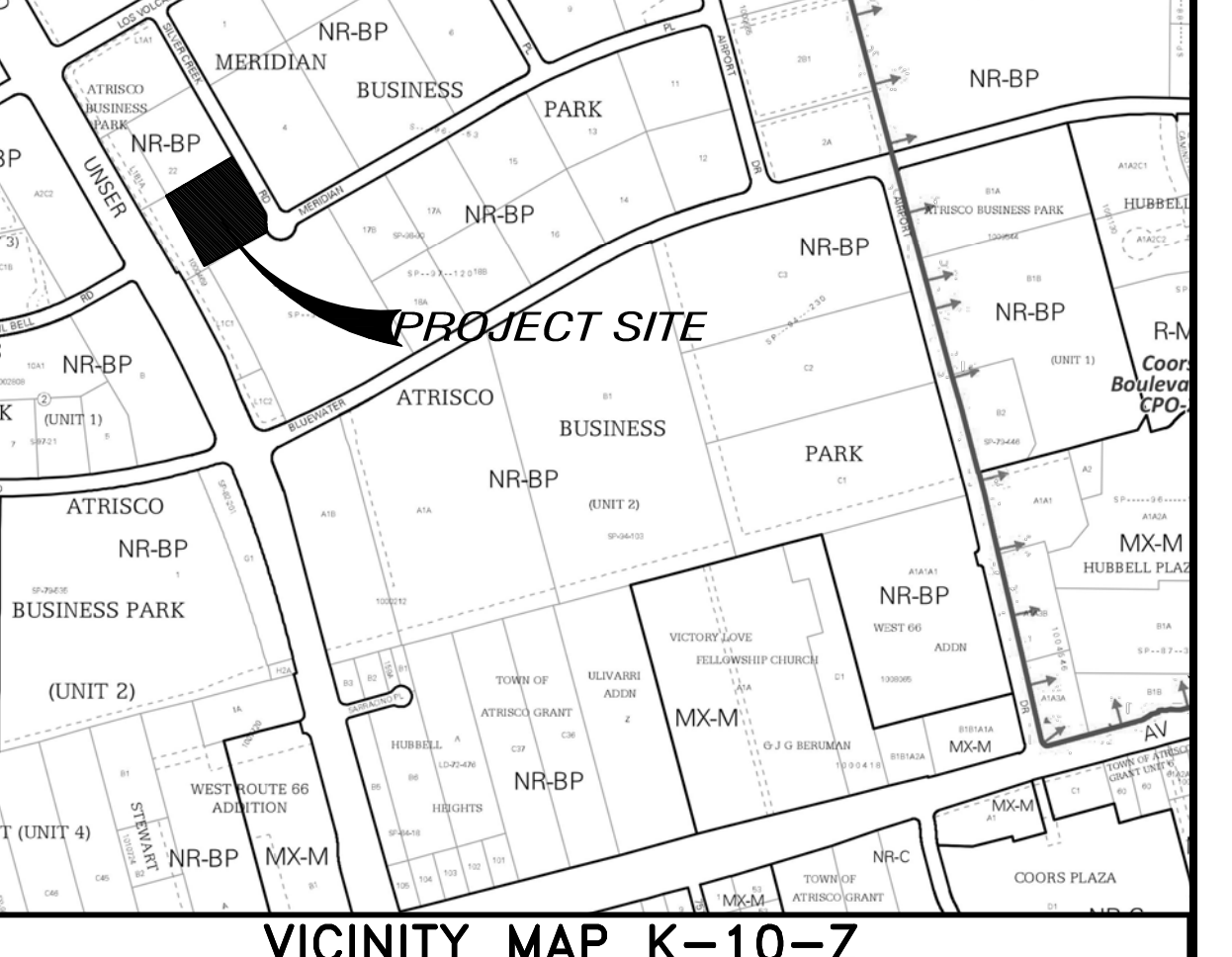
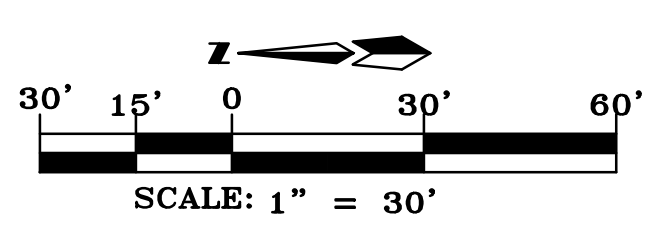
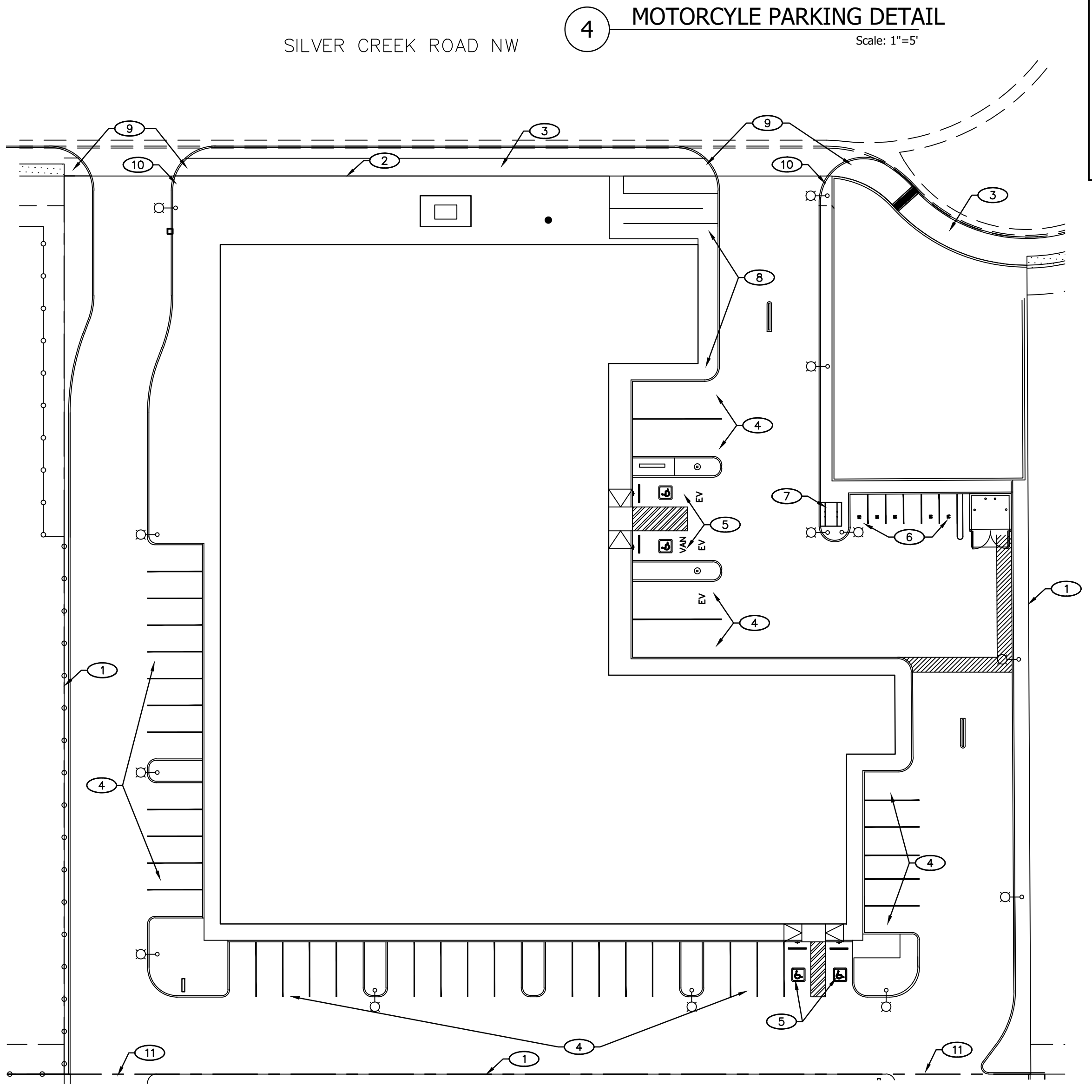
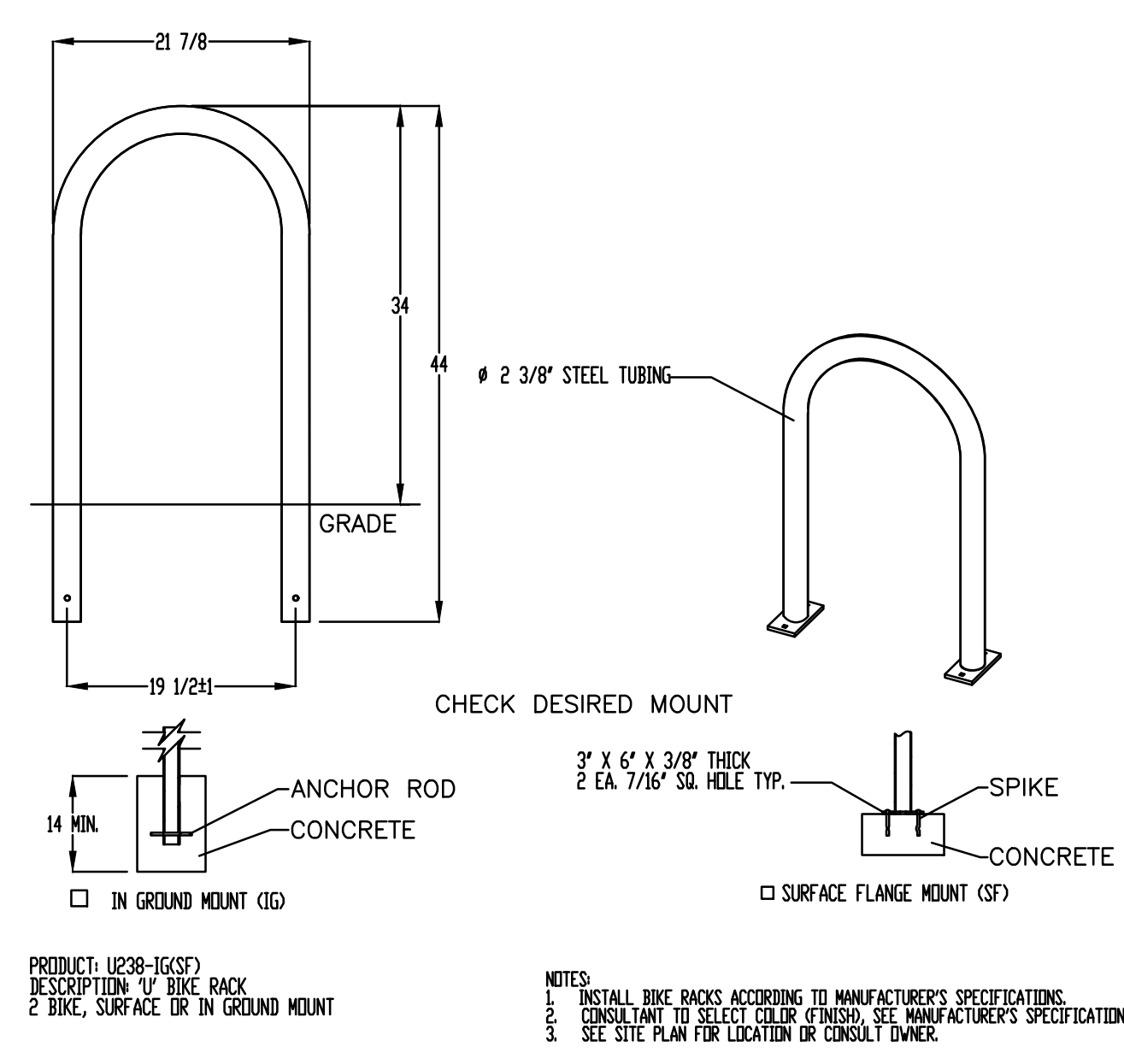
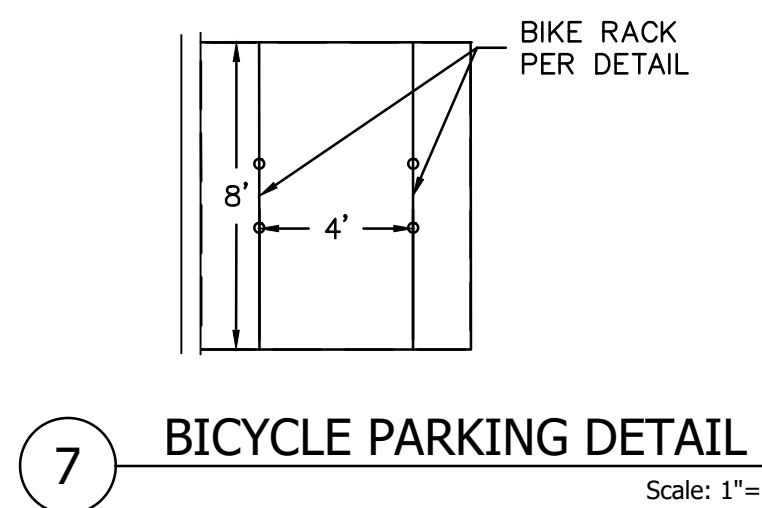
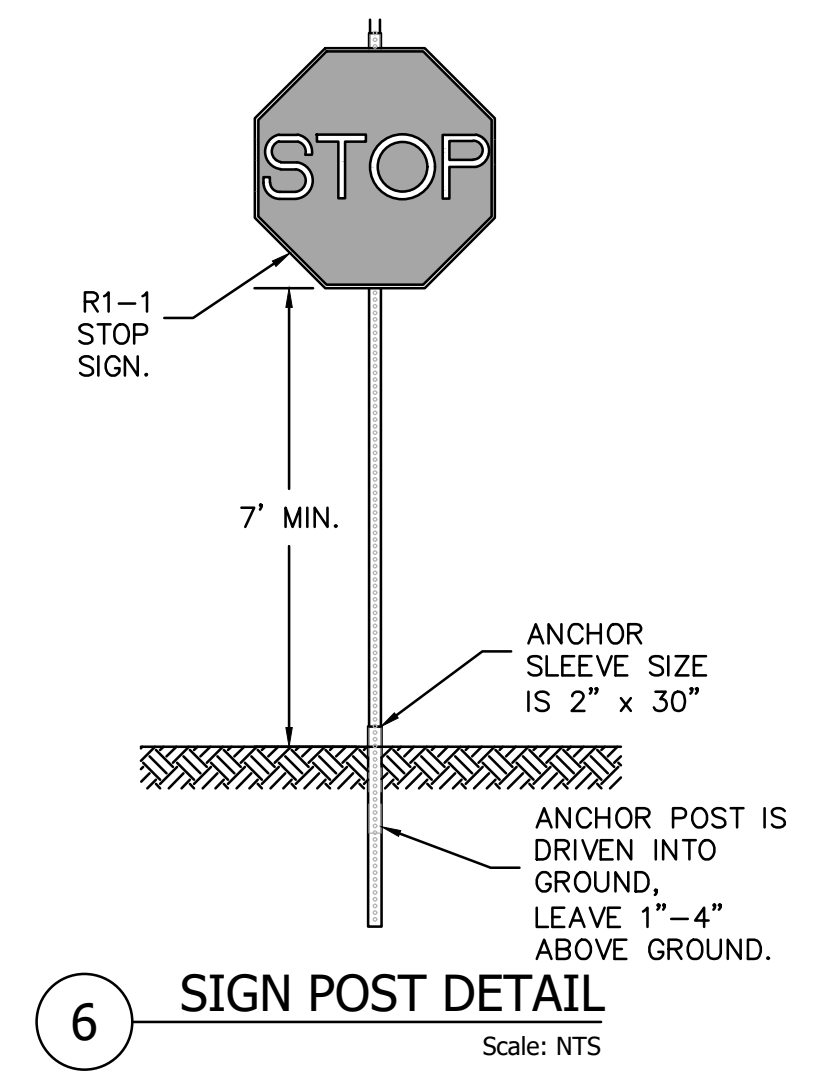
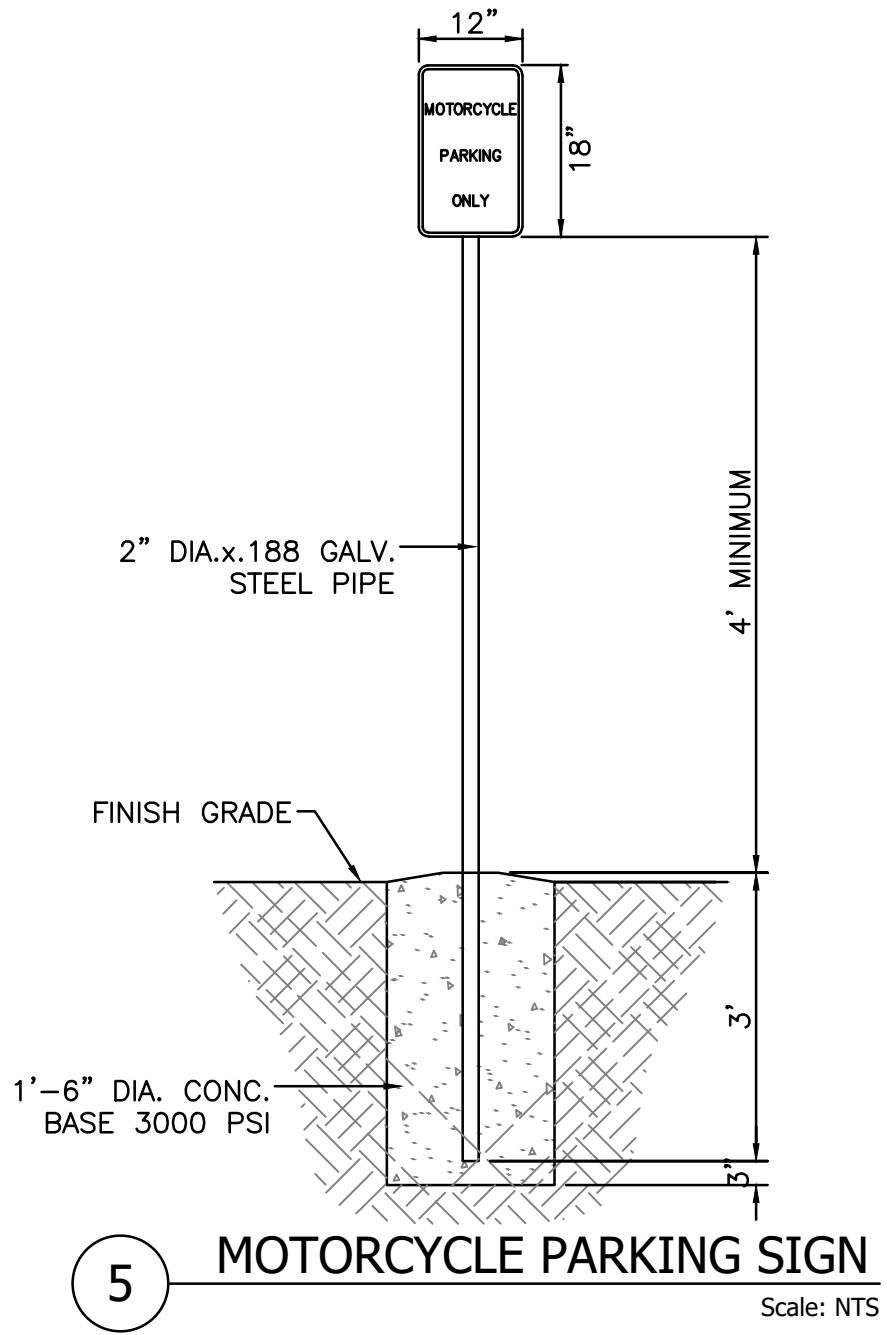


SITE DATA

LOCATION	531 SILVER CREEK RD. N.W. ALBUQUERQUE, NM
LEGAL DESCRIPTION	LOT 21-A MERIDIAN BUSINESS PARK
CURRENT ZONING	NR-BP
ZONE ATLAS PAGE	K-10
BUILDING FOOTPRINT AREA	38,150 SF
NET LOT AREA (LOT AREA - BUILDING AREA)	138,025 SF
NUMBER OF UNITS	1 BUILDING
PAVED AREA	111,600 SF
REQUIRED PARKING	SELF STORAGE 1/3000 SQ.FT.=13 SPACES
PARKING PROVIDED	45 SPACES
REQUIRED ADA PARKING	3 SPACES (1 VAN)
PROVIDED ADA PARKING	4 SPACES (1 VAN)
REQUIRED MC PARKING	1 SPACE
PROVIDED MC PARKING	5 SPACES
REQUIRED BICYCLE PARKING	3 SPACES
PROVIDED BICYCLE PARKING	4 SPACES



- GENERAL NOTES**
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS
 - CURB DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED
 - WORK WITHIN CITY ROW WILL REQUIRE CITY WORK ORDER
 - SITE LIGHTING - LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS
 - SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STD DWG 2415
- KEYED NOTES**
- PROPERTY LINE
 - RIGHT OF WAY
 - 5' SIDEWALK
 - STANDARD PARKING SPACE (TYP.) PER DETAIL
 - ADA PARKING PER DETAILS
 - MOTORCYCLE PARKING PER DETAIL
 - BICYCLE PARKING PER DETAIL
 - 6' ADA ROUTE WITH 1.5% (2% MAX) CROSS SLOPE
 - HANDICAP RAMP W/ TRUNCATED DOME SURFACE
 - STOP SIGN R1-1
 - SHARED ACCESS PER PLAT



TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kanbar 7/31/2025
Signed Date

IRON E. HENSLEY
NEW MEXICO
21850
LICENSED PROFESSIONAL ENGINEER
JUNE 5, 2025

THE group
THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 410-1622

Afra Construction & Design
2501 Yale Blvd SE Suite 102
Albuquerque, New Mexico 87106
Tel: 505.242.1745
Fax: 505.242.1737

Excess Space Storage
531 Silver Creek Rd NW
Albuquerque New Mexico 87121

REV	DATE	DESCRIPTION	APVD

TCL
6/5/2025

DESIGN AND DEVELOPMENT LLC

8650 Alameda NE – Suite 107 E, Albuquerque, NM 87122

March 27, 2026

Development Facilitation Team
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: 531 Silver – Administrative Site Plan

Dear Mr. Rodenbeck.

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-5(G)**, we are applying for a Site Plan within zone atlas page K-10 to be reviewed and approved by the Development Facilitation Team.

Overview and Summary of Request

- Self-Storage Site Plan
- The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations.
- The City's existing infrastructure and public improvements have adequate capacity to serve the proposed development

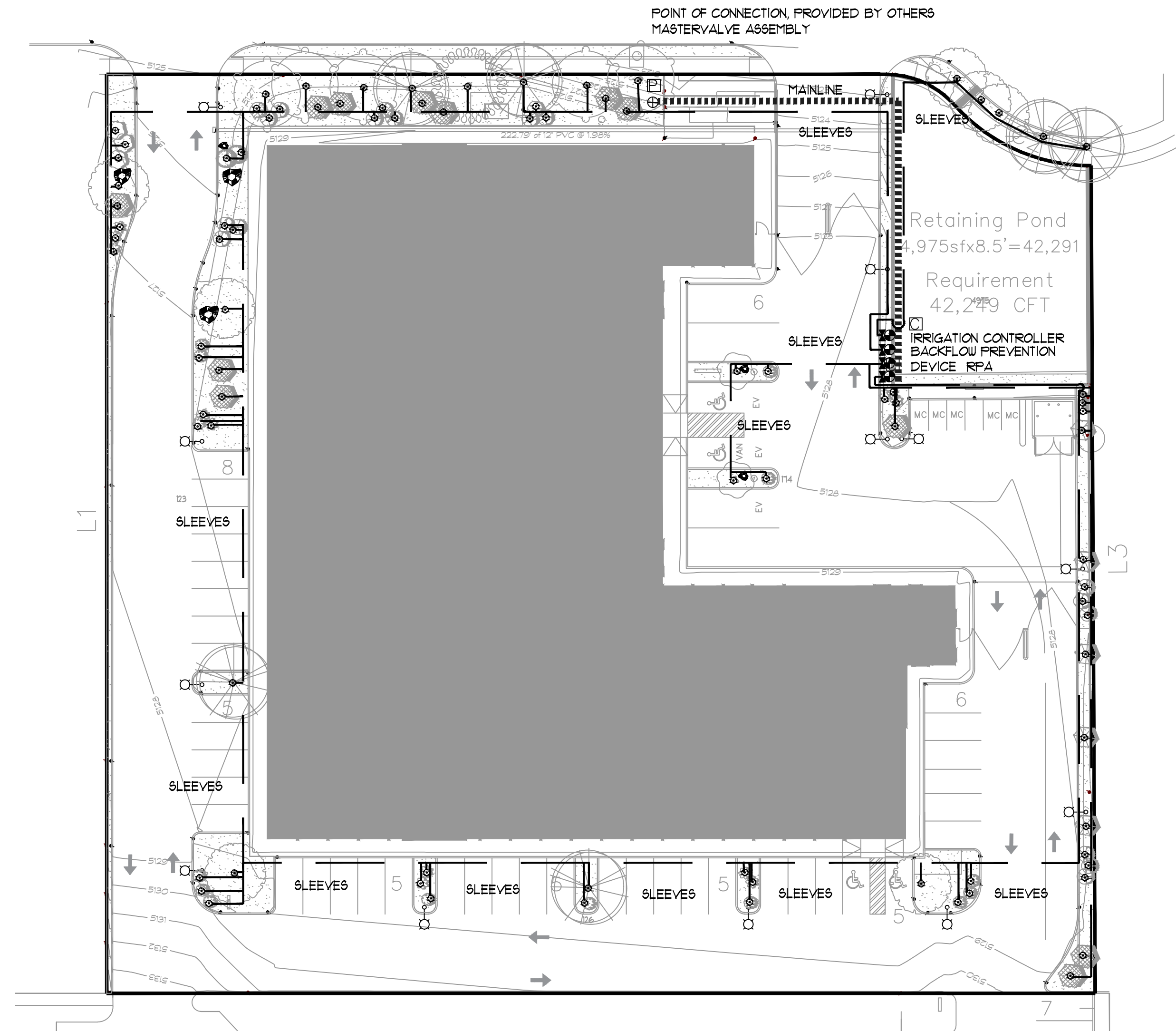
As agent for the owners, we are requesting comment on the City requirements to approve the proposed Site Plan. Please contact me at 505-315-6484 or via email if you have any questions or comments.

Sincerely,



Adil Rizvi
Adil1424@yahoo.com

531 SILVER CREEK ROAD N.W.



IRRIGATION LEGEND

COMPONENT	MANUFACTURER	SIZE / NOTES
POINT OF CONNECTION, PROVIDED BY OTHERS	SEE CIVIL PLANS	1"
IRRIGATION CONTROLLER	HUNTER	As Required
BACKFLOW PREVENTION DEVICE RFA	FEBCO (OR EQUAL)	1" Cover, Provide Freeze Protection
MASTERY VALVE ASSEMBLY	HUNTER	1"
MAINLINE	Sch 40 FVC	1"
ELECTRIC ZONE VALVE	HUNTER	1" with Pressure Regulation and Y Filter
SLEEVES	Class 200 FVC	2 SIZES LARGER THAN PIPE TO BE SLEEVED.
Bubbler Lateral	Class 200 FVC	1"
Bubbler	RAINEIRD,	SEE DETAIL
Size Equipment as Required for Flow Rate		

IRRIGATION NOTES

- Contractor shall verify all dimensions, elevations, equipment quantities, and utility locations prior to beginning work.
- Contractor shall notify landscape architect of any discrepancies in plans or specifications prior to beginning or continuing work.
- The Irrigation contractor shall make no substitutions, deletions, or additions to this plan without approval of the landscape architect.
- All construction shall conform to city, county, state, and federal requirements. It shall be the responsibility of the Irrigation contractor to ensure that all irrigation equipment meets government regulations, contractor shall also be responsible for obtaining any necessary permits or approvals.
- This plan is schematic and due to the nature of construction slight field modifications may be necessary to implement plan.
- Irrigation systems connected to potable water supply, shall have a backflow preventer installed.
 - Irrigation lateral lines, main lines and equipment may be shown outside property lines on this plan, all Irrigation lines and equipment are to be within and installed within the limits of the property line.
 - All irrigation sleeves to be the responsibility of the Irrigation contractor. electrical wires for irrigation valves and irrigation lines are to be placed in separate sleeves. see sleeve detail.
 - Supply line and water meter to be provided by owner; back-flow preventer to be provided by Irrigation contractor. Irrigation contractor's point of connection to begin downstream of the Irrigation water meter.

Irrigation shall be a complete underground system.

Trees and shrubs shall be on separate valves.

Point of connection for Irrigation system shall be as indicated on the Utility Plan, Civil drawings. Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.

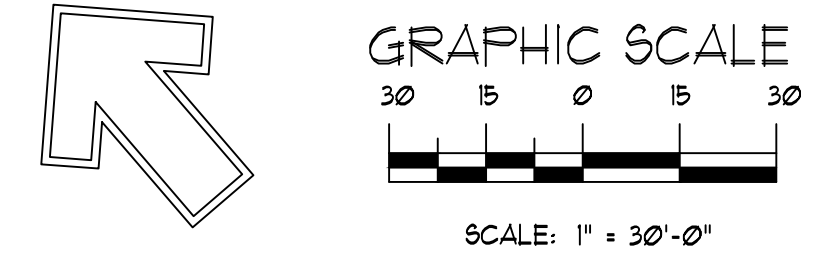
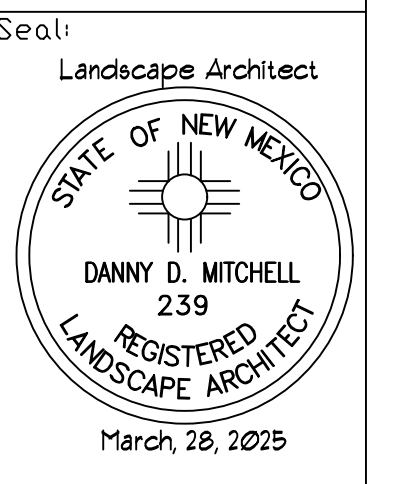
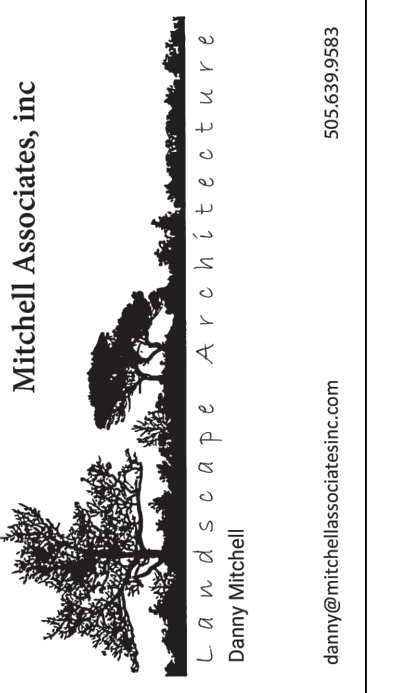
Irrigation will be operated by smart irrigation system automatic controller, capable of multi-programming ability.

Location of controller to be field determined and power source for controller to be provided by the owner.

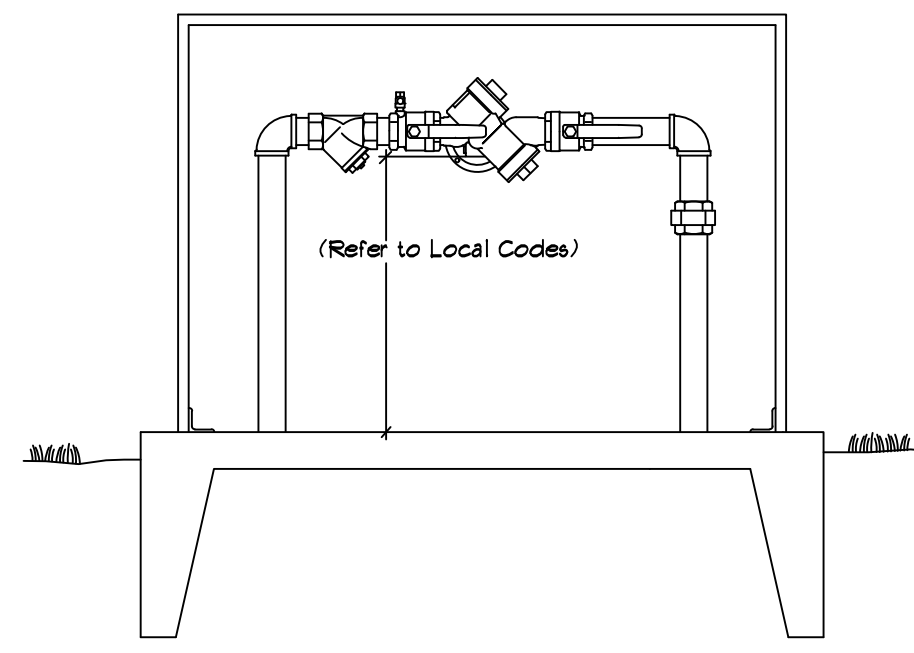
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source for Irrigation system shall be the responsibility of the Property Owner.

Excess Storage Space
 531 Silver Creek Rd. NW
 Albuquerque, NM
 Irrigation Plan



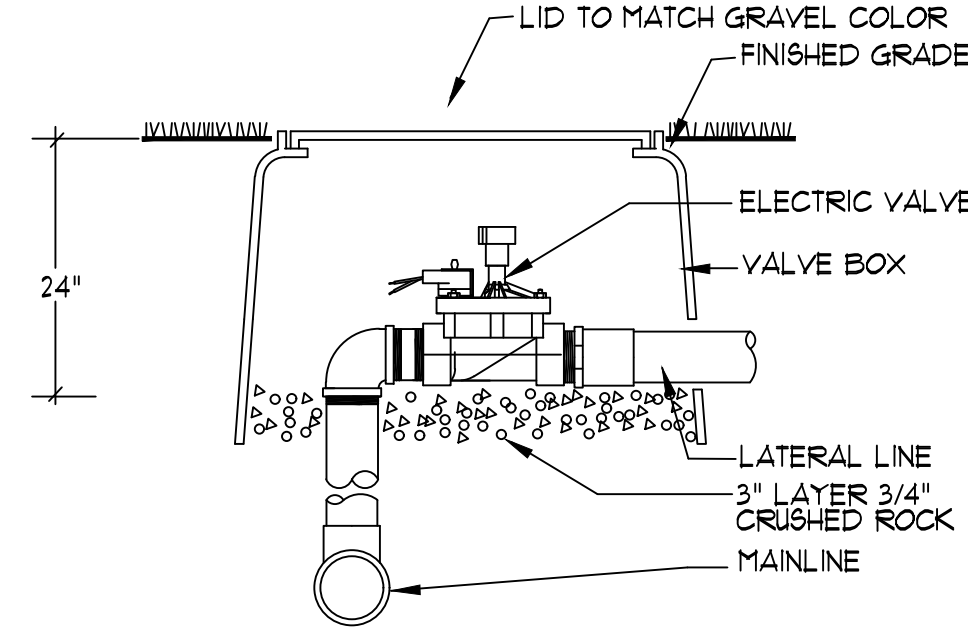
DESIGNED BY:	DATE:	REVISIONS
Drawn By: ID, JM	1/28/2025	Comment
Approved By: ID, JM		
Date: 1/28/2025		
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Reduced Pressure Assembly
Outdoor Freeze Protection Installation

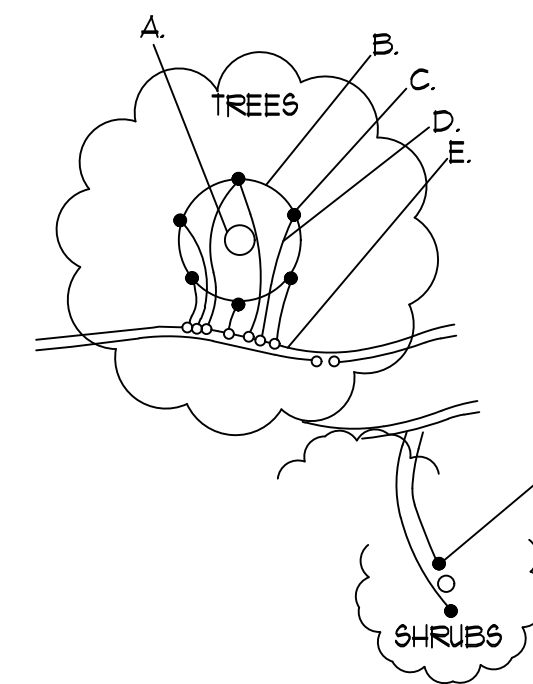
RPA, HOTBOX TYP.

N.T.S.



ELECTRIC VALVE ASSEMBLY

NOTE: ALL IRRIGATION COMPONENTS WILL USE RECLAIMED WATER WHEN IT BECOMES AVAILABLE TO MESA DEL SOL

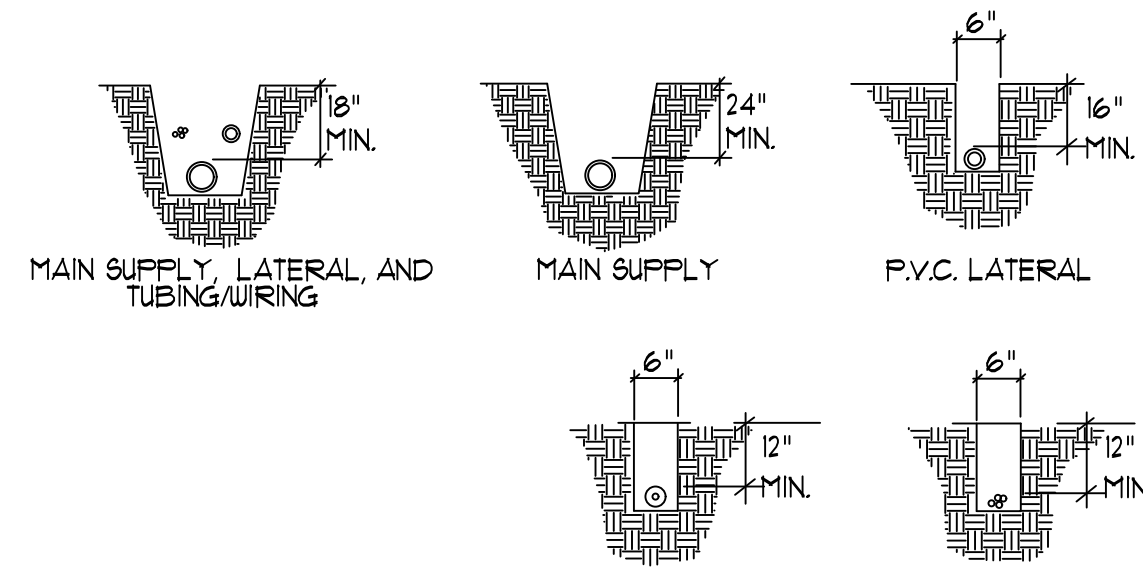


- A. TREE TRUNK/ROOT CROWN
- B. 24" CIRCLE FROM TRUNK
- C. EMITTERS, TREES, 5-5 GPH, SHRUBS, 2-2GPH
- D. 1/2" DISTRIBUTION LINE
- E. FE DRIFLINE
- F. EMITTER PLACED WITHIN 6" OF PLANT STEM

NOTE: TREES AND SHRUBS ZONED SEPARATELY

EMITTER PLACEMENT DETAIL

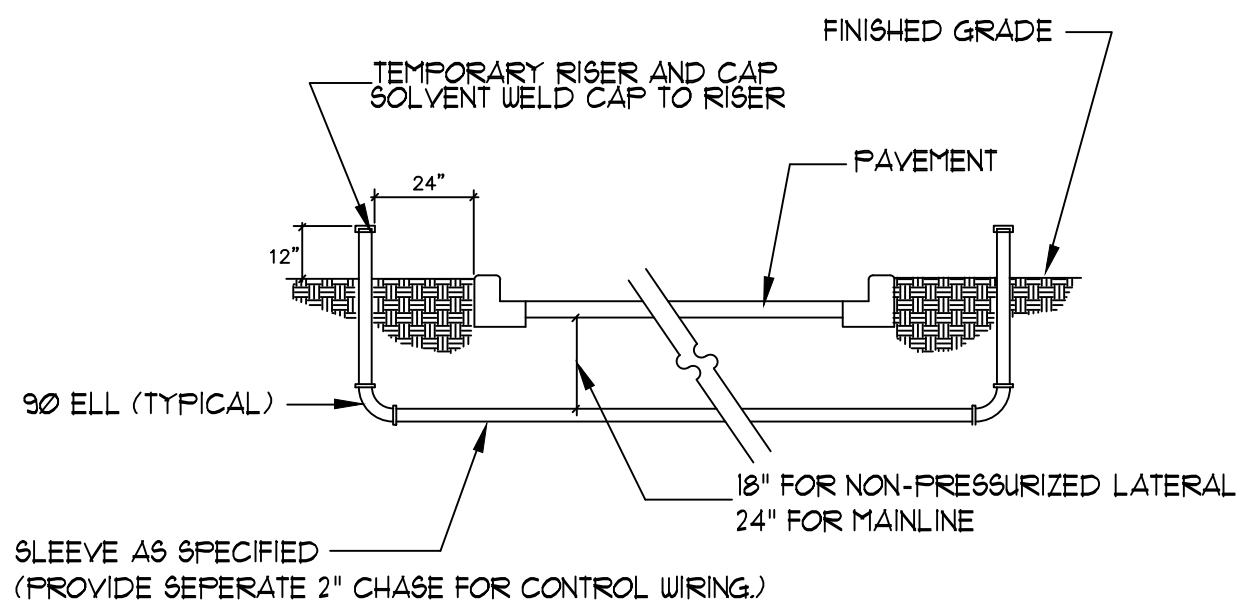
N.T.S.



- DETAIL NOTES:
1. ALL P.V.C. PIPING SHALL BE SNAKED IN TRENCHES
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODES
 3. ALL WIRING TO BE SNAKED AND TYPED AT 90° INTERVALS
 4. ALL MAIN SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS
 5. PROVIDE PIPE AND WIRE SLEEVING UNDER ALL PAVED SURFACES
 6. WIRE SHALL BE WITHIN SEPARATE 2" ELECTRICAL CHASE

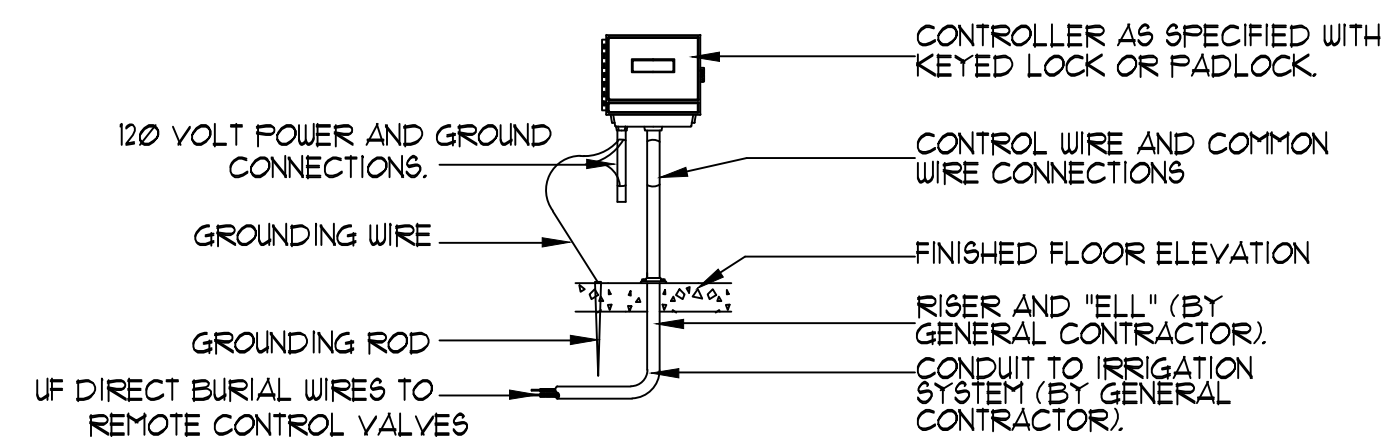
TRENCHING DETAIL

N.T.S.



SLEEVE INSTALLATION DETAIL

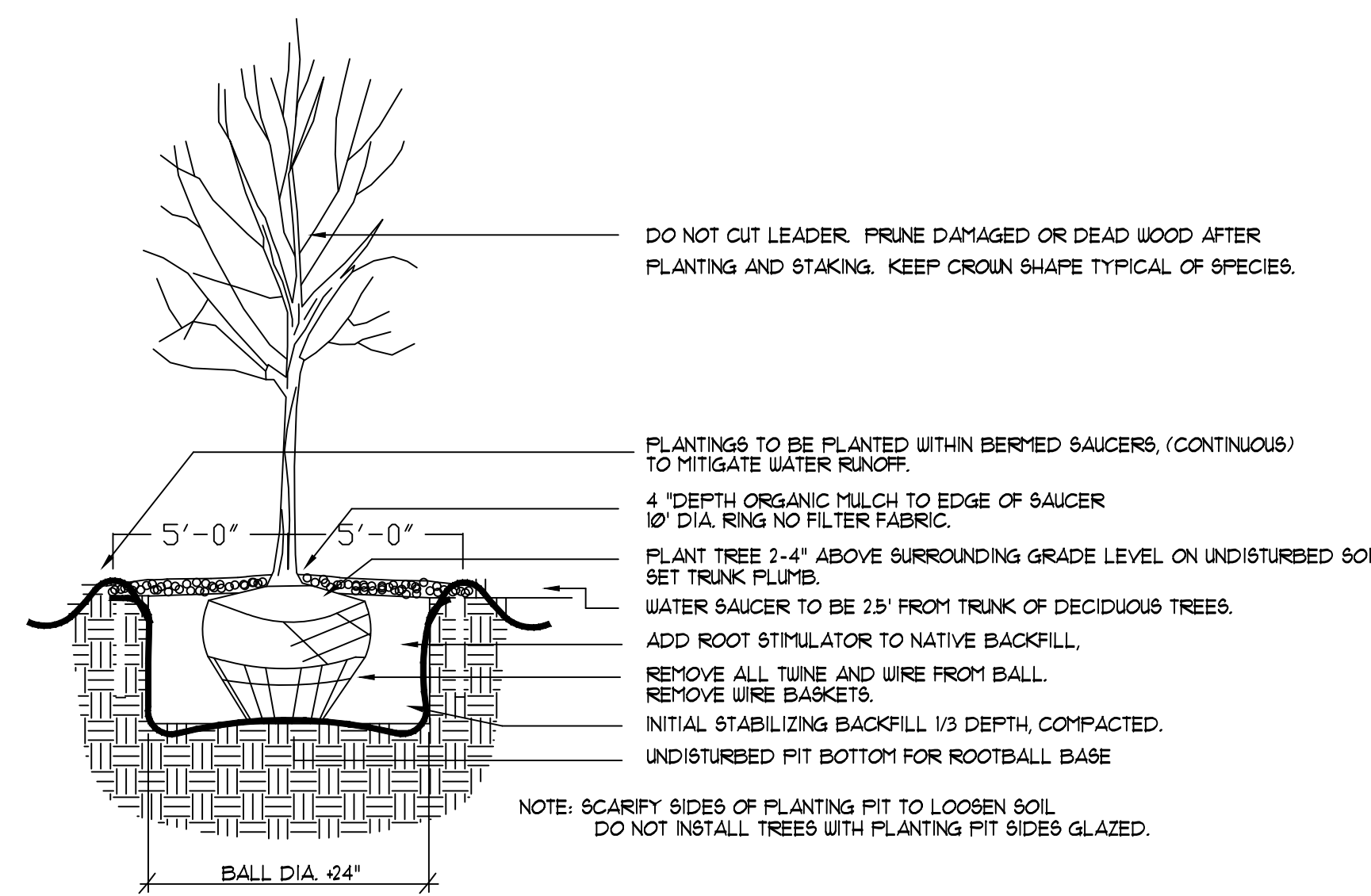
N.T.S.



- DETAIL NOTES:
1. ELECTRICAL POWER TO BE SUPPLIED BY OTHERS
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODES
 3. SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER
 4. CONTROLLER TO BE MOUNTED APPROXIMATELY 5'-0" ABOVE FINISHED FLOOR ELEVATION

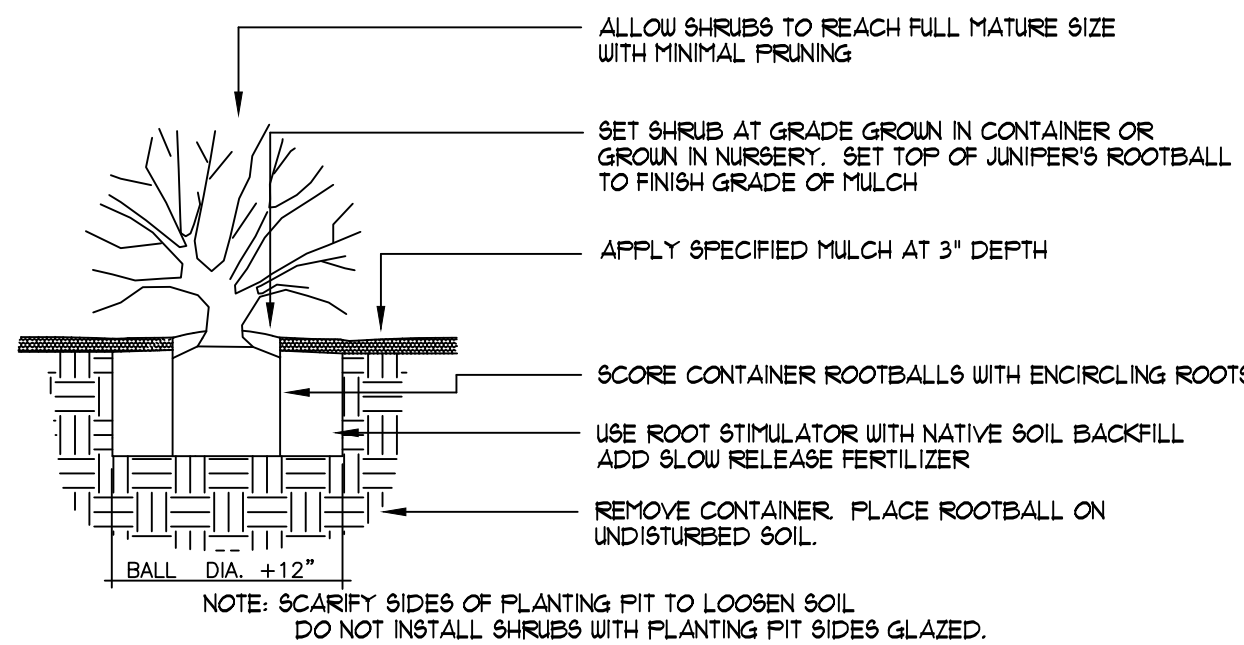
CONTROLLER DETAIL

N.T.S.



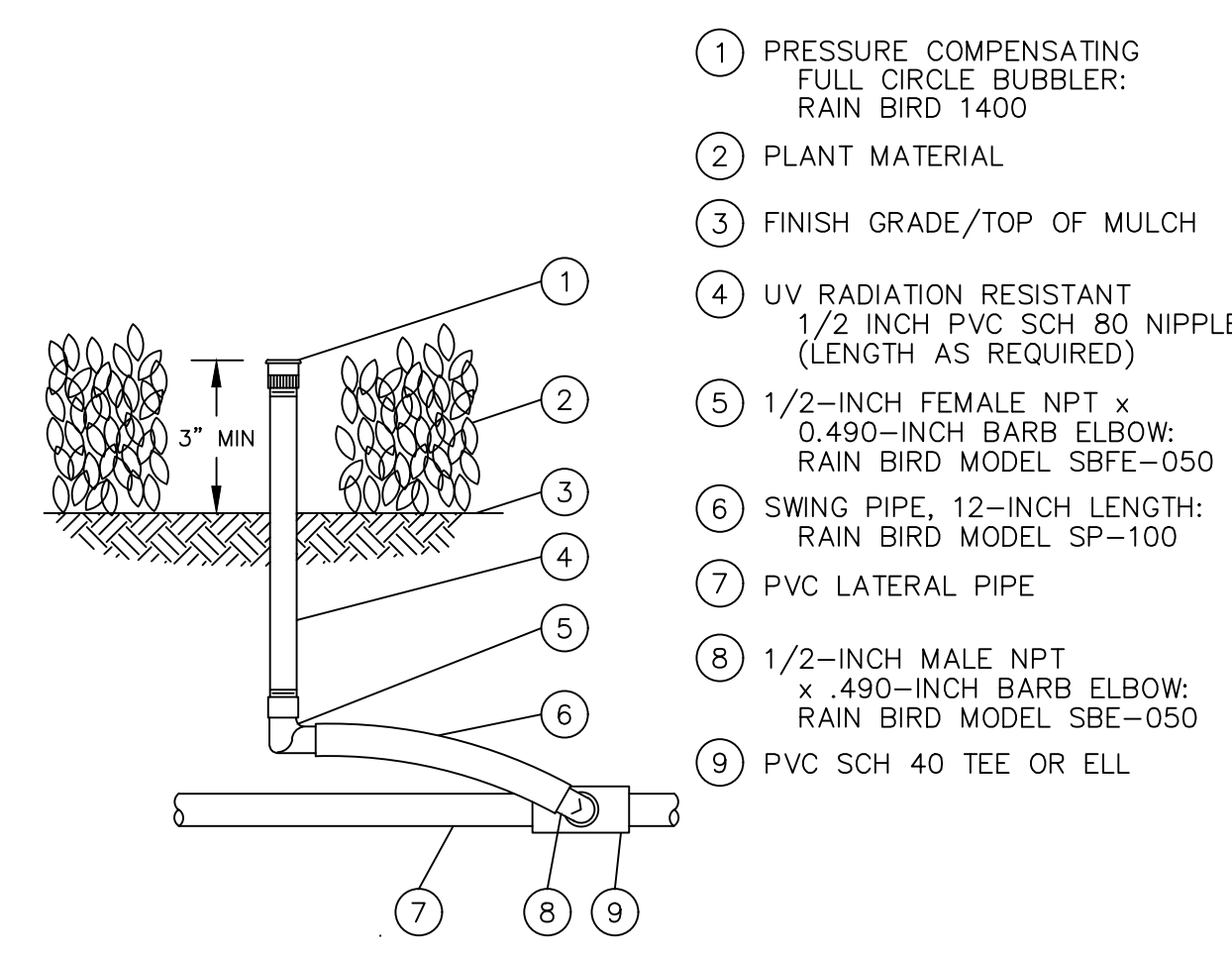
TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.



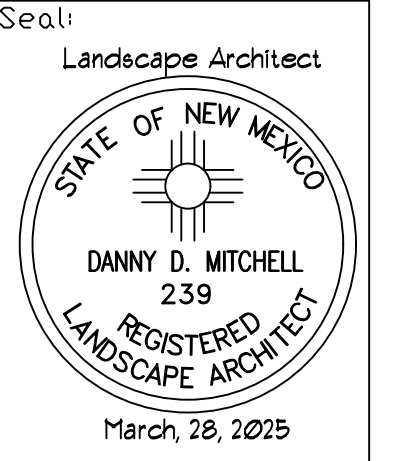
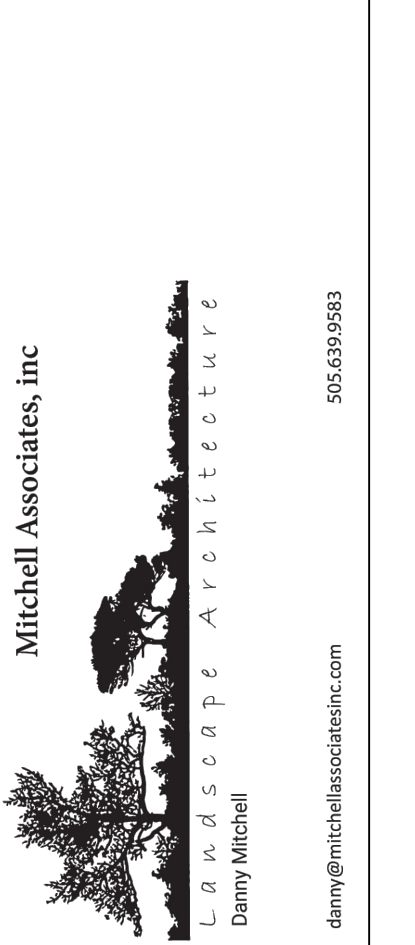
PRESSURE COMPENSATING FULL-CIRCLE BUBBLER

N.T.S.

REVISIONS	Date:	Comment

Designed By: J.F.V.
 Drawn By: J.F.V.
 Approved By: D.M.
 Date: 3/28/2025
 NEW MEXICO ONE CALL
 1-800-331-4487 (ASST)
 www.nmonecall.org
 Call two working days before you dig.
 File ID:

Excess Storage Space
581 Silver Creek Rd. NW
Albuquerque, NM
Landscape Detail



City of Albuquerque Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided for Reference

PURPOSE
This Section 14-16-5-6 regulates landscaping to ensure visually attractive, sustainable desert landscapes that aid in the creation of a quality public realm. The City recognizes landscape as a visual component to quality environments that enhance Albuquerque's overall appearance and provide other public benefits through:

- 5-6(A)(1) Providing Visual Relief from urbanization.
- 5-6(A)(2) Establishing a consistent, attractive streetscape that generates a sense of continuity and a strong positive city image.
- 5-6(A)(3) Improving the aesthetic appearance of commercial, industrial, and multi-family residential development to protect and enhance public and private investments and property values.
- 5-6(A)(4) Ensuring the use of native and/or adapted, low water-use, or xeric species and regionally appropriate, sustainable design and maintenance techniques to conserve water resources.
- 5-6(A)(5) Contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscape should be designed to retain soil moisture, prevent erosion, encourage the growth of abutting plantings, and mitigate urban heat-island effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and glare.
- 5-6(A)(6) Providing screening of some types of facilities, structures, and equipment.
- 5-6(A)(7) Providing shade and comfort for pedestrians and visually narrowing streets, which has been shown to reduce vehicle speeding and accidents.

APPLICABILITY
5-6(B)(1) The provisions of this Section 14-16-5-6 shall apply to any of the following, unless specified otherwise in this IDO:
5-6(B)(1)(a) Construction of a new building containing multi-family, mixed-use, or non-residential development, or an accessory parking structure.
5-6(B)(1)(b) Renovation or redevelopment of an existing building containing multi-family, mixed-use, or non-residential development, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, indicated by building permits, is \$500,000 or more.
5-6(B)(1)(c) In the case of walls provided for buffering or screening requirements with conflicting standards in this Section 14-16-5-6, Section 14-16-5-5 (Parking and Loading), and Section 14-16-5-9 (Neighborhood Edges), the highest specified wall height allowance prevails.
5-6(B)(1)(d) Requirements for walls provided for buffering and screening requirements prevail over maximum wall height requirements in Section 14-16-5-1 (Walls and Fences), but shall be subject to any other applicable material and design requirements in Subsection 14-16-5-1E(1).

5-6(C) GENERAL LANDSCAPING STANDARDS
The following standards apply to all landscaping, screening, or buffering required by this Section 14-16-5-6.

5-6(C)(1) Landscape Plan Required
A landscape plan with designed landscaped areas shall be submitted as a part of all development applications where landscaping, buffering, or screening is required, unless the relevant decision-making body determines that compliance with the provisions of this Section 14-16-5-6 can be demonstrated without the use of a landscape plan. A landscape plan may be combined with other required application materials if compliance with this Section 14-16-5-6 can be demonstrated in the combined materials. Landscaping shall be maintained pursuant to the requirements of Subsection 14-16-5-15(E)(6).

5-6(C)(2) Minimum Landscape Area
5-6(C)(2)(a) Except as noted in Subsection (b) below, a minimum of 15 percent of the net lot area of each development shall contain landscaping.
5-6(C)(2)(b) In DT-UC-M5-PT areas, a minimum of 10 percent of the net lot area of each development shall contain landscaping. In these areas, landscaping that does not meet this requirement need not be at ground level. (See figure below.)
5-6(C)(2)(c) The nature realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows:
1. Street canopies and ground-level plants shall cover a minimum of 15 percent of the total landscape area as measured by canopy width or the area beneath the drip-line of the mature.
2. Size of the actual vegetation. Of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the mature size of the actual vegetation. (See figure below.)
5-6(C)(2)(d) See also Subsections 14-16-5-6(D) (Street Frontage Landscaping), 14-16-5-6(E) (Edge Buffer Landscaping), and 14-16-5-6(F) (Parking Lot Landscaping) for additional landscaping requirements.

5-6(C)(3) Overlapping Requirements
5-6(C)(3)(a) Areas required to be landscaped by 2 or more provisions of this Section 14-16-5-6 overlap each other, and the provision providing the greater amount of landscaping shall apply, and landscaping required that meets the greater requirement shall count toward fulfilling the overlapping requirements.
1. See Subsection 14-16-5-6(C)(1)(2) (Existing Vegetation Credit).

2. See Subsection 14-16-5-6(C)(3) (Stormwater Management Features).
3. See Subsection 14-16-5-6(D) (Street Frontage Landscaping).
4. See Subsection 14-16-5-6(E) (Edge Buffer Landscaping).
5. See Subsection 14-16-5-6(F) (Parking Lot Landscaping).

5-6(C)(3)(b) Landscaped areas may count toward satisfying usable open space requirements specified for Residential zone districts in Table 5-1-1 and for Mixed-use zone districts in Table 5-1-2.
5-6(C)(3)(c) Gardens and community gardens provided may count toward satisfying the requirements of Subsection 14-16-5-6(C)(2) (Minimum Landscape Area).
5-6(C)(3)(d) Any landscaping provided to meet requirements in Subsection 14-16-5-2(1) (Major Arroyo Standards) may count toward any required landscaping in this Section 14-16-5-6 but shall be subject to Subsection 14-16-5-6(C) (General Landscaping Standards).
5-6(C)(3)(e) Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-16-5-11E(3) (Outdoor Seating and Gathering Areas) may count toward up to 1/3 of required landscaping in Section 14-16-5-6 but shall be subject to standards in Subsection 14-16-5-6(C) (General Landscaping Standards).
5-6(C)(4) Required Plant Materials and Site Amenities
5-6(C)(4)(a) A minimum of 5 percent of plants used in the landscaped area.
5-6(C)(4)(b) Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards), except that, upon presentation of evidence, the relevant decision-making body may authorize alternative species or cultivars that meet all of the following requirements:
1. Meet the intended purpose of that type of landscaping.
2. Are not hazardous.
3. Are not identified as invasive on a City or State plant list.
4. Are not listed in the City's Used Identification Handbook.
5. Are equally hardy to the New Mexico climate.
5-6(C)(4)(c) Installation of any trees, shrubs, or other vegetation included in a State list of prohibited or invasive species or listed as noxious weeds in the City's Used Identification Handbook is prohibited.
5-6(C)(4)(d) No more than 10 percent of required landscape areas shall be cool season grass species. Irrigated cool season grass shall not be planted on slopes exceeding 1:4 rise/run in narrow or irregularly shaped areas (10 feet or less in any dimension) in order to avoid water waste. Any cool season grass shall be installed at

least 3 feet in any direction from any impermeable hard surface. (A buffer using organic mulch can be used when planting cool season grass adjacent to impermeable surface).
5-6(C)(4)(e) Landscaping abutting arroyos shall consist of native plants that are included on the Official Albuquerque Plant Palette.
5-6(C)(4)(f) Artificial turf/grass shall not be counted as living vegetative material or to meet the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards).
5-6(C)(4)(g) All vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6-2-2 of ROA 1934 (Pollen Control, Water Conservation Landscaping and Water Criteria) and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABQUWA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.
5-6(C)(4)(h) All required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ANSI) of the American Nursery and Landscape Association.
5-6(C)(4)(i) Shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or, where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided for shade.
5-6(C)(4)(j) In DT-UC-M5 areas, landscaped areas other than street frontage shall include pedestrian furniture, pedestrian amenities, or trash receptacles to encourage pedestrian use.
5-6(C)(4)(k) See also Subsection 14-16-5-6(D) (Street Frontage Landscaping) for additional landscaping requirements.
5-6(C)(4)(l) Soil Condition and Planting Beds
5-6(C)(5)(a) All vegetated material required by this Section 14-16-5-6 shall be planted in uncompacted soil.
5-6(C)(5)(b) If used, weed barriers shall be permeable to optimize stormwater infiltration and prevent runoff.
5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 15 percent of any landscaped area, or 50 percent in DT-UC-M5 areas 5-6(C)(5)(d) A minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended.
5-6(C)(5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, used barrier fabric is prohibited.
5-6(C)(5)(f) All landscaped areas shall be protected from vehicular erosion control by curbs or steel steps located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated swales and stormwater infiltration areas.
5-6(C)(6) Minimum Plant Sizes at Installation
All vegetation required by this Section 14-16-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO.

Plant material type (ANSI type)	Minimum size
Deciduous Street Trees	2.5" caliper @ 4.0' above grade
Deciduous Accent Trees	3.5" in caliper @ 6.0' above grade or 6" in height
Evergreen Tree	5" in height
Multi-trunked Tree	Minimum 2 trunks with a combined caliper of 2.0"
Shrubs	1 gallon container size
Ground cover and turf	Adequate to provide ground cover within 1 growing season after planting

5-6(C)(7) Plant Material Spacing
5-6(C)(7)(a) Vegetation required by this Section 14-16-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections.
5-6(C)(7)(b) Where tree planting requirements are based on the length of the street frontage, areas occupied by driveways and drive aisles shall be included when calculating the number of trees required to be planted, and all trees that would otherwise be required by driveways or drive aisles shall be planted in other landscaped front yard areas.
5-6(C)(7)(c) The Planning Director may authorize adjustments to any spacing requirements when required due to topography, drainage, utilities or obstructions, provided that the total amount of required landscaping is not reduced.
5-6(C)(8) Protecting Clear Sight Triangle
The clear sight triangle shall be maintained at all exits of parking areas and street intersections.
5-6(C)(9) Planting In or over the Public Right-of-way
5-6(C)(9)(a) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of-way.
5-6(C)(9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8 foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 9 foot clearance over the street surface.
5-6(C)(9)(c) Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1934 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area and the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way.
5-6(C)(9)(d) Planting near Utilities
5-6(C)(9)(d)(a) Trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced.
5-6(C)(9)(d)(b) Trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line.
5-6(C)(9)(d)(c) Trees or shrubs planted within utility easements shall comply with the standards of the utility provider to minimize effects on facilities maintenance and repair.
5-6(C)(9)(d)(d) If overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.
5-6(C)(9)(e) All screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crew and public during maintenance and repair.
5-6(C)(9)(f) Trees shall not be planted near existing or proposed street light poles.
5-6(C)(9)(g) Standards in the DPM may apply to tree planting in or near other utility easements, such as gas lines.
5-6(C)(10) Parking on Landscaped Areas Prohibited
Parking of automobiles, trucks, trailers, boats, recreational vehicles, or other motor vehicles is prohibited on any required landscape or buffer area.
5-6(C)(12) Existing Vegetation Credit
5-6(C)(12)(a) If existing non-prohibited vegetation meets the location requirements and intent of landscaping, buffering, or screening required by this Section 14-16-5-6, that existing vegetation may be credited toward the landscaping, buffering, or screening materials required by this Section 14-16-5-6.
5-6(C)(12)(b) All existing vegetation preserved and used for credit against the requirements for new vegetation shall be protected during construction by a 6-foot high fence erected one foot beyond the drip line of the vegetation.
5-6(C)(12)(c) Trees may be credited only 1/2 toward any one buffer, screen, or other landscape requirement.
5-6(C)(12)(d) Trees shall be credited in accordance with Table 5-6-2.

Diameter at Breast Height (in.)	Number of Trees Credited
>25	8
>13 and <25	6
>8 and <13	4
>4 and <8	2
<4	1
Prohibited trees 8 in. or greater ^[1]	1

[1] Prohibited trees are those that do not appear on the Official Albuquerque Plant Palette and may appear on the City or State list of prohibited or invasive species

5-6(C)(13) Stormwater Management Features
5-6(C)(13)(a) Required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation.
5-6(C)(13)(b) Required landscape and buffer areas shall be designed pursuant to the DPM and the City Standard Specifications for Public Works Construction.
5-6(C)(13)(c) In the R-ML, R-MH, Mixed-use, and NR-SU zone districts, and on lots containing multi-family dwellings or non-residential uses in the R-A, R-1, R-1C, and R-1 zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collection areas that are located in landscape areas and that meet all applicable standards in the DPM.
5-6(C)(13)(d) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in those areas, provided that the area includes vegetation required by this Section 14-16-5-6.
5-6(C)(13)(e) Where pedestrian walkways and multi-use trails cross required landscape areas, permeable paving may be used and may count toward satisfying the requirements of Subsection 14-16-5-6(C)(2).
5-6(C)(14) Irrigation Systems
5-6(C)(14)(a) Irrigation systems shall comply with Section 8 of the ABQUWA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).
5-6(C)(14)(b) All irrigation systems shall be designed to minimize the use of water.
5-6(C)(14)(c) All non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.
5-6(C)(14)(d) The use of water shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.
5-6(C)(15) Installation
5-6(C)(15)(a) All landscaping material used to meet the requirements of this Section 14-16-5-6 shall be installed in accordance with the planting procedures established by the American Nursery and Landscape Association.
5-6(C)(15)(b) All required landscaping, street trees, screening, and buffering shall be installed prior to the issuance of a final certificate of occupancy. If there is more than one primary building on the site, the landscaping, screening, and buffering related to each building shall be installed prior to the issuance of a final certificate of occupancy.
5-6(C)(15)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the negligence of plant materials that have been approved by the applicable public utility as part of a plan for landscaping, screening, or buffering on the public right-of-way shall be the responsibility of such public utility. If a public utility disturbs landscaping, screening, or buffering in a public right-of-way, private way, or easement, it shall make a reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If the plant materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials.
5-6(C)(15)(d) Property owners acknowledge that approved landscaping and trees installed and maintained in a public right-of-way, private way, or easement abutting private properties are the property of the City, and that the City reserves the right to remove them if necessary for a transportation project without compensation, but at no cost to the property owner. Landscaping installed in an abutting public right-of-way, private way, or easement by property owners and later removed by the City shall not impact previously approved net lot area calculations for required landscaping.
5-6(C)(16) Alternative Landscape Plans
The Planning Director may approve alternative landscape plans that do not meet the specific requirements stated in this Section 14-16-5-6 if the Planning Director determines that the alternatives meet all of the following criteria:
5-6(C)(16)(a) Are consistent with the purposes of this Section 14-16-5-6.
5-6(C)(16)(b) Do not include invasive vegetation included in a City or State list of prohibited or invasive species or listed as a noxious weed in the City's Used Identification Handbook.
5-6(C)(16)(c) Do not include a reduction of tree planting requirements.
5-6(C)(16)(d) Provide equal or superior buffering of adjacent properties from anticipated impacts of the proposed development.
5-6(C)(16)(e) Provide equal or superior visual appearance of the property when viewed from the street.
5-6(C)(16)(f) Provide equal or superior carbon dioxide absorption and heat island reductions.
5-6(D) STREET FRONTAGE LANDSCAPING
5-6(D)(1) Required Street Trees
5-6(D)(1)(a) All development shall comply with Part 6-6-2 of ROA 1934 (Street Trees) and any standards developed by the Parks and Recreation Department or other City department to implement that Ordinance. Trees are generally required along street frontages every 25 feet, on center unless specified otherwise in Part 6-6-2 of ROA 1934 (Street Trees). Along street frontages where street trees are required, trees that are planted within 20 feet of the back of curb of the abutting street may fulfill this requirement.
5-6(D)(1)(b) Only trees selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(D) (Street Frontage Landscaping), except that existing trees that are 8 inch caliper or larger may count toward street tree requirements, regardless of whether they appear on one of those lists.
5-6(D)(1)(c) Planting areas necessary for trees in the street frontage shall meet the minimum size requirements in Table 5-6-3 unless specified otherwise in this IDO. Tree grades may be used in constrained locations to accommodate pedestrian circulation, to allow the required planting areas to have a walkable surface.

Maturity Tree Height at Maturity (ft.)	Minimum Planting Area (ft.)
0-20	4 x 4
>20-40	5 x 5
>40	6 x 6

5-6(D)(2) Additional Frontage Landscaping
5-6(D)(2)(a) General For buildings with a footprint of more than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.
5-6(D)(2)(b) Downtown, Urban Centers, and Main Street and Premium Transit Areas Fifty (50) percent of any front setback area not used for pedestrian access to the building or improved with pedestrian furniture and amenities shall be landscaped, and no part of the front setback area surface shall be asphalt.

5-6(E) EDGE BUFFER LANDSCAPING
5-6(E)(1) General Requirements
5-6(E)(1)(a) Landscaped edge buffers and/or edge buffer walls are required along properties to mitigate the impacts of significant differences in property use, or scale, from standards specified in Subsections (2) through (5) below.
5-6(E)(1)(b) If a landscaped edge buffer is required and a wall is required or will be provided, the wall shall be provided on the property line between the two properties unless specified otherwise in this IDO.
5-6(E)(1)(c) Required edge buffering is required to be installed along any portion of the lot line covered by an access easement between adjacent lots, but an equivalent amount of landscaping shall be installed on remaining portions of the side or rear lot line, as applicable.
5-6(E)(1)(d) For the purposes of this Subsection 14-16-5-6(E) (Edge Buffer Landscaping), "required edge buffering" refers to the zone districts and uses indicated in Subsection 14-16-5-6(E)(4)(a) (Industrial Development Adjacent to Non-Industrial Development).
5-6(E)(1)(e) Additional buffering may be required for specific uses, pursuant to any Use-specific Standards for those uses in Section 14-16-4-3 or Neighborhood Edge standards in Section 14-16-9-9.

Development Type	Next to Standards	14-16-5-6(E)(1) General	General Buffering	Buffering in DT-UC-M5-PT
Industrial	Non-Industrial	14-16-5-6(E)(1)	Landscaped buffer area 225 ft.	
Multi-family	Industrial	14-16-5-6(E)(1)	Landscaped buffer area 225 ft.	
Mixed-use or other non-residential	R-ML or R-MH	14-16-5-6(E)(1)	Landscaped buffer area 225 ft.	Wall, fence, or vegetative screen 36 ft.
Multi-family, mixed-use, or non-residential	R-A, R-1, R-1C, R-1, R-1C, R-1, or R-2	14-16-5-6(E)(1)	Landscaped buffer area 225 ft.	

[1] See Subsections 14-16-9-9(1), 14-16-9-9(2), and 14-16-9-9(3) for complete buffer standards.

5-6(E)(2) Development Next to Low-density Residential Zone Districts
5-6(E)(2)(a) Multi-family, mixed-use, or non-residential development other than industrial development occurs on a lot abutting or across an alley from a lot containing low-density residential development in an R-A, R-1, R-1C, R-1, or R-1C zone district, a buffer shall be provided along the lot line, as specified in Table 5-6-4 and for the relevant areas below.
5-6(E)(2)(b) General
A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties.
1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, it shall be at least 8 feet high at the time of planting shall be provided for 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If no wall is provided or exists, 1 tree at least 6 feet tall at the time of planting and at least 25 shrubs per 25 feet shall be provided for every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts.
3. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b)2 if it meets, or is improved to meet, the height and design standards above.
5-6(E)(2)(c) Development Next to a Multi-Family Residential Zone District
Where mixed-use or non-residential development, other than industrial development, occurs on any lot abutting or across an alley from a lot in the R-ML or R-MH zone districts with townhouse development or multi-family residential development, a buffer shall be provided along the lot line, as specified in Table 5-6-4 and for the relevant areas below.
5-6(E)(2)(d) General
An edge buffer area shall be provided on the subject property along the property line between the two properties.
1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, it shall be at least 8 feet high at the time of planting shall be provided every 25 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If no wall is provided or exists, 1 tree at least 6 feet tall at the time of planting and at least 25 shrubs per 25 feet shall be provided for every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts.
5-6(E)(2)(e) Downtown, Urban Centers, and Main Street and Premium Transit Areas
An edge buffer wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and both of the following requirements shall be met:
a. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
b. The side facing the multi-family residential development shall be at least as finished in appearance as the side facing the multi-family, mixed-use, or non-residential development.
c. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b)2 if it meets, or is improved to meet, the height and design standards above.
5-6(E)(2)(f) Industrial Development Adjacent to Non-Industrial Development
An edge buffer area shall be provided on the subject property along the property line between the two properties.
1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, it shall be at least 8 feet high at the time of planting shall be provided every 25 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If no wall is provided or exists, 1 tree at least 6 feet tall at the time of planting and at least 25 shrubs per 25 feet shall be provided for every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts.
5-6(E)(2)(g) Downtown, Urban Centers, and Main Street and Premium Transit Areas
An edge buffer wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and both of the following requirements shall be met:
a. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
b. The side facing the multi-family residential development shall be at least as finished in appearance as the side facing the mixed-use, or non-residential development.
c. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b)2 if it meets, or is improved to meet, the height and design standards above.
5-6(E)(2)(h) Industrial Development Adjacent to Non-Industrial Development
An edge buffer wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and both of the following requirements shall be met:
a. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
b. The side facing the multi-family residential development shall be at least as finished in appearance as the side facing the mixed-use, or non-residential development.
c. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b)2 if it meets, or is improved to meet, the height and design standards above.
5-6(E)(2)(i) Downtown, Urban Centers, and Main Street and Premium Transit Areas
An edge buffer wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and both of the following requirements shall be met:
a. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
b. The side facing the multi-family residential development shall be at least as finished in appearance as the side facing the mixed-use, or non-residential development.
c. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b)2 if it meets, or is improved to meet, the height and design standards above.
5-6(E)(2)(j) Industrial Development Adjacent to Non-Industrial Development
An edge buffer wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and both of the following requirements shall be met:
a. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
b. The side facing the multi-family residential development shall be at least as finished in appearance as the side facing the mixed-use, or non-residential development.
c. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b)2 if it meets, or is improved to meet, the height and design standards above.

5-6(E)(3) General
5-6(E)(3)(a) If the wall is located on the property line, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
5-6(E)(3)(b) Where the edge buffer area is across the street from the lot with non-industrial zoning or development, the wall may be set back from the property line if both of the following requirements are met:
1. Landscaping equivalent to the requirements in Subsection 2, below shall be provided between the wall and the street.
2. The landscaping shall be maintained by the owner of the subject property.
3. If no wall is provided or exists, 1 tree at least 8 feet high at the time of planting and 3 shrubs shall be provided for every 20 feet along the lot line, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
5-6(E)(3)(c) Downtown, Urban Centers, and Main Street and Premium Transit Areas An opaque wall or fence at least 6 feet tall shall be provided on the subject property along any lot line abutting or across an alley from the non-industrial development.
1. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. The side of the wall facing the non-industrial development shall be at least as finished in appearance as the side facing the industrial use.
3. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(3)(c)1 if it meets, or is improved to meet, the height and design standards above.
5-6(E)(3)(d) Area of Change Next to Area of Consistency
Where a premises partially or completely in the Area of Change is abutting or across an alley from a premises partially or completely in an Area of Consistency (per City Development Areas in the ABC Comp Plan, as amended), the following standards shall apply on the lot(s) adjacent to the premises partially or completely in the Area of Consistency regardless of the proposed land use on that lot or premises, unless specified otherwise in this IDO:
1. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. The side of the wall facing the non-industrial development shall be at least as finished in appearance as the side facing the industrial use.
3. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(3)(d)1 if it meets, or is improved to meet, the height and design standards above.
5-6(E)(3)(e) Area of Change Next to Area of Consistency
Where a premises partially or completely in the Area of Change is abutting or across an alley from a premises partially or completely in an Area of Consistency (per City Development Areas in the ABC Comp Plan, as amended), the following standards shall apply on the lot(s) adjacent to the premises partially or completely in the Area of Consistency regardless of the proposed land use on that lot or premises, unless specified otherwise in this IDO:
1. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. The side of the wall facing the non-industrial development shall be at least as finished in appearance as the side facing the industrial use.
3. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(3)(e)1 if it meets, or is improved to meet, the height and design standards above.
5-6(E)(3)(f) Area of Change Next to Area of Consistency
Where a premises partially or completely in the Area of Change is abutting or across an alley from a premises partially or completely in an Area of Consistency (per City Development Areas in the ABC Comp Plan, as amended), the following standards shall apply on the lot(s) adjacent to the premises partially or completely in the Area of Consistency regardless of the proposed land use on that lot or premises, unless specified otherwise in this IDO:
1. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. The side of the wall facing the non-industrial development shall be at least as finished in appearance as the side facing the industrial use.
3. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(3)(f)1 if it meets, or is improved to meet, the height and design standards above.
5-6(E)(3)(g) Area of Change Next to Area of Consistency
Where a premises partially or completely in the Area of Change is abutting or across an alley from a premises partially or completely in an Area of Consistency (per City Development Areas in the ABC Comp Plan, as amended), the following standards shall apply on the lot(s) adjacent to the premises partially or completely in the Area of Consistency regardless of the proposed land use on that lot or premises, unless specified otherwise in this IDO:
1. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. The side of the wall facing the non-industrial development shall be at least as finished in appearance as the side facing the industrial use.
3. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(3)(g)1 if it meets, or is improved to meet, the height and design standards above.
5-6(E)(3)(h) Area of Change Next to Area of Consistency
Where a premises partially or completely in the Area of Change is abutting or across an alley from a premises partially or completely in an Area of Consistency (per City Development Areas in the ABC Comp Plan, as amended), the following standards shall apply on the lot(s) adjacent to the premises partially or completely in the Area of Consistency regardless of the proposed land use on that lot or premises, unless specified otherwise in this IDO:
1. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. The side of the wall facing the non-industrial development shall be at least as finished in appearance as the side facing the industrial use.
3. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(3)(h)1 if it meets, or is improved to meet, the height and design standards above.
5-6(E)(3)(i) Area of Change Next to Area of Consistency
Where a premises partially or completely in the Area of Change is abutting or across an alley from a premises partially or completely in an Area of Consistency (per City Development Areas in the ABC Comp Plan, as amended), the following standards shall apply on the lot(s) adjacent to the premises partially or completely in the Area of Consistency regardless of the proposed land use on that lot or premises, unless specified otherwise in this IDO:
1. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. The side of the wall facing the non-industrial development shall be at least as finished in appearance as the side facing the industrial use.
3. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(3)(i)1 if it meets, or is improved to meet, the height and design standards above.
5-6(E)(3)(j) Area of Change Next to Area of Consistency
Where a premises partially or completely in the Area of Change is abutting or across an alley from a premises partially or completely in an Area of Consistency (per City Development Areas in the ABC Comp Plan, as amended), the following standards shall apply on the lot(s) adjacent to the premises partially or completely in the Area of Consistency regardless of the proposed land use on that lot or premises, unless specified otherwise in this IDO:
1. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. The side of the wall facing the non-industrial development shall be at least as finished in appearance as the side facing the industrial use.
3. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(3)(j)1 if it meets, or is improved to meet, the height and design standards above.

5-6(F) PARKING LOT LANDSCAPING
5-6(F)(1) General
5-6(F)(1)(a) Landscaped parking lot areas shall be provided on the subject property along the property line between the two adjacent properties. For drainage facilities, a landscaped edge buffer area at least 15 feet wide shall be provided on the subject property along the property line between the two adjacent properties, unless a smaller edge buffer area is approved by the City Engineer as necessary on a particular lot.
1. If a wall at least 3 feet in height is provided or exists along the landscaped edge buffer area, all of the following requirements shall be met:
a. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
b. The side facing the multi-family residential development shall be at least as finished in appearance as the side facing the mixed-use, or non-residential development.
c. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(F)(1)(a)1 if it meets, or is improved to meet, the height and design standards above.
5-6(F)(1)(b) Downtown, Urban Centers, and Main Street and Premium Transit Areas
An edge buffer wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and both of the following requirements shall be met:
a. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
b. The side facing the multi-family residential development shall be at least as finished in appearance as the side facing the mixed-use, or non-residential development.
c. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(F)(1)(b)1 if it meets, or is improved to meet, the height and design standards above.
5-6(F)(1)(c) Industrial Development Adjacent to Non-Industrial Development
An edge buffer wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and both of the following requirements shall be met:
a. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
b. The side facing the multi-family residential development shall be at least as finished in appearance as the side facing the mixed-use, or non-residential development.
c. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(F)(1)(c)1 if it meets, or is improved to meet, the height and design standards above.
5-6(F)(1)(d) Downtown, Urban Centers, and Main Street and Premium Transit Areas
An edge buffer wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and both of the following requirements shall be met:
a. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
b. The side facing the multi-family residential development shall be at least as finished

TO WHOM IT MAY CONCERN

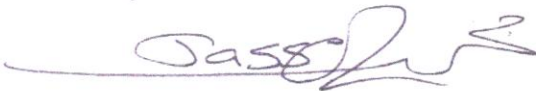
3-27-2026

SUBJECT: EXCESS SPACE STORAGE UNIT – 531 SIVLER CREEK ROAD NW –
ALBUQUERQUE, NM 87121

I, MOHAMMED JASSER, HEREBY AUTHORIZE AFRA CONSTRUCTION LLC AND/OR
ADIL RIZVI TO SUBMIT NECESSARY PLANS ON MY BEHALF TO THE CITY OF
ALBUQUERQUE PLANNING DEPARTMENT FOR DFT REVIEW AND APPROVAL.

THANK YOU

MOHAMMED JASSER



3.27.2026

MOHAMMED JASSER

UNDER STORAGE LLC

11900 ZIACOMA AVENUE SE

ALBUQUERQUE – NEW MEXICO 87123

PHONE: 505-385-9911

JASSER007@GMAIL.COM

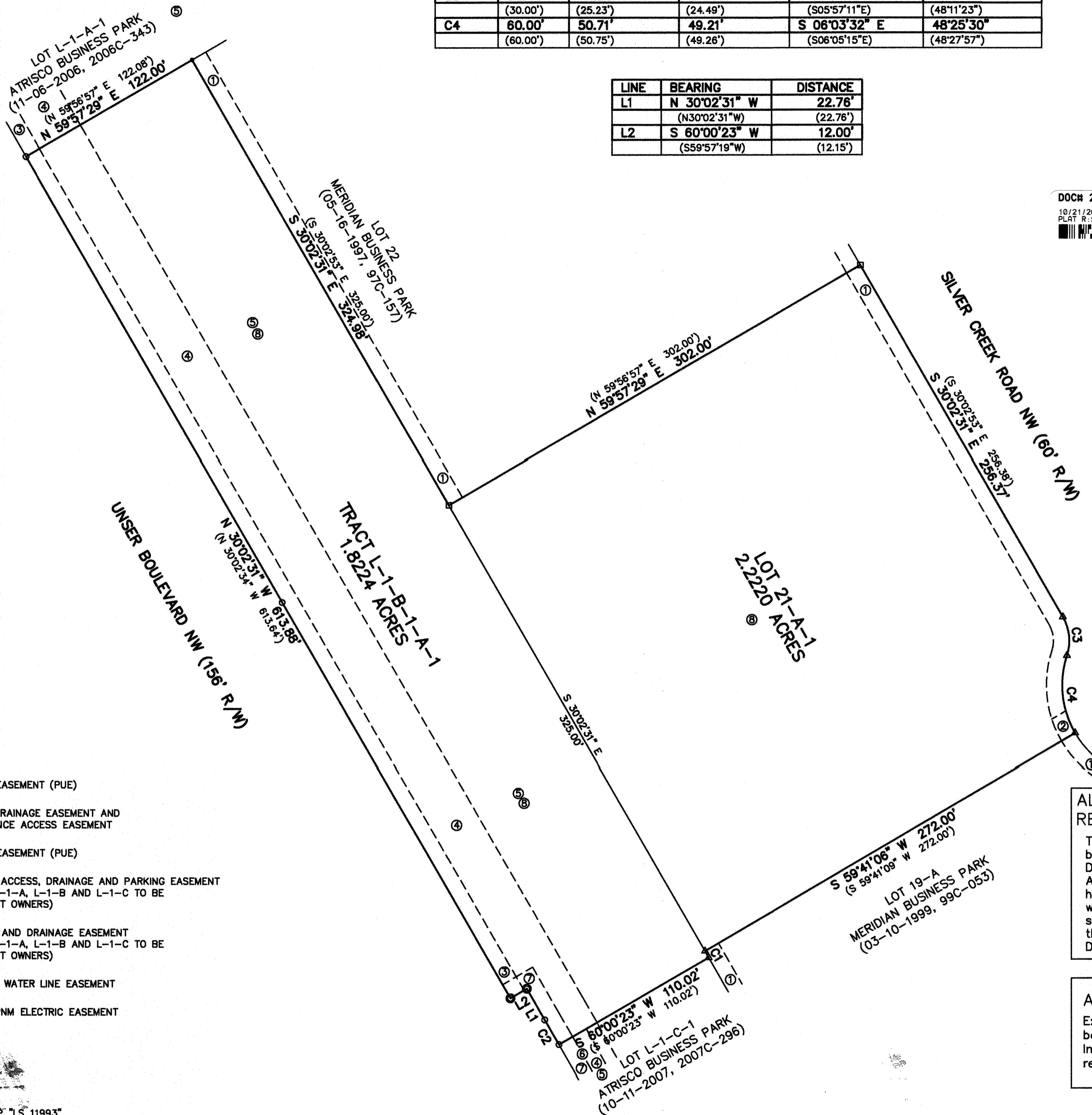
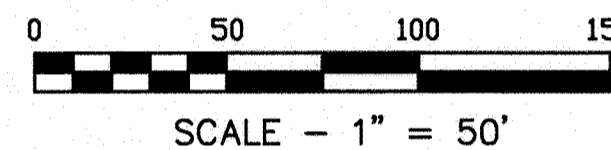
JASSER007@YAHOO.COM

PLAT FOR
 TRACT L-1-B-1-A-1,
 ATRISCO BUSINESS PARK
 AND
 LOT 21-A-1,
 MERIDIAN BUSINESS PARK
 (A REPLAT OF TRACT L-1-B-1-A,
 ATRISCO BUSINESS PARK AND
 LOT 21-A, MERIDIAN BUSINESS PARK)
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 22
 TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2023

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	5929.58'	4.78'	4.76'	S 30°01'08" E (S30°01'08"E)	00°02'46"
C2	5819.58'	18.00'	18.00'	N 29°57'12" W (N29°57'12"W)	00°10'38"
C3	30.00'	25.24'	24.50'	S 05°56'39" E (S05°57'11"E)	48°11'44"
C4	60.00'	50.71'	49.21'	S 06°03'32" E (S06°05'15"E)	48°25'30"

LINE	BEARING	DISTANCE
L1	N 30°02'31" W (N30°02'31"W)	22.76' (22.76')
L2	S 60°00'23" W (S59°57'19"W)	12.00' (12.15')

DOC# 2024074866
 10/21/2024 10:10 AM Page: 3 of 3
 PLAT R: \$25.00 B: 2024C P: 0100 Linda Stover, Bernalillo County



EXISTING EASEMENTS

- ① EXISTING 10' PUBLIC UTILITY EASEMENT (PUE) (05-16-1997, 97C-157)
- ② EXISTING 10' X 15' PRIVATE DRAINAGE EASEMENT AND PRIVATE DRAINAGE MAINTENANCE ACCESS EASEMENT (05-16-1997, 97C-157)
- ③ EXISTING 10' PUBLIC UTILITY EASEMENT (PUE) (12-13-2001, 2001C-326)
- ④ EXISTING 30' CROSS PRIVATE ACCESS, DRAINAGE AND PARKING EASEMENT (FOR THE BENEFIT OF LOTS L-1-A, L-1-B AND L-1-C TO BE MAINTAINED BY INDIVIDUAL LOT OWNERS) (12-13-2001, 2001C-326)
- ⑤ EXISTING CROSS LOT ACCESS AND DRAINAGE EASEMENT (FOR THE BENEFIT OF LOTS L-1-A, L-1-B AND L-1-C TO BE MAINTAINED BY INDIVIDUAL LOT OWNERS) (12-13-2001, 2001C-326)
- ⑥ EXISTING 20' PUBLIC ABCWUA WATER LINE EASEMENT (10-11-2007, 2007C-296)
- ⑦ EXISTING 10' UNDERGROUND PNM ELECTRIC EASEMENT (09-12-2008, 2008B101340)

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "LS 11993"
- FOUND 5/8" REBAR WITH CAP "LS 9750"
- △ FOUND 5/8" REBAR WITH CAP "LS 5823"
- FOUND 5/8" REBAR WITH CAP "LS 8911"
- FOUND MAG NAIL WITH TAG "LS 8911"

NEW EASEMENT

- ⊗ CROSS LOT PRIVATE ACCESS, DRAINAGE AND PARKING EASEMENT (FOR THE BENEFIT OF LOT 21-A-1 AND TRACT L-1-B-1-A-1 MAINTAINED BY INDIVIDUAL LOT OWNERS) (GRANTED BY THIS PLAT)

ALTERNATIVE SIDEWALK CONSTRUCTION AGREEMENT
 RECORDED: 07/08/2024, DOC. # 2024046082

The Alternative Sidewalk Construction Agreement has been selected by the Developer as a condition of Final Plat approval. The Developer hereby incorporates this Alternative Sidewalk Construction Agreement and City Ordinance 14-14-5-12. This note and the hereon referenced agreement shall constitute a covenant running with the title. The owner of each respective parcel and their successors and assigns agrees to and is bound by the terms of this Alternative Sidewalk Construction Agreement jointly with the Developer.

ABCWUA NOTICE

Existing public water and/or sanitary sewer infrastructure may not be constructed or sized to adequately serve future development. Improvement or upsizing of existing public infrastructure may be required as a condition of future development approval.

08-11-2024 rev
 04-04-2024 rev

Drawn By:	TA	Date:	03-22-2023
Checked By:	TA	Drawing Name:	22171PLT.DWG
Job No.:	22-171	Sheet:	3 of 3



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input checked="" type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS	
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)	
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)	
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL	
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)	

BRIEF DESCRIPTION OF REQUEST

Request for Administrative Site Plan Approval for Self Storage Facility

APPLICATION INFORMATION

Applicant/Owner: Arfa Construction - Applicant		Phone: 505-315-6484
Address: 8650 Alameda NE		Email: adil1424@yahoo.com
City: Albuquerque	State: NM	Zip: 87122
Professional/Agent (if any): Adil Rizvi - Agent		Phone: 505-315-6484
Address: 8650 Alameda NE		Email: adil1424@yahoo.com
City: Albuquerque	State: NM	Zip: 87122
Proprietary Interest in Site: Agent	List <u>all</u> owners: Unser Storage LLC	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: L-1-B-1-A-1	Block:	Unit:
Subdivision/Addition: ATRISCO BUSINESS PARK	MRGCD Map No.:	UPC Code: 101005707442420112
Zone Atlas Page(s): K-10	Existing Zoning: NR-BP	Proposed Zoning NR-BP
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 2.2

LOCATION OF PROPERTY BY STREETS

Site Address/Street: SILVER CREEK	Between: LOS VOLCANAS	and: MERIDIAN PLACE NW
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

NONE AS OF NOW

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 03-29-2026
Printed Name: Adil Rizvi	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022

 SITE PLAN ADMINISTRATIVE – DFT

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- 1) DFT Application form completed, signed, and dated
- 2) Form P2 with all the submittal items checked/marked
- 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- 4) Zone Atlas map with the entire site clearly outlined and labeled
- 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- NA 7) Infrastructure List, if required for building of public infrastructure
- NA 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- NA 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- 10) Completed Site Plan Checklist
- 11) Letter of authorization from the property owner if application is submitted by an agent
- 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- NA 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- NA 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

NA 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

NA 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

17) Sign Posting Agreement

18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

The email was sent to all the neighbors listed below.

531 Silver Creek NW _Public Notice Inquiry Sheet Submission

From: Adil R (adil1424@yahoo.com)

To: nedcarla@live.com; benjsandoval@q.com; housealbchrome@gmail.com; jgallegoswccdg@gmail.com; aboard111@gmail.com; jane.baechle@gmail.com; adil1424@yahoo.com; shaky1424@yahoo.com; thussain@afradesign.com; jasser007@gmail.com; jasser007@yahoo.com; ron@thegroup.cc

Date: Sunday, March 29, 2026 at 12:57 PM MDT

Dear Members of the Neighborhood Association .

Please find attached relevant documents for the proposed Self Storage Units located at 531 Silver Creek NW - Albuquerque , NM 87121 .

Sincerely

Adil Rizvi
Agent for Afra Construction LLC
505-315-6484

----- Forwarded Message -----

From: Flores, Suzanna A. <suzannaflores@cabq.gov>
To: adil1424@yahoo.com <adil1424@yahoo.com>
Sent: Friday, March 27, 2026 at 04:19:55 PM MDT
Subject: 531 Silver Creek NW _Public Notice Inquiry Sheet Submission

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date. You must send notice to each e-mail address listed below.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1
Los Volcanes NA		Ted	Trujillo	nedcarla@live.com	6601 Honeylocust Avenue N
Los Volcanes NA		Ben	Sandoval	benjsandoval@q.com	6516 Honeylocust Avenue N
South West Alliance of Neighborhoods (SWAN Coalition)		Lorenzo	Otero	housealbchrome@gmail.com	1413 Hilda Ct NW
South West Alliance of Neighborhoods (SWAN Coalition)		Jerry	Gallejos	jgallegoswccdg@gmail.com	417 65th ST SW
Westside Coalition of Neighborhood Associations	wescona0@gmail.com	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW

Westside Coalition of Neighborhood Associations	wescona0@gmail.com	Jane	Baechle	jane.baechle@gmail.com	7021 Lamar Avenue NW
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The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist you need for notifying neighborhood associations can be found here: <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1/public-notice>
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Friday, March 27, 2026 2:51 PM
To: Office of Neighborhood Coordination <adil1424@yahoo.com>
Cc: Office of Neighborhood Coordination <oncc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:
 Administrative Decision
 If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:
 Applicant Information

Contact Name
 Adil Rizvi
 Telephone Number
 505-315-6484
 Email Address
adil1424@yahoo.com
 Company Name
 AFRA Construction
 Company Address
 2501 Yale Blvd. SE, Suite 102
 City
 Albuquerque
 State
 NM
 ZIP
 87105

Subject Site Information
 Legal description of the subject site for this project:
 LT 21-A-1 PLAT FOR TACT L-1-B-1-A-1 ATRISCO BUSINESS PARKAND LOT 21-A-1 MERIDIAN BUSINESS PARK

Physical address of subject site:
 531 Silver Creek NW
 Subject site cross streets:
 Silver Creek and Meridian
 Other subject site identifiers:
 This site is located on the following zone atlas page:
 K-10
 Link for map
 Captcha

 Public Notice for Site Plan Approval-1.pdf
 2.9 MB

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 25, 2025

Ron Hensley
THE Group
300 Branding Iron Rd. SE
Rio Rancho, NM 87124

**RE: Excess Space Storage
531 Silver Creek NW
Grading & Drainage Plan
Engineer's Stamp Date: 03/25/2025
Hydrology File: K10D023L
Case # HYDR-2025-00093**

Dear Mr. Hensley:

PO Box 1293

Based upon the information provided in your submittal received 03/25/2025, the Grading & Drainage Plan is approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the underground stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol. To submit the Drainage Covenant, you will need to apply in ABQ-PLAN for a Covenant and upload the Drainage Covenant and Exhibit A (separate attachments). Then the originals and the filing fee are turned in to Hydrology for processing.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

Sincerely,

A handwritten signature in black ink, appearing to read 'Anthony Montoya, Jr.'.

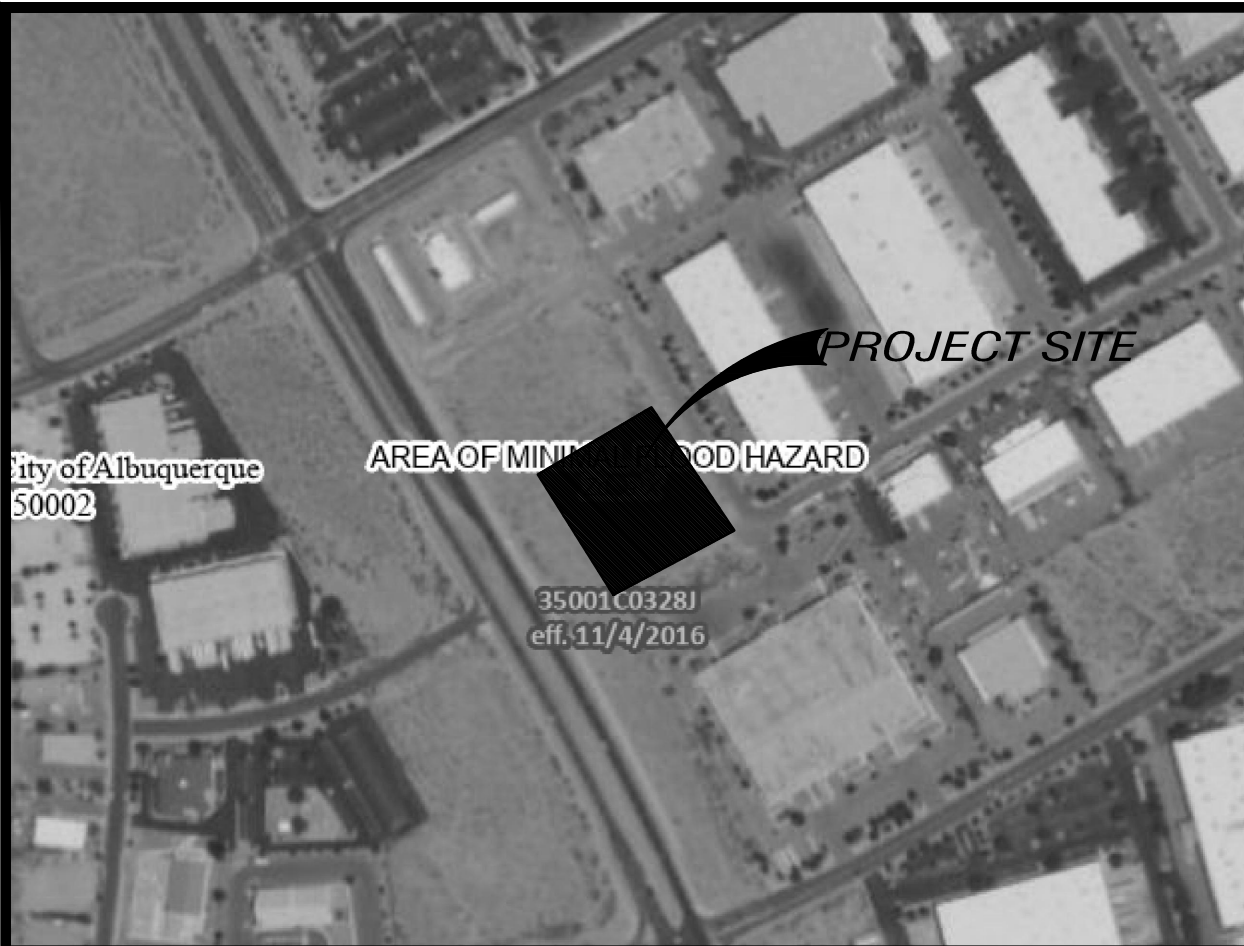
Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



FIRM MAP NO. 35001C0328J

DRAINAGE INFORMATION

LOCATION & DESCRIPTION
THE PROPOSED SITE IS AN UNDEVELOPED TRACT ON SILVER CREEK ROAD COMBINED WITH THE ADJACENT TRACT ON UNSER BLVD. LOT 1-B1-A CONTAINING 1.82 ACRES AND LOT 21 CONTAINING 2.23 ACRES COMPRISING A TOTAL OF 4.05 ACRES.

FLOODPLAIN STATUS
THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0238J, DATED NOVEMBER, 2016 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN.

EXISTING DRAINAGE
THE SITE DRAINS TO SILVER CREEK ROAD AND IS WITHIN THE AREA OF THE MASTER DRAINAGE PLAN OF "K10-D023 ATRISCO BUSINESS PARK" AND IS RESTRICTED TO THE DISCHARGE RATES DEFINED IN THAT REPORT. BASINS OS2 AND OS3 OF THE REPORT CONTAIN THE SITE AND IS RESTRICTED TO A DISCHARGE 0.10 CFS/ACRE.

DEVELOPED CONDITION
PER CROSS LOT DRAINAGE EASEMENTS AND GRADING PLAN FOR BLUEWATER GALLERIA (K10D023), THE SITE RUNOFF FROM THE ADJACENT UPSTREAM SITE WILL BE ROUTED TO THE POND DEPICTED TO DETAIN THE RUNOFF. RUNOFF AND POND VOLUME SHOWN ARE FOR THE DEVELOPED CONDITION OF BOTH SITES. THE POND VOLUME DETAINS 90% OF THE TOTAL RUNOFF WITH A DISCHARGE LIMITED TO 0.41 CFS AT PEAK VOLUME.

METHODOLOGY
THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE WEIGHTED E METHOD.

PRECIPITATION
THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, CHAPTER 6.

EQUATIONS:
WEIGHTED E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$
FLOW = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

BASIN	AREA (sf)	TREATMENT A % sf	TREATMENT B % sf	TREATMENT C % sf	TREATMENT D % sf	WEIGHTED E	VOLUME (cu.-ft.)	FLOW (cfs)	ALLOWED FLOW (cfs)	CFS/AC (cfs/ac)	ALLOWED (cfs/ac)
ALLOWABLE	176464	100%	176464	0%	0	0.5500	8088	6.08	0.41	1.50	0.10
PROPOSED	176464	0%	0	15%	26470	2.0465	30094	15.93	0.41	3.93	0.10

REQUIRED WATER QUALITY VOLUME

LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.

LOT DEPICTED HEREON SHALL BE RESPONSIBLE FOR THE WATER QUALITY VOLUME. THE VOLUME SHALL BE EQUAL TO: IMPERVIOUS AREA * 0.42/12 IN CUBIC FEET.

IMPERVIOUS AREA = 149,994 SQ.FT.

REQUIRED VOLUME = 149,094 * 0.42/12 = 5,218 CU.FT.
VOLUME PROVIDED = 9,699 CU.FT.

**Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")**

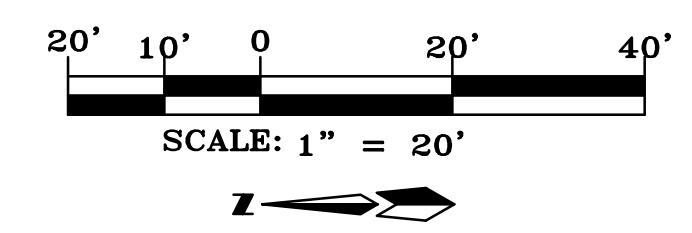
- Build sidewalk culvert per COA STD DWG 2236.
- Contact Storm Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Two working days prior to any excavation, the contractor must contact **New Mexico One Call, dial "811"** [(505) 260-1990] for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- Contractor must contact Storm Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

**City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED**

DATE: 3/25/2025
BY: *[Signature]*
HydroTrans #: K10D023L

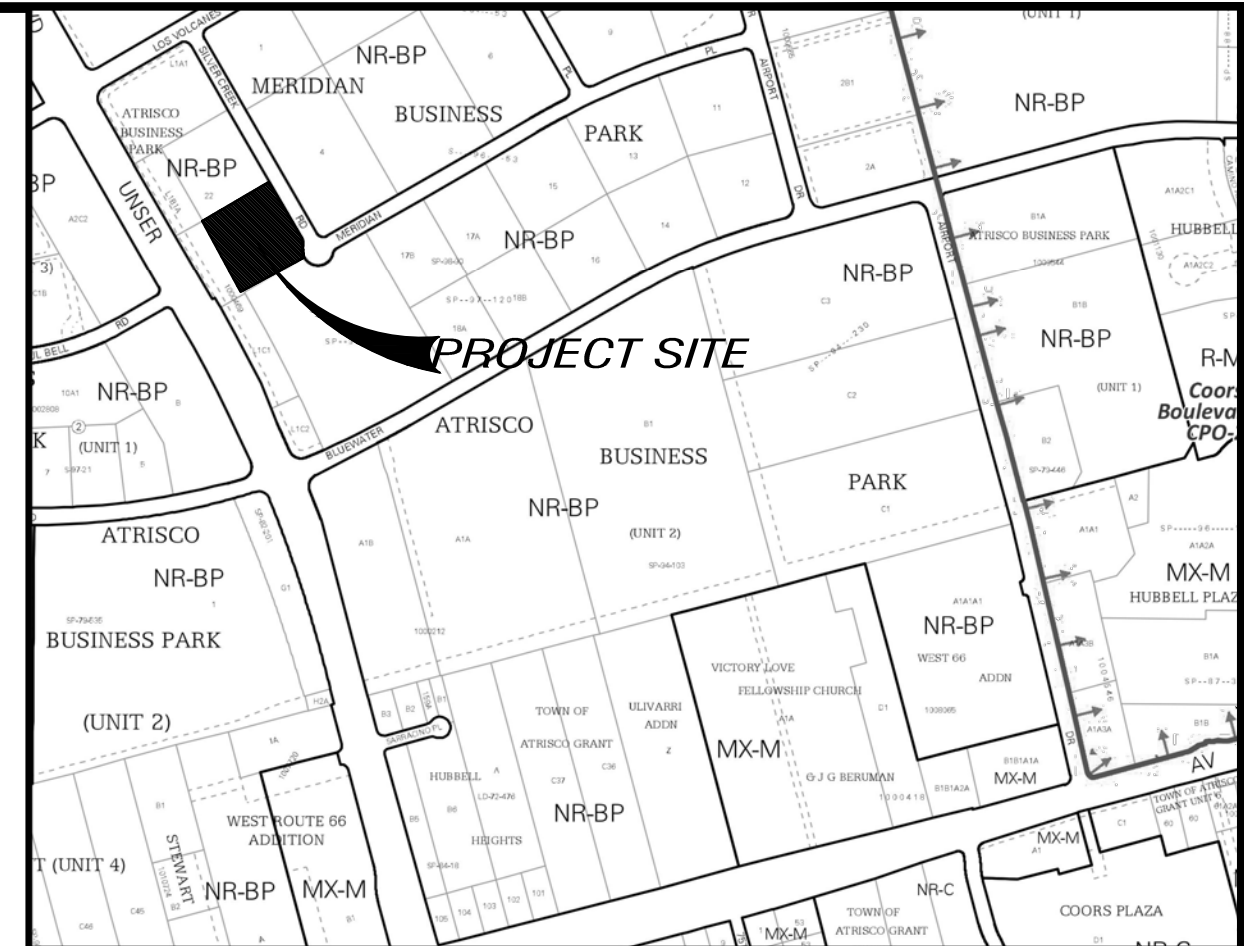
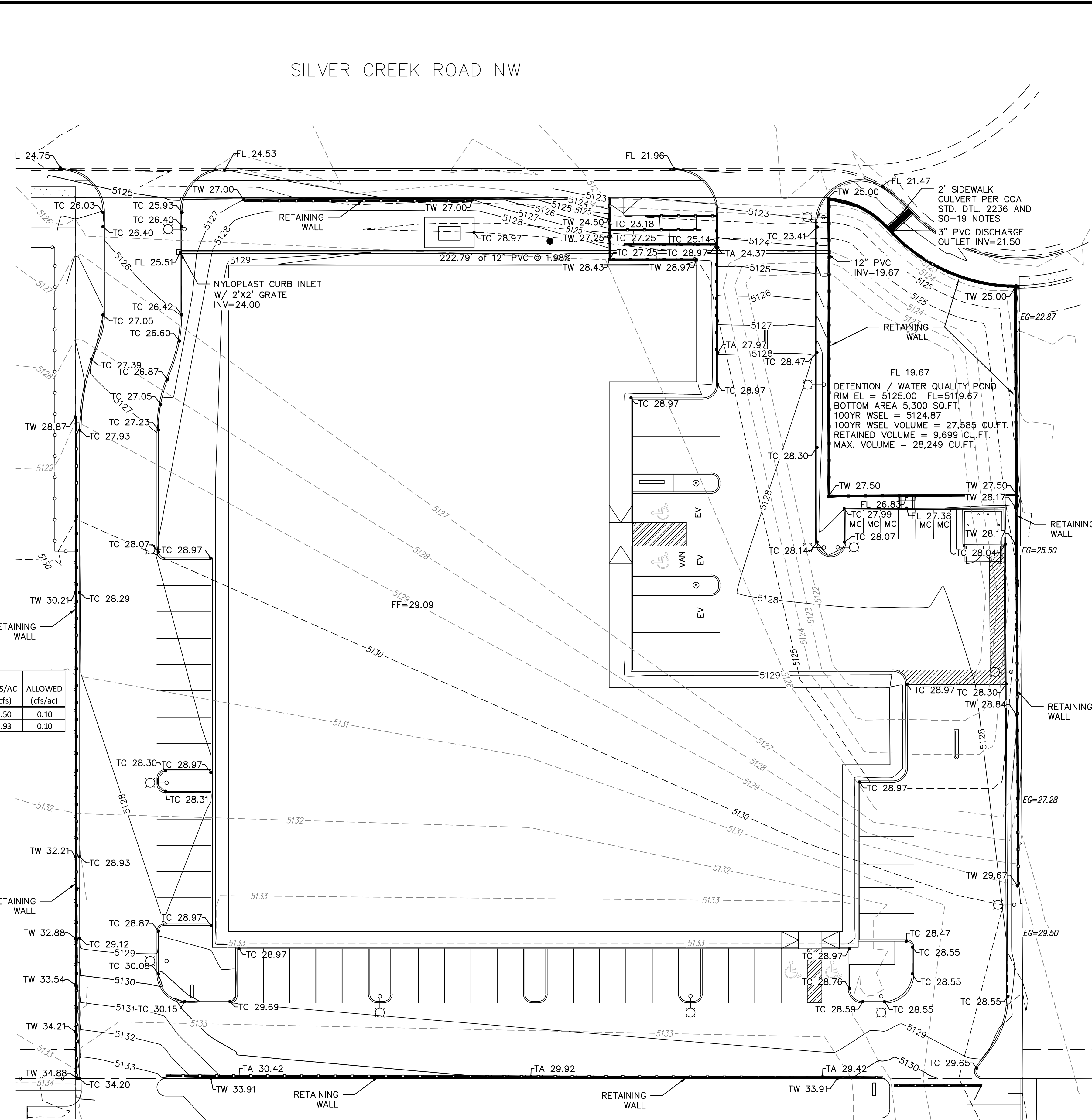
THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO BE A GUARANTEE OF ACCURACY OR A WARRANTY OF ANY KIND. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

BENCHMARKS	
AGRS aluminum cap stamped "9-K10 1989"	The station is located in the southeast quadrant of the intersection of Unser Boulevard NW and Bluewater Road NW. It is at the south end of a median island.
Geographic Position in feet (NAD83) NGS	N.M. State Plane Coordinates (Central Zone)
N=1485617.623, E=1498430.817, G-G=0.999682230, DA=-00'16"22.01"	Elevation in feet (NAVD88) = 5117.720'



LEGEND

- EL=11.28 — PROPOSED ELEVATION
- x 66.33 — EXISTING ELEVATION
- ~~~~ GRADE BREAK
- 5000 — EXISTING CONTOUR
- - - 5000 - - - EXISTING CONTOUR
- - - - - PROPOSED EASEMENT
- — — — — EXISTING WALL
- — — — — PROPOSED WALL



VICINITY MAP K-10-Z

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ANY EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
- THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEED OR LANDSCAPED.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

CONSTRUCTION NOTES

THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE GROUP. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



Afra Construction & Design
2501 Yale Blvd SE Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1745
Fax 505.242.1737

Excess Space Storage
531 Silver Creek Rd NW
Albuquerque New Mexico 87121

REV	DATE	DESCRIPTION	APVD

C-1
3/25/2025

Legal Description & Location:

531 Silver NW - Albuquerque, NM 87121

Request Description: Adminstrative Site Plan Approval

I - Hydrology: (if you already have approved plans, you can bypass this section and go to section II)

- Sensitive Lands Analysis (5-2(C)) Approved NA
Grading and Drainage Plan Approved NA
AMAFCA Approved NA
Bernalillo County Approved NA
NMDOT Approved NA
MRGCD Approved NA

Hydrology Department

Date

II - Approved Grading and Drainage Plan/Letter Attached: (not needed if obtained signature in section I)

III - Transportation: (if you already have approved plans, you can bypass this section and go to section IV)

- Traffic Circulations Layout (TCL) Approved NA
Traffic Impact Study (TIS) Approved NA
Neighborhood Impact Analysis (NIA) Approved NA
Bernalillo County Approved NA
MRCOG Approved NA
NMDOT Approved NA
MRGCD Approved NA

Transportation Department

Date

IV - Approved TCL/Letter Attached: (not needed if obtained signature in section III)

V - Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

Please select and attach the executed document that provides the commitment of service (whichever is applicable):

- Availability Statement
Service Connection Agreement
Development Agreement

If you do not have the executed document, please obtain the ABCWUA signature for your project.

To be completed by ABCWUA

- X Request for Availability submitted: Availability Statement/Serviceability Letter # 260323
Request for Availability is not applicable

ABCWUA signature

3/31/26 Date

Note: Commitment for service is required prior ABCWUA approval of DFT application.

- VI - Infrastructure Improvements Agreement (IIA*) Approved NA
VII - Solid Waste Department Signature on the Plan Approved NA
VIII - Fire Marshall Signature on the Plan Approved NA

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: 03-29-2026

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [§14-16-6-4\(J\) Public Notice](#). This notice is being provided to the Neighborhood Association Representatives on the attached list from the City of Albuquerque’s Office of Neighborhood Coordination.

Project Information Required by [IDO §14-16-6-4\(J\)\(1\)\(a\)](#)

1. Subject Property Address* 531 Silver Creek NW , Albuquerque , NM 87121
Location Description _____
2. Property Owner* Unser Storage LLC
3. Agent/Contractor [if other than the property owner] Afra Construction - Adil Rizvi
4. Application Type(s)* see IDO [Table 6-1-1](#)

- Historic Certificate of Appropriateness – Minor
- Sign Permit
- Alternative Signage Plan
- Wall/Fence Permit
- Site Plan – Administrative

Summary of project/request*:

Requesting Site Plan Administrative Approval for Self Storage
Development

5. This application is an Administrative Decision. To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.
6. Where more information about the project can be found*:

Preferred project contact information:

Name: Afra Construction - Adil Rizvi
Email: adil1424@yahoo.com
Phone: 505-315-6484

[Note: Items with an asterisk (*) are required.]

Website or project page: _____

- Attachments:
- Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination*
- Other: _____

Project Information Required for Email Notice by [IDO §14-16-6-4\(J\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*¹ K-10-Z

2. Project Illustrations, as relevant*²

- Architectural drawings
- Elevations of the proposed building(s)
- Other relevant illustrations

See attachments or the website/project page noted above for the items marked above.

3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s)
- Variance(s)³
- Waiver(s)⁴

Explanation*:

NONE

4. **For Site Plan – Administrative Applications only***,

Attach the proposed site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. *
- b. Access and circulation for vehicles and pedestrians. *
- c. Maximum height of any proposed structures, with building elevations. *
- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

¹ Available online here: <http://data.cabq.gov/business/zoneatlas>

² While not required, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project.

³ Separate notice is required for Variance Applications.

⁴ Separate notice is required for Waiver Applications.

[Note: Items with an asterisk (*) are required.]

Pre-submittal Neighborhood Meeting date, if it occurred: _____

Summary of Pre-submittal Neighborhood Meeting, if one occurred:

[Note: If a meeting was held, the meeting report is required to be provided in the application materials.]

Additional Information from IDO Zoning Map⁵:

1. Area of Property [acres] 2.2 Acres
 2. IDO Zone District(s) NR-BP Select
 3. Overlay Zone(s) [if applicable] _____ Select Select Select Select
 4. Center or Corridor Area [if applicable] _____
 5. Current Land Use(s) [vacant, if none] _____
- _____

NOTE: Pursuant to [IDO §14-16-6-4\(K\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days before the public hearing date. Requests for a facilitated meeting must be submitted through ABQ-PLAN <https://www.cabq.gov/planning/abq-plan>

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com>

IDO Interactive Map:

<https://tinyurl.com/idozoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

531 Silver Creek NW _Public Notice Inquiry Sheet Submission

From: Flores, Suzanna A. (suzannaflores@cabq.gov)

To: adli1424@yahoo.com

Date: Friday, March 27, 2026 at 04:19 PM MDT

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date. You must send notice to each e-mail address listed below.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Los Volcanes NA		Ted	Trujillo	tedcarla@live.com	6601 Honeylocust Avenue NW	Albuquerque	NM	87121	5058508375	5058364419
South West Alliance of Neighborhoods (SWAN Coalition)		Ben	Sandoval	benjsandoval@q.com	6516 Honeylocust Avenue NW	Albuquerque	NM	87121		5053851251
South West Alliance of Neighborhoods (SWAN Coalition)		Lorenzo	Otero	housealbtchrome@gmail.com	1413 Hilda Ct NW	Albuquerque	NM	87105	5053855809	5053855809
Westside Coalition of Neighborhood Associations	wesconad@gmail.com	Jerry	Gallegos	jgallegoswcccdg@gmail.com	417 65th ST SW	Albuquerque	NM	87121	5059852391	5058982114
Westside Coalition of Neighborhood Associations	wesconad@gmail.com	Rene	Horvath	aboardt11@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120		5054006516
Westside Coalition of Neighborhood Associations	wesconad@gmail.com	Jane	Baechele	jane.baechele@gmail.com	7021 Lamar Avenue NW	Albuquerque	NM	87120		5054006516

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: develhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application: <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist you need for notifying neighborhood associations can be found here: <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1/public-notice>
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://do.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Friday, March 27, 2026 2:51 PM
To: Office of Neighborhood Coordination <adil1424@yahoo.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Administrative Decision

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Applicant Information

Contact Name

Adil Rizvi

Telephone Number

505-315-6484

Email Address

adil1424@yahoo.com

Company Name

AFRA Construction

Company Address

2501 Yale Blvd SE, Suite 102

City

Albuquerque

State

NM

ZIP

87105

Subject Site Information

Legal description of the subject site for this project:

LT 21-A-1 PLAT FOR TAQT L-1-B-1-A-1 ATRISCO BUSINESS PARKAND LOT 21-A-1 MERIDIAN BUSINESS PARK

Physical address of subject site:

531 Silver Creek NW

Subject site cross streets:

Silver Creek and Meridian

Other subject site identifiers:

This site is located on the following zone atlas page:

K-10

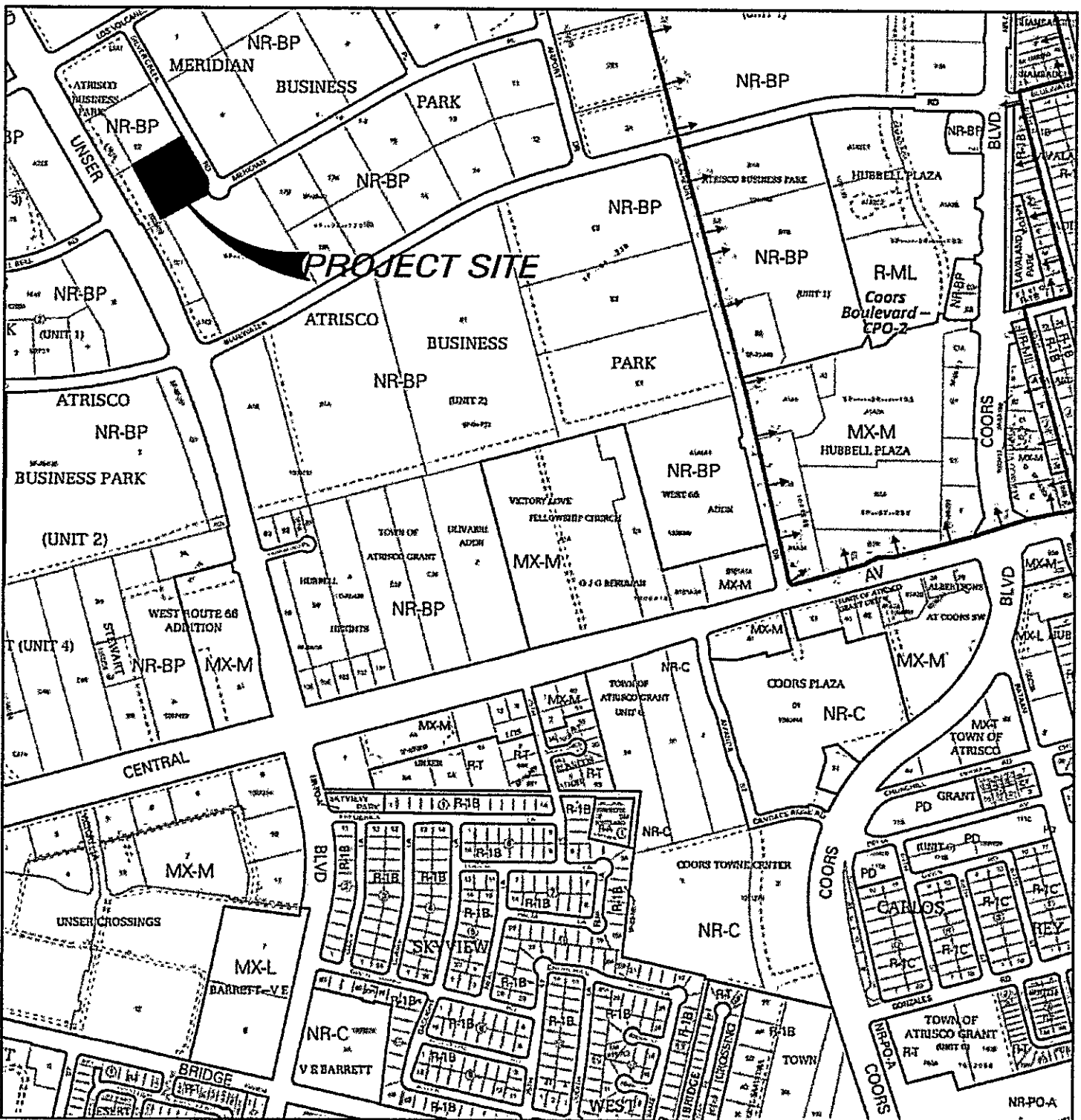
Link for map

Captcha



ZAP K-10.pdf

904.1 KB

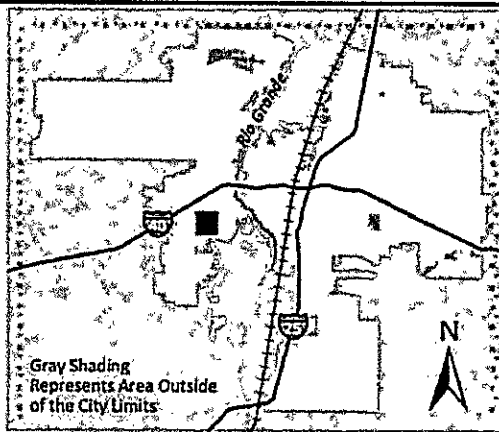


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

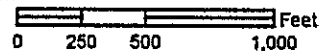


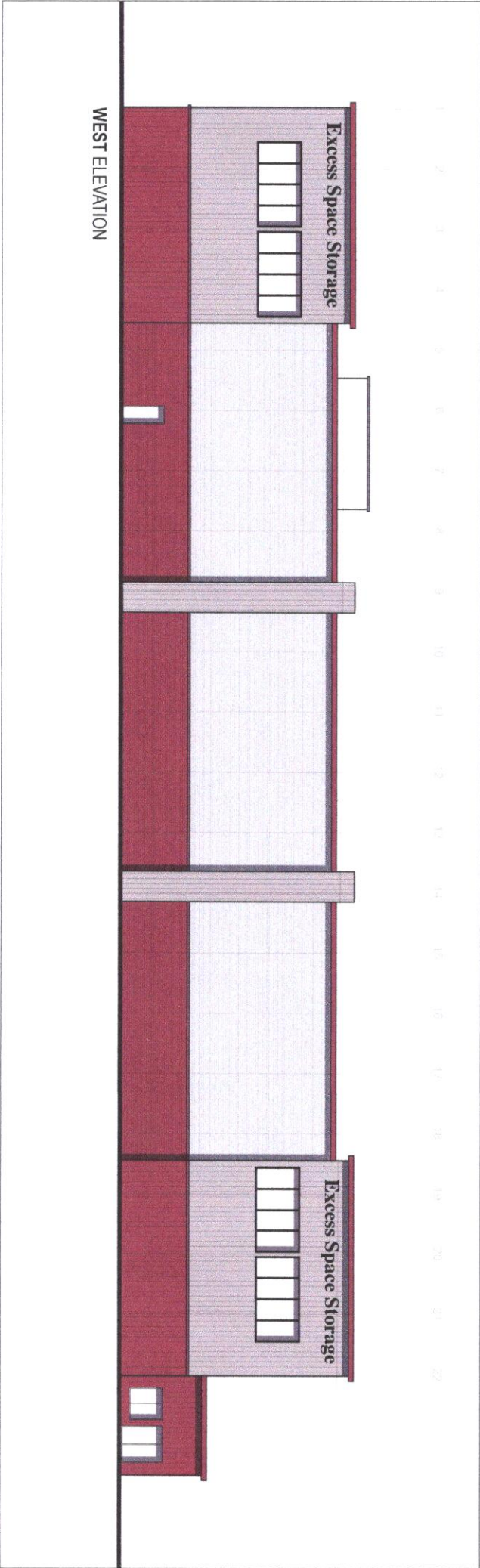
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
K-10-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





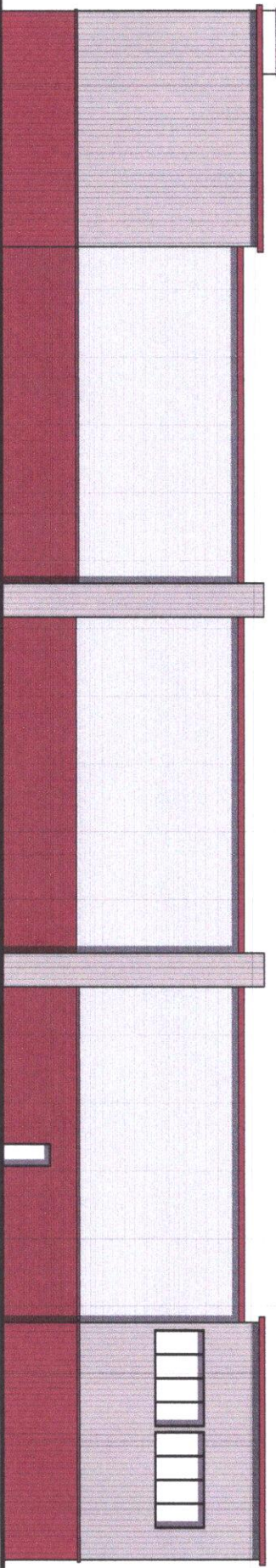
WEST ELEVATION

Excess Space Storage

Excess Space Storage

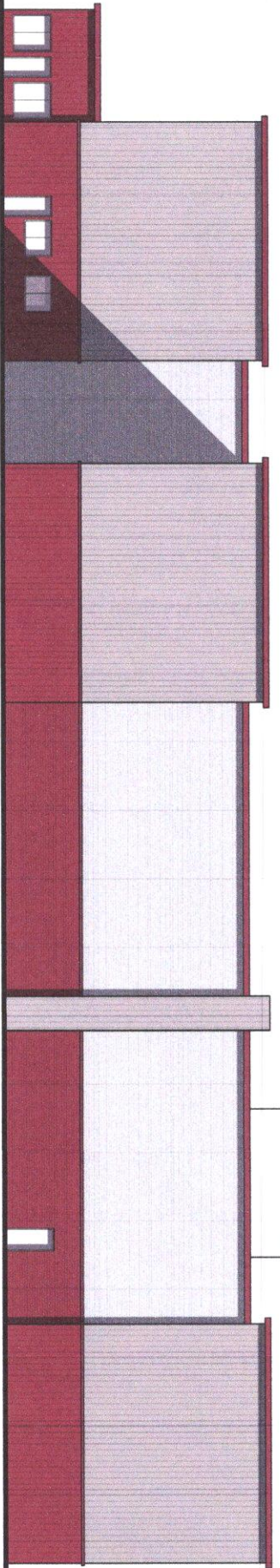
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22

A B C D E F G H I J K L M N O P Q R S T U V W X



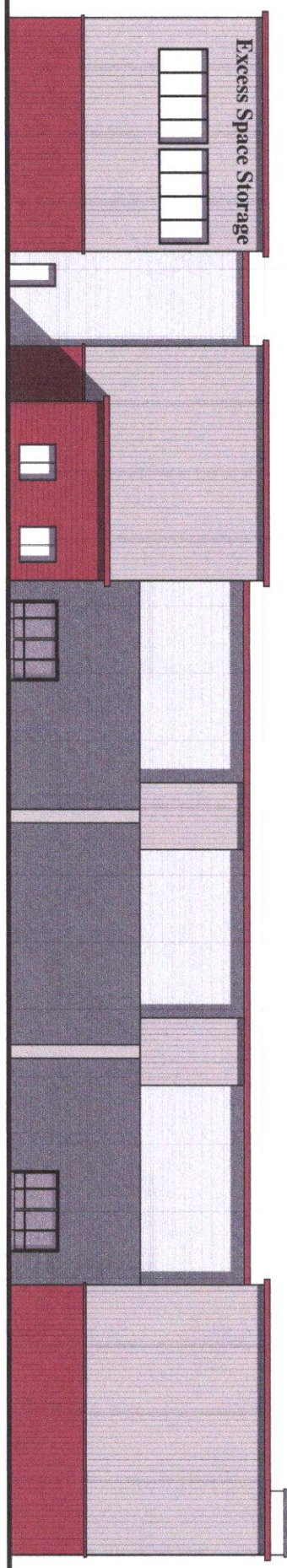
NORTH ELEVATION

EAST ELEVATION



22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

X W V U T S R Q P O N M L K J I H G F E D C B A



SOUTH ELEVATION

DFT SIGN POSTING AGREEMENT – A PUBLIC NOTICE REQUIREMENT

All development applications are required to complete public notice under the Integrated Development Ordinance, Section 6-1, Table 6-1-1. <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1> All applicants are obligated to satisfy all of the public notice requirements, i.e., sending email notifications, mailing notices, and posting signage on the subject property. **This form covers posting signs.** Adherence to sign posting requirements will inform the public of a proposed project and relevant project details.

Signs should be picked up at the Development Review Services office, located at 600 2nd St in the Plaza Del Sol building. Signs are available upon the acceptance of the application. The cost for the signs is included in the project application fee. It is critical that the signs be prominently located and clearly visible without any obstructions from each street frontage.

Applicants are responsible to maintain posting from time of application through the appeal period (15 days following a final decision on the application). Signs must be posted for at least 5 calendar days and for the required appeal period after any final decision. Evidence of the sign posting must also be provided within 3 days of application acceptance. In addition, applicants must ensure that required signs are in place during the 15-day appeal period after the project approval. Evidence of posting includes: Time stamped photographs of the sign at the location which must be submitted as a supplement to the application.

Failure to install or replace the signs during the required timeframe may result in your application being deferred.

LOCATION

- A. The sign shall be conspicuously located, i.e. within twenty feet of the public sidewalk (or edge of a street).
- B. The face of the sign shall be parallel to the street.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

NUMBER

- A. One sign shall be posted on each street frontage.
- B. If the land does not abut a public street, a sign shall be placed at the edge of the public right-of-way of the nearest paved street, in addition to the sign placed on the property.

PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

I have read and understand all of the public notice requirements. By my signature, I acknowledge that: I understand (A) I have read the sign posting requirements; (B) I understand my obligation to keep the signs posted for (5) days at the time of application, and (15) days after application approval. (C) where how the sign(s) should be posted, and (D) agree to provide evidence of posting.

I further certify that the required public notice signs were posted per the instructions above.

SIGNATURE & DATE:



3-28-2026

PROJECT NUMBER & ADDRESS:

PR - 2024 - 009917

SITE PLAN CHECKLIST

(009917)

009917

Project #: PR-2024- Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

[Handwritten Signature]

3-29-2026

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ___ 1. Date of drawing and/or last revision
- ___ 2. Scale: 1.0 acre or less 1" = 10'
 1.0 - 5.0 acres 1" = 20'
 Over 5 acres 1" = 50'
 Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

8626-207 (SOS)

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

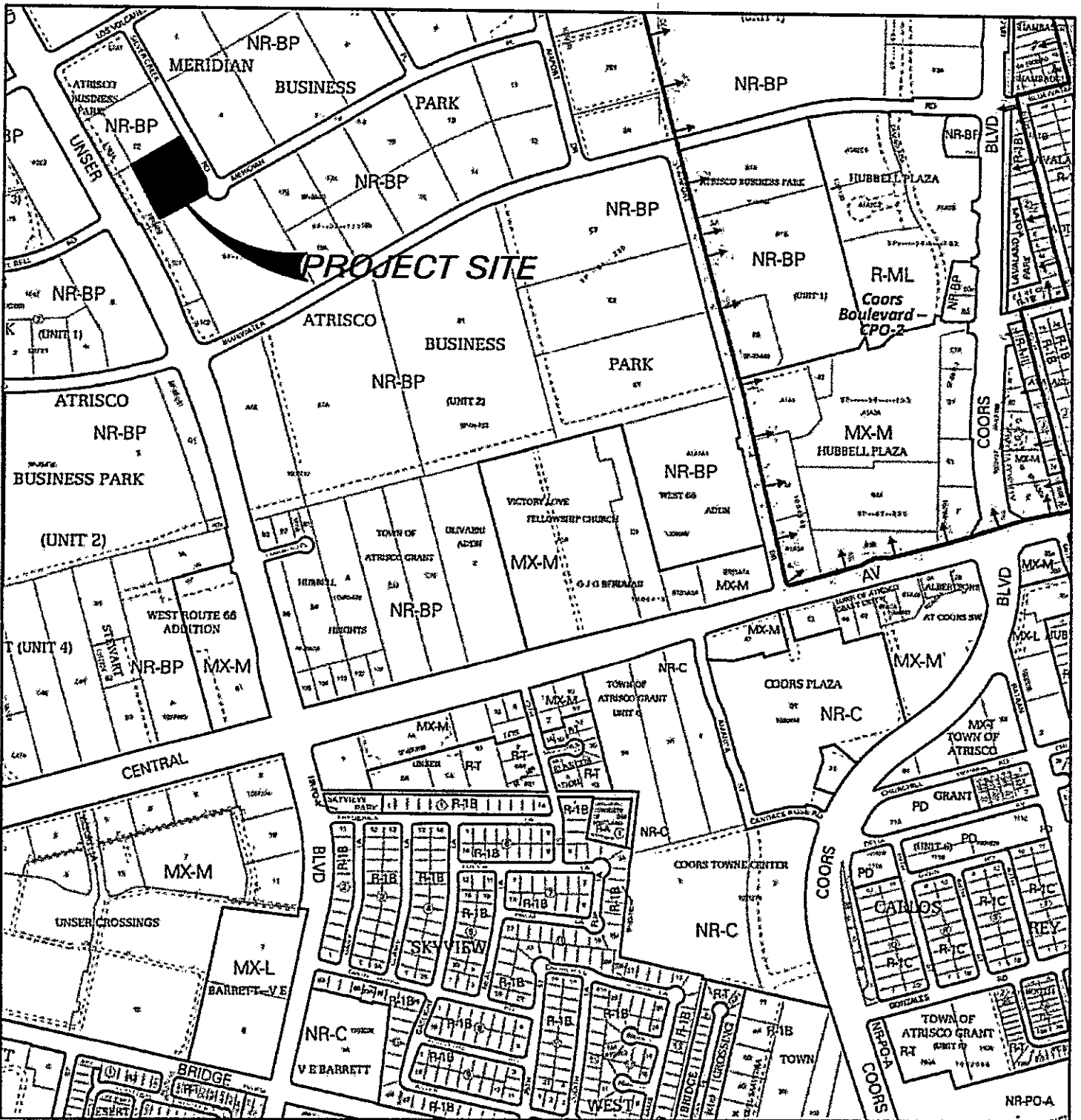
SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)


B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

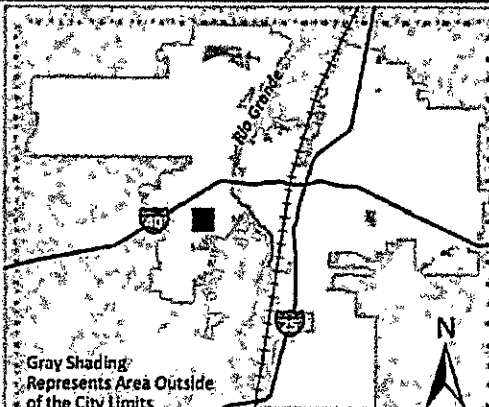


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
K-10-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000
Feet