



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>MISCELLANEOUS APPLICATIONS</b>		<input type="checkbox"/> Extension of Infrastructure List or IIA ( <i>Form S3</i> )	
<input type="checkbox"/> Site Plan Administrative DFT ( <i>Forms SP &amp; P2</i> )		<b>PRE-APPLICATIONS</b>	
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC ( <i>Form P2</i> )		<input type="checkbox"/> Sketch Plat Review and Comment ( <i>Form S3</i> )	
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List ( <i>Form S3</i> )		<input type="checkbox"/> Sketch Plan Review and Comment ( <i>Form S3</i> )	
<input type="checkbox"/> Temporary Deferral of S/W ( <i>Form S3</i> )		<b>APPEAL</b>	
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W ( <i>Form S3</i> )		<input type="checkbox"/> Decision of Site Plan Administrative DFT ( <i>Form A</i> )	
<b>BRIEF DESCRIPTION OF REQUEST</b>			
<b>APPLICATION INFORMATION</b>			
Applicant/Owner:		Phone:	
Address:		Email:	
City:	State:	Zip:	
Professional/Agent (if any):		Phone:	
Address:		Email:	
City:	State:	Zip:	
Proprietary Interest in Site:		List <u>all</u> owners:	
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>			
Lot or Tract No.:		Block:	Unit:
Subdivision/Addition:		MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):		Existing Zoning:	Proposed Zoning
# of Existing Lots:		# of Proposed Lots:	Total Area of Site (Acres):
<b>LOCATION OF PROPERTY BY STREETS</b>			
Site Address/Street:		Between:	and:
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>			
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.			
Signature: <i>Jonathan Turner</i>			Date:
Printed Name:			<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

**FORM S3: ADMINISTRATIVE APPLICATIONS – Development Facilitation Team (DFT) as of 12/25/2022****\_ AMENDMENT TO INFRASTRUCTURE LIST**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form S3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Proposed Amended Infrastructure List
- \_\_\_ 6) Original Infrastructure List

**\_ TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

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- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) A scale drawing showing the location of the deferred sidewalk with appropriate dimensions

**\_ EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

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- \_\_\_ 2) Form S3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled

- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Letter describing, explaining, and justifying the deferral or extension
- \_\_\_ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

**\_ INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA)  
EXTENSION**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

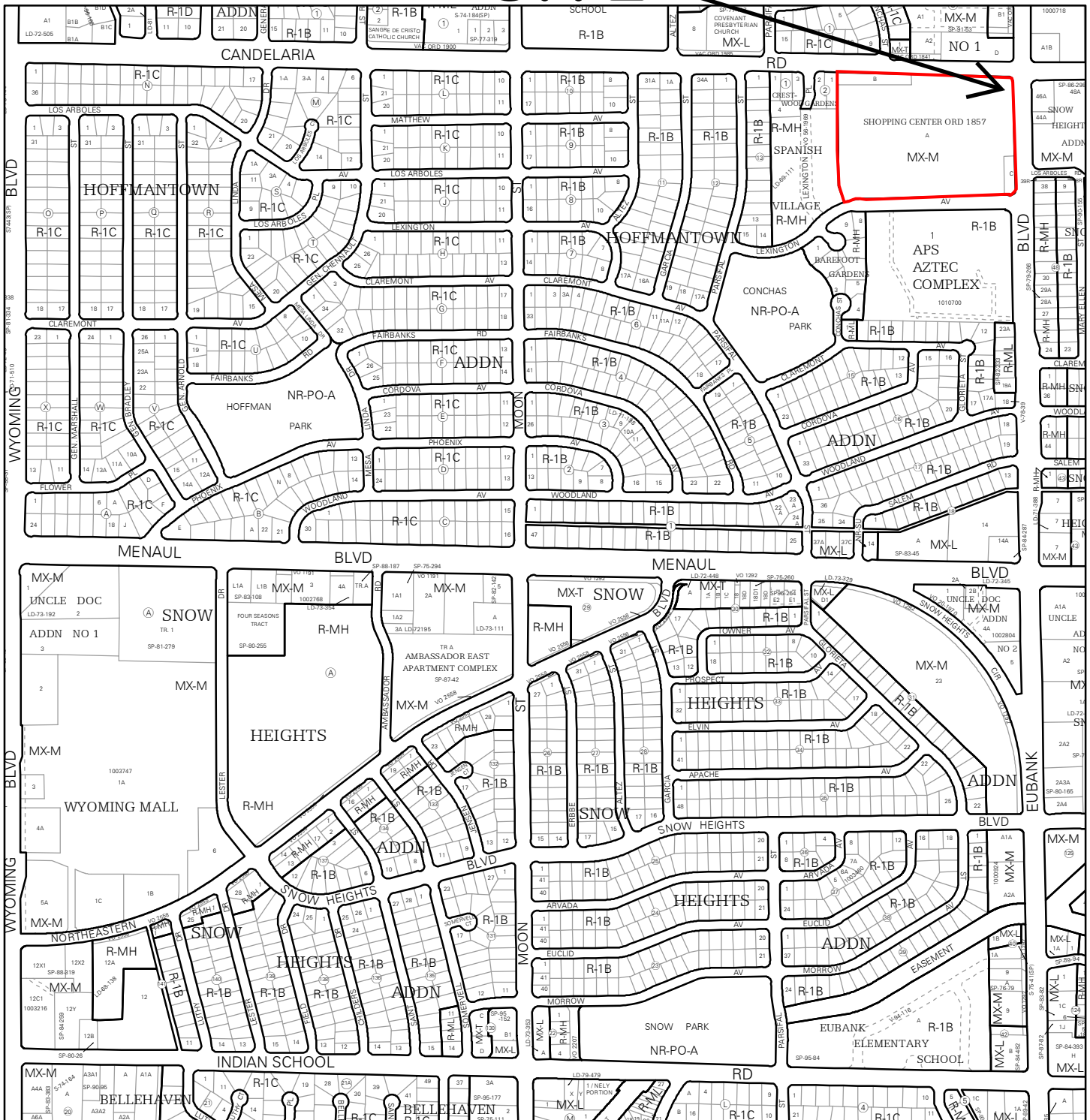
- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form S3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- \_\_\_ 6) Preliminary Plat or Site Plan
- \_\_\_ 7) Copy of DRB approved Infrastructure List
- \_\_\_ 8) Copy of recorded IIA

**\_ SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form S3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter describing, explaining, and justifying the request
- \_\_\_ 5) Scale drawing of the proposed subdivision plat or Site Plan
- \_\_\_ 6) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

# SITE



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018

**IDO Zoning information as of May 17, 2018**  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**H-20-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet



January 9, 2024

Landscape Architecture  
Urban Design  
Planning Services

Jolene Wolfley, Associate Director  
Planning Department  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

Dear Ms. Wolfley:

The purpose of this letter is to request a sketch plat review of a proposed project located at 2901 Eubank NE here in Albuquerque.

The project is for a new 2880 square foot Burger King restaurant with a drive-through window and all related site improvements to include adding screen walls, landscaping, and street trees along Eubank Boulevard and Candelaria Road. The new building will replace the former 3606 square foot gas station and auto service shop that was originally built in the 1960's that was recently demolished. The site is currently vacant and secured with temporary chain link fencing.

The applicant is seeking the DFT's review and comments based on the preliminary site plan submitted with this application. The intent of the applicant is to be fully informed of all requirements that may be imposed under the regulations of the IDO, DPM, and the original shopping center Site Plan in order to obtain approval of a Minor Amendment to a prior approved Site Plan (see attached).

Please don't hesitate to contact me directly if you have any questions or require more information.

Thank you in advance for your review and consideration.

Sincerely,



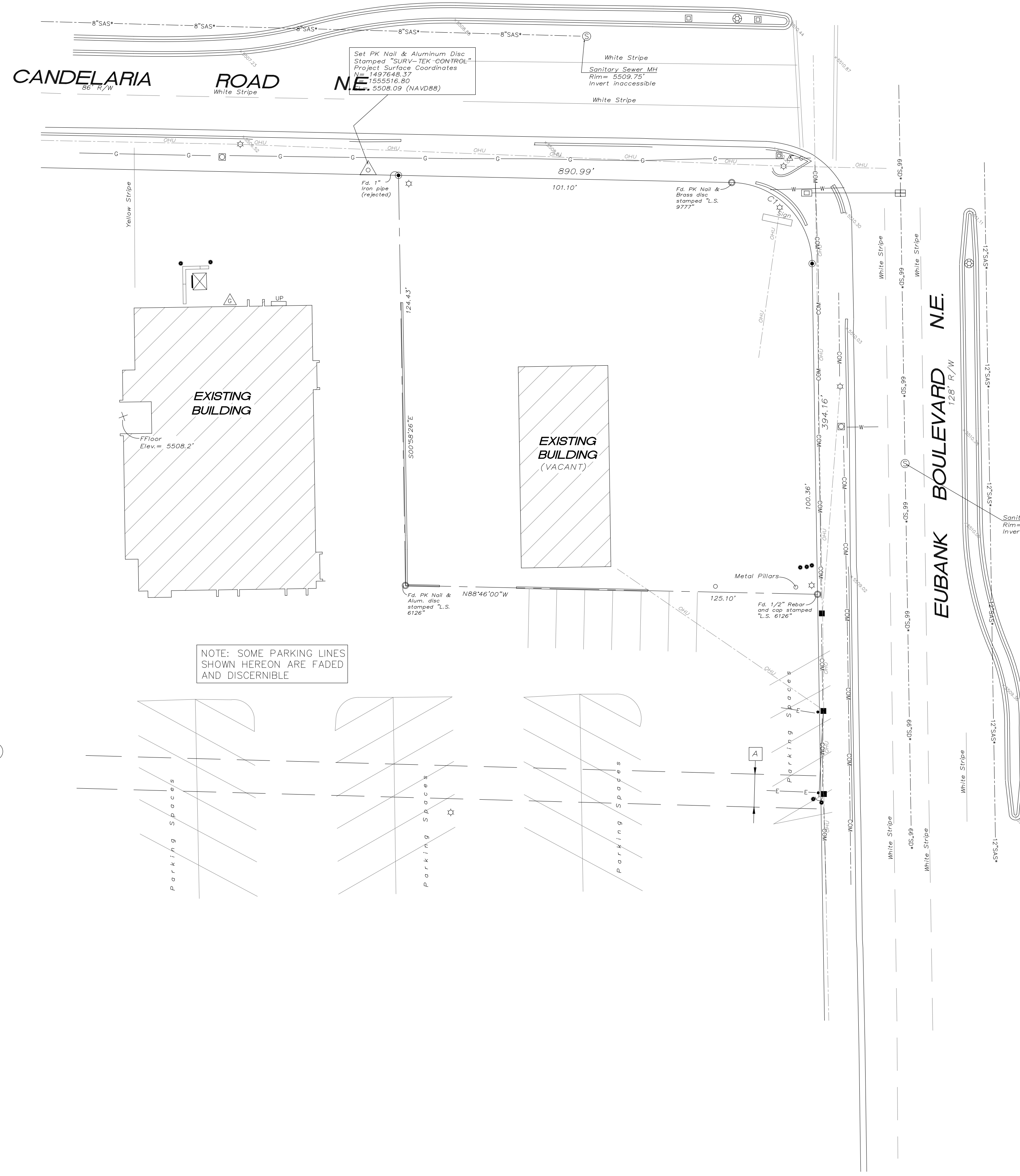
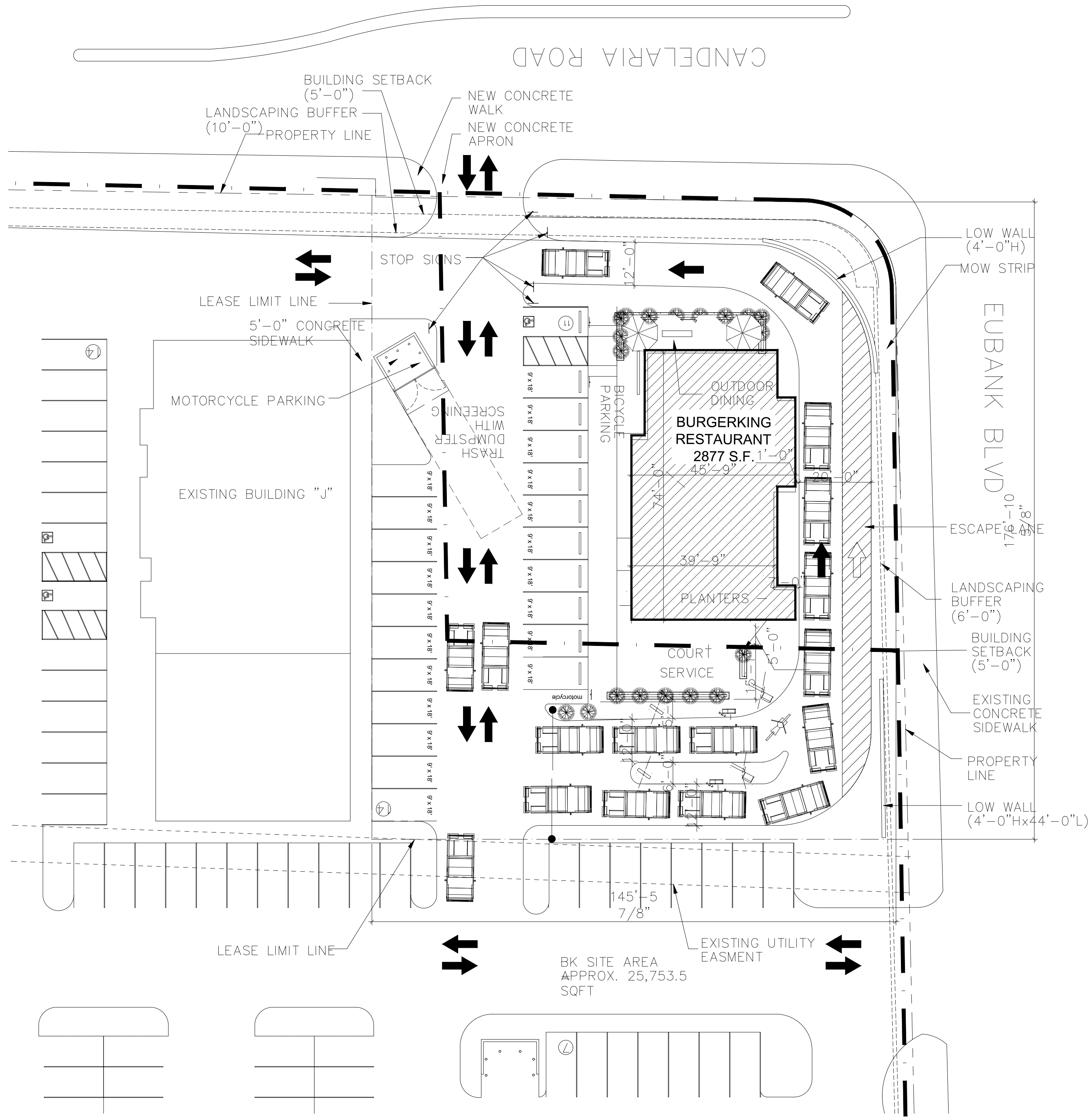
Jonathan Turner

#### PRINCIPALS

James K. Strozier, FAICP  
Jacqueline Fishman, AICP

#### ASSOCIATES

Ken Romig, PLA, ASLA

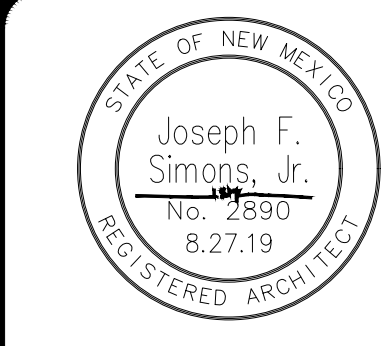
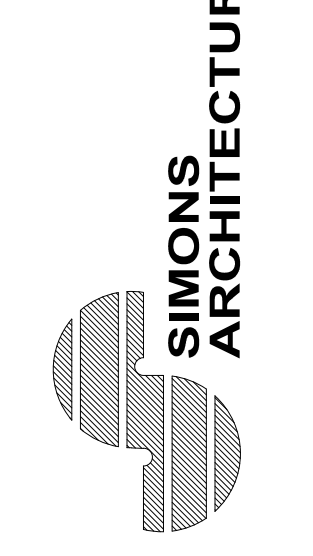


NO.	DATE	REVISION	CHECKED BY:	DATE

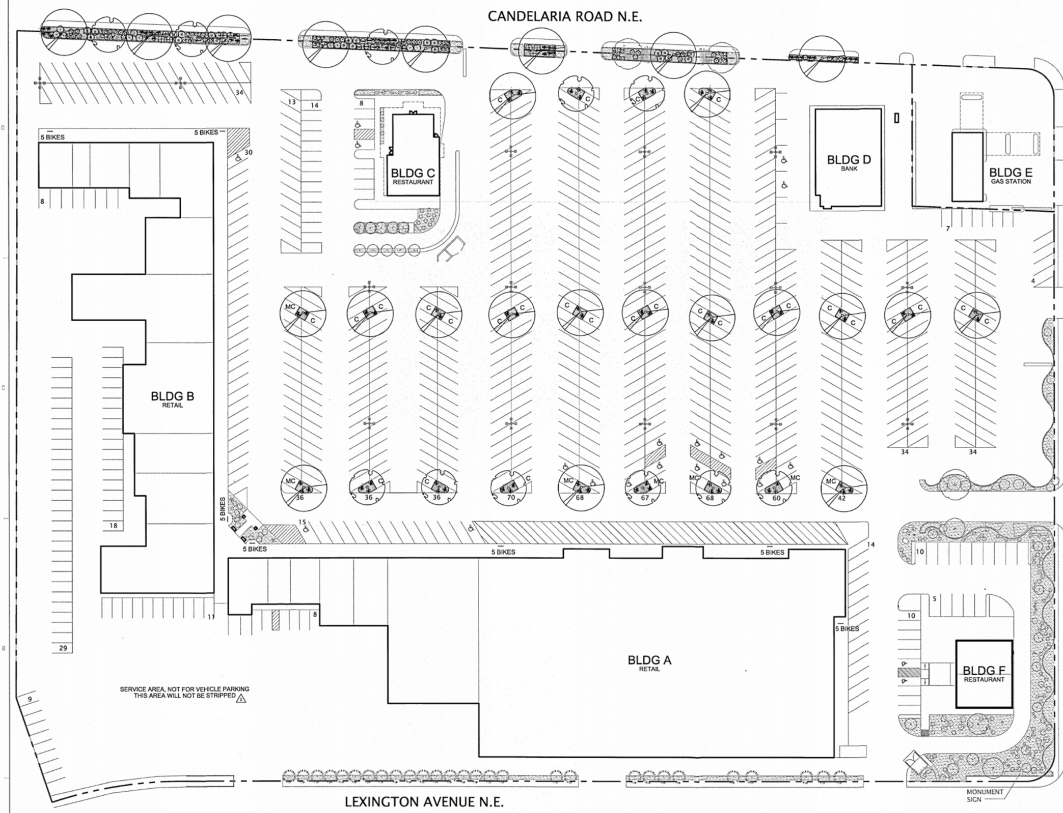


BURGER KING CORP./FRANCHISEE

Joseph F. Simons Jr., AIA  
 nm lic 002890  
 P.O. Box 47788  
 Albuquerque, NM 87146  
 ph 505.484.4786  
 joe@simonsarchitecture.com



PROJECT #: JCS-072  
 R/O-80/20/20 IMAGE: SEPTEMBER 2016 DESIGN RELEASE  
**BURGER KING RESTAURANT**  
 CANDELARIA AND EUBANK  
 ALBUQUERQUE NEW MEXICO



**GENERAL SHEET NOTES**

1. THIS LANDSCAPE PLAN ILLUSTRATES BOTH EXISTING AND PROPOSED LANDSCAPING.
2. EXISTING LANDSCAPING AND LANDSCAPE AREA HAVE BEEN DOCUMENTED BASED ON FIELD OBSERVATIONS IN OCTOBER 2014.
3. THIS PLAN IS AMENDED TO APPROVE THE EXISTING OFF-STREET PARKING, DRIVE ASBLES AND SERVICE AREA CONFIGURATIONS.

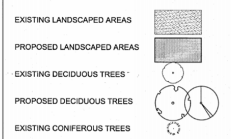
**PLANTING NOTES**

1. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
2. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM THE PROVISIONS OF THE ORDINANCE. WATER MANAGEMENT AND CONSERVATION IS THE RESPONSIBILITY OF THE OWNER.
3. PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.
4. ALL LANDSCAPE AREAS THAT ARE NOT COVERED WITH TURF, WILL BE STABILIZED WITH A ROCK MULCH.

**IRRIGATION NOTES**

1. IRRIGATION FOR THE EXISTING IRRIGATION WILL REMAIN IN PLACE AS IS OR BE CONNECTED TO NEW A NEW SYSTEM.
2. ALL NEW LANDSCAPING SHALL BE IRRIGATED WITH AN AUTOMATED IRRIGATION SYSTEM.
3. POINT OF CONNECTION FOR NEW IRRIGATION IS UNKNOWN AT THIS TIME, AND WILL BE COORDINATED IN THE FIELD.
4. IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.

**LEGEND**



**PARKING INFORMATION**

PARKING REQUIRED	SF	RATIO	SPACES
RETAIL SPACE AREA	111,687	1/200	559
RESTAURANT SPACE AREA	7,000	1/100	70
TOTAL BUILDING AREA	118,687		629
HANDICAP PARKING		16 FOR 501-800	16
BICYCLE PARKING		100 SPACES	32
MOTORCYCLE PARKING		7 FOR 501-750	7

PARKING PROVIDED	SPACES
STANDARD SPACES	742
COMPACT SPACES	28
HANDICAP SPACES	21
TOTAL SPACES	791
BICYCLE PARKING	35
MOTORCYCLE PARKING	7

**ADMINISTRATIVE APPROVAL**

**ADMINISTRATIVE AMENDMENT**  
 FILE # 1001 PROJECT # 102428 (1002428)  
 DEPARTMENT OF LANDSCAPE  
 PLAN # AMENDED SUB PLAN  
 APPROVED BY: [Signature] DATE: 11/20/15

ARCHITECTURE / DESIGN / INSPIRATION

**DEKKER PERICH SABATINI**

7601 JEFFERSON N.E. SUITE 100  
 ALBUQUERQUE, NM 87114  
 505.761.9700 / DPDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

**EASTDALE SHOPPING CENTER**  
 CANDELARIA ROAD AND EUBANK BOULEVARD  
 Albuquerque, NM

REVISIONS

- 1/16/2015 - REVISED SHEET NOTES
- 1/19/2015 - REVISED SHEET NOTES

DRAWN BY: SO  
 REVIEWED BY: MB  
 DATE: 12/1/2014  
 PROJECT NO: 14-0086  
 DRAWING NAME:

**AMENDED SITE PLAN AND LANDSCAPING PLAN**

SHEET NO.

**AS-101**  
 OF

CANDELARIA ROAD N.E.

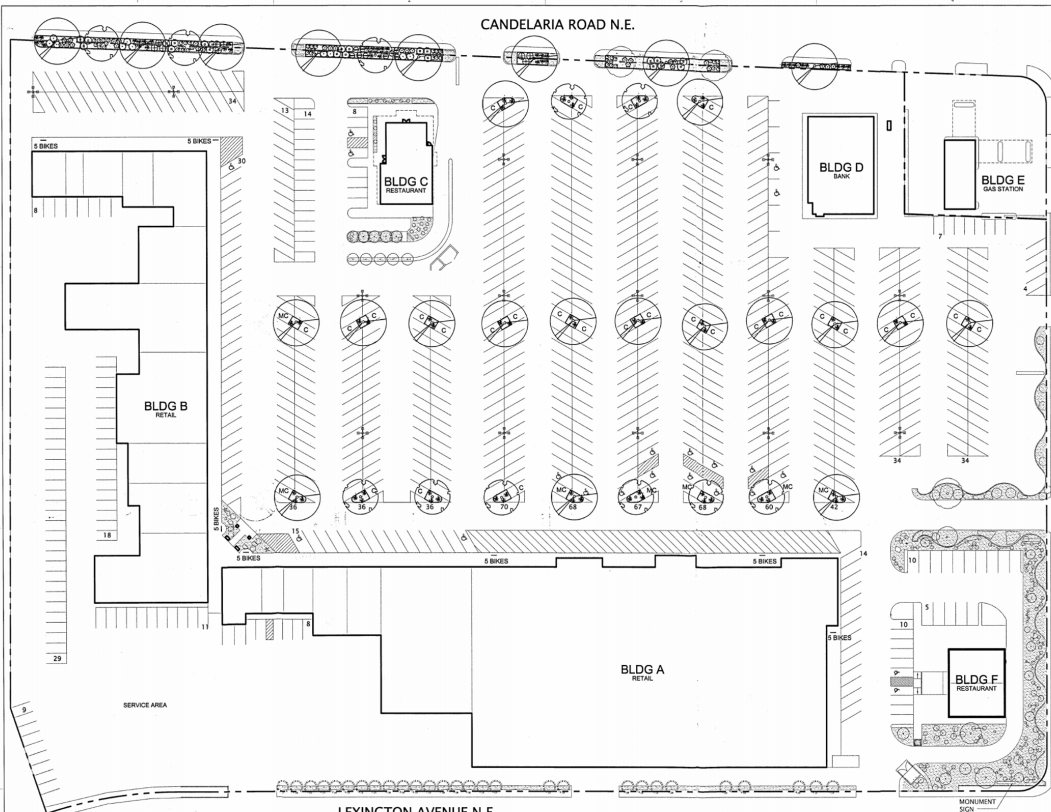
EUBANK BOULEVARD N.E.

LEXINGTON AVENUE N.E.

**SITE PLAN**  
 1" = 40'-0"

**PLANTING SCHEDULE**

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	CONT SIZE	MATURE HEIGHT	WATER USE
<b>TREES</b>						
(Symbol)	24	HONEYLOCUST	Gleditsia Tricanthos inermis 'Shademaster'	2" - Cal	40' X 35'	MED WATER USE
(Symbol)	11	TEXAS RED OAK	Quercus buckleyi	2" - Cal	30' X 30'	MED WATER USE
<b>SHRUBS &amp; GRASSES</b>						
(Symbol)	30	PRAIRIE SAGE	Artemisia ludoviciana	1-Gal	1' X 2.5'	LOW WATER USE
(Symbol)	9	ARP ROSEMARY	Rosmarinus officinalis 'Atp	5-Gal	5' X 5'	LOW WATER USE
(Symbol)	22	FIERN BUSH	Chamaelirium Mifidifium	1-Gal	5' X 5'	MED WATER USE
(Symbol)	10	APACHE PLUME	Fallugia paradoxa	1-Gal	5' X 8'	LOW WATER USE
(Symbol)	101	DEER GRASS	Muhlenbergia rigens	1-Gal	3' X 2'	MED WATER USE
(Symbol)	9	GREEN RUBBER RABBITBUSH	Chrysothamnus nauseosus 'Green'	1-Gal	4' X 4'	LOW WATER USE
(Symbol)	45	FEATHER REED GRASS	Calamagrostis acutiflora 'Karl Foerster'	1-Gal	2' X 2.5'	MED WATER USE
(Symbol)		KARL FOERSTER				
(Symbol)		MULCH	6,948.5 SF SANTA FE BROWN CRUSHER FINES			



**PLANTING SCHEDULE**

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	CONT SIZE	MATURE HEIGHT	WATER USE
<b>TREES</b>						
(Symbol)	24	HONEYLOCUST	Gleditsia Triacanthos inermis	2" - Cal	40' X 35'	MED WATER USE
(Symbol)	11	'SHADEMASTER' TEXAS RED OAK	Quercus buckleyi	2" - Cal	30' X 30'	MED WATER USE
<b>SHRUBS &amp; GRASSES</b>						
(Symbol)	30	PRAIRIE SAGE	Artemisia ludoviciana	1-Gal	1' X 2.5'	LOW WATER USE
(Symbol)	9	ARP ROSEMARY	Rosmarinus officinalis 'Arp	5-Gal	5' x 5'	LOW WATER USE
(Symbol)	22	FERN BUSH	Chamaebatia Milifolium	1-Gal	5' x 5'	MED WATER USE
(Symbol)	10	APACHE PLUME	Fallugia parviflora	1-Gal	5' x 5'	LOW WATER USE
(Symbol)	101	DEER GRASS	Muhlenbergia rigens	1-Gal	3' x 2'	MED WATER USE
(Symbol)	9	GREEN RUBBER RABBITBUSH	Chrysothamnus nauseosus 'Green'	1-Gal	4' x 4'	LOW WATER USE
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(Symbol)	6,948.5 SF SANTA FE BROWN CRUSHER FINES					

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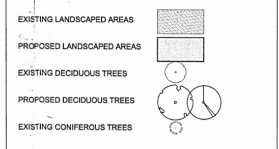
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**ADMINISTRATIVE APPROVAL**

DRAWN BY: SD  
 REVIEWED BY: MB  
 DATE: 12/1/2014  
 PROJECT NO.: 14-0086  
 DRAWING NAME: ARCHITECTURAL SITE PLAN  
 SHEET NO.: AS-101  
 OF: 1

ARCHITECTURE / DESIGN / INSPIRATION

**DEKKER PERICH SABATINI**  
 7601 JEFFERSON NE, SUITE 100  
 ALBUQUERQUE, NM 87119  
 505.751.9700 / OFPSDESIGN.ORG  
 ARCHITECT

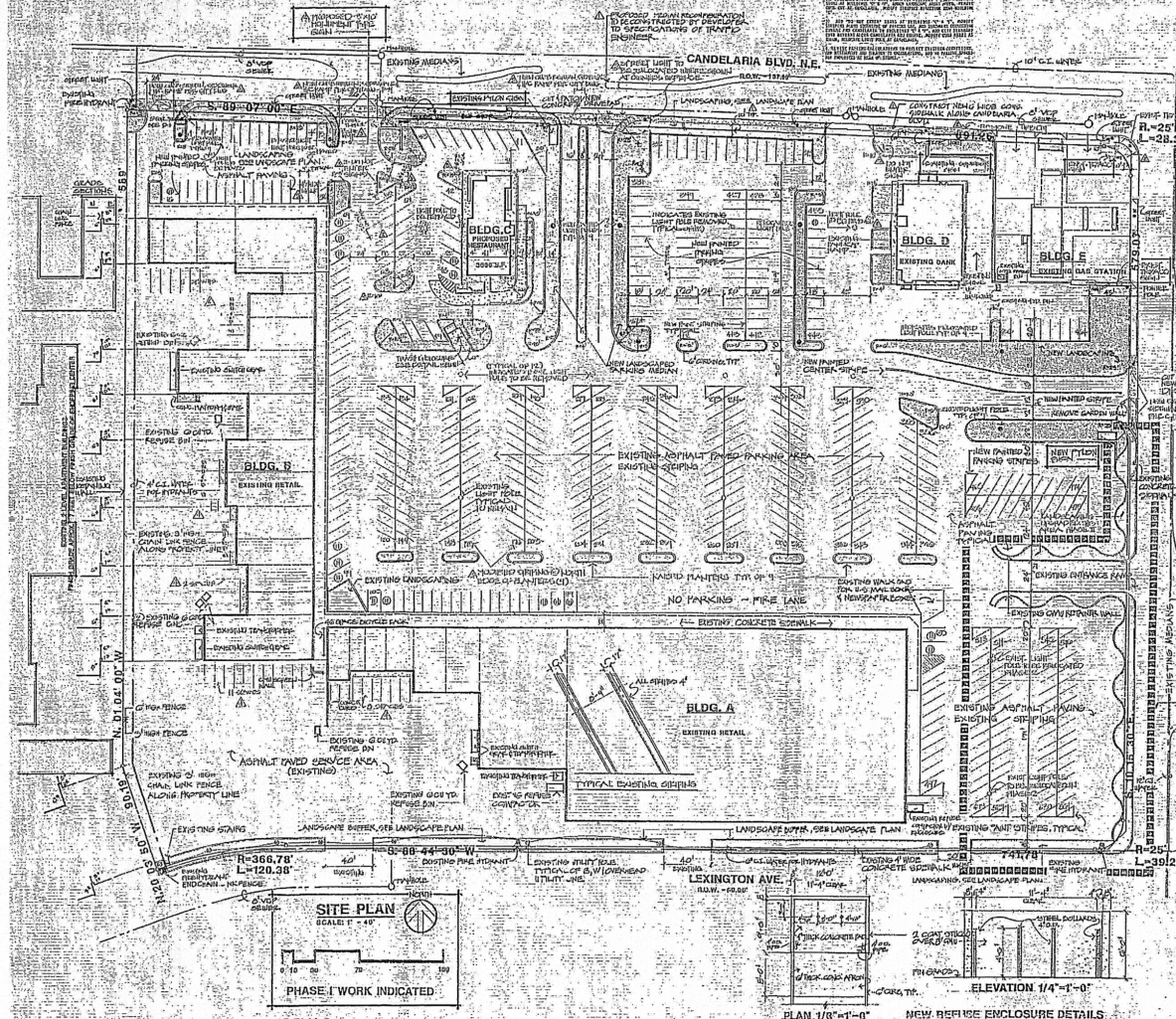
ENGINEER  
 PROJECT

**EASTDALE SHOPPING CENTER**  
 CANDELARIA ROAD AND EUBANK BOULEVARD  
 Albuquerque, NM

REVISIONS  
 14-0-2014 - REVISED SHEET NOTES

ARCHITECTURAL SITE PLAN  
 SHEET NO. AS-101  
 OF 1





**BUILDING AND SITE DATA:**

**LEGAL DESCRIPTION:**  
 TRACTS A, B AND C OF THE REPLAT OF THE N.E. 1/4, N.E. 1/4 OF SECTION 4, T. 18N. 41E. ASK. N. VERMILION COUNTY, NEW MEXICO AS SHOWN ON THE MAP OF THE COUNTY CLERK OF VERMILION COUNTY, N.M. DATED IN THE CITY OF ALBUQUERQUE, NEW MEXICO.

**HOLMES SABATINI SMITH EEDS**  
 ARCHITECTURAL PLANNING  
 ENGINEERING RESEARCH  
 CONSULTANTS  
 1000 UNIVERSITY BLVD., N.W.  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE: 761-1111

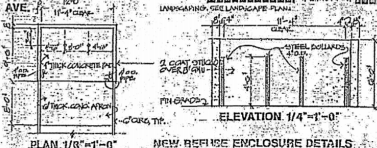
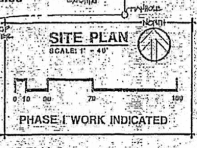
**Development Review Board:**

*Paula Thompson* 11/22/85  
*Janet Steiner* 11/17/85  
*John Peterson* 11/22/85  
*Paul Johnson* 11/22/85

Project No. 980-1  
 Revision No. 2  
 A. Brown, Jr.

**EXISTING AND PROPOSED**

NO.	DESCRIPTION	AREA (SQ. FT.)	REMARKS
1	EXISTING ASPHALT PAVED PARKING AREA	10,000	
2	EXISTING ASPHALT DRIVEWAYS	5,000	
3	EXISTING ASPHALT DRIVEWAYS	5,000	
4	EXISTING ASPHALT DRIVEWAYS	5,000	
5	EXISTING ASPHALT DRIVEWAYS	5,000	
6	EXISTING ASPHALT DRIVEWAYS	5,000	
7	EXISTING ASPHALT DRIVEWAYS	5,000	
8	EXISTING ASPHALT DRIVEWAYS	5,000	
9	EXISTING ASPHALT DRIVEWAYS	5,000	
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98	EXISTING ASPHALT DRIVEWAYS	5,000	
99	EXISTING ASPHALT DRIVEWAYS	5,000	
100	EXISTING ASPHALT DRIVEWAYS	5,000	



**PARTIAL SITE PLAN**  
 PHASE II - SCALE 1/4" = 1'-0"

**EASTDALE SHOPPING CENTER**  
 ALBUQUERQUE, NEW MEXICO

Drawn: 26 SEPT. 86  
 Checked: 22 OCT. 86  
 Date: 19 NOV. 1986  
 Project No.: 95-38  
 Sheet No.: 1 OF 8