



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input checked="" type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	<b>APPEAL</b>
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

<b>BRIEF DESCRIPTION OF REQUEST</b>
Sketch Plan to consolidate two (2) tracts into one (1) tract.

<b>APPLICATION INFORMATION</b>		
Applicant/Owner: Richard Mendez		Phone: (505) 388-3886
Address: 10100 Central Ave SW		Email:
City: Albuquerque	State: NM	Zip: 87121
Professional/Agent (if any): Bohannon Huston, Inc.		Phone: (505)823-1000
Address: 7500 Jefferson St. NE		Email:
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site:	List <u>all</u> owners:	

<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: Tracts 3 and 4	Block: 1	Unit:
Subdivision/Addition: Block One Lands of the Atrisco Grant	MRGCD Map No.:	UPC Code: 100905600444720402 & 100905602445320403
Zone Atlas Page(s): L-09-Z	Existing Zoning: NR-LM	Proposed Zoning: NR-LM
# of Existing Lots: 2	# of Proposed Lots: 1	Total Area of Site (Acres): Approx. 10 Acres

<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: 10100 Central Ave SW	Between: <b>Central Ave SW</b>	and: <b>98th St SW</b>

<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>
PR-2024-009768 and 1001620

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

<b>Signature:</b> John S. Everard, PE		<b>Date:</b> April 8th, 2024
<b>Printed Name:</b> John Everard	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	

**FORM S3: ADMINISTRATIVE APPLICATIONS – Development Facilitation Team (DFT) as of 12/25/2022** **AMENDMENT TO INFRASTRUCTURE LIST**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form S3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Proposed Amended Infrastructure List
- \_\_\_ 6) Original Infrastructure List

 **TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form S3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) A scale drawing showing the location of the deferred sidewalk with appropriate dimensions

 **EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form S3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled

- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Letter describing, explaining, and justifying the deferral or extension
- \_\_\_ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

**INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form S3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- \_\_\_ 6) Preliminary Plat or Site Plan
- \_\_\_ 7) Copy of DRB approved Infrastructure List
- \_\_\_ 8) Copy of recorded IIA

**SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- X 1) DFT Application form completed, signed, and dated
- X 2) Form S3 with all the submittal items checked/marked
- X 3) Zone Atlas map with the entire site clearly outlined and labeled
- X 4) Letter describing, explaining, and justifying the request
- X 5) Scale drawing of the proposed subdivision plat or Site Plan
- X 6) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use



April 8th, 2024

DFT  
Planning Department  
415 Silver Ave SW  
Albuquerque, NM 87102

Re: Sketch Plan Submittal – Tract 3-A (being a replat of Tracts 3 & 4 of Block One Lands of Atrisco Grant), Albuquerque, New Mexico

Development Facilitation Team,

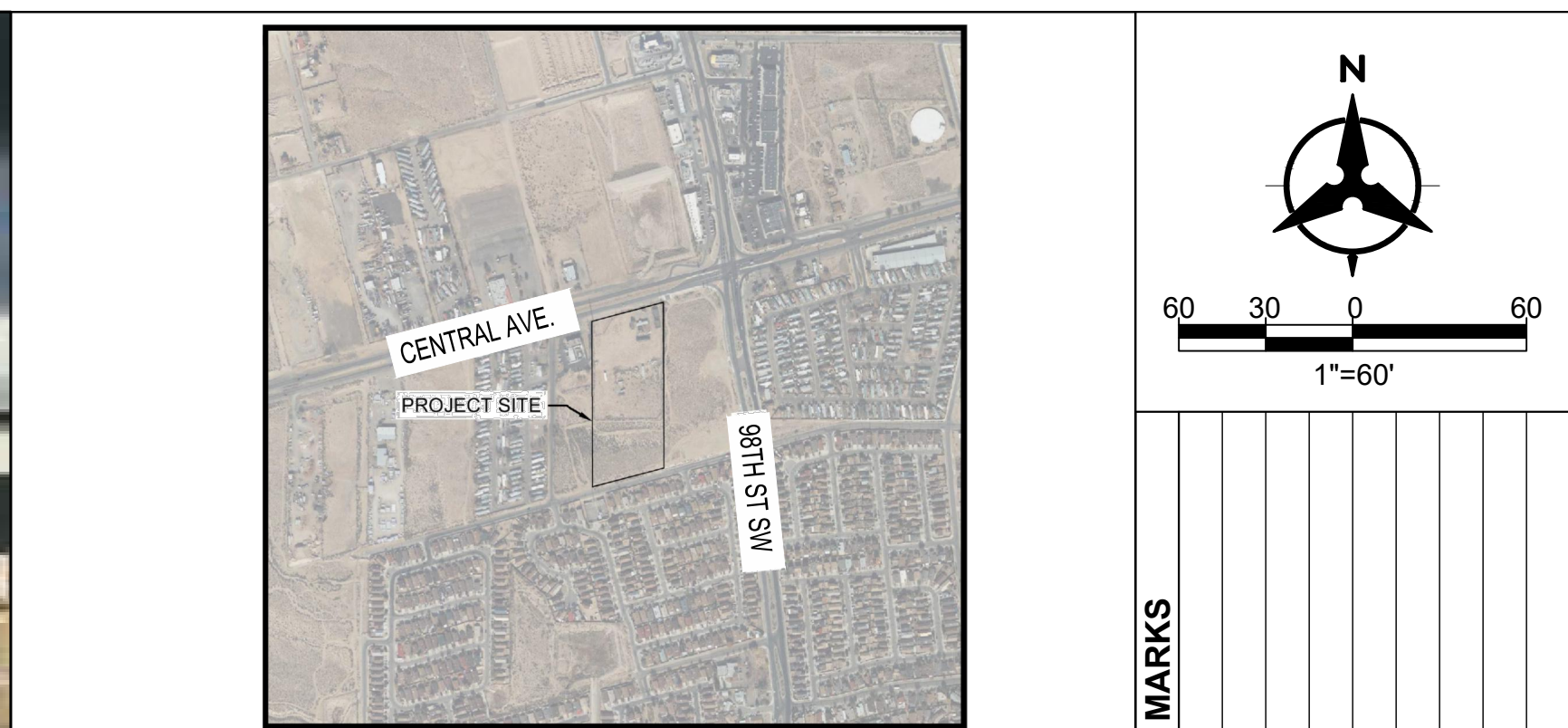
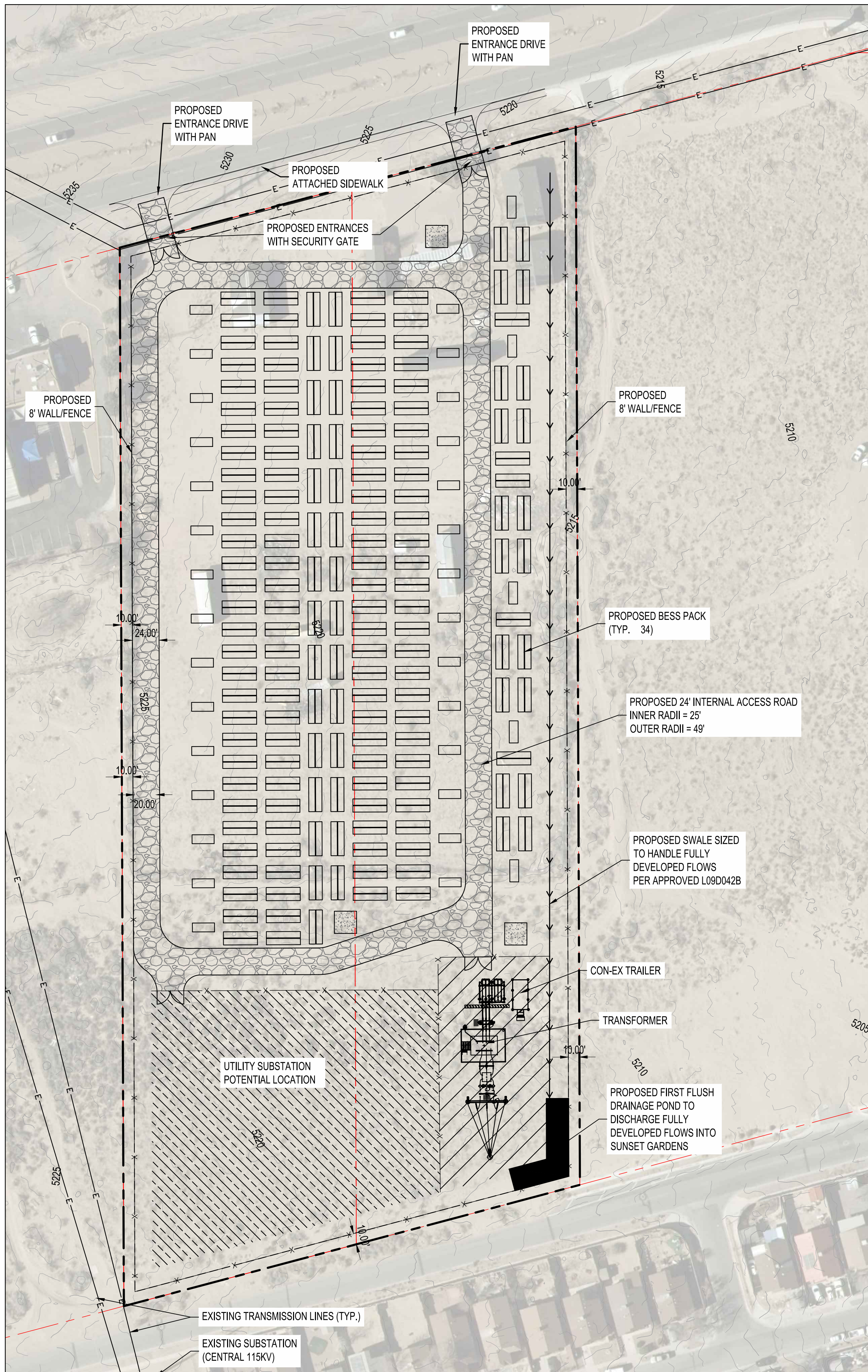
Bohannon Huston Inc. is submitting for Sketch Plan Review and Comment to be heard on April 17<sup>th</sup>, 2024, for the above-mentioned site. The purpose of the plat is to consolidate two tracts to one singular tract. The site will hold a Battery Storage Facility on approximately 10 acres of land. This Sketch Plan shows the project boundary, proposed fencing, proposed roadway and internal access road, necessary elevations of the Battery Storage boxes, and ponding for site drainage. This submittal is in support of future development and assumes the need to go through the DHO process as a Minor Case submission.

Please review the submittal packet and schedule this for the approved mentioned date.

Sincerely,

John Everard  
Senior Project Manager  
Community Development and Planning

JSE/kdl



**VICINITY MAP**  
1"=1000'  
ZONE ATLAS MAP L-8 AND L-9

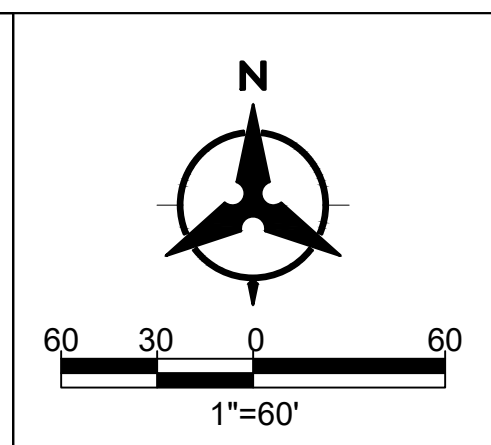
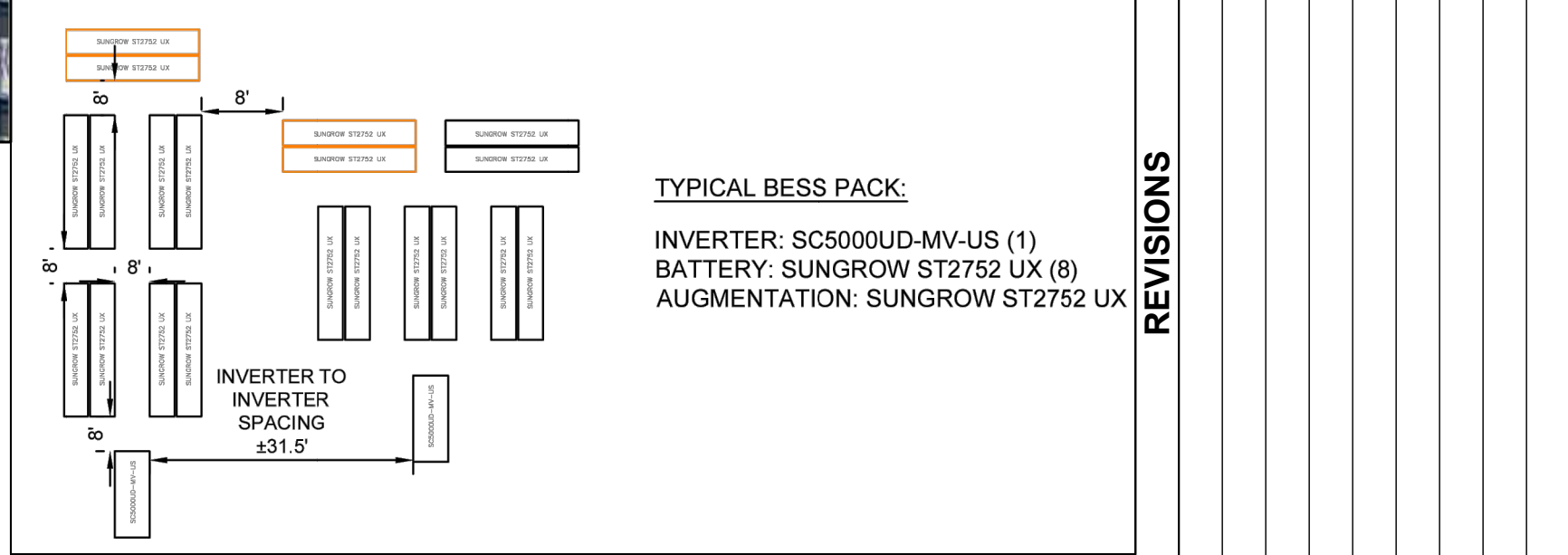
**LEGEND:**

- PARCEL BOUNDARY: - - - - -
- PROJECT BOUNDARY: - - - - -
- 24' INTERNAL ROAD: [Pattern]
- PROPOSED WALL/FENCE: x x x x
- ASSUMED SETBACK: [Pattern]
- SUBSTATION LOCATION: [Pattern]

**QUANTITIES:**

PROJECT BOUNDARY	10.38 AC
ROAD	49,132 SF
PROPOSED WALL/FENCE	3,110 LF
24' WIDE ACCESS GATES	4 EA

- NOTES:**
- EQUIPMENT QUANTITIES, LOCATIONS AND LAYOUTS SHOWN ARE INDICATIVE AND SUBJECT TO CHANGE DURING DETAILED DESIGN.
  - SIZE OF CAPACITOR BANK ESTIMATED ASSUMING REQUIRED PF OF 0.95 AT POI.
  - SITE SPECIFIC FEATURES SUCH AS RETENTION PONDS AND DRAINAGE SHOWN FOR SCHEMATIC PURPOSES AND IS SUBJECT TO CHANGE DURING DETAILED DESIGN.
  - SPACE FOR AUGMENTATION CONTAINERS CAN BE USED FOR LAYDOWN DURING INITIAL CONSTRUCTION.
  - SYSTEM SIZED FOR SELF FEEDING AUX POWER DURING DISCHARGE.
  - THE TALLEST STRUCTURE IN THE PROJECT SUBSTATION WOULD BE THE H OR A FRAME APPROXIMATELY 40-50 FEET.



**BENCH MARKS**

BENCH MARK LINE 1
BENCH MARK LINE 2
BENCH MARK LINE 3
BENCH MARK LINE 4
BENCH MARK LINE 5
BENCH MARK LINE 6
BENCH MARK LINE 7
BENCH MARK LINE 8
BENCH MARK LINE 9

**ENGINEER'S SEAL**

**XX% FOR REVIEW ONLY**  
April 8, 2024

**AS-BUILT INFORMATION**

CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTORS ACCEPTANCE BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

**REVISIONS**

NO.	DATE	BY

**DESIGN**

DESIGNED BY	CHECKED BY	DRAWN BY
JSE	MB	JSE

Mon, 8-Apr-2024 - 10:54 am, Plotted by: JEVERARD  
P:\2024\04\73\CDP\Plans\Exhibits\20240473 - GIS Site Plan.dwg

**SKETCH PLAN**



**AYPA POWER, LLC.**  
**CENTRAL BESS**  
**SKETCH PLAN**  
**04-05-2024**

BHI PROJECT NO.	20240437	DWG NO.	1	SHEET	1	OF	1
-----------------	----------	---------	---	-------	---	----	---