

1 - DFT Application



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

2 - Form S3

FORM S3: ADMINISTRATIVE APPLICATIONS – Development Facilitation Team (DFT) as of 12/25/2022**_ AMENDMENT TO INFRASTRUCTURE LIST**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Amended Infrastructure List
- ___ 6) Original Infrastructure List

_ TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) A scale drawing showing the location of the deferred sidewalk with appropriate dimensions

_ EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled

- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the deferral or extension
- ___ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

**_ INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA)
EXTENSION**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

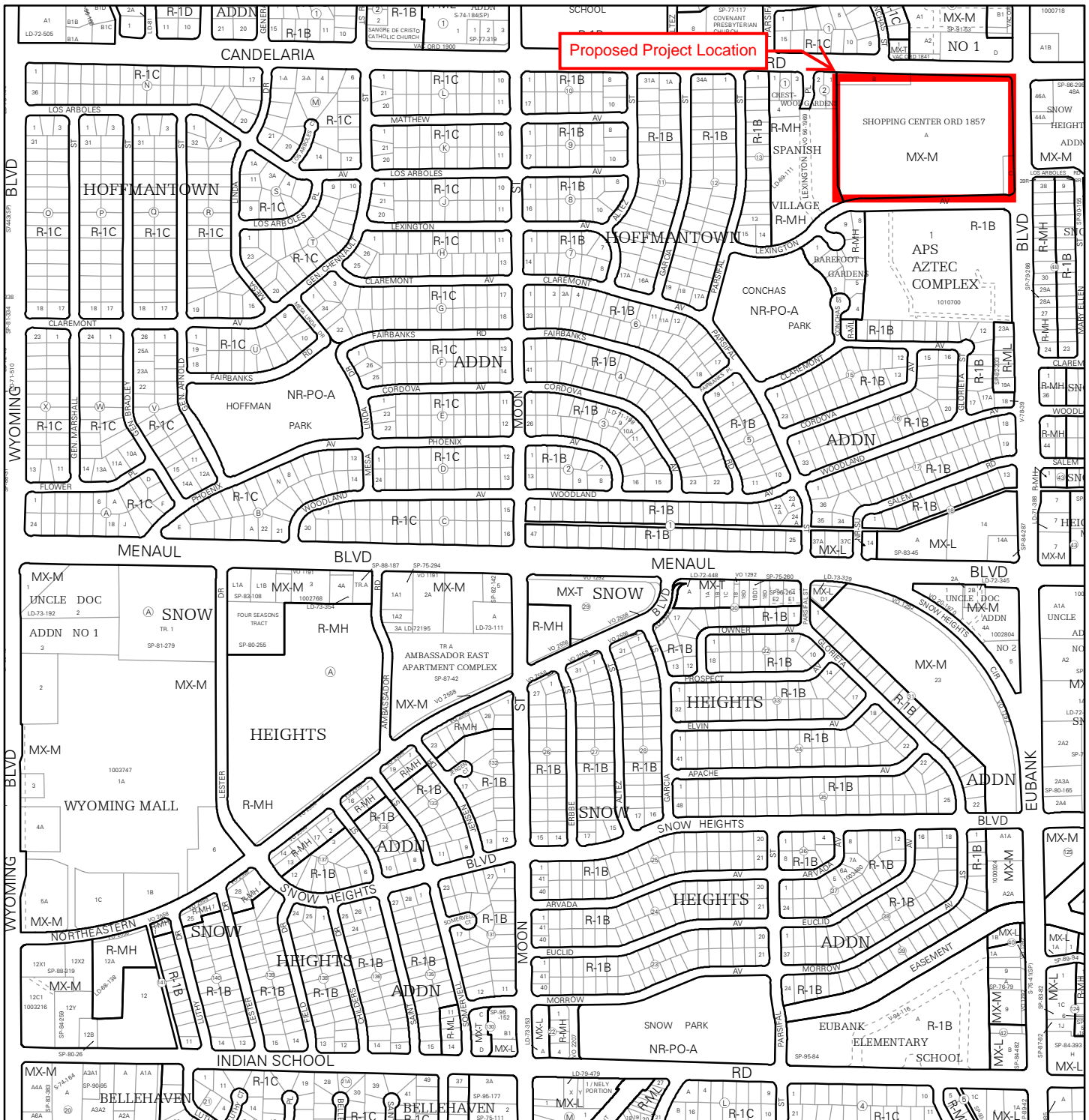
- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- ___ 6) Preliminary Plat or Site Plan
- ___ 7) Copy of DRB approved Infrastructure List
- ___ 8) Copy of recorded IIA

_ SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter describing, explaining, and justifying the request
- ___ 5) Scale drawing of the proposed subdivision plat or Site Plan
- ___ 6) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

3 - Zone Atlas Map



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
H-20-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000
Feet

4 - Project Justification Letter



Justification Letter

To: City of Albuquerque
From: Kyle Watson, PE
Kimley-Horn and Associates, Inc.
Date: 11/26/2024
Subject: Eastdale Shopping Center Improvements

Project Narrative

Balboa Retail Partners is looking to propose Improvements to the current Eastdale Shopping Center at 9450 Candelaria Rd NE including a subdivision plat, beginning with a Sketch Plat submittal.

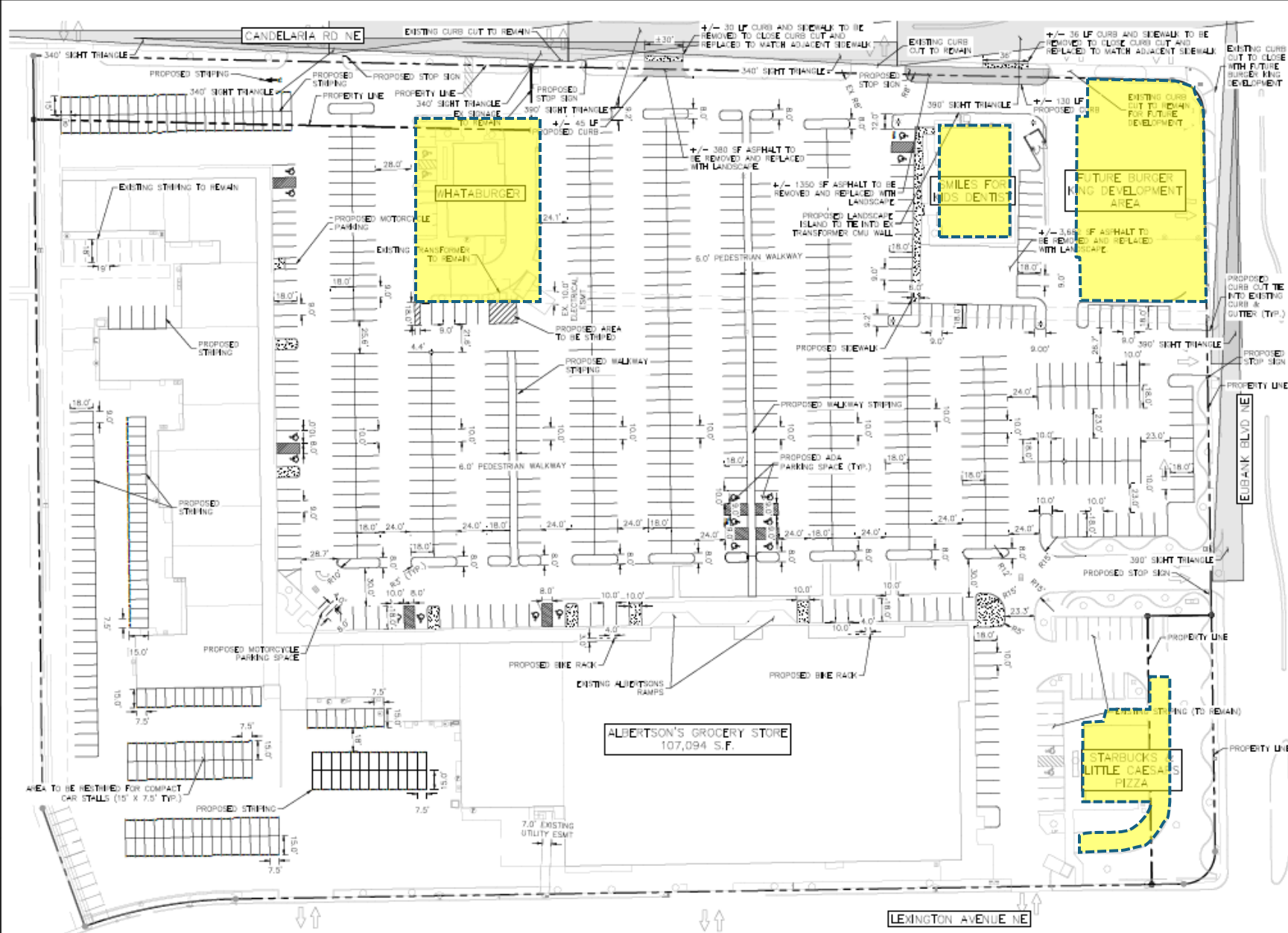
The overall site improvements are being reviewed under a Minor Amendment (File #: SI-2024-01120 and Project #: PR-2024-009800). These improvements include the following: resurface / sealcoat and restripe parking field, convert angled parking to 90-degree stalls; modify landscape islands, upgrade common area lighting, correct ADA deficiencies, removed abandoned bank drive aisle, remove landscape islands, close excess curb cuts, coordinate with Albertsons for cart containment system, and increase width of stalls from 8.5' to 10' in Albertsons primary parking area.

The purpose of this letter is to request a Sketch Plat review for a proposed subdivision plat. The purpose of the plat request is to subdivide the property for outbuilding leasehold areas. The proposed plat is shown in the attached sketch plan and includes the subdivision of 4 tracts for the outparcel buildings onsite.

Thank you for your time and consideration and please feel free to contact me at 720-943-5665 or Kyle.Watson@Kimley-Horn.com with any questions.

Kyle Watson, P.E.
Project Manager

5 - Plat Sketch

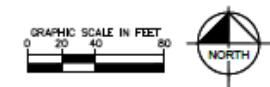


LEGEND:

- PROPERTY LINE
- ADJACENT SECTION LINE
- - - EX. UTILITY ESMT
- - - EX. WROUGHT IRON FENCE
- - - EX. CHAIN LINK FENCE
- - - EX. FINE HYDRANT/VALVE
- - - EX. FLAGPOLE
- - - EX. SITE LIGHT
- - - PROP. SITE LIGHT
- - - EX. SIGN
- - - PROP. 6" VERTICAL CURB PER CITY DETAIL
- - - PROP. ASPHALT
- - - PROP. CONCRETE
- - - PROPOSED SIGN
- - - PROPOSED BIKE RACK (SEE SHEET C802 FOR DETAILS)
- - - PROPOSED STRIPING
- - - COMPACT PARKING SPACE (15' X 7.5' TYP.)

- DIMENSION NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURB SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
 3. REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTINGS.
 4. ALL CURB RETURN RADII TO BE 25', 25', 15' OR 2' UNLESS OTHERWISE NOTED.

SITE DATA TABLE	
TOTAL EXISTING PARKING	861 SPACES
PARKING REQUIRED	2.3 SPACES / 1,000 S.F. = 246 SPACES
PROPOSED COMPACT PARKING	126 SPACES
PROPOSED TOTAL PARKING	920 SPACES
EXISTING ADA PARKING	16 SPACES
ADA PARKING REQUIRED	9 SPACES
PROPOSED ADA PARKING	16 SPACES
PROPOSED BICYCLE PARKING	12 SPACES (6 RACKS)



BY DATE APPROVED

NO. SECTION

Kimley-Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
8200 South W. 40th Street
Greenwood, Colorado 80111 (303) 228-2300

DESIGNED BY: MKG
DRAWN BY: MKG
CHECKED BY: ALH
DATE: 4/17/24

EASTDALE SHOPPING CENTER
9450 CANDELARIA ROAD NE
ALBUQUERQUE, NM 87112

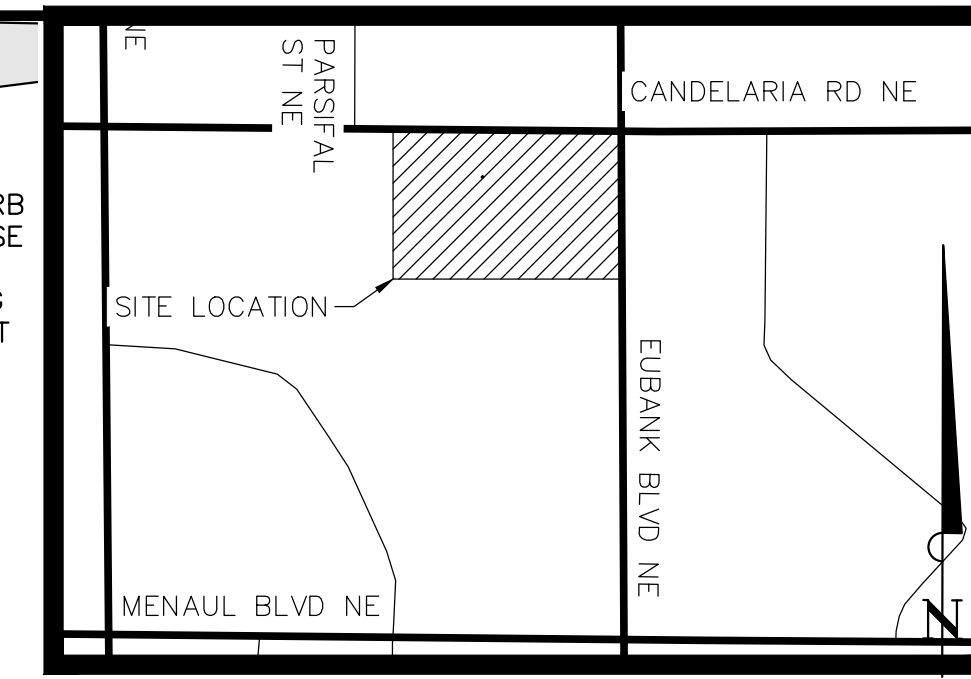
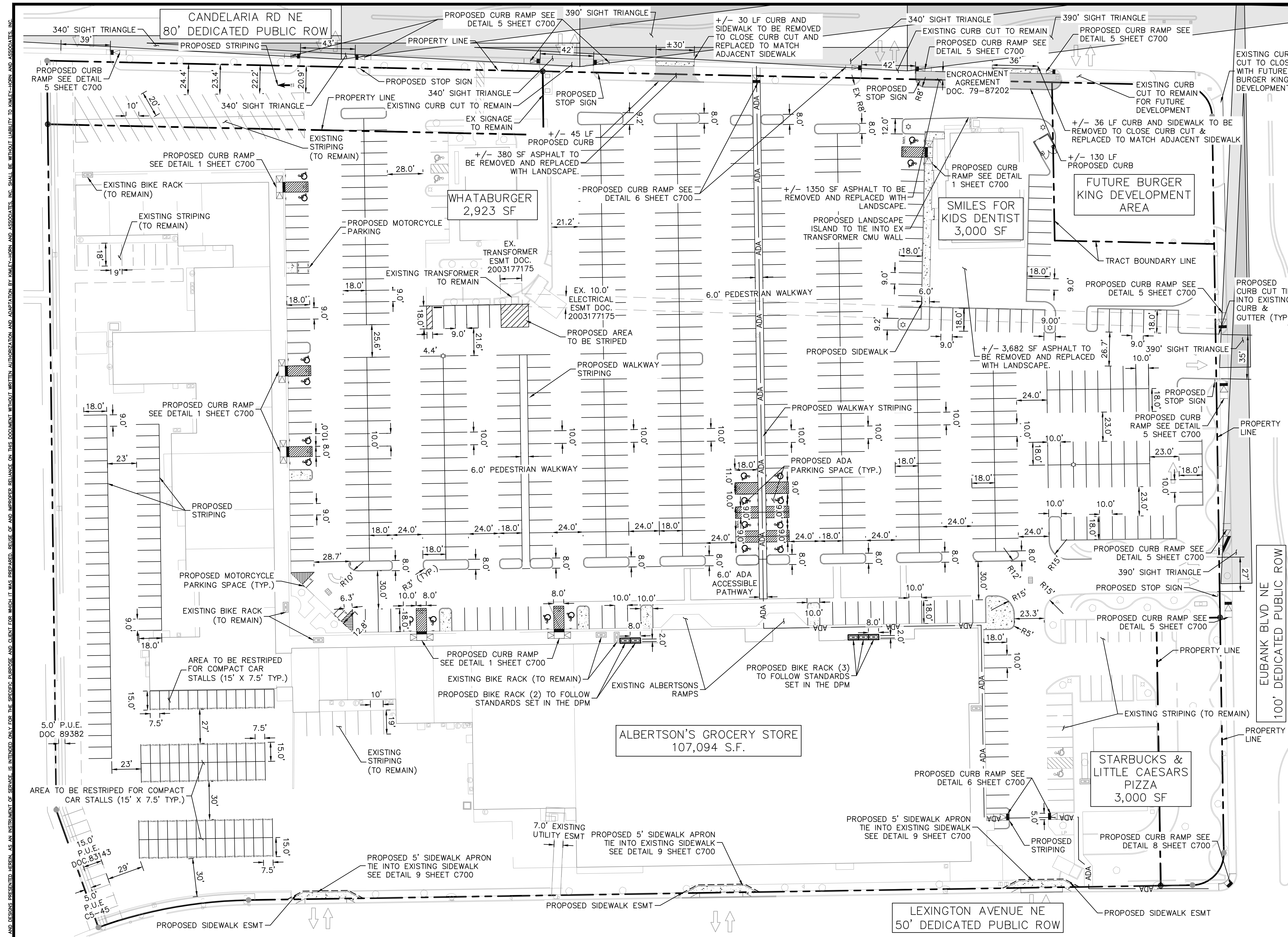
SITE PLAN

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Kimley-Horn
Engineers and Architects, Inc.

PROJECT NO. 196920000
SHEET 196920000_SP
C200

6 - Site Plan Sketch



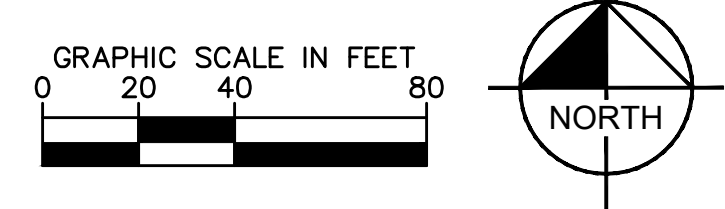
VICINITY MAP - ZONE ATLAS PAGE: H-20-Z
SCALE: 1"=1000'

LEGEND:

- PROPERTY LINE
- ADJACENT SECTION LINE
- EX. UTILITY ESMT
- EX. WROUGHT IRON FENCE
- EX. CHAIN LINK FENCE
- ADA ACCESSIBLE ROUTE
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- PROPOSED STRIPING
- COMPACT PARKING SPACE (15' X 7.5' TYP.)

- DIMENSION NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
 - REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTINGS.
 - ALL CURB RETURN RADIUS TO BE 28', 25', 15' OR 2' UNLESS OTHERWISE NOTED.

- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK. A BUILD NOTE MUST BE PROVIDED REFERRING TO THE APPROPRIATE CITY STANDARD DRAWING.
- THE SUBJECT PROPERTY HAS FULL DIRECT ACCESS TO AND FROM CANDELARIA ROAD NE EUBANK BOULEVARD NE AND LEXINGTON AVENUE NE, DEDICATED PUBLIC RIGHTS-OF-WAYS OWNED AND MAINTAINED BY THE CITY OF ALBUQUERQUE.



NO.	REVISION	DATE	APPR.

Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood, Colorado 80111 (303) 228-2300

DESIGNED BY: MGK
DRAWN BY: MGK
CHECKED BY: AJH
DATE: 11/25/24

EASTDALE SHOPPING CENTER H20-D018
9450 CANDELARIA ROAD NE
ALBUQUERQUE, NM 87112
SITE PLAN

PROJECT NO.
196920000
SHEET
196920000_SP
C200

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.