

# DEVELOPMENT HEARING OFFICER

## Code Enforcement Comments

*Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.*

*Jeff Palmer-Code Enforcement Supervisor  
Planning Department  
[jppalmer@cabq.gov](mailto:jppalmer@cabq.gov)*

**DATE:** 05/22/2024

### **AGENDA ITEM NO: 4**

#### **DHO PROJECT NUMBER:**

**PR-2021-009917**

SD-2024-00092

PRELIMINARY/FINAL

SKETCH PLAT 2-14-24 (DFT)

#### **PROJECT NAME:**

THE GROUP | RON HENSLEY agent for MJ HOSPITALITY LLC requests the aforementioned action(s) for all or a portion of: TRACT L-1-B-1-A and LT 21-A, ATRISCO BUSINESS PARK zoned NR-BP, located at 531 SILVER CREEK RD NW between SILVER CREEK and UNSER containing approximately 4.05 acre(s). (K-10)

#### **PROPERTY OWNERS:**

MJ HOSPITALITY LLC

#### **REQUEST:**

REPLAT OF 2 EXISTING LOTS

#### **COMMENTS:**

1. Code Enforcement has no comments and no objections.

## DEVELOPMENT HEARING OFFICER

### Code Enforcement Comments

*Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.*

*Jeff Palmer-Code Enforcement Supervisor*  
*Planning Department*  
[jppalmer@cabq.gov](mailto:jppalmer@cabq.gov)

**DATE:** 05/22/2024

Comments from 2/14/2024 DFT Sketch Plat:

1. Code Enforcement has no comments and no objections.



## DEVELOPMENT HEARING OFFICER

### Planning - Case Comments

**MEETING DATE:** 5/22/24 -- **AGENDA ITEM:** #4

**Project Number:** PR-2024-009917

**Application Number:** SD-2024-00092

**Project Name:** Albuquerque Data Center- Daytona Rd. NW between 94<sup>th</sup> and 90<sup>th</sup> St

**Request:**

*Preliminary/Final Plat*

---

*\*These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

**Comment in orange require a response.**

**BACKGROUND:**

- This is a request for a boundary adjustment of an existing tract (Tract L-1-B-1-A) and an existing lot (Lot 21-A) into Tract L-1-B-1-A-1 at 1.8224-acres in size and Lot 21-A-1 2.2220 acres in size.
- The IDO zone district for the subject property is NR-BP (Non-Residential – Business Park Zone District) and is located within the Atrisco Business Park Master Development Plan.
- A paved multiple use trail and bike route is located along the frontage of the subject property on Unser Blvd, which is considered a regional principal arterial street in the (LLRS) Long Range Roadway System.
- The proposed replat previously went through Sketch Plat review on February 14<sup>th</sup>, 2024 per PR-2024-009917 / PS-2024-00019.
- This application is being reviewed according to the IDO updated July 2023.

*\*(See additional comments on next pages)*

---

## 1. ITEMS TO BE COMPLETED OR CORRECTED

---

- The Sketch Plat for the proposed replat included a conceptual Site Plan featuring two commercial buildings and improvements largely on Tract L-1-B-1-A-1. However, portions of the proposed parking on the conceptual Site Plan were depicted on Lot 21-A-1; please confirm if future development is proposed on Lot 21-A-1.
- Project and application numbers must be added to the Plat sheet.
- Confirm the approval of the existing driveway and curb-cut off of Unser Boulevard.
- DXF File must be approved by AGIS office before final sign-off of this Preliminary/Final Plat request.
- Per 6-6(K)(2)(k) of the IDO, the date of the DHO approval shall be recorded on the original drawing of the final plat, and verification of compliance with conditions of approval shall be dated and verified by the signatures of the required commenting agencies.
- Please note that per the Atrisco Business Park Master Development Plan, properties adjacent to Unser Boulevard shall have a 6-foot wide sidewalk with a minimum 12-feet between the back of curb and the sidewalk. An analysis of the site in Google Street View (see picture below) appears to depict a sidewalk at least 6-feet in width, but the landscape buffer doesn't appear to be a minimum of 12-feet in width between the back of curb and the sidewalk as required by the Atrisco Business Park Master Development Plan.

• Principal Arterial	60 feet
• Collector	30 feet
• Local	20 feet

To act as a buffer between uses, buildings shall be set back a minimum of ten feet at both the side and rear yard locations. These setback areas shall be landscaped according to the Landscape Standards.

Parking Area Setbacks

Based on the defined street classifications, the minimum parking area setback lines, as measured from the back of the curb, shall be as follows:

• Principal Arterial	40 feet
• Collector	20 feet
• Local	20 feet

**SIDEWALKS / BIKEWAYS**

To encourage and enhance the pedestrian nature of the Atrisco Business Park, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. In accordance with the City of Albuquerque's Sidewalk Ordinance, all streets within the site are required to have sidewalks on both sides of the street.

Properties adjacent to Unser Boulevard shall have a 6 foot wide sidewalk with a minimum landscaped area of 12 feet between the back of curb and the sidewalk. All other collector and major local streets within the site shall have 4 foot wide sidewalks. It is recommended that the sidewalk

# DEVELOPMENT SKETCHES ATRISCO BUSINESS PARK

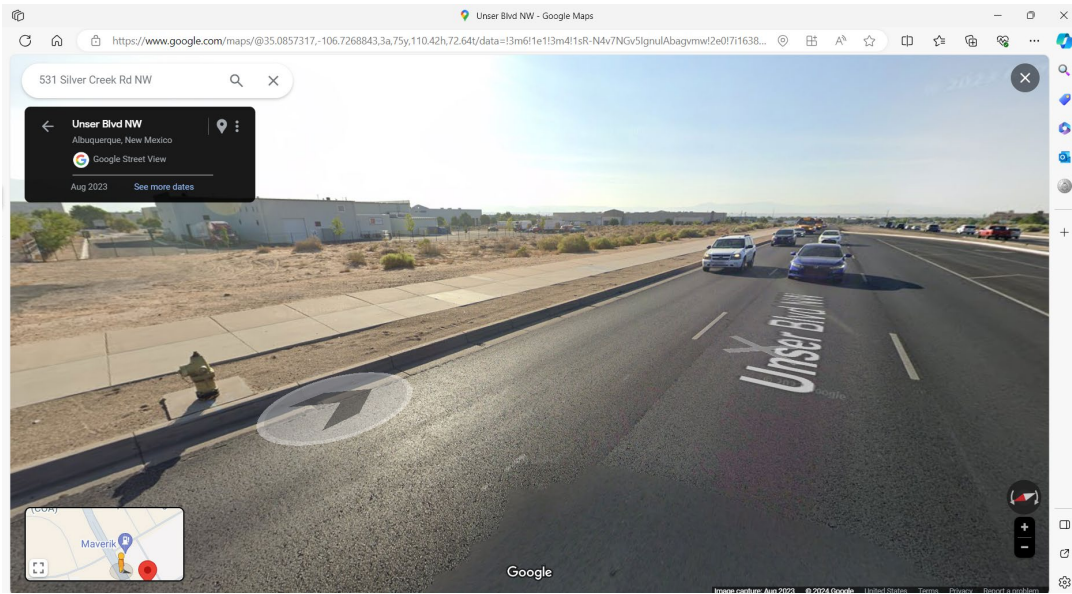
Prepared For:

Sun  
Special Assets D  
303 Roma A  
Albuquerque, New Mex

Prepared By:

AA-97-45

Garrett C  
9309 Avenida de I  
Albuquerque, New Mex



## 2. ITEMS IN COMPLIANCE OR STANDARD COMMENTS

- Signatures from the surveyor, Owner/s, City Surveyor, Century Link, Comcast, and AMAFCA are obtained on the Plat.
- Public notifications were properly distributed to the Neighborhood Association contacts per the contact information that was provided to the Applicant by the Office of Neighborhood Coordination, meeting the notification requirements of Table 6-1-1 of the IDO.
- Transportation, Hydrology, and Water Authority have signed form PLT for this application.
- Per 6-6(K)(3) of the IDO, an application for a Subdivision of Land – Minor shall be approved if it complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.
- Per 6-6(K)(2)(I) of the IDO, the applicant shall record the final plat with the Bernalillo County Clerk within 3 months after the date of the final signature on the plat, or the subdivision shall be voided.
  1. A plat that is not recorded in a timely manner may not be used as the basis for legal transfer of property where a subdivision is required.
  2. The applicant shall provide the City a digital copy of the recorded plat.



*Disclaimer:* The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Jay Rodenbeck  
Planning Department

DATE: 5/21/24

DEVELOPMENT HEARING OFFICER

TRANSPORTATION DEVELOPMENT

DRB Project Number: 2024-009917 (2024-010119)  
531 Silver Creek

AGENDA ITEM NO: 4

SUBJECT: Preliminary/Final Plat

ENGINEERING COMMENTS:

1. Unser is a Principal Arterial and requires 6' sidewalk with a 5' – 6' landscape buffer. Silver Creek and Meridian are local roads and require 5' sidewalk with 4' – 6' landscape buffer. Please provide a diagram dimensioning sidewalks and landscape buffers.
2. As a reminder, a TCL will be required prior to site plan or building permit. Also, a Traffic Scoping form will need to be submitted to Curtis Cherne ([ccherne@cabq.gov](mailto:ccherne@cabq.gov)) to determine if a TIS will be required.

. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Ernest Armijo, P.E.  
Transportation Development  
505-924-3991 or [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

DATE: May 22, 2024

---

ACTION:

APPROVED \_\_; DENIED \_\_; DEFERRED \_\_; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: \_\_\_\_\_ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)

**DEVELOPMENT HEARING OFFICER - HYDROLOGY SECTION**  
Renée Brissette, PE, Senior Engineer | 505-924-3995 [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)

---

DRB Project Number: 2024-009917 Hearing Date: 05-22-2024  
Tract L-1-B-1-A-1 Atrisco Business  
Park & Lot 21-A-1 Meridian  
Project: Business Park Agenda Item No: 4

<input checked="" type="checkbox"/> Minor Preliminary / Final Plat	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Temp Sidewalk Deferral	<input type="checkbox"/> Sidewalk Waiver/Variance	<input type="checkbox"/> Bulk Land Plat
<input type="checkbox"/> DPM Variance	<input type="checkbox"/> Vacation of Public Easement	<input type="checkbox"/> Vacation of Public Right of Way

**ENGINEERING COMMENTS:**

- Hydrology has an approved Grading & Drainage Plan (K10D023L) with engineer's stamp 04/17/2023.
- Hydrology has no objection to the platting action.

☐ APPROVED  
☐ DENIED

DELEGATED TO: ☐ TRANS ☐ HYD ☐ WUA ☐ PRKS ☐ PLNG  
Delegated For: \_\_\_\_\_  
SIGNED: ☐ I.L. ☐ SPSP ☐ SPBP ☐ FINAL PLAT  
DEFERRED TO \_\_\_\_\_





## DEVELOPMENT HEARING OFFICER (DHO)

### Parks and Recreation Department

<https://www.cabq.gov/parksandrecreation>

**PR-2024-009917**

SD-2024-00092 – PRELIMINARY/FINAL PLAT

SKETCH PLAT 2-14-24 (DFT)

IDO - 2022

THE GROUP | RON HENSLEY agent for MJ HOSPITALITY LLC requests the aforementioned action(s) for all or a portion of: TRACT L-1-B-1-A and LT 21-A, ATRISCO BUSINESS PARK zoned NR-BP, located at 531 SILVER CREEK RD NW between SILVER CREEK and UNSER containing approximately 4.05 acre(s). (K-10)

PROPERTY OWNERS: MJ HOSPITALITY LLC

REQUEST: REPLAT OF 2 EXISTING LOTS

**Comments:**

05-22-2024

Parks and Recreation no objections to the requested action.

Note: The SW boundary line of the site is adjacent/fronts an existing concrete multi-use trail along the east side of Unser Blvd NW. Future development on the site will need to comply with all requirements in the IDO for adjacency to trails.

Comments provided by Whitney Phelan, Senior Planner, CABQ Parks & Recreation Department. Please contact via [wphelan@cabq.gov](mailto:wphelan@cabq.gov) or 505-768-5378 with questions or concerns.