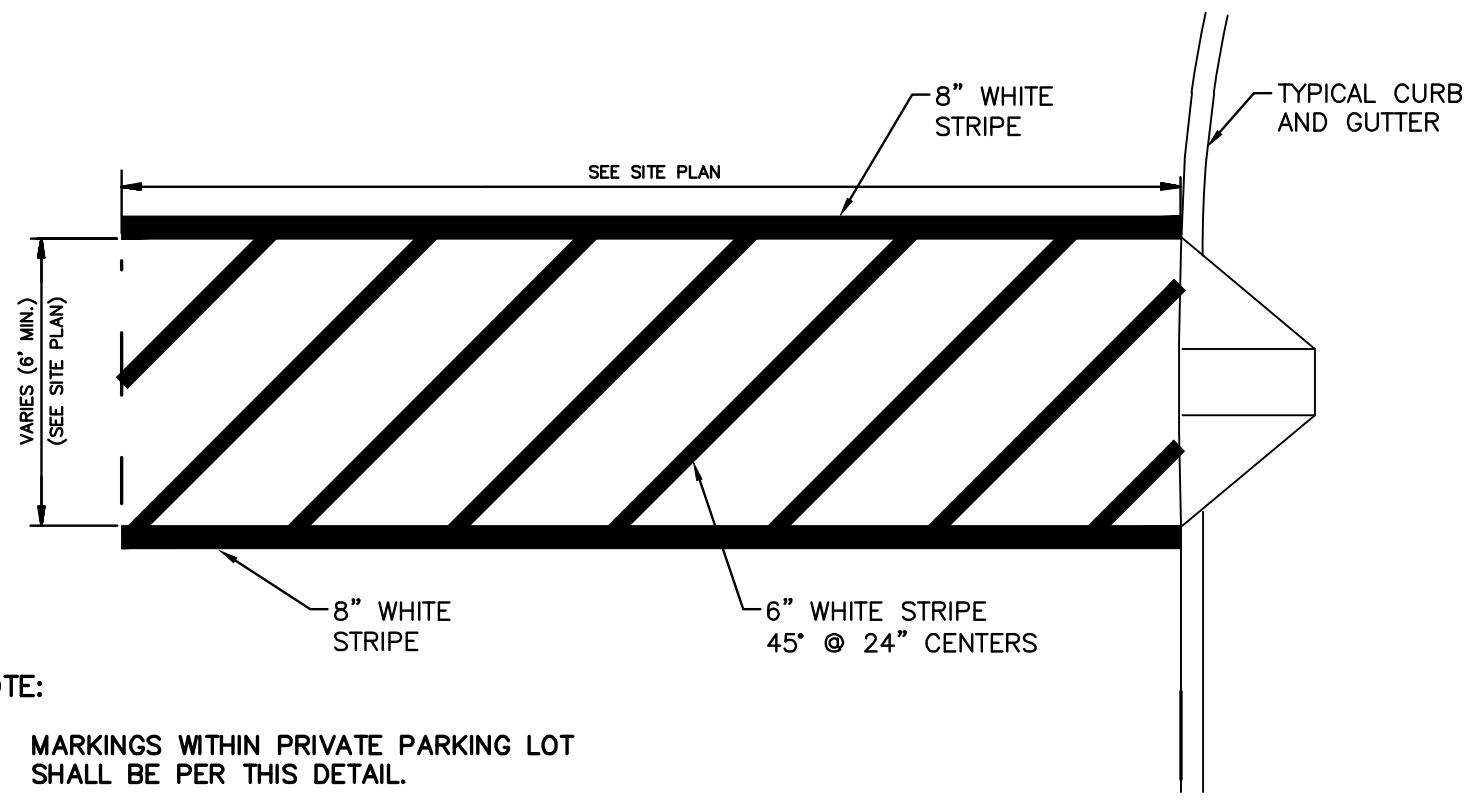
NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
4. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

BIKE RACK DETAIL
NTS



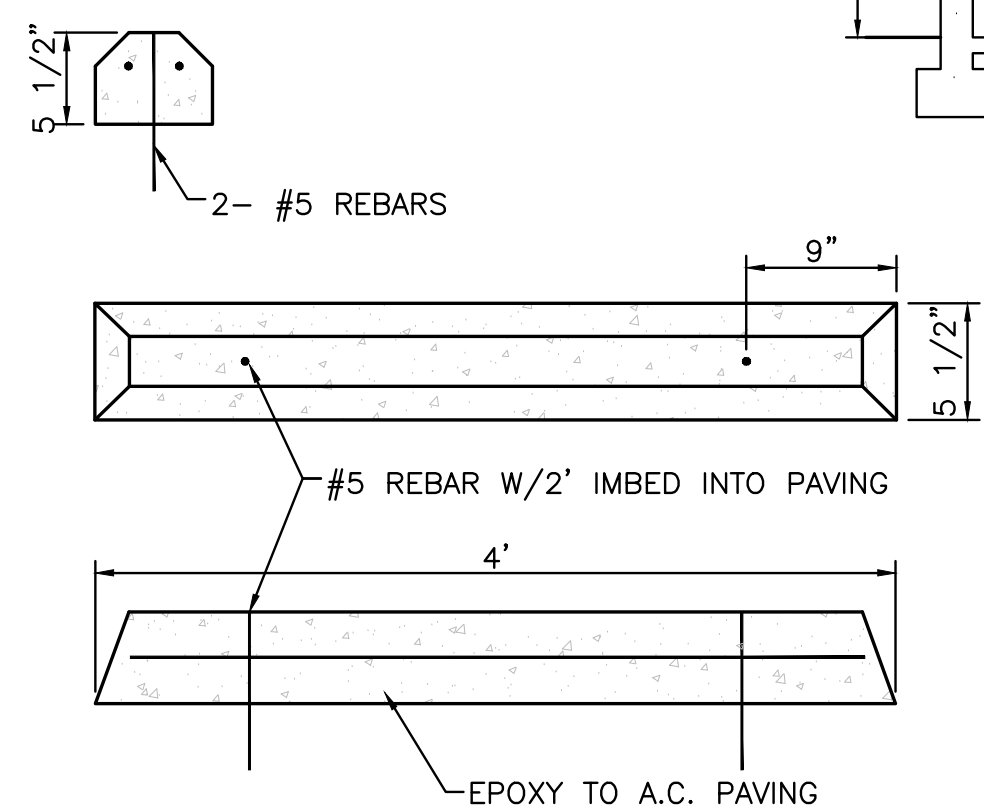
CONCRETE SIDEWALK SECTION



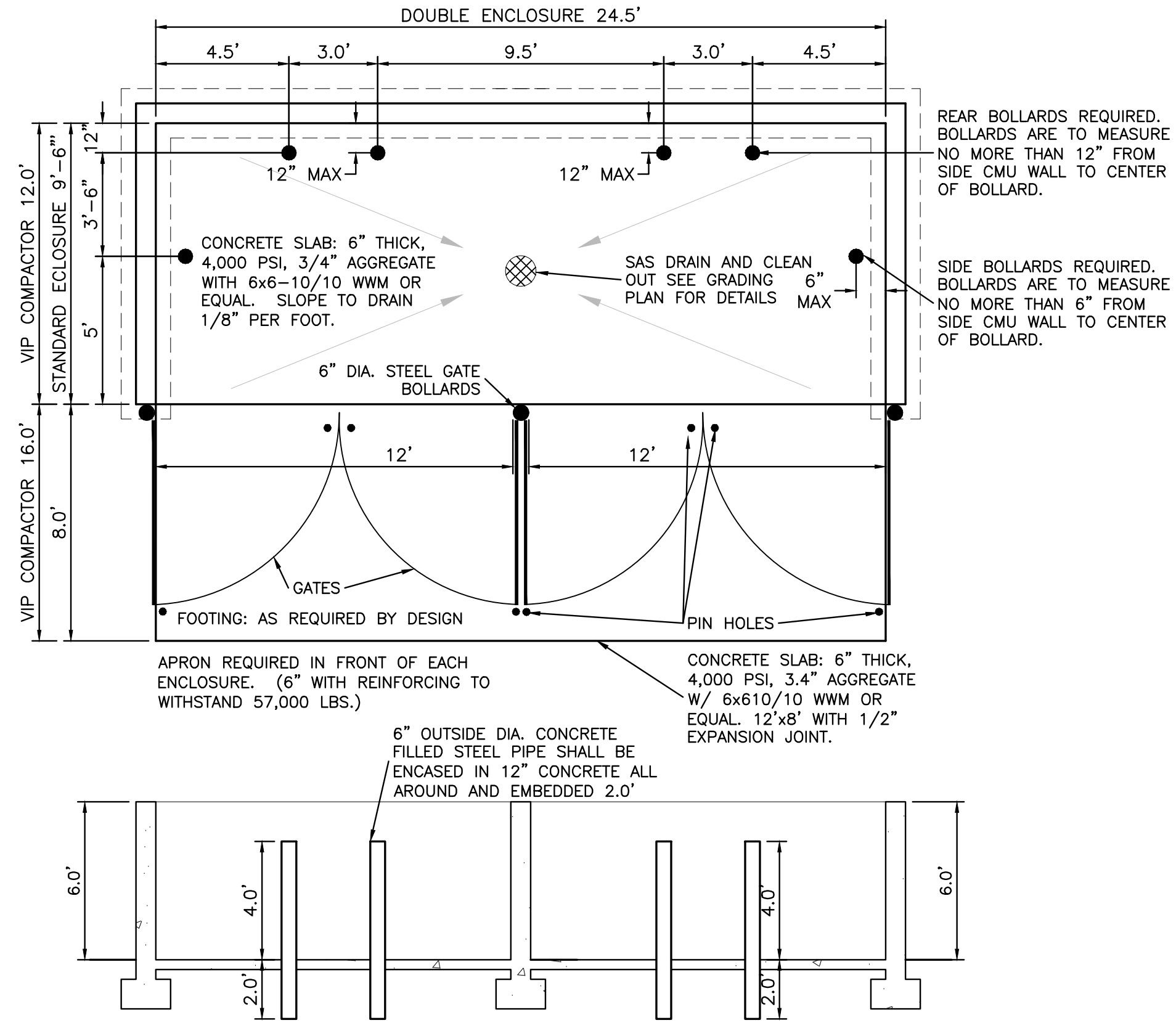
NOTE:

1. MARKINGS WITHIN PRIVATE PARKING LOT SHALL BE PER THIS DETAIL.
2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

CROSSWALK/PED. CROSSING
NTS



WHEEL BUMPER
NTS



DUMPSTER w/SAS DRAIN - ENCLOSURE DETAIL

NOTE:

1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

ENGINEER'S SEAL
RONALD R. BOHANNAN
NEW MEXICO
PROFESSIONAL ENGINEER
7868
7-14-25
RONALD R. BOHANNAN
P.E. #7868

NOBIS REHAB HOSPITAL
1100 WOODWARD PL.

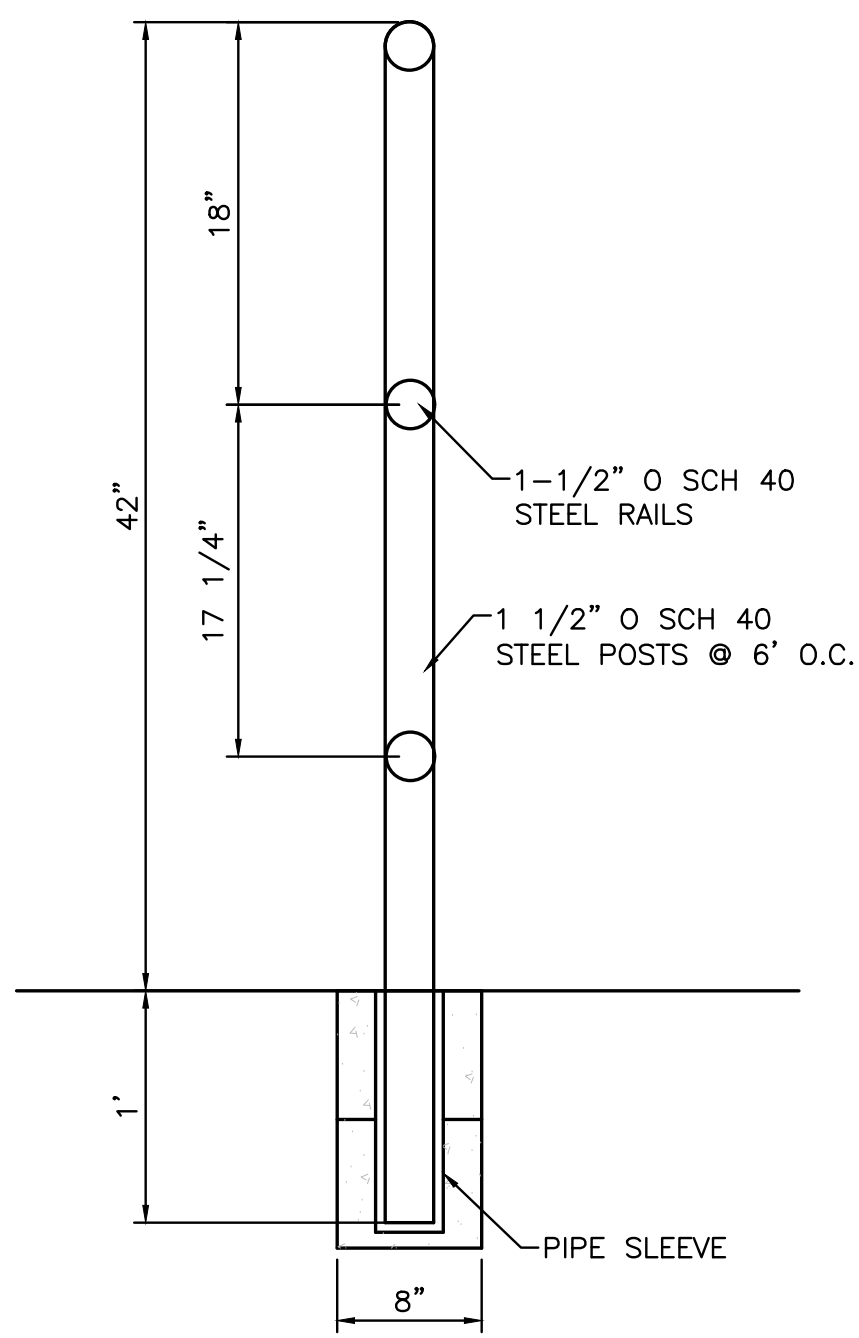
CONSTRUCTION
DETAILS

TIERRA WEST, LLC
5571 MIDWAY PARK PL. NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

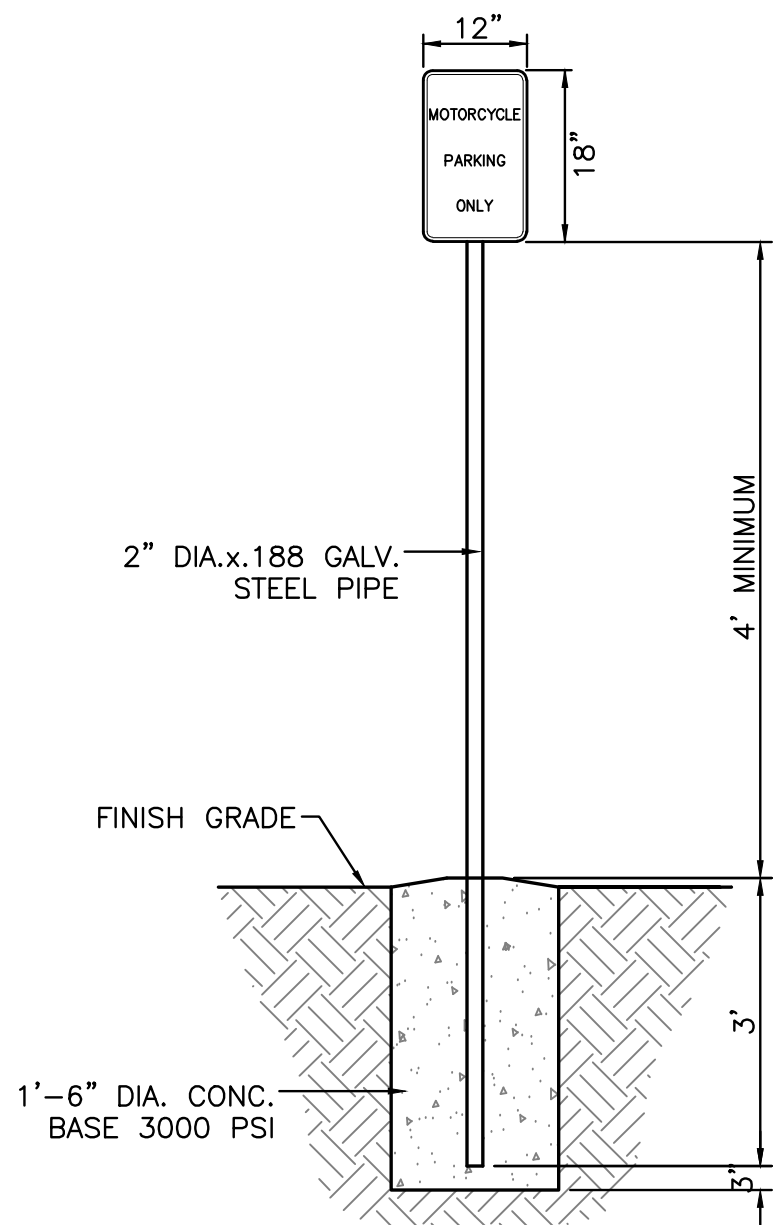
DRAWN BY
pm
DATE
7-14-25
DRAWING

SHEET #
DET-1

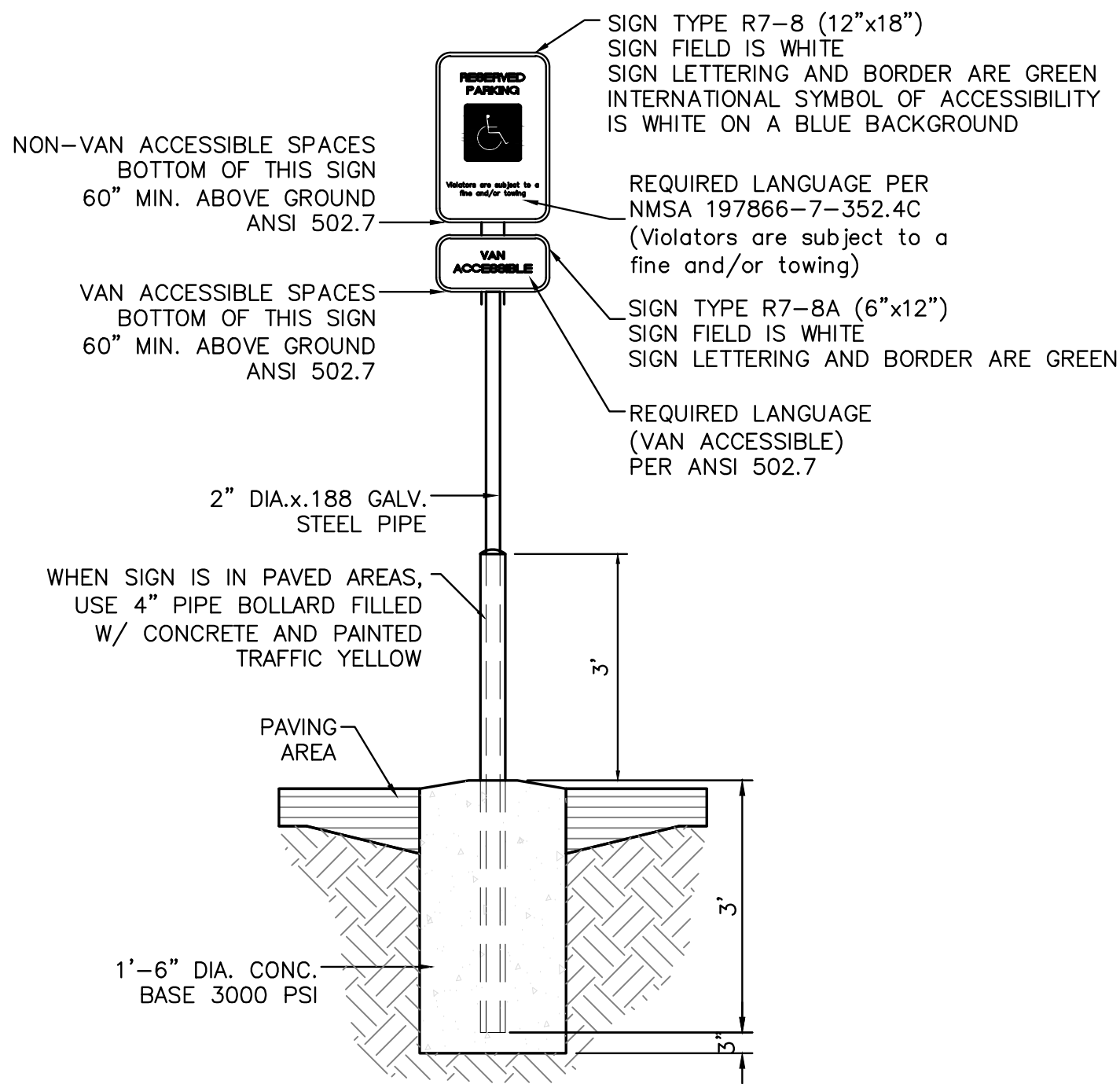
JOB #
2023123



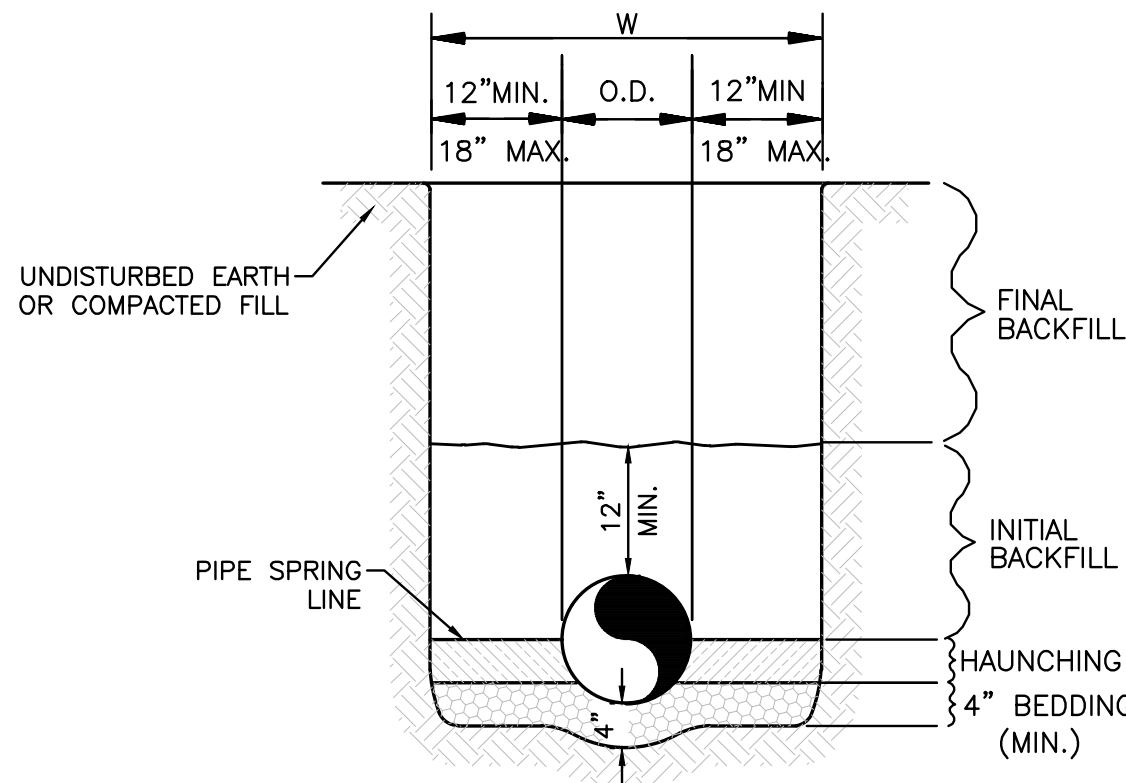
GUARD RAIL DETAIL
NTS



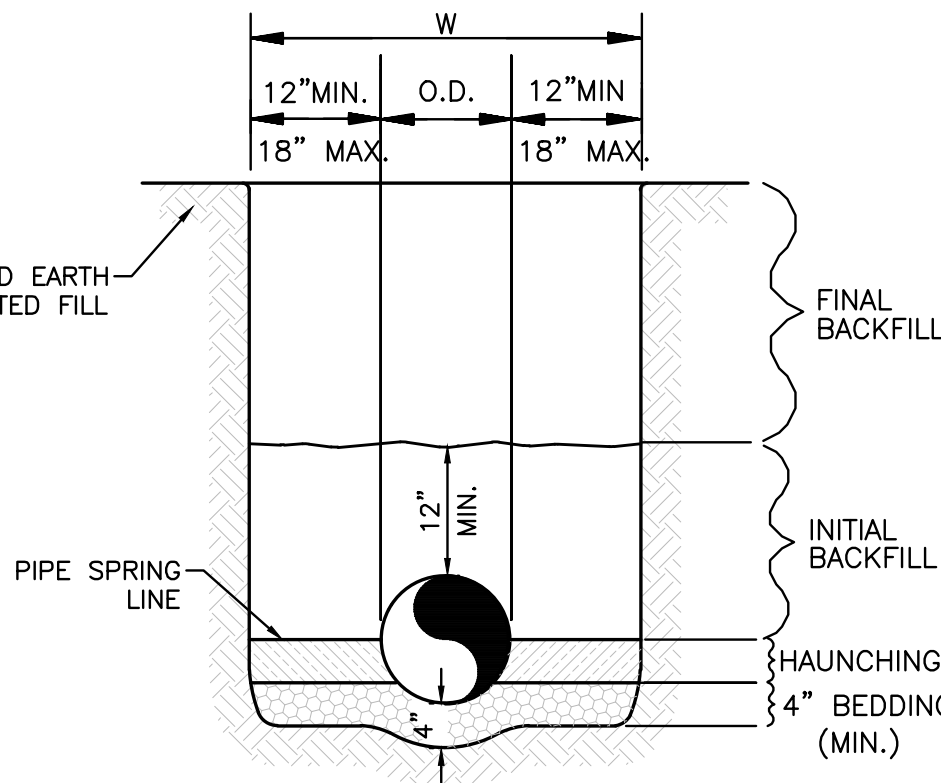
MOTORCYCLE PARKING SIGN
NTS



ACCESSIBLE PARKING SIGN
NTS



WATER LINE



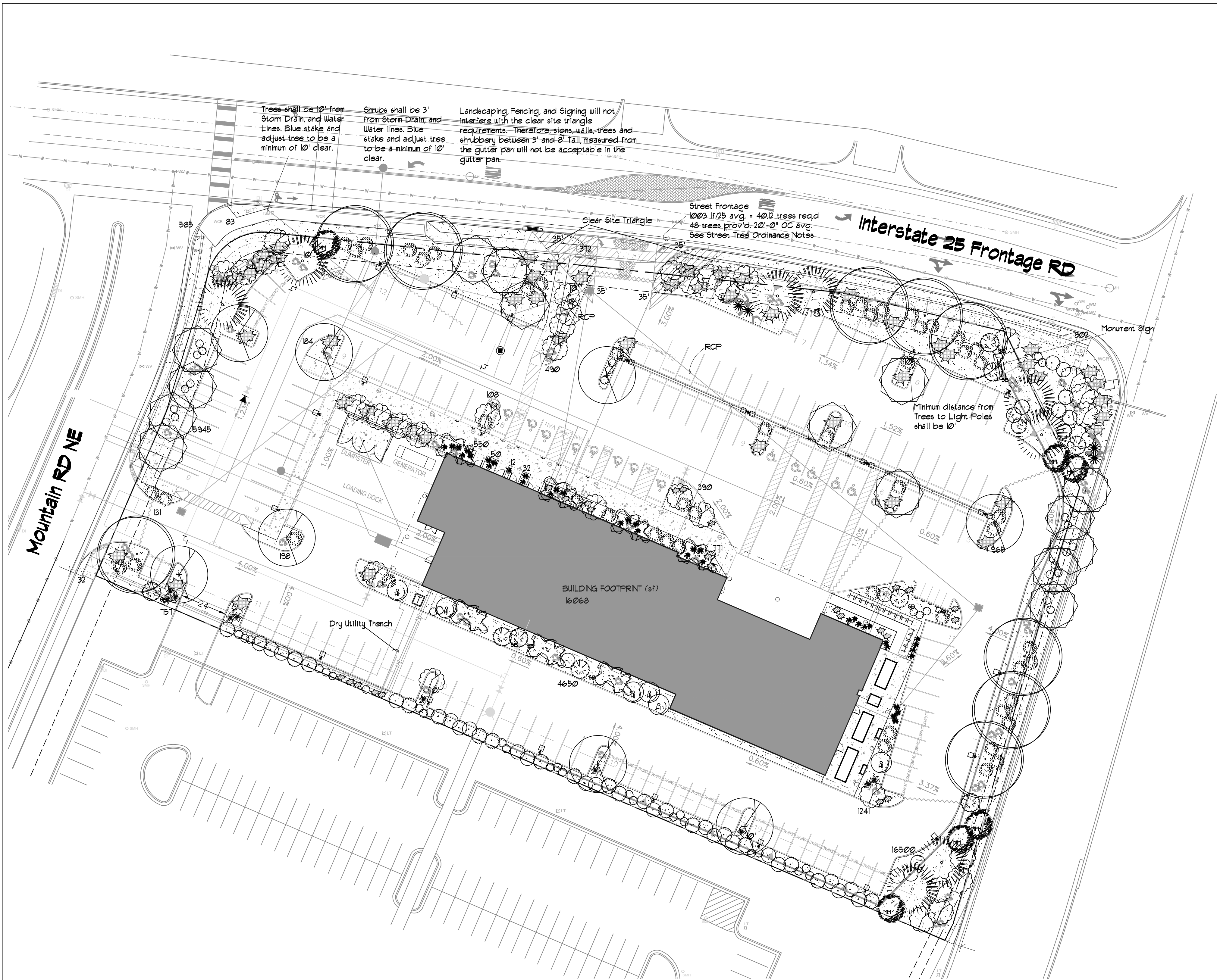
SANITARY SEWER

GENERAL NOTES

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

UTILITY TRENCH AND BEDDING DETAIL
NTS

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	NOBIS REHAB HOSPITAL 1100 WOODWARD PL.	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 7-14-25
	TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # DET-2
		JOB # 2023123



Trees shall be 10' from Storm Drain and Water Lines. Blue stake and adjust tree to be a minimum of 10' clear.

Shrubs shall be 3' from Storm Drain and Water lines. Blue stake and adjust tree to be a minimum of 10' clear.

Landscaping, Fencing, and Signing will not interfere with the clear site triangle requirements. Therefore, signs, walls, trees and shrubbery between 3' and 8' Tall, measured from the gutter pan will not be acceptable in the gutter pan.

Street Frontage
1003 lf/25 avg. = 4012 trees req'd
48 trees prov'd. 20'-0" OC avg.
See Street Tree Ordinance Notes

Interstate 25 Frontage RD

Mountain RD NE

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	119591
TOTAL BUILDING AREA (SF)	16015
TOTAL NET LOT AREA (SF)	103576.00
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED	15536

TOTAL ON-SITE LANDSCAPE PROVIDED (SF)	34433
TOTAL VEGETATIVE COVERAGE REQUIRED (SF)	25825
TOTAL VEGETATIVE COVERAGE PROVIDED (SF)	39815
TOTAL GROUND VEGETATIVE COVERAGE REQUIRED (SF)	6456
TOTAL GROUND VEGETATIVE COVERAGE PROVIDED (SF)	9203

Parking Lot Landscaping

Parking Lot	126
One (1) tree per 10 parking spaces	
Tree Required	13
Tree Provided	14
75 percent of the required parking area shall be deciduous canopy-type shade trees	
deciduous Tree Required	10
deciduous Tree Provided	14

LANDSCAPE LEGEND

QTY SIZE COMMON/BOTANICAL H2O USE

Trees

14	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	40x30	600	8400	M+
9	2" cal	Texas Red Oak <i>Quercus texana</i> syn buckleyi	40x40	600	5400	M
8	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25	430	3920	M
1	25 Gal	Crape Myrtle <i>Lagerstroemia indica</i> x <i>fauriei</i> Tree Form, Multi-Trunk	15x15	116	1232	M
30	2" Cal	Pom Pom Redbud <i>Cercis canadensis</i> 'Pom Pom Poms' Per COA mandate	15x12	113	3390	M
11	2" Cal	Desert Willow <i>Chilopsis linearis</i> Multi-Trunk	20x25	420	8330	M
89	Total Trees	Tree Coverage			30612	

Shrubs & Groundcovers

4	4 - 6'	Palm Yucca <i>Yucca taxoniana</i> Note: Install 3 Boulders and 150sf cobble accent	15x6	28	112	M
6	5 Gal	Curl-leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15x15	116	1056	L+
9	5 Gal	Spanish Broom <i>Spartium junceum</i>	10x10	19	111	M
6	5 Gal	Rose of Sharon <i>Hibiscus syriacus</i>	10x10	19	414	M
53	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x6	28	1484	M
51	5 Gal	Buffalo Juniper <i>Juniperus sabina</i> 'Buffalo'	1x8	50	2550	M
53	5 Gal	Turpentine Bush <i>Ericameria laricifolia</i>	3x4	13	689	L
19	5 Gal	Knock Out Roses <i>Rosa 'Knock Out'</i>	3x4	13	241	L
21	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x1	39	1053	L
21	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x5	20	540	L
10	5 Gal	Beargrass <i>Nolina texana</i>	3x3	1	10	L
11	5 Gal	Dwarf Fountain Grass <i>Pennisetum alopecuroides</i> 'Hamelin'	3x3	1	119	M
14	5 Gal	Karl Foerster Grass <i>Calamagrostis acutiflora</i> 'Karl Foerster'	25x3	1	98	M
262	Total Shrubs	Shrub Coverage			9203	

35630 SF Landscape Area Ground Treatment
25825 SF 75% 7/8" Santa Fe Brown, Filter Fabric
8608 SF 25% Organic Mulch
Note: Trees shall have a 5' dia. of organic mulch, min 2" thick.
Shrubs shall have a 2' dia. of organic mulch, min 2" thick.
Per City of Albuquerque IDO
54 2-3cf Boulders, Moss Rock
To be placed at contractor discretion
Buried 1/3, not shown at epc level

Organic Mulch 25% Required

Note, Each Tree, min, 5' rad.	78.5sf
89 Trees x 78.5 sf =	6,987
See Tree Detail, a 5' radius of wood mulch is require around each tree w/out Filter Fabric	
Note, Each Shrub, min, 2' rad.	12.56 sf
262 Shrubs x 12.56 sf=	3,291
Total Mulch Provided	10,278
Total Mulch Required	9203

LANDSCAPE NOTES:
Contractor is responsible for quantity takeoff's. Quantities provided are for COA planning purposes only.

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner.

All landscaping will be in compliance with the City of Albuquerque, Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

It is the intent of this plan to comply with the City Of Albuquerque Integrated Development Ordinance, Section 14-16-5-6, Landscaping, Buffering, and Screening.

Landscape plant materials used on this plan are derived from the current approved Official Albuquerque Plant Palette and Sizing List.

This landscape plan meets or exceeds all requirements of the COA IDO.

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owners responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system, operated by automatic timer.

Point of connection for irrigation system is unknown at current time.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.

Street Tree Notes:

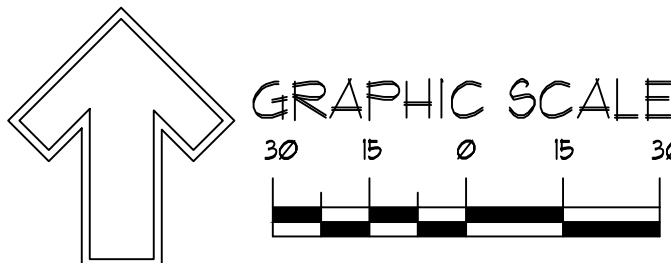
Per Section 5-6(D)(1) (a) Required Street Trees.
Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-1-2 of ROA 1994 (Street Trees)

Section 6-6-2-5 Street Trees

- (A)
- Size of the trees at maturity should be in proportion to the planting space provided for them. Smaller species of trees will require closer spacing, and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
 - On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

Drainage Basin Treatments
Per City of Albuquerque
Drainage Basin Treatments

The bottom and sides must be seeded with a native mix per City Standard specification 10122 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.
For pond bottoms: Gravel 1/2 to 1 inch mulch. One layer thick, not stacked.
Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed. Maintenance will be per City of Albuquerque Specification 10123.1 and 10123.2.
Contractor must weed the basin during/after the first growing season.
Needs city inspection. Stormwater Quality Ordinance-Final stabilization must be accepted by the City.

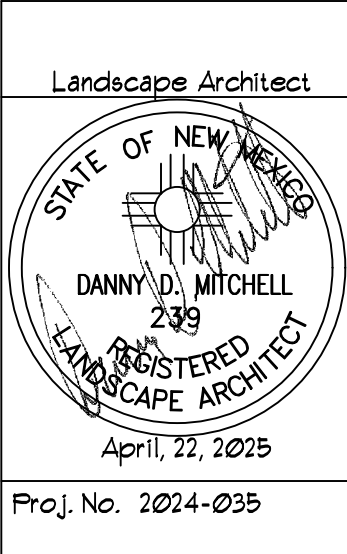


Mitchell Associates, inc



danny@mitchellassociatesllc.com

505.639.9583



Mountain Rehab Hospital
Mountain Rd. / I-25

LANDSCAPE
PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

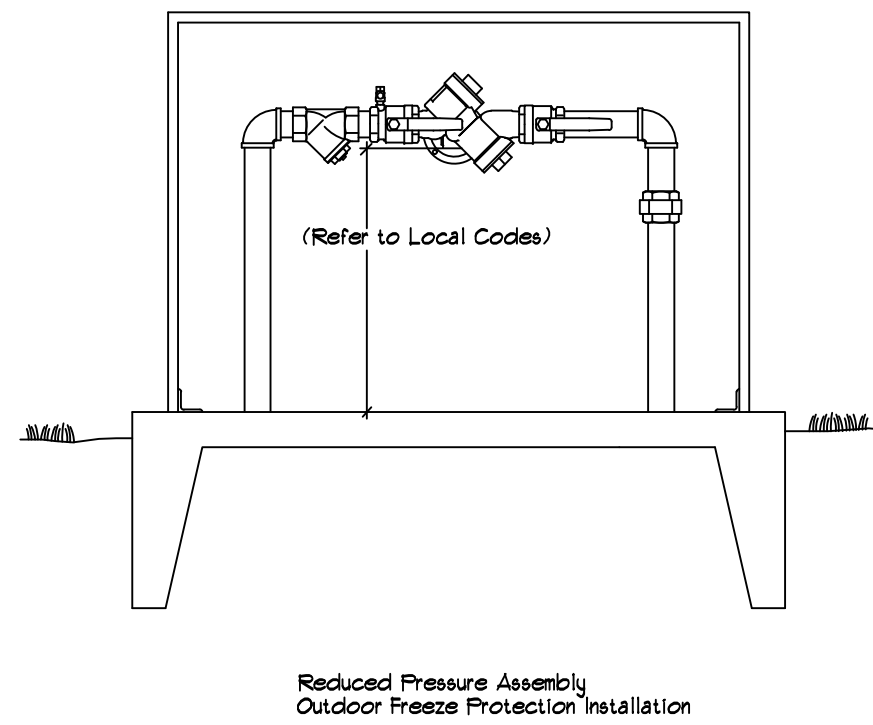
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DATE
4/23/2025

SHEET #

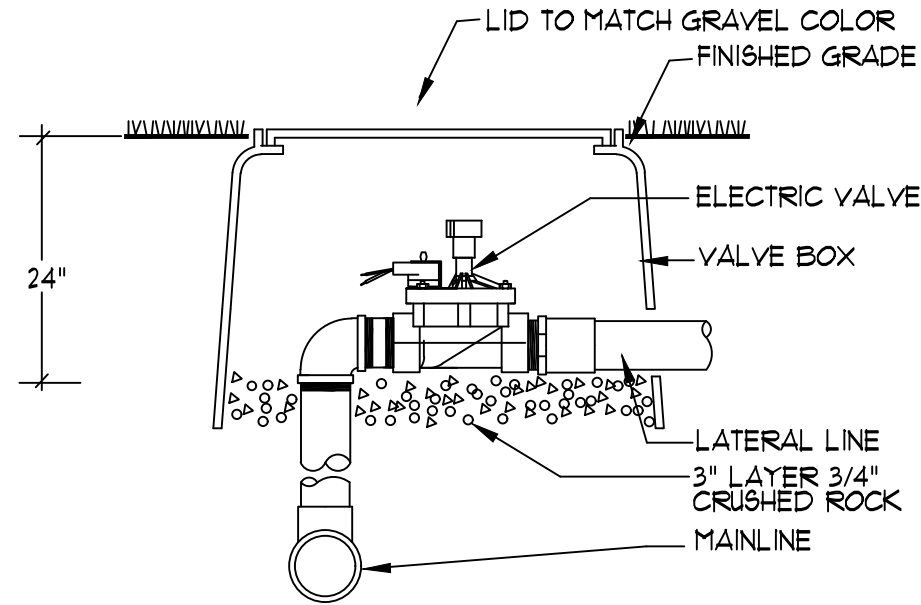
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JOB #
20231213



RPA, HOTBOX TYP.

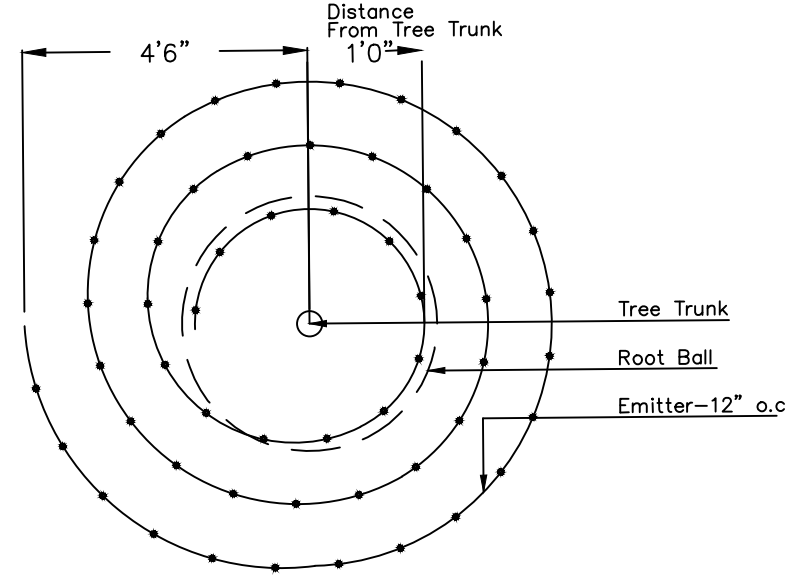
N.T.S.



ELECTRIC VALVE ASSEMBLY

N.T.S.

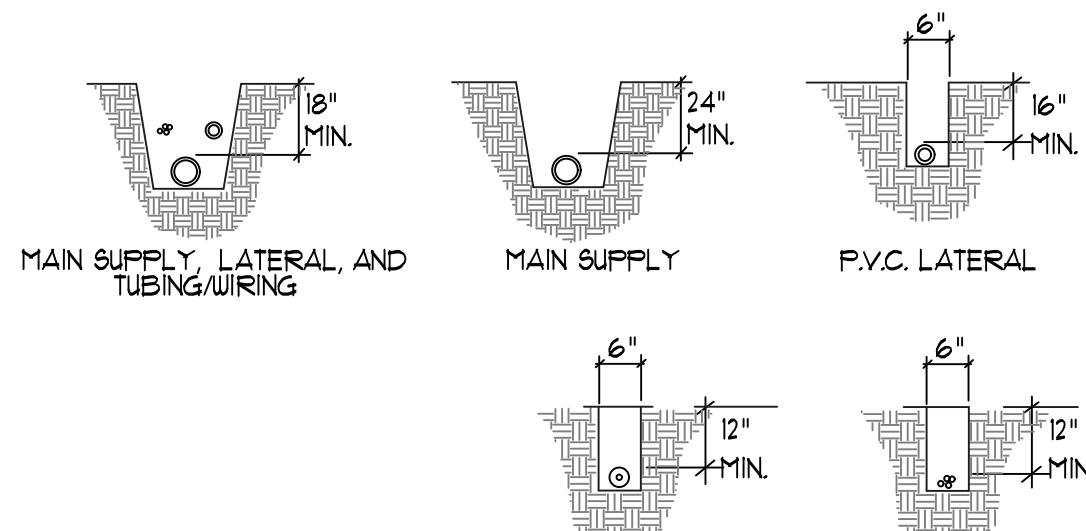
NOTE: ALL IRRIGATION COMPONENTS WILL USE RECLAIMED WATER WHEN IT BECOMES AVAILABLE TO MESA DEL SOL.



Netafim Spiral Detail

NETAFIM DETAIL

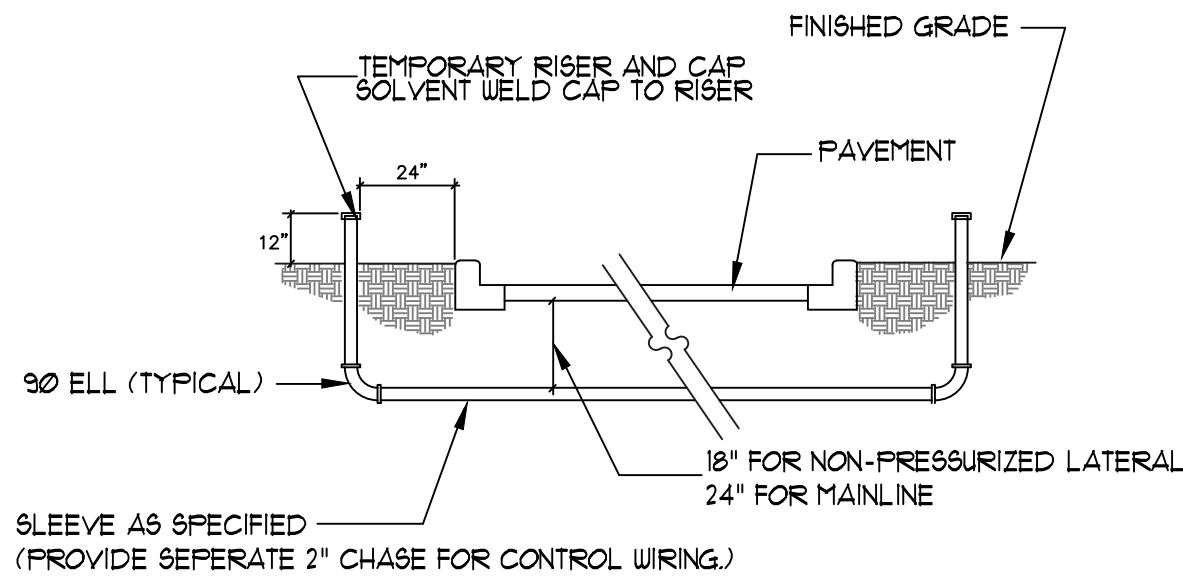
N.T.S.



- DETAIL NOTES:
1. ALL P.V.C. PIPING SHALL BE SNAKE IN TRENCHES.
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
 3. ALL WIRING TO BE BUNDLED AND TAPED AT 18" INTERVALS.
 4. ALL MAIN SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
 5. PROVIDE FIRE AND WIRE SLEEVING UNDER ALL PAVED SURFACES.
 6. WIRE SHALL BE WITHIN SEPERATE 2" ELECTRICAL CHASE.

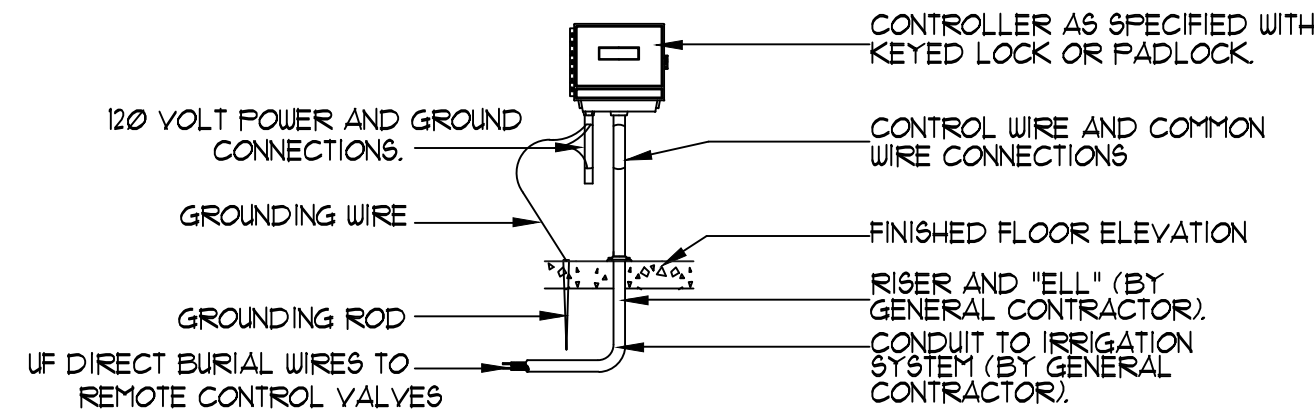
TRENCHING DETAIL

N.T.S.



SLEEVE INSTALLATION DETAIL

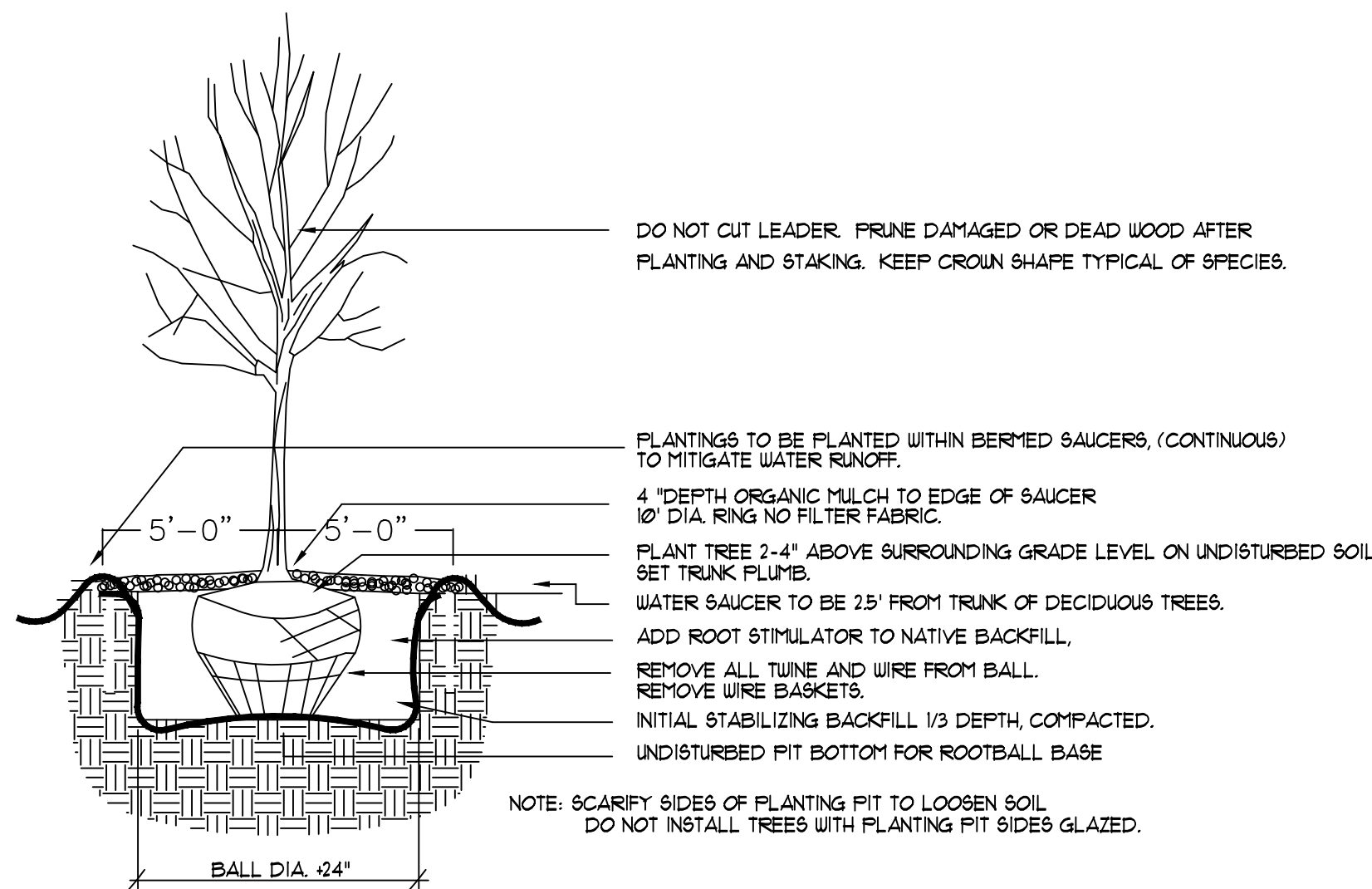
N.T.S.



- DETAIL NOTES:
1. ELECTRICAL POWER TO BE SUPPLIED BY OTHERS.
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
 3. SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER.
 4. CONTROLLER TO BE MOUNTED APPROXIMATELY 5'-0" ABOVE FINISHED FLOOR ELEVATION.

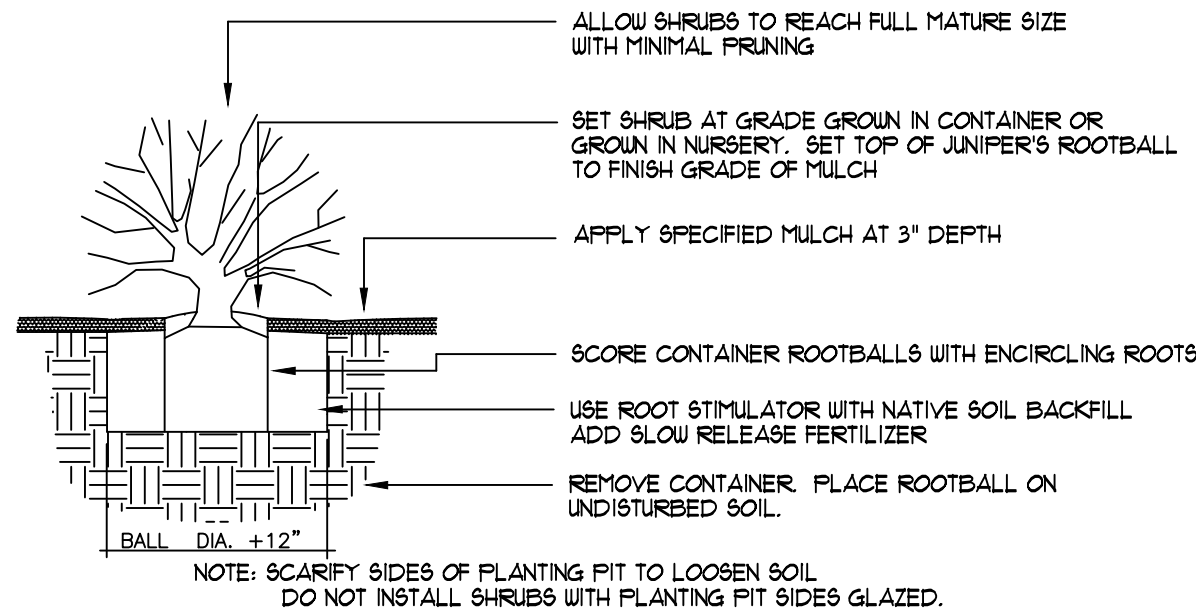
CONTROLLER DETAIL

N.T.S.



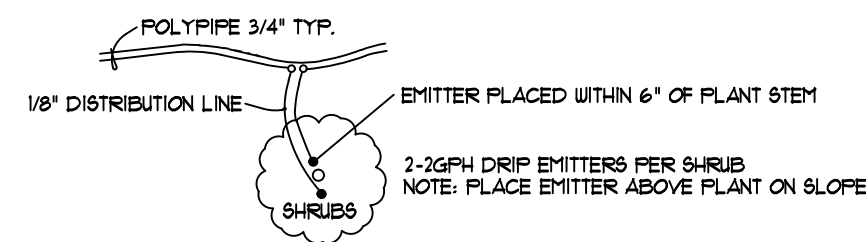
TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.



SHRUB EMITTER PLACEMENT DETAIL

N.T.S.

Mountain Rehab Hospital
Mountain Rd. / I-25

LANDSCAPE DETAILS

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

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DM

DATE
4/23/2025

SHEET #

L3

JOB #
20231213

Proj. No. 2024-035

PURPOSE The section 14-6-5-6 regulates landscaping to ensure visually attractive, sustainable streetscapes that aid in the creation of a quality public realm. The purpose of the section 14-6-5-6 is to establish landscaping standards, environments that enhance Albuquerque's overall appearance and provide other public benefit through:

- 5-6-5(A) Aesthetics and visual enhancement from urbanization.
- 5-6-5(B) Establishing a consistent, attractive streetscape that generates a sense of continuity and a strong positive city image.
- 5-6-5(C) The protection and preservation of commercial, industrial, and multi-family residential development to protect and enhance public and private investments and property values.
- 5-6-5(D) The use of sustainable, water-efficient, low water-use, or xeric species and regionally appropriate, adaptable design and maintenance techniques to conserve water resources.
- 5-6-5(E) The use of landscaping to assist in the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscaping should be designed to retain soil moisture, prevent erosion and sedimentation, reduce noise, provide shade, and reduce heat-absorbing effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and glare.
- 5-6-5(F) Providing screening of undesirable facilities, structures, and equipment.
- 5-6-5(G) Providing shade and comfort for pedestrians and visually appealing streetscapes, which has been shown to reduce vehicle speed and safety.

5-6-5(B) APPLICABILITY

5-6-5(B)(1) The provisions of this section 14-6-5-6 shall apply to any of the following, unless specified otherwise in this IDO:

- 5-6-5(B)(1)(A) Construction of a new building containing multi-family, mixed-use, or non-residential development, or an accessory parking structure.
- 5-6-5(B)(1)(B) Expansion of an existing building, parking lot, driveway, or expansion of an existing parking lot by 75 spaces or more.
- 5-6-5(B)(1)(C) Expansion of the gross floor area of an existing building by 10,000 square feet or more, or 25 percent or more, whichever is less.
- 5-6-5(B)(1)(D) Renovation or redevelopment of an existing building containing multi-family, mixed-use, or non-residential development, or parking lot, but limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, indicated by building permits, is less than \$200,000.
- 5-6-5(B)(2) In the case of walls provided for buffering or screening requirements with conflicting standards in this section 14-6-5-6, Section 14-6-5-9 (Fencing and Walls) shall prevail.

5-6-5(C) GENERAL LANDSCAPING STANDARDS

The following standards apply to all landscaping, screening, or buffering required by this section 14-6-5-6:

5-6-5(C)(1) **General Landscaping Plan Required**

A landscape plan with designed landscape details shall be submitted as a part of all applications for development where landscaping, buffering, or screening is required, unless the relevant decision-making body determines that compliance with the provisions of this section 14-6-5-6 can be demonstrated by other means. The landscaping plan may be combined with other required application materials. If compliance with this section 14-6-5-6 can be demonstrated in the combined materials, landscaping shall be maintained pursuant to the requirements of Subsection 14-6-5-9(B)(6).

5-6-5(C)(2) **Minimum Landscape Area**

5-6-5(C)(2)(A) The minimum landscape area (below) a minimum of 15 percent of the net lot area of each development shall contain landscaping.

5-6-5(C)(2)(B) In IDU-MS-HS-BT areas, a minimum of 10 percent of the net lot area of development shall contain landscaping. In these areas, the landscaping required to meet this requirement need not be at ground level. (See figure below).

5-6-5(C)(2)(C) The natural realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows:

1. Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscape area as measured by canopy width or area, whichever is greater of the nature.
2. Size of the actual vegetation. Of the required vegetative coverage, a minimum of 20 percent shall be provided as ground-level plants (shrubs, perennials, etc.) as measured of the nature size of the actual vegetation. (See figure below).

5-6-5(C)(2)(D) (See also Subsections 14-6-5-6(D) (Street Frontage Landscaping), 14-6-5-6(E) (Edge Buffer Landscaping), and 14-6-5-6(F) (Parking Lot Landscaping) for additional landscaping requirements.

5-6-5(C)(3) **Planting**

5-6-5(C)(3)(A) If areas required to be landscaped by 72 or more provisions of this section 14-6-5-6 overlap each other, the provision requiring the greater amount of landscaping shall prevail. If the provision requiring the greater area required landscaping shall, toward fulfilling the overlapping requirements.

1. See Subsection 14-6-5-6(C)(2) (Existing Vegetation Credit).

2. See Subsection 14-6-5-6(C)(3) (Stormwater Management Features):

- 2-1. See Subsection 14-6-5-6(D) (Street Frontage Landscaping).
- 2-2. See Subsection 14-6-5-6(E) (Edge Buffer Landscaping).
- 2-3. See Subsection 14-6-5-6(F) (Parking Lot Landscaping).

5-6-5(C)(3)(B) Landscaped areas may contain, toward satisfying water open space requirements, the following types of water districts in Table 5-1-1 and for Mixed-use zone districts in Table 5-1-2:

5-6-5(C)(3)(C) Gardens and community gardens provided may count toward satisfying the requirements of Subsection 14-6-5-6(C)(3) (Minimum Landscape Area).

5-6-5(C)(3)(D) Any landscaping provided to meet requirements in Subsection 14-6-5-6(2) (Major Arterio Standards) may count toward any landscaping required in this section 14-6-5-6, but shall be subject to Subsection 14-6-5-6(B) (General Landscaping Standards).

5-6-5(C)(3)(E) Any paved or unpaved area for seating and gathering areas provided to meet requirements in Subsection 14-6-5-6-1(E)(3) (Outdoor Seating and Gathering Areas) may count toward up to 25 percent of required landscaping in Section 14-6-5-6, but shall be subject to standards in Subsection 14-6-5-6(C) (General Landscaping Standards).

5-6-5(C)(3)(F) Required Planting Materials and Site Amenities

5-6-5(C)(3)(F)(1) A minimum of 3 species must be planted in the landscaped area.

5-6-5(C)(3)(F)(2) Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water-use, drought tolerant, or xeric species and shrubs on a landscape plan can count toward the requirements of this section 14-6-5-6(C)(3)(F) (General Landscaping Standards), except that, upon presentation of evidence, the relevant decision-making body may authorize the use of other species and shrubs to meet the requirements:

1. Meet the intended purpose of that type of landscaping.
2. Are not hazardous.
3. Are not invasive as invasive on a City or State plant list.
4. Are not listed in the City's Invasive Identification Handbook.
5. Are equally healthy to the New Mexico climate.

5-6-5(C)(3)(F)(3) Only trees and shrubs selected from the plant palette included in a State list of prohibited or invasive species or listed as noxious weeds in the City's Invasive Identification Handbook is prohibited.

5-6-5(C)(3)(F)(4) Only trees and shrubs selected from the plant palette shall be cool season grass species. Irrigated cool season grass shall not be planted on slopes exceeding 14 percent or planted in normal or irregularly shaped areas, except in the case of a berm, in order to avoid water waste, any cool season grass shall be installed at:

- 5-6-5(C)(3)(F)(4)(A) least 3 feet in any direction from any impermeable hard surface. (A buffer using organic mulch can be used when planting cool season grass adjacent to impermeable surface).
- 5-6-5(C)(3)(F)(4)(B) 6 feet in any direction from any permeable hard surface. (A buffer using organic mulch can be used when planting cool season grass adjacent to permeable surface).

5-6-5(C)(3)(F)(5) Landscaping abouting ornamentals shall consist of native plants that are included on the Official Albuquerque Plant Palette.

5-6-5(C)(3)(F)(6) Artificial turfgrass shall not be counted as living vegetative material or to meet the requirements of this section 14-6-5-6(C)(3)(F)(5) (General Landscaping Standards).

5-6-5(C)(3)(F)(7) All vegetation shall comply with Article 9-2 and Parts 6-9-1 and 6-9-2 of the Albuquerque Municipal Code, the American Conservation Landscaping and Water Use Standards, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABQWA) Legislation and Ordinances (Water Use Standards).

5-6-5(C)(3)(F)(8) All required planting materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ANSI) of the American Nursery and Landscape Association.

5-6-5(C)(3)(F)(9) Shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 75 feet wide, the trees shall be planted in a staggered fashion. In treeless areas, a tree, a trellis of at least 5 feet high for at least 5 feet along the walkway shall be provided.

5-6-5(C)(3)(F)(10) In all landscaped areas other than street frontage shall include pedestrian friendly, pedestrian amenities, or trash receptacles to encourage pedestrian use.

5-6-5(C)(3)(F)(11) In all landscaped areas 14-6-5-6(D) (Street Frontage Landscaping) for additional landscaping requirements.

5-6-5(C)(3)(F)(12) Soil Condition and Planting Bed 5-6-5(C)(3)(F)(12) All vegetated material required by this section 14-6-5-6 shall be planted in uncompacted soil.

5-6-5(C)(3)(F)(13) If used, barriers shall be permeable to optimize stormwater infiltration and prevent runoff.

5-6-5(C)(3)(F)(14) The use of plant materials in grass ground cover is limited to a maximum of 75 percent of any landscaped area, or 80 percent in IDU-MS-BT areas 5-6-5(C)(3)(F)(14) A minimum of 7 inches of organic mulch is required in all landscaped areas 5-6-5(C)(3)(F)(14) A minimum of 7 inches of organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, used barrier fabric is prohibited.

5-6-5(C)(3)(F)(15) All landscaped areas shall be protected from vehicular encroachment by curbs or unmet stops located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff and infiltration and stormwater infiltration areas.

5-6-5(C)(3)(F)(16) Minimum Plant Sizes at Installation

All vegetation required by this section 14-6-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO.

Diameter at Breast Height (in.)	Number of Trees Credited
≥25	8
≥13 and <25	6
≥8 and <13	4
≥4 and <8	2
<4	1
Prohibited trees 8 in. or greater ⁽¹⁾	1

⁽¹⁾ Prohibited trees are those that do not appear on the Official Albuquerque Plant Palette and may appear on the City or State list of prohibited or invasive species

- 5-6(C)(3) Stormwater Management Features:
 - 5-6(C)(3)(A) Required landscape and buffer areas shall be designed to serve as stormwater detention and infiltration to the maximum extent practicable and consistent with their required locations and vegetation.
 - 5-6(C)(3)(B) Required landscape and buffer areas shall be designed to provide a minimum 10% RPT and the City Standard Specifications for Public Works Construction.
 - 5-6(C)(3)(C) In the RPH, R-PL, Mixed-use, and NR-SU1 zone districts, and on the R-PL, R-NC, R-NC-S, R-NC-SU1, R-NC-SU2, R-NC-SU3, R-NC-SU4, R-NC-SU5, R-NC-SU6, R-NC-SU7, R-NC-SU8, R-NC-SU9, R-NC-SU10, R-NC-SU11, R-NC-SU12, R-NC-SU13, R-NC-SU14, R-NC-SU15, R-NC-SU16, R-NC-SU17, R-NC-SU18, R-NC-SU19, R-NC-SU20, R-NC-SU21, R-NC-SU22, R-NC-SU23, R-NC-SU24, R-NC-SU25, R-NC-SU26, R-NC-SU27, R-NC-SU28, R-NC-SU29, R-NC-SU30, R-NC-SU31, R-NC-SU32, R-NC-SU33, R-NC-SU34, R-NC-SU35, R-NC-SU36, R-NC-SU37, R-NC-SU38, R-NC-SU39, R-NC-SU40, R-NC-SU41, R-NC-SU42, R-NC-SU43, R-NC-SU44, R-NC-SU45, R-NC-SU46, R-NC-SU47, R-NC-SU48, R-NC-SU49, R-NC-SU50, R-NC-SU51, R-NC-SU52, R-NC-SU53, R-NC-SU54, R-NC-SU55, R-NC-SU56, R-NC-SU57, R-NC-SU58, R-NC-SU59, R-NC-SU60, R-NC-SU61, R-NC-SU62, R-NC-SU63, R-NC-SU64, R-NC-SU65, R-NC-SU66, R-NC-SU67, R-NC-SU68, R-NC-SU69, R-NC-SU70, R-NC-SU71, R-NC-SU72, R-NC-SU73, R-NC-SU74, R-NC-SU75, R-NC-SU76, R-NC-SU77, R-NC-SU78, R-NC-SU79, R-NC-SU80, R-NC-SU81, R-NC-SU82, R-NC-SU83, R-NC-SU84, R-NC-SU85, R-NC-SU86, R-NC-SU87, R-NC-SU88, R-NC-SU89, R-NC-SU90, R-NC-SU91, R-NC-SU92, R-NC-SU93, R-NC-SU94, R-NC-SU95, R-NC-SU96, R-NC-SU97, R-NC-SU98, R-NC-SU99, R-NC-SU100, R-NC-SU101, R-NC-SU102, R-NC-SU103, R-NC-SU104, R-NC-SU105, R-NC-SU106, R-NC-SU107, R-NC-SU108, R-NC-SU109, R-NC-SU110, R-NC-SU111, R-NC-SU112, R-NC-SU113, R-NC-SU114, R-NC-SU115, R-NC-SU116, R-NC-SU117, R-NC-SU118, R-NC-SU119, R-NC-SU120, R-NC-SU121, R-NC-SU122, R-NC-SU123, R-NC-SU124, R-NC-SU125, R-NC-SU126, R-NC-SU127, R-NC-SU128, R-NC-SU129, R-NC-SU130, R-NC-SU131, R-NC-SU132, R-NC-SU133, R-NC-SU134, R-NC-SU135, R-NC-SU136, R-NC-SU137, R-NC-SU138, R-NC-SU139, R-NC-SU140, R-NC-SU141, R-NC-SU142, R-NC-SU143, R-NC-SU144, R-NC-SU145, R-NC-SU146, R-NC-SU147, R-NC-SU148, R-NC-SU149, R-NC-SU150, R-NC-SU151, R-NC-SU152, R-NC-SU153, R-NC-SU154, R-NC-SU155, R-NC-SU156, R-NC-SU157, R-NC-SU158, R-NC-SU159, R-NC-SU160, R-NC-SU161, R-NC-SU162, R-NC-SU163, R-NC-SU164, R-NC-SU165, R-NC-SU166, R-NC-SU167, R-NC-SU168, R-NC-SU169, R-NC-SU170, R-NC-SU171, R-NC-SU172, R-NC-SU173, R-NC-SU174, R-NC-SU175, R-NC-SU176, R-NC-SU177, R-NC-SU178, R-NC-SU179, R-NC-SU180, R-NC-SU181, R-NC-SU182, R-NC-SU183, R-NC-SU184, R-NC-SU185, R-NC-SU186, R-NC-SU187, R-NC-SU188, R-NC-SU189, R-NC-SU190, R-NC-SU191, R-NC-SU192, R-NC-SU193, R-NC-SU194, R-NC-SU195, R-NC-SU196, R-NC-SU197, R-NC-SU198, R-NC-SU199, R-NC-SU200, R-NC-SU201, R-NC-SU202, R-NC-SU203, R-NC-SU204, R-NC-SU205, R-NC-SU206, R-NC-SU207, R-NC-SU208, R-NC-SU209, R-NC-SU210, R-NC-SU211, R-NC-SU212, R-NC-SU213, R-NC-SU214, R-NC-SU215, R-NC-SU216, R-NC-SU217, R-NC-SU218, R-NC-SU219, R-NC-SU220, R-NC-SU221, R-NC-SU222, R-NC-SU223, R-NC-SU224, R-NC-SU225, R-NC-SU226, R-NC-SU227, R-NC-SU228, R-NC-SU229, R-NC-SU230, R-NC-SU231, R-NC-SU232, R-NC-SU233, R-NC-SU234, R-NC-SU235, R-NC-SU236, R-NC-SU237, R-NC-SU238, R-NC-SU239, R-NC-SU240, R-NC-SU241, R-NC-SU242, R-NC-SU243, R-NC-SU244, R-NC-SU245, R-NC-SU246, R-NC-SU247, R-NC-SU248, R-NC-SU249, R-NC-SU250, R-NC-SU251, R-NC-SU252, R-NC-SU253, R-NC-SU254, R-NC-SU255, R-NC-SU256, R-NC-SU257, R-NC-SU258, R-NC-SU259, R-NC-SU260, R-NC-SU261, R-NC-SU262, R-NC-SU263, R-NC-SU264, R-NC-SU265, R-NC-SU266, R-NC-SU267, R-NC-SU268, R-NC-SU269, R-NC-SU270, R-NC-SU271, R-NC-SU272, R-NC-SU273, R-NC-SU274, R-NC-SU275, R-NC-SU276, R-NC-SU277, R-NC-SU278, R-NC-SU279, R-NC-SU280, R-NC-SU281, R-NC-SU282, R-NC-SU283, R-NC-SU284, R-NC-SU285, R-NC-SU286, R-NC-SU287, R-NC-SU288, R-NC-SU289, R-NC-SU290, R-NC-SU291, R-NC-SU292, R-NC-SU293, R-NC-SU294, R-NC-SU295, R-NC-SU296, R-NC-SU297, R-NC-SU298, R-NC-SU299, R-NC-SU300, R-NC-SU301, R-NC-SU302, R-NC-SU303, R-NC-SU304, R-NC-SU305, R-NC-SU306, R-NC-SU307, R-NC-SU308, R-NC-SU309, R-NC-SU310, R-NC-SU311, R-NC-SU312, R-NC-SU313, R-NC-SU314, R-NC-SU315, R-NC-SU316, R-NC-SU317, R-NC-SU318, R-NC-SU319, R-NC-SU320, R-NC-SU321, R-NC-SU322, R-NC-SU323, R-NC-SU324, R-NC-SU325, R-NC-SU326, R-NC-SU327, R-NC-SU328, R-NC-SU329, R-NC-SU330, R-NC-SU331, R-NC-SU332, R-NC-SU333, R-NC-SU334, R-NC-SU335, R-NC-SU336, R-NC-SU337, R-NC-SU338, R-NC-SU339, R-NC-SU340, R-NC-SU341, R-NC-SU342, R-NC-SU343, R-NC-SU344, R-NC-SU345, R-NC-SU346, R-NC-SU347, R-NC-SU348, R-NC-SU349, R-NC-SU350, R-NC-SU351, R-NC-SU352, R-NC-SU353, R-NC-SU354, R-NC-SU355, R-NC-SU356, R-NC-SU357, R-NC-SU358, R-NC-SU359, R-NC-SU360, R-NC-SU361, R-NC-SU362, R-NC-SU363, R-NC-SU364, R-NC-SU365, R-NC-SU366, R-NC-SU367, R-NC-SU368, R-NC-SU369, R-NC-SU370, R-NC-SU371, R-NC-SU372, R-NC-SU373, R-NC-SU374, R-NC-SU375, R-NC-SU376, R-NC-SU377, R-NC-SU378, R-NC-SU379, R-NC-SU380, R-NC-SU381, R-NC-SU382, R-NC-SU383, R-NC-SU384, R-NC-SU385, R-NC-SU386, R-NC-SU387, R-NC-SU388, R-NC-SU389, R-NC-SU390, R-NC-SU391, R-NC-SU392, R-NC-SU393, R-NC-SU394, R-NC-SU395, R-NC-SU396, R-NC-SU397, R-NC-SU398, R-NC-SU399, R-NC-SU400, R-NC-SU401, R-NC-SU402, R-NC-SU403, R-NC-SU404, R-NC-SU405, R-NC-SU406, R-NC-SU407, R-NC-SU408, R-NC-SU409, R-NC-SU410, R-NC-SU411, R-NC-SU412, R-NC-SU413, R-NC-SU414, R-NC-SU415, R-NC-SU416, R-NC-SU417, R-NC-SU418, R-NC-SU419, R-NC-SU420, R-NC-SU421, R-NC-SU422, R-NC-SU423, R-NC-SU424, R-NC-SU425, R-NC-SU426, R-NC-SU427, R-NC-SU428, R-NC-SU429, R-NC-SU430, R-NC-SU431, R-NC-SU432, R-NC-SU433, R-NC-SU434, R-NC-SU435, R-NC-SU436, R-NC-SU437, R-NC-SU438, R-NC-SU439, R-NC-SU440, R-NC-SU441, R-NC-SU442, R-NC-SU443, R-NC-SU444, R-NC-SU445, R-NC-SU446, R-NC-SU447, R-NC-SU448, R-NC-SU449

5-6(CX5) Installation
5-6(CX5a) All landscaping material used to meet the requirements of Section 14-16-5-6 shall be installed in accordance with the planting procedures established by the American Nursery and Landscape Association.
5-6(CX5b) All required landscaping, street trees, screening, and buffers shall be installed prior to the issuance of a final certificate of occupancy. There shall be more than one primary building on the site, the landscaping, screening, and buffering related to each building.

be installed per to the issuance of a final certificate of occupancy.

5-6-1(B)(3) Any damage to utility lines resulting from the negligence of the property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of the property owner. Any damage to utility lines resulting from the negligence of the property owner shall have been reported to the responsible utility as part of a plan for landscaping, screening, or buffering on the public right-of-way shall be the responsibility of such public utility. If a public utility is responsible for damage to, or buffering in a public right-of-way, private way, or easement, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility has completed its work, or buffering in a public right-of-way, private way, or easement. The property owner acknowledges that it is the obligation of the abutting property owner to replace the plant materials.

5-6-1(B)(4) Property owners who acknowledge that approved landscaping and trees will be maintained in a public right-of-way, private way, or easement abutting private properties are the property of the City, and that the City reserves the right to remove them if necessary for a temporary public use, shall not be considered in not to the property owner. Landscaping installed in an abutting public right-of-way, private way, or easement by property owners and later removed by the City shall not be considered approved nor shall an action for damages for required landscaping.

5-6-1(C) Alternative Landscape Plans

The Planning Director may approve alternative landscape plans that do not meet the requirements of this Section 4-4-5-6-1 if the Planning Director determines that the alternatives meet all of the following criteria:

- 5-6-1(C)(1) Are consistent with the purposes of this Section 4-4-5-6-1.
- 5-6-1(C)(2) Do not include invasive vegetation included in a City or State list of prohibited or invasive species or listed as a noxious weed in the City of Portland.
- 5-6-1(C)(3) Do not include a reduction of tree planting requirements.
- 5-6-1(C)(4) Provide equal or superior buffering of adjacent properties.
- 5-6-1(C)(5) Provide equal or superior visual appearance of the property when viewed from the street.
- 5-6-1(C)(6) Provide equal or superior carbon dioxide absorption and heat island reduction.

5-6-2(D) STREET FRONTAGE LANDSCAPING

5-6-2(D)(1) Required Street Trees

5-6-2(D)(1)(a) The minimum number of trees per property with Plant 4-6-2 of ROA 1954 (Street Trees) and any standards developed by the Parks and Recreation Department or other City department to implement that Ordinance. Trees are required on the street frontage of all properties with frontages or areas specified otherwise in Plant 4-6-2 of ROA 1954 (Street Trees). Along street frontages where street trees are required, trees that are planted within 20 feet of the back of cut of the abutting street shall fulfill this requirement.

5-6-2(D)(1)(b) Trees selected from the Official Arboretum Plant Guide of low water use, drought tolerant, or xeric species species and shown on a landscape plan can count toward the requirements of this subsection.

5-6-2(D)(1)(c) Trees that are planted within 20 feet of the back of cut of the street are 8 inch caliper or larger may count toward street tree requirements, regardless of whether they appear on one of those lists.

5-6-2(D)(2) Street Trees

5-6-2(D)(2)(a) The minimum number of trees per property along street frontage shall meet the minimum size requirements in Table 5-6-2-1 unless specified otherwise in this DO. Tree grades may be used to constrain locations to specific areas of the property. Circulation to allowed required planting areas to have a suitable surface.

Maturity	Minimum Planting Area
Tree Height at Maturity (in feet)	Minimum Planting Area (in square feet)
20-30	50 x 5
30-40	50 x 10
40-50	50 x 15

5-6-2(D)(2) Additional Frontage Landscaping

5-6-2(D)(2)(a) Required for buildings with a footprint of more than 50,000 square feet, or buildings with a footprint of 50,000 square feet or less and 3 or more stories shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or Major Artery.

5-6-2(D)(2)(b) Trees, shrubs, vines, or other plant material along street frontage shall be 50% of the total area of the front setback area not used for pedestrian access to the building or improved with pedestrian furniture and landscaping, and no part of the front setback area surface shall be asphalt.

[illegible][illegible]

provided. For buildings over 30 feet in height, the edge buffer shall be at least 10 feet wide.

For buildings less than 30 feet in height, the edge buffer shall be provided at the property line between the two properties, and all of the following requirements shall be met:

- a. The edge buffer shall be 10 feet at the side facing the lot line and shall be provided every 10 feet along the wall, with landscaping designed to minimize sound and light impacts of the proposed development.
- b. The side facing the low-density residential development shall be at least as finished in appearance as the side facing the multi-family mixed-use development.

If there is an existing wall between the two properties, it may count towards the edge buffer. If the existing wall is less than 10 feet in height, or if there is no wall to meet, the height and design standards above shall apply.

Section 6-6X3 Development Next to a Multi-Family Residential Zone District (R-6X3) or a Medium-Density Residential Zone District (R-6X4):

For developments on any lot abutting or across an alley from a lot in a R-6X3 or R-6X4 zone districts with unimproved development or multi-family development, the edge buffer shall be provided at the lot line, as specified in Table 6-6-4 and for the relevant areas below.

landscaped buffer area shall be provided on the subject property along the property line between the two properties.

5-6-6(E)(3)(b) Landscaping is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 35 feet along the lot with landscaping designed to minimize sound and light impacts of the proposed development on the adjacent property.

If no wall is provided or exists, there is at least 6 feet tall at the time of planting and at least 25 feet tall at maturity and 3 shrubs along the property line every 25 feet along the lot with landscaping designed to minimize sound, light, and noise impacts.

5-6-6(F)(1) Downtown, Urban Centers, and Main Street and Premium Transit Areas

An opaque wall, fence, or vegetative screen at least 6 feet tall shall be provided on the subject property along the property line between the two properties, and both of the following requirements shall be met:

a. One (1) tree at least 8 feet high at the time of planting shall be provided every 35 feet along the lot with landscaping designed to minimize sound and light impacts of the proposed development on the adjacent property.

b. The side facing the multi-family development shall be at least 6 feet high, or by other means that the Planning Director determines provide equal or better screening of the headlights of parked vehicles.

If there is an existing wall between the two properties, it must satisfy the requirements of Subsections 5-6-6-6(E)(3)(b) if it is a concrete or masonry wall, or the height and design standards above.

5-6-6(F)(4) Industrial Development, Adjacent to Non-Industrial Development

5-6-6(F)(4)(a) Landscaping

A landscaped buffer shall be provided as specified in Table 5-6-4 and for the relevant areas in Subsections (b) and (c) below all of the following conditions shall be met:

a. There is a lot with industrial zoning or development is adjacent to a lot with non-industrial zoning or development, but not limited to both of the following:

i. Any development in an NR-U or NR-GM zone

ii. Adjacent is adjacent to any lot that is not in an NR-U or NR-GM zone district.

b. The lot is not adjacent to a heavily trafficked major street, an existing manufacturing natural resource extraction non-hazard portion of an electric utility drainage facility, or other major utility or any primary use in the least 500 feet of the lot boundary.

c. The lot is not adjacent to a lot with a use other than one of these specified uses.

d. The lot is not adjacent to a lot with a use other than one of these specified uses.

5-6-6(F)(4)(b) General

A landscaped buffer area shall be provided to a lot with industrial development adjacent to a lot with non-industrial development as follows:

5-6-6(F)(4)(b)(i) Landscaping

A landscaped buffer area shall be provided on the subject property along the property line between the two adjacent properties. For landscape facilities, a landscaped edge buffer area at least 15 feet wide shall be provided on the subject property along the property line between the two adjacent properties, unless a smaller provision is approved by the City Engineer as necessary on a particular lot.

If no wall is at least 3 feet high, it is provided or exists along the landscaped edge buffer area, and the following requirements shall be met:

a. One (1) tree shall be provided every 35 feet along the lot with landscaping designed to minimize sound and light impacts of the proposed development on the adjacent property.

b. The side facing the multi-family development shall be at least 6 feet high, or by other means that the Planning Director determines provide equal or better screening of the headlights of parked vehicles.

5-6-6(F)(4)(c) Downtown, Urban Centers, and Main Street and Premium Transit Areas

Any parking lot located within 30 feet of the front lot line shall be screened by a masonry wall constructed of a material similar in texture, appearance, and color to the street-facing facade of the primary building. The wall shall be at least 6 feet high and shall be at least 4 feet high, or by a landscape buffer at least 10 feet in width with a continuous line of evergreen shrubs 3 feet high, or by other means that the Planning Director determines provide equal or better screening of the headlights of parked vehicles.

5-6-6(F)(4)(d) Downtown, Urban Centers, and Main Street and Premium Transit Areas

Any parking lot located within 30 feet of the front lot line shall be screened by a masonry wall as described in Subsection a above.

Openings in the masonry wall more than 4 feet side to allow passage of bicycles and pedestrians from the street into the parking lot are allowed.

5-6-6(F)(4)(e) Side and Rear Lot Landscaping

Where no side or rear lot line buffer is required by Subsections 4-16-6-6(E) above, the following standards apply where the side or rear lot line abuts a public street.

5-6-6(F)(4)(e)(i) General

Any parking lot located within 20 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 3 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provide equal or better screening of the headlights of parked vehicles.

5-6-6(F)(4)(e)(ii) Downtown, Urban Centers, and Main Street and Premium Transit Areas

Any parking lot located within 20 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 3 shrubs per 25 feet of the parking lot edge closest to the lot line, or by a masonry wall constructed of a material other than cement block at least 3 feet high, or by other means that the Planning Director determines provide equal or better screening of the headlights of parked vehicles.

5-6-6(F)(4)(f) Parking Lot Interior

5-6-6(F)(4)(f)(i) General

Any parking lot located within the parking lot area of lots containing 50 or fewer spaces, and at least 10 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped.

5-6-6(F)(4)(f)(ii) Downtown, Urban Centers, and Main Street and Premium Transit Areas

Any parking lot located within the parking lot area of lots containing 50 or fewer spaces, and at least 10 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped.

5-6-6(F)(4)(f)(iii) Tree Requirements

a. One (1) tree is required per 10 parking spaces.

b. The parking spaces may be more than 100 feet in any direction from a tree trunk.

c. At least 15 percent of the required parking area trees shall be deciduous canopy trees, trees capable of achieving a mature canopy diameter of at least 25 feet.

5-6(F1X2)(d) Location and Dimension of Landscaped Areas

1. The minimum size of trees planted within off-street parking areas shall be 10 inches in diameter at breast height (DBH) and planted at 36 square feet of the surface of a parking or vehicle circulation area abutting the tree planter is of a permeable material and, combined with the tree planter area, must be designed to absorb water from the parking area.

2. In parking areas of 100 spaces or more, the ends of parking aisles shall be defined as landscaped islands no narrower than 8 feet in any dimension.

5-6(F1X3) Abutting Arroyos or Major Public Open Space when a parking lot is located abutting a major arroyo or any Major Public Open Space, screening shall be provided in any of the following options:

5-6(F1X3)(a) Walls or fencing a minimum of 6 feet high fencing requires landscaping with evergreen shrubs or vines to form a screen at least 75 percent screening in height.

5-6(F1X3)(b) Shrubs and trees sufficient to act as a screen at least 4 feet high and at least 75 percent opaque.

5-6(G) SCREENING OF MECHANICAL EQUIPMENT AND SUPPORT AREAS

Site areas listed below shall comply with the following standards. When any case is not a decisional unit, the equipment shall be enclosed chain link fencing (with or without slats) that shall satisfy the requirement.

5-6(G1)(a) In any R-L, R-H, Mixed-use, NRC, NR-BP, NR-SU, or NR-PO zone district, roof-mounted mechanical equipment shall be screened by a parapet wall or opaque decorative wall or fence that shall be sufficient to screen the mechanical equipment from all sides when viewed from 5 feet above ground level at any property line abutting a City park or trail, Major Public Open Space, or major arroyo, or public street classified as a collector, arterial, or interstate highway.

5-6(G2)(1) Commercial Mechanical Equipment

5-6(G2)(1)(a) R-L, R-H, and Mixed-use zone Districts Outdoors

Ground-mounted mechanical equipment shall be located where it is not visible from streets, City parks, trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties to the maximum extent practicable.

5-6(G2)(1)(b) NRC, NR-BP, NR-SU, and NR-PO Zone Districts Outdoors

Ground-mounted mechanical equipment shall be located where it is not visible from streets, City parks, trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties with low-density residential development to the maximum extent practicable.

5-6(G2)(2) In all other zones, where it is not practicable to locate ground-mounted mechanical equipment pursuant to Subsections (a) and (b) above, such equipment shall be screened from view by an opaque decorative wall or fence or a vegetative screen.

1. The wall or fence shall be at least 6 feet high and shall be located such that the height of the mechanical equipment being screened and shall incorporate at least 1 of the primary materials and colors of the nearest wall of the primary building (but excluding exposed CHU block).

2. The vegetative screen shall be planted along the full length of the equipment to be screened and shall be of a height equal to or greater than the height of the maximum extent of the use of the planning.

3. No screening of ground-mounted solar electrical equipment that would reduce the efficiency or effectiveness of the solar energy equipment is required.

5-6(G2)(3) Safety Exemption Notwithstanding Subsections (a), (b), and (c) above, screening is not required to avoid violate any State or federal safety rules.

5-6(G3) Loading, Service, and Refuse Areas

5-6(G3)(a) Commercial Vehicle Containers

All waste containers and dumpsters shall be in a rooftop enclosure or be equipped with and use a lid covering material shall be designed so that the containers will not be visible from the street.

5-6(G3)(b) Development Abutting Low-density Residential

Where a lot is abutting low-density residential development or lots zoned R-L, R-HC, or R-T, dumpsters for commercial waste, but not for recycling are prohibited on any required parking or landscape area adjacent to the lot or from adjacent properties with low-density residential development.

5-6(G3)(c) R-L, R-H, and Mixed-use zone Districts Outdoors

Loading, service, and refuse areas shall be integrated into the building design if possible, or shall be located where they are not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties to the maximum extent practicable.

5-6(G3)(d) NRC, NR-BP, NR-SU, and NR-PO Zone Districts Outdoors

Loading, service, and refuse areas shall be integrated into the building design if possible, or shall be located where they are not visible from streets, City parks, Major Public Open Space, trails, or major arroyos adjacent to the lot or from adjacent properties with low-density residential development to the maximum extent practicable.

5-6(G3)(e) Screening

Where it is not practicable to locate the loading, service, and refuse areas pursuant to Subsections (c) and (d) above, they shall be screened from view by an opaque decorative wall or fence at least 6 feet tall but not more than 8 feet tall that incorporates at least 1 of the primary materials and colors of the nearest wall of the building (but excluding exposed CHU block) or the primary building (but excluding exposed CHU block).

5-6(G4) Outdoor Storage Areas for Vehicles, Equipment, and Materials

Areas where motor vehicles, including but not limited to automobiles, trucks, trailers, recreational vehicles, boats, equipment, and materials, are stored outdoors and are typically not moved within a consecutive 1-day period, and that are adjacent to any Residential zone district, a lot containing a residential use in any Mixed-use zone district, City park, Major Public Open Space, public trail, or major arroyo, shall be screened from view by a vegetative screen or by an opaque decorative wall or fence at least 7 feet high and not more than 8 feet high that incorporates at least 1 of the primary materials and colors of the nearest wall of the building (but excluding exposed CHU block) to the maximum extent possible and consistent with the effective operation of the active use.

5-6(G5) Outdoor Activity

High-temperature processes (such as combustion or welding) shall be screened from view by an opaque decorative wall or fence at least 6 feet tall but not more than 8 feet tall that incorporates at least 1 of the primary materials and colors of the nearest wall of the primary building (but excluding exposed CHU block) or a vegetative screen planted along the full length of the area to be screened and at least 8 feet high in the time of planting.

5-6(G6) Satellite Dishes

For ground-mounted satellite dishes that are larger than 3 feet in diameter in any Residential zone district, or that are larger than 6 feet in diameter in any Non-Residential zone district, the base of the dish shall be screened from view from a City park, Major Public Open Space, public trail, or major arroyo by a vegetative screen or an opaque wall or fence constructed of the primary materials used on the nearest facade of the primary building on the lot (but excluding exposed CHU block) to the maximum extent possible and consistent with the effective operation of the active use.

5-3(BX1)(X) Trees or plants that die shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 calendar days after notice from the City. The replacement of dead vegetation is the responsibility of the property owner.

5-3(BX1)(X) Street trees shall be maintained alive and healthy. Maintaining and replacing street trees or other trees planted in the public right-of-way are the responsibility of abutting property owners.

IDO 4-3(B)(B) Dwelling, Multi-Family (landscape requirements)

4-3(B)(X)(c) In other areas, this use shall meet all of the following landscape standards, in addition to all applicable standards in Section 4-4(6-5-6) (Landscaping, Buffering, and Screening):

1. This use shall provide, somewhere on the lot, at least 1 tree per second floor dwelling unit and at least 1 tree per second floor dwelling unit on no additional trees are required for additional dwelling units on the third or higher floors.

2. The landscape area between the street and the lot shall contain landscaping: playgrounds, sports courts, swimming pools, or similar features may count up to 10 percent of net lot landscaping. Tree canopies and ground-level plants shall cover 10 percent of 75 percent of the total landscaped area, and the maximum tree canopy shall count toward this requirement 1:600 square feet.

3. Cool season grasses are restricted to 10 percent of the total landscape area. Warm season grasses may cover up to an additional 10 percent of the landscape area.

4-3(B)(X)(d) At least 50 percent of the trees required by subsection (b) and (c) above shall be deciduous canopy-type shade trees or coniferous trees capable of attaining a mature canopy diameter of at least 25

NOTE: Organic mulch is only used as a requirement of the City of Albuquerque. IDO: Wood mulch will need to be refreshed once it is watered, and blown away and will result in a negative impact on the health of the plant material. Additionally, historically, wood mulch in commercial applications has clogged storm sewers causing damage to commercial properties, lawsuits, and damages associated to landscape architects and contractors. Designer assumes no responsibility for flooding or erosion as the result of the use of Wood Mulch as required by the City of Albuquerque.

5-6(G5)(d) A minimum of 2 inches of organic mulch is required in all planting areas, with a 3-inches recommended.

5-6(G5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius from the tree trunk, but not directly against the tree in these areas, used barrier fabric is prohibited.

5-6(G5)(f) The use of gravel or crusher fines as ground cover is limited to a maximum of 15 percent of any landscaped area, or 50 percent in DTU-16 areas.

IDO 4-4(6-5-3)(B) MAINTENANCE STANDARDS

5-3(BX1)(X) Landscaping, Buffering, and Screening

5-3(BX1)(Xb) Landscaping, screening and buffering areas shall be maintained in compliance with Articles 6-6 and 9-8 of ROA 1994 (Trees, Vegetation, and Landscaping) and Articles 11-1 and 9-8 of the City of Albuquerque Bernalillo County Water Authority (ABQWA) Legislation and Ordinances (Water Usage Reduction Ordinance).

5-3(BX1)(Xb) All landscaped areas shall be maintained with a neat and orderly appearance, which includes pruning removal and replacement of dead or diseased plants and trees, disposal of litter, repair of damaged walls and hard surface areas, and upkeep of irrigation systems.

5-3(BX1)(Xc) Landscaped areas that become bare shall be re-vegetated to avoid erosion.

5-3(BX1)(Xd) Where landscaping was installed pursuant to a Site Plan or development approval, the landscaping shall be replaced according to any landscaping and maintenance plan under that approval.

5-3(BX1)(Xe) Trees or plants that die shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 calendar days after notice from the City. The replacement of dead vegetation is the responsibility of the property owner.

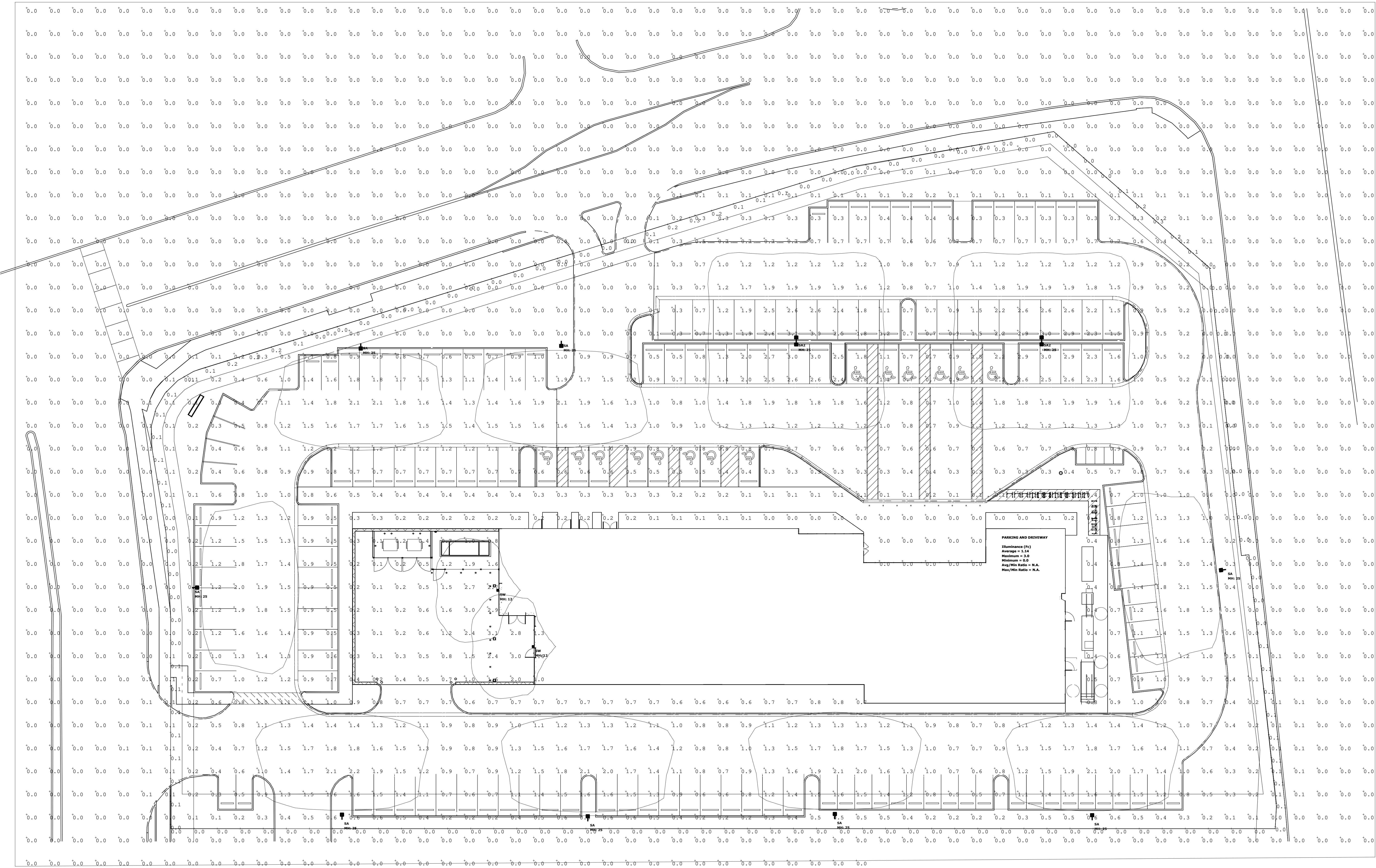
5-3(BX1)(Xf) Street trees shall be maintained alive and healthy. Maintaining and replacing street trees or other trees planted in the public right-of-way are the responsibility of abutting property owners.




TIERRA WEST, LLC
 5571 MIDWAY PARK PL NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 858-3100
 www.tierrawestllc.com

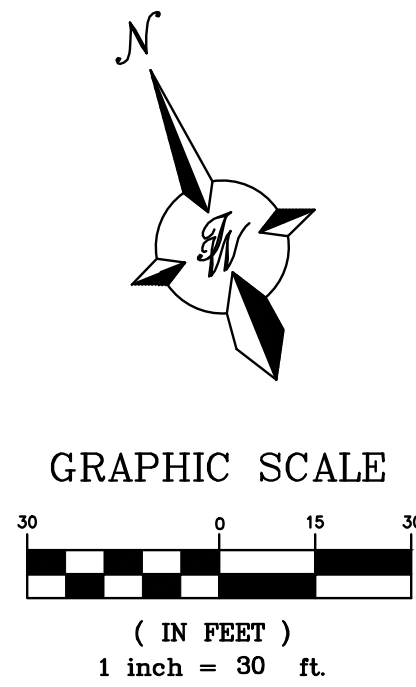
L4

JOB #
20231213

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Luminaire Schedule								
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
	SW	2	LITHONIA WDG2 LED P4 30K 80CRI TFTM MVOLT [MOUNT] [FINISH]	4402	46.659	1.000	0.850	1.000
	SA2	2	LITHONIA DSX1 LED P3 30K 80CRI TSLG MVOLT [MOUNT] [FINISH] DM28AS @ 25' MH	17810	135.58	1.000	0.850	1.000
	SA	8	LITHONIA DSX1 LED P3 30K 80CRI BLC3 MVOLT [MOUNT] [FINISH] DM19AS @ 25' MH	8718	102.17	1.000	0.850	1.000



NOTE
ALL BROKEN OR CRACKED SIDEWALK AND CURB & GUTTER MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STD DWG#2415 AND 2430



Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up

between the hours of 5AM and 8PM.

Reviewer: *Herman Gallagos*

Date: 10-17-24

Hazard Route Only

Access will be granted to Solid Waste Department from the Woodward PI Side of this property

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	LANDSCAPING
	RETAINING WALL
	SETBACK LINE
	SCREEN WALL
	ADA ACCESS

LINE TABLE

NO.	BEARING & DISTANCE
L1	S 73°02'15" E, 3.27'
L2	S 17°01'04" W, 109.94'
L3	S 26°24'22" W, 9.58'

CURVE TABLE

NO.	RADIUS	LENGTH	DELTA
C1	335.00'	73.03'	12°29'23"
C2	30.00'	44.66'	85°17'07"

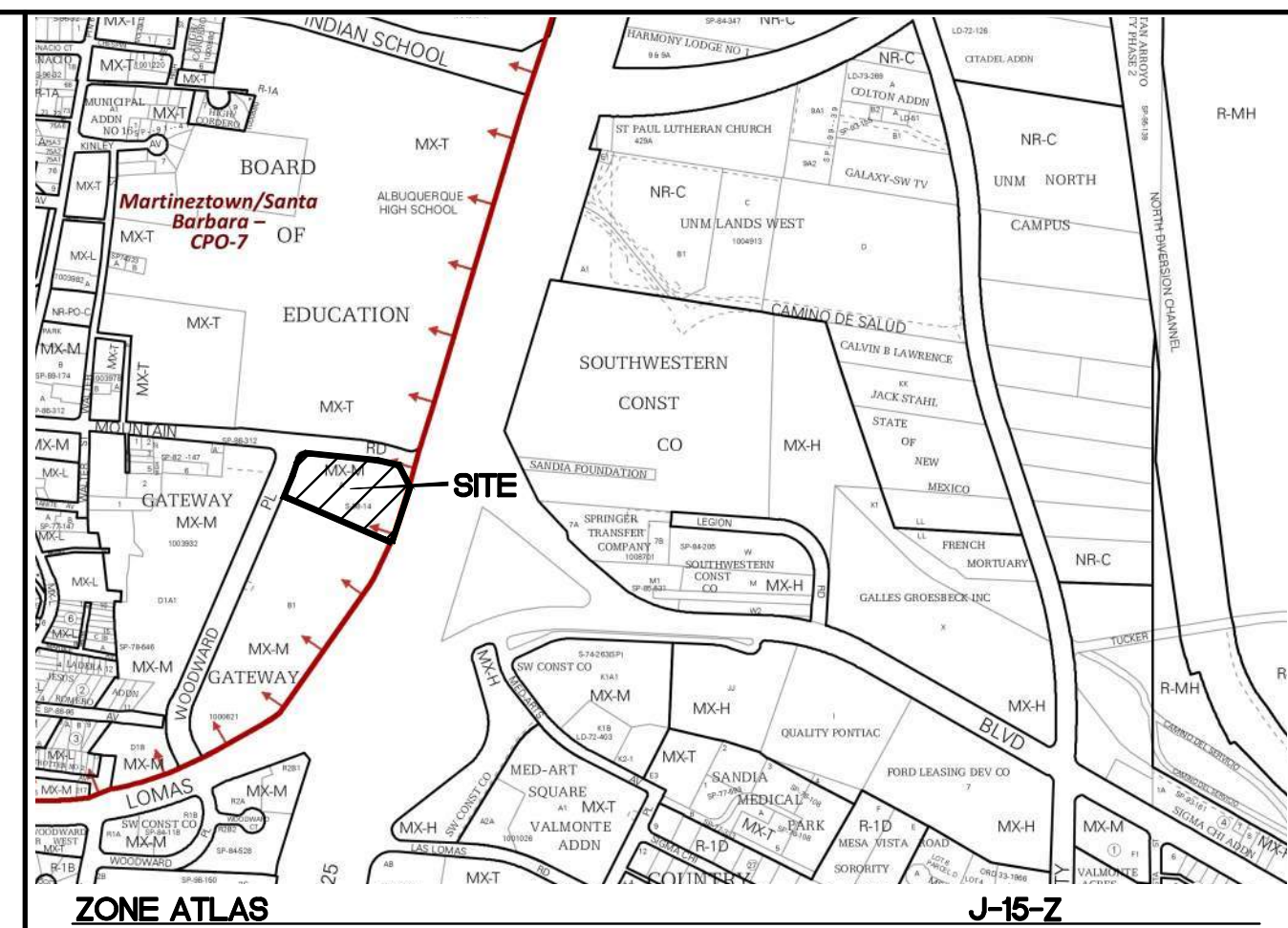
MAJOR AMENDMENT - SITE PLAN EPC PR - 2024 - 009765, SI - 2024 - 00468

- MAJOR AMENDMENT FOR AREA 3 OF THE CONTROLLING SITE PLAN FOR "TRACT A" ONLY.
- THIS AMENDMENT WOULD CHANGE THE ALLOWABLE USE ON AREA 3 "TRACT A" TO INCLUDE HOSPITAL.
- BUILDING AREA AND HEIGHT MAXIMUMS AS DESCRIBED IN CONTROLLING SITE PLAN, REMAIN APPLICABLE TO AREA 3 "TRACT A".
- SETBACKS FOR AREA 3 TO BE CONTROLLED BY IDO.
- PER IDO SECTION 1-10(A)(2) : ANY USE STANDARDS OR DEVELOPMENT STANDARDS ASSOCIATED WITH ANY PRE-IDO APPROVAL OR ZONING DESIGNATION ESTABLISH RIGHTS AND LIMITATIONS AND ARE EXCLUSIVE OF AND PREVAIL OVER ANY OTHER PROVISION OF THIS IDO. WHERE THOSE APPROVALS ARE SILENT, PROVISIONS IN THE IDO SHALL APPLY.

KEYED NOTES

- ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN (2 VAN ACCESSIBLE, 5 AUTO)
- 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- WHEEL STOP SEE DETAIL SHEET DET-1
- 11' CONCRETE SIDEWALK PER COA STD DWG 2430
- UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
- MOTORCYCLE SPACES (5, 8'X4') W/SIGN
- BICYCLE RACK
- LIGHT POLE TO BE RELOCATED EAST OF ENTRANCE
- CURB INLET TO BE RELOCATED EAST OF ENTRANCE
- 5' PEDESTRIAN CROSSWALK, SEE DETAIL SHEET DET-1
- EXISTING ACCESSIBLE RAMP
- EXISTING CONCRETE SIDEWALK
- NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430
- EXISTING LIGHT POLE TO BE RELOCATED BEHIND WALK
- EXISTING BUS STOP
- 6' VALLEY GUTTER PER COA STD DWG 2420
- SITE LIGHTING (TYP)
- ILLUMINATED BOLLARD (TYP)
- SCREEN WALL
- MOUNTABLE MEDIAN CURB PER COA STD 2415A
- RAISED CONTRTE MEDIAN
- CHAIN LINK FENCE
- NEW 4" SOLID WHITE STRIPE
- LEFT TURN PAVEMENT MARKING
- OBLITERATE EXISTING STRIPE
- NEW CROSSWALK
- EXISTING STRIPING TO REMAIN
- REMOVE EXISTING PARKING SPACES AND CURB
- RELOCATE LIGHT POLE TO BEHIND THE CURB
- MONUMENT SIGN
- 6' PEDESTRIAN ACCESS
- 4' LANDSCAPE BUFFER
- UNIDIRECTIONAL ACCESSIBLE RAMP WITH TRUNCATED DOMES WITHIN ROW SEE DETAIL SHEET DET-1

THIS SITE PLAN AMENDMENT ONLY APPLIES TO AREA 3 OF THE GATEWAY CENTER SITE PLAN FOR SUBDIVISION



LEGAL DESCRIPTION

TRACT LETTERED "A" OF THE PLAT OF GATEWAY SUBDIVISION

SITE DATA

PROPOSED USAGE	HOSPITAL
LOT AREA	119591 SF (2.7454 ACRES)
ZONING	MX-H

BUILDING AREA	55098 SF
BUILDING FOOTPRINT	16068 SF
BUILDING COVERAGE	13%

BUILDING SETBACK	
FRONT	5'
REAR	15'
SIDE	0' SOUTH SIDE, 5' NORTH SIDE

GFA 55098 SF/4 SPACE PER 1,000 = 220 SPACES

5-5(C)(5)(A) PARKING REDUCTION = 20%

5-5(C)(5)(C) PARKING REDUCTION = 10%

REDUCED PARKING REQUIRED = 154 SPACES

PARKING PROVIDED	146 SPACES
ACCESSIBLE PARKING REQUIRED	14 SPACES
ACCESSIBLE SPACES PROVIDED	14 SPACES (3 VAN ACCESSIBLE)
TOTAL	160 SPACES

BICYCLE SPACES REQUIRED	15
BICYCLE SPACES PROVIDED	15
MOTORCYCLE SPACES REQUIRED	5 SPACES
MOTORCYCLE SPACES PROVIDED	5 SPACES

LANDSCAPE REQUIRED	15528 SF
LANDSCAPE PROVIDED	16205 SF

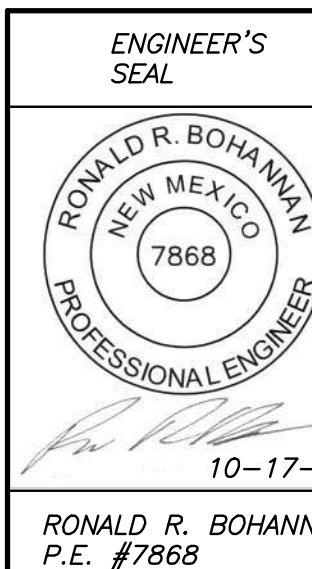
PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
Hydrology	Date _____
Code Enforcement	Date _____
* Environmental Health Department (conditional)	Date _____
<i>Herman Gallagos</i> Solid Waste Management	10-17-24 Date
Planning Department	Date _____



NOBIS REHAB HOSPITAL
1100 WOODWARD PL.

SITE PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
pm

DATE
10-17-24

DRAWING
2023123-SP

SHEET #

SP-1

JOB #
2023123