



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Administrative Decision (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION			
Applicant/Owner:		Phone:	
Address:		Email:	
City:	State:	Zip:	
Professional/Agent (if any):		Phone:	
Address:		Email:	
City:	State:	Zip:	
Proprietary Interest in Site:		List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.:		Block:	Unit:
Subdivision/Addition:		MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:		Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):	

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM S3: ADMINISTRATIVE APPLICATIONS – Development Facilitation Team (DFT) as of 12/25/2022**_ AMENDMENT TO INFRASTRUCTURE LIST**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Amended Infrastructure List
- ___ 6) Original Infrastructure List

_ TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) A scale drawing showing the location of the deferred sidewalk with appropriate dimensions

_ EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled

- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the deferral or extension
- ___ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

_ INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- ___ 6) Preliminary Plat or Site Plan
- ___ 7) Copy of DRB approved Infrastructure List
- ___ 8) Copy of recorded IIA

_ SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Letter describing, explaining, and justifying the request
- ___ 6) Scale drawing of the proposed subdivision plat or Site Plan
- ___ 7) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

January 8, 2024

City of Albuquerque
Planning Department, Planning Development Review Services
600 2nd Street NW
Albuquerque, NM 87102

Re: Dunkin Development
Lot 5 of Unser & McMahon Center
SWC Unser Blvd & McMahon Blvd
Albuquerque, NM

Dear Planning Development Review Services,

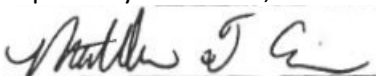
Z J Group Inc. (Developer) is looking to develop outlot #5 within the Unser and McMahon Center Subdivision, which is located at the SW corner of Unser Blvd. and McMahon Blvd. This subdivision was approved in late 2021. Outlot #5 has a total area equal to 1.03 acres and is located along Unser Blvd. The lot is bounded to the east by Unser Blvd., south by an access drive/ commercial development, west by an internal drive, and north by future commercial development.

The existing site is a pad ready outlot, therefore, not much demo work will be required for this development. There will be some curb and gutter and pavement removal/ replacement at both the NW corner and SE corner of the lot for proposed access points.

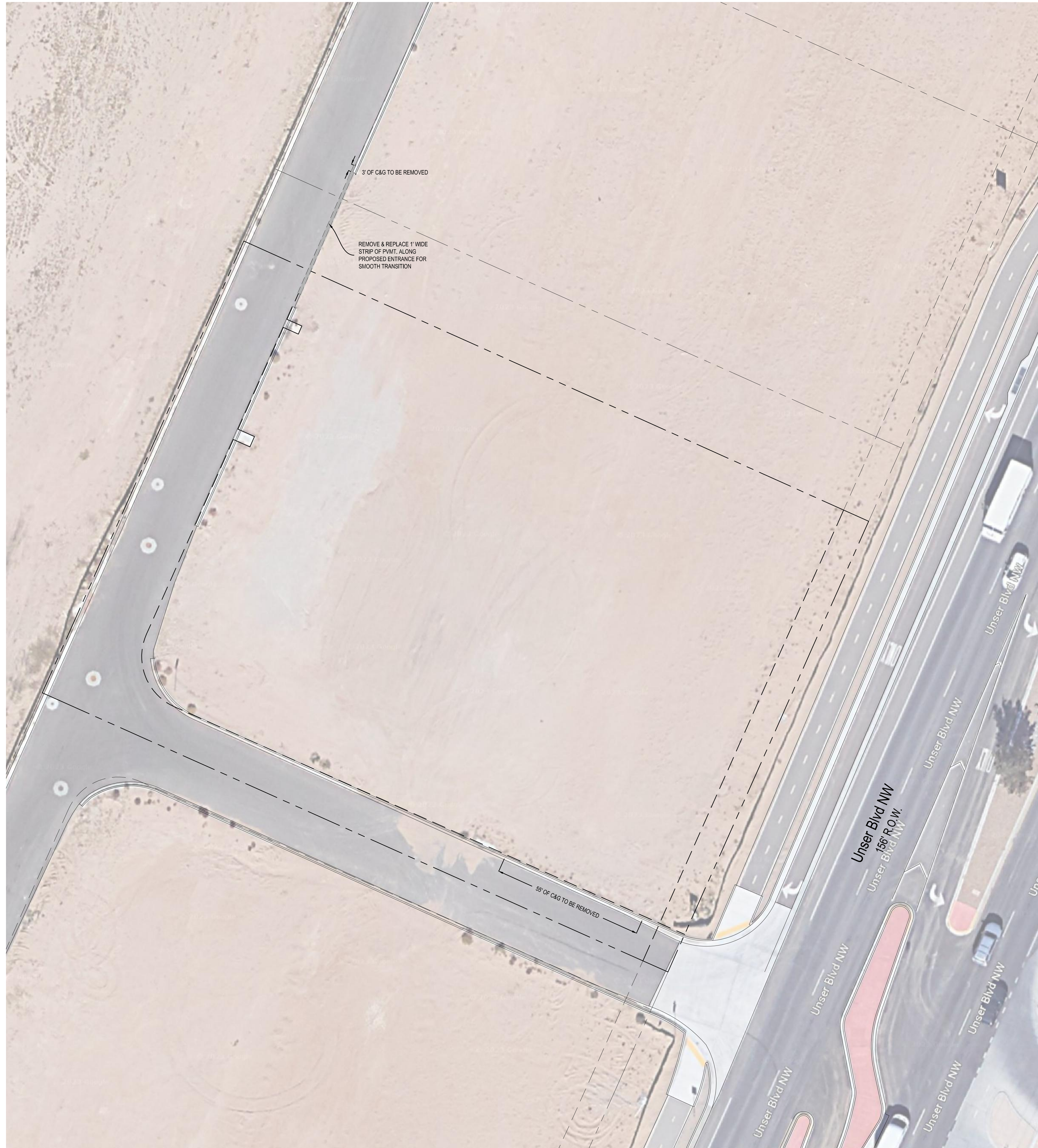
The proposed development will consist of two separate buildings. One building will be a stand-alone Dunkin with a drive through, with a building area equal to 2,500 sf. The other building will be a two-tenant building totaling 4,160 sf, which will be half retail and the other have will be another drive through. All building setbacks have been met for both buildings, the required parking for City code has been met onsite for both buildings, and all proposed uses fall within the allowance for the current zoning of MX-L: Mixed Use Low Intensity Zone. Some bicycle parking has been provided next to the Dunkin building, adjacent to an outdoor seating area. The site contains two-way traffic on the east site, out front of the two buildings, while the remaining portions of the site contain one way traffic. This allows for all drive-through queuing to enter along the north side of the lot. The current drive through stacking onsite shown is only 10 spaces per building, while code requires 12 stacking spaces. While there are only 10 stacking spaces shown, the site can handle the required 12 stacking spaces onsite along the north side without causing cars or traffic to back up into the public ROW or internal drive aisles of the shopping center.

At this time, one of the items we are looking for concurrence from the City is the location of the access point at the SE corner of the lot. We would like to make sure the City does not have any issues with this location and its proximity to the shared access driveway onto Unser Blvd.

Respectfully submitted,



Matthew T. Ervin, P.E.
Project Manager



Scale 1"=20'

KORU
Koru Group, PLLC
 2135 CityGate Lane, STE 330
 Naperville, IL. 60563

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 The drawings and the contents herein are the sole property of Koru Group, PLLC and no portion of any may be printed or copied without the express permission of this office.

CONSULTING ARCHITECT:

GENERAL CONTRACTOR:

CLIENT:
DUNKIN DONUTS
 UNSER BLVD
 CONSTRUCTION
 Unser Blvd
 Albuquerque, NM, 87114

SITE DEMOLITION LEGEND

	TO REMAIN	TO BE REMOVED
Watermain	W ———	W ———
Storm Sewer	— > ———	— > ———
Sanitary Sewer	— > ———	— > ———
Overhead Electric	— OH-ELEC —	— OH-ELEC —
Electric	— E ———	— E ———
Telephone	— T ———	— T ———
Gas	— G ———	— G ———
Storm Manhole	⊙	⊙
Storm Inlet	⊠	⊠
Valve Vault/B-Box	⊗	⊗
Fire Hydrant	⊕	⊕
Sanitary Manhole	⊙	⊙
Utility Pole	⊙	⊙
Curb & Gutter	≡≡≡	≡≡≡
Contour	- - 69.5 - -	- - 69.5 - -
Trees	⊗	⊗
Street Light	⊙	⊙
Concrete	▒	▒
Sign	⊙	⊙
Fence	— X —	— X —
Pavement	▒	▒

SITE DEMOLITION NOTES

- All sewers which are to be abandoned shall be removed and replaced with approved trench backfill and compacted to 95% modified proctor if located in future building areas or 90% in any other location. Plugs shall be on both ends of pipe for a distance of 2' and be made of non-shrink concrete concrete or mortar.
- Contractor shall verify all existing conditions prior to demolition and notify engineer of any discrepancies or potential conflicts between existing conditions and proposed design.
- All excess material shall be hauled offsite and disposed of properly. Demolition debris shall not be buried on site unless soil engineer has approved as allowable backfill.
- Demolition contractor shall call NM811 prior to any demolition work.
- All utilities to be abandoned shall be capped in accordance with the requirements of the appropriate utility companies and the governing municipality.
- Traffic control for work in the right-of-way shall meet state DOT standards.
- Contractor must barricade (including warning lights) all open excavations to prevent vehicular and pedestrian traffic from entering the area.
- All excavations to be filled in 9" lifts with approved engineered backfill and compacted to 95% modified proctor.
- Excavation contractor shall grade site in order to provide full pavement section per pavement detail.
- A construction schedule shall be coordinated with all adjacent property owners to maintain continuous access to all existing driveways.
- All mud shall be removed from all construction vehicles prior to exiting the construction site. Any dirt and debris deposited on the adjacent roadways shall be immediately removed from said adjacent roadways.
- All manholes to be abandoned shall have the cone removed and backfilled per the requirements of the appropriate utility company and the governing municipality.
- Demolition of all utilities (including but not limited to gas, electric, telephone and cable) shall be coordinated with the governing municipality and the utility companies.
- Excavate all existing landscape areas, including parkways, to full pavement design depth for new construction.
- Contractor will be responsible for removal of all visible and underground improvements including but not limited to items shown on these plans.
- Ground is to be graded to have positive drainage and seeded or immediate construction of the new building.

REVISIONS:		
#	DESCRIPTION	DATE
1		1/8/2024

PROJECT NUMBER: 23103
 DRAWN BY: MTE REVIEWED BY: STK
 SHEET TITLE:
EXISTING CONDITIONS & DEMOLITION PLAN
 SHEET NO.
C0.2

IF PRINTED TO SCALE, BOTH THESE BARS WILL MEASURE 1" = 1'

