

SITE PLAN DOCUMENTATION



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

BRIEF DESCRIPTION OF REQUEST

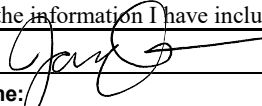
APPLICATION INFORMATION		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: 	Date: 7/15/2024
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

N/A _ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

Legal Description & Location: _____

Request Description: _____

Hydrology:

- Sensitive Lands Analysis (5-2(C)) _____ Approved _____ NA
- Grading and Drainage Plan _____ Approved _____ NA
- AMAFCA _____ Approved _____ NA
- Bernalillo County _____ Approved _____ NA
- NMDOT _____ Approved _____ NA
- MRGCD _____ Approved _____ NA

Renee C. Brissette

Hydrology Department

_____ Date

Transportation:

- Traffic Circulations Layout (TCL) _____ Approved _____ NA
- Traffic Impact Study (TIS) _____ Approved _____ NA
- Neighborhood Impact Analysis (NIA) _____ Approved _____ NA
- Bernalillo County _____ Approved _____ NA
- MRCOG _____ Approved _____ NA
- NMDOT _____ Approved _____ NA
- MRGCD _____ Approved _____ NA

_____ Transportation Department

_____ Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? ___ Yes ___ No ___ NA
- Availability Statement/Serviceability Letter Number _____
- Note: Commitment for service is required prior to application approval.

_____ ABCWUA

_____ Date

- Infrastructure Improvements Agreement (IIA*) _____ Approved _____ NA
- Solid Waste Department Signature on the Plan _____ Approved _____ NA
- Fire Marshall Signature on the Plan _____ Approved _____ NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

Legal Description & Location: _____

Request Description: _____

Hydrology:

- Sensitive Lands Analysis (5-2(C)) _____ Approved _____ NA
- Grading and Drainage Plan _____ Approved _____ NA
- AMAFCA _____ Approved _____ NA
- Bernalillo County _____ Approved _____ NA
- NMDOT _____ Approved _____ NA
- MRGCD _____ Approved _____ NA

Hydrology Department

Date

Transportation:

- Traffic Circulations Layout (TCL) _____ Approved _____ NA
- Traffic Impact Study (TIS) _____ Approved _____ NA
- Neighborhood Impact Analysis (NIA) _____ Approved _____ NA
- Bernalillo County _____ Approved _____ NA
- MRCOG _____ Approved _____ NA
- NMDOT _____ Approved _____ NA
- MRGCD _____ Approved _____ NA

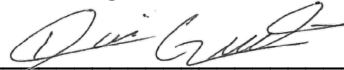
Ernest Arroyo

Transportation Department

Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? ___ Yes ___ No ___ NA
- Availability Statement/Serviceability Letter Number: May need more info based on further coordination.
- Note: Commitment for service is required prior to application approval.

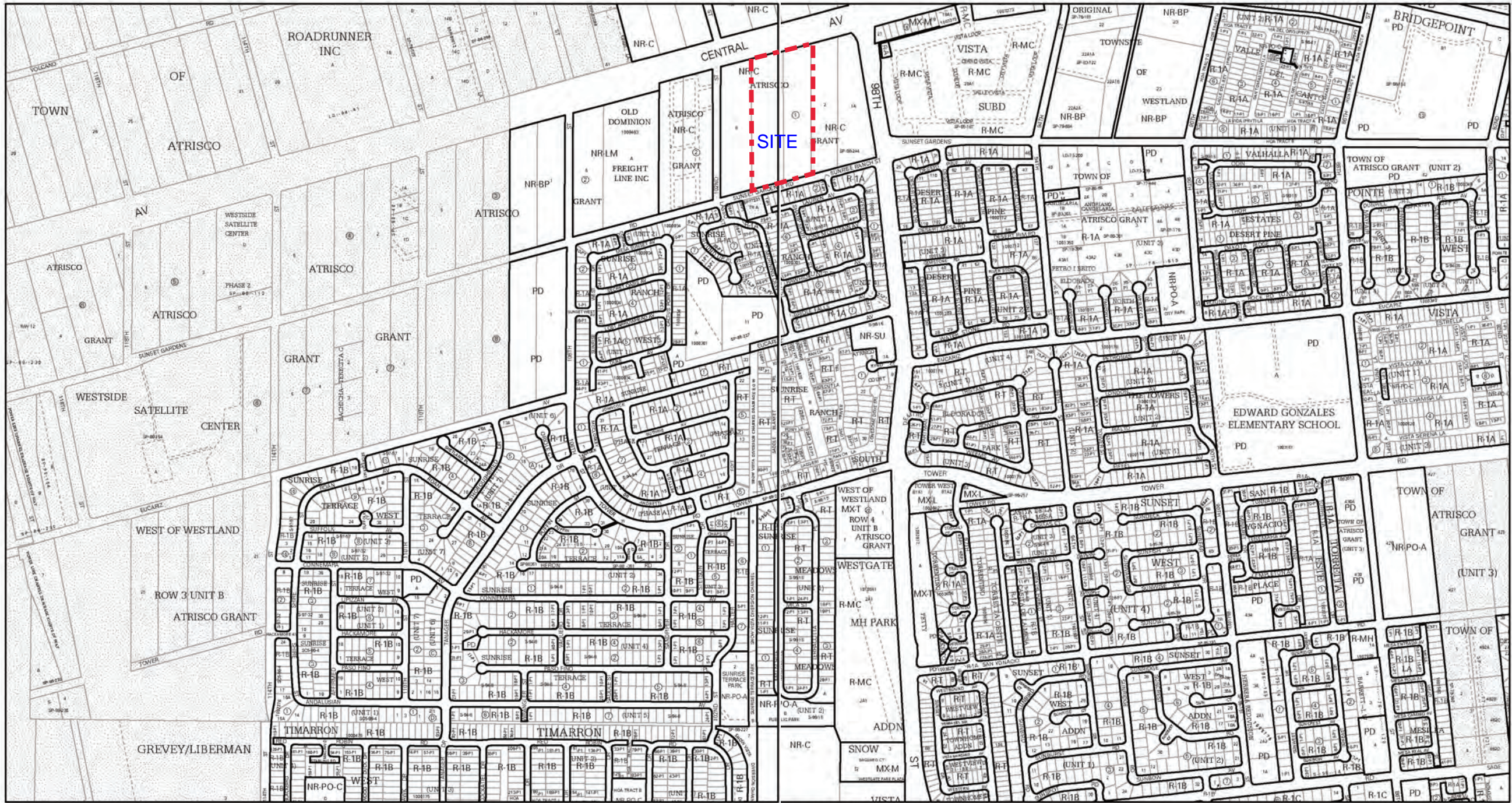


ABCWUA

__7/12/24 Date

- Infrastructure Improvements Agreement (IIA*) _____ Approved _____ NA
- Solid Waste Department Signature on the Plan _____ Approved _____ NA
- Fire Marshall Signature on the Plan _____ Approved _____ NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
L-08-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

IDO Zone Atlas May 2018

Zoning information as of May 17, 2018
Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
L-09-Z

- Easement
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- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 9, 2024

Mike Balaskovits, PE
Bohannon Huston, Inc
7500 Jefferson St NE
Albuquerque, NM, 87113
mbalaskovits@bhinc.com

Re: Sun Lasso Battery Storage Facility
10100 10110 Central SW
Conceptual Traffic Circulation Layout for DFT Approval
Engineer's Stamp 06-14-24 (L09D045)

Dear Mr. Balaskovits,

The conceptual TCL submittal received 6-17-24 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit. **When submitting TCL for building permit approval, please ensure that both site access details are provided and updated to meet the current ADA city standard.**

PO Box 1293

Albuquerque

NM 87103

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar
Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: File

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 8, 2024

Mike Balaskovits, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

**RE: Sun Lasso- Battery Storage Facility
10100 Central Ave SW
Conceptual Grading & Drainage Plan
Engineer's Stamp Date: 06/14/24
Hydrology File: L09D045**

Dear Mr. Balaskovits:

PO Box 1293

Based upon the information provided in your submittal received 06/17/2024, the Grading & Drainage Plan is approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit or for action by the Development Hearing Officer (DHO) on Preliminary/Final Plat.

Albuquerque

PRIOR TO BUILDING PERMIT:

NM 87103

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage Transportation Information Sheet.

www.cabq.gov

2. The proposed 12 feet block wall shown violates the IDO's maximum wall height of 8 feet in total height. A waiver will have to be obtained at DFT in order to exceed this height.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov .

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

RE: L09D045-Sun Lasso Battery Storage Facility at 10100 and 10110 Central SW

Jackie Fishman <fishman@consensusplanning.com>

Tue 7/23/2024 3:52 PM

To: Michael Balaskovits <mbalaskovits@bhinc.com>

Cc: Haseeb Usmani <husmani@aypa.com>; John Everard <JEverard@bhinc.com>; Sierra Yoder <SYoder@aypa.com>; Evan Zemaitis <EZemaitis@aypa.com>; Alyssa Ortiz <Ortiz@consensusplanning.com>

We will include his email in the packet and you should add N/A to the site plan and send to me, please.

Jacqueline Fishman, AICP

Principal

Consensus Planning, Inc.

302 Eighth Street NW

Albuquerque, NM 87102

P: 505.764.9801

From: Michael Balaskovits <mbalaskovits@bhinc.com>

Sent: Tuesday, July 23, 2024 3:34 PM

To: Jackie Fishman <fishman@consensusplanning.com>

Cc: Haseeb Usmani <husmani@aypa.com>; John Everard <JEverard@bhinc.com>; Sierra Yoder <SYoder@aypa.com>; Evan Zemaitis <EZemaitis@aypa.com>

Subject: FW: L09D045-Sun Lasso Battery Storage Facility at 10100 and 10110 Central SW

Hey Jackie, please see below for response from Solid Waste. They will not require refuse. Confirming with him now to determine if we ultimately sign the cover or we just handwrite in "N/A".

Mike Balaskovits, P.E.

mbalaskovits@bhinc.com

505-798-7891

Bohannon Huston, Inc.

Community Development and Planning

UPCOMING PERSONAL LEAVE 7/26, 8/1& 8/2, 8/30

From: Gallegos, Herman P. <hgallegos@cabq.gov>

Sent: Tuesday, July 23, 2024 12:35 PM

To: Michael Balaskovits <mbalaskovits@bhinc.com>

Subject: RE: L09D045-Sun Lasso Battery Storage Facility at 10100 and 10110 Central SW

Good afternoon Michael,

Yes, they will not need refuse service at this site as long as they remain unoccupied.

Thanks,



HERMAN GALLEGOS

code enforcement/dispatch supervisor

o 505.761.8125

m 505.681.2767

cabq.gov/solidwaste

From: Michael Balaskovits <mbalaskovits@bhinc.com>

Sent: Tuesday, July 23, 2024 12:12 PM

To: Gallegos, Herman P. <hgallegos@cabq.gov>

Subject: RE: L09D045-Sun Lasso Battery Storage Facility at 10100 and 10110 Central SW

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good afternoon Herman. Circling back to determine if the site plan provided met the needs and you were able to sign off on this sheet. Let me know your thoughts on this moving forward. Thank you.

Mike Balaskovits, P.E.

mbalaskovits@bhinc.com

505-798-7891

Bohannon Huston, Inc.

Community Development and Planning

UPCOMING PERSONAL LEAVE 7/26, 8/1& 8/2, 8/30

From: Michael Balaskovits <mbalaskovits@bhinc.com>

Sent: Monday, July 22, 2024 2:22 PM

To: Gallegos, Herman P. <hgallegos@cabq.gov>

Subject: RE: L09D045-Sun Lasso Battery Storage Facility at 10100 and 10110 Central SW

Here is the actual signature sheet and there are some additional items included in this set. Please see note number 1 for reference to the lack of people or habitable structures.

As always, thanks again for you quick review and response!!

Mike Balaskovits, P.E.

mbalaskovits@bhinc.com

505-798-7891

Bohannon Huston, Inc.

Community Development and Planning

UPCOMING PERSONAL LEAVE 7/18 & 7/19, 7/26, 8/1& 8/2

From: Gallegos, Herman P. <hgallegos@cabq.gov>

Sent: Monday, July 22, 2024 2:01 PM

To: Michael Balaskovits <mbalaskovits@bhinc.com>

Subject: RE: L09D045-Sun Lasso Battery Storage Facility at 10100 and 10110 Central SW

You don't often get email from hgallegos@cabq.gov. [Learn why this is important](#)

Good afternoon Michael,

Yes, please add the note that this site will not be occupied, and I will sign in the signature block N/A.

Thanks,



HERMAN GALLEGOS

code enforcement/dispatch supervisor

o 505.761.8125

m 505.681.2767

cabq.gov/solidwaste

From: Michael Balaskovits <mbalaskovits@bhinc.com>

Sent: Monday, July 22, 2024 10:36 AM

To: Gallegos, Herman P. <hgallegos@cabq.gov>

Subject: FW: L09D045-Sun Lasso Battery Storage Facility at 10100 and 10110 Central SW

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good morning Herman, thanks for taking my call. See attached for the approved conceptual TCL. I noticed there is not a note on there discuss the lack of habitable buildings on the site. Let me know if you need me to include this to this plan and I will add a formal note. Thanks again!

Mike Balaskovits, P.E.

mbalaskovits@bhinc.com

505-798-7891

Bohannon Huston, Inc.

Community Development and Planning

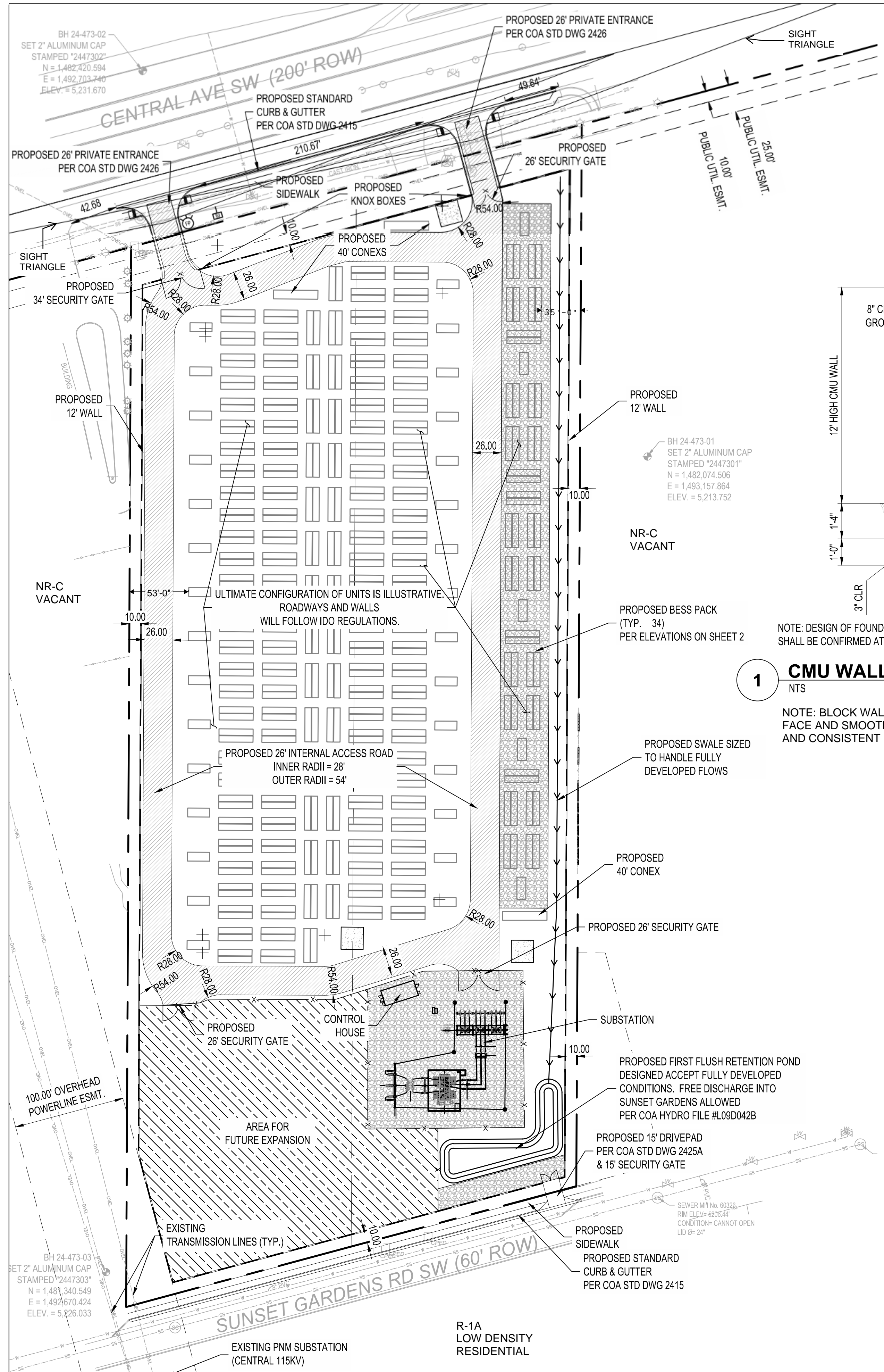
UPCOMING PERSONAL LEAVE 7/18 & 7/19, 7/26, 8/1& 8/2

From: Kanbar, Sertil A. <skanbar@cabq.gov>

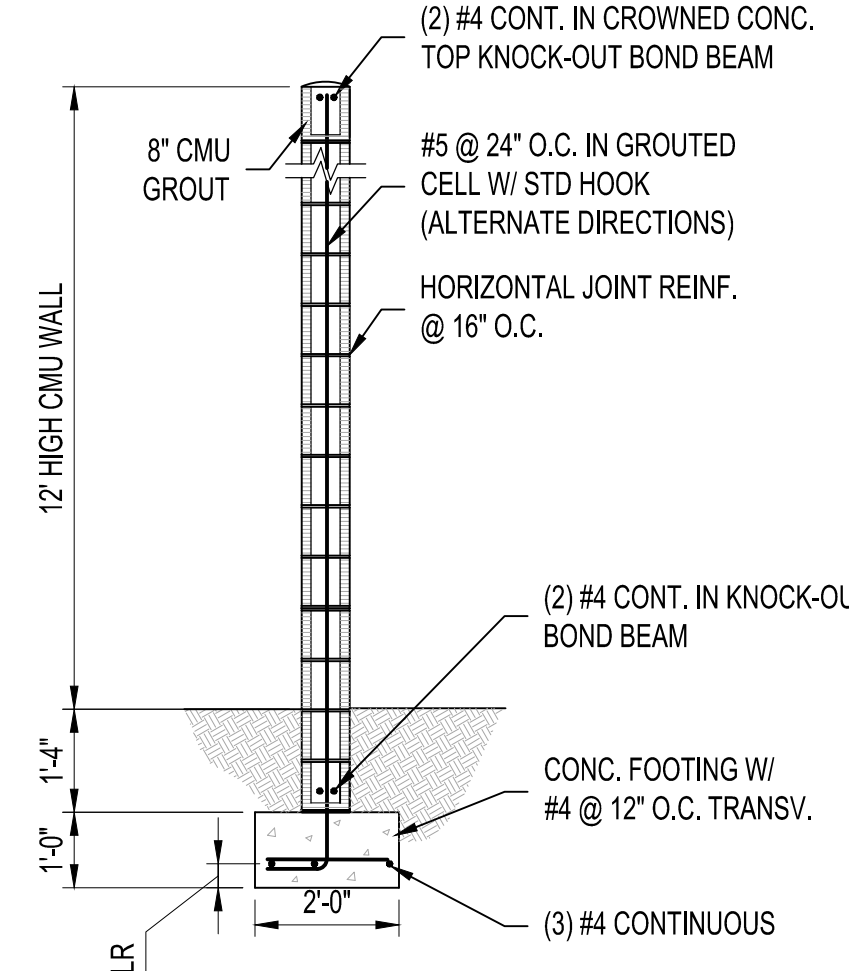
Sent: Tuesday, July 9, 2024 9:28 AM

To: Michael Balaskovits <mbalaskovits@bhinc.com>

Cc: Al-najjar, Marwa G. <malnajjar@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Cherne, Curtis <CCherne@cabq.gov>; Herrera, Steve G.



1 CMU WALL
NTS



NOTE: DESIGN OF FOUNDATION AND REBAR SHALL BE CONFIRMED AT BUILDING PERMIT.

NOTE: BLOCK WALL SHALL ALTERNATE BETWEEN SPLIT FACE AND SMOOTH FACE BLOCKS IN AN APPROVED AND CONSISTENT PATTERN.

SITE DATA

LEGAL DESCRIPTION: A CERTAIN TRACT OF LAND LOCATED WITHIN TOWN OF ATRISCO GRANT, PROJECTED SECTIONS 28 & 29, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING AND COMPRISING ALL OF LOTS 3 AND 4, BLOCK 1, LANDS OF THE ATRISCO GRANT, AS THE SAME IS SHOWN AND DESIGNATED ON PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 26, 1962, IN BOOK D03, PG. 026.
SITE AREA: 8.8687 ACRES
EXISTING ZONING: NR-LM
PROPOSED LAND USE: BATTERY STORAGE AND ELECTRIC UTILITY SUBSTATION

GENERAL NOTES

- 1) THERE ARE NO REGULAR EMPLOYEES ASSOCIATED WITH BATTERY STORAGE OR SUBSTATION USE; THEREFORE, THERE ARE NO PARKING REQUIREMENTS.
- 2) THE SITE PLAN IS DESIGNED IN ACCORDANCE WITH IDO SECTION 14-16-4-3(E)(8).
- 3) PER IDO SECTION 4-3(E)(9)(A), THE AREA CONTAINING AN ELECTRIC UTILITY SUBSTATION SHALL BE SURROUNDED BY A 12-FOOT PERIMETER WALL AND SET BACK BY A MINIMUM OF 10 FEET FROM ALL PROPERTY LINES TO ALLOW FOR PERIMETER LANDSCAPE (SEE LANDSCAPE PLAN).
- 4) PER IDO SECTION 4-3(E)(9)(A), ENERGY STORAGE SYSTEM (BATTERY STORAGE) USE SHALL BE SURROUNDED BY AN OPAQUE WALL OR FENCE AT LEAST 8 FEET AND NOT MORE THAN 12 FEET HIGH THAT IS A COMBINATION OF SPLIT FACE AND SMOOTH FACE BLOCKS, CAST-IN-PLACE WALLS.
- 5) PER IDO SECTION 4-3(E)(9)(B), EXCEPT WHERE ABUTTING INDUSTRIAL DEVELOPMENT, A LANDSCAPED BUFFER AREA SHALL BE PROVIDED THAT IS AT LEAST 10 FEET WIDE AND CONTAINS AT LEAST 1 TREE FOR EVERY 25 FEET ALONG THE LOT LINE THAT COMPLIES WITH THE SAFETY AND MAINTENANCE REQUIREMENTS FOR AN ESS, IN ADDITION TO ALL APPLICABLE STANDARDS IN SECTION 14-16-5-6 (LANDSCAPING, BUFFERING, AND SCREENING), INCLUDING BUT NOT LIMITED TO SUBSECTION 14-16-5-6(C)(10) PLANTING NEAR UTILITIES.
- 6) PER IDO SECTION 4-3(E)(9)(C) ALL ONSITE UTILITY LINES AND ASSOCIATED EQUIPMENT SHALL BE PLACED UNDERGROUND OR PAD MOUNTED, UNLESS SOIL CONDITIONS, SHAPE, OR TOPOGRAPHY OF THE SITE AS VERIFIED BY THE CITY ENGINEER DICTATE ABOVE-GROUND INSTALLATION, WITH THE EXCEPTION OF THE MAIN SERVICE CONNECTION AT THE UTILITY RIGHT-OF-WAY AND ANY NEW INTERCONNECTION EQUIPMENT, INCLUDING WITHOUT LIMITATION ANY POLES, AS PERMITTED BY THE ELECTRIC UTILITY WITH A DISCERNABLE PATTERN, AND/OR PILASTERS ALONG THE WALL EVERY 20 FEET.
- 7) PER IDO SECTION 4-3(E)(9)(F), IF THIS USE IS LOCATED ON THE SAME PREMISES AS AN ELECTRIC UTILITY USE, THE PREMISES MUST MEET ALL USE-SPECIFIC STANDARDS IN THIS SUBSECTION 14-16-4-3(E)(9) AND IN SUBSECTION 14-16-4-3(E)(8) (ELECTRIC UTILITY). THE USES MAY BE LOCATED INSIDE THE SAME PERIMETER WALL.
- 8) PER IDO SECTION 4-3(E)(9)(J) ALL ESS FACILITIES THAT ARE NOT IN USE FOR A PERIOD OF 1 YEAR SHALL BE REMOVED BY THE OWNER WITHIN THE FOLLOWING 6 MONTHS. UPON REMOVAL, THE SITE SHALL BE REVEGETATED TO BLEND WITH THE EXISTING SURROUNDING VEGETATION. THE OWNER SHALL NOTIFY THE CITY WHEN REMOVAL OF THE ESS OCCURS.]
- 9) LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE LINE OF SIGHT AREA.

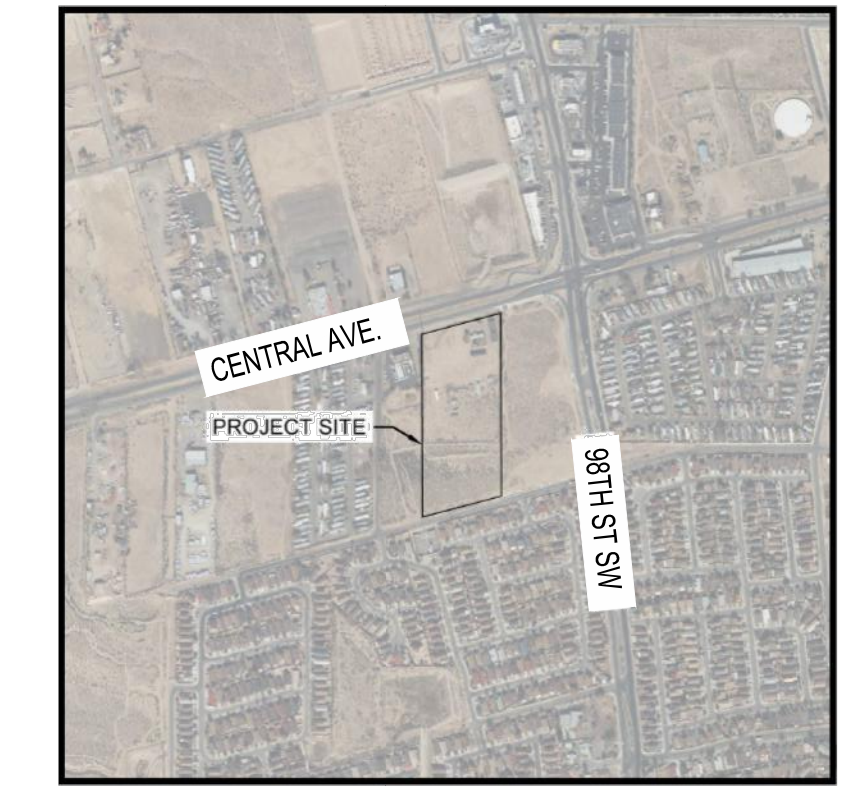
PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

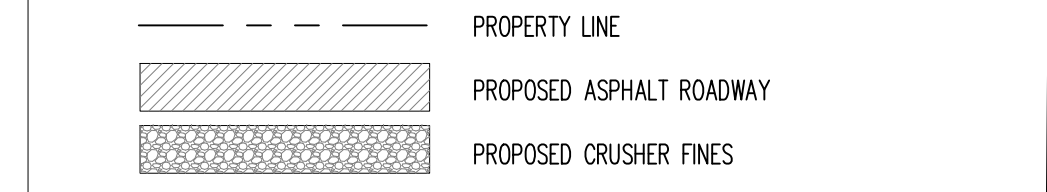
DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	_____	Date	_____
ABCWUA	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
Hydrology	_____	Date	_____
Code Enforcement	_____	Date	_____
* Environmental Health Department (conditional) N/A	_____	Date	N/A
Solid Waste Management	_____	Date	_____
Planning Department	_____	Date	_____



VICINITY MAP
1"=1000'
ZONE ATLAS MAP L-8 AND L-9

LEGEND

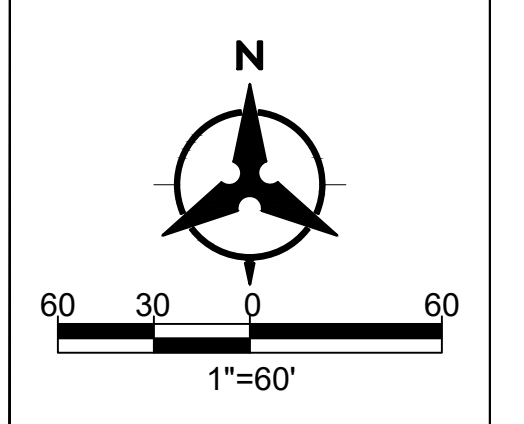


QUANTITIES:

PROJECT BOUNDARY	8.87 ACRES
ROAD	53,340 SF
PROPOSED WALL/FENCE	2,495 LF
17' WIDE ACCESS GATES FOR 34' ENTRANCE	2 EA
13' WIDE ACCESS GATES FOR 26' ENTRANCE	6 EA
7.5' WIDE ACCESS GATES FOR 13' ENTRANCE	2 EA

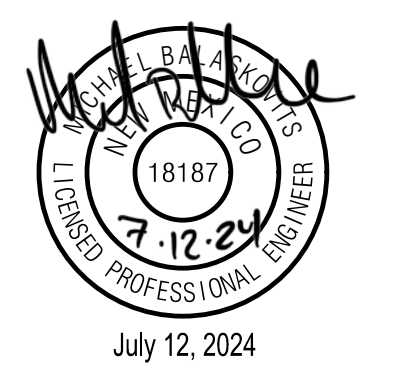
NOTES:

1. EQUIPMENT QUANTITIES, LOCATIONS AND LAYOUTS SHOWN ARE INDICATIVE AND SUBJECT TO CHANGE DURING DETAILED DESIGN.
2. SIZE OF CAPACITOR BANK ESTIMATED ASSUMING REQUIRED PF OF 0.95 AT POI.
3. SITE SPECIFIC FEATURES SUCH AS RETENTION PONDS AND DRAINAGE SHOWN FOR SCHEMATIC PURPOSES AND IS SUBJECT TO CHANGE DURING DETAILED DESIGN.
4. SPACE FOR AUGMENTATION CONTAINERS CAN BE USED FOR LAYDOWN DURING INITIAL CONSTRUCTION.
5. SYSTEM SIZED FOR SELF FEEDING AUX POWER DURING DISCHARGE.
6. THERE ARE NO OCCUPIED OR INHABITABLE STRUCTURES PROPOSED FOR THE SITE. THE TALLEST UNOCCUPIED AND INHABITABLE STRUCTURE IN THE PROJECT SUBSTATION WOULD BE THE AERIAL ELECTRICAL H OR A FRAME APPROXIMATELY 60-65 FEET. THE BATTERY STORAGE UNITS ARE CURRENTLY PROPOSED AT APPROXIMATELY 10-11 FEET IN HEIGHT.
7. THE STORAGE BATTERY UL LISTING IS UL 855.
8. PER THE 2021 INTERNATIONAL FIRE CODE, APPENDIX D, SECTION D104, THIS SITE DOES NOT MEET THE CRITERIA FOR TWO FIRE ACCESS ROADS. AN ADDITIONAL ACCESS ROAD IS PROVIDED THAT WILL MEET FIRE ACCESS WIDTH AND RADIUS CRITERIA IF NEEDED.



BENCH MARKS

ENGINEER'S SEAL



AS-BUILT INFORMATION

CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTOR'S ACCEPTANCE BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

REVISIONS

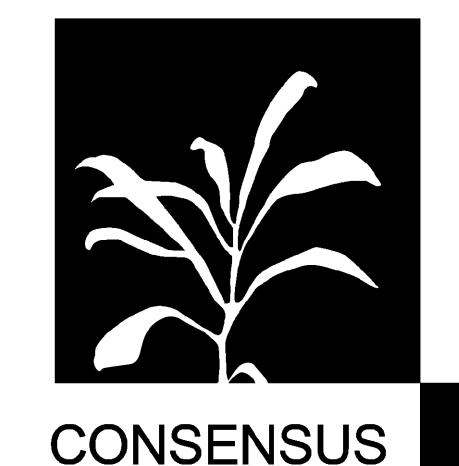
NO.	DATE	BY

DESIGN

DESIGNED BY	CHECKED BY	DRAWN BY
JSE	MB	JSE

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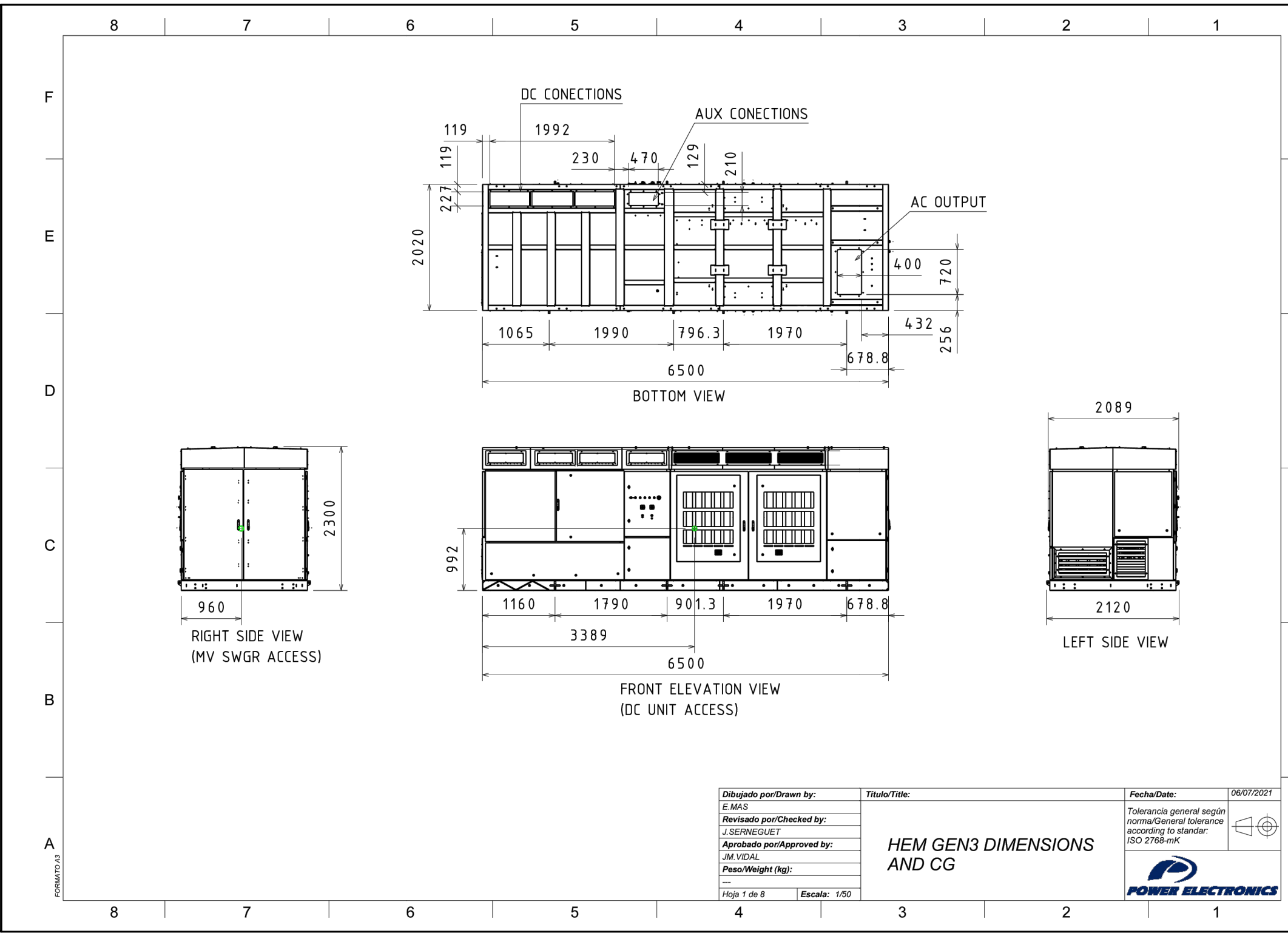
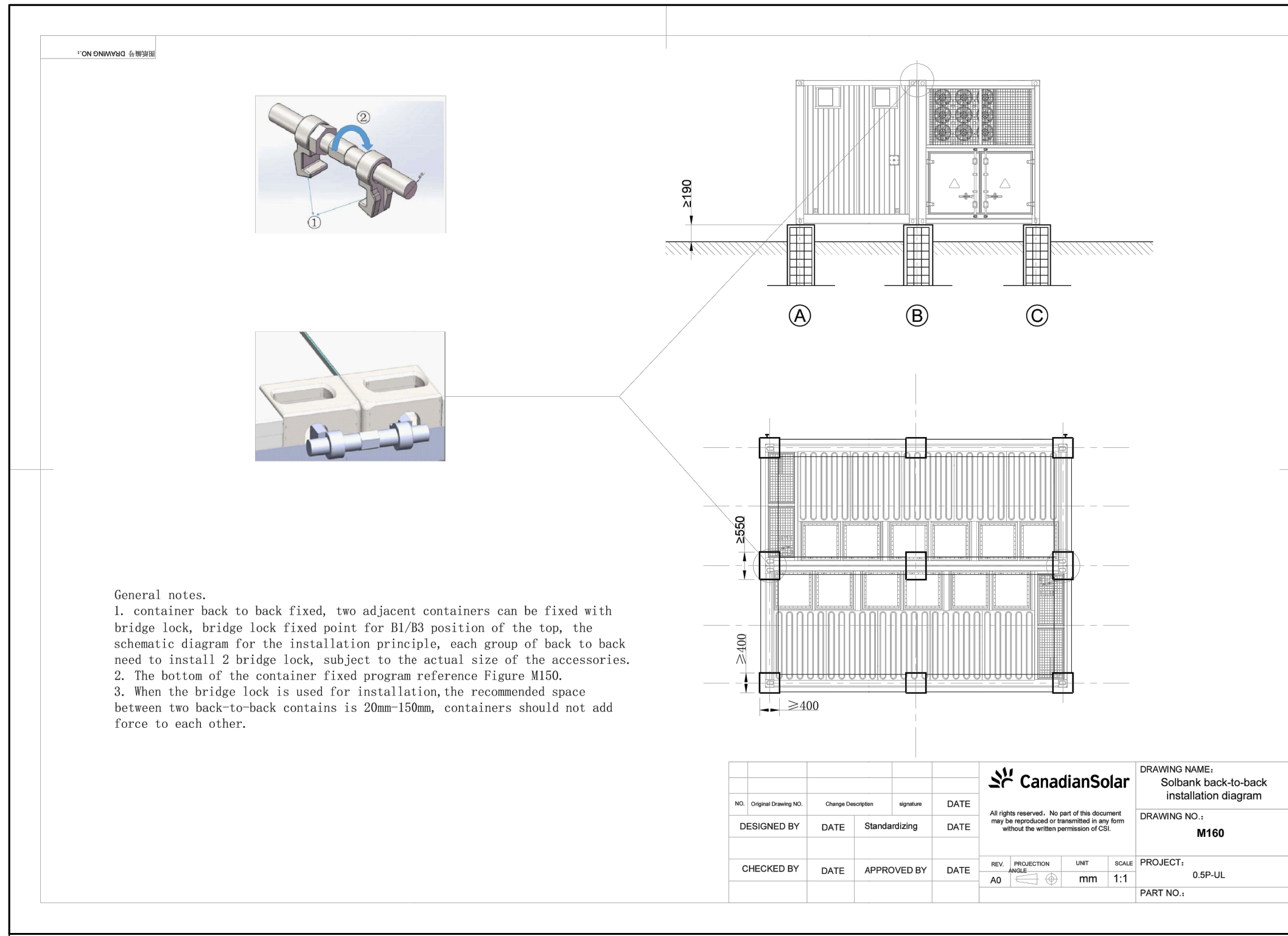
AYPA POWER, INC.
SUN LASSO BATTERY STORAGE FACILITY
OVERALL SITE PLAN



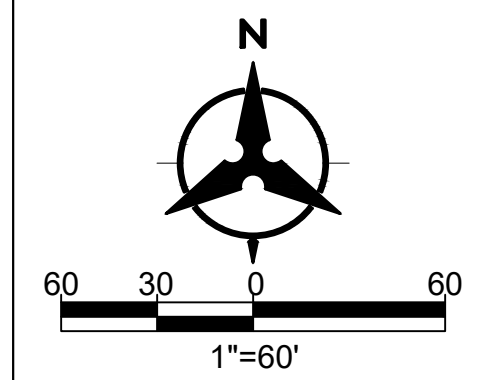
PLANNING

BHI PROJECT NO.	20240473	DATE	07-11-2024	SHEET	1	OF	
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P:\20240473\CDP\Plans\General\20240473_Overall Site Plan.dwg



NOTE:
 THESE ELEVATIONS ARE CONCEPTUAL AND UPON FURTHER COORDINATION WITH BUILDING PERMIT WILL BE MODIFIED BASED ON ULTIMATE CONDITIONS APPROVED THROUGH THE AUTHORITY HAVING JURISDICTION.

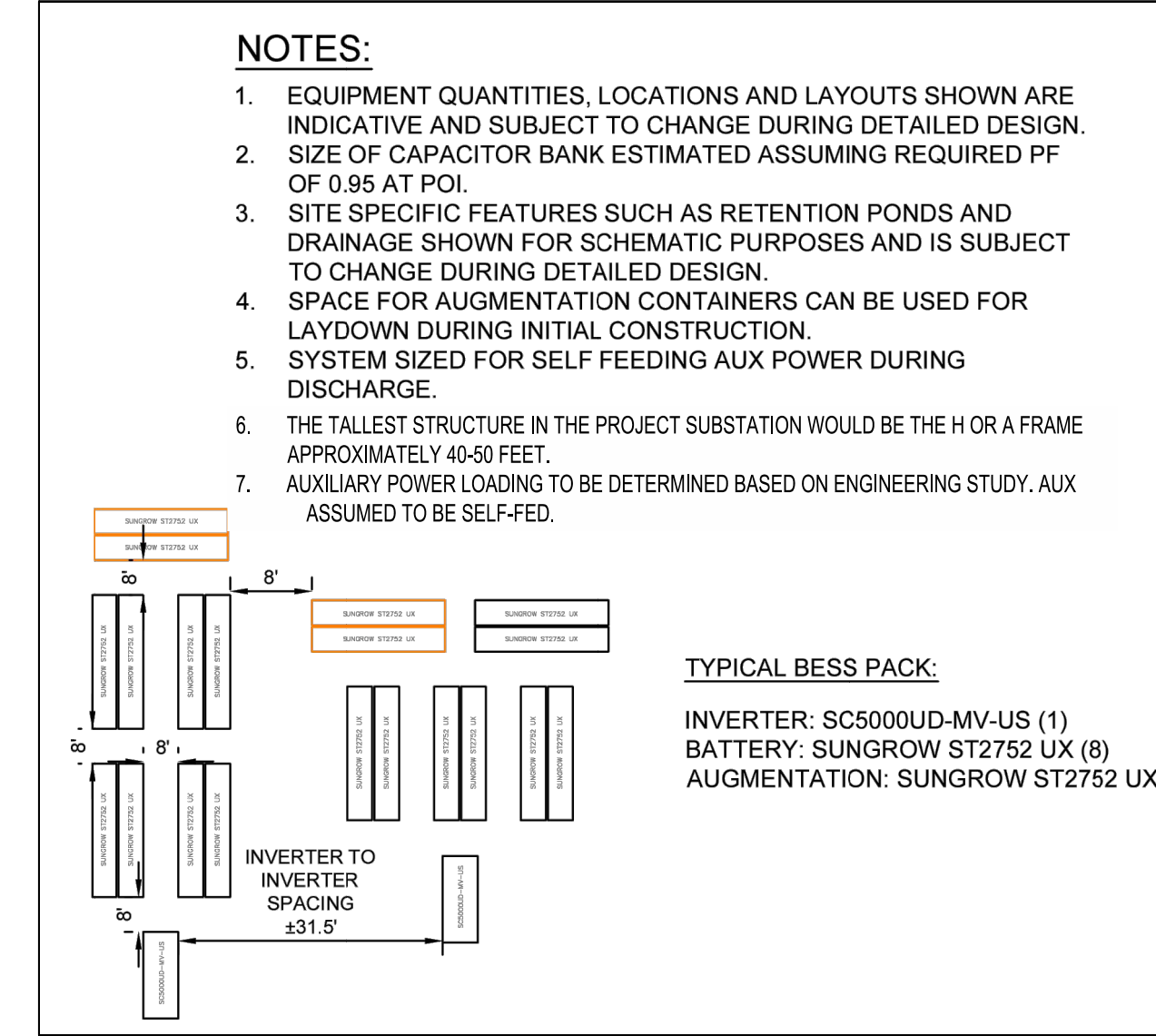


BENCH MARKS
 ENGINEER'S SEAL

July 15, 2024

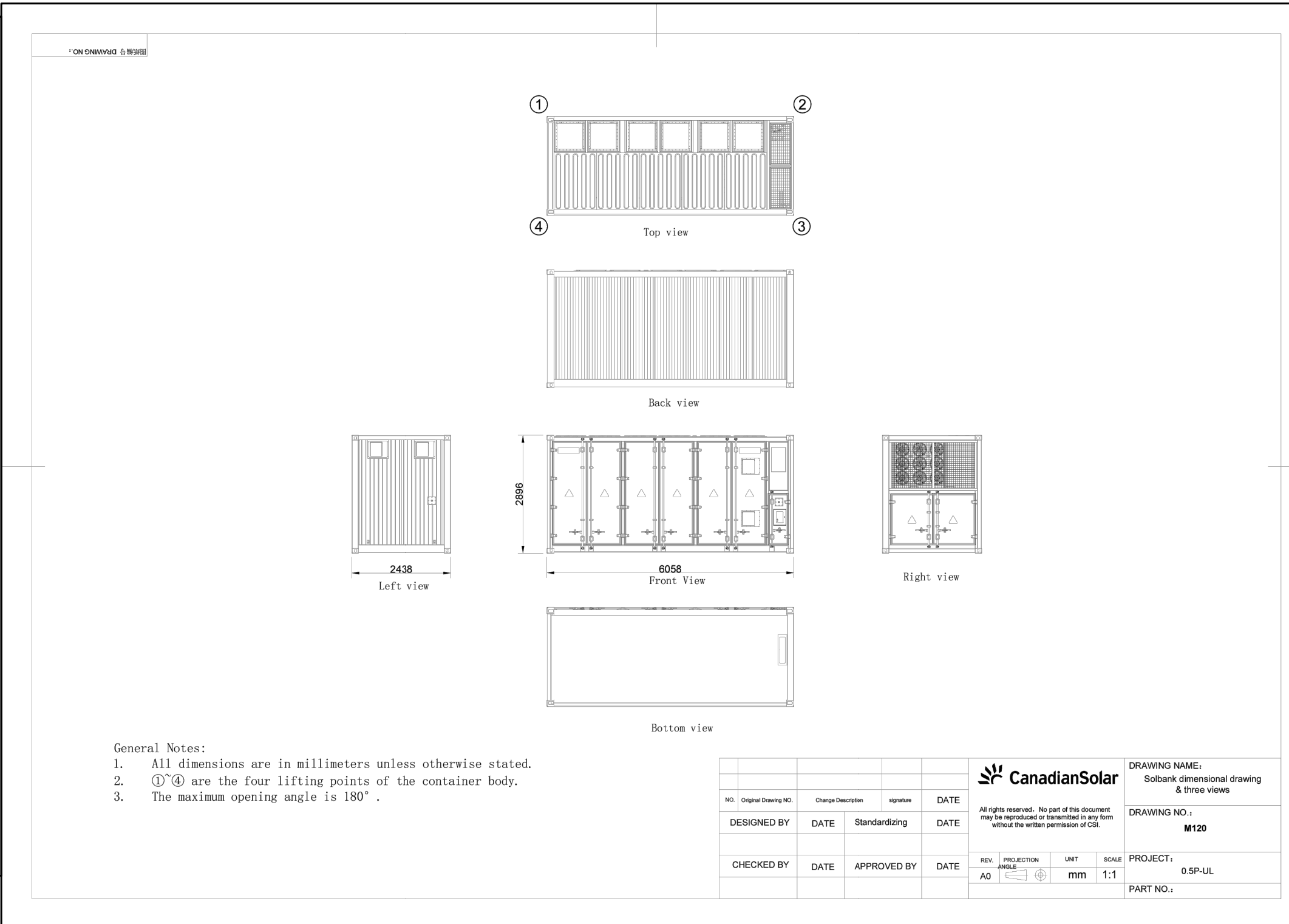
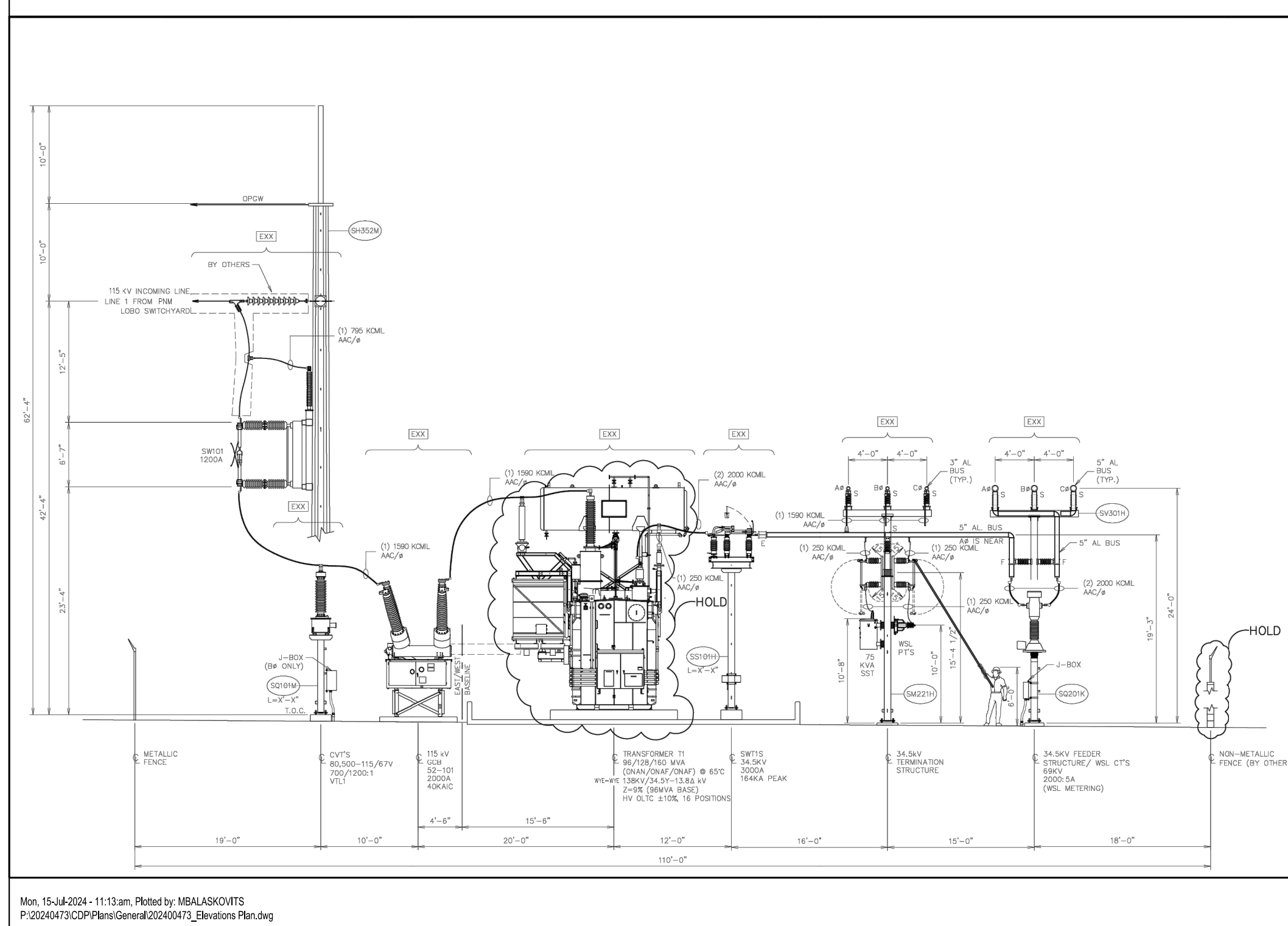
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BY									



REVISIONS

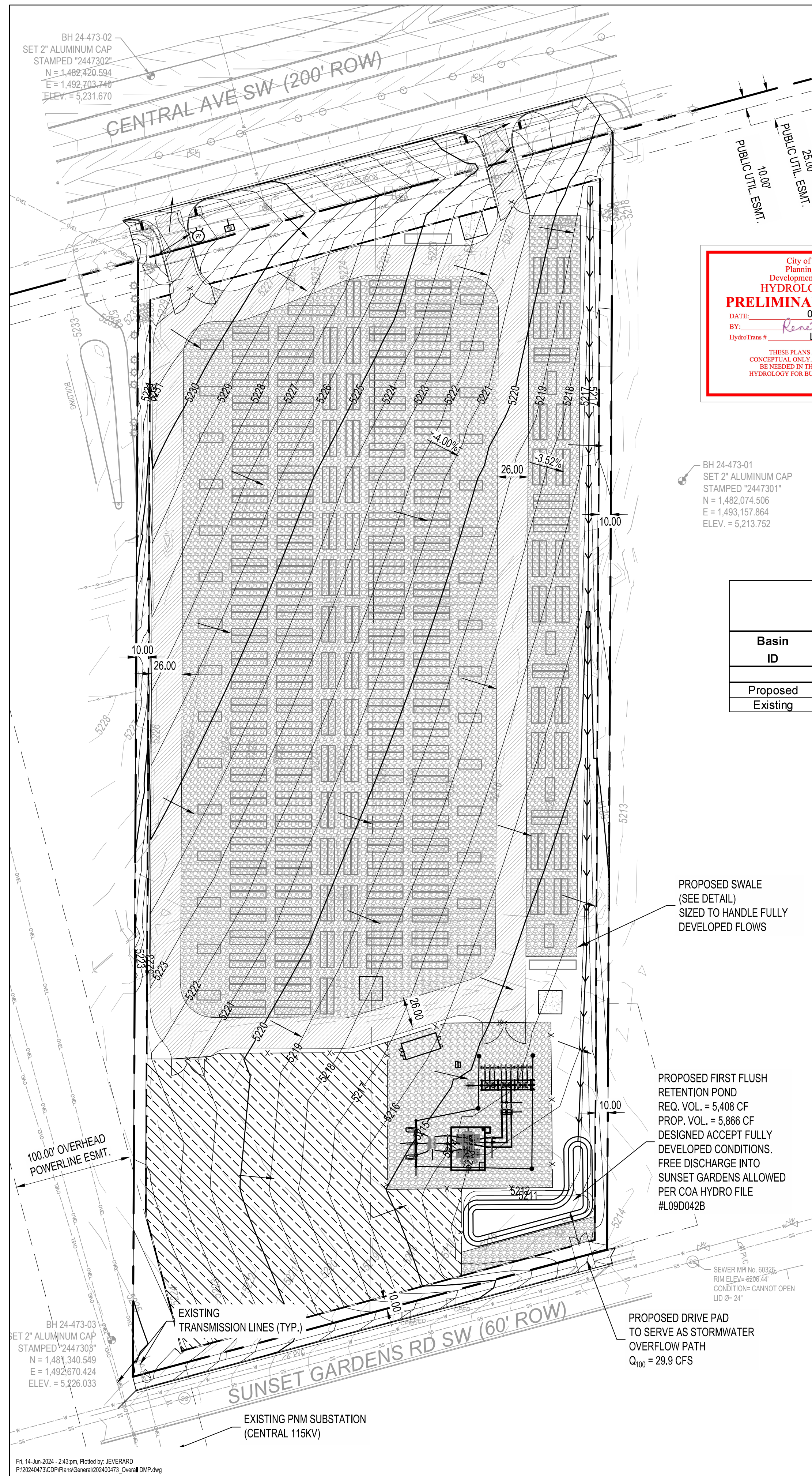
NO.	DATE	DESCRIPTION
DESIGNED BY	JSE	
CHECKED BY	MB	
DRAWN BY	JSE	



PLANNING
 AYPD A BLACKSTONE PORTFOLIO COMPANY
 Bohannon Huston
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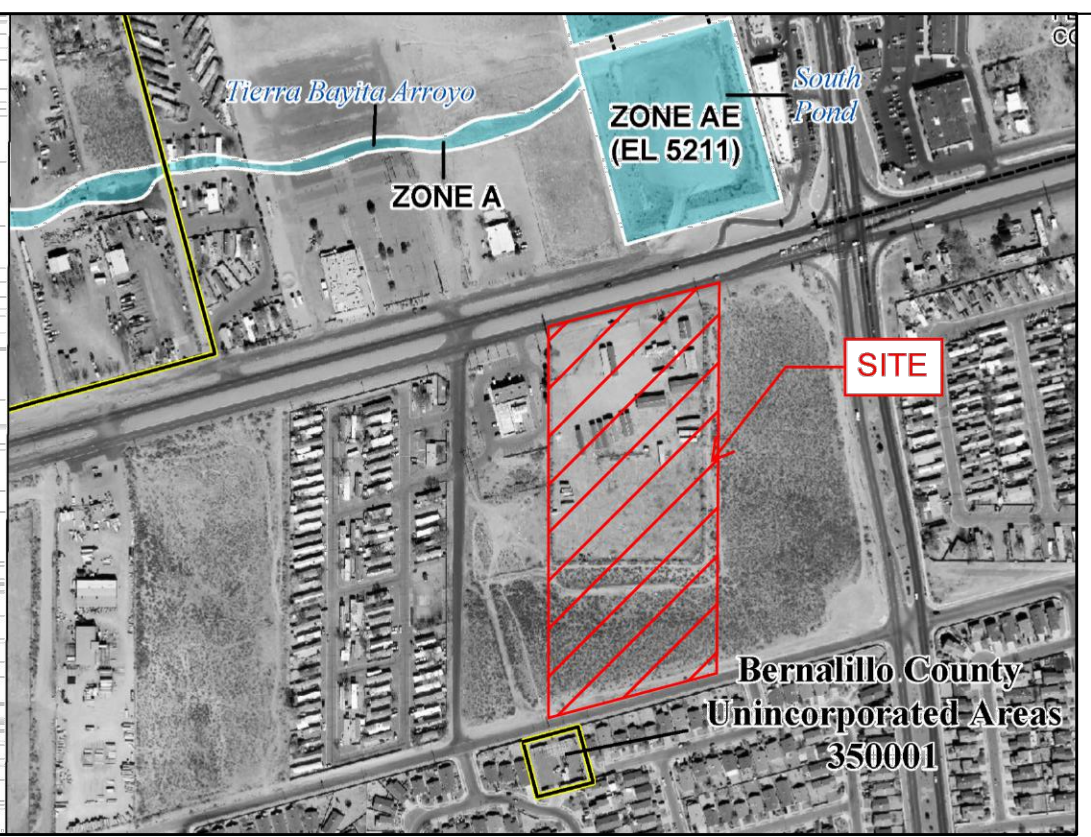
AYPA POWER, INC.
 SUN LASSO BATTERY STORAGE FACILITY
 ELEVATIONS PLAN

BHI PROJECT NO.	20240473	DATE	07-11-2024	SHEET	5	OF	
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City of Albuquerque
 Planning Department
 Development Review Services
 HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 07/08/24
 BY: *Renee L. Bennett*
 HydroTrans # L09D045

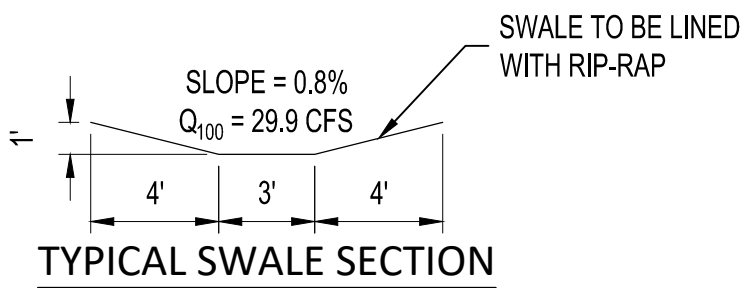
THESE PLANS AND/OR REPORT ARE CONFIDENTIAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.



FEMA FIRM MAP # 35001C0328J



NRCS WEB SOIL SURVEY



TYPICAL SWALE SECTION

BH 24-473-01
 SET 2" ALUMINUM CAP
 STAMPED "2447301"
 N = 1,482,074,506
 E = 1,493,157,864
 ELEV. = 5,213.752

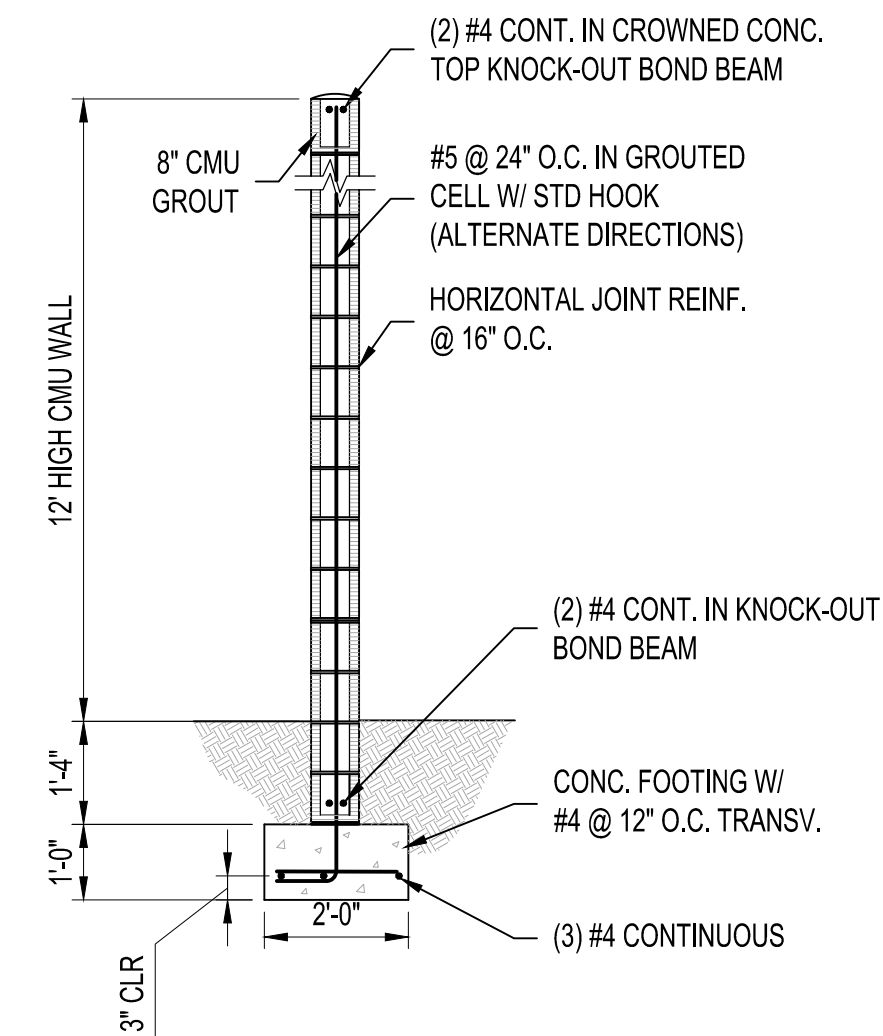
Basin Data Table															
This table is based on page 6-10 of the DPM, Zone: 1															
Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr)	Q(100yr)	E(100yr)	V(100yr-6hr)	V(100yr-24hr)	V(100yr-10d)	V(100yr-10d)	SWQV	0.42
			A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	(CF)	(AC-FT)	(CF)	
SITE															
Proposed	386,321	8.9	0.0%	0.0%	60.0%	40.0%	3.4	29.9	1.5	47196	51316	69473	1.6	5408	
Existing	386,321	8.9	100.0%	0.0%	0.0%	0.0%	1.5	13.7	0.6	17706	17706	17706	0.4	0	

FIRST FLUSH, EXISTING, AND PROPOSED DRAINAGE CALCULATIONS

PROPOSED SWALE (SEE DETAIL) SIZED TO HANDLE FULLY DEVELOPED FLOWS

PROPOSED FIRST FLUSH RETENTION POND
 REQ. VOL. = 5,408 CF
 PROP. VOL. = 5,866 CF
 DESIGNED ACCEPT FULLY DEVELOPED CONDITIONS. FREE DISCHARGE INTO SUNSET GARDENS ALLOWED PER COA HYDRO FILE #L09D042B

PROPOSED DRIVE PAD TO SERVE AS STORMWATER OVERFLOW PATH
 Q₁₀₀ = 29.9 CFS



NOTE: DESIGN OF FOUNDATION AND REBAR SHALL BE CONFIRMED AT BUILDING PERMIT.

1 CMU WALL
 NTS

DRAINAGE NARRATIVE

INTRODUCTION:
 THE PROPOSED PROJECT (SITE) IS A BATTERY STORAGE FACILITY. THE SITE IS LOCATED ON APPROXIMATELY 8.87 ACRES ON THE SOUTHERN SIDE OF CENTRAL AVE. SW JUST WEST OF 98TH ST. SW IN THE CITY OF ALBUQUERQUE, NM.

PER FEMA FIRM PANEL #35001C0328J, THE SITE IS NOT LOCATED WITHIN A FLOODPLAIN. THE SITE IS IN RAINFALL ZONE 1.

EXISTING CONDITIONS:
 CURRENTLY, THE SITE IS MAINLY UNDEVELOPED WITH A FEW TRAILERS AND A SMALL PARKING LOT LOCATED AT THE FRONTAGE OF CENTRAL AVE. SW. SLOPES GENERALLY FROM WEST AND NORTH TO EAST AND SOUTH.

A PREVIOUS DRAINAGE PLAN AND REPORT FOR THE LOT BORDERING THE EASTERN PROPERTY LINE FOR THE SITE DATED 09/30/2022 BY ISAACSON & ARFMAN, INC. (COA HYDRO FOLDER #L09D042B) ANALYZED OFFSITE RUNOFF FROM THE SITES TRIBUTARY RUNOFF AND WAS UTILIZED AS PART OF THIS DRAINAGE DESIGN.

THERE IS NO ONSITE STORM DRAINAGE INFRASTRUCTURE. THE SITE SHEET FLOWS AND FREE DISCHARGES INTO EASTERN PROPERTY WHERE IT IS COLLECTED AND DIRECTED INTO A POND UNTIL THE SITE IS DEVELOPED. DISCHARGE FROM THE POND OVERFLOWS INTO THE SUNSET GARDENS RD SW RIGHT OF WAY.

THE SITE ITSELF IS 8.9 ACRES, AND DISCHARGES APPROXIMATELY 13.7 CFS TO THE EASTERN PROPERTY'S EXISTING POND. PER THE PREVIOUS REPORT, 26.9 CFS OF UNDEVELOPED STORMWATER HAS BEEN ACCOUNTED FOR IN A TEMPORARY SWALE AT THE SOUTHEAST CORNER OF THE SITE BUT WILL BE REMOVED AS THE SITE GETS DEVELOPED.

METHODOLOGY:
 THE HYDROLOGIC ANALYSIS PROVIDED WITH THIS DRAINAGE SUBMITTAL HAS BEEN PREPARED IN ACCORDANCE WITH LATEST DEVELOPMENT PROCESS MANUAL, SPECIFICALLY CHAPTER 8 (DRAINAGE, FLOOD CONTROL, AND EROSION CONTROL). LAND TREATMENT PERCENTAGES WERE CONSERVATIVELY CALCULATED BASED ON THE ACTUAL CONDITIONS IN EACH ONSITE BASIN AND ARE SUMMARIZED IN THE "BASIN DATA TABLE" (THIS SHEET). THIS SITE WAS ANALYZED FOR THE FIRST-FLUSH AND 100-YEAR, 6-HOUR STORM EVENT.

PROPOSED:
 THE PROPOSED SITE WILL FOLLOW THE SAME EXISTING DRAINAGE PATTERNS GENERALLY. PER THE PREVIOUS DRAINAGE REPORT, FOR THE DEVELOPED SITE, RUNOFF WILL BE COLLECTED IN AN ONSITE DRAINAGE SWALE BORDERING EASTERN PROPERTY LINE THAT WILL THEN CONVEY THE RUNOFF TO A FIRST-FLUSH POND AT THE SOUTHEAST CORNER OF THE SITE. OVERFLOW DISCHARGE FROM THE POND WILL OUTFALL THROUGH A DRIVE RAMP ON SUNSET GARDENS RD SW AND THEN ONTO THE RIGHT OF WAY WHICH WILL ULTIMATELY BE COLLECTED IN THE DOWNSTREAM STORM SEWER SYSTEM.

THE SITE HAS BEEN ANALYZED AS ONE BASIN DO TO THE CAPTURING AND DIVERSION OF ALL ON SITE RUNOFF INTO THE FIRST-FLUSH POND. THE TOTAL RUNOFF FROM THE ANTICIPATED DEVELOPED SITE IS APPROXIMATELY 29.9 CFS. THIS IS LESS THAN THE 52.2 CFS THAT THE PREVIOUS DRAINAGE REPORT ANTICIPATED FOR THE DEVELOPED SITE THAT ENTERS THE RIGHT OF WAY. THEREFORE, THE PROPOSED SITES DISCHARGE IS WITHIN PREVIOUS DESIGN PARAMETERS AND IS ANTICIPATED TO FREELY DISCHARGE INTO THE RIGHT OF WAY WITHOUT NEED FOR ANY DOWNSTREAM IMPROVEMENTS.

AS PART OF THE FIRST FLUSH REQUIREMENTS, THE SITE HAS INCLUDED A 5,636 CF POND TO HOLD THE REQUIRED 5,408 CF THAT IS REQUIRED PER THE DPM.

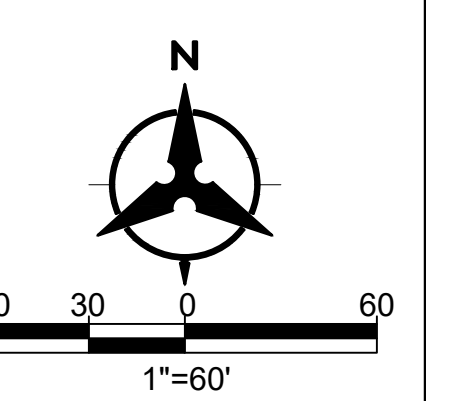
CONCLUSION:
 THE CALCULATED PEAK DISCHARGE FROM THE SITE IS LESS THAN THE PREVIOUSLY DESIGNED PROPOSED CONDITIONS. THE GRADING AND DRAINAGE PLAN AS PRESENTED IS IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS. WITH THIS SUBMITTAL WE ARE REQUESTING APPROVAL IN SUPPORT OF DFT SITE PLAN APPROVAL.

LEGEND

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- - - - 4925 --- EXISTING INDEX CONTOUR
- - - - 4924 --- EXISTING INTERMEDIATE CONTOUR
- 4925.25 --- EXISTING GROUND SPOT ELEVATION
- 4925 --- PROPOSED INDEX CONTOUR
- 4924 --- PROPOSED INTERMEDIATE CONTOUR
- 26.75 --- PROPOSED GRADE SPOT ELEVATION
- FL=FLOW LINE
- TC=TOP OF CURB
- TS=TOP OF SIDEWALK
- > DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK

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AYPA POWER, INC.
SUN LASSO BATTERY STORAGE FACILITY
DRAINAGE MANAGEMENT PLAN



BENCH MARKS

ENGINEER'S SEAL



AS-BUILT INFORMATION

CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTOR'S ACCEPTANCE BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

REVISIONS

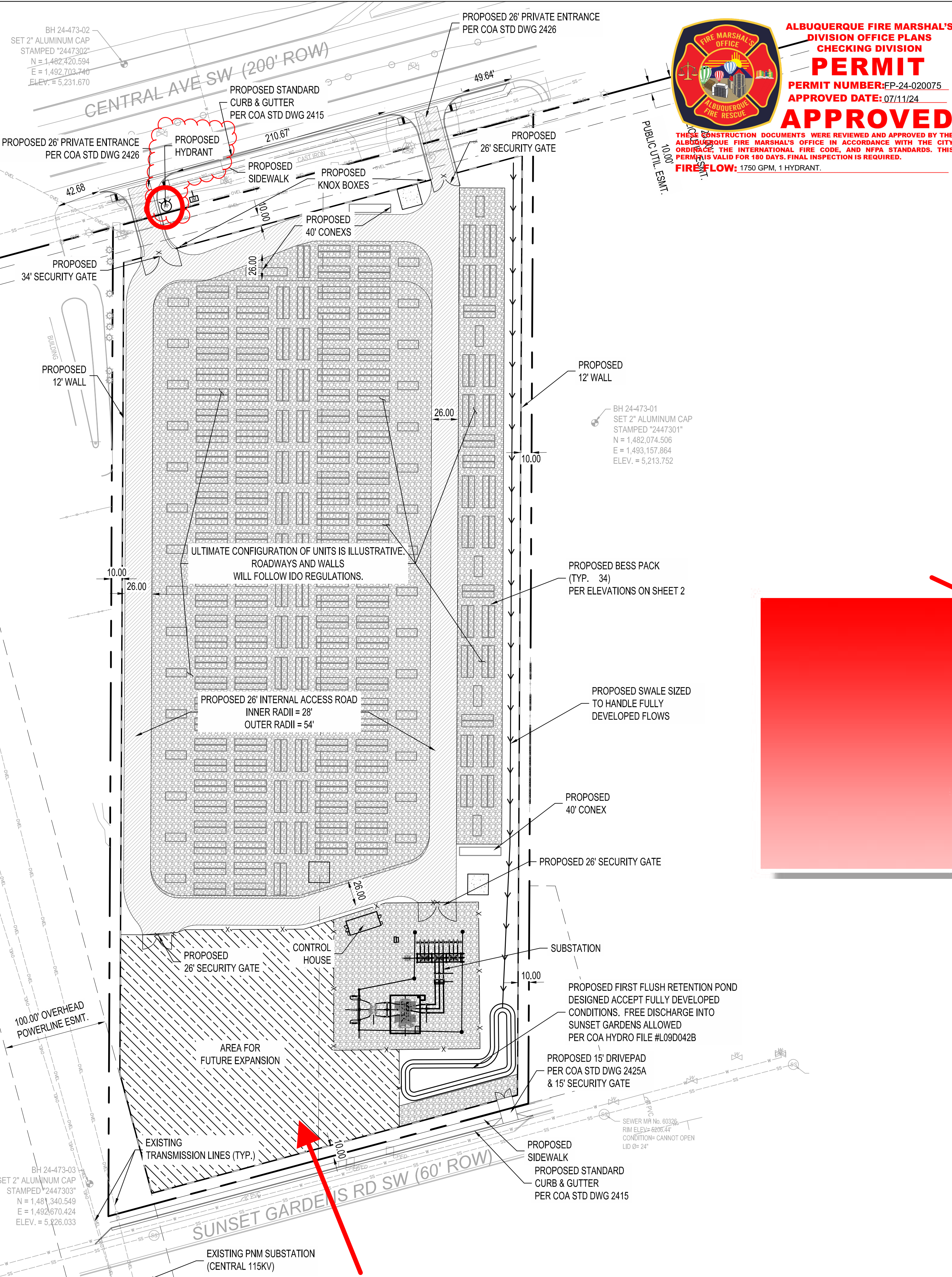
NO.	DATE	BY

DESIGN

DESIGNED BY	CHECKED BY	DRAWN BY
JSE	MB	JSE



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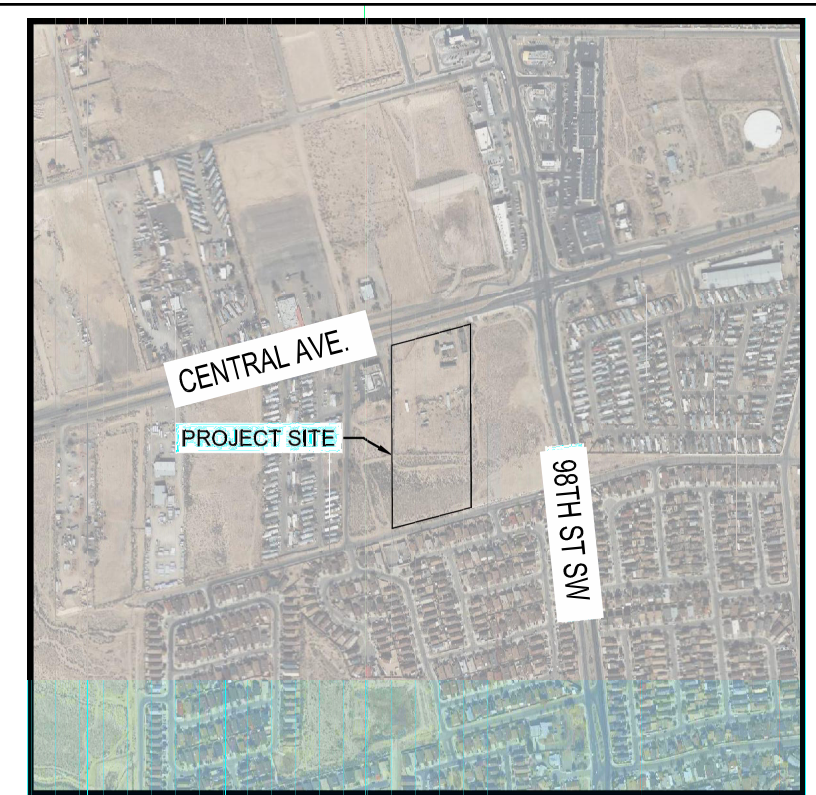
ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP-24-020075
APPROVED DATE: 07/11/24
APPROVED
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1750 GPM, 1 HYDRANT.

BUILDING INFORMATION

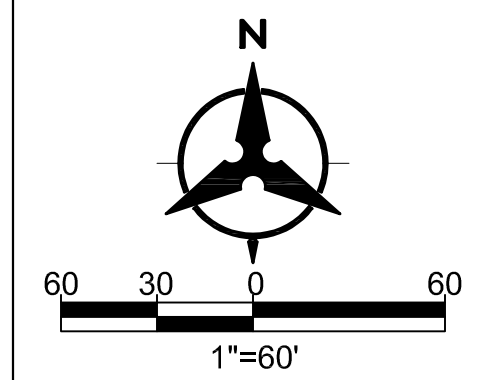
EXISTING LEGAL DESCRIPTION: LOTS 3 AND 4, BLOCK 1 LANDS OF THE ATRISCO GRANT.
ADDRESS: 10100 CENTRAL AVE. SW ALBUQUERQUE NM 87121
TOB ZONING: L-8 & L-9
TOTAL BUILDING AREA: NOT APPLICABLE. THE SITE WILL HAVE A NUMBER OF BATTERY STORAGE FACILITIES AND NO STRUCTURES WHERE PEOPLE WILL OCCUPY. IT IS SIMILAR TO PNM SUBSTATION SITE.
CONSTRUCTION TYPE: NOT APPLICABLE.
SPRINKLERED: NO
FIRE FLOW: NOT APPLICABLE
BUILDING HEIGHT: NOT APPLICABLE. 8'-12' WALL AROUND PERIMETER OF SITE. SEE NOTES BELOW.
HYDRANTS REQUIRED: NONE.

NOTES

- ALL RADII ALONG FIRE LANE SHALL BE 28'.
- MONUMENT SIGN IDENTIFYING THE SITE ADDRESS WILL BE PROVIDED AT ADJACENT ROADWAYS.
- ALL VEHICULAR ACCESS GATES SHALL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
- FIRE ACCESS LANES SHALL BE MARKED FIRE LANE AS SHOWN AND NOTED AS 26'.
- ALL FIRE ACCESS ROUTES SHALL BE PAVED.
- SLOPES WILL NOT EXCEED 10% IN GRADE FOR THE FIRE ACCESS ROAD.
- THE SITE CONTAINS ELECTRICAL AND BATTERY STORAGE EQUIPMENT AS NOTED. NO HABITABLE STRUCTURES, WATER LINES OR FIRE LINES ARE ANTICIPATED TO BE EXTENDED TO THE SITE.
- ALL FIRE ACCESS AREAS SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- THERE ARE NO OCCUPIED OR INHABITABLE STRUCTURES PROPOSED FOR THE SITE. THE TALLEST UNOCCUPIED AND INHABITABLE STRUCTURE IN THE PROJECT SUBSTATION WOULD BE THE AERIAL ELECTRICAL H OR A FRAME APPROXIMATELY 60-65 FEET. THE BATTERY STORAGE UNITS ARE CURRENTLY PROPOSED AT APPROXIMATELY 10-11 FEET IN HEIGHT.
- THE STORAGE BATTERY UL LISTING IS UL 855.
- PER THE 2021 INTERNATIONAL FIRE CODE, APPENDIX D, SECTION D104, THIS SITE DOES NOT MEET THE CRITERIA FOR TWO FIRE ACCESS ROADS. AN ADDITIONAL ACCESS ROAD IS PROVIDED THAT WILL MEET FIRE ACCESS WIDTH AND RADIUS CRITERIA IF NEEDED.



VICINITY MAP
1"=1000'
ZONE ATLAS MAP L-8 AND L-9



BENCH MARKS	
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ENGINEER'S SEAL	

QUANTITIES:

PROJECT BOUNDARY	8.87 ACRES
ROAD	53,340 SF
PROPOSED WALL/FENCE	2,495 LF
17' WIDE ACCESS GATES FOR 34' ENTRANCE	2 EA
13' WIDE ACCESS GATES FOR 26' ENTRANCE	6 EA
7.5' WIDE ACCESS GATES FOR 13' ENTRANCE	2 EA

NOTES:

- EQUIPMENT QUANTITIES, LOCATIONS AND LAYOUTS SHOWN ARE INDICATIVE AND SUBJECT TO CHANGE DURING DETAILED DESIGN.
- SIZE OF CAPACITOR BANK ESTIMATED ASSUMING REQUIRED PF OF 0.95 AT POI.
- SITE SPECIFIC FEATURES SUCH AS RETENTION PONDS AND DRAINAGE SHOWN FOR SCHEMATIC PURPOSES AND IS SUBJECT TO CHANGE DURING DETAILED DESIGN.
- SPACE FOR AUGMENTATION CONTAINERS CAN BE USED FOR LAYDOWN DURING INITIAL CONSTRUCTION.
- SYSTEM SIZED FOR SELF FEEDING AUX POWER DURING DISCHARGE.

June 28, 2024

AS-BUILT INFORMATION

BY	CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTORS ACCEPTANCE BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

REVISIONS

NO.	DATE	BY	DESIGNED BY	CHECKED BY	DRAWN BY
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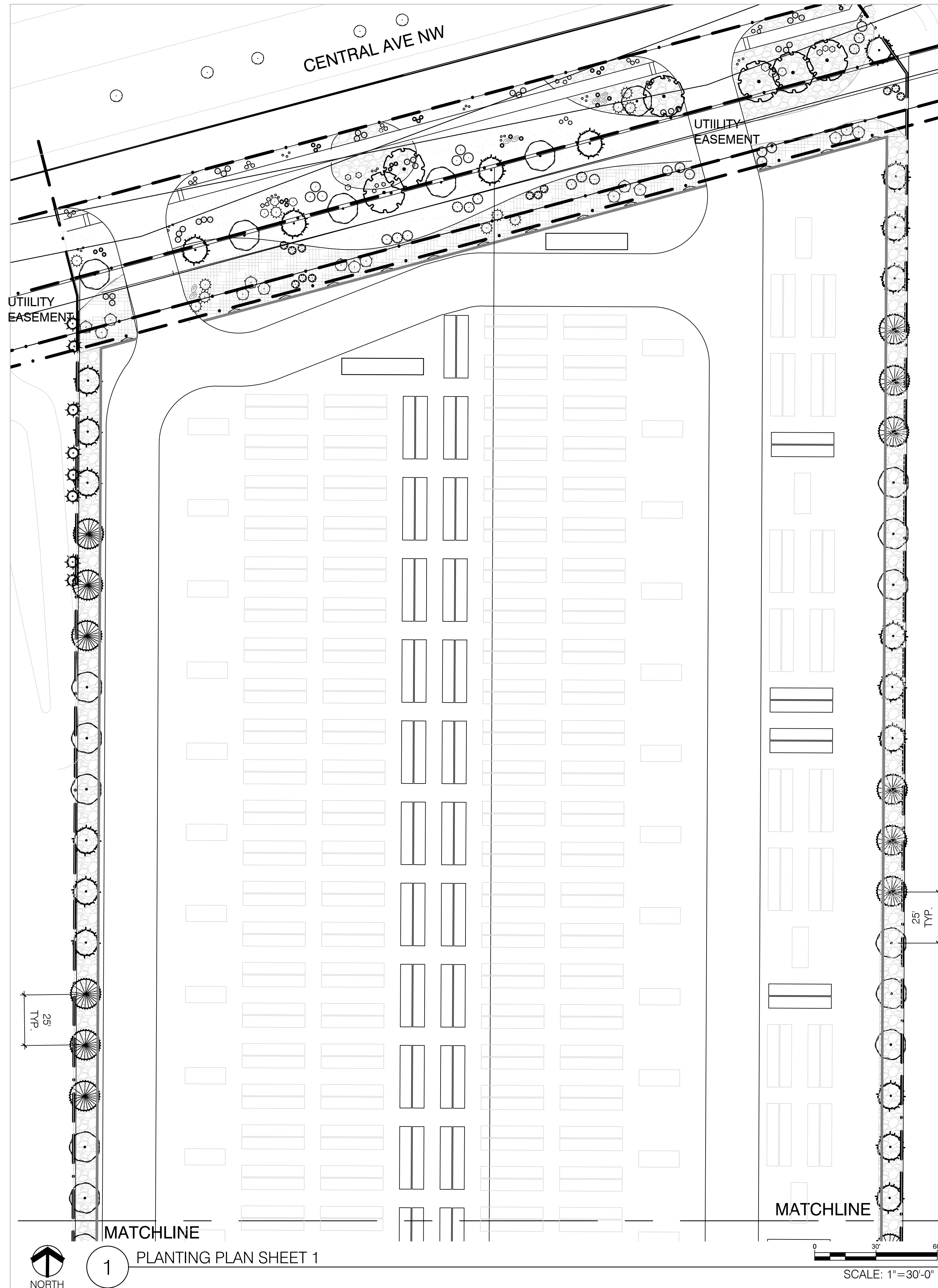
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AYPA POWER, INC.
SUN LASSO BATTERY STORAGE FACILITY
FIRE ONE PLAN

BHI PROJECT NO.	20240473	DATE	06-28-2024	SHEET	1	OF	1
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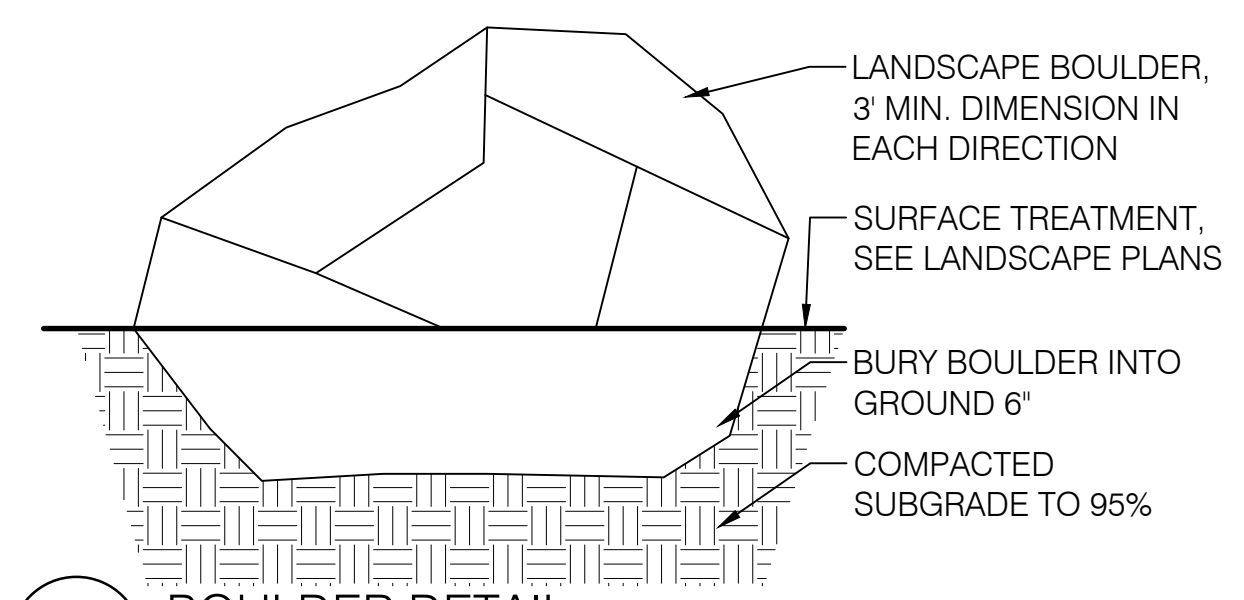
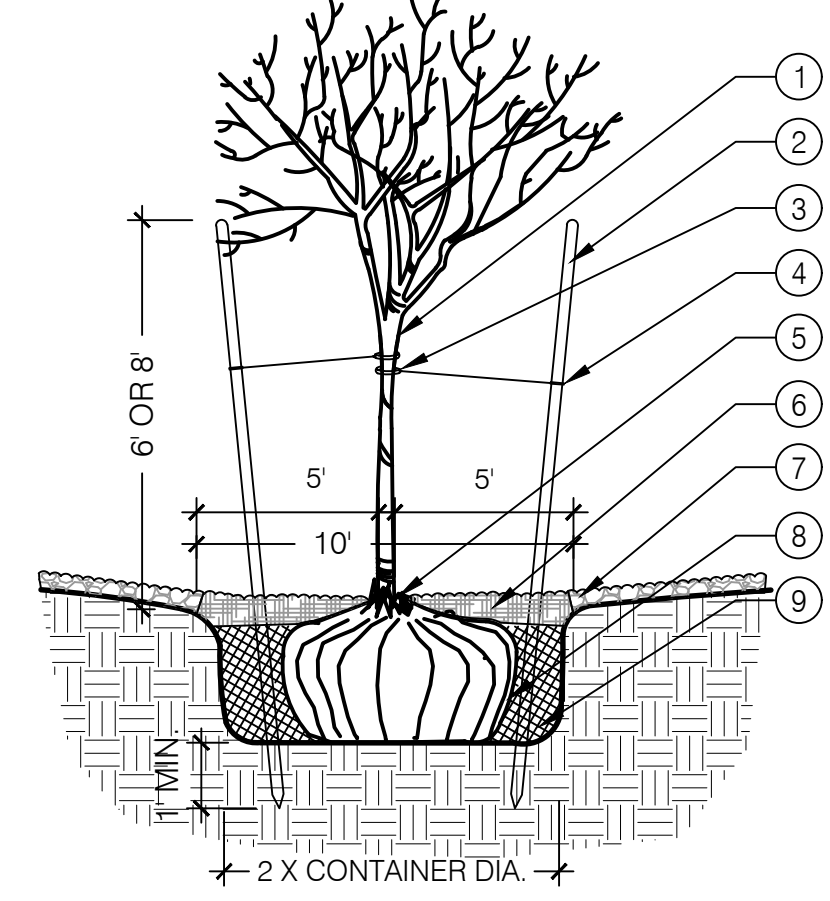
PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE	WATER USE
TREES					
	6	CHILOPSIS LINEARIS DESERT WILLOW	2.5" cal.	20' x 20'	LOW
	21	CUPRESSUS ARIZONICA GLABRA 'BLUE ICE' BLUE ICE ARIZONA CYPRESS	B&B	30' x 15'	LOW
	37	JUNIPERUS MONOSPERMA ONESEED JUNIPER (FEMALE ONLY)	6'-0" HT	10' x 15'	LOW
	27	QUERCUS X 'CRIMSCHMIDT' CRIMSON SPIRE™ OAK	2.5" cal.	40' x 15'	MED
	7	YUCCA BREVIFOLIA JOSHUA TREE	15 gal.	20' x 10'	LOW
SHRUBS					
	42	AGAVE PARRYI PARRY'S AGAVE	1 gal.	1' X 3'	LOW
	34	BOUTELOUA GRACILIS BLONDE AMBITION BLUE GRAMA	1 gal.	1' x 2'	LOW
	15	CERCOCARPUS LEDIFOLIUS CURL-LEAF MOUNTAIN MAHOGANY	5 gal.	10' x 6'	LOW
	69	CHAMAEBATIARIA MILLEFOLIUM FERNBUSH	5 gal.	4' x 4'	LOW
	33	CHRYSOTHAMNUS NAUSEOSUS RUBBER RABBITBRUSH	5 gal.	4' x 4'	LOW
	43	DASYLIRION WHEELERI GREY DESERT SPOON	5 gal.	2' x 3'	LOW
	45	FALLUGIA PARADOXA APACHE PLUME	5 gal.	4' x 5'	LOW
	24	LEUCOPHYLLUM FRUTESCENS TEXAS SAGE	5 gal.	4' x 5'	LOW
	6	OPUNTIA BASILARIS BEAVERTAIL PRICKLY PEAR	3 gal.	2' x 3'	LOW
	15	PARTHENOCESSUS TRICUSPIDATA BOSTON IVY	1 gal.	6' x 6'	MED
	42	RATIBIDA COLUMNIFERA PRAIRIE CONEFLOWER	1 gal.	1' X 1'	LOW
	11	YUCCA GLORIOSA SPANISH DAGGER	5 gal.	6' x 6'	LOW

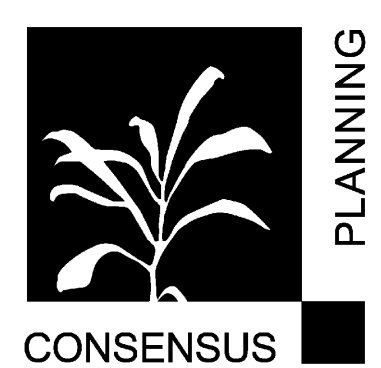
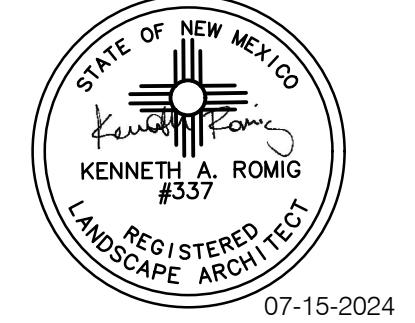
MATERIALS HATCH LEGEND

- 22,660 SF 6" DEPTH OF 4"-6" BLUE SAIZ ANGULAR AGGREGATE AS AVAILABLE FROM BUILDLOGY, INC., (505) 344-6626 (OR APPROVED EQUAL) OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL.
- 11,442 SF 3" DEPTH OF 7/8" VALLEY GOLD GRAVEL AS AVAILABLE FROM BUILDLOGY, INC., (505) 344-6626 (OR APPROVED EQUAL) OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR APPROVED EQUAL.
- 12,780 SF 3" DEPTH OF SHREDDED BARK AS AVAILABLE FROM BUILDLOGY, INC., (505) 344-6626 (OR APPROVED EQUAL) OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR APPROVED EQUAL.
- 7 2X3X3' BASALT BOULDER, OR PRE APPROVED EQUAL.

1. STRESS POINT OF TREE
2. 8' OR 10' LODGEPOLE STAKES DRIVEN AT ANGLE (8' FOR MULTI OR CANOPY, 10' FOR TALL COLUMNAR)
3. 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
4. #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
5. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
6. WATER RETENTION BASIN - ORGANIC MULCH SHALL BE PROVIDED WITHIN A 5' RADIUS OF NEWLY PLANTED TREES, AT A DEPTH OF 3". THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES
7. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
8. ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
9. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS



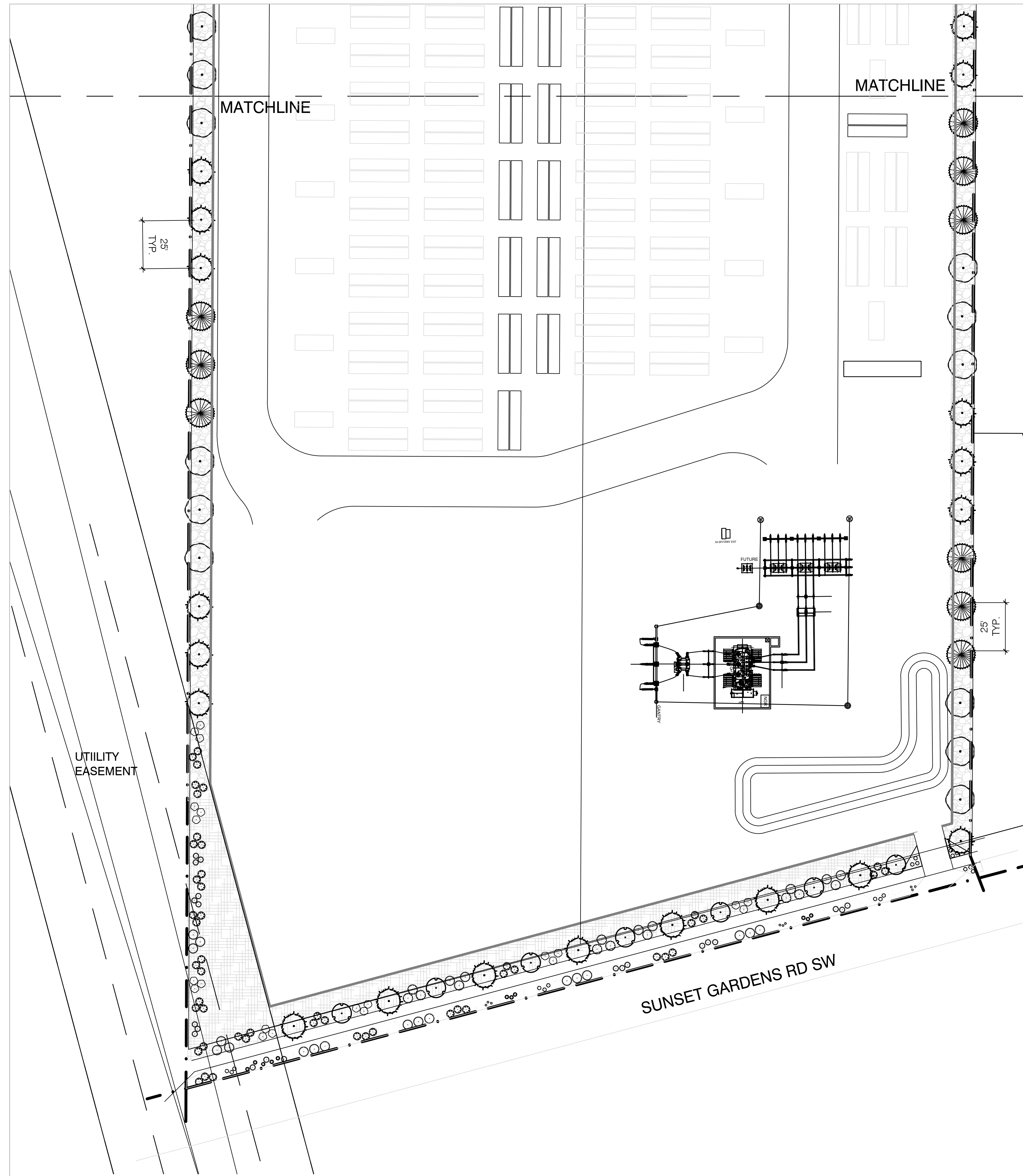
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CHECKED BY	MB					DATE STAMPED BY	DATE	BENCHMARKLINE2	
DRAWN BY	JSE					INSPECTOR'S SIGNATURE BY	DATE	BENCHMARKLINE3	
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						DATE	DATE	BENCHMARKLINE5	
						DATE	DATE	BENCHMARKLINE6	
						DATE	DATE	BENCHMARKLINE7	
						DATE	DATE	BENCHMARKLINE8	



DDP A BLACKSTONE PORTFOLIO COMPANY

LANDSCAPE PLAN

LP-101



GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING, PURSUANT OF IDO 5-6(C)(14)(C). IRRIGATION SHALL ADHERE TO CABQ SPECIFICATIONS SECTION 1000.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

SHREDDED ORGANIC MULCH AT TREES
SHREDDED ORGANIC MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 5' DIAMETER CIRCLE.

IDO STANDARDS

THE FOLLOWING REGULATIONS SHALL WARRANT THE RELOCATION OF PLANT MATERIAL IF UTILITY CLEARANCE REQUIREMENTS WARRANT

CLEARANCE
PER 5-6(C)(7)(A), VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.

PER 5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.

PER 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.

PER 5-6(C)(10)(A) TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS.

PER 5-6(C)(10)(B) TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.

PER 5-6(C)(10)(E) ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS MUST ALLOW 10 FEET OF CLEARANCE FOR ACCESS AND TO ENSURE THE SAFETY OF THE WORK CREWS AND PUBLIC DURING MAINTENANCE AND REPAIR.

PER 5-6(C)(10)(F) TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.

LANDSCAPE CALCULATIONS

(5-6-C)
GRAVEL MULCH COVERAGE
LANDSCAPE SHALL APPLY PURSUANT TO 5-6(C)(5)(C) THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA

REQUIRED: 35,161.5 SF (no more than 75%)
PROVIDED: 34,102 SF: LESS THAN MAXIMUM SF
[COMPLIANT]

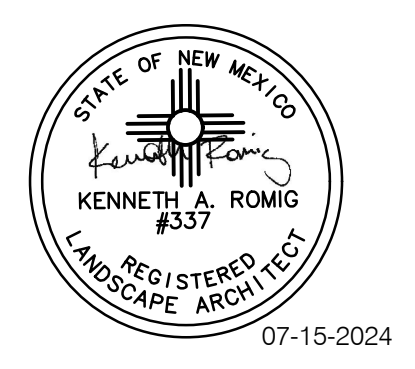
ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.

GENERAL NOTES

1. THE SITE INTERIOR SHALL NOT CONTAIN ANY LANDSCAPE MATERIAL BASED ON THE BATTERY STORAGE USE AND THE FUTURE SUBSTATION.
2. A MINIMUM 10 FOOT LANDSCAPE BUFFER SHALL BE PROVIDED BETWEEN THE PROPERTY LINE AND THE PERIMETER WALL.
3. THE LANDSCAPE PALETTE FOR THE 10 FOOT BUFFER SHALL BE PER IDO SECTION 4-3(E)(9) ENERGY STORAGE SYSTEM. A MINIMUM OF 1 TREE FOR EVERY 25 FEET SHALL BE PROVIDED AS SHOWN ON THE LANDSCAPE PLAN.

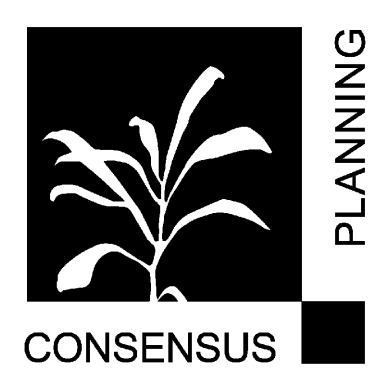
BENCH MARKS

BENCHMARKLINE1
BENCHMARKLINE2
BENCHMARKLINE3
BENCHMARKLINE4
BENCHMARKLINE5
BENCHMARKLINE6
BENCHMARKLINE7
BENCHMARKLINE8



AS-BUILT INFORMATION

NO.	DATE	REVISIONS	BY	DESIGN	NO.	DATE	REVISIONS	BY	DESIGN



Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DFT/DHO Project No.: **PR-2024-** _____
DFT Application No.: _____

INFRASTRUCTURE LIST

**EXHIBIT "A"
TO INFRASTRUCTURE IMPROVEMENTS AGREEMENT
DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST**

Sun Lasso - Battery Storage Facility
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract 3-A (Tracts 3 and 4, Block One Land of Atrisco Grant)
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the iIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		CENTRAL AVE SW							
		6'	PCC SIDEWALK	CENTRAL AVE SW	END OF SIDEWALK NEAR NW CORNER OF LT 2A	END SIDWALK NEAR NW CORNER TRACT 4	/	/	/
		8"	PCC STD CURB & GUTTER	CENTRAL AVE SW	END OF SIDEWALK NEAR NW CORNER OF LT 2A	END SIDWALK NEAR NW CORNER TRACT 4	/	/	/
		1 EA	FIRE HYDRANT	CENTRAL AVE SW	WESTERN DRIVE WAY		/	/	/
		24' WIDE	2 COA STANDARD DRIVEWAY ENTRANCES	CENTRAL AVE SW			/	/	/
		SUNSET GARDEN RD							
		6'	PCC SIDEWALK	SUNSET GARDENS RD NORTH SIDE	WEST PROP LINE	TRACT 3 AND 4	/	/	/
		8"	PCC STD CURB & GUTER	SUNSET GARDENS RD NORTH SIDE	WEST PROP LINE	TRACT 3 AND 4 PROPERTY LINE	/	/	/
		12.5' ± F-EA	ASPHALT PAVEMENT 1/2 STREET	SUNSET GARDENS RD NORTH SIDE	WEST PROP LINE	TRACT 3 AND 4 PROPERTY LINE	/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DHO approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER

DEVELOPMENT FACILITATION TEAM APPROVALS

Michael Balaskovits, PE
NAME (print)

PLANNING - date

PARKS & RECREATION - date

Bohannon Huston, Inc.
FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Handwritten Signature] 7.12.24

SIGNATURE - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

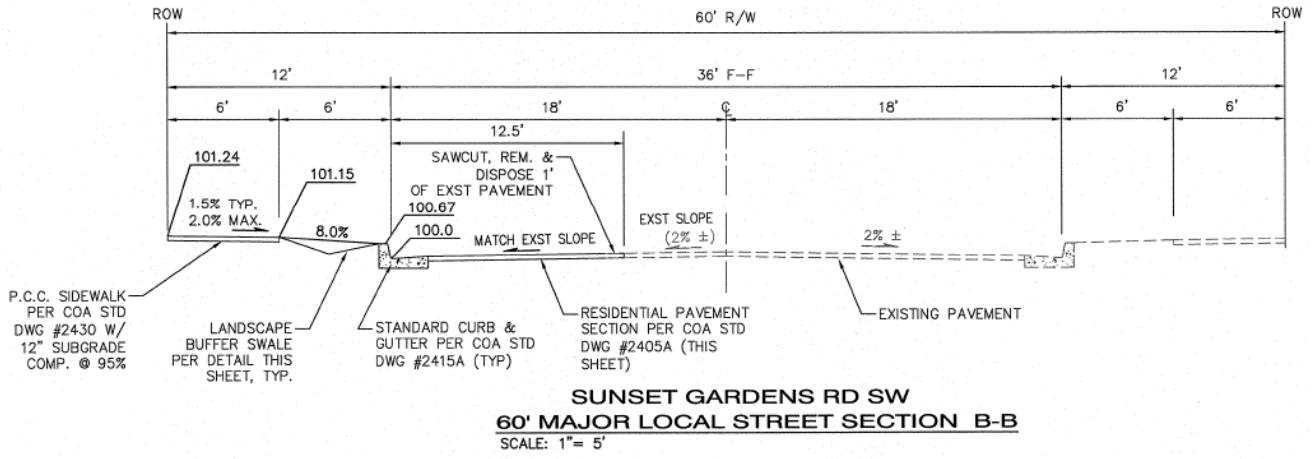
CITY ENGINEER - date

HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

SIDEWALK EXHIBIT / CROSS SECTION OF STREETS



P.C.C. SIDEWALK
 PER COA STD
 DWG #2430 W/
 12" SUBGRADE
 COMP. @ 95%

LANDSCAPE
 BUFFER SWALE
 PER DETAIL THIS
 SHEET, TYP.

STANDARD CURB &
 GUTTER PER COA STD
 DWG #2415A (TYP)

RESIDENTIAL PAVEMENT
 SECTION PER COA STD
 DWG #2405A (THIS
 SHEET)

EXISTING PAVEMENT

FW: Sensitive Lands Analysis

Jackie Fishman <fishman@consensusplanning.com>

Mon 7/15/2024 9:11 AM

To: Alyssa Ortiz <Ortiz@consensusplanning.com>

From: Wolfley, Jolene <jwolfley@cabq.gov>

Sent: Thursday, June 27, 2024 2:44 PM

To: Jackie Fishman <fishman@consensusplanning.com>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Brissette, Renee C. <rbrissette@cabq.gov>

Cc: Chen, Tiequan <tchen@cabq.gov>

Subject: RE: Sensitive Lands Analysis

Jackie,

This is an excellent sensitive lands analysis.

As you do not note any sensitive lands, Hydrology can proceed with signing your form.

From: Jackie Fishman <fishman@consensusplanning.com>

Sent: Wednesday, June 26, 2024 4:21 PM

To: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Wolfley, Jolene <jwolfley@cabq.gov>

Subject: Sensitive Lands Analysis

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good afternoon –

I have attached our sensitive lands analysis for the property described as Tract 4 Row 1 SO UNIT B West of Westland AKA LT 4 Block 1 Lands of Town Atrisco and Tract 69 AKA Tract 3 Row 1 SO UNIT B W of Westland AKA LOT 3 Block 1 Lands of Town. It's at the southwest corner of 98th and Central Avenue, and recently was the subject of a zone change to NR-LM. We will be submitting a Site Plan-Administrative to DFT in a few weeks. My understanding is the new rule is to submit our sensitive lands analysis before the DFT submittal for the site plan, that it gets approved/acknowledged independently, and City Hydrology won't sign a SP form without this step.

Please let me know if you need anything else.

Thanks,

Jacqueline Fishman, AICP

Principal

Consensus Planning, Inc.

302 Eighth Street NW

Albuquerque, NM 87102

P: 505.764.9801

Memorandum

To: City of Albuquerque Planning Department

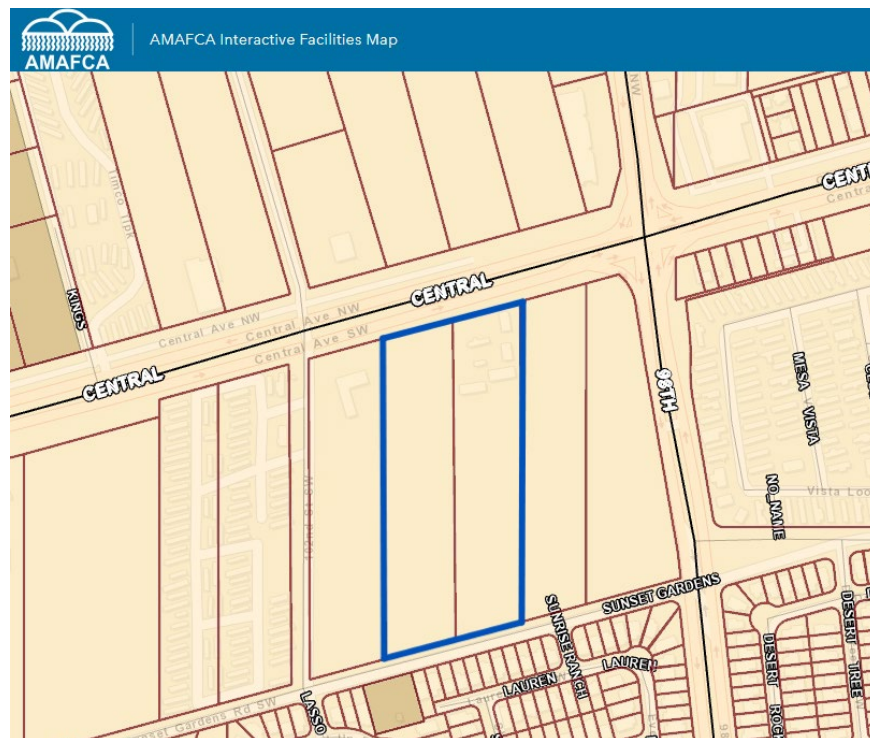
From: Jacqueline Fishman, AICP, Vice-President

Date: 6/26/2024

Re: Sensitive Lands Analysis for 10100 Central Avenue SW

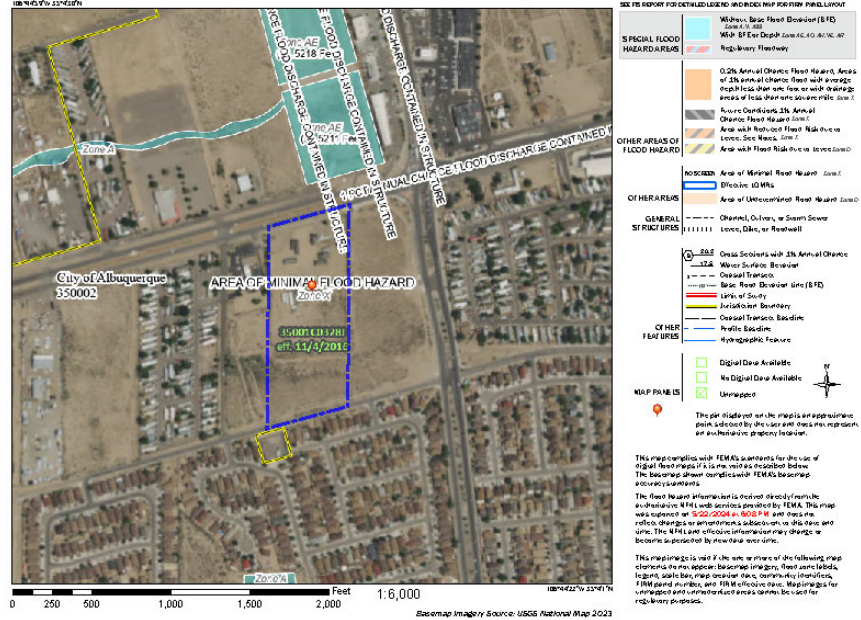
This memo responds to the Sensitive Lands criteria in IDO Section 14-16-5-2. The subject property is legally described as *Tract 4 Row 1 SO UNIT B West of Westland AKA LT 4 Block 1 Lands of Town Atrisco and Tract 69 AKA Tract 3 Row 1 SO UNIT B W of Westland AKA LOT 3 Block 1 Lands of Town*. We have analyzed the project site for the presence of sensitive lands and any constraints related to such lands, and have determined there are no sensitive lands present on this property.

1. **Arroyos:** Using data provided by AMAFCA Interactive Facility Map there are no arroyos or drainage facilities located on the site. The image below shows the subject site outlined in blue.



2. **Floodplains and Special Flood Hazard Areas:** Data provided from FEMA's National Flood Hazard Layer Viewer shows the subject site is within an unshaded Flood Zone X. Unshaded Flood Zone X is described as an area of minimal flooding. It is outside of the 500-year flood zone and protected by levees from the 100-year flood.

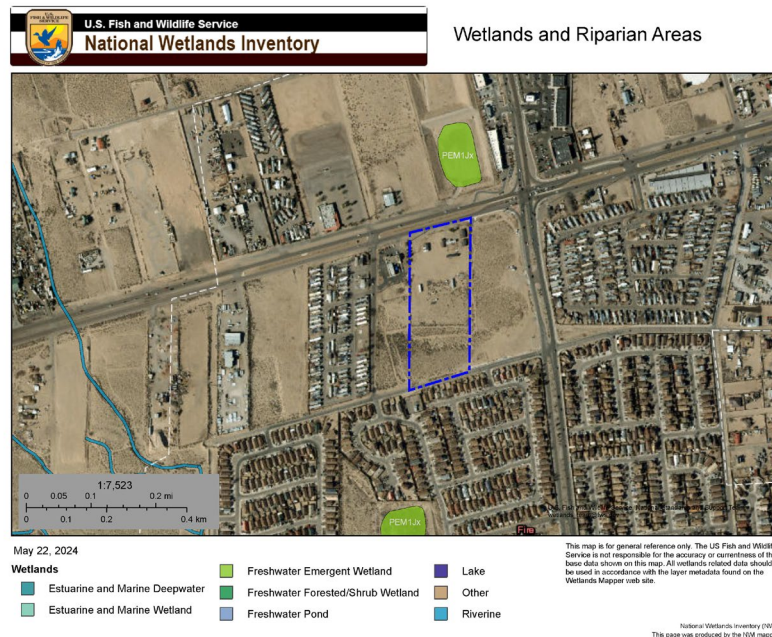
National Flood Hazard Layer FIRMette



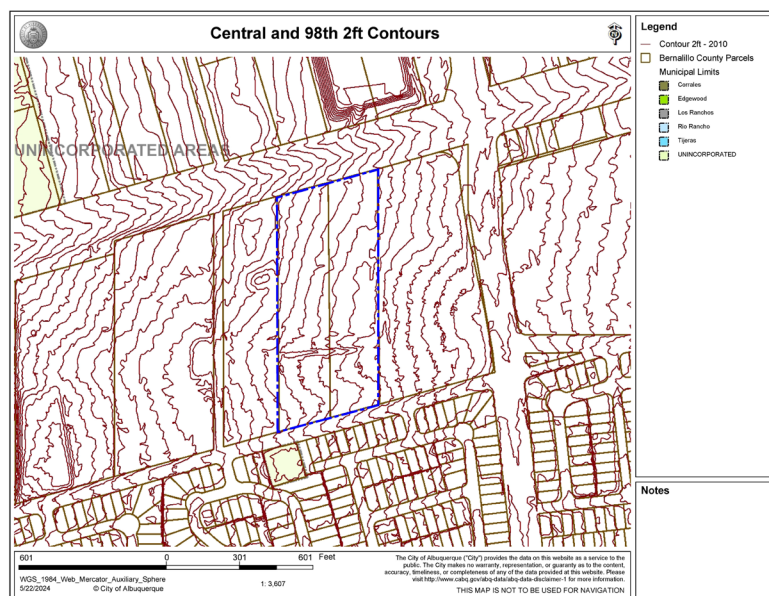
- Irrigation facilities (acequias):** The MRGCD Data Viewer indicates the subject site is not within MRGCD district boundary nor are there any acequias in the Southwest Mesa.
- Large stands of mature trees:** There are no large stands of mature trees on the parcel. This image is looking south at the property from Central Avenue.



- Riparian areas:** Data provided by the National Wetlands Inventory Interactive Map shows that the subject site is not within a riparian area.



- Rock outcroppings:** There are no rock outcroppings on the subject site (see photo on previous page).
- Significant archaeological sites:** The subject site has been analyzed by the City of Albuquerque staff archaeologist who signed a Certificate of No Effect.
- Steep slopes and escarpments:** The 2-foot contour layer provided by the Advanced Map Viewer indicates that the subject site has limited slopes and is relatively flat. The map below depicts the subject site outlined in blue.



- Wetlands:** Data provided by the National Wetlands Inventory Interactive Map shows the subject site is not within a riparian area (see map above, this page).

SUPPORTIVE DOCUMENTATION

December 21, 2023

David Shaffer, Chair
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

RE: Property Owner Letter of Authorization

Dear Mr. Chair:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as the agent for applicant, Sun Lasso Energy Center LLC, for all matters related to the request for a Zone Map Amendment and Site Plan for an 8.88-acre property located at 10100 Central Avenue SW. The property is legally described as follows:

- Tract 4 Row 1 SO UNIT B West of Westland AKA LT 4 Block 1 Lands of Town Atrisco; and
- Tract 69 AKA Tract 3 Row 1 SO UNIT B W of Westland AKA LOT 3 Block 1 Lands of Town

Sincerely,

A handwritten signature in black ink, appearing to read 'Richard A Mendez', written over a faint, illegible stamp.

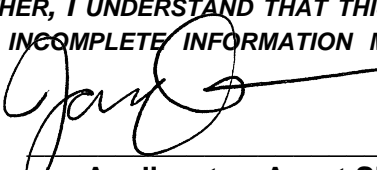
Richard A Mendez
Property Owner

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 7/15/2024

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- N/A B. Square footage of each structure
- C. Proposed use of each structure
- N/A D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- N/A G. Loading facilities
- N/A H. Site lighting (indicate height & fixture type)
- N/A I. Indicate structures within 20 feet of site
- N/A J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- N/A Parking layout with spaces numbered per aisle and totaled.
 - N/A 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - N/A 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - N/A 3. On street parking spaces
- N/A B. Bicycle parking & facilities
 - N/A 1. Bicycle racks – location and detail
 - N/A 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - N/A 4. Location & orientation of refuse enclosure, with dimensions
 - N/A 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - N/A A. Existing, indicating whether it is to be preserved or removed.
 - N/A B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- N/A 9. Planting Beds, indicating square footage of each bed
- N/A 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- N/A 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- N/A 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- N/A 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - N/A 3. Location, material and colors of windows, doors and framing
 - N/A 4. Materials and colors of all building elements and structures
 - N/A 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- N/A 1. Site location(s)
- N/A 2. Sign elevations to scale
- N/A 3. Dimensions, including height and width
- N/A 4. Sign face area - dimensions and square footage clearly indicated
- N/A 5. Lighting
- N/A 6. Materials and colors for sign face and structural elements.
- N/A 7. List the sign restrictions per the IDO



July 15, 2024

Jolene Wolfley, Chair
Development Facilitation Team (DFT)
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

RE: Site Plan Administration; Sun Lasso @ 10100 Central Avenue, SW

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Madam Chair:

The purpose of this letter is to request approval of a Site Plan-Administrative for 10100 Central Avenue SW, zoned NR-LM (Non-Residential – Light Manufacturing). The subject property is legally described as *Tract 4 Row 1 SO UNIT B West of Westland AKA LT 4 Block 1 Lands of Town Atrisco and Tract 69 AKA Tract 3 Row 1 SO UNIT B W of Westland AKA LOT 3 Block 1 Lands of Town* and contains a total of approximately 8.9 acres. The subject property is located between Central Avenue and Sunset Gardens Road and between 98th Street and 102nd Street and was recently rezoned by the Environmental Planning Commission from NR-C to NR-LM (PR-2024-009768/RZ-2024-0003).



Subject property.

PROJECT DESCRIPTION

The Applicant proposes to develop the site for the construction of a utility-scale battery energy storage system (BESS). The proposed battery storage facility is intended provide support to the power grid in the Southwest Mesa community. Given the size of the property and the overall square footage of the battery storage units, a Site Plan-Administrative is required to be reviewed and approved by the Development Facilitation Team (DFT). A later phase to be completed by others will include Major Amendment for a future PNM substation at the south end of the subject property. The subject property is currently comprised of two lots and a

PRINCIPALS

James K. Strozier, FAICP
Jacqueline Fishman, AICP

ASSOCIATES

Ken Romig, PLA, ASLA



Preliminary Plat to reconfigure the lots was submitted to the Development Hearing Officer (DHO) by Bohannan Huston, Sun Lasso's project engineer.

The subject property is located within the Southwest Mesa Planning Area and in an Area of Change. Adjacent zoning includes NR-C zoned property to the east and west, NR-C to the north, and R-1A to the south.

6-5(G)(3) REVIEW and DECISION CRITERIA

An application for Site Plan-Administrative shall be approved if it meets all of the following criteria.

6-5(G)(3)(a): The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Applicant Response: *The Site Plan complies with all applicable standards related to the subject property. The proposed battery energy storage system use is permissive in the NR-LM zone and the Site Plan has been designed in accordance with all applicable standards in the IDO and DPM. Per the Declaratory Ruling by James Aranda, Zoning Enforcement Officer, on January 31, 2022, battery storage is currently classified as Electric Utility and is subject to the Use-Specific Standards in IDO Section 4-3(E)(8) Electric Utility:*

“The Use-Specific Standard for Electric Utilities, IDO Subsection 14-16-4-3(E)(8)(e), states in regard to battery storage facilities: “All uses and associated facilities shall be subject to the terms and conditions in the Facility Plan for Electric System Transmission and Generation, as amended, except that battery storage facilities are not considered electric generation facilities and may be a primary activity in association with the electric utility use in the NR-BP, NRLM, and NR-GM zone districts.” – James Aranda

While battery storage is not a listed use in Table 4-2-1 within the IDO July 2023 version, the City Council recently approved amendments to the IDO, which added Section 4-3(E)(9) Energy Storage System. The Site Plan shows calls out a 12-foot, opaque, perimeter wall with a 10-foot offset from the property lines to allow for a landscape buffer with 1 tree per 25 feet, except where there is a conflict with utility easements. A 26-foot internal roadway encircles the site with the majority of the battery storage units within the center of the site. Two driveways from Central Avenue provide primary access and one driveway from Sunset Gardens provides access to the future PNM substation at the south end of the property, which will be developed in a future phase by others. All three access points will be gated and locked. There will be no employees at the subject property and there are no occupiable buildings proposed.

6-5(G)(3)(b): The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.

Applicant Response: *The Applicant has prepared and obtained approval of a Traffic Circulation Layout plan from City Transportation; a Conceptual Grading*



and Drainage Plan from City Hydrology; a Fire 1 Plan from Albuquerque Fire Rescue; and a Service Availability letter from ABCWUA – documentation of these approvals have been provided as part of this submittal to the DFT. Approval of the Site Plan by Solid Waste is not applicable as there will not be waste generated at this site. The Applicant has also prepared and attached an Infrastructure Improvements Agreement, which covers sidewalks along Central Avenue and Sunset Garden Road; standard curb and gutter for both roadways; driveway entrances on Central Avenue; asphalt paving for a ½ section of Sunset Garden Road; and a fire hydrant.

6-5(G)(3)(c): If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.

Applicant Response: *The subject property is not within an approved Master Development Plan.*

6-5(G)(3)(d): If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

Applicant Response: The subject property is not within an approved Framework Plan.

Conclusion

On behalf of Sun Lasso Energy Center, LLC., we respectfully request that the DFT review and approve the proposed Site Plan-Administrative for a battery storage facility within the NR-LM zone. Thank you for your consideration.

Sincerely

Jacqueline Fishman, AICP
Principal

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
ADMINISTRATION
600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102
Tel: (505) 924-3339



INTER-OFFICE MEMORANDUM

January 31, 2022

TO: Alan M. Varela, Interim Planning Director

FROM: James M. Aranda, Deputy Director and Zoning Enforcement Officer (ZEO)

SUBJECT: Declaratory Ruling regarding Battery Electric Storage Facilities

Consensus Planning has made a request for a Declaratory Ruling regarding the allowed use status approval process for Battery Electric Storage Facilities pursuant to the Integrated Development Ordinance (IDO).

BACKGROUND

Consensus Planning is the agent for the developer of a proposed standalone Battery Electric Storage System (BESS) project, referred to in this Declaratory Ruling as Battery Electric Storage Facilities—to be located at 7800 and 7850 Jacs Lane NE. The subject property is zoned NR-GM (Non-residential, General Manufacturing) and is not subject to any Overlay Zones or other Small Area standards. A PRT review was conducted on April 16, 2021 (PA# 21-049) and a sketch plat review and comment on June 30, 2021 (PR-2021-005627).

The purpose of this Declaratory Ruling request is to confirm the interpretations, IDO amendments, and other discussions the applicant has had since these original reviews and provide concrete direction for the current Battery Electric Storage Facility project, as well as any future BESS projects that may be developed under the current IDO definitions and procedures.

DEFINITIONS

IDO Section 14-16-7-1, Definitions, Electric Utility: A facility used or designed to provide electricity services to the city or part of the city that is regulated as a public utility by the New Mexico Public Regulation Commission. Back-up generators and battery storage are incidental to this use. See also *Geothermal Energy Generation*, *Major Utility*, *Solar Energy Generation*, and *Wind Energy Generation*.

IDO Section 14-16-7-1, Definitions, Major Utility: A facility sized or designed to serve the entire city, or a wide area of the city, and regulated as a public utility or common carrier by the State or other relevant jurisdiction or agency, including but not limited to major telephone facilities, natural gas facilities, water treatment plants, sewage treatment plants, and similar public services, but not including mass transit or railroad depots or terminals or any similar traffic generating activity, any facility that provides wireless telecommunications services to the public, or any use listed separately in Table 4-2-1. See also *Drainage Facility*, *Electric Utility*, and *Major Public Infrastructure*.

IDO Section 14-16-7-1, Definitions, Utility: See *Drainage Facility*, *Electric Utility*, *Major Public Infrastructure*, and *Major Utility*.

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT ADMINISTRATION

600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102
Tel: (505) 924-3339



ANALYSIS

“Battery storage” is not a listed use in IDO Table 4-2-1. However, “Battery Storage” is listed in IDO Part 7 definitions as “incidental” to several listed uses, including: Electric Utility, Geothermal Energy Generation, Solar Energy Generation, and Wind Energy Generation.

In conducting a thorough review of the provisions, defined land uses, and definitions contained in the Integrated Development Ordinance, 2010 Electric System Transmission and Generation Facility Plan, and common language definitions and descriptions of battery electric storage facilities, it has been determined that the IDO-defined and regulated use that is most similar to battery electric storage facilities in terms of function, operation, and impacts on surrounding property is Electric Utility.

The Use-Specific Standard for Electric Utilities, IDO Subsection 14-16-4-3(E)(8)(e), states in regard to battery storage facilities: *“All uses and associated facilities shall be subject to the terms and conditions in the Facility Plan for Electric System Transmission and Generation, as amended, except that battery storage facilities are not considered electric generation facilities and may be a primary activity in association with the electric utility use in the NR-BP, NRLM, and NR-GM zone districts.”*

The language as constructed in IDO Subsection 14-16-4-3(E)(8)(e) clearly considers battery electric storage facilities as uses that are distinct from electric generation facilities. The referenced subsection also considers Battery Electric Storage Facilities as primary activities in association with the overall electric utility use. This standard also provides for standalone battery storage facilities to be a primary use when associated with an electric utility use and is a permissive use in the NR-BP, NR-LM, and NR-GM zone districts.

The second purpose of this Declaratory Ruling is to determine the appropriate Site Plan review process in accordance with IDO Part 14-16-6 Administration and Enforcement. Prior to the 2020 IDO Annual Update, all electric utility approvals were approved per the 2010 Electric System Facility Plan. With new technologies and projects being proposed that further the region’s renewable energy goals, the IDO was updated to allow for more administrative approvals for electric utility uses. As a result of those IDO changes, Battery Electric Storage Facilities are not considered electric generation facilities, and are no longer subject to the approval processes as prescribed in Table I and II of the 2010 Electric System Facility Plan.

IDO Section 14-16-6-5(G) Site Plan – Administrative, provides for administrative approvals for certain types of projects, regardless of size, based on use or zoning, if the use meets one of two criteria. The allowance for administrative approval contained in IDO 14-16-6-5(G)(1)(e) states, in part:

- 6-5(G)(1)(e) This Subsection 14-16-6-5(F) applies to any development that meets any of the thresholds in Subsections 1 or 2 below:
2. Any of the following:
 - d. All electric utilities except Electric Generation Facilities, as defined by the Facility Plan for Electric System Transmission and Generation, as amended, which require a Site Plan – DRB pursuant to Subsection 14-16-6-6(I).

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
ADMINISTRATION
600 2nd Street NW, 3rd Floor
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As previously established in IDO 14-16-4-3(E)(8)(e) and clarified in this Declaratory Ruling, Battery Electric Storage Facilities are not considered electric generation facilities. Therefore, standalone Battery Electric Storage Facilities are subject to Site Plan – Administrative review and approval pursuant to the criteria and procedures in IDO Section 6-5(G) Site Plan – Administrative.

CONCLUSION

It is my official determination as ZEO that Battery Electric Storage Facilities—also referred to as BESS—are considered an Electric Utility land use under the IDO. In making this determination, Battery Electric Storage Facilities are subject to all Electric Utility Use-Specific Standards in IDO Subsection 14-16-4-3(E)(8), as well as all applicable Development Standards in Part 5 of the IDO – specifically all edge buffer landscaping requirements included in IDO Section 14-16-5-6(E). Standalone Battery Electric Storage Facilities are subject to Site Plan – Administrative review and approval pursuant to the criteria and procedures in IDO Section 6-5(G) Site Plan – Administrative.

Respectfully,

A handwritten signature in black ink that reads "J.M. Aranda".

James M. Aranda, MCRP
Deputy Director and Zoning Enforcement Officer
Albuquerque Planning Department



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: April 17, 2024

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2024-009768, SI-2024-00544
Agent: Consensus Planning, Inc.
Applicant: Sun Lasso Energy Center LLC
Legal Description: Tract 3 and 4 Block 1 UNIT B West of Westland, Lands of Town Atrisco
Zoning: NR-LM
Acreage: 8.88 acres
Zone Atlas Page(s): L-8-Z and L-9-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Historic Google Earth Images, City of Albuquerque historic aerial viewer, NMCRIS records

SITE VISIT: n/a

RECOMMENDATIONS:

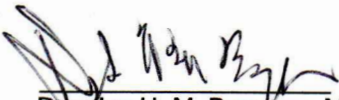
The property appears to have been disturbed by prior development by 1986, with most of it bladed clear and other disturbances visible to the south of the bladed area. NMCRIS 7006 and 147694 may have covered the frontage on Central, with no discoveries.

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services


Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

4-17-2024

PUBLIC NOTICE DOCUMENTATION

DFT SIGN POSTING AGREEMENT – A PUBLIC NOTICE REQUIREMENT

All development applications are required to complete public notice under the Integrated Development Ordinance, Section 6-1, Table 6-1-1. <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1> All applicants are obligated to satisfy all of the public notice requirements, i.e., sending email notifications, mailing notices, and posting signage on the subject property. **This form covers posting signs.** Adherence to sign posting requirements will inform the public of a proposed project and relevant project details.

Signs should be picked up at the Development Review Services office, located at 600 2nd St in the Plaza Del Sol building. Signs are available upon the acceptance of the application. The cost for the signs is included in the project application fee. It is critical that the signs be prominently located and clearly visible without any obstructions from each street frontage.

Applicants are responsible to maintain posting from time of application through the appeal period (15 days following a final decision on the application). Signs must be posted within 3 days of application acceptance and remain for at least 15 days. Evidence of the sign posting must also be provided within 3 days. In addition, applicants must ensure that required signs are in place during the 15-day appeal period after the project approval. Evidence of posting includes: Time stamped photographs of the sign at the location must be submitted as a supplement to the application.

Failure to install or replace the signs during the required timeframe may result in your application being deferred.

LOCATION

- A. The sign shall be conspicuously located, i.e, within twenty feet of the public sidewalk (or edge of a street).
- B. The face of the sign shall be parallel to the street.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

NUMBER

- A. One sign shall be posted on each street frontage.
- B. If the land does not abut a public street, a sign shall be placed at the edge of the public right-of-way of the nearest paved street, in addition to the sign placed on the property.

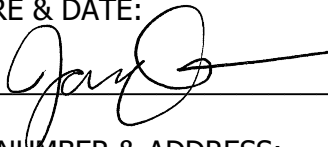
PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

I have read and understand all of the public notice requirements. By my signature, I acknowledge that: I understand (A) I have read the sign posting requirements; (B) I understand my obligation to keep the signs posted for (15) days at the time of application, and (15) days after application approval, (C) where/how the sign(s) should be posted, and (D) agree to provide evidence of posting.

I further certify that the required public notice signs were posted per the instructions above.

SIGNATURE & DATE:



7/15/2024

PROJECT NUMBER & ADDRESS:

From: Office of Neighborhood Coordination
To: Avoni Oyemuga
Subject: 10100 CENTRAL AVE SW _ Neighborhood Meeting Inquiry Sheet Submission
Date: Wednesday, May 1, 2024 4:25:41 PM
Attachments: image001.png
IDOZoneAtlasPage_1-08-281-09-7.pdf

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone
Route 66 West NA	Cherise	Quezada	cherquezada@yahoo.com	10304 Paso Fino Place SW	Albuquerque	NM	87121	5052631178
Route 66 West NA	Paul	Fava	paulfava@gmail.com	505 Parnelli Drive SW	Albuquerque	NM	87121	5053853202
South West Alliance of Neighborhoods (SWAN Coalition)	Geraldine	Ulibarri	gerulibbarri1@gmail.com	9009 Starboard NW	Albuquerque	NM	87121	5059076851
South West Alliance of Neighborhoods (SWAN Coalition)	Lorenzo	Otero	housealbchrome@gmail.com	1413 Hilda Ct NW	Albuquerque	NM	87105	

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application: <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Wednesday, May 1, 2024 2:50 PM
To: Office of Neighborhood Coordination <oyemuga@consensusplanning.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Development Facilitation Team
Contact Name
Ayoni Oyenuga
Telephone Number
505-764-9801
Email Address
oyenuga@consensusplanning.com
Company Name
Consensus Planning, Inc
Company Address
302 8th Street NW
City
Albuquerque
State
NM
ZIP
87102

Legal description of the subject site for this project:
TR 69 AKA TR 3 ROW 1 SO UNIT B W OF WESTLAND AKA LOT 3 BLK 1 LANDS OF TWN

TR 4 ROW 1 SO UNIT B WEST OF WESTLAND AKA LT 4 BLK 1 LANDS OF TWN ATRISCO

Physical address of subject site:
10100 CENTRAL AVE SW ALBUQUERQUE NM 87121

Subject site cross streets:
Central and 98th Street SW

Other subject site identifiers:
This site is located on the following zone atlas page:
L-08-Z AND L-09-Z

Captcha
x

Ayoni Oyenuga

From: Ayoni Oyenuga
Sent: Friday, May 3, 2024 12:49 PM
To: cherquezada@yahoo.com; paulfava@gmail.com; gerulibbarri1@gmail.com; housealbchrome@gmail.com
Cc: Jackie Fishman
Subject: Pre-submittal Notice
Attachments: Pre-submittal Packet.pdf

Tracking:	Recipient	Delivery
	cherquezada@yahoo.com	
	paulfava@gmail.com	
	gerulibbarri1@gmail.com	
	housealbchrome@gmail.com	
	Jackie Fishman	Delivered: 5/3/2024 12:50 PM

Dear Neighbors,

Consensus Planning is preparing a Site Plan application for a battery storage facility on behalf of Sun Lasso Energy Center LLC. The site will have a solid opaque wall and landscaping outside of the wall. The application will be reviewed by the City of Albuquerque Development Facilitation Team (DFT). The property is located at 10100 Central Avenue SW and is legally described as *Tract 4 Row 1 SO UNIT B West of Westland AKA LT 4 Block 1 Lands of Town Atrisco and Tract 69 AKA Tract 3 Row 1 SO UNIT B W of Westland AKA LOT 3 Block 1 Lands of Town.*

In compliance with IDO requirements, we are offering a neighborhood meeting to discuss project details. Should you desire a meeting, please do not hesitate to email Ayoni Oyenuga at oyenuga@consensusplanning.com or Jacqueline Fishman at fishman@consensusplanning.com or contact us by phone at (505) 764-9801. Per the IDO, you have 15 days or until May 18, 2024, to request a meeting.

Attachments: Neighborhood Association Pre-Submittal Packet.

Sincerely,

Ayoni Oyenuga
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:
Application Type: Site-Plan Administrative
Decision-making Body: Development Facilitation Team
Pre-Application meeting required: [] Yes [x] No
Neighborhood meeting required: [x] Yes [] No
Mailed Notice required: [] Yes [x] No Not for pre-submittal notification
Electronic Mail required: [x] Yes [] No
Is this a Site Plan Application: [x] Yes [] No Note: if yes, see second page
PART II - DETAILS OF REQUEST
Address of property listed in application: 10100 Central Avenue SW
Name of property owner: Mendez Richard A
Name of applicant: Sun Lasso Energy Center LLC
Date, time, and place of public meeting or hearing, if applicable:
N/A - Not yet known
Address, phone number, or website for additional information:
Jacqueline Fishman, Consensus Planning - fishman@consensusplanning.com (505) 764-9801
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE
[x] Zone Atlas page indicating subject property.
[x] Drawings, elevations, or other illustrations of this request.
N/A Summary of pre-submittal neighborhood meeting, if applicable.
[x] Summary of request, including explanations of deviations, variances, or waivers.
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO
SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO).
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON
APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

[Handwritten signature]

(Applicant signature) 05/03/2024 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas. Location of proposed battery units.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations. Height of proposed battery units.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: _____

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: _____

Name of NA Representative*: _____

Email Address* or Mailing Address* of NA Representative¹: _____

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: _____

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Applicant* [if applicable] _____
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Site Plan

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

Other: _____

Summary of project/request^{3*}:

5. This application will be decided administratively by the Development Facilitation Team (DFT)

Application materials: <https://www.cabq.gov/planning/development-review-services/site-plan-admin-dft>

To contact staff, email PLNDRS@cabq.gov or call the Planning Department at 505-924-3946.

6. Where more information about the project can be found^{4*}:

Please contact Ayoni Oyenuga at oyenuga@consensusplanning.com,
Jacqueline Fishman at fishman@consensusplanning.com or 505-764-9801

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{5*} _____

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards will be requested for this project^{*}:

Deviation(s) Variance(s) Waiver(s) **None requested**

Explanation:

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

N/A d. **For residential development***: Maximum number of proposed dwelling units.

N/A e. **For non-residential development***:

- Total gross floor area of proposed project.
- Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:

- a. Area of Property [typically in acres] _____
- b. IDO Zone District _____
- c. Overlay Zone(s) [if applicable] _____
- d. Center or Corridor Area [if applicable] _____

2. Current Land Use(s) [vacant, if none] _____

Useful Links

Integrated Development Ordinance (IDO):

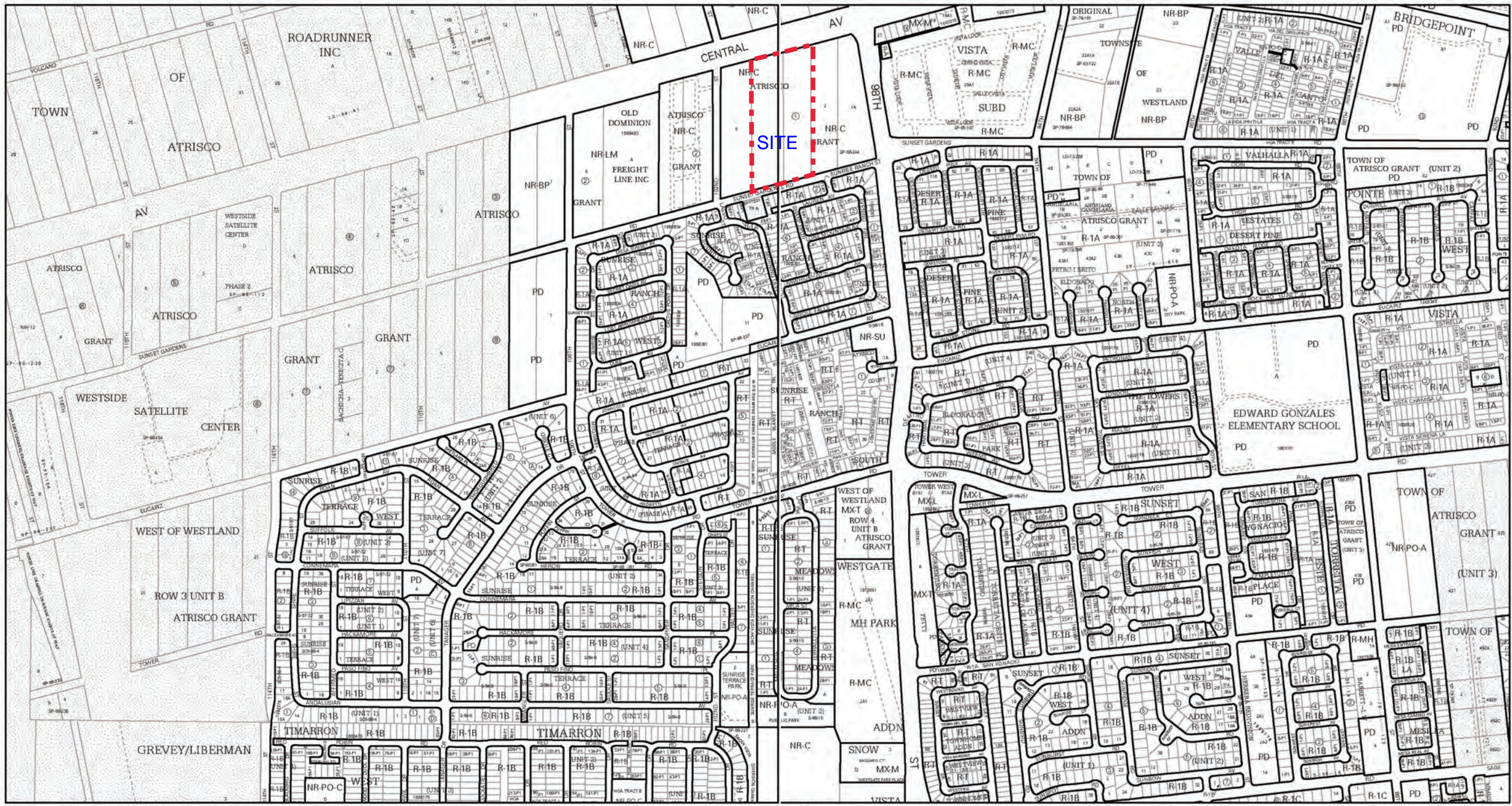
<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas
May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page: **L-08-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

IDO Zone Atlas
May 2018

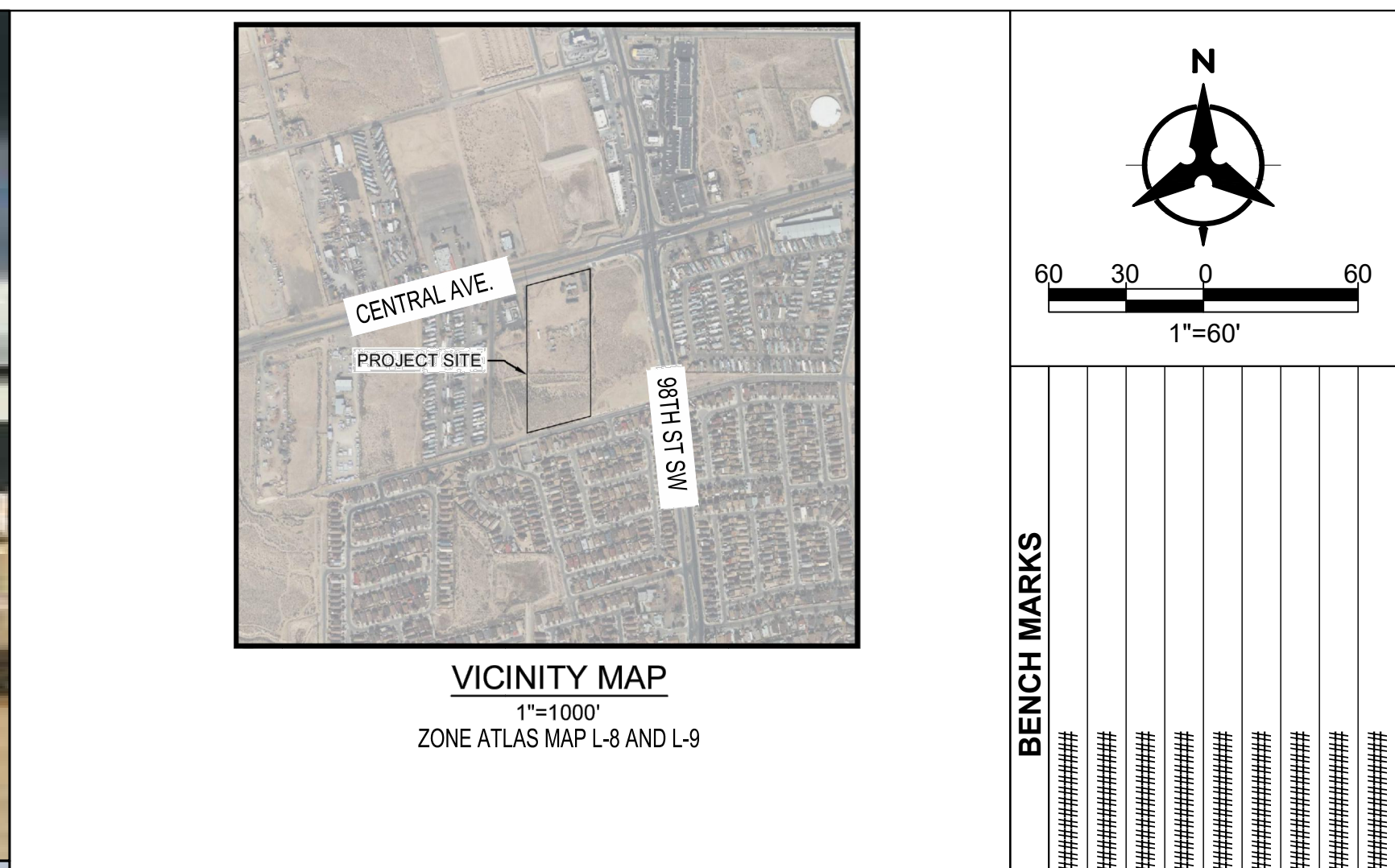
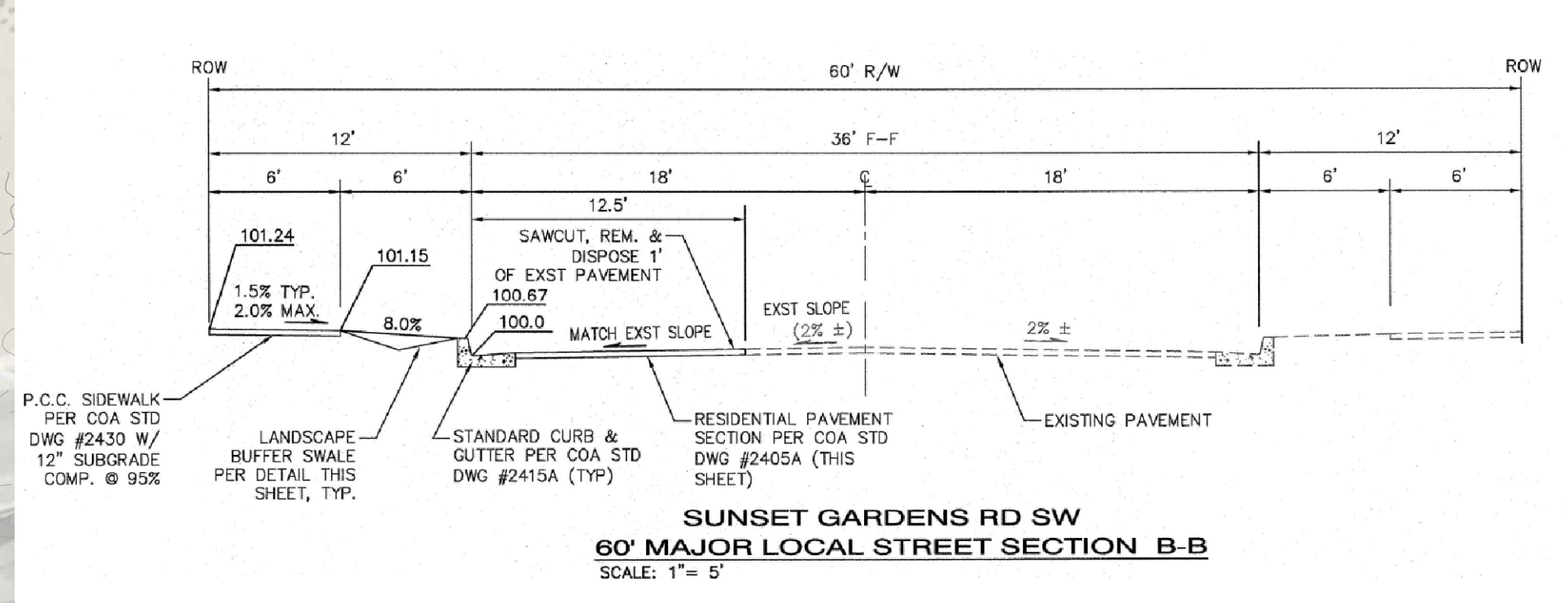
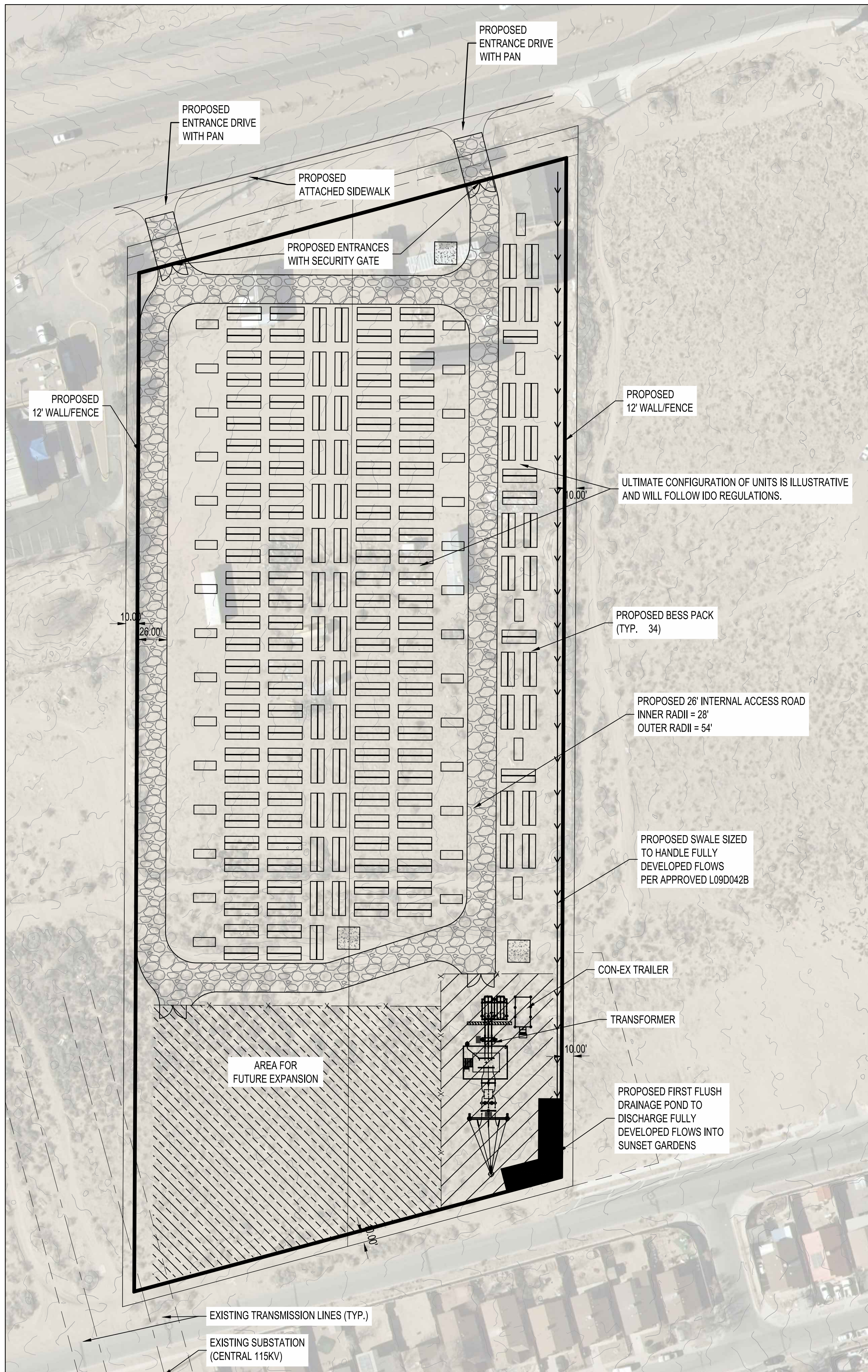
Zoning information as of May 17, 2018
Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page: **L-09-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet



LEGEND:

PARCEL BOUNDARY

PROJECT BOUNDARY

24' INTERNAL ROAD

PROPOSED WALL/FENCE

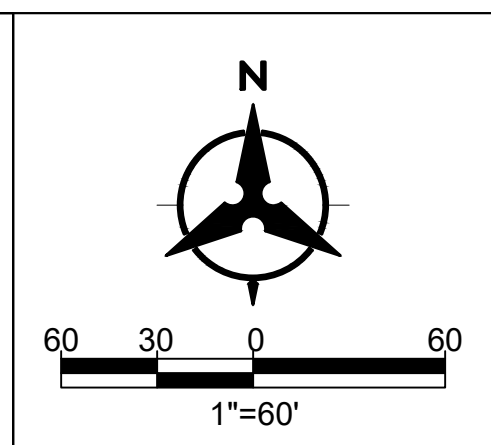
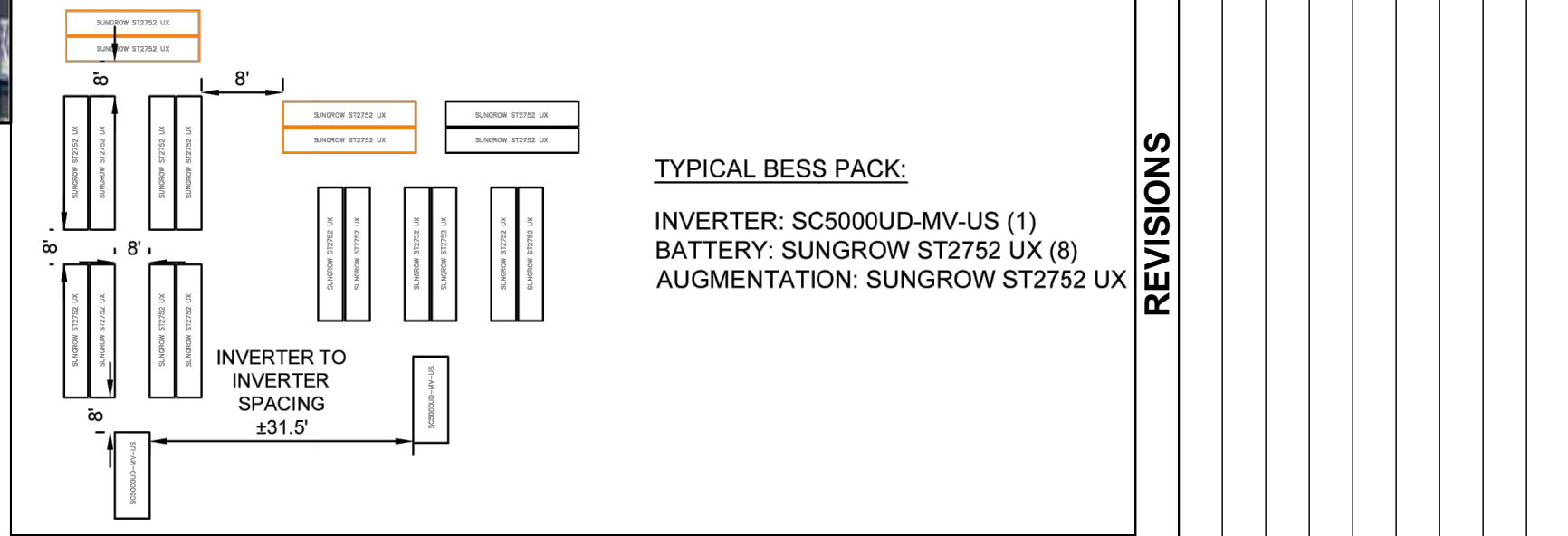
ASSUMED SETBACK

SUBSTATION LOCATION

QUANTITIES:

PROJECT BOUNDARY	10.38 AC
ROAD	53,124 SF
PROPOSED WALL/FENCE	3,110 LF
26' WIDE ACCESS GATES	4 EA

- NOTES:**
- EQUIPMENT QUANTITIES, LOCATIONS AND LAYOUTS SHOWN ARE INDICATIVE AND SUBJECT TO CHANGE DURING DETAILED DESIGN.
 - SIZE OF CAPACITOR BANK ESTIMATED ASSUMING REQUIRED PF OF 0.95 AT POI.
 - SITE SPECIFIC FEATURES SUCH AS RETENTION PONDS AND DRAINAGE SHOWN FOR SCHEMATIC PURPOSES AND IS SUBJECT TO CHANGE DURING DETAILED DESIGN.
 - SPACE FOR AUGMENTATION CONTAINERS CAN BE USED FOR LAYDOWN DURING INITIAL CONSTRUCTION.
 - SYSTEM SIZED FOR SELF FEEDING AUX POWER DURING DISCHARGE.
 - THE TALLEST STRUCTURE IN THE PROJECT SUBSTATION WOULD BE THE H OR A FRAME APPROXIMATELY 40-50 FEET.



BENCH MARKS

###	###	###	###	###	###	###	###	###	###
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ENGINEER'S SEAL

FOR REVIEW ONLY

May 1, 2024

AS-BUILT INFORMATION

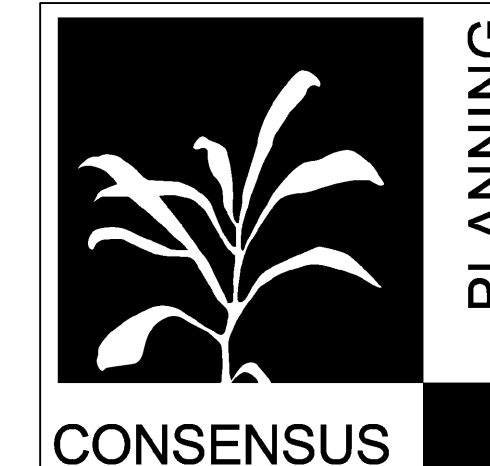
CONTRACTOR	DATE	WORK STAMPED BY	DATE	INSPECTORS ACCEPTANCE BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

REVISIONS

NO.	DATE	BY

AYPA A BLACKSTONE PORTFOLIO COMPANY

Bohannon & Huston
www.bhinc.com 800.877.5332



AYPA POWER, LLC.
CENTRAL BESS SKETCH PLAN
04-25-2024

BHI PROJECT NO.	20240437	DWG NO.	1	SHEET	1	OF	1
-----------------	----------	---------	---	-------	---	----	---

Ayoni Oyenuga

From: Microsoft Outlook
<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>
To: paulfava@gmail.com; gerulibbarri1@gmail.com; housealbchrome@gmail.com
Sent: Friday, May 3, 2024 12:50 PM
Subject: Relayed: Pre-submittal Notice

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

paulfava@gmail.com (paulfava@gmail.com)

gerulibbarri1@gmail.com (gerulibbarri1@gmail.com)

housealbchrome@gmail.com (housealbchrome@gmail.com)

Subject: Pre-submittal Notice



Pre-submittal
Notice

Ayoni Oyenuga

From: Microsoft Outlook
<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>
To: cherquezada@yahoo.com
Sent: Friday, May 3, 2024 12:50 PM
Subject: Relayed: Pre-submittal Notice

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

cherquezada@yahoo.com (cherquezada@yahoo.com)

Subject: Pre-submittal Notice



Pre-submittal
Notice

From: Office of Neighborhood Coordination
To: Ayoni Oyenuga
Subject: 10100 CENTRAL AVE SW _Public Notice Inquiry Sheet Submission
Date: Wednesday, May 29, 2024 9:46:20 AM
Attachments: image001.png
 IDOZoneAtlasPage_1-08-7&L-09-7.pdf

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Route 66 West NA	Cherise	Quezada	cherquezada@yahoo.com	10304 Paso Fino Place SW	Albuquerque	NM	87121	5052631178	
Route 66 West NA	Paul	Fava	paulfava@gmail.com	505 Parnelli Drive SW	Albuquerque	NM	87121	5053853202	
South West Alliance of Neighborhoods (SWAN Coalition)	Geraldine	Ulibarri	gerulbarri1@gmail.com	9009 Starboard NW	Albuquerque	NM	87121	5059076851	
South West Alliance of Neighborhoods (SWAN Coalition)	Lorenzo	Otero	housealochrome@gmail.com	1413 Hilda Ct NW	Albuquerque	NM	87105		5053851251

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores
 Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
 (505) 768-3334 Office
 E-mail: suzannaflorres@cabq.gov
 Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Tuesday, May 28, 2024 5:29 PM
To: Office of Neighborhood Coordination <oyenuga@consensusplanning.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:
 Other (please specify in field below)
 If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:
 Development Facilitation Team
 Contact Name
 Ayoni Oyenuga
 Telephone Number
 505-764-9801
 Email Address
oyenuga@consensusplanning.com
 Company Name
 Consensus Planning, Inc
 Company Address

City 302 8th Street NW

State Albuquerque

ZIP NM

87102

Legal description of the subject site for this project:

TR 69 AKA TR 3 ROW 1 SO UNIT B W OF WESTLAND AKA LOT 3 BLK 1 LANDS OF TWN

TR 4 ROW 1 SO UNIT B WEST OF WESTLAND AKA LT 4 BLK 1 LANDS OF TWN ATRISCO

Physical address of subject site:

10100 CENTRAL AVE SW ALBUQUERQUE NM 87121

Subject site cross streets:

Central and 98th Street SW

Other subject site identifiers:

This site is located on the following zone atlas page:

L-08-Z AND L-09-Z

Captcha
x



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:
Application Type:
Decision-making Body:
Pre-Application meeting required: [] Yes [] No
Neighborhood meeting required: [] Yes [] No
Mailed Notice required: [] Yes [] No
Electronic Mail required: [] Yes [] No
Is this a Site Plan Application: [] Yes [] No Note: if yes, see second page
PART II - DETAILS OF REQUEST
Address of property listed in application:
Name of property owner:
Name of applicant:
Date, time, and place of public meeting or hearing, if applicable:
Address, phone number, or website for additional information:
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE
[] Zone Atlas page indicating subject property.
[] Drawings, elevations, or other illustrations of this request.
[] Summary of pre-submittal neighborhood meeting, if applicable. Not Applicable
[] Summary of request, including explanations of deviations, variances, or waivers.
IMPORTANT:
PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO IDO §14-16-6-4(K).
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

[Signature] (Applicant signature) _____ (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO §14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN & LC APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units. **Not Applicable**
- e. For non-residential development: **Not Applicable**
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

Notificación de Acceso Lingüístico.
Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: 7/15/2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA) *: Route 66 West, Southwest Alliance of Neighborhoods

Name of NA Representative*: Cherise Quezada, Paul Fava, Geraldine Ulibarri, Lorenzo Otero

Email Address* or Mailing Address* of NA Representative¹: cherquezada@yahoo.com; paulfava@gmail.com
gerulibbarri1@gmail.com
housealbchrome@gmail.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 10100 Central Avenue SW
Location Description Central Ave and 98th Street SW
2. Property Owner* Richard A Mendez
3. Agent/Applicant* [if applicable] Jacqueline Fishman
4. Application(s) Type* per IDO [Table 6-1-1](#)
 - Historic Certificate of Appropriateness – Minor
 - Sign Permit
 - Alternative Signage Plan
 - Wall/Fence Permit
 - Site Plan – Administrative²

Summary of project/request*:

Site Plan-Administrative for battery storage facility

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 to speak with staff.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Usually submitted and reviewed as part of building permit application, which can be searched by address here: <https://posse.cabq.gov/posse/pub/lms/Login.aspx>

[Note: Items with an asterisk (*) are required.]

6. Where more information about the project can be found³:

_____ Jacqueline Fishman, fishman@consensusplanning.com 505-764-9801

Information Required for Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ L-8 and L-9
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}:
 - Deviation(s)
 - Variance(s)⁵
 - Waiver(s)⁶

Explanation^{*}:

No exceptions requested

4. Pre-submittal Neighborhood Meeting: Not Required
5. **For Site Plan – Administrative Applications only^{*}**, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas. ^{*}
 - b. Access and circulation for vehicles and pedestrians. ^{*}
 - c. Maximum height of any proposed structures, with building elevations. ^{*}
 - d. **For residential development^{*}**: Maximum number of proposed dwelling units.
 - e. **For non-residential development^{*}**:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁷:

1. Area of Property [typically in acres] 8.88 acres
2. IDO Zone District NR-LM
3. Overlay Zone(s) [if applicable] None
4. Center or Corridor Area [if applicable] None

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

⁵ Separate notice is required for Variances.

⁶ Separate notice is required for Waivers.

⁷ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Current Land Use(s) [vacant, if none] vacant

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

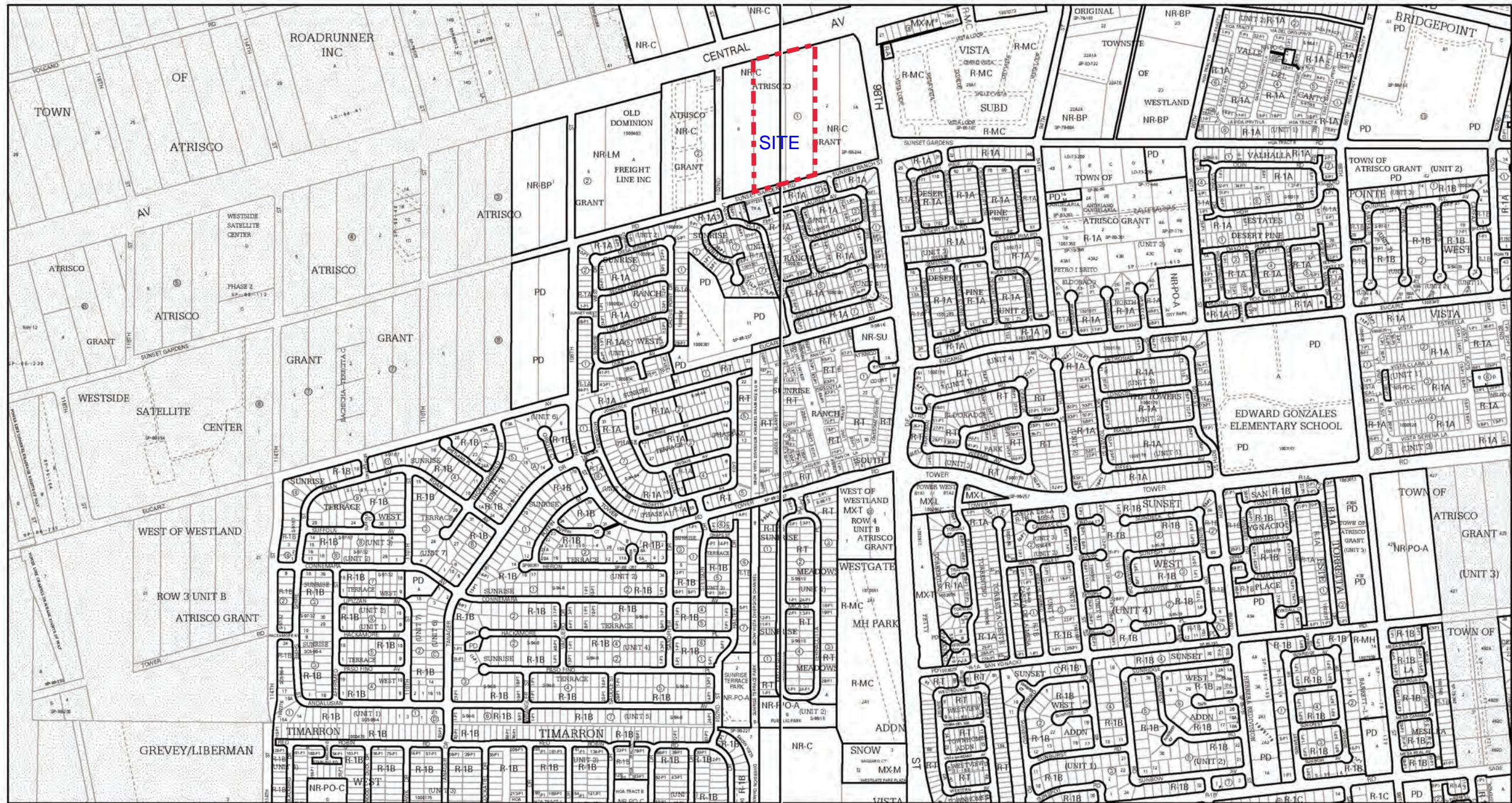
Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas
May 2018

IDO Zoning information as of May 17, 2018
 The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
L-08-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

IDO Zone Atlas
May 2018

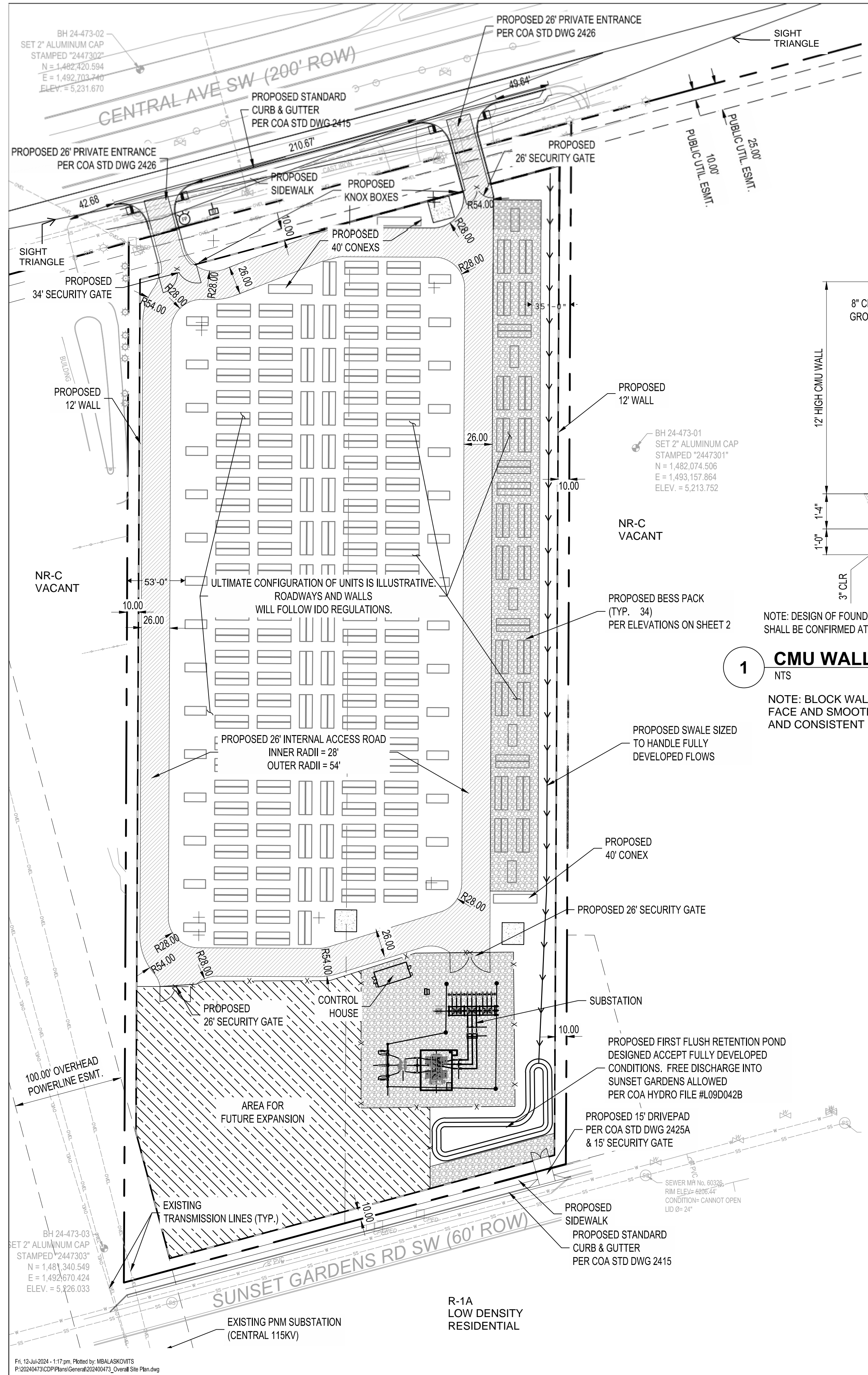
Zoning information as of May 17, 2018
 Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
L-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
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- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

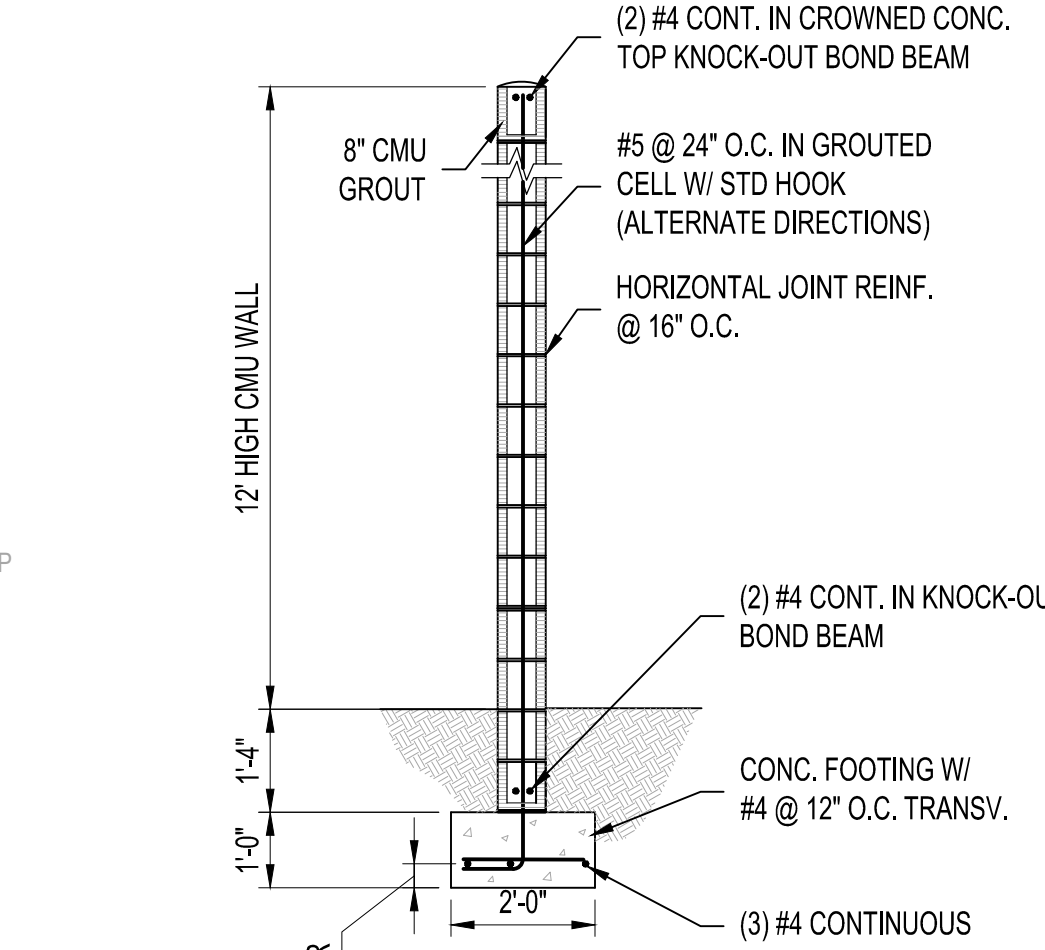


SITE DATA

LEGAL DESCRIPTION: A CERTAIN TRACT OF LAND LOCATED WITHIN TOWN OF ATRISCO GRANT, PROJECTED SECTIONS 28 & 29, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING AND COMPRISING ALL OF LOTS 3 AND 4, BLOCK 1, LANDS OF THE ATRISCO GRANT, AS THE SAME IS SHOWN AND DESIGNATED ON PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 26, 1962, IN BOOK D03, PG. 026.
 SITE AREA: 8.8687 ACRES
 EXISTING ZONING: NR-LM
 PROPOSED LAND USE: BATTERY STORAGE AND ELECTRIC UTILITY SUBSTATION

GENERAL NOTES

- 1) THERE ARE NO REGULAR EMPLOYEES ASSOCIATED WITH BATTERY STORAGE OR SUBSTATION USE; THEREFORE, THERE ARE NO PARKING REQUIREMENTS.
- 2) THE SITE PLAN IS DESIGNED IN ACCORDANCE WITH IDO SECTION 14-16-4-3(E)(8).
- 3) PER IDO SECTION 4-3(E)(9)(A), THE AREA CONTAINING AN ELECTRIC UTILITY SUBSTATION SHALL BE SURROUNDED BY A 12-FOOT PERIMETER WALL AND SET BACK BY A MINIMUM OF 10 FEET FROM ALL PROPERTY LINES TO ALLOW FOR PERIMETER LANDSCAPE (SEE LANDSCAPE PLAN).
- 4) PER IDO SECTION 4-3(E)(9)(A), ENERGY STORAGE SYSTEM (BATTERY STORAGE) USE SHALL BE SURROUNDED BY AN OPAQUE WALL OR FENCE AT LEAST 8 FEET AND NOT MORE THAN 12 FEET HIGH THAT IS A COMBINATION OF SPLIT FACE AND SMOOTH FACE BLOCKS, CAST-IN-PLACE WALLS.
- 5) PER IDO SECTION 4-3(E)(9)(B), EXCEPT WHERE ABUTTING INDUSTRIAL DEVELOPMENT, A LANDSCAPED BUFFER AREA SHALL BE PROVIDED THAT IS AT LEAST 10 FEET WIDE AND CONTAINS AT LEAST 1 TREE FOR EVERY 25 FEET ALONG THE LOT LINE THAT COMPLIES WITH THE SAFETY AND MAINTENANCE REQUIREMENTS FOR AN ESS, IN ADDITION TO ALL APPLICABLE STANDARDS IN SECTION 14-16-5-6 (LANDSCAPING, BUFFERING, AND SCREENING), INCLUDING BUT NOT LIMITED TO SUBSECTION 14-16-5-6(C)(10) PLANTING NEAR UTILITIES.
- 6) PER IDO SECTION 4-3(E)(9)(C) ALL ONSITE UTILITY LINES AND ASSOCIATED EQUIPMENT SHALL BE PLACED UNDERGROUND OR PAD MOUNTED, UNLESS SOIL CONDITIONS, SHAPE, OR TOPOGRAPHY OF THE SITE AS VERIFIED BY THE CITY ENGINEER DICTATE ABOVE-GROUND INSTALLATION, WITH THE EXCEPTION OF THE MAIN SERVICE CONNECTION AT THE UTILITY RIGHT-OF-WAY AND ANY NEW INTERCONNECTION EQUIPMENT, INCLUDING WITHOUT LIMITATION ANY POLES, AS PERMITTED BY THE ELECTRIC UTILITY WITH A DISCERNABLE PATTERN, AND/OR PILASTERS ALONG THE WALL EVERY 20 FEET.
- 7) PER IDO SECTION 4-3(E)(9)(F), IF THIS USE IS LOCATED ON THE SAME PREMISES AS AN ELECTRIC UTILITY USE, THE PREMISES MUST MEET ALL USE-SPECIFIC STANDARDS IN THIS SUBSECTION 14-16-4-3(E)(9) AND IN SUBSECTION 14-16-4-3(E)(8) (ELECTRIC UTILITY). THE USES MAY BE LOCATED INSIDE THE SAME PERIMETER WALL.
- 8) PER IDO SECTION 4-3(E)(9)(J) ALL ESS FACILITIES THAT ARE NOT IN USE FOR A PERIOD OF 1 YEAR SHALL BE REMOVED BY THE OWNER WITHIN THE FOLLOWING 6 MONTHS. UPON REMOVAL, THE SITE SHALL BE REVEGETATED TO BLEND WITH THE EXISTING SURROUNDING VEGETATION. THE OWNER SHALL NOTIFY THE CITY WHEN REMOVAL OF THE ESS OCCURS.]
- 9) LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE LINE OF SIGHT AREA.



1 CMU WALL NTS

NOTE: BLOCK WALL SHALL ALTERNATE BETWEEN SPLIT FACE AND SMOOTH FACE BLOCKS IN AN APPROVED AND CONSISTENT PATTERN.

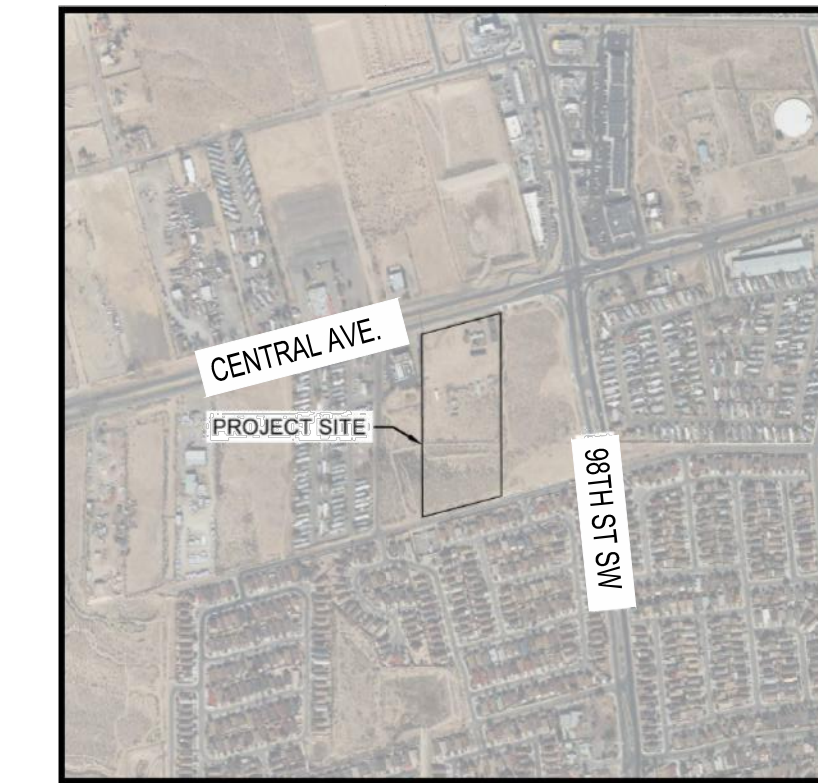
PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	_____	Date	_____
ABCWUA	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
Hydrology	_____	Date	_____
Code Enforcement	_____	Date	_____
* Environmental Health Department (conditional)	_____	Date	_____
Solid Waste Management	_____	Date	_____
Planning Department	_____	Date	_____



VICINITY MAP
 1"=1000'
 ZONE ATLAS MAP L-8 AND L-9

LEGEND

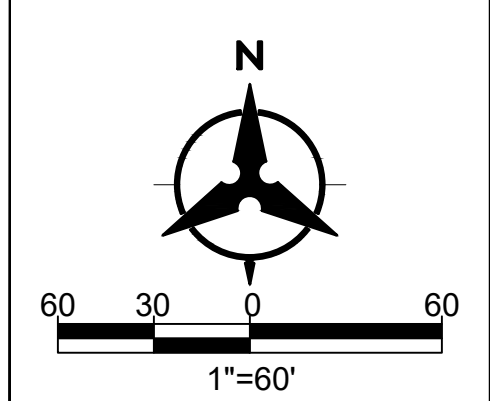
	PROPERTY LINE
	PROPOSED ASPHALT ROADWAY
	PROPOSED CRUSHER FINES

QUANTITIES:

PROJECT BOUNDARY	8.87 ACRES
ROAD	53,340 SF
PROPOSED WALL/FENCE	2,495 LF
17' WIDE ACCESS GATES FOR 34' ENTRANCE	2 EA
13' WIDE ACCESS GATES FOR 26' ENTRANCE	6 EA
7.5' WIDE ACCESS GATES FOR 13' ENTRANCE	2 EA

NOTES:

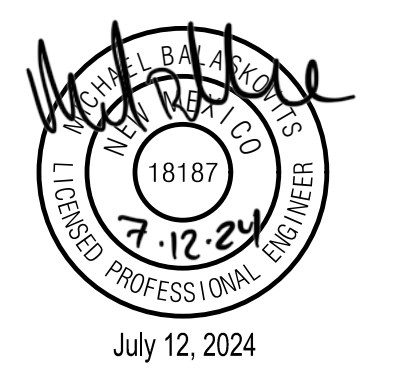
1. EQUIPMENT QUANTITIES, LOCATIONS AND LAYOUTS SHOWN ARE INDICATIVE AND SUBJECT TO CHANGE DURING DETAILED DESIGN.
2. SIZE OF CAPACITOR BANK ESTIMATED ASSUMING REQUIRED PF OF 0.95 AT POI.
3. SITE SPECIFIC FEATURES SUCH AS RETENTION PONDS AND DRAINAGE SHOWN FOR SCHEMATIC PURPOSES AND IS SUBJECT TO CHANGE DURING DETAILED DESIGN.
4. SPACE FOR AUGMENTATION CONTAINERS CAN BE USED FOR LAYDOWN DURING INITIAL CONSTRUCTION.
5. SYSTEM SIZED FOR SELF FEEDING AUX POWER DURING DISCHARGE.
6. THERE ARE NO OCCUPIED OR INHABITABLE STRUCTURES PROPOSED FOR THE SITE. THE TALLEST UNOCCUPIED AND INHABITABLE STRUCTURE IN THE PROJECT SUBSTATION WOULD BE THE AERIAL ELECTRICAL H OR A FRAME APPROXIMATELY 60-65 FEET. THE BATTERY STORAGE UNITS ARE CURRENTLY PROPOSED AT APPROXIMATELY 10-11 FEET IN HEIGHT.
7. THE STORAGE BATTERY UL LISTING IS UL 855.
8. PER THE 2021 INTERNATIONAL FIRE CODE, APPENDIX D, SECTION D104, THIS SITE DOES NOT MEET THE CRITERIA FOR TWO FIRE ACCESS ROADS. AN ADDITIONAL ACCESS ROAD IS PROVIDED THAT WILL MEET FIRE ACCESS WIDTH AND RADIUS CRITERIA IF NEEDED.



BENCH MARKS

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ENGINEER'S SEAL



AS-BUILT INFORMATION

CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTOR'S ACCEPTANCE BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

REVISIONS

NO.	DATE	BY

DESIGN

DESIGNED BY	JSE	CHECKED BY	MB	DRAWN BY	JSE
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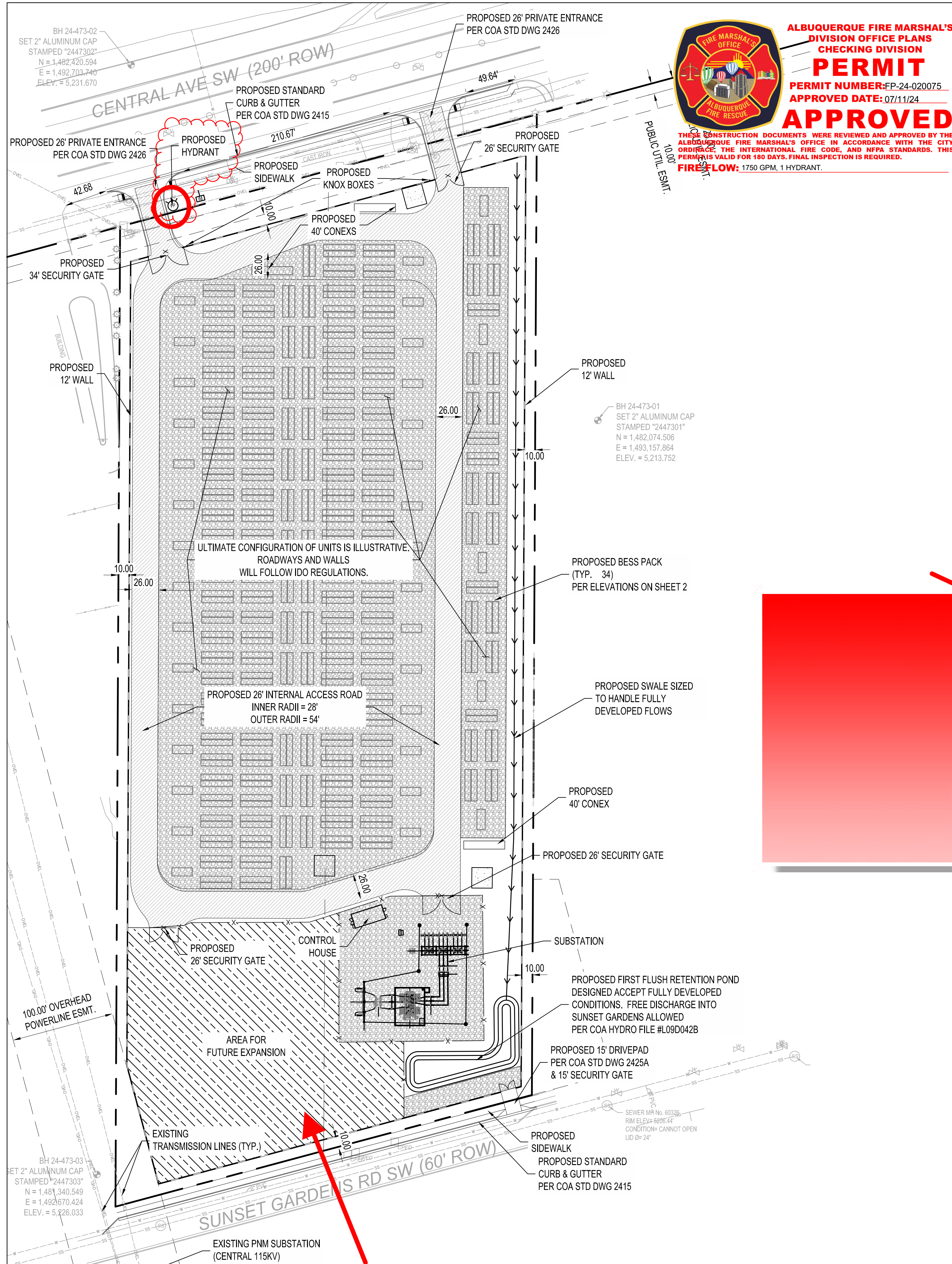


AYPA POWER, INC.
SUN LASSO BATTERY STORAGE FACILITY
OVERALL SITE PLAN

BHI PROJECT NO.	20240473	DATE	07-11-2024	SHEET	1	OF	
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Fri, 12-Jul-2024 - 1:17 pm. Plotted by: MBALASKOVITS
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**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**
PERMIT
PERMIT NUMBER: FP-24-020075
APPROVED DATE: 07/11/24
APPROVED
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1750 GPM, 1 HYDRANT.

BUILDING INFORMATION

EXISTING LEGAL DESCRIPTION: LOTS 3 AND 4, BLOCK 1 LANDS OF THE ATRISCO GRANT.

ADDRESS: 10100 CENTRAL AVE. SW ALBUQUERQUE NM 87121

TOB ZONING: L-8 & L-9

TOTAL BUILDING AREA: NOT APPLICABLE. THE SITE WILL HAVE A NUMBER OF BATTERY STORAGE FACILITIES AND NO STRUCTURES WHERE PEOPLE WILL OCCUPY. IT IS SIMILAR TO PMM SUBSTATION SITE.

CONSTRUCTION TYPE: NOT APPLICABLE.

SPRINKLERED: NO

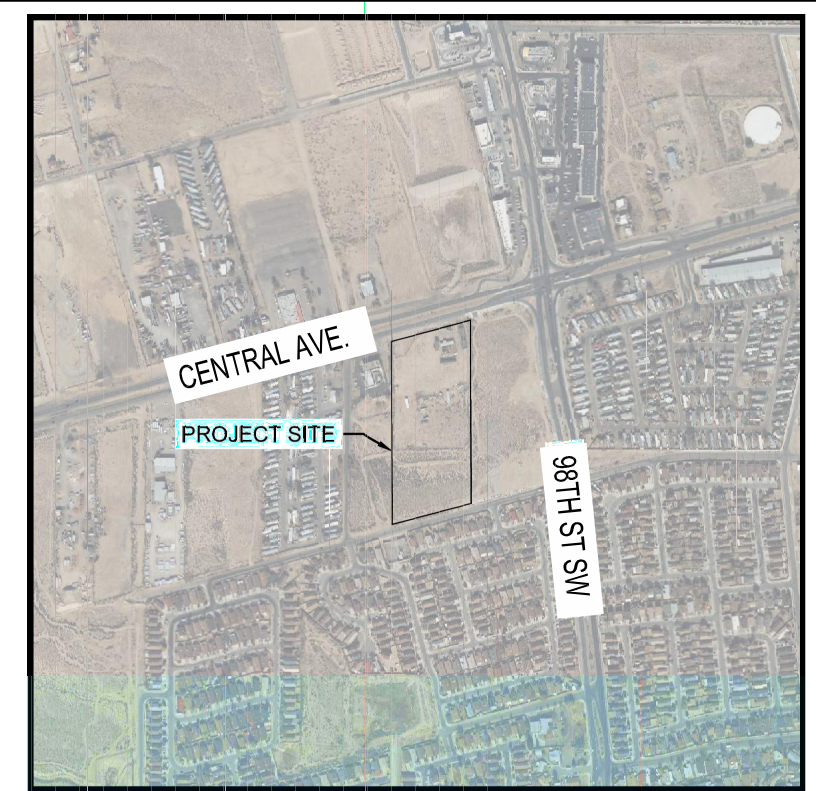
FIRE FLOW: NOT APPLICABLE

BUILDING HEIGHT: NOT APPLICABLE. 8'-12' WALL AROUND PERIMETER OF SITE. SEE NOTES BELOW.

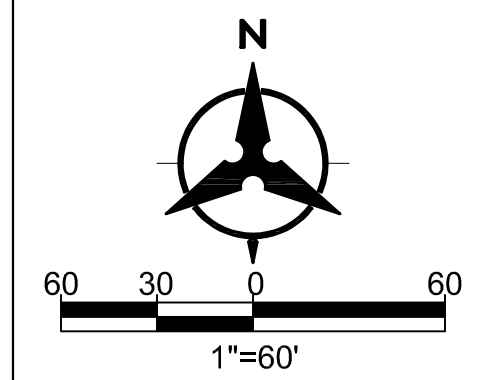
HYDRANTS REQUIRED: NONE.

NOTES

- ALL RADII ALONG FIRE LANE SHALL BE 28'.
- MONUMENT SIGN IDENTIFYING THE SITE ADDRESS WILL BE PROVIDED AT ADJACENT ROADWAYS.
- ALL VEHICULAR ACCESS GATES SHALL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
- FIRE ACCESS LANES SHALL BE MARKED FIRE LANE AS SHOWN AND NOTED AS 26'.
- ALL FIRE ACCESS ROUTES SHALL BE PAVED.
- SLOPES WILL NOT EXCEED 10% IN GRADE FOR THE FIRE ACCESS ROAD.
- THE SITE CONTAINS ELECTRICAL AND BATTERY STORAGE EQUIPMENT AS NOTED. NO HABITABLE STRUCTURES, WATER LINES OR FIRE LINES ARE ANTICIPATED TO BE EXTENDED TO THE SITE.
- ALL FIRE ACCESS AREAS SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- THERE ARE NO OCCUPIED OR INHABITABLE STRUCTURES PROPOSED FOR THE SITE. THE TALLEST UNOCCUPIED AND INHABITABLE STRUCTURE IN THE PROJECT SUBSTATION WOULD BE THE AERIAL ELECTRICAL H OR A FRAME APPROXIMATELY 60-65 FEET. THE BATTERY STORAGE UNITS ARE CURRENTLY PROPOSED AT APPROXIMATELY 10-11 FEET IN HEIGHT.
- THE STORAGE BATTERY UL LISTING IS UL 855.
- PER THE 2021 INTERNATIONAL FIRE CODE, APPENDIX D, SECTION D104, THIS SITE DOES NOT MEET THE CRITERIA FOR TWO FIRE ACCESS ROADS. AN ADDITIONAL ACCESS ROAD IS PROVIDED THAT WILL MEET FIRE ACCESS WIDTH AND RADIUS CRITERIA IF NEEDED.



VICINITY MAP
1"=1000'
ZONE ATLAS MAP L-8 AND L-9



BENCH MARKS

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ENGINEER'S SEAL

June 28, 2024

QUANTITIES:

PROJECT BOUNDARY	8.87 ACRES
ROAD	53,340 SF
PROPOSED WALL/FENCE	2,495 LF
17' WIDE ACCESS GATES FOR 34' ENTRANCE	2 EA
13' WIDE ACCESS GATES FOR 26' ENTRANCE	6 EA
7.5' WIDE ACCESS GATES FOR 13' ENTRANCE	2 EA

NOTES:

- EQUIPMENT QUANTITIES, LOCATIONS AND LAYOUTS SHOWN ARE INDICATIVE AND SUBJECT TO CHANGE DURING DETAILED DESIGN.
- SIZE OF CAPACITOR BANK ESTIMATED ASSUMING REQUIRED PF OF 0.95 AT POI.
- SITE SPECIFIC FEATURES SUCH AS RETENTION PONDS AND DRAINAGE SHOWN FOR SCHEMATIC PURPOSES AND IS SUBJECT TO CHANGE DURING DETAILED DESIGN.
- SPACE FOR AUGMENTATION CONTAINERS CAN BE USED FOR LAYDOWN DURING INITIAL CONSTRUCTION.
- SYSTEM SIZED FOR SELF FEEDING AUX POWER DURING DISCHARGE.

AS-BUILT INFORMATION

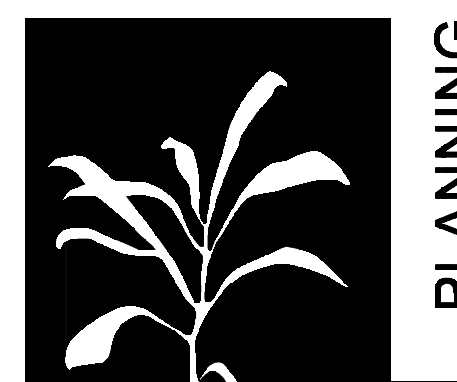
CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTORS ACCEPTANCE BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

REVISIONS

NO.	DATE	BY

DYPD A BLACKSTONE PORTFOLIO COMPANY

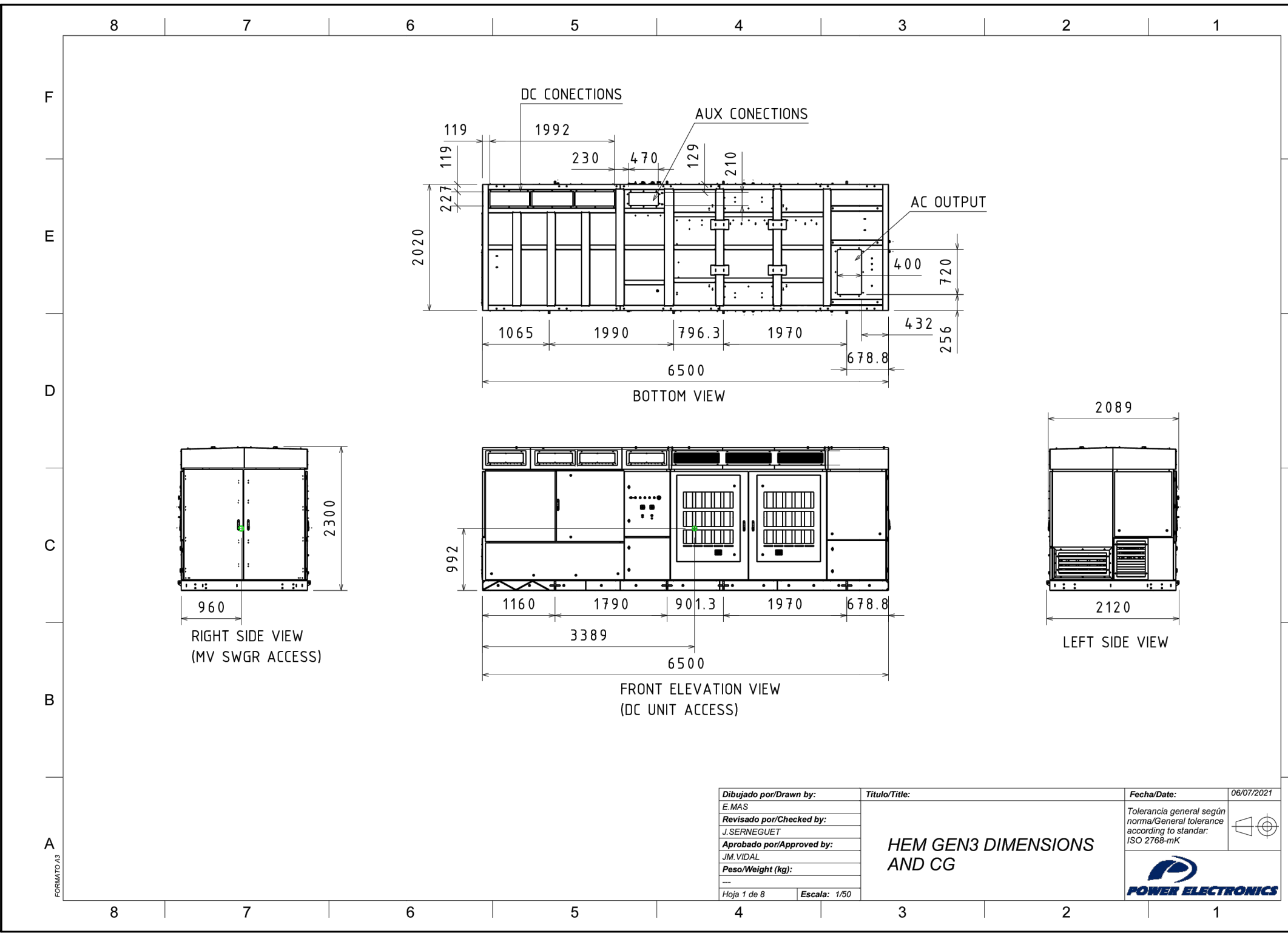
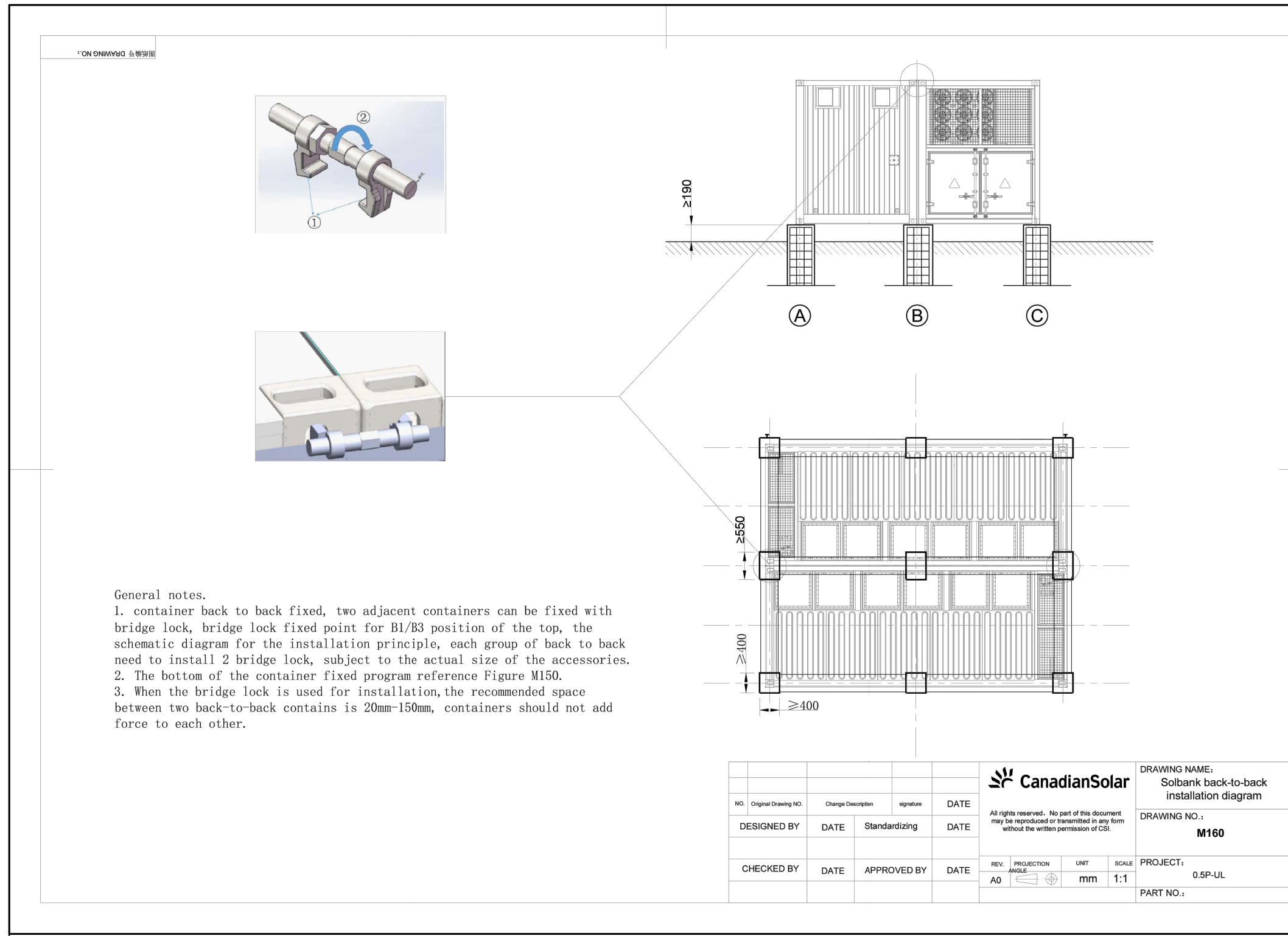
Bohannon Huston
www.bhinc.com 800.877.5332



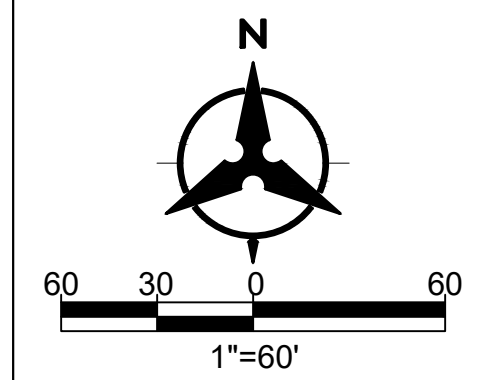
PLANNING

AYPA POWER, INC.
SUN LASSO BATTERY STORAGE FACILITY
FIRE ONE PLAN

F:\1-28-Jun-2024 - 3:01pm, Plotted by: JEVERARD
\\a-bop-62\projects\2024\0473\CDPP\Plans\General\2024040473_FIREONEPlan.dwg



NOTE:
THESE ELEVATIONS ARE CONCEPTUAL AND UPON FURTHER COORDINATION WITH BUILDING PERMIT WILL BE MODIFIED BASED ON ULTIMATE CONDITIONS APPROVED THROUGH THE AUTHORITY HAVING JURISDICTION.



BENCH MARKS

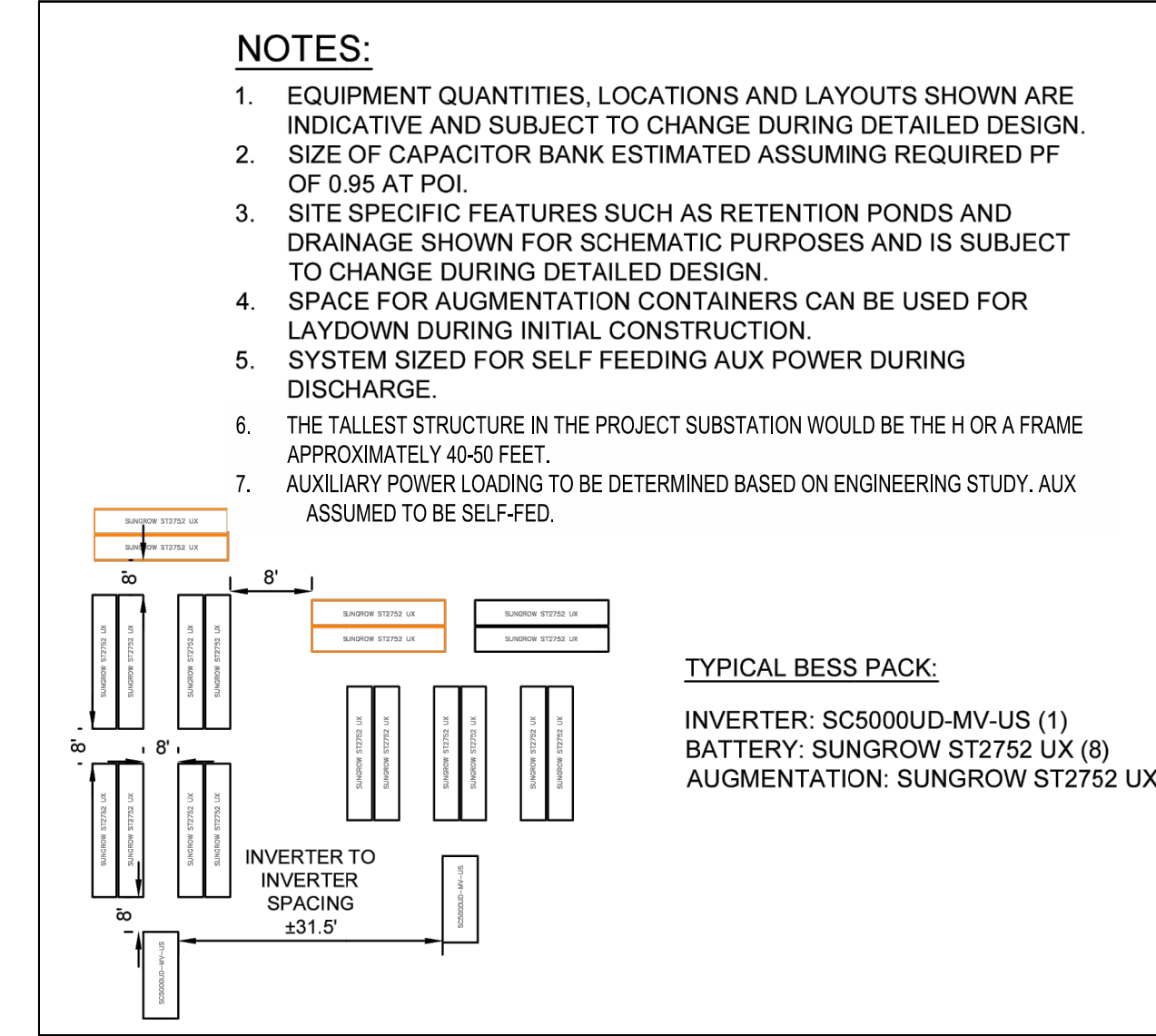
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ENGINEER'S SEAL

July 15, 2024

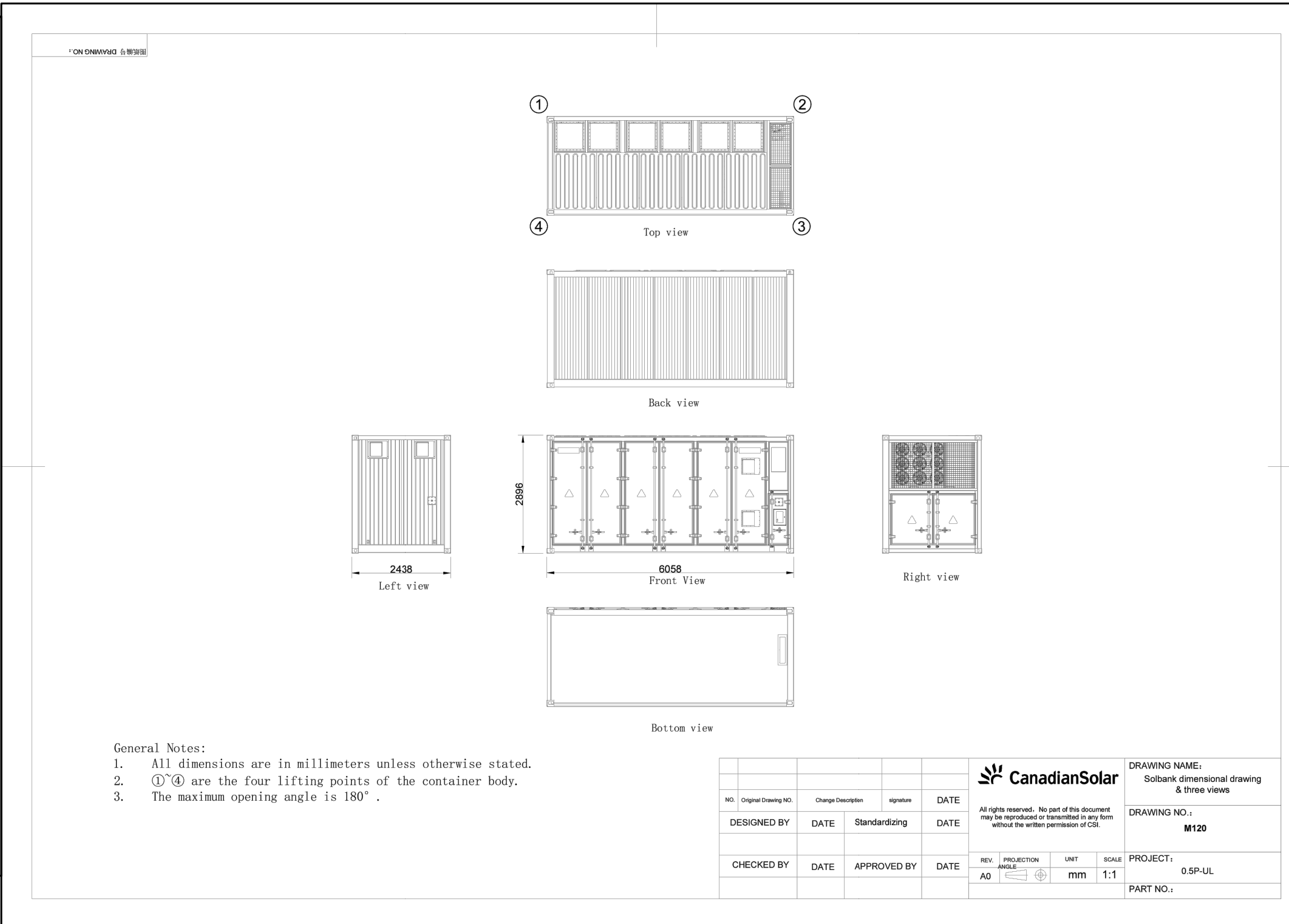
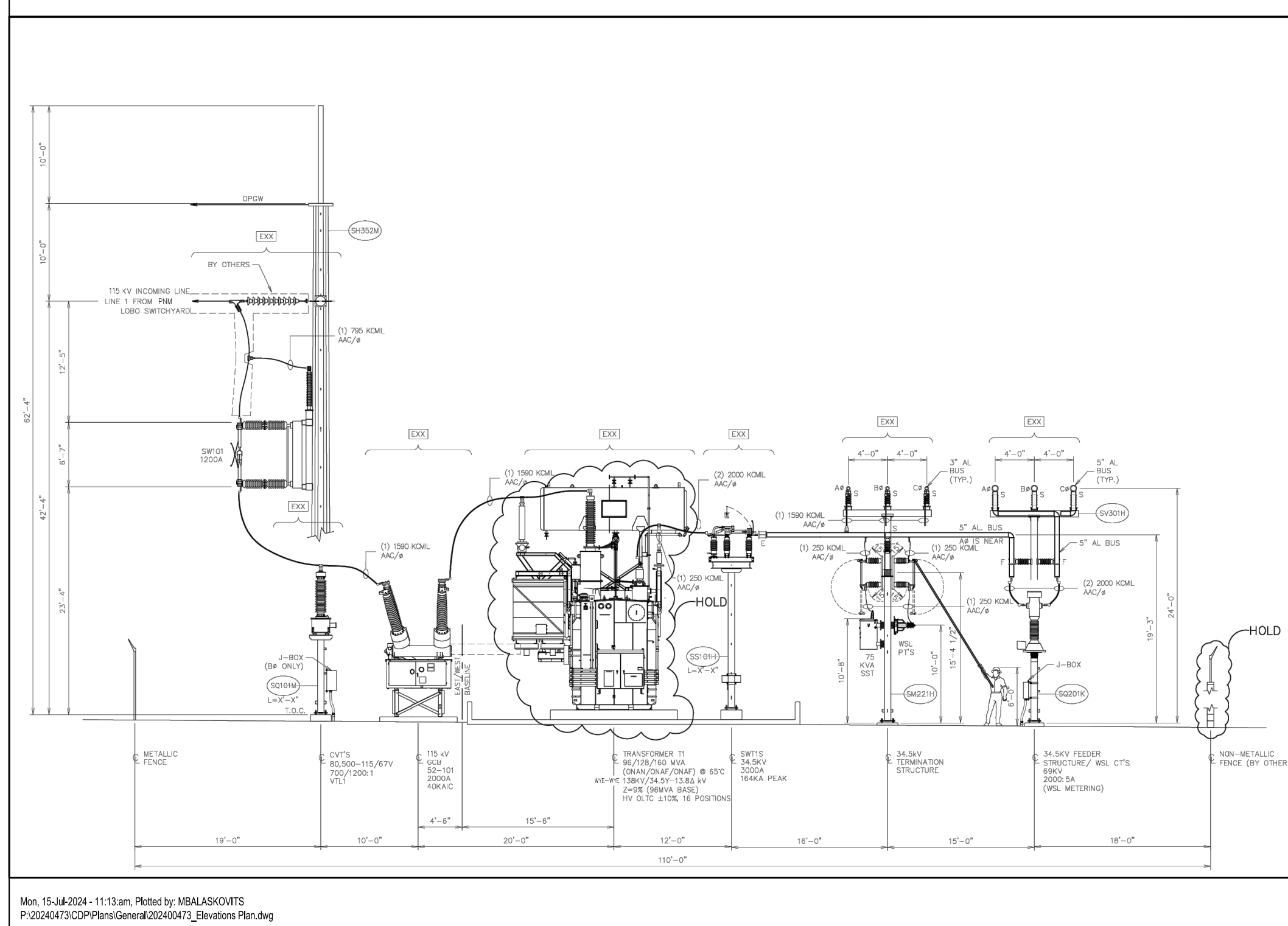
AS-BUILT INFORMATION

CONTRACTOR	DATE	WORK STAGED BY	DATE	INSPECTORS ACCEPTANCE BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE
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REVISIONS

NO.	DATE	BY
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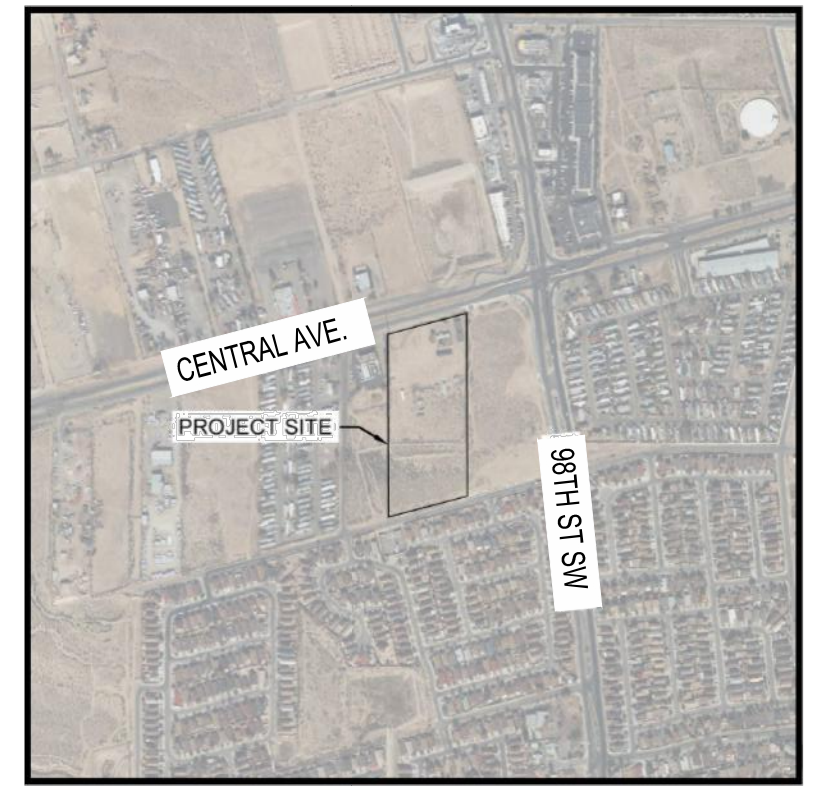
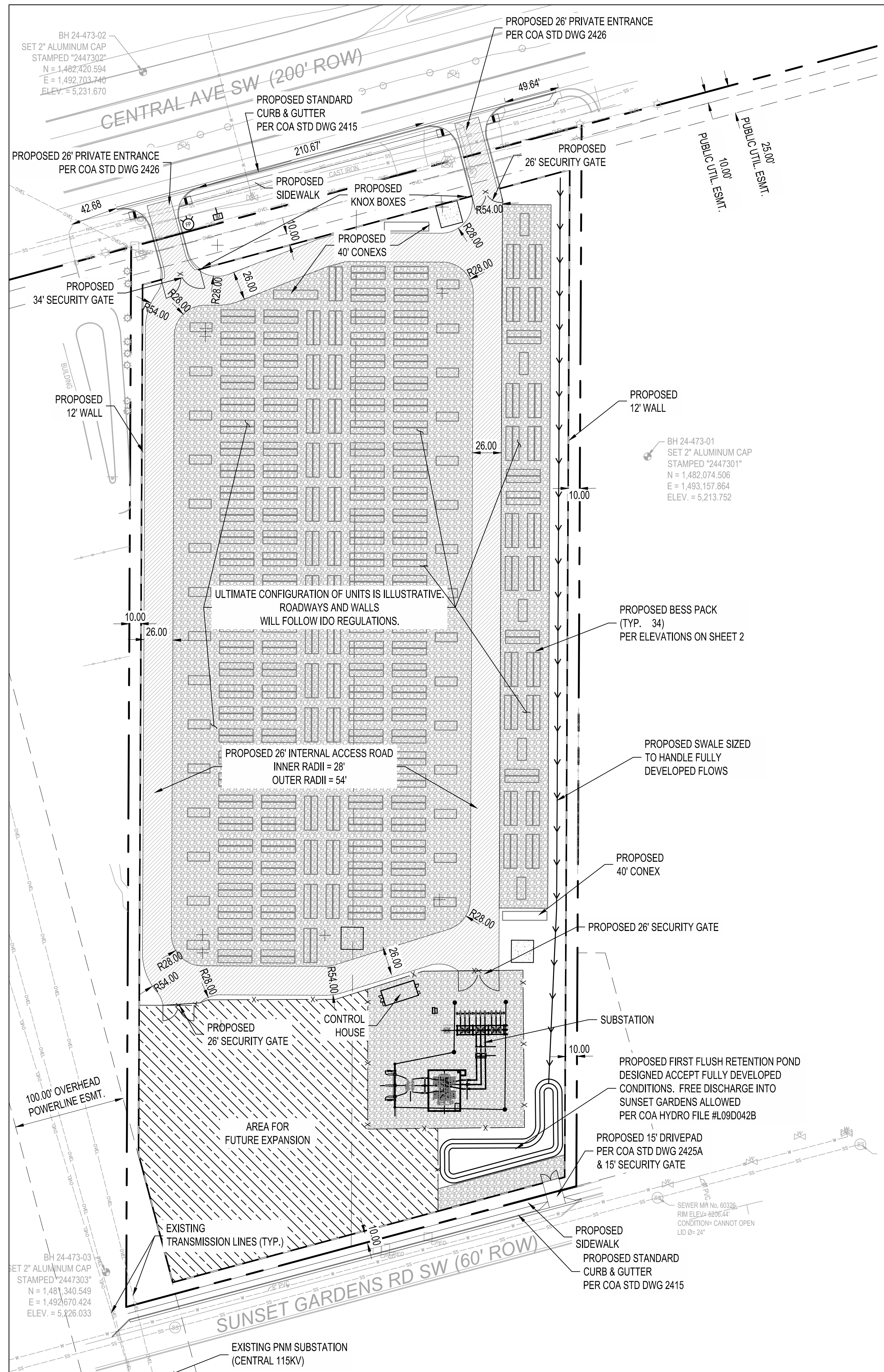
DYPD A BLACKSTONE PORTFOLIO COMPANY

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www.bhinc.com 800.877.5332

AYPA POWER, INC.
SUN LASSO BATTERY STORAGE FACILITY
ELEVATIONS PLAN

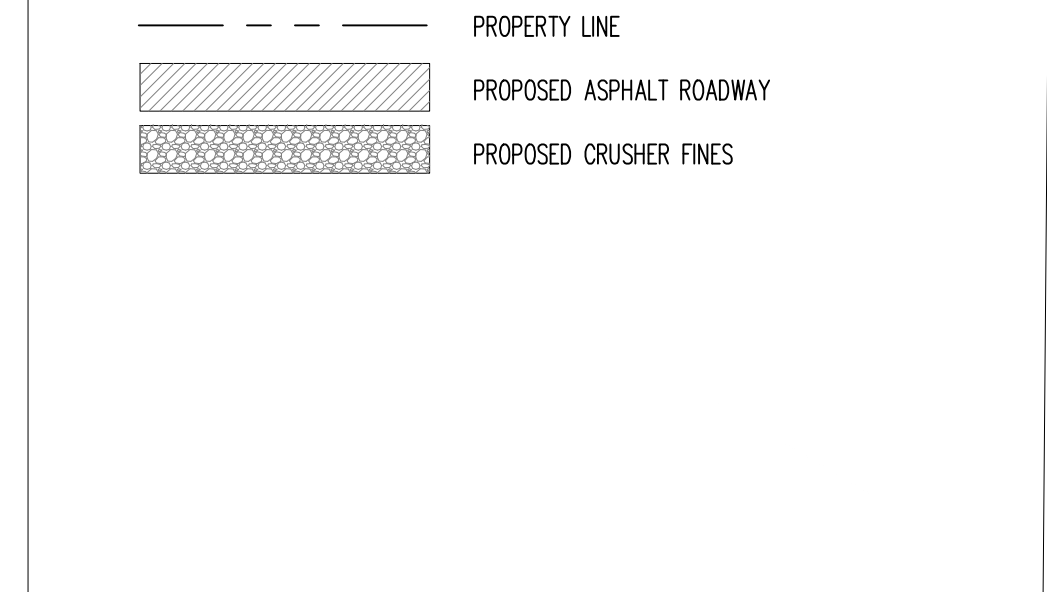
DESIGNED BY	JSE	CHECKED BY	MB	DRAWN BY	JSE
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BHI PROJECT NO. 20240473 DATE 07-11-2024 SHEET 5 OF



VICINITY MAP
1"=1000'
ZONE ATLAS MAP L-8 AND L-9

LEGEND

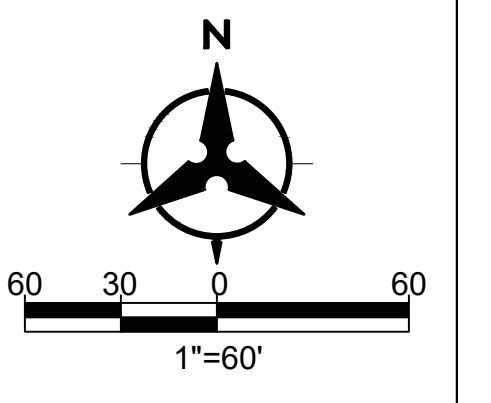


QUANTITIES:

PROJECT BOUNDARY	8.87 ACRES
ROAD	53,340 SF
PROPOSED WALL/FENCE	2,495 LF
17' WIDE ACCESS GATES FOR 34' ENTRANCE	2 EA
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- SPACE FOR AUGMENTATION CONTAINERS CAN BE USED FOR LAYDOWN DURING INITIAL CONSTRUCTION.
- SYSTEM SIZED FOR SELF FEEDING AUX POWER DURING DISCHARGE.
- THE TALLEST STRUCTURE IN THE PROJECT SUBSTATION WOULD BE THE H OR A FRAME APPROXIMATELY 40-50 FEET.



BENCH MARKS

ENGINEER'S SEAL



AS-BUILT INFORMATION

NO.	DATE	AS-BUILT INFORMATION			
		CONTRACTOR	WORK STARTED BY	INSPECTOR'S ACCEPTANCE BY	FIELD VERIFICATION BY

PROJECT NUMBER: _____
Application Number: _____
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
DFT SITE DEVELOPMENT PLAN APPROVAL:

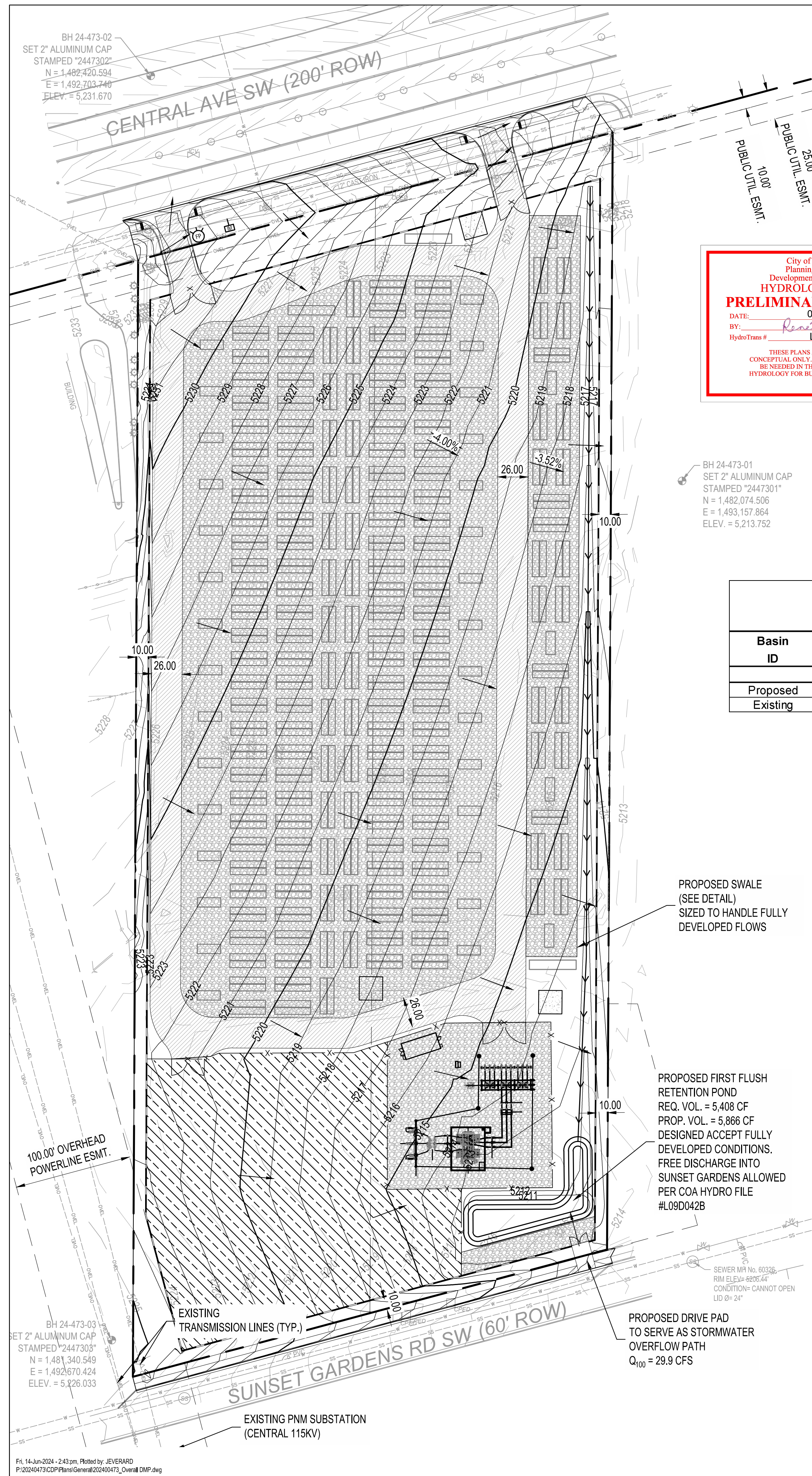
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

PLANNING



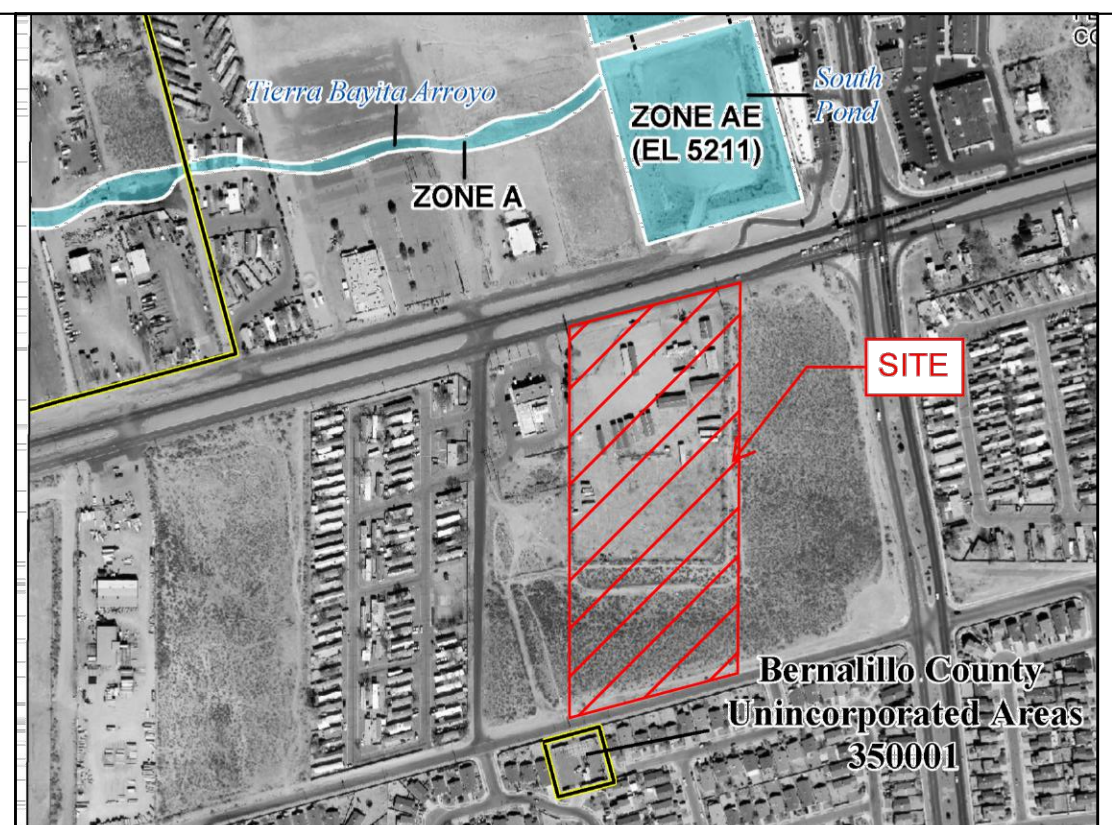
AYPA POWER, INC.
SUN LASSO BATTERY STORAGE FACILITY
TRAFFIC CIRCULATION LAYOUT

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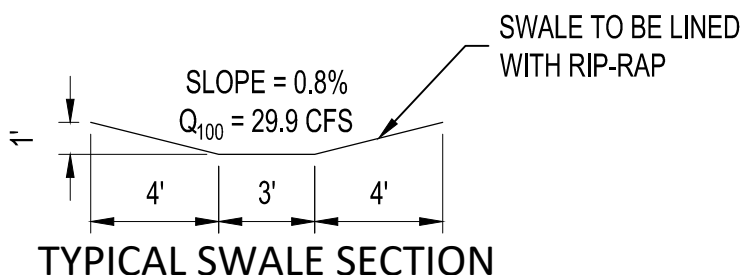


City of Albuquerque
 Planning Department
 Development Review Services
 HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 07/08/24
 BY: *Renee C. Brumitt*
 HydroTrans # L09D045

THESE PLANS AND/OR REPORT ARE
 CONFIDENTIAL ONLY. MORE INFORMATION MAY
 BE NEEDED IN THEM AND SUBMITTED TO
 HYDROLOGY FOR BUILDING PERMIT APPROVAL.



FEMA FIRM MAP # 35001C0328J



TYPICAL SWALE SECTION

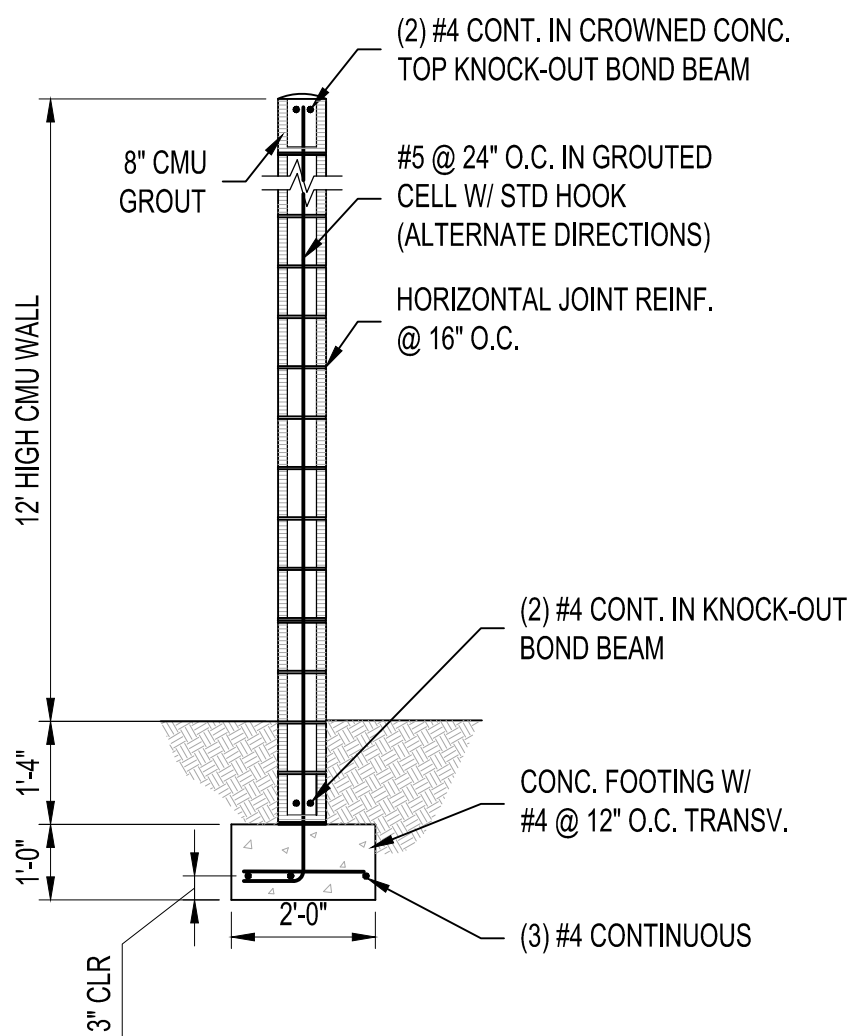


NRCS WEB SOIL SURVEY

Basin Data Table
 This table is based on page 6-10 of the DPM, Zone: 1

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr)	Q(100yr)	E(100yr)	V(100yr-6hr)	V(100yr-24hr)	V(100yr-10d)	V(100yr-10d)	SWQV	0.42
			A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	(CF)	(AC-FT)	(CF)	
SITE															
Proposed	386,321	8.9	0.0%	0.0%	60.0%	40.0%	3.4	29.9	1.5	47196	51316	69473	1.6	5408	
Existing	386,321	8.9	100.0%	0.0%	0.0%	0.0%	1.5	13.7	0.6	17706	17706	17706	0.4	0	

FIRST FLUSH, EXISTING, AND PROPOSED DRAINAGE CALCULATIONS



NOTE: DESIGN OF FOUNDATION AND REBAR SHALL BE CONFIRMED AT BUILDING PERMIT.

1 CMU WALL
 NTS

DRAINAGE NARRATIVE

INTRODUCTION:
 THE PROPOSED PROJECT (SITE) IS A BATTERY STORAGE FACILITY. THE SITE IS LOCATED ON APPROXIMATELY 8.87 ACRES ON THE SOUTHERN SIDE OF CENTRAL AVE. SW JUST WEST OF 98TH ST. SW IN THE CITY OF ALBUQUERQUE, NM.

PER FEMA FIRM PANEL #35001C0328J, THE SITE IS NOT LOCATED WITHIN A FLOODPLAIN. THE SITE IS IN RAINFALL ZONE 1.

EXISTING CONDITIONS:
 CURRENTLY, THE SITE IS MAINLY UNDEVELOPED WITH A FEW TRAILERS AND A SMALL PARKING LOT LOCATED AT THE FRONTAGE OF CENTRAL AVE. SW. SLOPES GENERALLY FROM WEST AND NORTH TO EAST AND SOUTH.

A PREVIOUS DRAINAGE PLAN AND REPORT FOR THE LOT BORDERING THE EASTERN PROPERTY LINE FOR THE SITE DATED 09/30/2022 BY ISAACSON & ARFMAN, INC. (COA HYDRO FOLDER #L09D042B) ANALYZED OFFSITE RUNOFF FROM THE SITES TRIBUTARY RUNOFF AND WAS UTILIZED AS PART OF THIS DRAINAGE DESIGN.

THERE IS NO ONSITE STORM DRAINAGE INFRASTRUCTURE. THE SITE SHEET FLOWS AND FREE DISCHARGES INTO EASTERN PROPERTY WHERE IT IS COLLECTED AND DIRECTED INTO A POND UNTIL THE SITE IS DEVELOPED. DISCHARGE FROM THE POND OVERFLOWS INTO THE SUNSET GARDENS RD SW RIGHT OF WAY.

THE SITE ITSELF IS 8.9 ACRES, AND DISCHARGES APPROXIMATELY 13.7 CFS TO THE EASTERN PROPERTY'S EXISTING POND. PER THE PREVIOUS REPORT, 26.9 CFS OF UNDEVELOPED STORMWATER HAS BEEN ACCOUNTED FOR IN A TEMPORARY SWALE AT THE SOUTHEAST CORNER OF THE SITE BUT WILL BE REMOVED AS THE SITE GETS DEVELOPED.

METHODOLOGY:
 THE HYDROLOGIC ANALYSIS PROVIDED WITH THIS DRAINAGE SUBMITTAL HAS BEEN PREPARED IN ACCORDANCE WITH LATEST DEVELOPMENT PROCESS MANUAL, SPECIFICALLY CHAPTERS 8 (DRAINAGE, FLOOD CONTROL, AND EROSION CONTROL), LAND TREATMENT PERCENTAGES WERE CONSERVATIVELY CALCULATED BASED ON THE ACTUAL CONDITIONS IN EACH ONSITE BASIN AND ARE SUMMARIZED IN THE 'BASIN DATA TABLE' (THIS SHEET). THIS SITE WAS ANALYZED FOR THE FIRST-FLUSH AND 100-YEAR, 6-HOUR STORM EVENT.

PROPOSED:
 THE PROPOSED SITE WILL FOLLOW THE SAME EXISTING DRAINAGE PATTERNS GENERALLY. PER THE PREVIOUS DRAINAGE REPORT, FOR THE DEVELOPED SITE, RUNOFF WILL BE COLLECTED IN AN ONSITE DRAINAGE SWALE BORDERING EASTERN PROPERTY LINE THAT WILL THEN CONVEY THE RUNOFF TO A FIRST-FLUSH POND AT THE SOUTHEAST CORNER OF THE SITE. OVERFLOW DISCHARGE FROM THE POND WILL OUTFALL THROUGH A DRIVE RAMP ON SUNSET GARDENS RD SW AND THEN ONTO THE RIGHT OF WAY WHICH WILL ULTIMATELY BE COLLECTED IN THE DOWNSTREAM STORM SEWER SYSTEM.

THE SITE HAS BEEN ANALYZED AS ONE BASIN DO TO THE CAPTURING AND DIVERSION OF ALL ON SITE RUNOFF INTO THE FIRST-FLUSH POND. THE TOTAL RUNOFF FROM THE ANTICIPATED DEVELOPED SITE IS APPROXIMATELY 29.9 CFS. THIS IS LESS THAN THE 52.2 CFS THAT THE PREVIOUS DRAINAGE REPORT ANTICIPATED FOR THE DEVELOPED SITE THAT ENTERS THE RIGHT OF WAY. THEREFORE, THE PROPOSED SITES DISCHARGE IS WITHIN PREVIOUS DESIGN PARAMETERS AND IS ANTICIPATED TO FREELY DISCHARGE INTO THE RIGHT OF WAY WITHOUT NEED FOR ANY DOWNSTREAM IMPROVEMENTS.

AS PART OF THE FIRST FLUSH REQUIREMENTS, THE SITE HAS INCLUDED A 5,636 CF POND TO HOLD THE REQUIRED 5,408 CF THAT IS REQUIRED PER THE DPM.

CONCLUSION:
 THE CALCULATED PEAK DISCHARGE FROM THE SITE IS LESS THAN THE PREVIOUSLY DESIGNED PROPOSED CONDITIONS. THE GRADING AND DRAINAGE PLAN AS PRESENTED IS IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS. WITH THIS SUBMITTAL WE ARE REQUESTING APPROVAL IN SUPPORT OF DFT SITE PLAN APPROVAL.

LEGEND

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- - - - 4925 EXISTING INDEX CONTOUR
- - - - 4924 EXISTING INTERMEDIATE CONTOUR
- 4925.25 EXISTING GROUND SPOT ELEVATION
- 4925 PROPOSED INDEX CONTOUR
- 4924 PROPOSED INTERMEDIATE CONTOUR
- 26.75 PROPOSED GRADE SPOT ELEVATION
- FL=FLOW LINE
- TC=TOP OF CURB
- TS=TOP OF SIDEWALK
- > DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK

DYPD A BLACKSTONE PORTFOLIO COMPANY

Bohannon & Huston
 www.bhinc.com 800.877.5332

AYPA POWER, INC.
SUN LASSO BATTERY STORAGE FACILITY
DRAINAGE MANAGEMENT PLAN

BENCH MARKS

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ENGINEER'S SEAL

Renee C. Brumitt
 RENE BRUMITT
 18187
 REGISTERED PROFESSIONAL ENGINEER
 June 14, 2024

AS-BUILT INFORMATION

BY	CONTRACTOR	DATE	WORK STAGED BY	DATE	INSPECTOR'S ACCEPTANCE BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

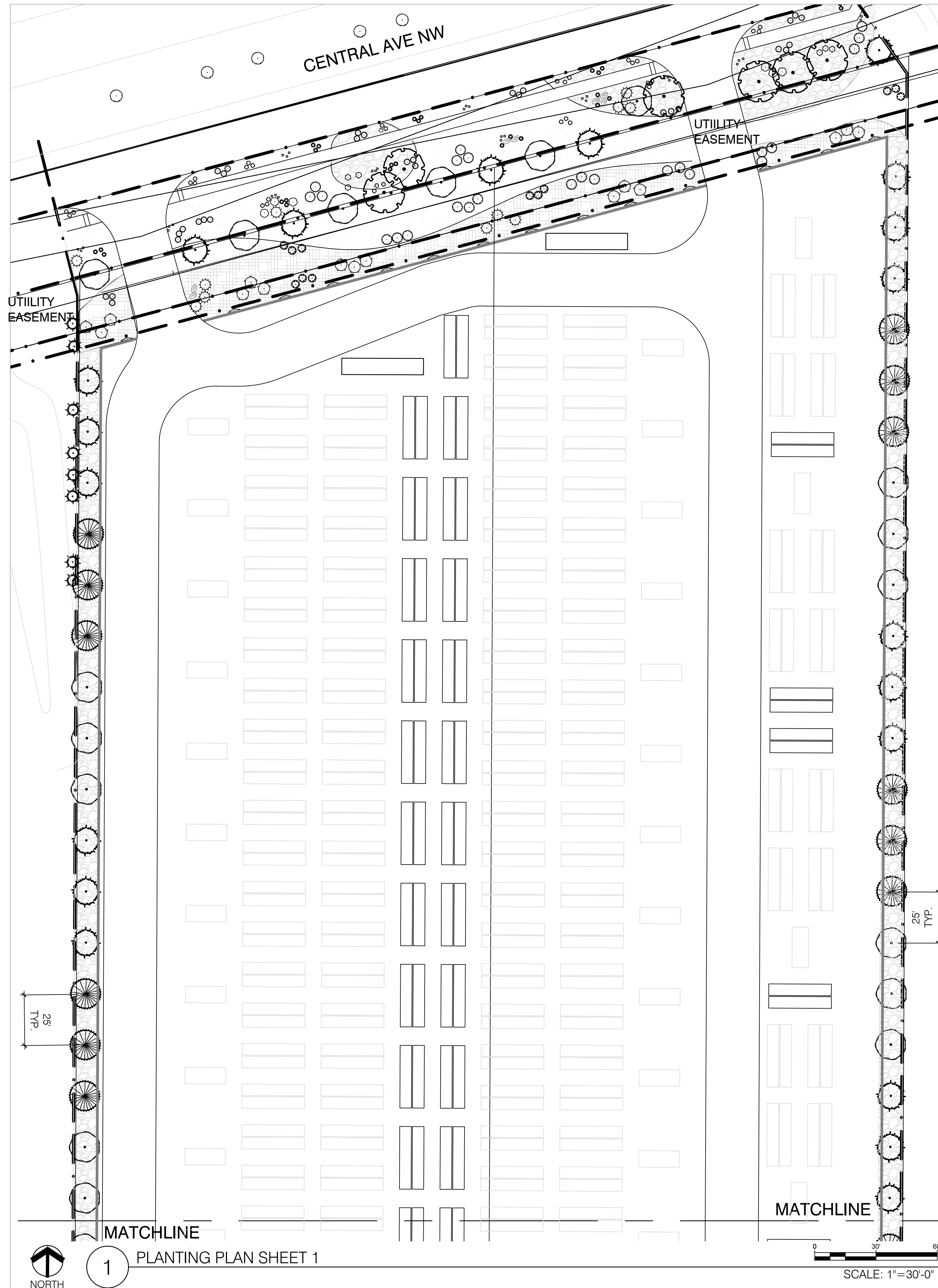
REVISIONS

NO.	DATE	DESCRIPTION

DESIGN

DESIGNED BY	CHECKED BY	DRAWN BY
JSE	MB	JSE

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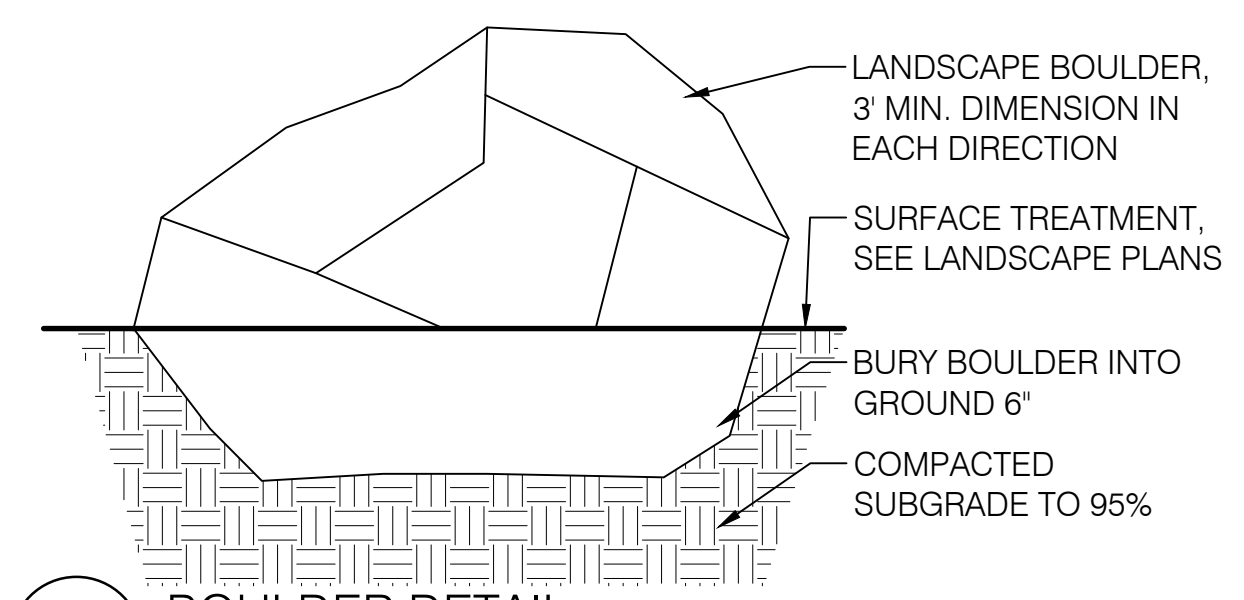
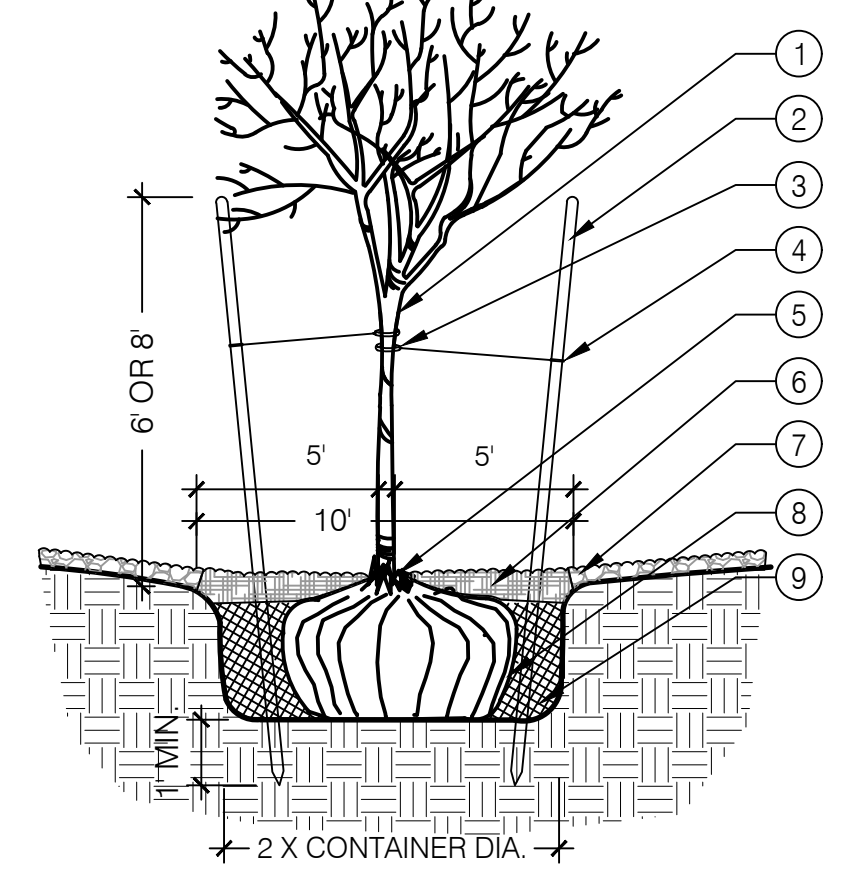
PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE	WATER USE
TREES					
	6	CHILOPSIS LINEARIS DESERT WILLOW	2.5" cal.	20' x 20'	LOW
	21	CUPRESSUS ARIZONICA GLABRA 'BLUE ICE' BLUE ICE ARIZONA CYPRESS	B&B	30' x 15'	LOW
	37	JUNIPERUS MONOSPERMA ONESEED JUNIPER (FEMALE ONLY)	6'-0" HT	10' x 15'	LOW
	27	QUERCUS X 'CRIMSCHMIDT' CRIMSON SPIRE™ OAK	2.5" cal.	40' x 15'	MED
	7	YUCCA BREVIFOLIA JOSHUA TREE	15 gal.	20' x 10'	LOW
SHRUBS					
	42	AGAVE PARRYI PARRY'S AGAVE	1 gal.	1' X 3'	LOW
	34	BOUTELOUA GRACILIS BLONDE AMBITION BLUE GRAMA	1 gal.	1' x 2'	LOW
	15	CERCOCARPUS LEDIFOLIUS CURL-LEAF MOUNTAIN MAHOGANY	5 gal.	10' x 6'	LOW
	69	CHAMAEBATIARIA MILLEFOLIUM FERNBUSH	5 gal.	4' x 4'	LOW
	33	CHRYSOTHAMNUS NAUSEOSUS RUBBER RABBITBRUSH	5 gal.	4' x 4'	LOW
	43	DASYLIRION WHEELERI GREY DESERT SPOON	5 gal.	2' x 3'	LOW
	45	FALLUGIA PARADOXA APACHE PLUME	5 gal.	4' x 5'	LOW
	24	LEUCOPHYLLUM FRUTESCENS TEXAS SAGE	5 gal.	4' x 5'	LOW
	6	OPUNTIA BASILARIS BEAVERTAIL PRICKLY PEAR	3 gal.	2' x 3'	LOW
	15	PARTHENOCESSUS TRICUSPIDATA BOSTON IVY	1 gal.	6' x 6'	MED
	42	RATIBIDA COLUMNIFERA PRAIRIE CONEFLOWER	1 gal.	1' X 1'	LOW
	11	YUCCA GLORIOSA SPANISH DAGGER	5 gal.	6' x 6'	LOW

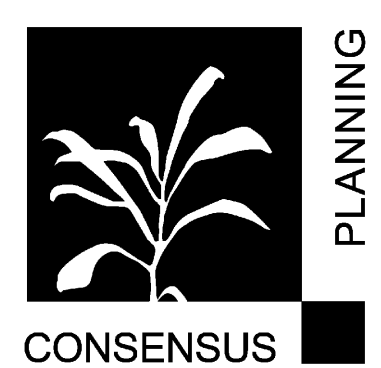
MATERIALS HATCH LEGEND

- 22,660 SF 6" DEPTH OF 4"-6" BLUE SAIZ ANGULAR AGGREGATE AS AVAILABLE FROM BUILDOLGY, INC., (505) 344-6626 (OR APPROVED EQUAL) OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL.
- 11,442 SF 3" DEPTH OF 7/8" VALLEY GOLD GRAVEL AS AVAILABLE FROM BUILDOLGY, INC., (505) 344-6626 (OR APPROVED EQUAL) OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR APPROVED EQUAL.
- 12,780 SF 3" DEPTH OF SHREDDED BARK AS AVAILABLE FROM BUILDOLGY, INC., (505) 344-6626 (OR APPROVED EQUAL) OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR APPROVED EQUAL.
- 7 2X3X3' BASALT BOULDER, OR PRE APPROVED EQUAL.

- STRESS POINT OF TREE
- 8' OR 10' LODGEPOLE STAKES DRIVEN AT ANGLE (8' FOR MULTI OR CANOPY, 10' FOR TALL COLUMNAR)
- 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
- #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
- PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
- WATER RETENTION BASIN - ORGANIC MULCH SHALL BE PROVIDED WITHIN A 5' RADIUS OF NEWLY PLANTED TREES, AT A DEPTH OF 3". THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES
- 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
- ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
- SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS



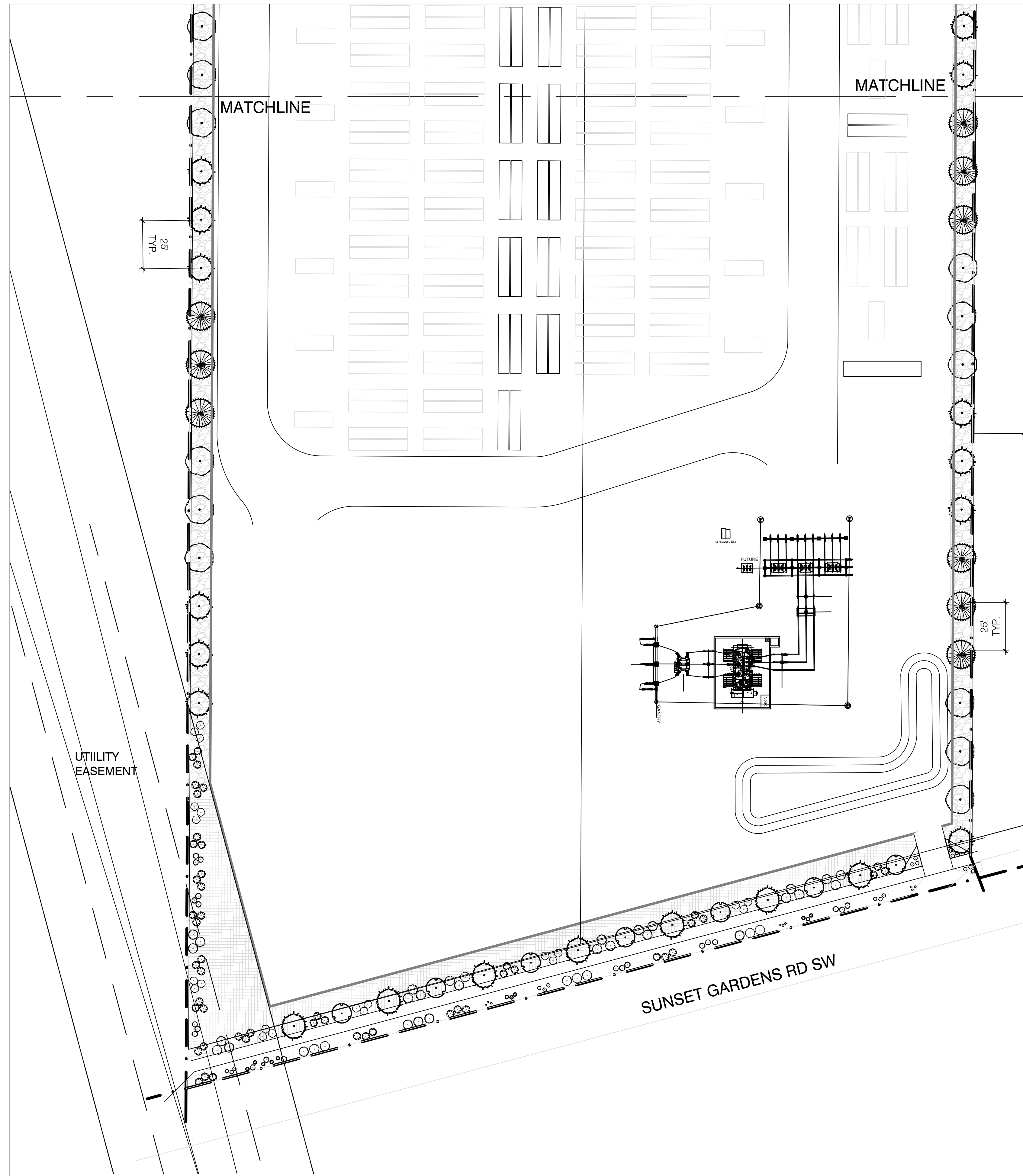
DESIGN		NO. DATE		REVISIONS		AS-BUILT INFORMATION		BENCH MARKS	
DESIGNED BY	JSE	NO.	DATE	BY	DATE	CONTRACTOR	DATE	BENCHMARKLINE1	
CHECKED BY	MB					DATE STAMPED BY	DATE	BENCHMARKLINE2	
DRAWN BY	JSE					INSPECTOR'S AUTHORIZATION BY	DATE	BENCHMARKLINE3	
						FIELD VERIFICATION BY	DATE	BENCHMARKLINE4	
						COMMISSIONED BY	DATE	BENCHMARKLINE5	
						CONTROLLED BY	DATE	BENCHMARKLINE6	
								BENCHMARKLINE7	
								BENCHMARKLINE8	



dypd A BLACKSTONE PORTFOLIO COMPANY

LANDSCAPE PLAN

LP-101



GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING, PURSUANT OF IDO 5-6(C)(14)(C). IRRIGATION SHALL ADHERE TO CABQ SPECIFICATIONS SECTION 1000.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

SHREDDED ORGANIC MULCH AT TREES
SHREDDED ORGANIC MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 5' DIAMETER CIRCLE.

IDO STANDARDS

THE FOLLOWING REGULATIONS SHALL WARRANT THE RELOCATION OF PLANT MATERIAL IF UTILITY CLEARANCE REQUIREMENTS WARRANT

CLEARANCE
PER 5-6(C)(7)(A), VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.

PER 5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.

PER 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.

PER 5-6(C)(10)(A) TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS.

PER 5-6(C)(10)(B) TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.

PER 5-6(C)(10)(E) ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS MUST ALLOW 10 FEET OF CLEARANCE FOR ACCESS AND TO ENSURE THE SAFETY OF THE WORK CREWS AND PUBLIC DURING MAINTENANCE AND REPAIR.

PER 5-6(C)(10)(F) TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.

LANDSCAPE CALCULATIONS

(5-6-C)
GRAVEL MULCH COVERAGE
LANDSCAPE SHALL APPLY PURSUANT TO 5-6(C)(5)(C) THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA

REQUIRED: 35,161.5 SF (no more than 75%)
PROVIDED: 34,102 SF: LESS THAN MAXIMUM SF
[COMPLIANT]

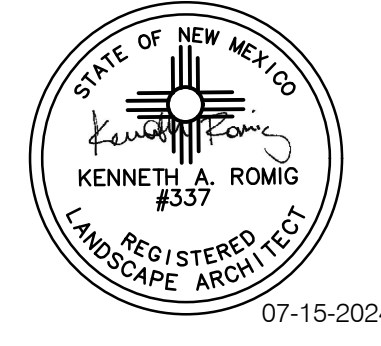
ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.

GENERAL NOTES

1. THE SITE INTERIOR SHALL NOT CONTAIN ANY LANDSCAPE MATERIAL BASED ON THE BATTERY STORAGE USE AND THE FUTURE SUBSTATION.
2. A MINIMUM 10 FOOT LANDSCAPE BUFFER SHALL BE PROVIDED BETWEEN THE PROPERTY LINE AND THE PERIMETER WALL.
3. THE LANDSCAPE PALETTE FOR THE 10 FOOT BUFFER SHALL BE PER IDO SECTION 4-3(E)(9) ENERGY STORAGE SYSTEM. A MINIMUM OF 1 TREE FOR EVERY 25 FEET SHALL BE PROVIDED AS SHOWN ON THE LANDSCAPE PLAN.

BENCH MARKS

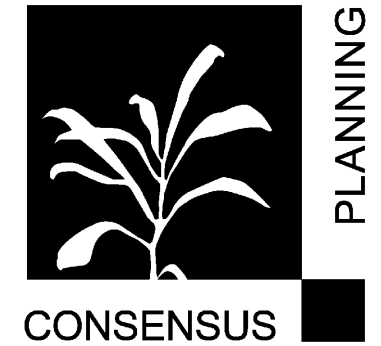
BENCHMARKLINE1
BENCHMARKLINE2
BENCHMARKLINE3
BENCHMARKLINE4
BENCHMARKLINE5
BENCHMARKLINE6
BENCHMARKLINE7
BENCHMARKLINE8



AS-BUILT INFORMATION

NO.	DATE	REVISIONS

DESIGN	NO.	DATE	REVISIONS	BY
DESIGNED BY	JSE			
CHECKED BY	MB			
DRAWN BY	JSE			



Sun Lasso Battery Storage project

Jackie Fishman <fishman@consensusplanning.com>

Mon 7/15/2024 11:51 AM

To: cherquezada@yahoo.com <cherquezada@yahoo.com>; paulfava@gmail.com <paulfava@gmail.com>; gerulibbarri1@gmail.com <gerulibbarri1@gmail.com>; housealbchrome@gmail.com <housealbchrome@gmail.com>
Cc: Alyssa Ortiz <Ortiz@consensusplanning.com>

Dear Neighbors:

On behalf of Sun Lasso Energy Center LLC, Consensus Planning, Inc. is providing you with notice that we have submitted a Site Plan-Administrative application for Development Facilitation Team (DFT) review and approval. The request is to construct a battery energy storage system, which will be fully enclosed by an opaque wall and landscaping.

The application has been submitted today and will be reviewed and decided by the DFT. If you would like to discuss this project with City staff, please call (505) 924-3994. We have included a copy of the Site Plan, Landscape Plan, Grading/Drainage Plan, Utility Plan, and Structure Elevations, as well as a zone atlas page showing the subject site in the link below:

 [Submittal Package for the NA.pdf](#)

Per the IDO section, 6-4(K)(3)(a) mailed public notice to all property owners within 100 feet of the subject site is required. Please email fishman@consensusplanning.com or ortiz@consensusplanning.com or call (505) 764-9801 with any questions or concerns regarding this project. We look forward to hearing from you soon.

Jacqueline Fishman, AICP
Principal
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102
P: 505.764.9801

FW: Sun Lasso Battery Storage project

Jackie Fishman <fishman@consensusplanning.com>

Mon 7/15/2024 11:53 AM

To:Alyssa Ortiz <Ortiz@consensusplanning.com>

Jacqueline Fishman, AICP

Principal

Consensus Planning, Inc.

302 Eighth Street NW

Albuquerque, NM 87102

P: 505.764.9801

From: Microsoft Outlook <MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>

Sent: Monday, July 15, 2024 11:52 AM

To: Jackie Fishman

Subject: Relayed: Sun Lasso Battery Storage project

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

paulfava@gmail.com (paulfava@gmail.com)

housealbchrome@gmail.com (housealbchrome@gmail.com)

Subject: Sun Lasso Battery Storage project

FW: Sun Lasso Battery Storage project

Jackie Fishman <fishman@consensusplanning.com>

Mon 7/15/2024 11:53 AM

To:Alyssa Ortiz <Ortiz@consensusplanning.com>

Jacqueline Fishman, AICP

Principal

Consensus Planning, Inc.

302 Eighth Street NW

Albuquerque, NM 87102

P: 505.764.9801

From: Microsoft Outlook <MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>

Sent: Monday, July 15, 2024 11:52 AM

To: Jackie Fishman

Subject: Relayed: Sun Lasso Battery Storage project

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

cherquezada@yahoo.com (cherquezada@yahoo.com)

Subject: Sun Lasso Battery Storage project

FW: Sun Lasso Battery Storage project

Jackie Fishman <fishman@consensusplanning.com>

Tue 7/16/2024 1:59 PM

To:Alyssa Ortiz <Ortiz@consensusplanning.com>

Jacqueline Fishman, AICP

Principal

Consensus Planning, Inc.

302 Eighth Street NW

Albuquerque, NM 87102

P: 505.764.9801

From: Microsoft Outlook <MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>

Sent: Tuesday, July 16, 2024 11:52 AM

To: Jackie Fishman

Subject: Undeliverable: Sun Lasso Battery Storage project

Delivery has failed to these recipients or groups:

gerulibbarri1@gmail.com (gerulibbarri1@gmail.com)

Your message couldn't be delivered. Despite repeated attempts to contact the recipient's email system it didn't respond.

Contact the recipient by some other means (by phone, for example) and ask them to tell their email admin that it appears that their email system isn't accepting connection requests from your email system. Give them the error details shown below. It's likely that the recipient's email admin is the only one who can fix this problem.

For more information and tips to fix this issue see this article: <https://go.microsoft.com/fwlink/?LinkId=389361>.

Diagnostic information for administrators:

Generating server: SJ0PR17MB4464.namprd17.prod.outlook.com

Total retry attempts: 4

gerulibbarri1@gmail.com

Remote server returned '550 5.4.300 Message expired -> 452 4.2.2 The recipient's inbox is out of storage space.

Please direct the;recipient to; <https://support.google.com/mail/?p=OverQuotaTemp> 98e67ed59e1d1-2cb3791bfباسي1954558a91.57 - gsmtpp'

Original message headers:

Received: from SA0PR17MB4157.namprd17.prod.outlook.com (2603:10b6:806:91::13)
by SJ0PR17MB4464.namprd17.prod.outlook.com (2603:10b6:a03:29e::18) with
Microsoft SMTP Server (version=TLS1_2,
cipher=TLS_ECDHE_RSA_WITH_AES_256_GCM_SHA384) id 15.20.7762.28; Tue, 16 Jul
2024 16:03:48 +0000

Received: from SJ0PR17MB4349.namprd17.prod.outlook.com (2603:10b6:a03:296::14)
by SA0PR17MB4157.namprd17.prod.outlook.com (2603:10b6:806:91::13) with
Microsoft SMTP Server (version=TLS1_2,

Memorandum

To: City of Albuquerque Planning Department

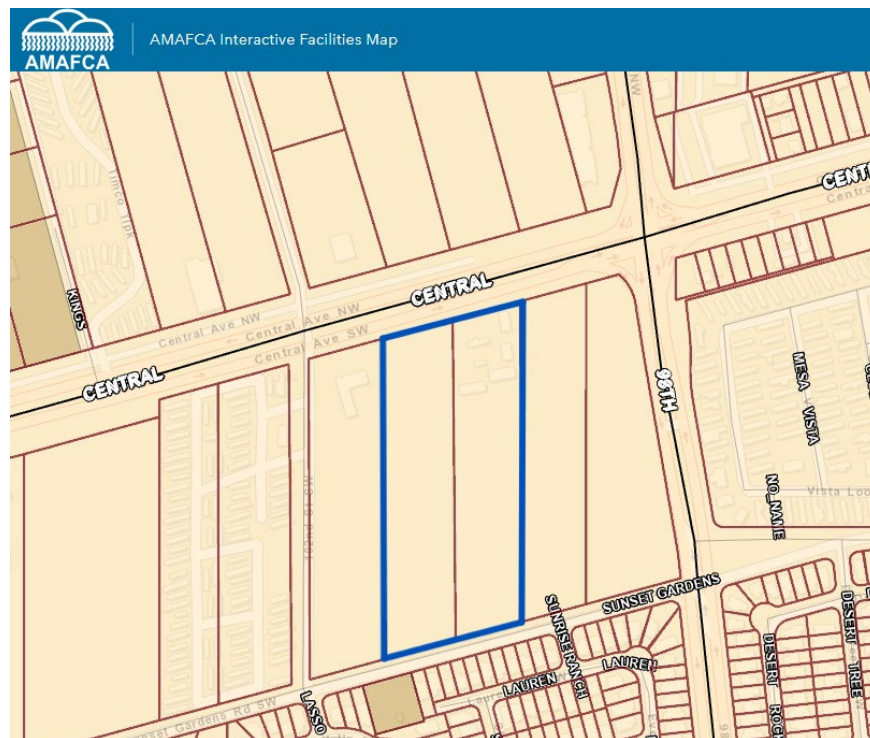
From: Jacqueline Fishman, AICP, Vice-President

Date: 6/26/2024

Re: Sensitive Lands Analysis for 10100 Central Avenue SW

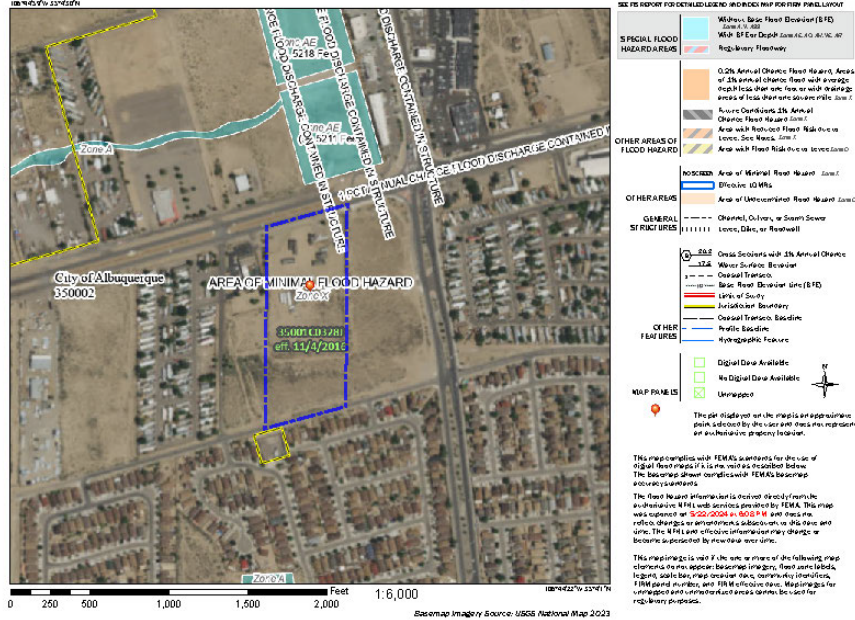
This memo responds to the Sensitive Lands criteria in IDO Section 14-16-5-2. The subject property is legally described as *Tract 4 Row 1 SO UNIT B West of Westland AKA LT 4 Block 1 Lands of Town Atrisco and Tract 69 AKA Tract 3 Row 1 SO UNIT B W of Westland AKA LOT 3 Block 1 Lands of Town*. We have analyzed the project site for the presence of sensitive lands and any constraints related to such lands, and have determined there are no sensitive lands present on this property.

1. **Arroyos:** Using data provided by AMAFCA Interactive Facility Map there are no arroyos or drainage facilities located on the site. The image below shows the subject site outlined in blue.



2. **Floodplains and Special Flood Hazard Areas:** Data provided from FEMA's National Flood Hazard Layer Viewer shows the subject site is within an unshaded Flood Zone X. Unshaded Flood Zone X is described as an area of minimal flooding. It is outside of the 500-year flood zone and protected by levees from the 100-year flood.

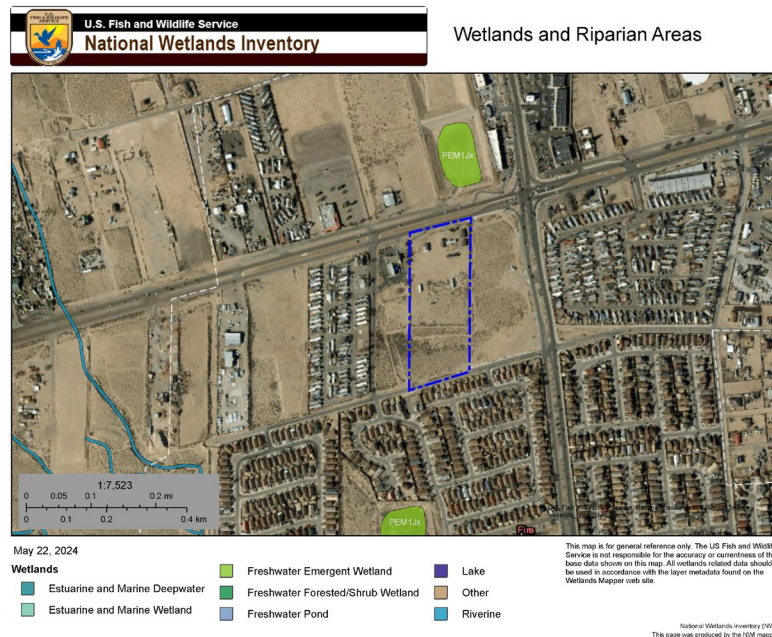
National Flood Hazard Layer FIRMette



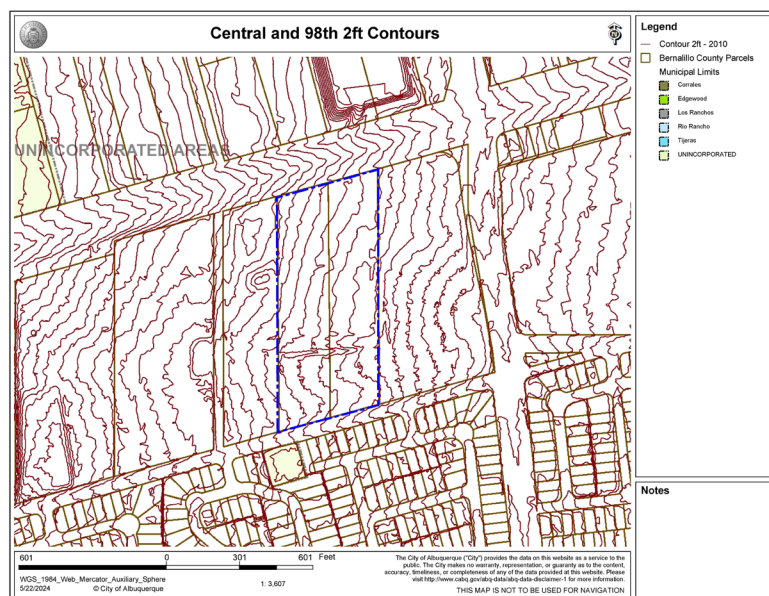
- Irrigation facilities (acequias):** The MRGCD Data Viewer indicates the subject site is not within MRGCD district boundary nor are there any acequias in the Southwest Mesa.
- Large stands of mature trees:** There are no large stands of mature trees on the parcel. This image is looking south at the property from Central Avenue.



- Riparian areas:** Data provided by the National Wetlands Inventory Interactive Map shows that the subject site is not within a riparian area.



- Rock outcroppings:** There are no rock outcroppings on the subject site (see photo on previous page).
- Significant archaeological sites:** The subject site has been analyzed by the City of Albuquerque staff archaeologist who signed a Certificate of No Effect.
- Steep slopes and escarpments:** The 2-foot contour layer provided by the Advanced Map Viewer indicates that the subject site has limited slopes and is relatively flat. The map below depicts the subject site outlined in blue.



- Wetlands:** Data provided by the National Wetlands Inventory Interactive Map shows the subject site is not within a riparian area (see map above, this page).