

Site Plan Documentation



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input checked="" type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS	
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)	
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)	
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL	
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)	
BRIEF DESCRIPTION OF REQUEST		
Proposed site improvements for a new tenant building with a Taco Bell quick-service restaurant with accessory drive-thru on the endcap.		
APPLICATION INFORMATION		
Applicant/Owner: Tracy D. Knapp, V.P. of Development, Alvarado Development, LLC		Phone: 678-458-9013
Address: 5654 Greenwood Village Plaza Blvd.		Email: TDKnapp@TeamARN.com
City: Greenwood Village	State: CO	Zip: 80111
Professional/Agent (if any): MRV Architects, Inc.		Phone: 224-318-2140
Address: 5105 Tollview Drive, Suite 201		Email: davids@mrvarch.com
City: Rolling Meadows	State: IL	Zip: 60008
Proprietary Interest in Site:	List <u>all</u> owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: 1D	Block:	Unit:
Subdivision/Addition: TOWN OF ASTRICO GRANT, PROJECTED SECTION 33 TOWNSHIP 10 NORTH RANGE 2 EAST	MRGCD Map No.:	UPC Code: 100905515936920328
Zone Atlas Page(s): M9	Existing Zoning: NR-C	Proposed Zoning NR-C
# of Existing Lots:	# of Proposed Lots: 1	Total Area of Site (Acres): 1.51
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 1115 Snow Vista Blvd.	Between: Sage Rd. / De Vargas Rd.	and: Benavides Rd.
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.		
Signature:	Date: 9/27/2024	
Printed Name: Tracy D. Knapp	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent	

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: LT 1D PLAT OF LOTS 1A, 1B, 1C, 1D AND 1E SNOW VISTA INVESTORS CONT 1.5064 +/- AC
1115 Snow Vista Blvd. SW Albuquerque, NM 87121

Request Description: Proposed site improvements for new tenant building with Taco Bell quick-service restaurant with accessory drive-thru at endcap.

Hydrology:

- Sensitive Lands Analysis (5-2(C))
Grading and Drainage Plan
AMAFCA
Bernalillo County
NMDOT
MRGCD

Reggie Chen
Hydrology Department
7/8/2024
Date

Transportation:

- Traffic Circulations Layout (TCL)
Traffic Impact Study (TIS)
Neighborhood Impact Analysis (NIA)
Bernalillo County
MRCOG
NMDOT
MRGCD

Ernest Arroyo
Transportation Department
7/9/2024
Date

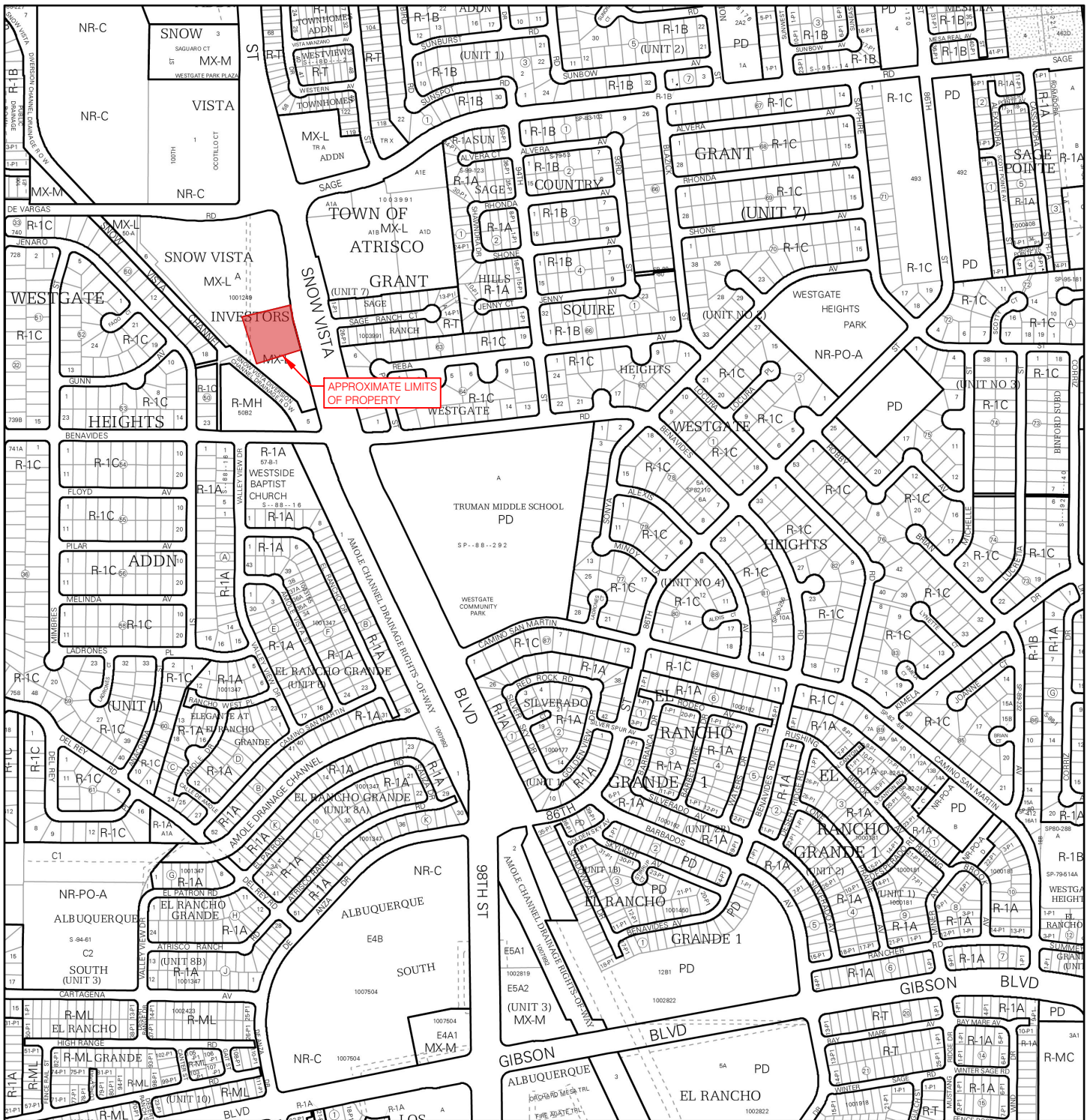
Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? Yes No NA
Availability Statement/Serviceability Letter Number
Note: Commitment for service is required prior to application approval.

ABCWUA
Date

- Infrastructure Improvements Agreement (IIA*)
Solid Waste Department Signature on the Plan
Fire Marshall Signature on the Plan

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
M-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

FIRE 1

TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021



**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**

PERMIT

PERMIT NUMBER: FP-24-020954
APPROVED DATE: 08/13/24
APPROVED BY: [Signature]

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR JOB DATE. PRICE INSPECTION IS REQUIRED.

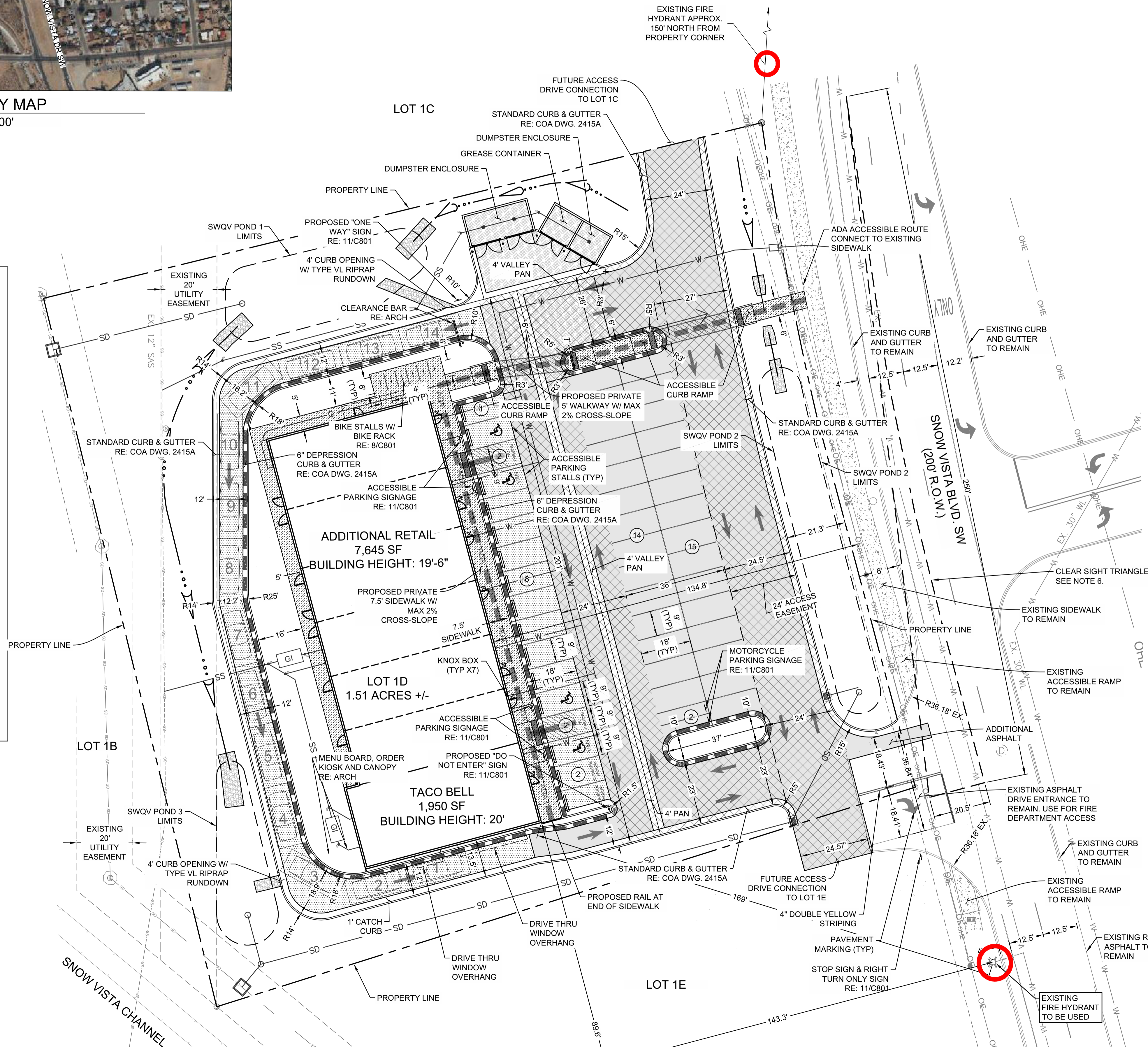
FIRE FLOW: 1 HYDRANT 1750 GPM
MINIMUM NUMBER OF HYDRANTS: 1
REQUIRED HYDRANT SPACING: 500 FT
2021 IFC, APPENDIX C, TABLE C102.1



VICINITY MAP
1"=400'

TOTAL DISTURBED AREA	1.57 ACRES
PROJECT SITE AREA	1.51 ACRES
EXISTING IMPERVIOUS AREA	0.01 ACRES
EXISTING PERVIOUS AREA	1.50 ACRES
PROPOSED IMPERVIOUS AREA	0.92 ACRES
PROPOSED PERVIOUS AREA	0.59 ACRES

PARKING SUMMARY TABLE	
RE: 2022 IDO, TABLE 5-5-1, TABLE 5-5-4, TABLE 5-5-5 2020 DPM, Section 7-4(K)(2), Section 7-4(K)(3)	
REQUIRED OFF-STREET PARKING:	
RESTAURANT: 1,950 SF	
5.6 SPACES PER 1,000 SF: $(\frac{5.6 \times 1950}{1000}) =$	10
GENERAL RETAIL $\leq 10,000$ SF: 7,645 SF	
3.5 SPACES PER 1,000 SF: $(\frac{3.5 \times 7645}{1000}) =$	26
REQUIRED MOTORCYCLE PARKING:	
25-50 OFF-STREET SPACES =	2
TOTAL =	38
PROVIDED PARKING:	46
STANDARD:	40
ACCESSIBLE:	2
VAN ACCESSIBLE:	2
MOTORCYCLE:	2
TOTAL PROVIDED PARKING:	46
MINIMUM PARKING STALL DIMENSIONS PROVIDED:	
STANDARD:	9' x 18'
ACCESSIBLE:	9' x 18'
VAN ACCESSIBLE:	9' x 18'
MOTORCYCLE:	4.5' x 18'
MINIMUM REQUIRED BICYCLE PARKING:	
NON-RESIDENTIAL USES:	
10% OF REQUIRED OFF-STREET PARKING =	4
MINIMUM BICYCLE STALL DIMENSIONS PROVIDED:	4' x 6'



NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. REFER TO CITY OF ALBUQUERQUE DWG 2415A AND DWG 2430.
- WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- REFER TO LANDSCAPE PLANS FOR GRASS, TREES AND PLANTED MATERIALS.

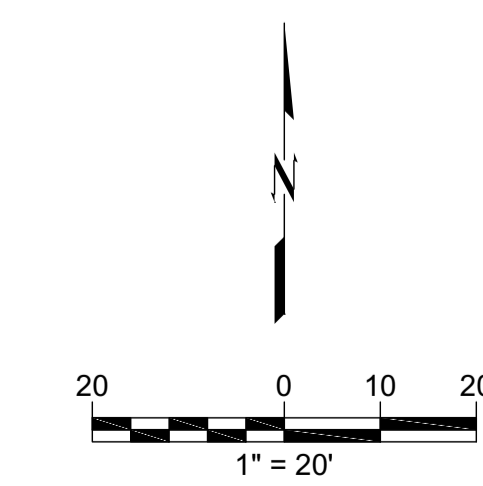
PROPERTY DESCRIPTION
TRACT A PLAT FOR TRACT A SNOW VISTA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILLED IN THE OFFICE OF THE COUNTRY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON 2022.

PROPERTY ADDRESS
1125 SNOW VISTA BLVD SW

DEVELOPER NAME AND ADDRESS
ALVARADO RESTAURANT NATION
5654 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO 80111
JEFF D. JOHNSTON
JDJOHNSTON@TEAMARN.COM
720.385.5100

LEGEND

	STANDARD DUTY ASPHALT PAVEMENT
	REINFORCED CONCRETE PAD
	CONCRETE SIDEWALK
	RIPRAP
	EXISTING CONCRETE SIDEWALK
	FIRE LANE
	6\"/>
	ADA ACCESSIBLE ROUTE PATH
	STORM DRAIN
	DRAINAGE FLOW PATH
	STORM BASIN W/ LID
	CITY OF ALBUQUERQUE DRAINAGE STORM INLET TYPE "C" DWG. 2205
	SANITARY SEWER CLEANOUT



CAUTION

NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



TACO BELL
98TH & SAGE
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM

REV	DESCRIPTION	DATE
1	TRASH ENCLOSURE UPDATE FOR SOLID WASTE	06/28/2024

DATE: 08/12/2024
PROJECT NO.: 2175023.03
SHEET NAME: FIRE 1
SHEET NO.: F100

ORIG SIZE: 24"X36" PLOT: 8/12/2024 9:28:31 AM I:\Denver-Server\Civil\Projects\2175023\FIRE - 1.dwg



TRAFFIC CIRCULATION LAYOUT TACO BELL - SNOW VISTA BOULEVARD ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021



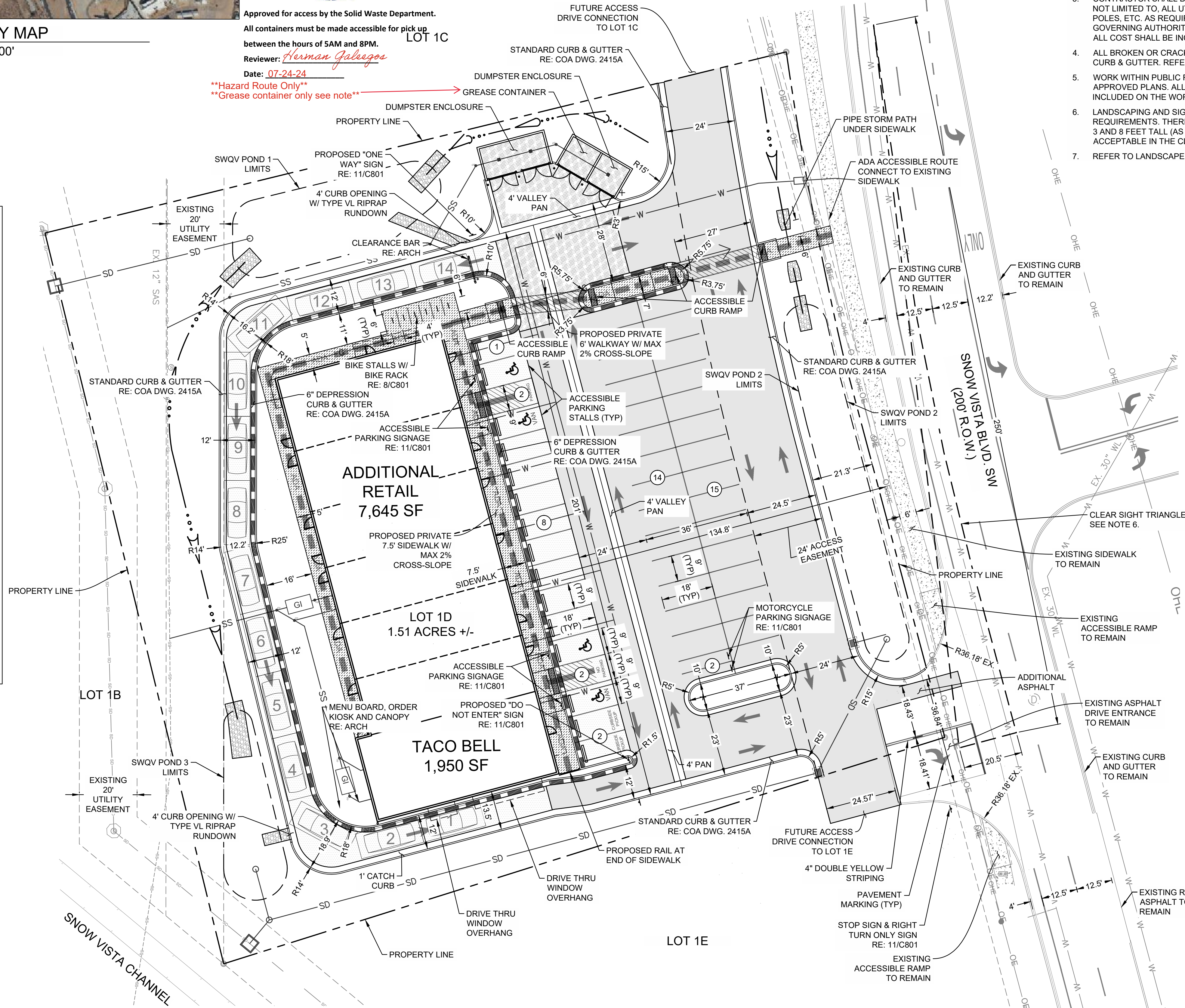
VICINITY MAP
1"=400'



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up between the hours of 5AM and 8PM.
Reviewer: *Herman Gallegos*
Date: 07-24-24
Hazard Route Only
Grease container only see note

TOTAL DISTURBED AREA	1.57 ACRES
PROJECT SITE AREA	1.51 ACRES
EXISTING IMPERVIOUS AREA	0.01 ACRES
EXISTING PERVIOUS AREA	1.50 ACRES
PROPOSED IMPERVIOUS AREA	0.92 ACRES
PROPOSED PERVIOUS AREA	0.59 ACRES

PARKING SUMMARY TABLE	
RE: 2022 IDO, TABLE 5-5-1, TABLE 5-5-4, TABLE 5-5-5 2020 DPM, Section 7-4(K)(2), Section 7-4(K)(3)	
REQUIRED OFF-STREET PARKING:	
RESTAURANT: 1,950 SF	
5.6 SPACES PER 1,000 SF. $(\frac{5.6 \times 1950}{1000}) =$	10
GENERAL RETAIL $\leq 10,000$ SF: 7,645 SF	
3.5 SPACES PER 1,000 SF. $(\frac{3.5 \times 7645}{1000}) =$	26
REQUIRED MOTORCYCLE PARKING:	
25-50 OFF-STREET SPACES =	2
TOTAL =	38
PROVIDED PARKING:	46
STANDARD:	40
ACCESSIBLE:	2
VAN ACCESSIBLE:	2
MOTORCYCLE:	2
TOTAL PROVIDED PARKING:	46
MINIMUM PARKING STALL DIMENSIONS PROVIDED:	
STANDARD:	9' x 18'
ACCESSIBLE:	9' x 18'
VAN ACCESSIBLE:	9' x 18'
MOTORCYCLE:	4.5' x 18'
MINIMUM REQUIRED BICYCLE PARKING:	
NON-RESIDENTIAL USES:	
10% OF REQUIRED OFF-STREET PARKING =	4
MINIMUM BICYCLE STALL DIMENSIONS PROVIDED:	4' x 6'



NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. REFER TO CITY OF ALBUQUERQUE DWG 2415A AND DWG 2430.
- WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- REFER TO LANDSCAPE PLANS FOR GRASS, TREES AND PLANTED MATERIALS.

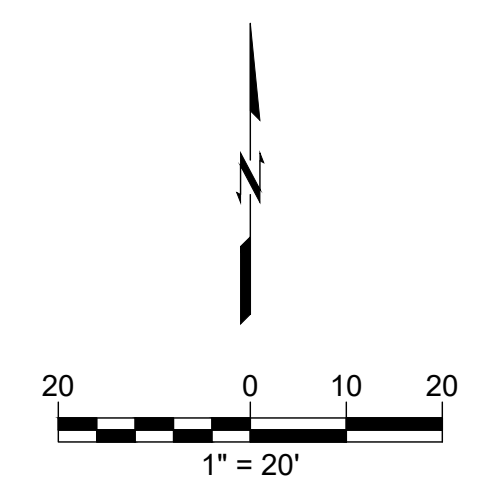
PROPERTY DESCRIPTION
TRACT A PLAT FOR TRACT A SNOW VISTA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILLED IN THE OFFICE OF THE COUNTRY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON 2022.

PROPERTY ADDRESS
1125 SNOW VISTA BLVD SW

DEVELOPER NAME AND ADDRESS
ALVARADO RESTAURANT NATION
5654 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO 80111
JEFF D. JOHNSTON
JDJOHNSTON@TEAMARN.COM
720.385.5100

LEGEND

	STANDARD DUTY ASPHALT PAVEMENT
	REINFORCED CONCRETE PAD
	CONCRETE SIDEWALK
	RIPRAP
	EXISTING CONCRETE SIDEWALK
	6\"/>
	ADA ACCESSIBLE ROUTE PATH
	STORM DRAIN
	DRAINAGE FLOW PATH
	STORM BASIN W/ LID
	CITY OF ALBUQUERQUE DRAINAGE STORM INLET TYPE \"C\" DWG. 2205
	SANITARY SEWER CLEANOUT



ORIG SIZE: 24"x36"
PLOT: 7/23/2024 2:31:37 PM
I:\Denver-Server\Civil\Projects\2175023 Taco Bell - Snow Vista\Drawings\PRODUCTION\2175023 TRAFFIC CIRCULATION LAYOUT.dwg

CAUTION
NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



TACO BELL
98TH & SAGE
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM



REV	DATE	DESCRIPTION
1	06/28/2024	TRASH ENCLOSURE UPDATE FOR SOLID WASTE

DATE: 07/23/2024
PROJECT NO.: 2175023.03
SHEET NAME: TRAFFIC CIRCULATION LAYOUT
SHEET NO.: C400

TRAFFIC CIRCULATION LAYOUT

TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

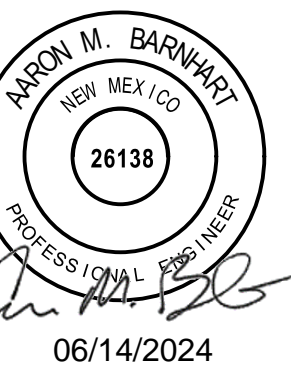
City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 06/24/2024
BY: [Signature]
HydroTime # M09D012D

THESE PLANS AND/OR REPORT ARE
CONCEPTUAL ONLY. MORE INFORMATION MAY
BE NEEDED IN THEM AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.

CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT



wallace design collective, pc
structural-civil-landscape survey
1980 pyramid court, suite 350
englewood, co 80112
303.350.1690-800.364.5858



06/14/2024

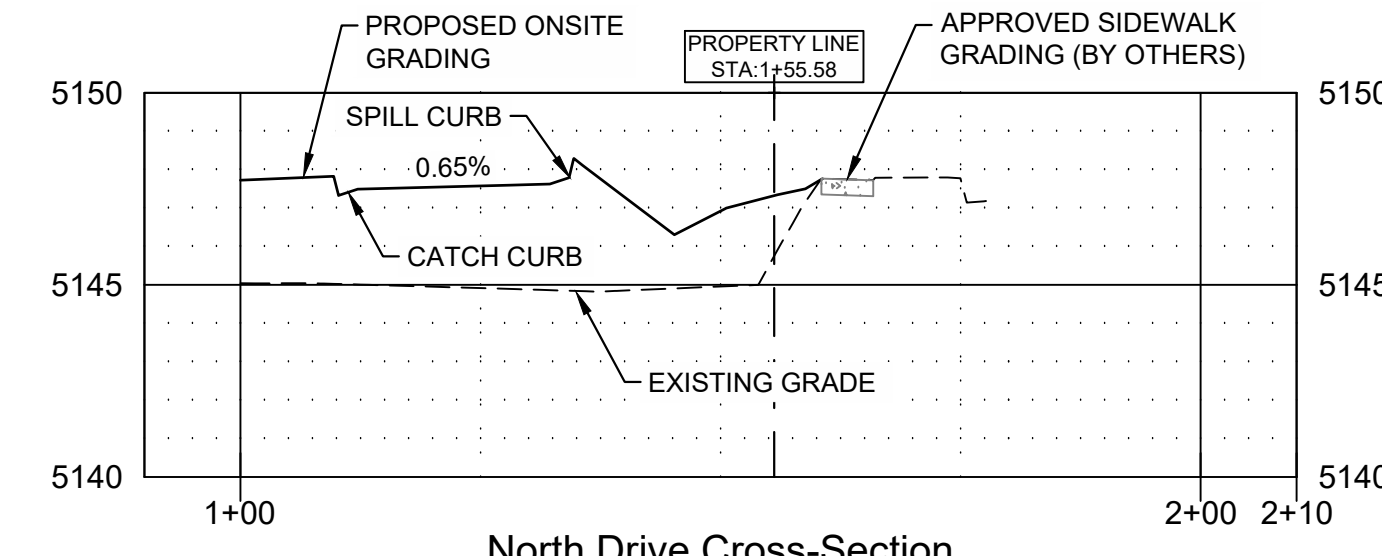
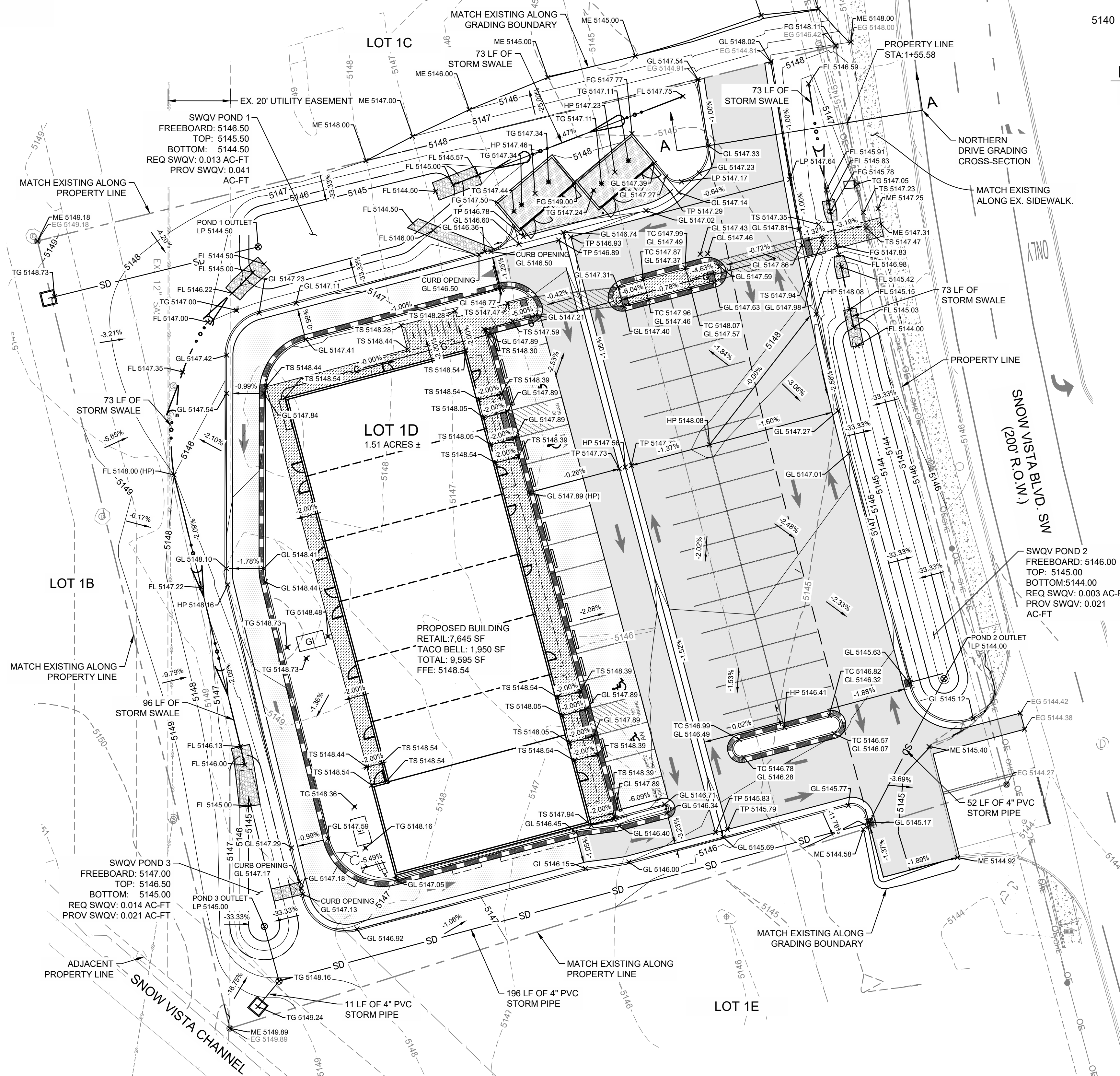
PROPERTY DESCRIPTION
TRACT A PLAT FOR TRACT A SNOW VISTA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEROF FILLED IN THE OFFICE OF THE COUNTRY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON 2022.

PROPERTY ADDRESS
1125 SNOW VISTA BLVD SW

DEVELOPER NAME AND ADDRESS
ALVARADO RESTAURANT NATION
5654 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO 80111
JEFF D. JOHNSTON
JDJOHNSTON@TEAMARN.COM
720.385.5100

GRADING ELEVATION ABBREVIATIONS	
FF	FINISHED FLOOR
FG	FINAL GRADE
FL	FLOW LINE
TS	TOP OF SIDEWALK
GL	GUTTER LINE
TG	TOP OF GRATE
TP	TOP OF PAVEMENT
HP	HIGH POINT
LP	LOW POINT

TOTAL DISTURBED AREA	1.57 ACRES
PROJECT SITE AREA	1.51 ACRES
EXISTING IMPERVIOUS AREA	0.01 ACRES
EXISTING PERVIOUS AREA	1.50 ACRES
PROPOSED IMPERVIOUS AREA	0.92 ACRES
PROPOSED PERVIOUS AREA	0.59 ACRES



NORTHERN DRIVE - GRADING CROSS-SECTION

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

GRADING NOTES:

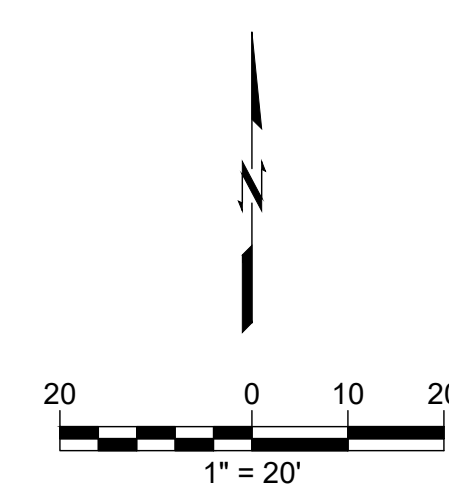
- SPOT ELEVATIONS SHOWN ARE TO GUTTER FLOW LINE. ADD 0.5' FOR TOP OF CURB ELEVATIONS
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED & INSPECTED AND APPROVED BY LOCAL AUTHORITIES.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS' RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
- SIDEWALKS SHALL HAVE MAX 2% CROSS SLOPE.

GRADING PLAN DESCRIPTION
EXISTING SITE GRADES GENERALLY SLOPE FROM NORTHWEST TO THE SOUTHERN CORNER OF THE OVERALL SUBDIVISION.

PROPOSED SITE GRADING SHALL TIE-IN WITH THE PROPOSED SIDEWALK FRONTAGE ALONG SNOW VISTA BLVD SW AND THE WESTERN SIDE OF THE LOT.

THE GRADING SHALL ALLOW FOR FUTURE LOT DEVELOPMENT TO THE NORTH AND SOUTH OF OUR SITE THAT FACILITATES DRAINAGE TOWARDS THE SOUTH OUTFALL, AN EXISTING 42" RCP.

LEGEND	
[Symbol]	STANDARD DUTY ASPHALT PAVEMENT
[Symbol]	REINFORCED CONCRETE PAD
[Symbol]	CONCRETE SIDEWALK
[Symbol]	RIPRAP
[Symbol]	EXISTING CONCRETE SIDEWALK
[Symbol]	6" DEPRESSED CURB AND GUTTER
[Symbol]	SD STORM DRAIN
[Symbol]	DRAINAGE FLOW PATH
[Symbol]	STORM BASIN W/ LID
[Symbol]	CITY OF ALBUQUERQUE DRAINAGE STORM INLET TYPE "C" DWG. 2205
[Symbol]	SANITARY SEWER CLEANOUT



ORIG SIZE: 24"x36" PLOT: 06/14/2024 11:17:57 AM \\denver-server\civil\Projects\2175023 Taco Bell - Snow Vista\dwg\PRODUCTION\2175023 TRAFFIC CIRCULATION GRADING.dwg

CAUTION
NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



TACO BELL
98TH & SAGE
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM

REV	DATE	DESCRIPTION

DATE: 06/14/2024
PROJECT NO.: 2175023.03
SHEET NAME: GRADING AND DRAINAGE PLAN
SHEET NO.: **C500**

TRAFFIC CIRCULATION LAYOUT

TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

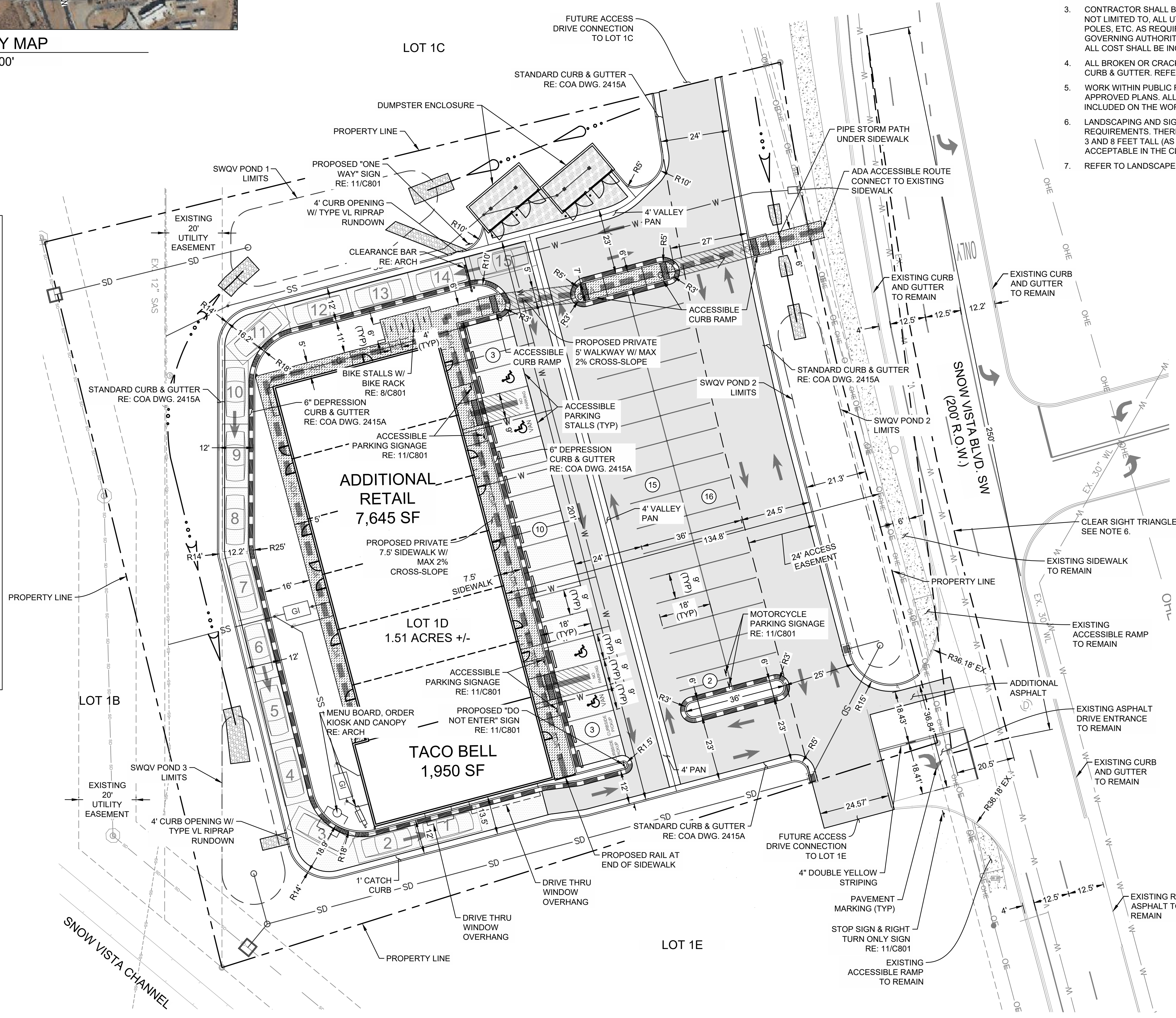
TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kanbar 6/18/2024
Signed Date



VICINITY MAP
1"=400'

TOTAL DISTURBED AREA	1.57 ACRES
PROJECT SITE AREA	1.51 ACRES
EXISTING IMPERVIOUS AREA	0.01 ACRES
EXISTING PERVIOUS AREA	1.50 ACRES
PROPOSED IMPERVIOUS AREA	0.92 ACRES
PROPOSED PERVIOUS AREA	0.59 ACRES

PARKING SUMMARY TABLE	
RE: 2022 IDO, TABLE 5-5-1, TABLE 5-5-4, TABLE 5-5-5 2020 DPM, Section 7-4(K)(2), Section 7-4(K)(3)	
REQUIRED OFF-STREET PARKING:	
RESTAURANT: 1,950 SF	
5.6 SPACES PER 1,000 SF. $(\frac{5.6 \times 1950}{1000}) =$	10
GENERAL RETAIL $\leq 10,000$ SF: 7,645 SF	
3.5 SPACES PER 1,000 SF. $(\frac{3.5 \times 7645}{1000}) =$	26
REQUIRED MOTORCYCLE PARKING:	
25-50 OFF-STREET SPACES =	2
TOTAL =	38
PROVIDED PARKING:	49
STANDARD:	43
ACCESSIBLE:	2
VAN ACCESSIBLE:	2
MOTORCYCLE:	2
TOTAL PROVIDED PARKING:	49
MINIMUM PARKING STALL DIMENSIONS PROVIDED:	
STANDARD:	9' x 18'
ACCESSIBLE:	9' x 18'
VAN ACCESSIBLE:	9' x 18'
MOTORCYCLE:	4.5' x 18'
MINIMUM REQUIRED BICYCLE PARKING:	
NON-RESIDENTIAL USES:	
10% OF REQUIRED OFF-STREET PARKING =	4
MINIMUM BICYCLE STALL DIMENSIONS PROVIDED:	4' x 6'



NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. REFER TO CITY OF ALBUQUERQUE DWG 2415A AND DWG 2430.
- WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- REFER TO LANDSCAPE PLANS FOR GRASS, TREES AND PLANTED MATERIALS.

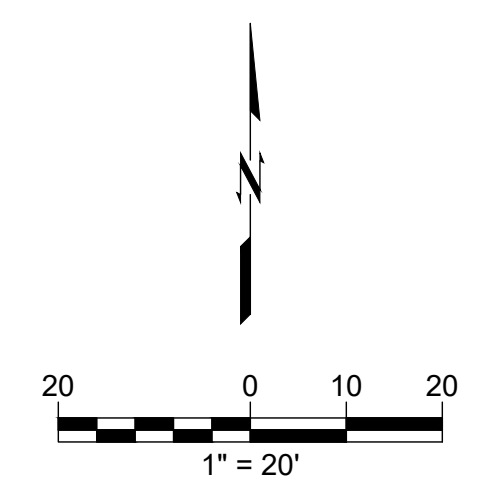
PROPERTY DESCRIPTION
TRACT A PLAT FOR TRACT A SNOW VISTA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILLED IN THE OFFICE OF THE COUNTRY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON 2022.

PROPERTY ADDRESS
1125 SNOW VISTA BLVD SW

DEVELOPER NAME AND ADDRESS
ALVARADO RESTAURANT NATION
5654 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO 80111
JEFF D. JOHNSTON
JDJOHNSTON@TEAMARN.COM
720.385.5100

LEGEND

	STANDARD DUTY ASPHALT PAVEMENT
	REINFORCED CONCRETE PAD
	CONCRETE SIDEWALK
	RIPRAP
	EXISTING CONCRETE SIDEWALK
	6" DEPRESSED CURB AND GUTTER
	ADA ACCESSIBLE ROUTE PATH
	STORM DRAIN
	DRAINAGE FLOW PATH
	STORM BASIN W/ LID
	CITY OF ALBUQUERQUE DRAINAGE STORM INLET TYPE "C" DWG. 2205
	SANITARY SEWER CLEANOUT



CAUTION
NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



TACO BELL
98TH & SAGE
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM

DATE	DESCRIPTION
06/14/2024	TRAFFIC CIRCULATION LAYOUT

DATE: 06/14/2024
PROJECT NO.: 2175023.03
SHEET NAME: TRAFFIC CIRCULATION LAYOUT
SHEET NO.: **C400**

TRAFFIC CIRCULATION LAYOUT

TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT



wallace design collective, pc
structural-civil-landscape survey
9800 pyramid court, suite 350
anglewood, co 80112
303.350.1690-800.364.5858



TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kanbar 6/18/2024
Signed _____ Date _____

06/14/2024

**TACO BELL
98TH & SAGE**
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM

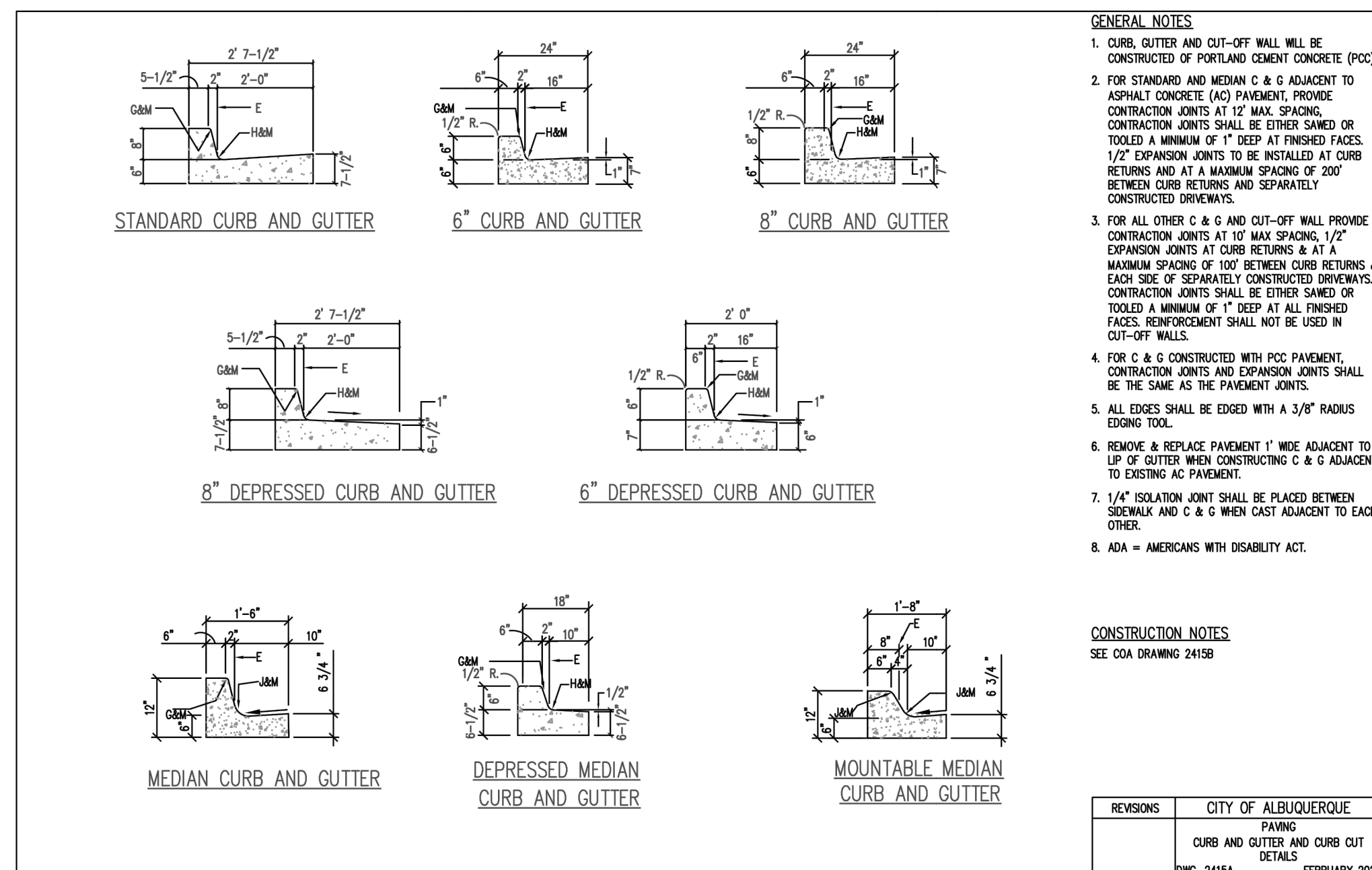


DATE

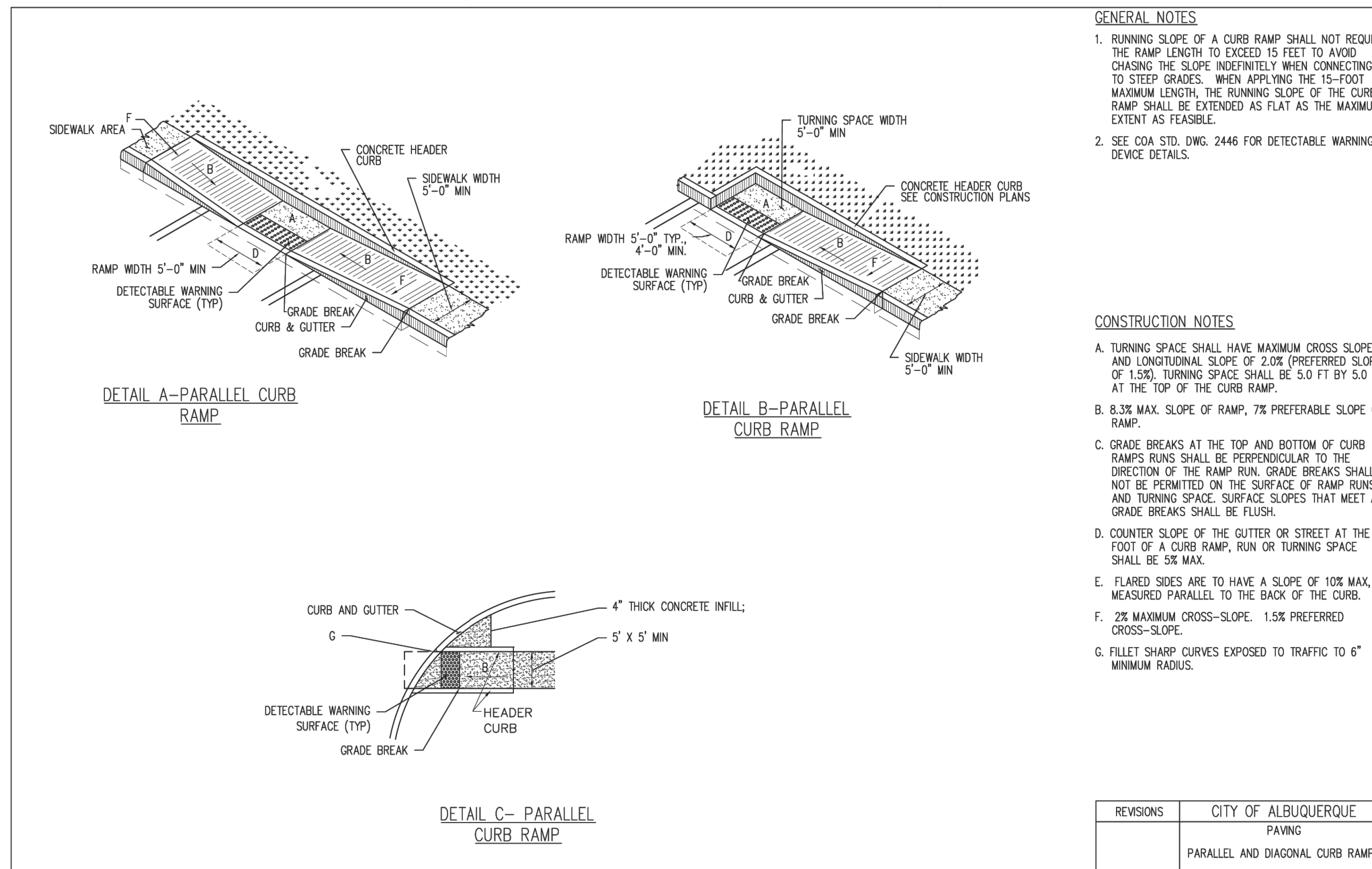
REV	DESCRIPTION

DATE 06/14/2024
PROJECT NO. 2175023.03
SHEET NAME

DETAILS
SHEET NO.
C800

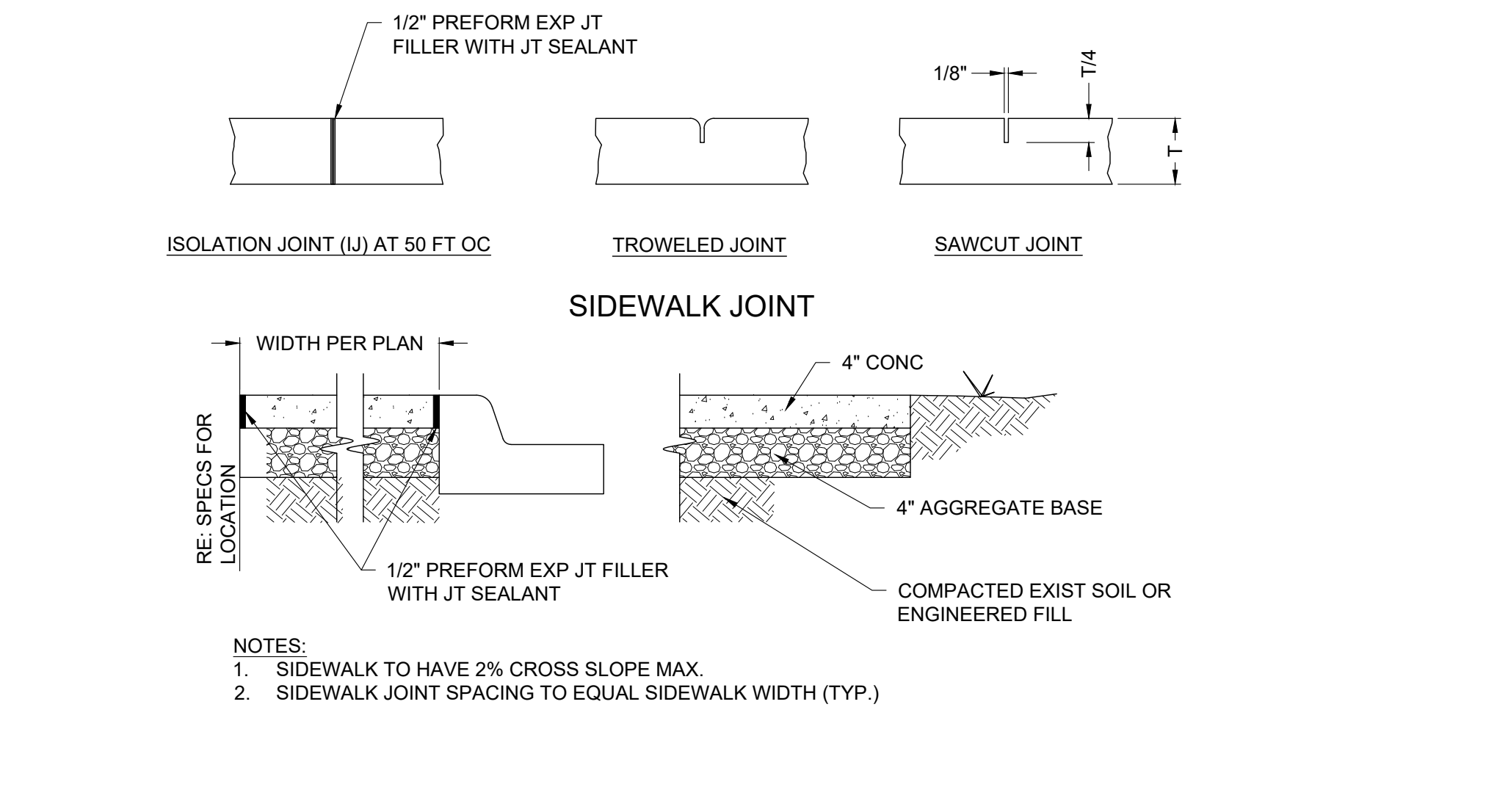


1 CURB AND GUTTER
SCALE: NTS

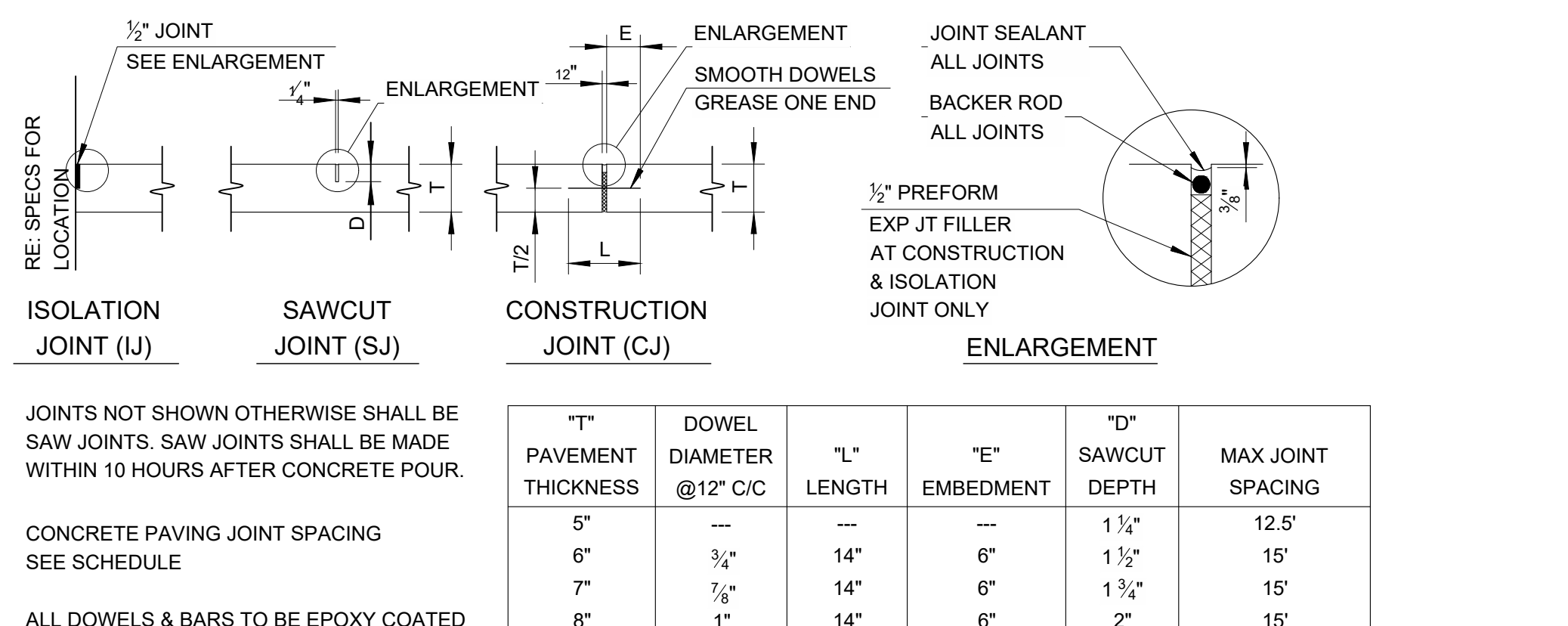


2 CURB RAMP DETAILS
SCALE: NTS

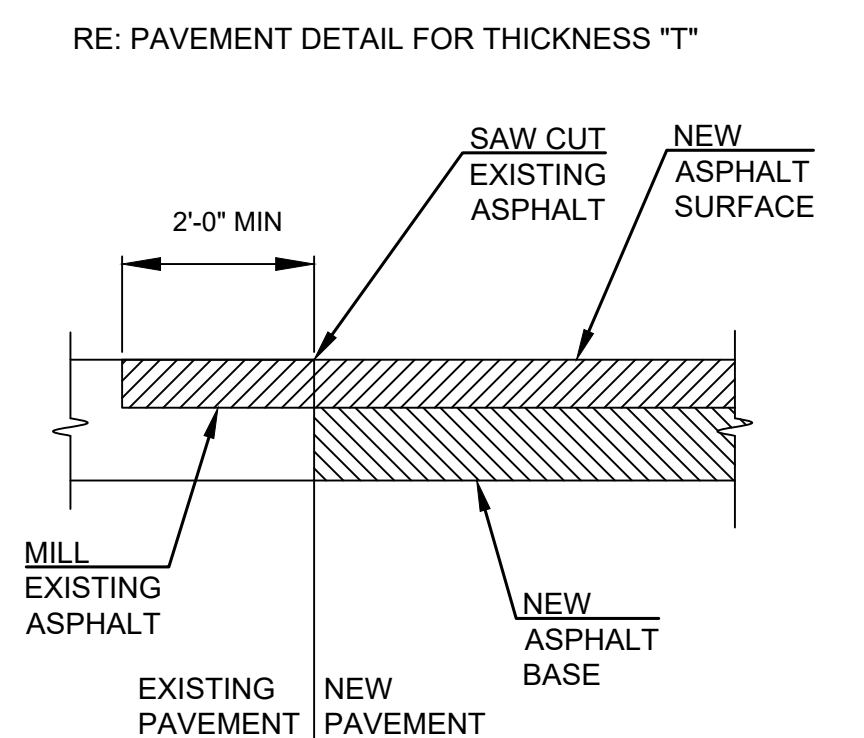
3 4' VALLEY PAN
SCALE: NTS



4 SIDEWALK
SCALE: NTS



5 CONCRETE JOINT DETAIL
SCALE: NTS



6 ASPHALT TRANSITION
SCALE: NTS

ORIG SIZE: 24"x36"

PLOT: 6/14/2024 11:18:03 AM

\\denver-server\civill\Projects\2175023 Taco Bell - ABO - Snow Vista\Draw\PRODUCTION\2175023 TRAFFIC CIRCULATION DETAILS.dwg

TRAFFIC CIRCULATION LAYOUT

TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT

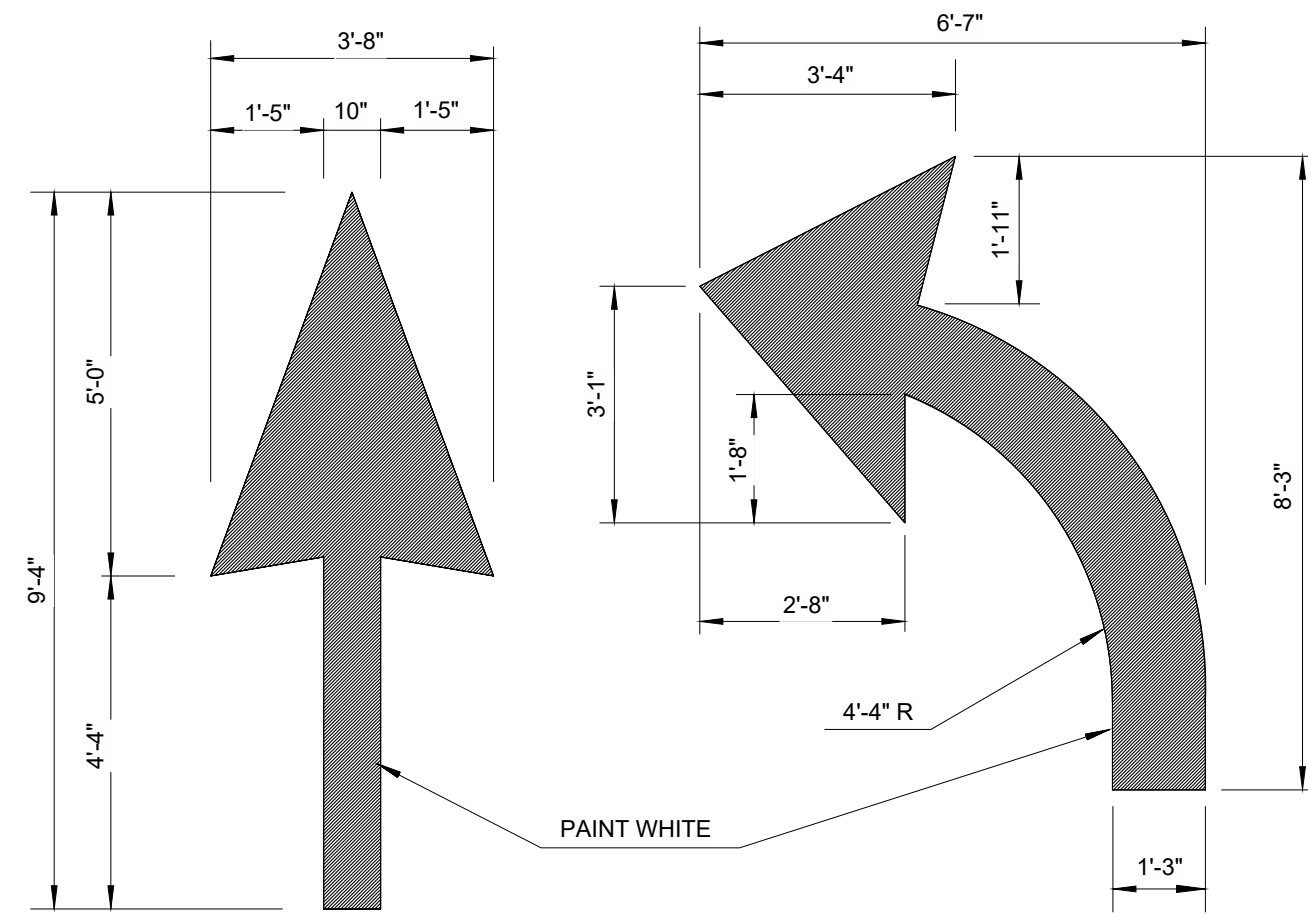
LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021



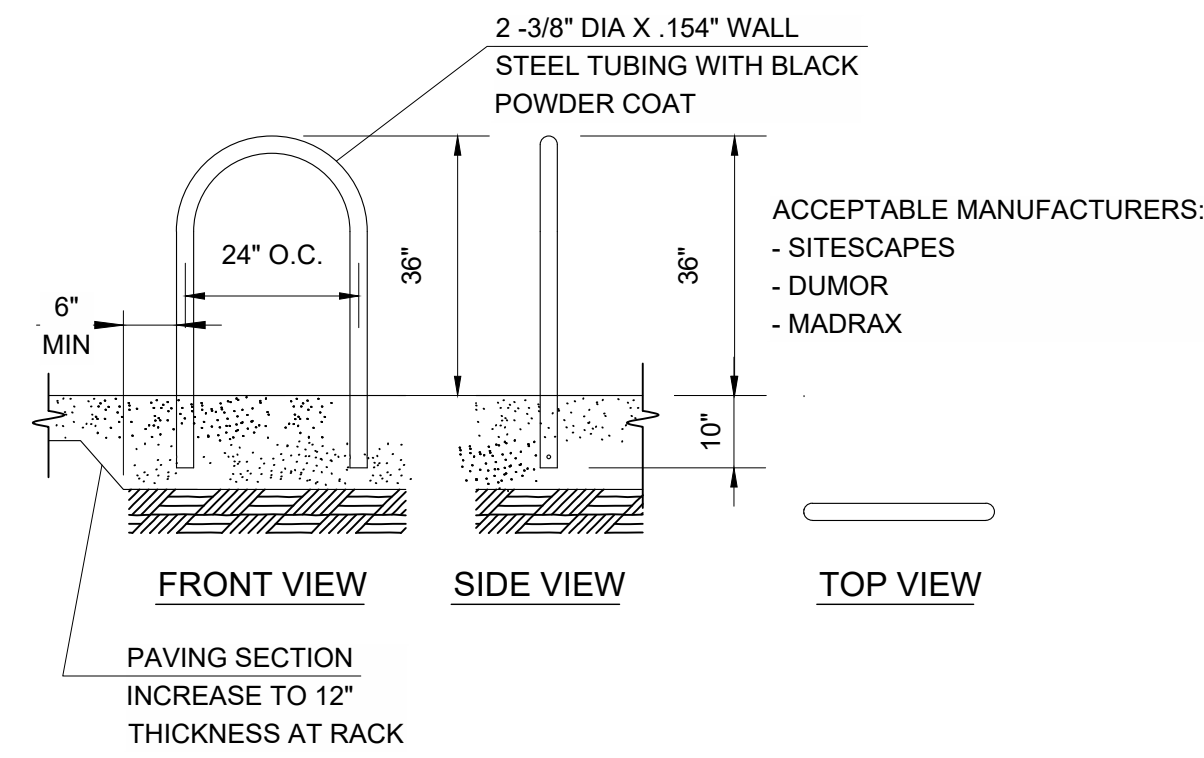
wallace design collective, pc
structural-civil-landscape survey
1800 pyramid court, suite 350
englewood, co 80112
303.350.1690 - 800.364.5858



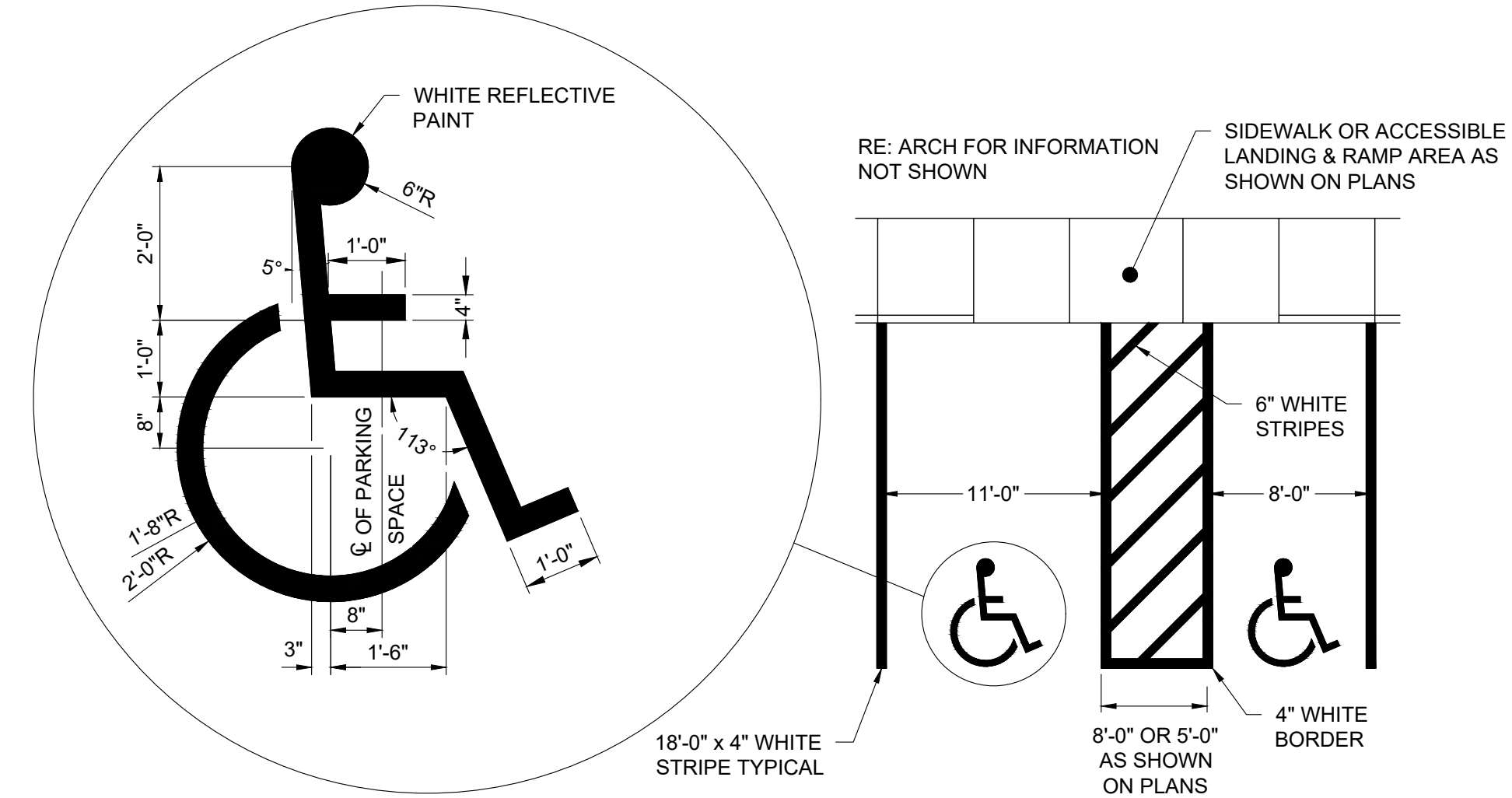
ARON M. BARKAN
PROFESSIONAL ENGINEER
06/14/2024



7 DIRECTIONAL ARROWS
SCALE: NTS

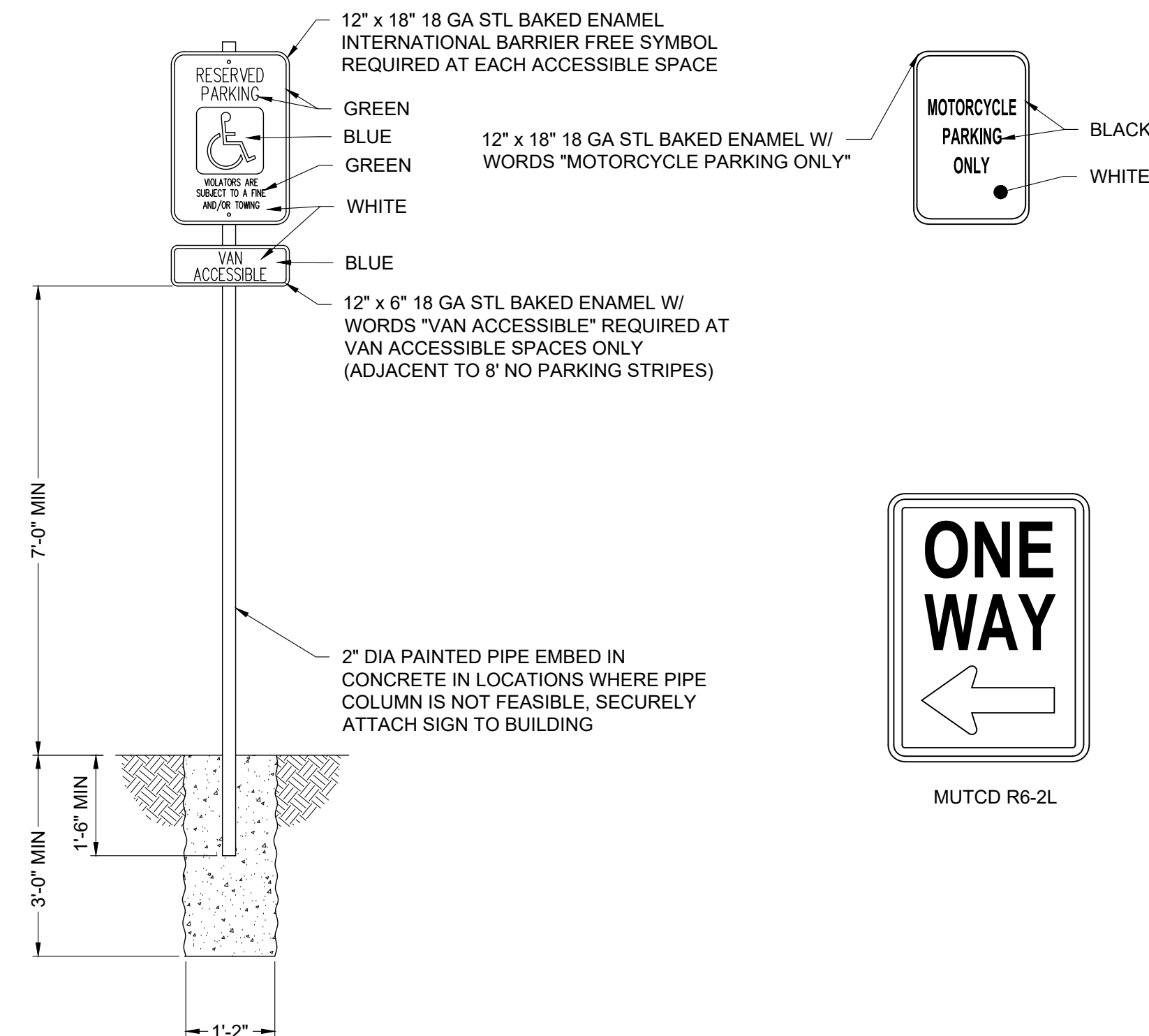


8 BIKE RACK
SCALE: NTS

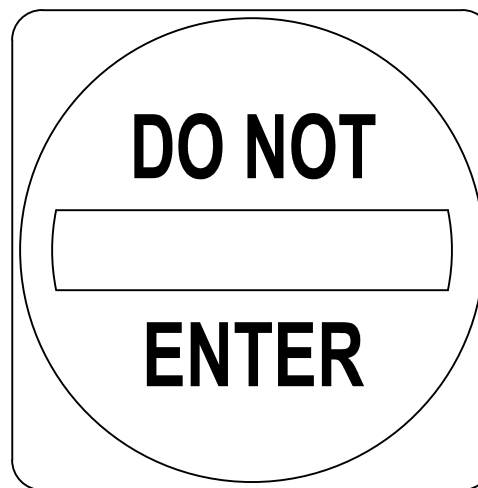
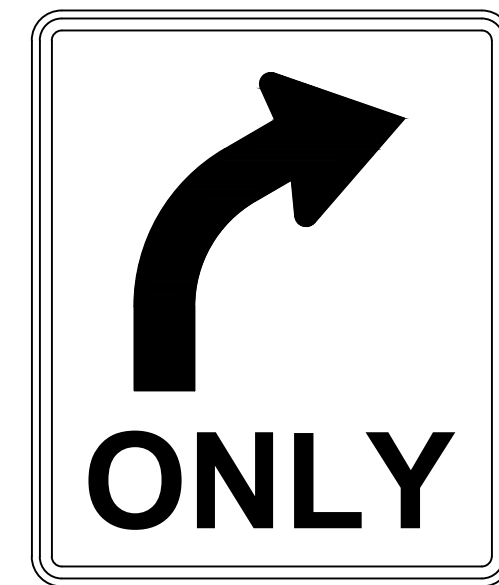


10 ACCESSIBLE STRIPING
SCALE: NTS

TRAFFIC CIRCULATION LAYOUT APPROVED
 Sertil A. Kanbar 6/18/2024
 Signed _____ Date _____



11 ADA/ MOTORCYCLE/ STOP/ ONE WAY/ DO NOT ENTER / RIGHT ONLY SIGN DETAILS
SCALE: NTS



TACO BELL
98TH & SAGE
 1125 SNOW VISTA BLVD SW
 ALBUQUERQUE, NM



REV	DESCRIPTION	DATE

DATE 06/14/2024
PROJECT NO. 2175023.03
SHEET NAME
TRAFFIC CIRCULATION DETAILS 2
SHEET NO.
C801

ORIG SIZE: 24"x36"

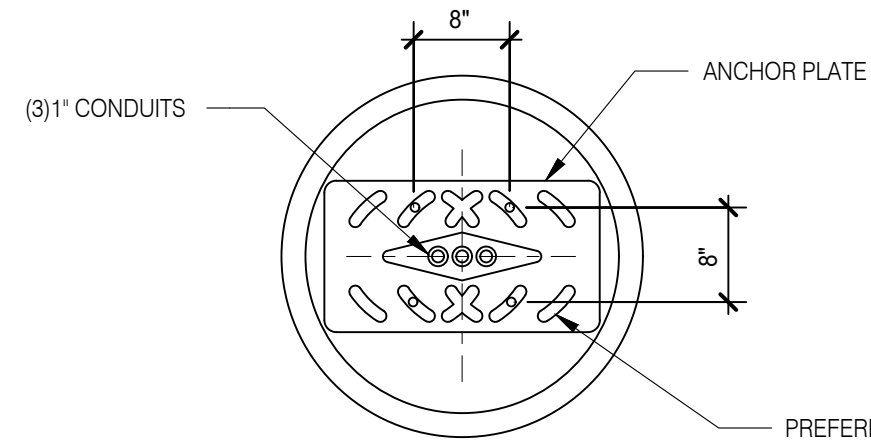
PLOT: 6/14/2024 11:18:05 AM

I:\server\server\Civil\Projects\2175023 Taco Bell - Snow Vista\Drawings\PRODUCTION\2175023 TRAFFIC CIRCULATION DETAILS.dwg

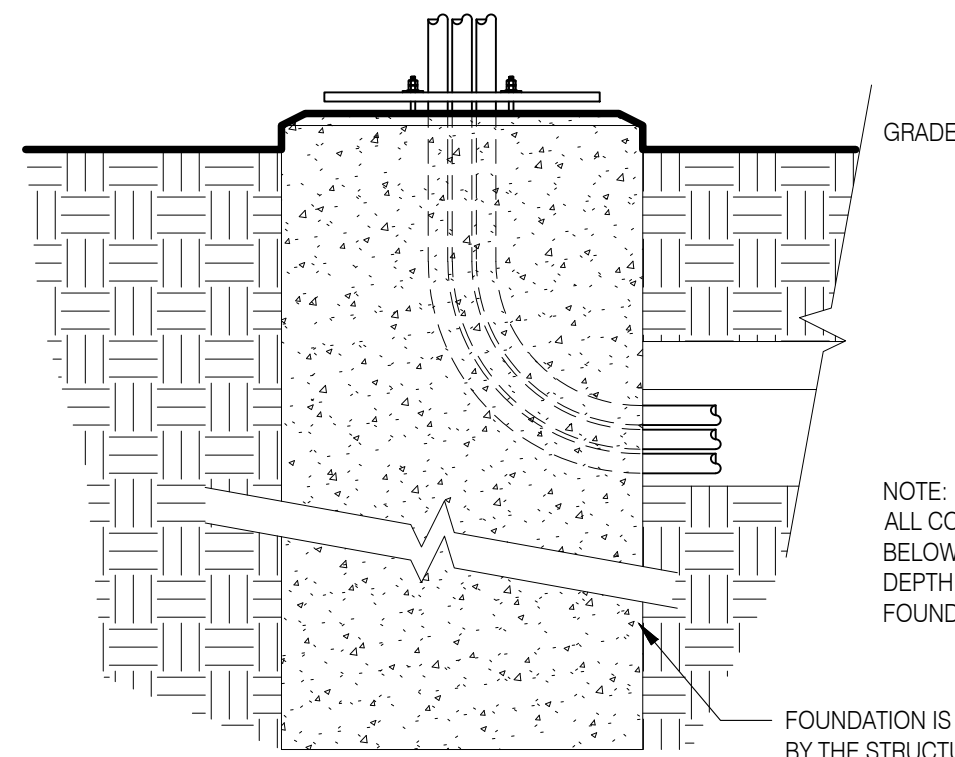
CONDUIT SCHEDULE

DEVICE	POWER	DATA
DIRECTIONAL	(1) 3/4"	-
SPEAKER POST	(1) 1"	(1) 1"
MENU BOARD	(1) 1"	(2) 1"

MENU BOARD - (3) CAT 6
 PREVIEW BOARD - (2) CAT 6
 SPEAKER POST - (1) CAT 6



PREFERRED 8"X8" ANCHOR PATTERN IS SUBJECT TO APPROVAL BY THE STRUCTURAL ENGINEER

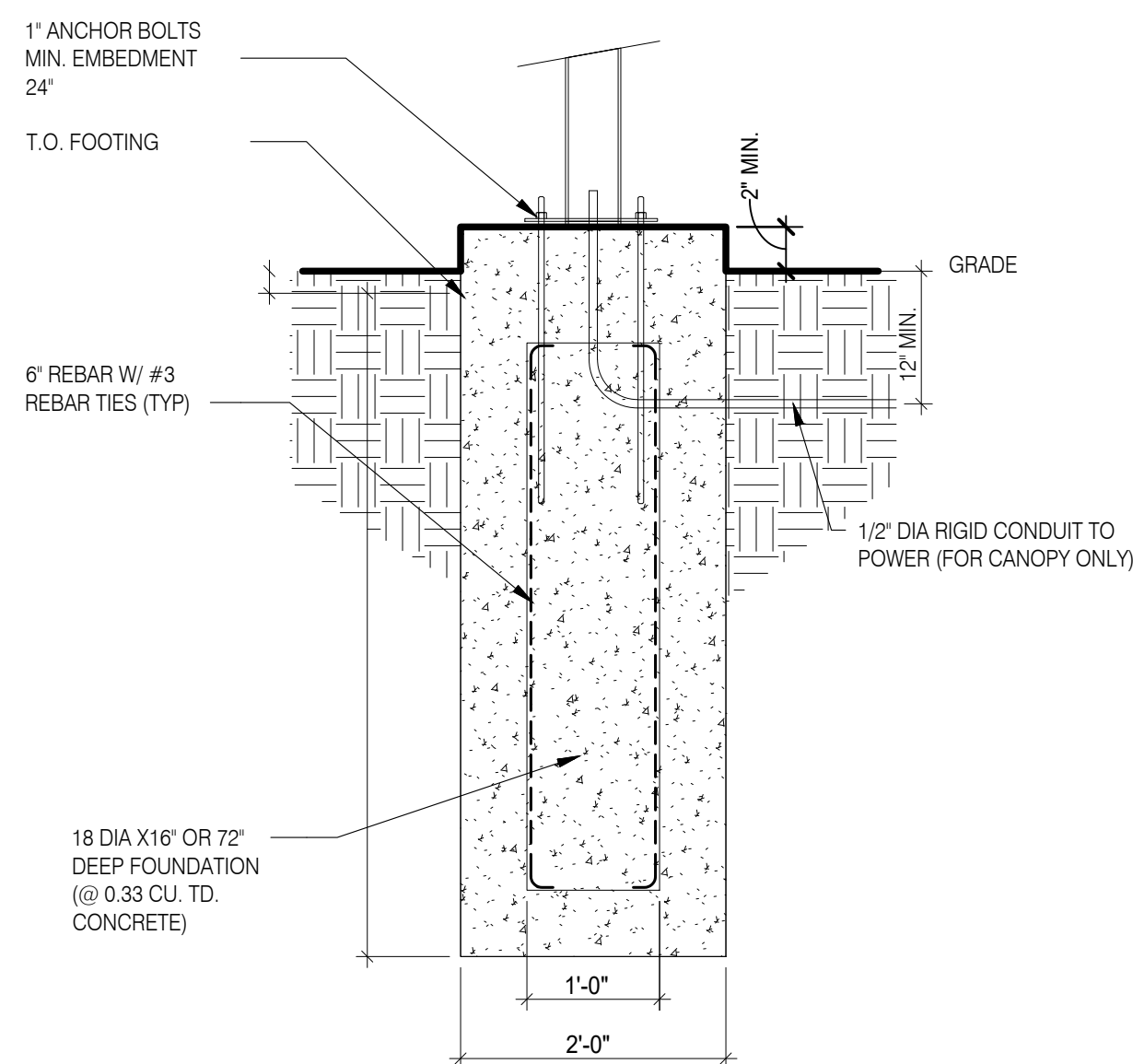
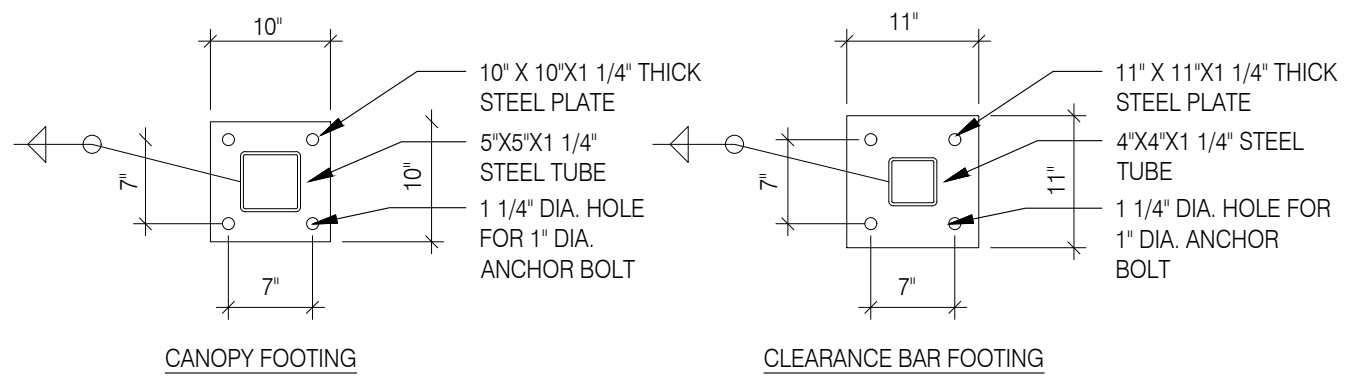


NOTE: ALL CONDUIT TO BE MIN. 12" BELOW GRADE AT LOCAL FROST DEPTH AND PROJECT 3" ABOVE FOUNDATION

FOUNDATION IS SUBJECT TO APPROVAL BY THE STRUCTURAL ENGINEER

MENU FOUNDATION N.T.S. **5**

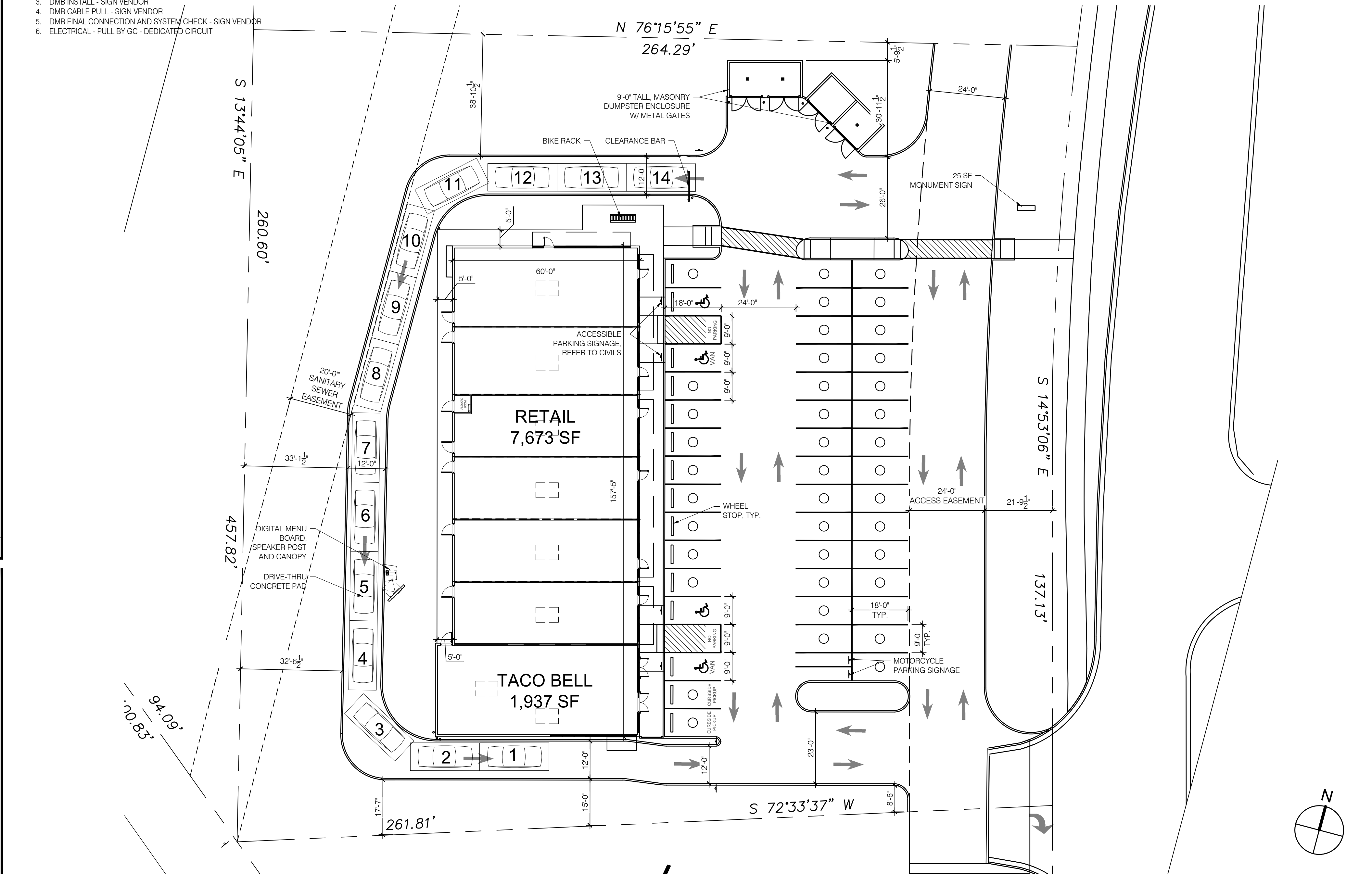
NOTE: REFER TO CURRENT CUT SHEETS FOR FOOTING BOLT DETAILS



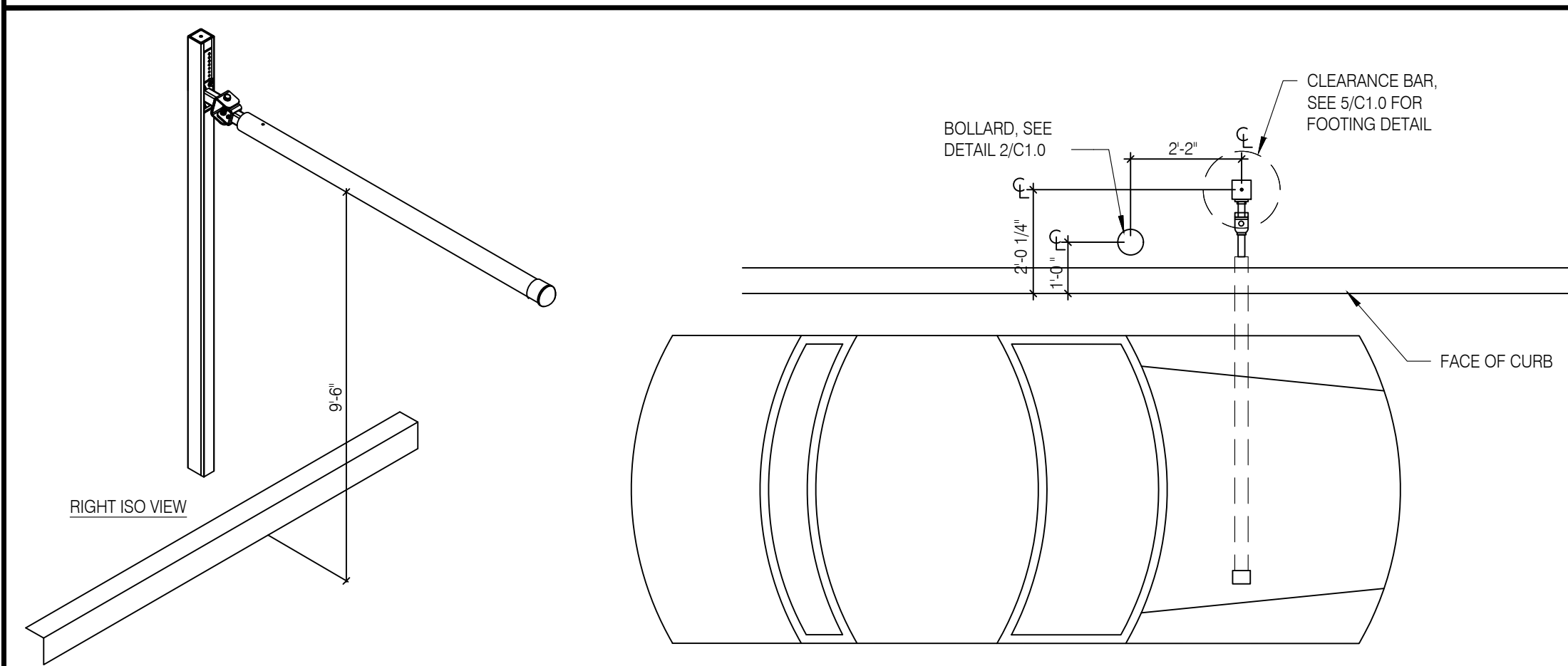
CLEARANCE BAR AND CANOPY FOOTING N.T.S. **6**

- SOW FOR DMB INSTALL AND VENDORS
- RSCS TO SUPPLY DMB AND CABLE
 - SIGN VENDOR TO SUPPLY ANCHOR BOLTS AND BOLT PATTERN TO GC.
 - SITE SURVEY - SIGN VENDOR
- NEW BUILD
- TRENCHING/ CONDUIT - GC
 - FORMING/ FOUNDATION/ ANCHOR BOLTS - GC
 - DMB INSTALL - SIGN VENDOR
 - DMB CABLE PULL - SIGN VENDOR
 - DMB FINAL CONNECTION AND SYSTEM CHECK - SIGN VENDOR
 - ELECTRICAL - PULL BY GC - DEDICATED CIRCUIT

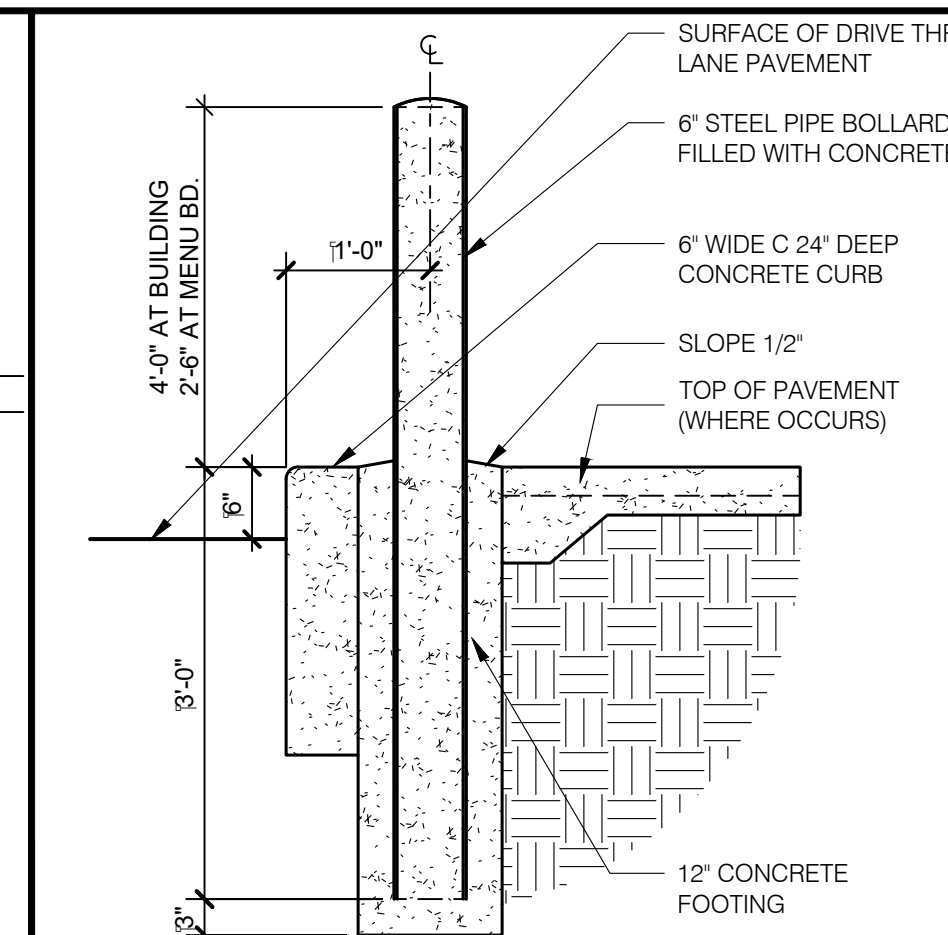
NOTE: SITE PLAN FOR REFERENCE ONLY. SEE LANDLORD SET FOR MORE INFORMATION.



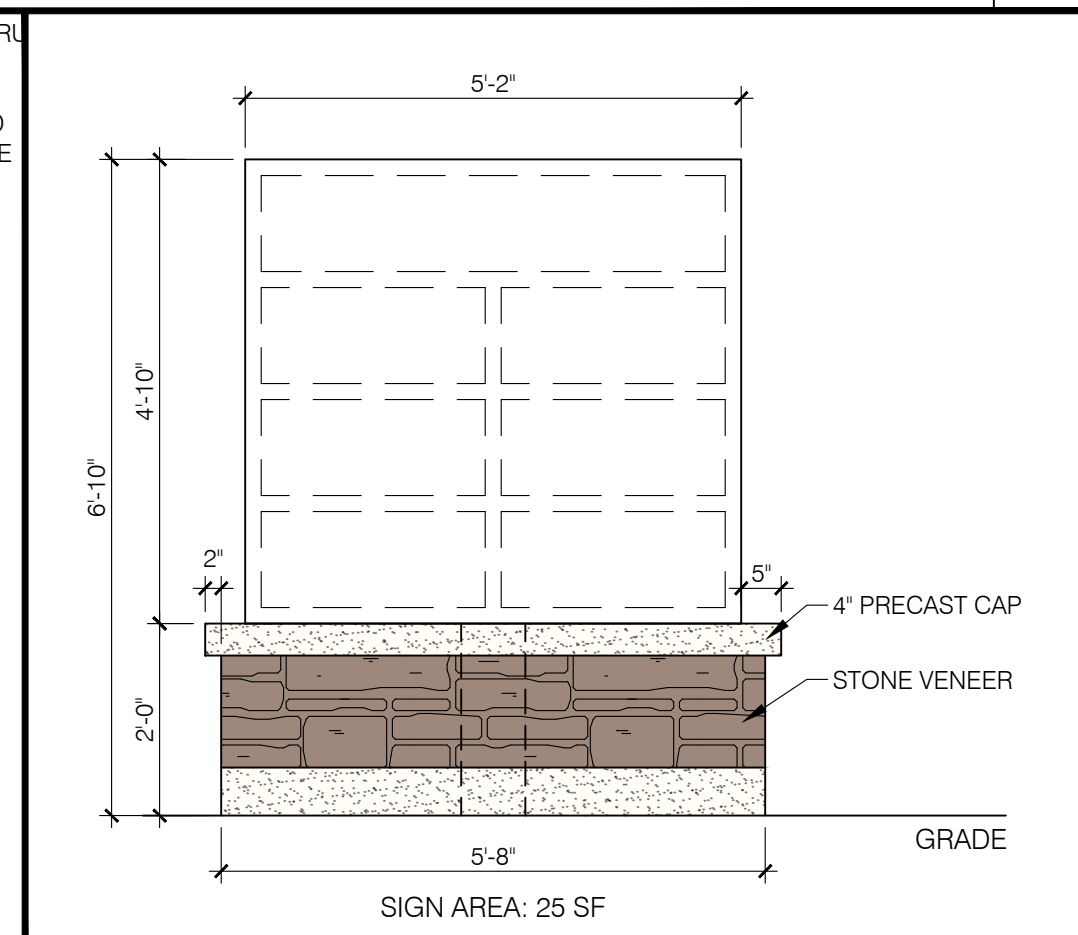
SITE PLAN 1" = 30'-0" **1**



PORTAL PLACEMENT DETAIL N.T.S. **4**



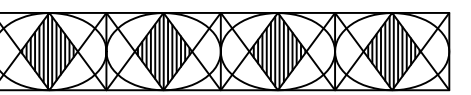
BOLLARD DETAIL N.T.S. **3**



MONUMENT SIGN DETAIL 1/2" = 1'-0" **2**

MRV

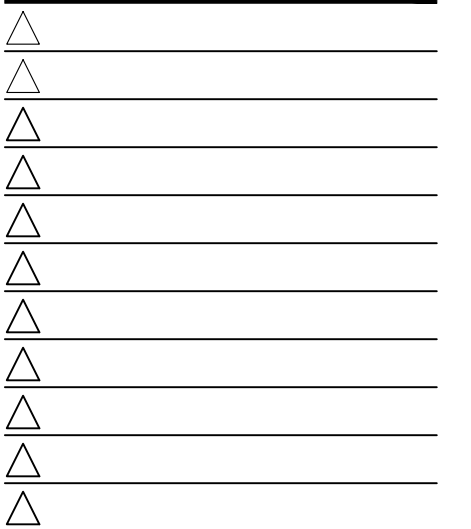
ARCHITECTS, INC.



5105 TOLLVIEW DR., SUITE 201
 ROLLING MEADOWS, IL 60008
 TEL: 224-318-2140

MRV ARCHITECTS, INC. 2024

ALL DRAWINGS, SPECIFICATIONS, PLANS AND CONCEPTS ARE INSTRUMENTS OF SERVICE AND THEREFORE ARE PROPERTY OF MRV ARCHITECTS, INC. THEY MAY NOT BE REUSED, COPIED OR REPRODUCED WITHOUT PERMISSION AND EXPRESS WRITTEN CONSENT FROM MRV ARCHITECTS, INC.



CONTRACT DATE:
 BUILDING TYPE:
 PLAN VERSION: APRIL 2024
 SITE NUMBER:
 STORE NUMBER:

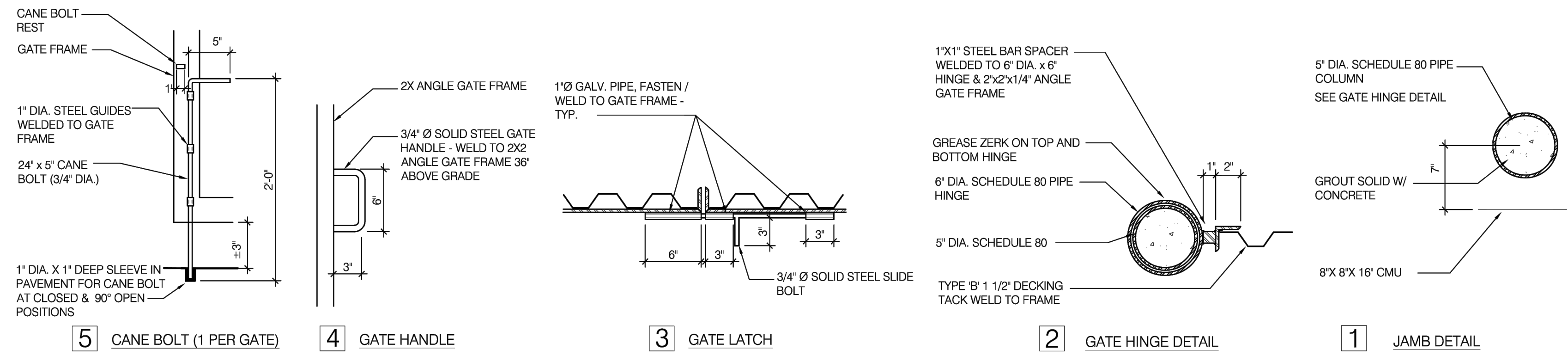
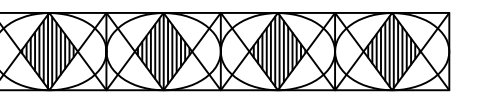
TENANT BUILDING

1115 SNOW VISTA BLVD
 ALBUQUERQUE, NM 87121

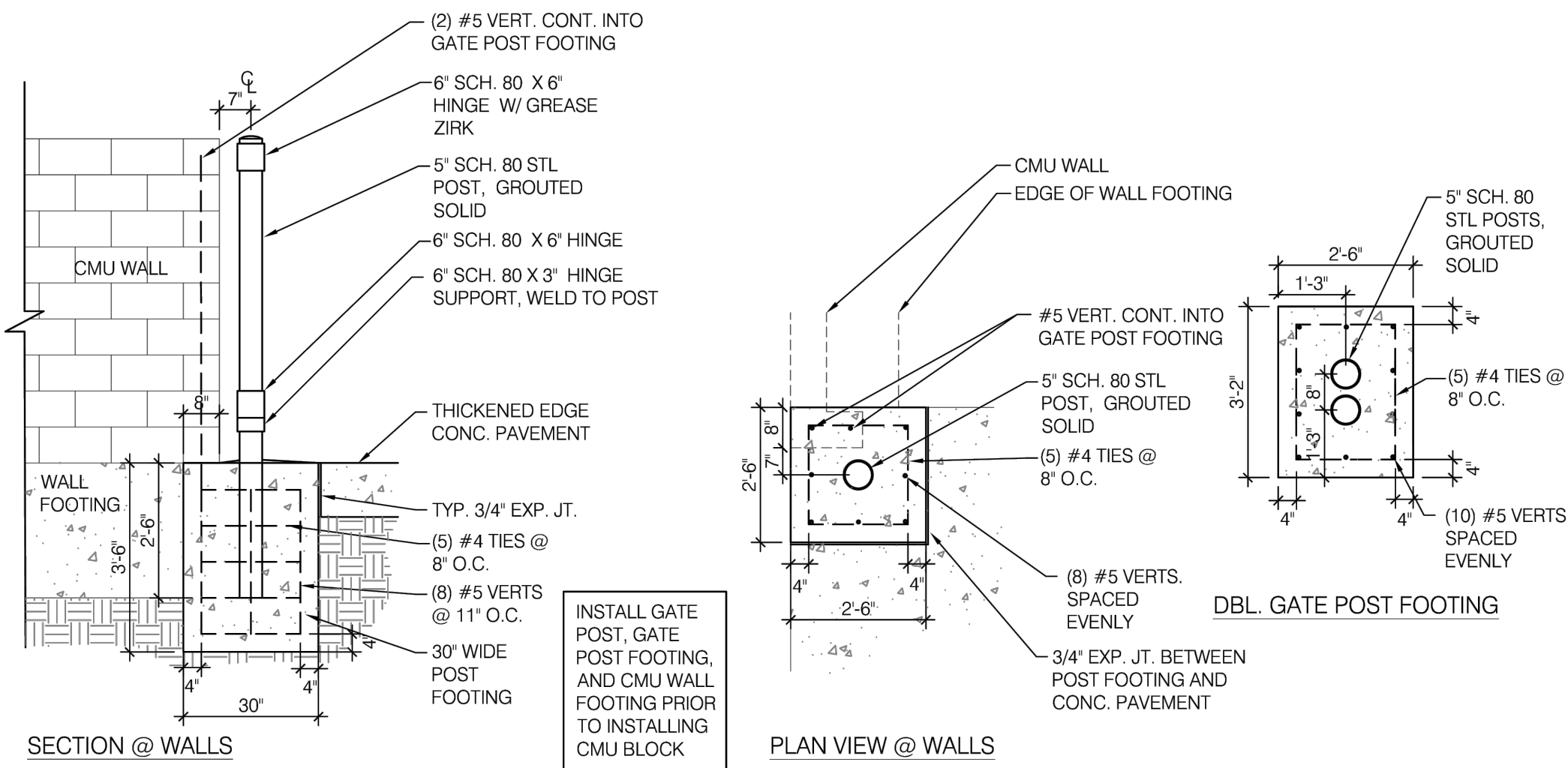
SITE PLAN & DETAILS

SP1.0

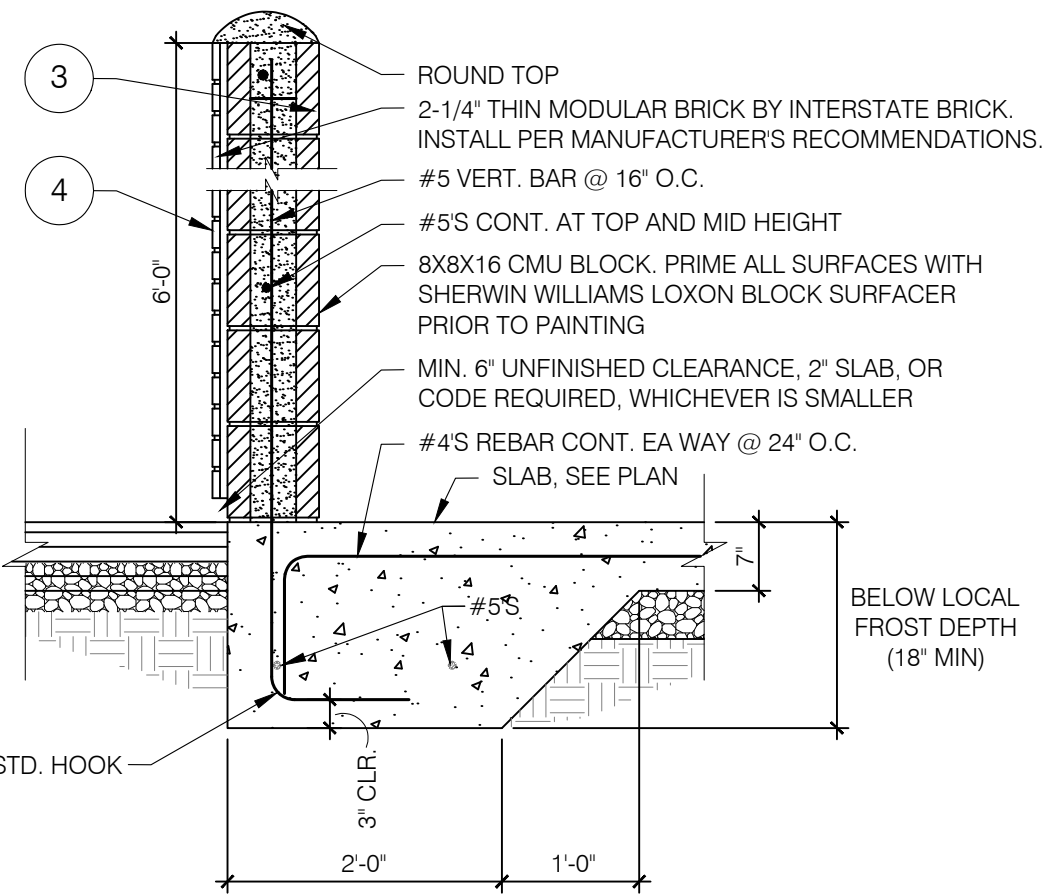
PLOT DATE:



GATE DETAILS N.T.S. **A**



GATE POST FOOTINGS N.T.S. **G**



TRASH ENCLOSURE BOLLARD DETAIL N.T.S. **E**

GATE HARDWARE: ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.

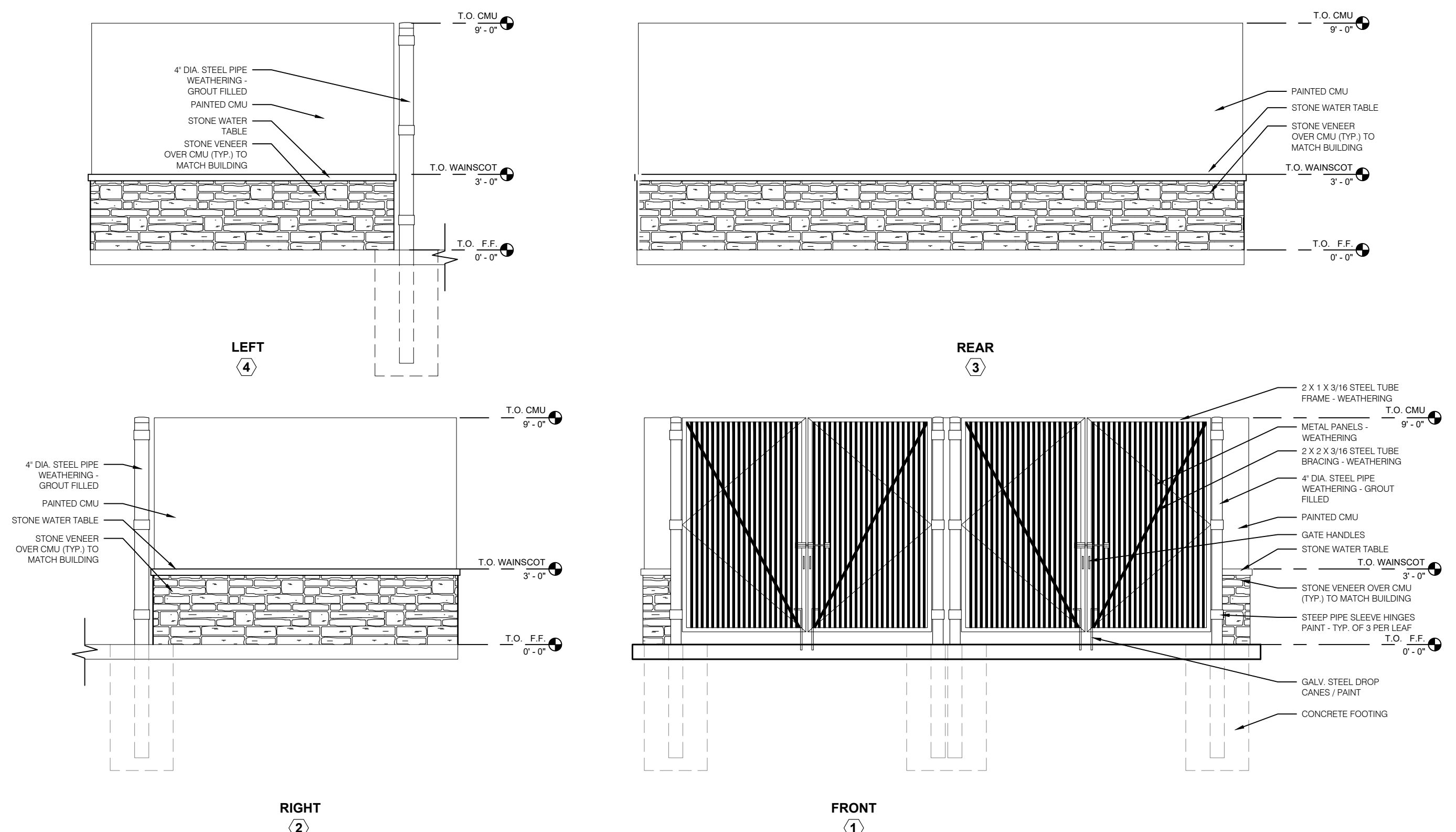
GATE STOP: MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.

GATE NOTES: (4) EQUAL WIDE X 6'-0" HIGH MTL. GATES, TYPE B 1/2 DECKING, 22GA. W/T.S. 1 X 1875 BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS. TYP. PRIME AND PAINT ALL STEEL COMPONENTS.

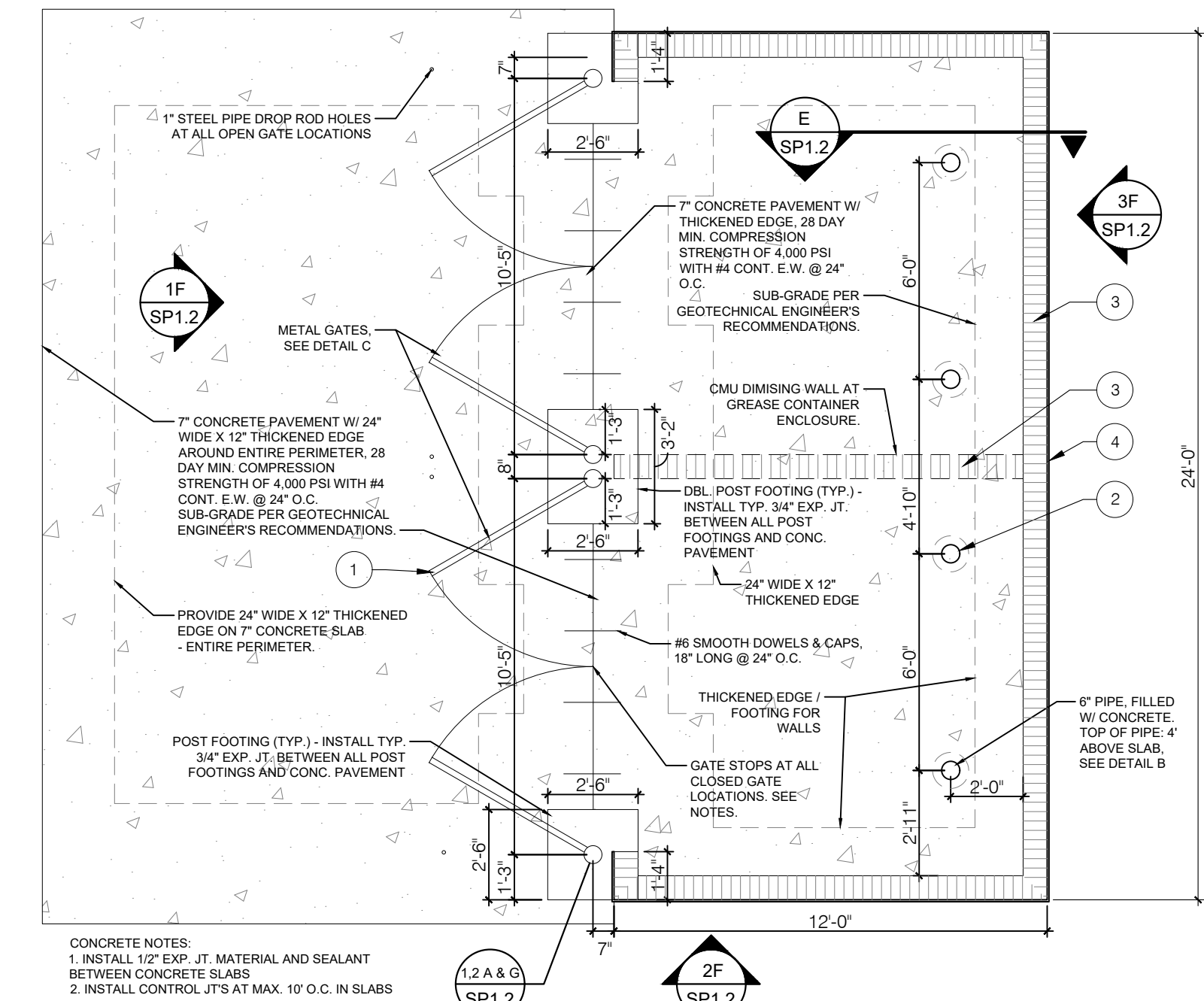
SYMBOL	AREA	MANUFACTURER	COLOR
1	GATE FRAME COLOR	SHERWIN WILLIAMS	SW 7055, ENDURING BRONZE
2	PIPE BOLLARDS	SHERWIN WILLIAMS	CAUTION YELLOW
3	CMU	SHERWIN WILLIAMS	NATURAL CHOICE SW 7011
4	STONE	CULTURED STONE	OLD COUNTRY FIELDSTONE COASTAL FOG

ENCLOSURE NOTES N.T.S. **C**

SCHEDULE N.T.S. **B**

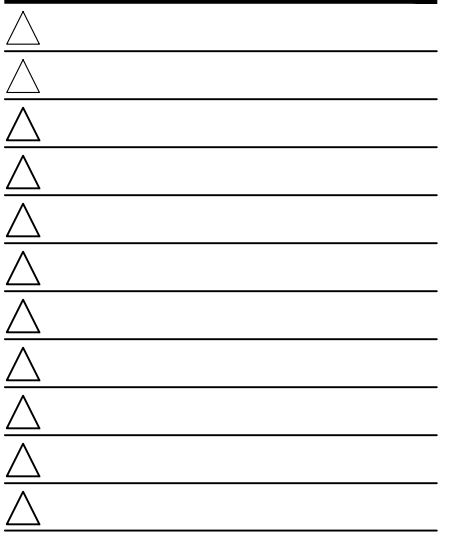


ENCLOSURE ELEVATIONS N.T.S. **F**



CONCRETE NOTES:
1. INSTALL 1/2" EXP. JT. MATERIAL AND SEALANT BETWEEN CONCRETE SLABS
2. INSTALL CONTROL JTS AT MAX. 10' O.C. IN SLABS

DUMPSTER PLAN N.T.S. **D**



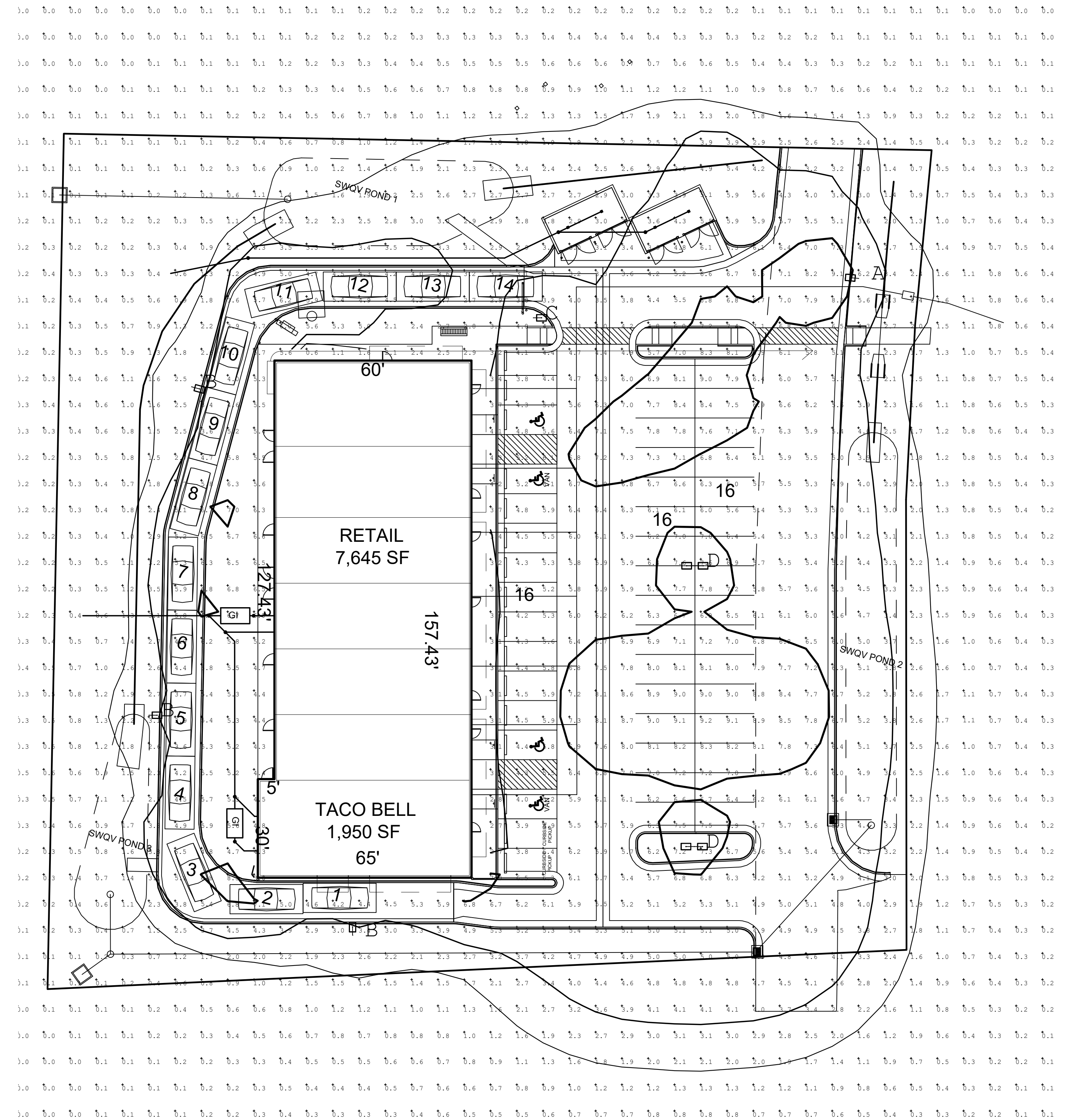
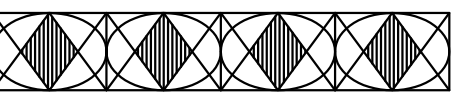
CONTRACT DATE:
BUILDING TYPE:
PLAN VERSION: APRIL 2024
SITE NUMBER:
STORE NUMBER:

TENANT BUILDING
1115 SNOW VISTA BLVD
ALBUQUERQUE, NM 87121

TRASH ENCLOSURE DETAILS

SP1.1

PLOT DATE:



TACO BELL & RETAIL
1115 SNOW VISTA BLVD.
ALBUQUERQUE, NM
APRIL 25, 2024

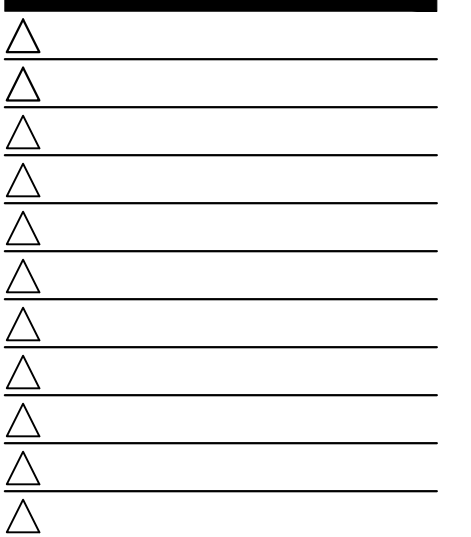
ACCUSERV LIGHTING & EQUIPMENT
877-707-7378
DESIGNED BY: JOHN BUJAKE
jbujake@accu-serv.com
QUOTATIONS BY: AARON HAMPTON
ahampton@accu-serv.com

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	2.70	9.2	0.0	N.A.	N.A.
PARKING LOT & DRIVE-THRU SURFACE	5.87	9.2	2.7	2.17	3.41

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Luminaire Lumens	LLF	CCT	Luminaire Watts	Mounting Height	Description
[Symbol]	1	A	SINGLE	34830	0.900	4000K	269	27.5	VP-2-320L-255-4K7-4F-UNV-A-DBT / SES-25-40-01-F-B4-DBT
[Symbol]	3	B	SINGLE	39566	0.900	4000K	321	27.5	VP-2-320L-315-4K7-4W-UNV-A-DBT / SES-25-40-01-F-B4-DBT
[Symbol]	1	C	Single	43479	0.900	4000K	321	27.5	VP-2-320L-315-4K7-5QW-UNV-A-DBT / SES-25-40-01-F-B4-DBT
[Symbol]	2	D	Back-Back	43479	0.900	4000K	321	27.5	(2) VP-2-320L-315-4K7-5QW-UNV-A-DBT / SES-25-40-01-F-B4-DBT

POLES ARE 25'-0" ON 2'-6" BASES



CONTRACT DATE:
BUILDING TYPE:
PLAN VERSION: APRIL 2024
SITE NUMBER:
STORE NUMBER:

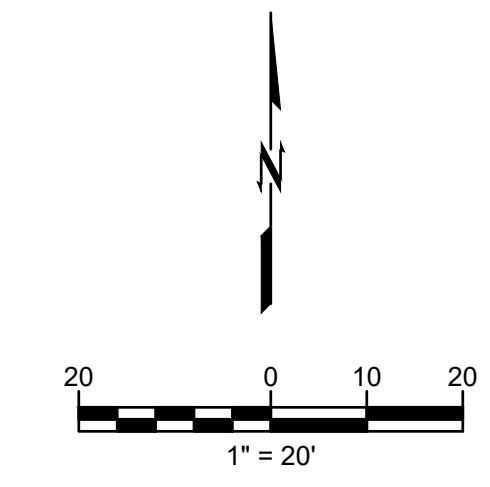
TENANT BUILDING

1115 SNOW VISTA BLVD
ALBUQUERQUE, NM 87121

PHOTOMETRIC PLAN

SP2.0

PLOT DATE:



SITE PLAN

TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

SHEET LIST TABLE	
Sheet Number	Sheet Title
C100	COVER SHEET
C200	DEMOLITION AND INITIAL EROSION CONTROL PLAN
C201	FINAL EROSION CONTROL PLAN
C300	SITE PLAN
C400	GRADING AND DRAINAGE PLAN
C500	UTILITY PLAN
C600	DETAILS
C601	DETAILS
C602	DETAILS
C603	DETAILS
C604	DETAILS
C605	DETAILS
C606	DETAILS
C700	EROSION CONTROL DETAILS
L100	PLANTING PLAN
L101	PLANTING NOTES & DETAILS



VICINITY MAP
1"=400'

PROPERTY DESCRIPTION
TRACT A PLAT FOR TRACT A SNOW VISTA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEROF FILLED IN THE OFFICE OF THE COUNTRY CLERK OF BERNALILLO COUNTY, NEW MEXICO IN 2022.

PROPERTY ADDRESS
1125 SNOW VISTA BLVD SW

DEVELOPER
ALVARADO RESTAURANT NATION
5654 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO 80111
TRACY D. KNAPP
TDKNAPP@TEAMARN.COM
678-458-9013

ARCHITECT
MRV ARCHITECTS, INC.
5105 TOLLVIEW DR, SUITE 201
ROLLING MEADOWS, IL 60008
MARIO VALENTINI
MARIOV@MRVARCH.COM
224-318-2140

CIVIL ENGINEER
WALLACE DESIGN COLLECTIVE
9800 PYRAMID CT, SUITE 350
ENGLEWOOD, CO 80112
AARON BARNHART, PE
AARON.BARNHART@WALLACE.DESIGN
720.704.5288

LANDSCAPE ARCHITECTS
WALLACE DESIGN COLLECTIVE
123 NORTH MARTIN LUTHER KING JR. BLVD.
TULSA, OKLAHOMA 74103
ARLIN VANCUREN
ARLIN.VANCUREN@WALLACE.DESIGN
918.806.7441

PARKING SUMMARY TABLE	
RE: 2022 IDO, TABLE 5-5-1, TABLE 5-5-4, TABLE 5-5-5 2020 DPM, Section 7-4(K)(2), Section 7-4(K)(3)	
REQUIRED OFF-STREET PARKING:	
RESTAURANT: 1,950 SF	
5.6 SPACES PER 1,000 SF: $\frac{5.6 \times 1950}{1000} =$	10
GENERAL RETAIL ≤10,000 SF: 7,645 SF	
3.5 SPACES PER 1,000 SF: $\frac{3.5 \times 7645}{1000} =$	26
REQUIRED MOTORCYCLE PARKING:	
25-50 OFF-STREET SPACES =	2
TOTAL =	38
<hr/>	
PROVIDED PARKING:	46
STANDARD:	40
ACCESSIBLE:	2
VAN ACCESSIBLE:	2
MOTORCYCLE:	2
TOTAL PROVIDED PARKING:	46
<hr/>	
MINIMUM PARKING STALL DIMENSIONS PROVIDED:	
STANDARD:	9' x 18'
ACCESSIBLE:	9' x 18'
VAN ACCESSIBLE:	9' x 18'
MOTORCYCLE:	4.5' x 18'
<hr/>	
MINIMUM REQUIRED BICYCLE PARKING:	
NON-RESIDENTIAL USES:	
10% OF REQUIRED OFF-STREET PARKING =	4
<hr/>	
MINIMUM BICYCLE STALL DIMENSIONS PROVIDED: 4' x 6'	

LEGEND

ABBREVIATIONS	LINETYPES	SYMBOLS
(M) MEASURED DATA	— SF —	⊗ UTILITY POLE
(R) RECORD DATA	— SF —	⊙ LIGHT POLE
BC BACK OF CURB	— SF —	⊙ GUY ANCHOR
BL BUILDING LINE	— 5555 —	⊙ ELECTRIC BOX
CL CENTERLINE	— 5555 —	⊙ ELECTRIC METER
EG EXISTING GRADE	— 5555 —	⊙ ELECTRIC TRANSFORMER
FF FINISHED FLOOR	— 5555 —	⊙ A/C UNIT
FG FINISHED GRADE	— 5555 —	⊙ ELECTRIC MANHOLE
FL FLOWLINE	— X X X —	⊙ GAS METER
GL GUTTER LINE	— X X X —	⊙ GAS VALVE
HP HIGH POINT	— X X X —	⊙ OIL/GAS WELLHEAD
INV INVERT	— X X X —	⊙ VENT PIPE
LF LINEAR FEET	— FO —	⊙ PIPELINE MARKER
LP LOW POINT	— OC —	⊙ COMMUNICATION PEDESTAL
ME MATCH EXISTING	— UC —	⊙ COMMUNICATION MANHOLE
RW RIGHT-OF-WAY	— OE —	⊙ SEWER CLEAN-OUT
SF SQUARE FEET	— UE —	⊙ SANITARY SEWER MANHOLE
SY SQUARE YARDS	— G —	⊙ DOWNSPOUT
TBK TOP OF BANK	— FM —	⊙ ROOF DRAIN
TC TOP OF CURB	— SS —	⊙ STORM DRAIN MANHOLE
TG TOP OF GRATE	— SS —	⊙ FIRE HYDRANT
TOE TOP OF BANK	— SS —	⊙ IRRIGATION CONTROL VALVE
TP TOP OF PAVEMENT	— SD —	⊙ SHUT-OFF VALVE
TR TOP OF RIM	— F —	⊙ SPRINKLER HEAD
TS TOP OF SIDEWALK	— W —	⊙ WATER METER
TW TOP OF WALL	— W —	⊙ WATER VALVE
		⊙ YARD HYDRANT
		⊙ PIPE BOLLARD
		⊙ BENCHMARK
		⊙ ACCESSIBLE PARKING
		⊙ MAILBOX
		⊙ MONITORING WELL
		⊙ POTHOLE
		⊙ SIGN

ORIG SIZE: 22"x34" PLOT: 8/21/2024 11:47:22 AM I:\server\server\Civil\Projects\2175023 Taco Bell - ABQ - Snow Vista\DWG\PRODUCTION\2175023 COVER + DEMO.dwg

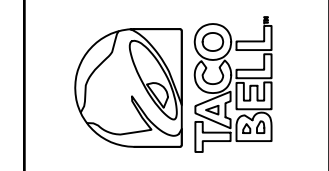
CAUTION

NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



TACO BELL
98TH & SAGE
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM



DATE	DESCRIPTION	REV

DATE 08/21/2024
PROJECT NO. 2175023
SHEET NAME
COVER SHEET
SHEET NO.
C100

SITE PLAN

TACO BELL - SNOW VISTA BOULEVARD

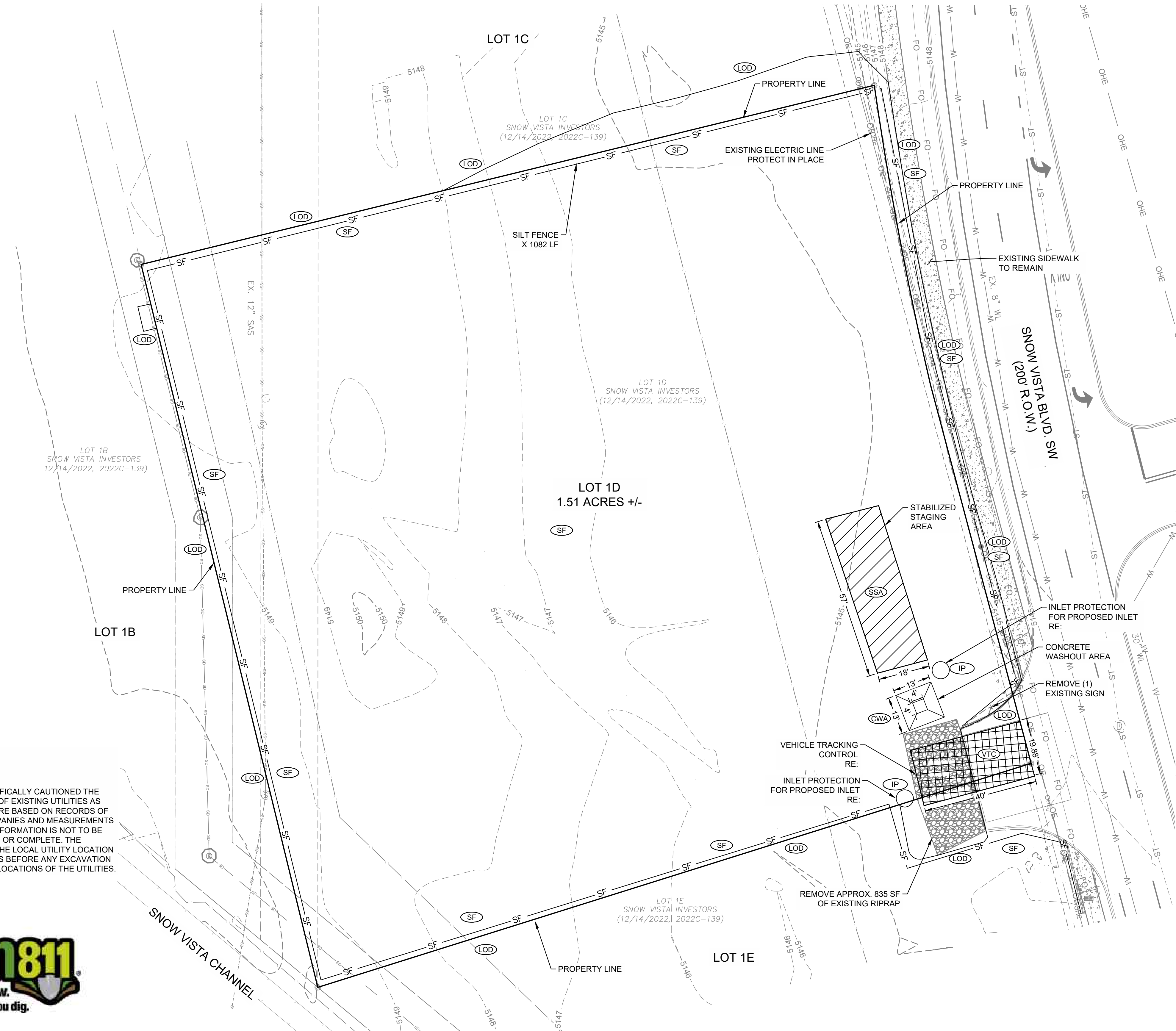
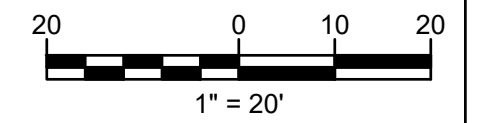
ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT



wallace design collective, pc
structural-civil-landscape-survey
9800 pyramid court, suite 350
englewood, co 80112
303.350.1690 800.364.5858



GENERAL DEMOLITION NOTES

1. ALL NOTED CONCRETE AND ASPHALT SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE UNLESS NOTED OTHERWISE.
2. CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
3. CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
4. WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED. IN DESIGNATED PROTECTION AREAS AS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTES, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.

PROPERTY DESCRIPTION

TRACT A PLAT FOR TRACT A SNOW VISTA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEROF FILLED IN THE OFFICE OF THE COUNTRY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON 2022.

PROPERTY ADDRESS
1125 SNOW VISTA BLVD SW

EROSION CONTROL LEGEND

(LOD)	— LOD —	LIMITS OF DISTURBANCE	1.57 AC ±
(SF)	— SF —	SILT FENCE	1,082 LF
(CF)	— CF —	CONSTRUCTION FENCE	- LF
(CWA)	□	CONCRETE WASHOUT*	1 (EACH)
(VTC)	▨	VEHICLE TRACKING CONTROL	88 SY
(SSA)	▨	STABILIZED STAGING AREA	117 SY
(IP)	○	INLET PROTECTION	2 (EACH)

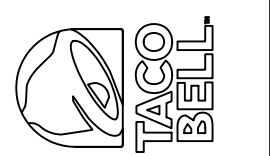
*CONCRETE WASHOUT SHALL BE AN ABOVE-GRADE PRE-FABRICATED METAL PRODUCT.

CAUTION
NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



TACO BELL
98TH & SAGE
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM



DATE	DESCRIPTION	REV

DATE 08/21/2024
PROJECT NO. 2175023
SHEET NAME
DEMOLITION AND INITIAL EROSION CONTROL PLAN

SHEET NO.
C300

ORIG SIZE: 22"x34" PLOT: 8/21/2024 11:40:18 AM PLOT: 8/21/2024 11:40:18 AM

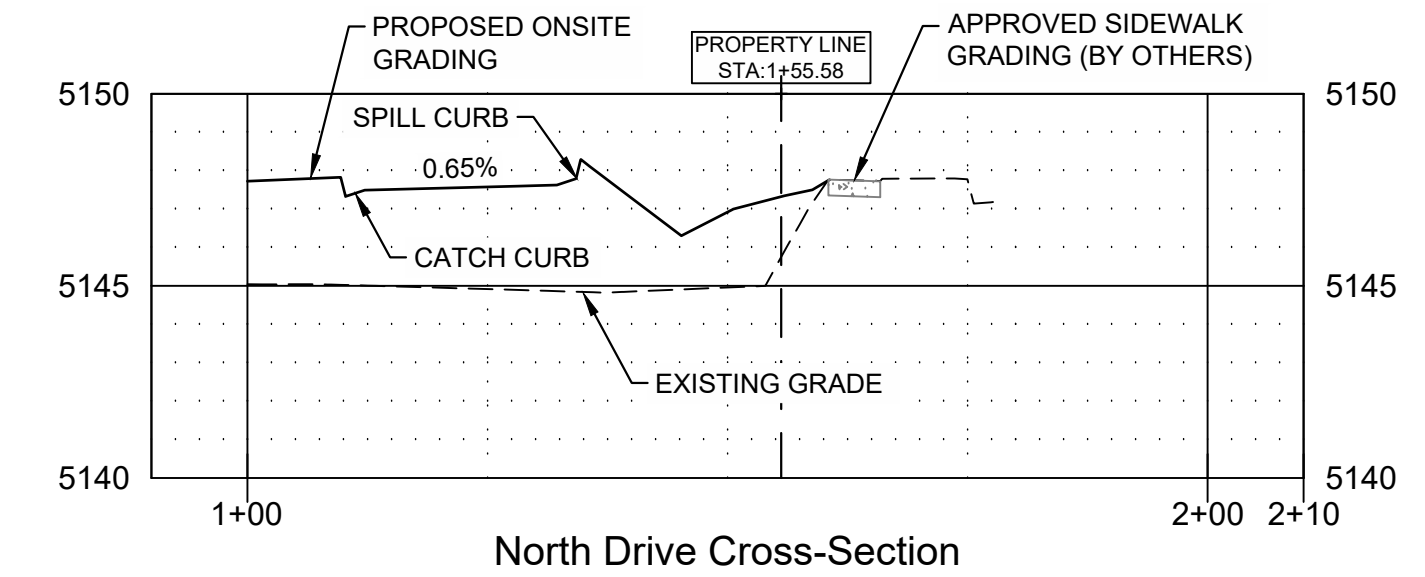
SITE PLAN

TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT



NORTHERN DRIVE - GRADING CROSS-SECTION
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

- GRADING NOTES:**
- SPOT ELEVATIONS SHOWN ARE TO GUTTER FLOW LINE. ADD 0.5' FOR TOP OF CURB ELEVATIONS
 - SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED & INSPECTED AND APPROVED BY LOCAL AUTHORITIES.
 - ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
 - EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
 - CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
 - SIDEWALKS SHALL HAVE MAX 2% CROSS SLOPE.

GRADING PLAN DESCRIPTION
EXISTING SITE GRADES GENERALLY SLOPE FROM NORTHWEST TO THE SOUTHERN CORNER OF THE OVERALL SUBDIVISION.

PROPOSED SITE GRADING SHALL TIE-IN WITH THE PROPOSED SIDEWALK FRONTAGE ALONG SNOW VISTA BLVD SW AND THE WESTERN SIDE OF THE LOT.

THE GRADING SHALL ALLOW FOR FUTURE LOT DEVELOPMENT TO THE NORTH AND SOUTH OF OUR SITE THAT FACILITATES DRAINAGE TOWARDS THE SOUTH OUTFALL, AN EXISTING 42" RCP.

LEGEND

	STANDARD DUTY ASPHALT PAVING
	REINFORCED CONCRETE PAD
	CONCRETE SIDEWALK
	RIPRAP
	EXISTING CONCRETE SIDEWALK
	6" DEPRESSED CURB AND GUTTER
	STORM DRAIN
	DRAINAGE FLOW PATH
	STORM BASIN W/ LID
	CITY OF ALBUQUERQUE DRAINAGE STORM INLET TYPE "C" DWG. 2205
	SANITARY SEWER CLEANOUT

PROPERTY DESCRIPTION
TRACT A PLAT FOR TRACT A SNOW VISTA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEROF FILLED IN THE OFFICE OF THE COUNTRY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON 2022.

PROPERTY ADDRESS
1125 SNOW VISTA BLVD SW

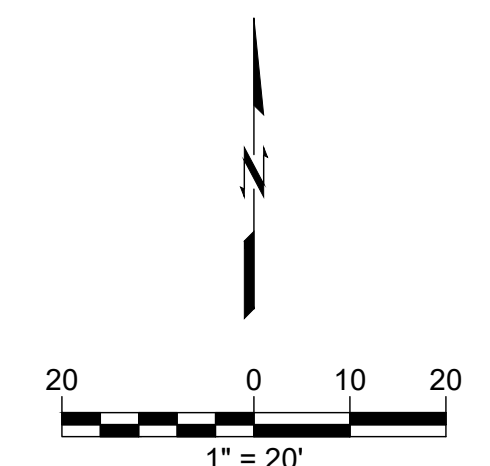
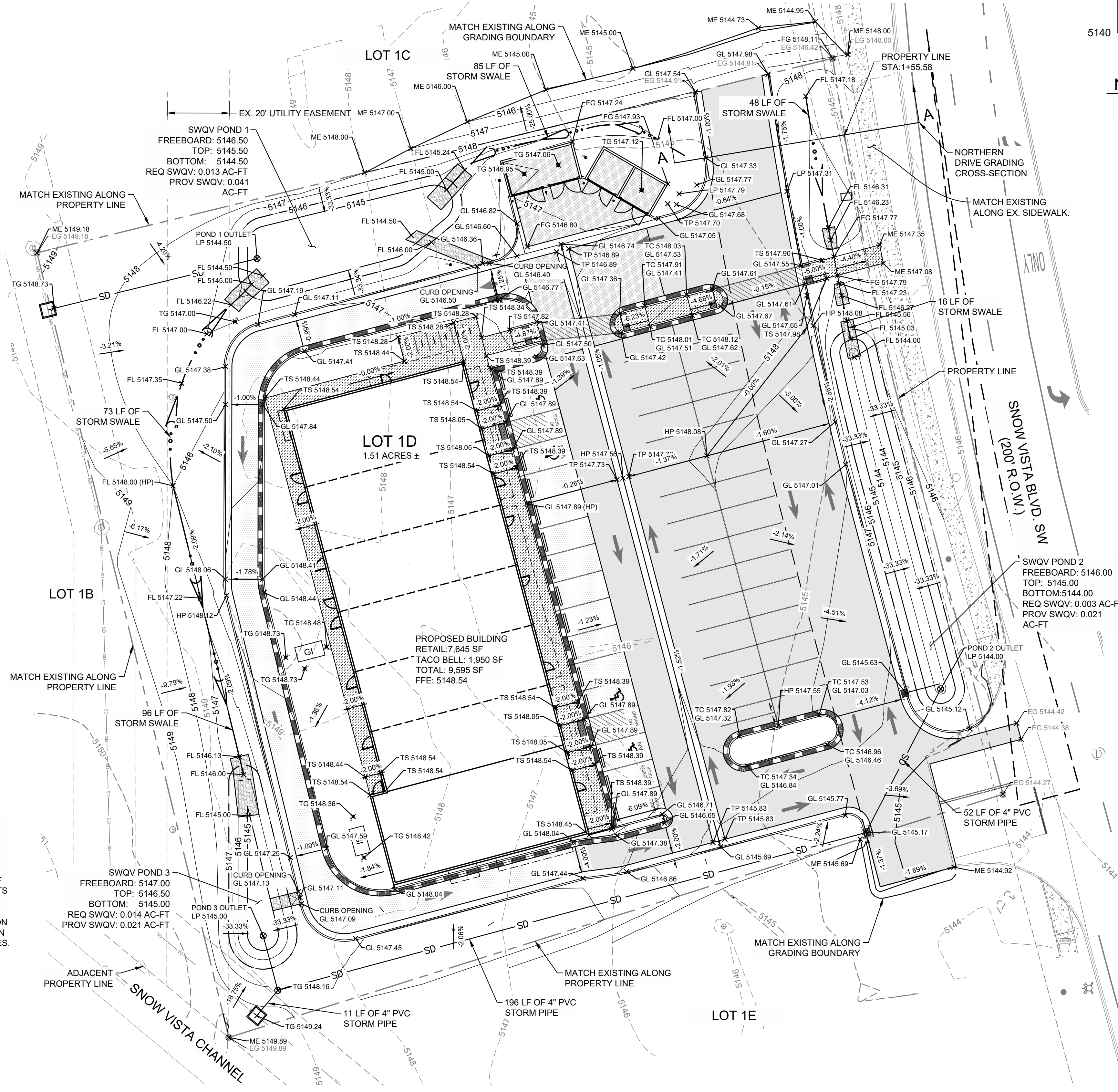
GRADING ELEVATION ABBREVIATIONS	
FF	FINISHED FLOOR
FG	FINAL GRADE
FL	FLOW LINE
TS	TOP OF SIDEWALK
GL	GUTTER LINE
TG	TOP OF GRATE
TP	TOP OF PAVEMENT
HP	HIGH POINT
LP	LOW POINT

TOTAL DISTURBED AREA	1.57 ACRES
PROJECT SITE AREA	1.51 ACRES
EXISTING IMPERVIOUS AREA	0.01 ACRES
EXISTING PERVIOUS AREA	1.50 ACRES
PROPOSED IMPERVIOUS AREA	0.92 ACRES
PROPOSED PERVIOUS AREA	0.59 ACRES

CAUTION

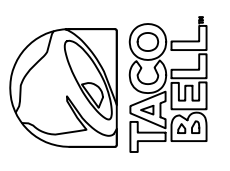
NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



wallace design collective
wallace design collective, pc
structural-civil-landscape-survey
9800 pyramid court, suite 350
englewood, co 80112
303.350.1690 800.344.5858

TACO BELL
98TH & SAGE
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM



DATE	DESCRIPTION	REV

DATE: 08/21/2024
PROJECT NO.: 2175023
SHEET NAME:

GRADING PLAN
SHEET NO.
C500

PLOT: 8/21/2024 11:40:42 AM ORIG SIZE: 22"x34" \\denver-server\civil\projects\2175023 Taco Bell - ABQ - Snow Vista\DWG\PRODUCTION\2175023 GRADING.dwg

SITE PLAN

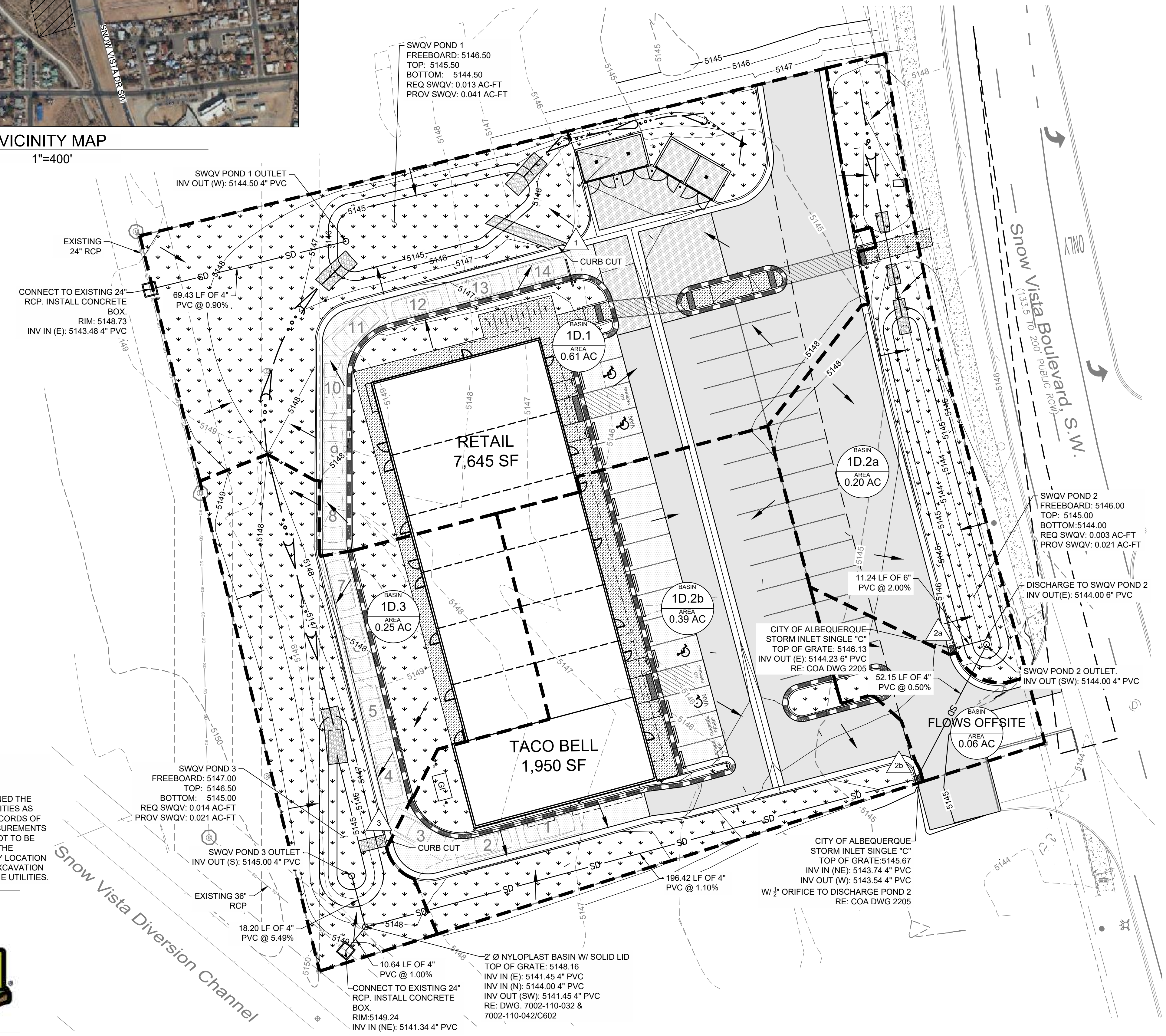
TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021



VICINITY MAP
 1"=400'



TOTAL DISTURBED AREA	1.57 ACRES
PROJECT SITE AREA	1.51 ACRES
EXISTING IMPERVIOUS AREA	0.01 ACRES
EXISTING PERVIOUS AREA	1.50 ACRES
PROPOSED IMPERVIOUS AREA	0.92 ACRES
PROPOSED PERVIOUS AREA	0.59 ACRES

LEGEND

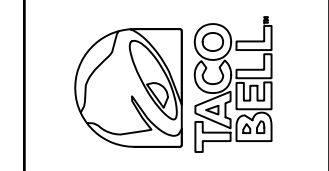
- STANDARD DUTY ASPHALT PAVEMENT
- REINFORCED CONCRETE PAD
- CONCRETE SIDEWALK
- RIPRAP
- EXISTING CONCRETE SIDEWALK
- 6" DEPRESSED CURB AND GUTTER
- SD STORM DRAIN
- DRAINAGE BASIN DELINEATION
- DRAINAGE FLOW PATH
- STORM BASIN W/ LID
- CITY OF ALBUQUERQUE DRAINAGE STORM INLET TYPE "C" DWG. 2205
- SANITARY SEWER CLEANOUT
- BASIN # BASIN ID
- AREA # AC BASIN AREA
- # DRAINAGE DESIGN POINT

CAUTION
 NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



TACO BELL
98TH & SAGE
 1125 SNOW VISTA BLVD SW
 ALBUQUERQUE, NM



DATE	DESCRIPTION	REV

DATE 08/21/2024
 PROJECT NO. 2175023
 SHEET NAME

DRAINAGE PLAN
 SHEET NO.
C501

ORIG SIZE: 22"x34"
 PLOT: 8/21/2024 11:40:51 AM
 I:\server\civil\Projects\2175023 Taco Bell - ABQ - Snow Vista\DWG\PRODUCTION\2175023 Drainage Map.dwg

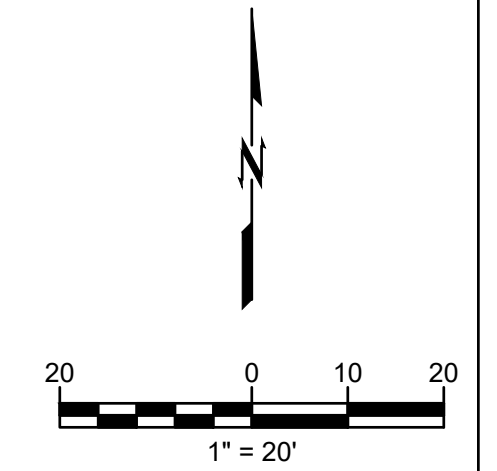
SITE PLAN

TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT



wallace
design
collective

wallace design collective, pc
structural-civil-landscape-survey
9800 pyramid court, suite 350
englewood, co 80112
303.350.1690 800.344.5858

PROPERTY DESCRIPTION
TRACT A PLAT FOR TRACT A SNOW VISTA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEROF FILLED IN THE OFFICE OF THE COUNTRY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON 2022.

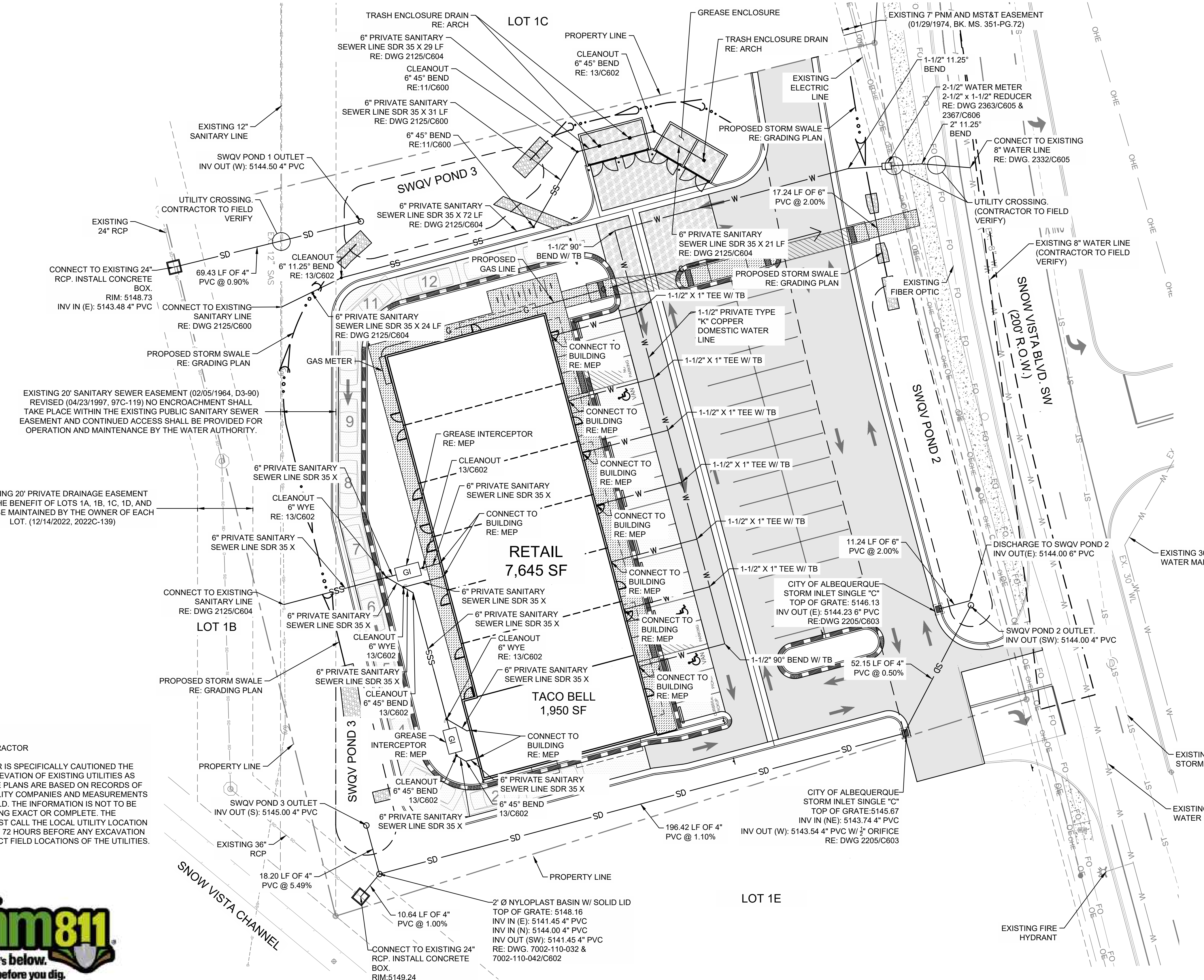
PROPERTY ADDRESS
1125 SNOW VISTA BLVD SW

LEGEND

	STANDARD DUTY ASPHALT PAVEMENT RE: GEOTECH
	REINFORCED CONCRETE PAD RE: ARCH
	CONCRETE SIDEWALK RE: 3/C600
	RIPRAP (REFER TO PLAN LABELS)
	EXISTING CONCRETE SIDEWALK
	SD STORM DRAIN
	---> DRAINAGE FLOW PATH
	STORM DRAIN BASIN
	STORM BASIN LID
	CITY OF ALBUQUERQUE DRAINAGE STORM INLET TYPE "C" DWG. 2205
	SANITARY SEWER CLEANOUT

WATER AUTHORITY NOTES:

- COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION AT 505-289-3454.
- COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.



EXISTING 20' SANITARY SEWER EASEMENT (02/05/1964, D3-90) REVISED (04/23/1997, 97C-119) NO ENCROACHMENT SHALL TAKE PLACE WITHIN THE EXISTING PUBLIC SANITARY SEWER EASEMENT AND CONTINUED ACCESS SHALL BE PROVIDED FOR OPERATION AND MAINTENANCE BY THE WATER AUTHORITY.

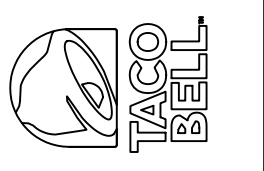
EXISTING 20' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1A, 1B, 1C, 1D, AND 1E TO BE MAINTAINED BY THE OWNER OF EACH LOT. (12/14/2022, 2022C-139)

CAUTION
NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



TACO BELL
98TH & SAGE
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM



DATE	DESCRIPTION

REV	DATE	DESCRIPTION

DATE: 08/21/2024
PROJECT NO.: 2175023
SHEET NAME:

UTILITY PLAN
SHEET NO.
C600

ORIG SIZE: 22"x34" PLOT: 8/21/2024 11:41:01 AM I:\server\server\Civil\Projects\2175023 TACO Bell - ABQ - Snow Vista\DWG\PRODUCTION\2175023 UTILITIES.dwg

SITE PLAN

TACO BELL - SNOW VISTA BOULEVARD

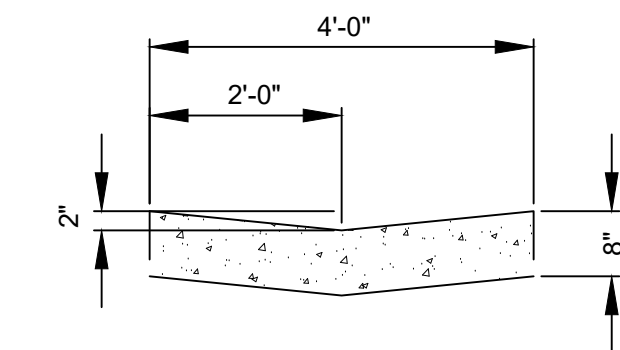
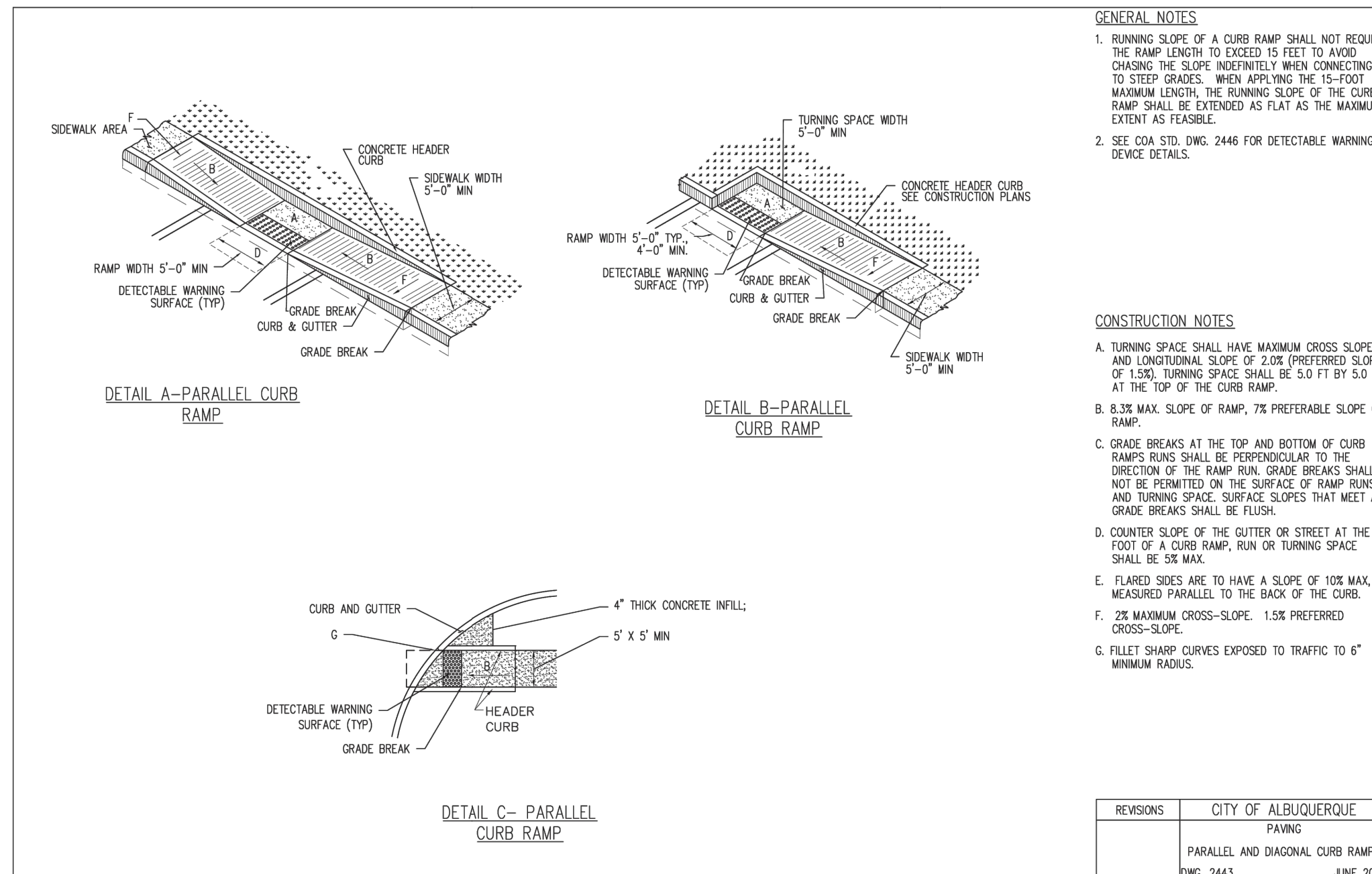
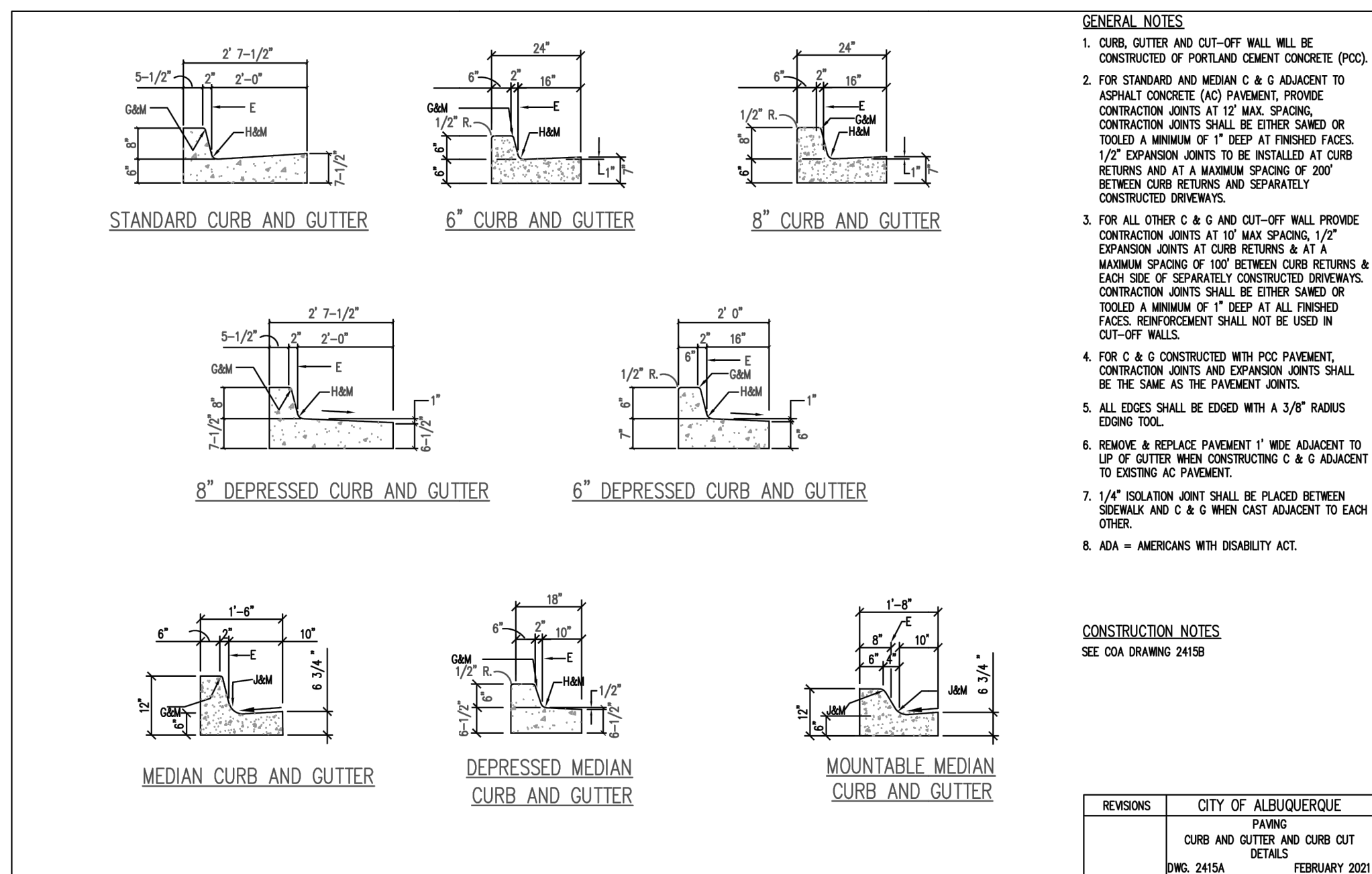
ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT

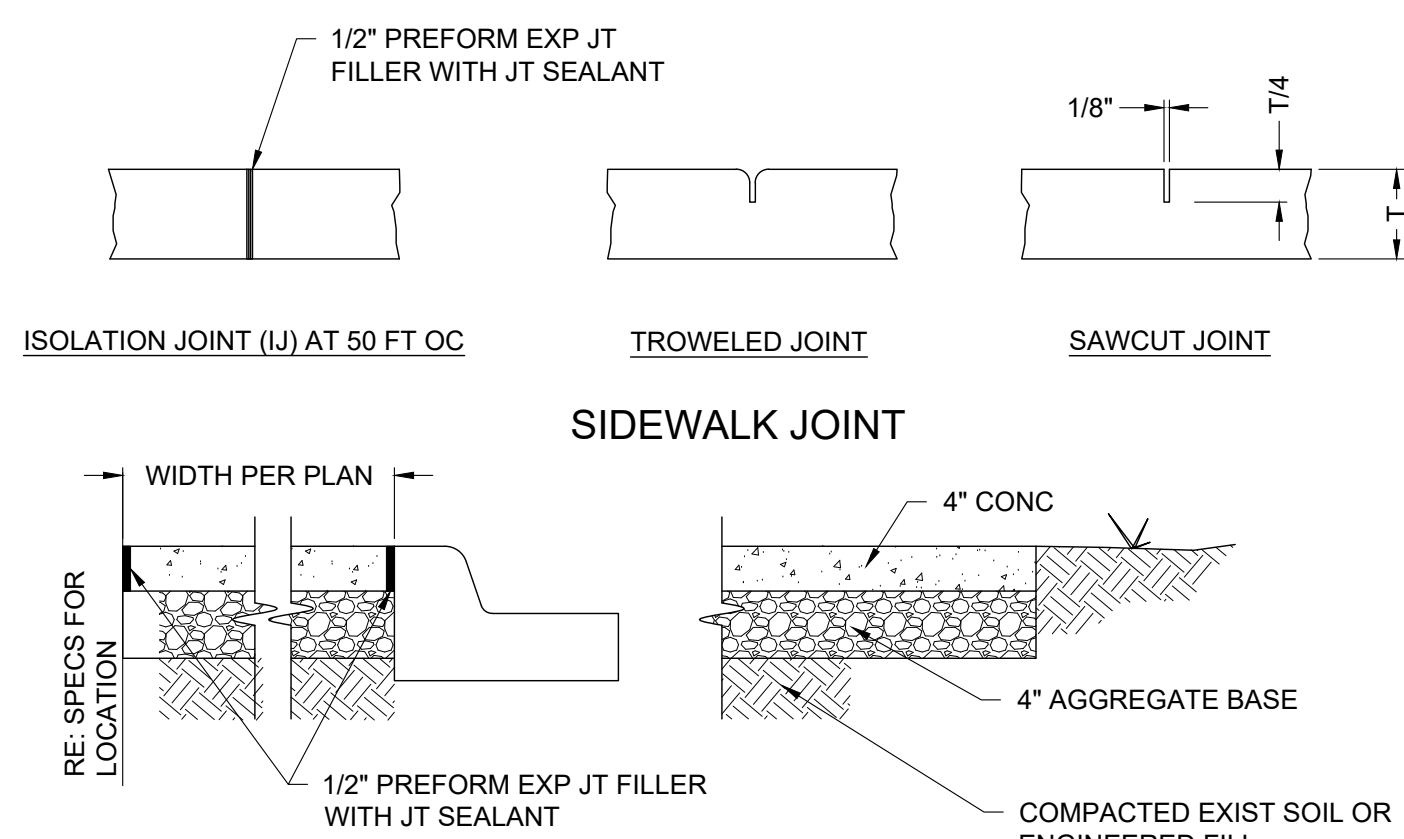
wallace
design
collective

wallace design collective, pc
structural-civil-landscape-survey
9800 pyramid court, suite 350
englewood, co 80112
303.350.1690 800.364.5858



1 CURB AND GUTTER

SCALE: NTS

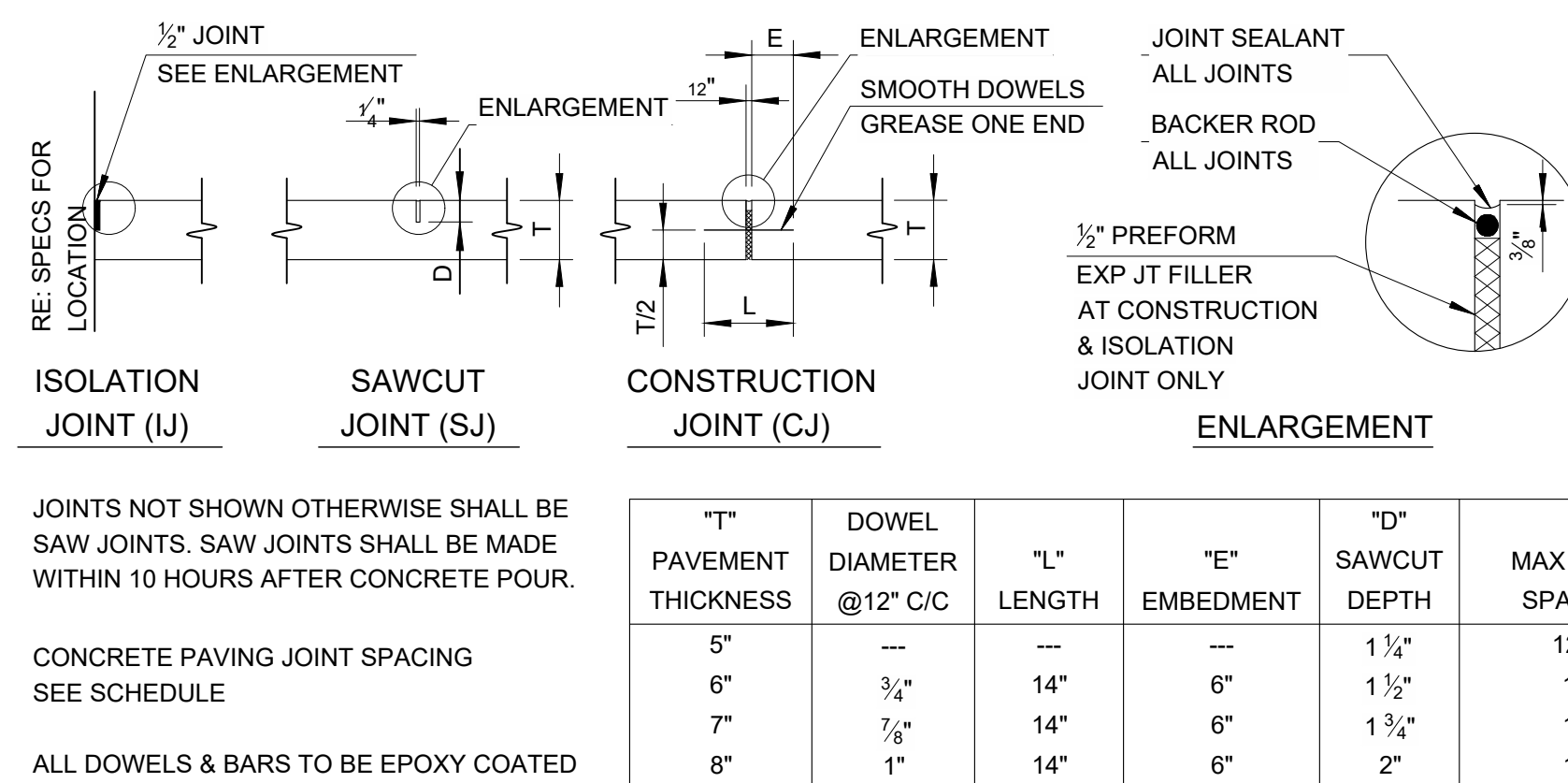


4 SIDEWALK

SCALE: NTS

2 CURB RAMP DETAILS

SCALE: NTS

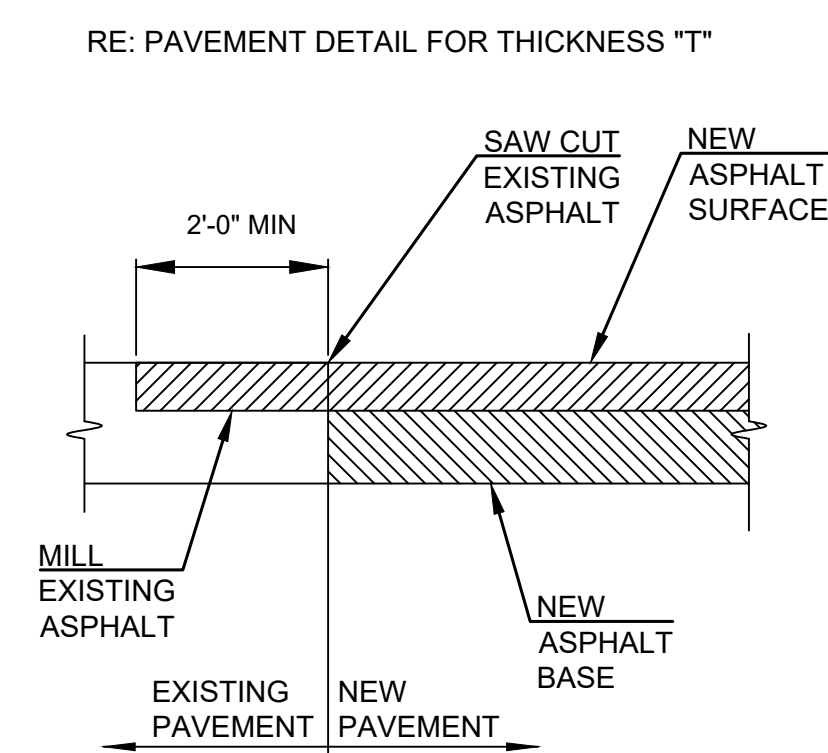


5 CONCRETE JOINT DETAIL

SCALE: NTS

3 4' VALLEY PAN

SCALE: NTS



6 ASPHALT TRANSITION

SCALE: NTS

TACO BELL
98TH & SAGE
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM



DATE	DESCRIPTION	REV

DATE 08/21/2024
PROJECT NO. 2175023
SHEET NAME

DETAILS
SHEET NO.
C800

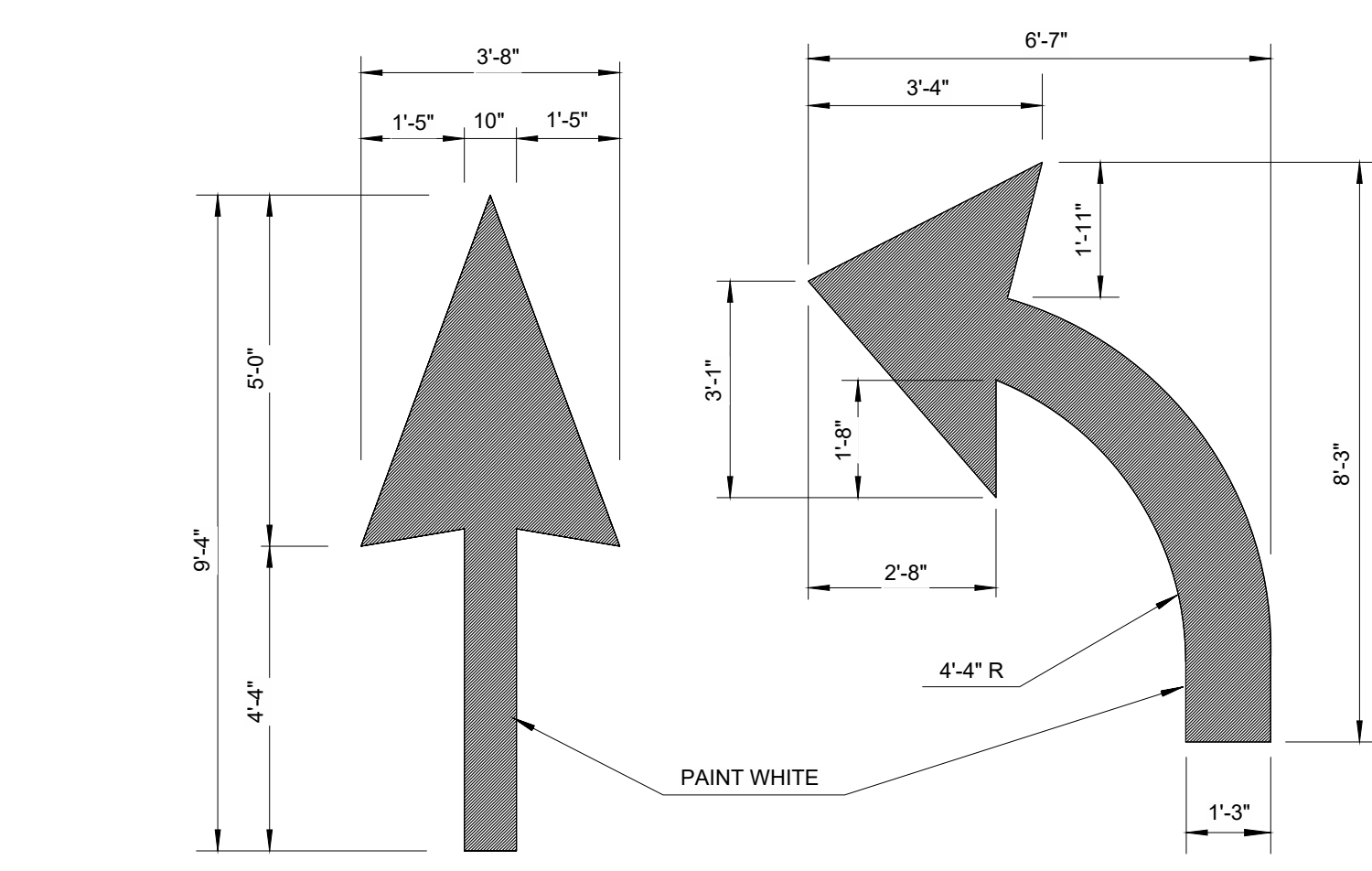
ORIG SIZE: 22"x34" PLOT: 8/21/2024 11:41:04 AM I:\server\server\Civil\Projects\2175023 Taco Bell - ABQ - Snow Vista\DWG\PRODUCTION\2175023 DETAILS.dwg

SITE PLAN

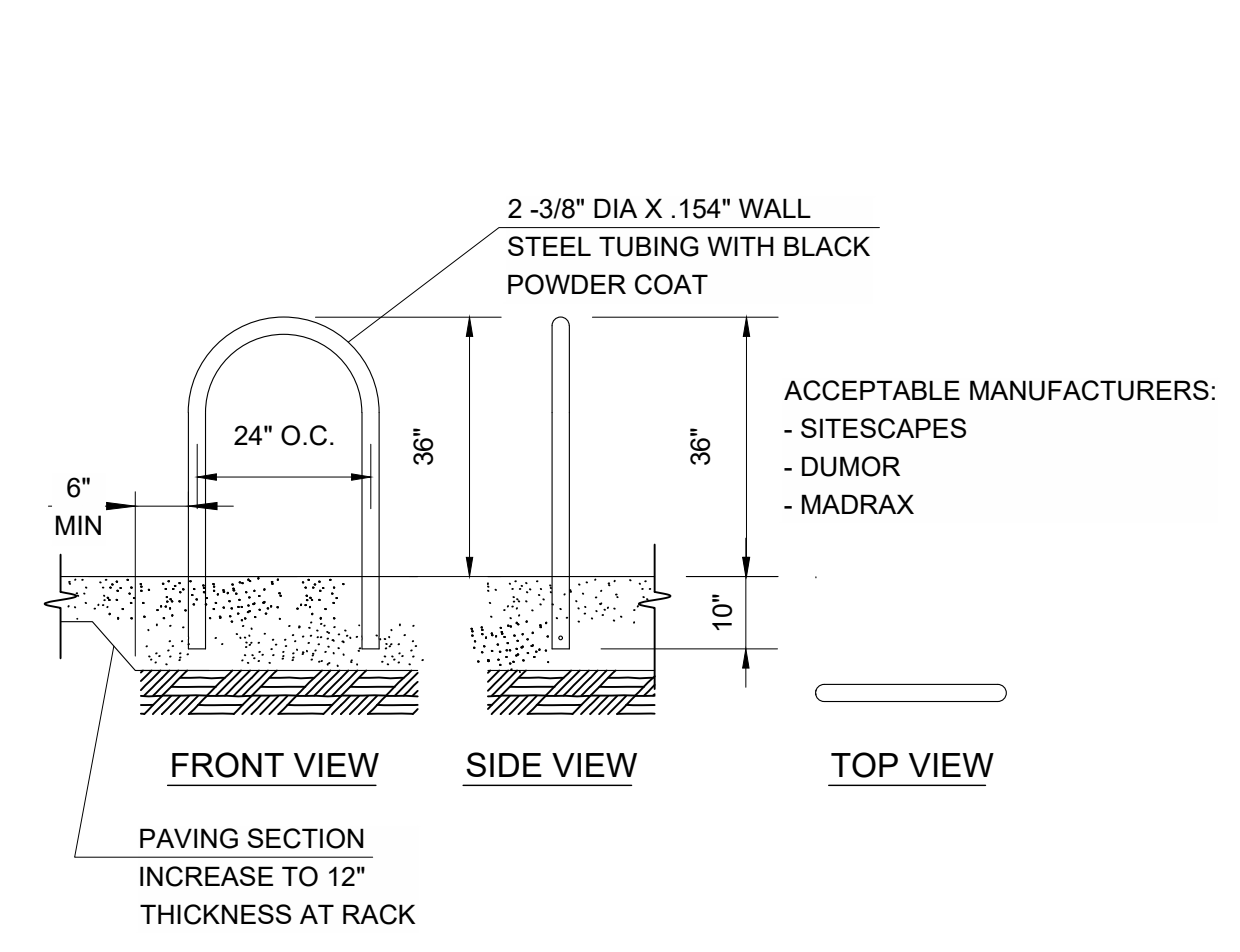
TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

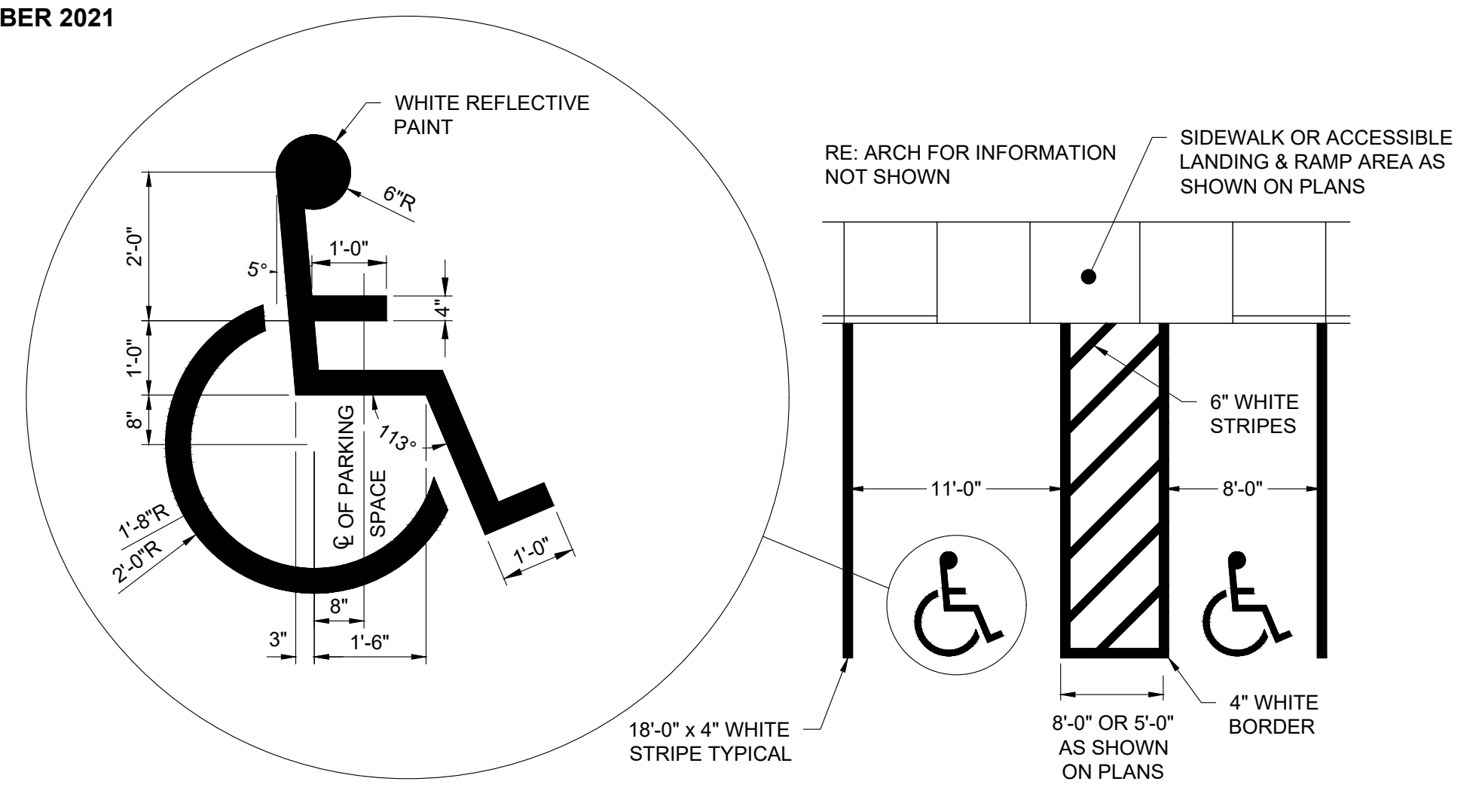
LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021



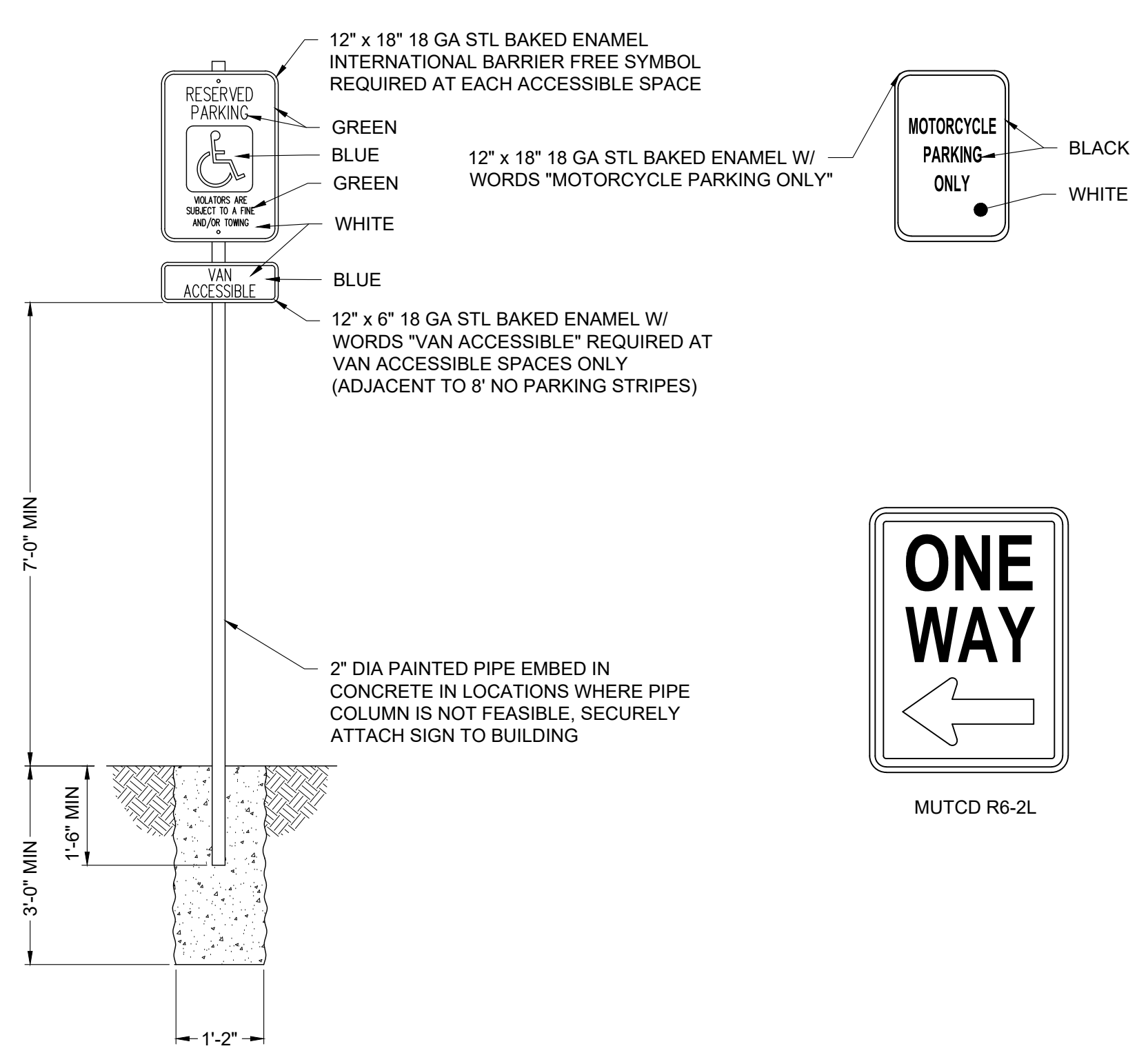
7 DIRECTIONAL ARROWS
 SCALE: NTS



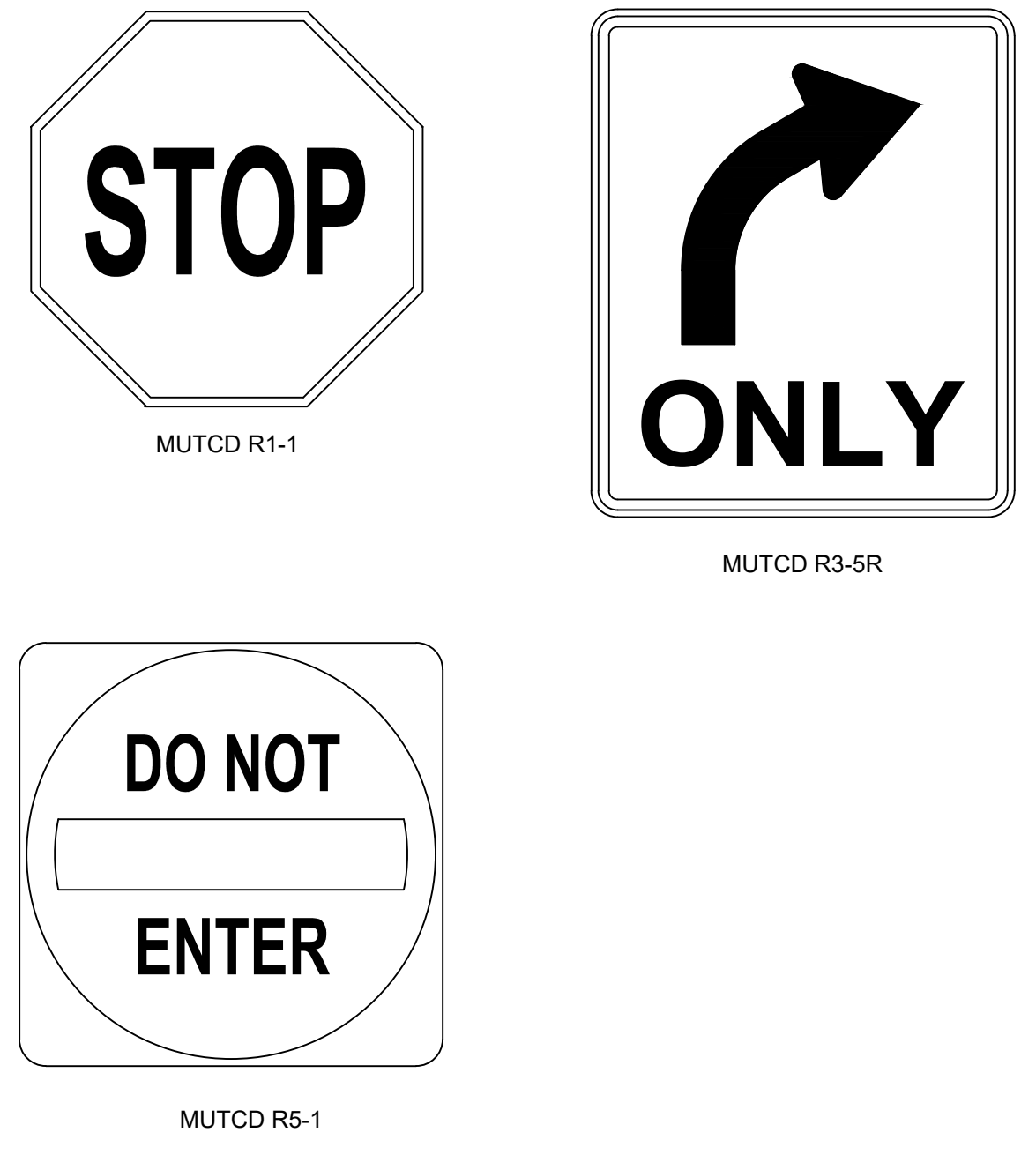
8 BIKE RACK
 SCALE: NTS



10 ACCESSIBLE STRIPING
 SCALE: NTS



11 ADA/ MOTORCYCLE/ STOP/ ONE WAY/ DO NOT ENTER / RIGHT ONLY SIGN DETAILS
 SCALE: NTS



TACO BELL
98TH & SAGE
 1125 SNOW VISTA BLVD SW
 ALBUQUERQUE, NM

REV	DESCRIPTION	DATE

DATE 08/21/2024
 PROJECT NO. 2175023
 SHEET NAME
DETAILS
C801

I:\server\server\Civil\Projects\2175023 Taco Bell - ABQ - Snow Vista\DWG\PRODUCTION\2175023 DETAILS.dwg PLOT: 8/21/2024 11:41:06 AM ORIG SIZE: 22"x34"

SITE PLAN

TACO BELL - SNOW VISTA BOULEVARD

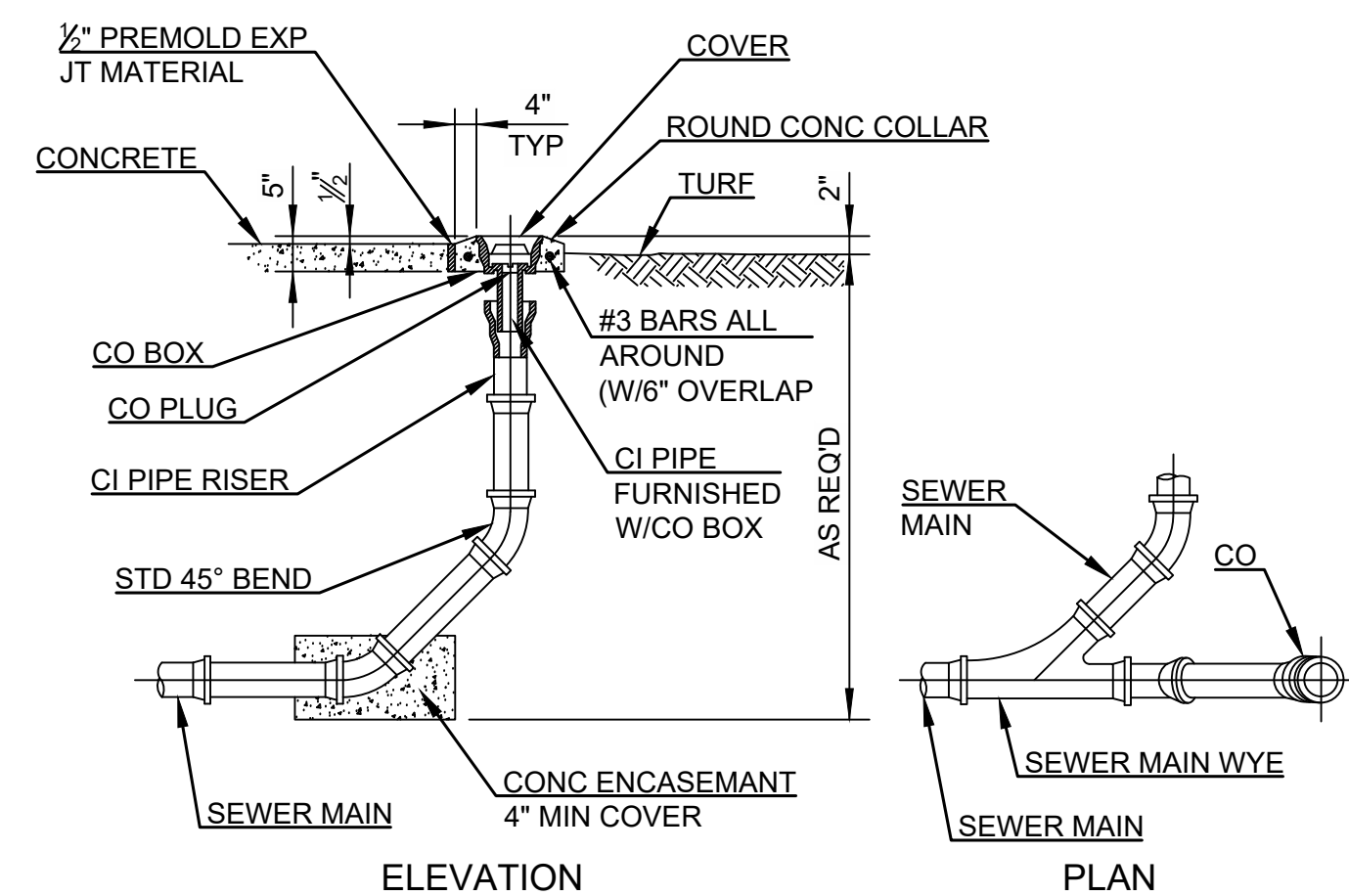
ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.

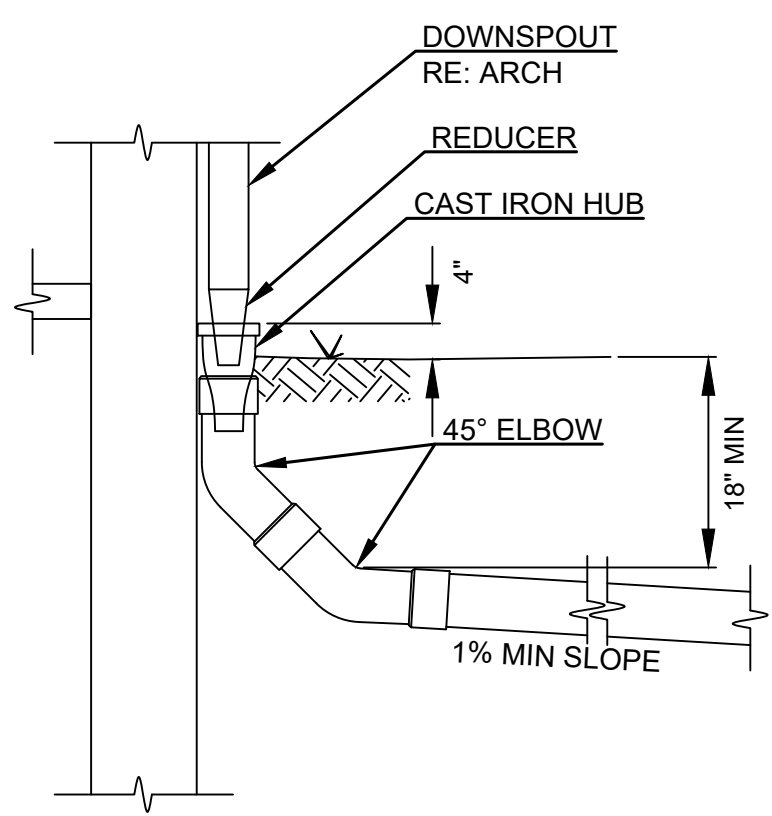
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT

wallace design collective
 wallace design collective, pc
 structural-civil-landscape-survey
 9800 pyramid court, suite 350
 englewood, co 80112
 303.350.1690 800.344.5858



12 CLEANOUT
SCALE: NTS



13 DOWNSPOUT TO STORM DRAIN CONNECTION
SCALE: NTS

HP STORM TRENCH INSTALLATION DETAIL

PIPE DIA.	MIN. TRENCH WIDTH
12" (300mm)	30" (762mm)
14" (350mm)	34" (864mm)
16" (400mm)	38" (965mm)
18" (450mm)	42" (1067mm)
20" (500mm)	46" (1168mm)
22" (550mm)	50" (1270mm)
24" (600mm)	54" (1372mm)
26" (650mm)	58" (1473mm)
28" (700mm)	62" (1575mm)
30" (750mm)	66" (1676mm)
32" (800mm)	70" (1778mm)
34" (850mm)	74" (1879mm)
36" (900mm)	78" (1981mm)
38" (950mm)	82" (2082mm)
40" (1000mm)	86" (2184mm)
42" (1050mm)	90" (2285mm)
44" (1100mm)	94" (2387mm)
46" (1150mm)	98" (2488mm)
48" (1200mm)	102" (2590mm)
50" (1250mm)	106" (2691mm)
52" (1300mm)	110" (2793mm)
54" (1350mm)	114" (2894mm)
56" (1400mm)	118" (2996mm)
58" (1450mm)	122" (3097mm)
60" (1500mm)	126" (3199mm)

PIPE DIA.	SURFACE LIVE LOADING CONDITION	
	H-20	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12" - 48" (300mm - 1200mm)	12" (305mm)	48" (1219mm)
50" (1250mm)	24" (610mm)	50" (1270mm)

NOTES:

- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS". LATEST EDITION, WITH THE EXCEPTION THAT THE INITIAL BACKFILL MAY EXTEND TO THE CROWN OF THE PIPE. SOIL CLASSIFICATIONS ARE PER THE LATEST VERSION OF ASTM D2321. CLASS IV MATERIALS (MH, CH) AS DEFINED IN PREVIOUS VERSIONS OF ASTM D2321 ARE NOT APPROPRIATE BACKFILL MATERIALS.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II, OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. COMPACTION SHALL BE 90% OF MAXIMUM DENSITY PER ASTM D1557 OR AS SHOWN ON THE PLANS, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 12"-24" (300mm-600mm) DIAMETER PIPE, 6" (150mm) FOR 30"-40" (750mm-1000mm) DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED.
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II, OR III IN THE PIPE ZONE EXTENDING TO THE CROWN OF THE PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION, FOR TRAFFIC APPLICATIONS, CLASS I, II, OR III MATERIAL SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 90% OF MAXIMUM DENSITY PER ASTM D1557. CLASS IV MATERIALS AS DEFINED IN ASTM D2321 ARE NOT APPROPRIATE BACKFILL MATERIALS.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" (300mm) FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, CLASS I OR II MATERIAL COMPACTED TO 90% SPD AND CLASS III COMPACTED TO 80% SPD IS REQUIRED. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" (300mm) LP TO 48" (1200mm) DIAMETER PIPE AND 24" (600mm) OF COVER FOR 60" (1500mm) DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO BOTTOM OF RIGID PAVEMENT.
- FOR ADDITIONAL INFORMATION SEE TECHNICAL NOTE 2.04.

TABLE 3. MAXIMUM COVER FOR HP STORM PIPE, R

PIPE DIA.	CLASS		
	CLASS I	CLASS II	CLASS III
12" (300mm)	44" (1118mm)	31" (787mm)	18" (457mm)
14" (350mm)	46" (1168mm)	33" (838mm)	19" (483mm)
16" (400mm)	48" (1219mm)	35" (889mm)	20" (508mm)
18" (450mm)	50" (1270mm)	37" (939mm)	21" (533mm)
20" (500mm)	52" (1321mm)	39" (990mm)	22" (558mm)
22" (550mm)	54" (1372mm)	41" (1041mm)	23" (583mm)
24" (600mm)	56" (1423mm)	43" (1092mm)	24" (608mm)
26" (650mm)	58" (1473mm)	45" (1143mm)	25" (633mm)
28" (700mm)	60" (1524mm)	47" (1194mm)	26" (658mm)
30" (750mm)	62" (1575mm)	49" (1245mm)	27" (683mm)
32" (800mm)	64" (1626mm)	51" (1296mm)	28" (708mm)
34" (850mm)	66" (1676mm)	53" (1347mm)	29" (733mm)
36" (900mm)	68" (1727mm)	55" (1398mm)	30" (758mm)
38" (950mm)	70" (1778mm)	57" (1449mm)	31" (783mm)
40" (1000mm)	72" (1829mm)	59" (1500mm)	32" (808mm)
42" (1050mm)	74" (1879mm)	61" (1551mm)	33" (833mm)
44" (1100mm)	76" (1930mm)	63" (1602mm)	34" (858mm)
46" (1150mm)	78" (1981mm)	65" (1653mm)	35" (883mm)
48" (1200mm)	80" (2032mm)	67" (1704mm)	36" (908mm)
50" (1250mm)	82" (2082mm)	69" (1755mm)	37" (933mm)
52" (1300mm)	84" (2133mm)	71" (1806mm)	38" (958mm)
54" (1350mm)	86" (2184mm)	73" (1857mm)	39" (983mm)
56" (1400mm)	88" (2235mm)	75" (1908mm)	40" (1008mm)
58" (1450mm)	90" (2285mm)	77" (1959mm)	41" (1033mm)
60" (1500mm)	92" (2336mm)	79" (2010mm)	42" (1058mm)

FILL HEIGHT TABLE GENERATED USING AASHTO SECTION 12. LOAD RESISTANCE FACTOR DESIGN (LRFD) PROCEDURE WITH THE FOLLOWING ASSUMPTIONS:
 NO HYDROSTATIC PRESSURE
 UNIT WEIGHT OF SOIL (γ_s) = 120 PCF

NYLOPLAST 2 FT X 2 FT CURB INLET STRUCTURE: 30 __ AGS __ X

(2) VARIABLE INVERT HEIGHTS AVAILABLE (ACCORDING TO PLANS/TAKE OFF)

MINIMUM PIPE BURIAL DEPTH PER PIPE MANUFACTURER RECOMMENDATION (MIN. MANUFACTURING REQ. SAME AS MIN. SUMP)

(3) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE:
 4" - 30" FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, ADS/HANCOR SINGLE WALL), N-12 HP, PVC SEWER (EX: SDR 35), PVC DWV (EX: SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC

(1) DUCTILE IRON FRAME, GRATE, & HOOD

TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS.

(1) INTEGRATED DUCTILE IRON BASE PLATE TO MATCH BASIN O.D.

(2) VARIABLE SUMP DEPTH ACCORDING TO PLANS (6" MIN ON 12" - 24", 10" MIN ON 30" BASED ON MANUFACTURING REQ.)

4" MIN ON 12" - 24", 6" MIN ON 30"

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

1 - 12" - 30" FRAMES, GRATES, HOODS, & BASE PLATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50S.

2 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.

3 - DRAINAGE CONNECTION STUB JOINT THICKNESS SHALL CONFORM TO ASTM D2321 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, N-12 HP, & PVC SEWER (N" - 24").

4 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

5 - ALL CURB INLET GRATE OPTIONS (STANDARD & DIAGONAL) SHALL MEET H-20 LOAD RATING.

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

3130 VERONA AVE
 BUFORD, GA 30518
 PHN (770) 932-2440
 FAX (770) 932-2490
 www.nyloplast-us.com

Nyloplast

TITLE: DRAIN BASIN WITH 2 FT X 2 FT CURB INLET QUICK SPEC INSTALLATION DETAIL

DWG NO. 7002-110-022 REV H

3099CGSQ & 3099CGSQFH

APPROX. GRATE DRAIN AREA = 146.18 SQ IN
 *APPROX. WEIGHT WITH FRAME & HOOD = 287.00 LBS

ADJUSTMENT SLOTS

2' X 2' CURB INLET STANDARD GRATE 3099CGSQ

2' X 2' CURB INLET FRAME & HOOD 3099CGSQFH

8.73 HIGHEST HOOD SETTING
 4.73 LOWEST HOOD SETTING

22 X SLOT Ø 1.00 THRU

TOP OF BASE PLATE TO TOP OF DRAIN BASIN

12BASEG: 2.82
 15BASEG: 2.82
 18BASEG: 2.82
 24BASEG: 2.82
 30BASEG: .38

*WEIGHT DOES NOT INCLUDE DUCTILE IRON BASE PLATE
 12BASEG: APPROX. 109.00 LBS
 15BASEG: APPROX. 86.00 LBS
 18BASEG: APPROX. 85.00 LBS
 24BASEG: APPROX. 93.00 LBS
 30BASEG: APPROX. 92.00 LBS

DIMENSIONS ARE FOR REFERENCE ONLY ACTUAL DIMENSIONS MAY VARY DIMENSIONS ARE IN INCHES GRATE MEETS H-20 LOAD RATING QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05 PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT LOCKING DEVICE AVAILABLE UPON REQUEST SEE DRAWING NO. 7002-110-053

SLOPE OF GRATE SURFACE IS 5.2% CURB INLET FRAME INSIDE VOLUME IS APPROX 1.76 CU FT APPROX. DRAIN AREA OF GRATE & HOOD LOWEST SETTING = 227.37 SQ IN LOWEST + 1" SETTING = 248.25 SQ IN LOWEST + 2" SETTING = 269.12 SQ IN LOWEST + 3" SETTING = 290.00 SQ IN HIGHEST SETTING = 310.87 SQ IN

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

3130 VERONA AVE
 BUFORD, GA 30518
 PHN (770) 932-2440
 FAX (770) 932-2490
 www.nyloplast-us.com

Nyloplast

TITLE: 2 FT X 2 FT CURB INLET STANDARD GRATE ASSEMBLY

DWG NO. 7002-110-042 REV D

TACO BELL
98TH & SAGE
 1125 SNOW VISTA BLVD SW
 ALBUQUERQUE, NM



DATE	DESCRIPTION	REV	DATE	PROJECT NO.	SHEET NAME
			08/21/2024	2175023	

DETAILS
 SHEET NO.
C802

ORIG SIZE: 22"x34"
 PLOT: 08/21/2024 11:41:12 AM
 I:\server\server\Civil\Projects\2175023 Taco Bell - ABQ - Snow Vista\DWG\PRODUCTION\2175023 DETAILS.dwg

SITE PLAN

TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

GENERAL NOTES

- FOR SINGLE GRATE TYPE STORM INLET DELETE CENTER SUPPORT AND MOVE ONE END WALL TO FORM NEW SINGLE GRATE INLET.
- FOR STORM INLET GUTTER TRANSITION, SEE DWG. 2207.
- OUTLET PIPE SIZE, PER DESIGN REQUIREMENT. (MAXIMUM SIZE = 24")
- MAXIMUM INLET DEPTH = 10". FOR DEPTHS EXCEEDING 10", A SEPARATE STRUCTURAL DESIGN WILL BE REQUIRED.
- FOR FRAME & GRATING, SEE DWG. 2216, 2220, AND 2221.
- FOR CENTER SUPPORT ASSEMBLY, SEE DWG. 2215.
- FOR USE WHERE A TYPE-A INLET EXISTS LESS THAN 150' UPSTREAM.
- "DRAINS TO RIVER" ALUMINUM MEDALLION SHALL BE INSTALLED ON EACH NEW STORM INLET. THE MEDALLION IS TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS IN THE CENTER OF THE INLET, WITH THE BOLT HOLE 6 INCHES FROM THE FRONT OF THE INLET.

CONSTRUCTION NOTES

- GUTTER TRANSITION.
- TOP OF CURB.
- CENTER SUPPORT ASSEMBLY (DOUBLE INLETS). SEE STD. DWG. 2215.
- FLOWLINE.
- CONSTRUCTION JOINT.
- NORMAL GUTTER LINE.
- 1'-10" MIN. UNLESS OTHERWISE DIRECTED.
- FRAME AND GRATE.
- INVERT OF OUTLET PIPE.
- CONCRETE FILL, SHAPE PER DWG. 2222.
- FOR STORM INLET DEPTHS GREATER THAN 4", INSTALL STD STEPS PER DWG. 2229, DOWNSTREAM FACE.
- EXTEND NO. 4 REBARS 18" INTO CURB ON EACH SIDE OF STORM INLET.
- NO. 4 BARS AT 6" O.C.
- L. 1.3/8" x 3/8" x 1/2" X 4'-0" LONG FOR SINGLE GRATE TYPE "C" STORM INLET.
- L. 1.3/8" x 3/8" x 1/2" X 7'-6" LONG FOR DOUBLE GRATE TYPE "C" STORM INLET.
- ANGLE ANCHOR.
- CONTROL POINT FOR TOP OF GRATE ELEVATION AND HORIZONTAL CONTROL.

REVISIONS	CITY OF ALBUQUERQUE
	DRAINAGE
	STORM INLET TYPE "C"
	DWG. 2205
	JUNE 2019

GENERAL NOTES

- LOCATION DETAILS FOR PLACING INLETS AND STANDARD CURB AND GUTTER ARE TO BE SHOWN ON DESIGN PLANS.
- CURB HEIGHT WILL BE 8" AT OUTER LIMITS OF DETAIL. ANY TRANSITION TO DIFFERENT HEIGHT CURB WILL OCCUR OUTSIDE THE LIMITS OF THIS DETAIL AND MUST BE SPECIFIED SEPARATELY ON THE PLANS.

CONSTRUCTION NOTES

- STANDARD CURB AND GUTTER.
- STRAIGHT GRADE.
- EXPANSION JOINT.
- TOP OF CURB.
- FLOWLINE PER PLAN.
- FOR FRAME & GRATE SEE DWG. 2216, 2220 & 2221.
- DIRECTION OF FLOW.
- CONTROL POINT FOR TOP OF GRATE ELEVATION AND HORIZONTAL CONTROL.
- BACK OF CURB.
- WHEN INSTALLING AT SAG POINT AND SUMP CONDITIONS NOT ADJACENT TO A CURB RETURN, PROVIDE THE 10:1 TAPER ON EACH SIDE.
- THE TAPER SHALL GOVERN THE LENGTH OF THE TRANSITION SLAB.
- FOR INLETS PROTRUDING 2'-6" FROM FLOWLINE, TRANSITION SLAB LENGTHS ARE AS FOLLOWS:

GUTTER PAN WIDTH	TRANSITION SLAB UPSTREAM	TRANSITION SLAB DOWNSTREAM
12"	15'	9'
18"	10'	6'
24"	5'	3'

REVISIONS	CITY OF ALBUQUERQUE
	DRAINAGE
	STORM INLET GUTTER TRANSITION
	DWG. 2207
	JUNE 2019

GENERAL NOTES

- ALL BOLTS USED IN CENTER SUPPORT ASSEMBLY SHALL BE 1/2".
- FRAME MAY BE RIVETED OR WELDED.
- BOLTS (NOT RIVETS OR WELDS) SHALL BE USED TO JOIN TWO OR MORE FRAMES TOGETHER AND TO THE WIRE FLANGE BEAM.
- AFTER CLEANING SURFACE OF SCALE, RUST, ETC., GRATING, FRAME AND CENTER SUPPORT SHALL BE PAINTED WITH ONE SHOP COAT RED OXIDE, TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69).

CONSTRUCTION NOTES

- L. 4x3/4" x 36/8" LONG.
- L. 1.3/8" x 3/8" x 1/2" x 40/8" LONG.
- W5 X 19 BEAM, FOR CATCH BASIN TYPE DOUBLE "C".
- W5 X 19 BEAM, FOR CATCH BASIN TYPE DOUBLE "D".
- 1/2" A325 BOLTS, WITH NUTS TO SECURE ANGLE TO BEAM.
- FOR FRAME & GRATE SEE DWGS. 2216, 2220, OR 2221.

REVISIONS	CITY OF ALBUQUERQUE
	DRAINAGE
	STORM INLET CENTER SUPPORT ASSEMBLY
	DWG. 2215
	JUNE 2019

GENERAL NOTES

- ALL EXPOSED METAL PARTS SHALL BE PAINTED PRIOR TO ASSEMBLY. WELDING, MACHINING AND DRILLING SHALL BE DONE PRIOR TO PAINTING. ALL DIMENSIONS ARE FINISH DIMENSIONS.
- ALL PARTS SHALL BE OF STRUCTURAL STEEL, GRADE 36.
- AFTER CLEANING SURFACE OF SCALE, RUST, ETC., GRATING, FRAME AND CENTER SUPPORT SHALL BE PAINTED WITH ONE SHOP COAT RED OXIDE, TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69).
- FRAME MAY BE WELDED OR RIVETED.

CONSTRUCTION NOTES

- 4" x 3" x 1/2" x 3'-1/2" ∟.
- (2) 3/8" RIVETS AT EACH CORNER.
- (4) 1/2" x 6" BOLTS WITH SQUARE HEAD AND NUT AT EACH CORNER, FOR ANCHORING FRAME INTO CONCRETE WALL.
- 3 1/2" x 3" x 3/8" x 3'-4 3/8" ∟.

REVISIONS	CITY OF ALBUQUERQUE
	DRAINAGE
	STORM INLET FRAME
	DWG. 2216
	JUNE 2019

TACO BELL
98TH & SAGE
 1125 SNOW VISTA BLVD SW
 ALBUQUERQUE, NM

DATE	
DESCRIPTION	
REV	
DATE	08/21/2024
PROJECT NO.	2175023
SHEET NAME	
DETAILS	
C803	

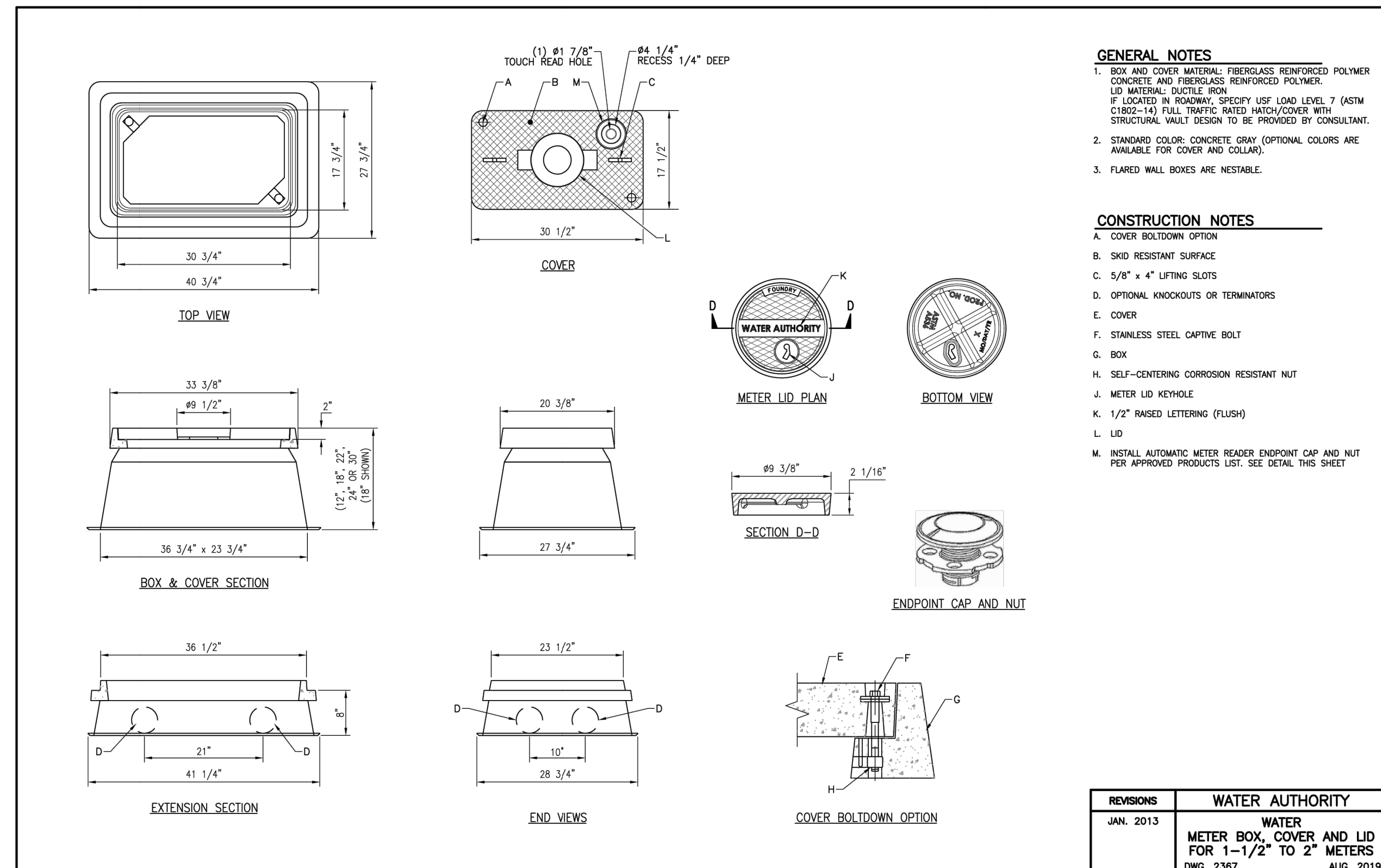
SITE PLAN

TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

wallace design collective
wallace design collective, pc
structural-civil-landscape-survey
9800 pyramid court, suite 350
englewood, co 80112
303.350.1690 800.364.5858



\denver-server\civil\Projects\2175023 Taco Bell - ABQ - Snow Vista\Drawings\PRODUCTION\2175023 DETAILS.dwg
 PLOT: 8/21/2024 11:41:31 AM
 ORIG SIZE: 22"x34"

TACO BELL
98TH & SAGE

1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM

REV	DESCRIPTION	DATE

DATE 08/21/2024
PROJECT NO. 2175023
SHEET NAME

DETAILS
SHEET NO.
C806

SITE PLAN

TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021



National Pollutant Discharge Elimination System Manual
Appendix A2 – Erosion Control
Revision 2
August 2012

Seeding – Temporary/Vegetation	Applications
<p>DESCRIPTION</p> <p>As a BMP, temporary seeding/vegetation is used to establish a temporary vegetative cover on disturbed areas by seeding with appropriate rapidly growing annual vegetation, annual grasses, small grains, or legumes. This short-term vegetative area will reduce erosion and sedimentation on disturbed areas that will not be permanently stabilized within an acceptable period of time. Temporary seeding will also reduce problems associated with mud and dust from construction activities on bare, unprotected soil surfaces.</p> <p>PRIMARY USE</p> <p>Temporary seeding should be considered for disturbed areas that will not be permanently stabilized or have work performed thereon for a period of 21 days or more. Such areas include denuded areas, soil stockpiles, dikes, berms, temporary embankments, excavation slopes, etc. As a temporary control, vegetation is used to stabilize stockpiles and barren areas that are inactive for long periods of time. As a permanent control, grasses and other vegetation provide good protection for the soil, along with some filtering for overland runoff. Subjected to acceptable runoff velocities, vegetation can provide a good method of permanent storm water management, as well as a visual amenity to the site.</p> <p>Other BMPs may be required to assist in the establishment of vegetation. These other techniques include erosion control matting, swales and dikes to direct flow around newly seeded areas, and proper grading to limit runoff velocities during construction.</p> <p>APPLICATIONS</p> <p>Planting should take place when conditions are most favorable for growth (as long as the planting does not interfere with the schedule of other activities and/or regulatory requirements). Before seeding, other erosion control practices such as dikes, basins, and surface runoff-control measures (e.g., interceptor dikes and swales, etc.) should be installed. Temporary bale barriers and silt fences may have to be placed/replaced after seeding operations, since they may get in the way of the machinery. However, use common sense to coordinate operations to maximize the effectiveness of the erosion control measures. Temporary seeding may not be an effective practice in arid and semi-arid regions where the climate prevents fast plant establishment. In those areas, or when seasonal planting restrictions prohibit, temporary mulching may be better for the short term.</p> <p>For further information, refer to Section 632 of Standard Specifications for Highway and Bridge Construction (New Mexico State Highway and Transportation Department [NMSHTD] 2000).</p>	<p>Perimeter Control</p> <p>✓ Slope Protection</p> <p>✓ Sediment Trapping</p> <p>✓ Channel Protection</p> <p>✓ Temporary Stabilization</p> <p>✓ Permanent Stabilization</p> <p>Waste Management</p> <p>Housekeeping Practices</p>
<p>Targeted Constituents</p> <p>✓ Sediment</p> <p>Nutrients</p> <p>Toxic Materials</p> <p>Oil and Grease</p> <p>Floatable Materials</p> <p>Construction Wastes</p>	<p>Impact</p> <p>✓ Significant</p> <p>Medium</p> <p>Low</p> <p>Unknown or Questionable</p>

01C1R.DOC A2-3

National Pollutant Discharge Elimination System Manual
Appendix A4 – Sediment Control
Revision 2
August 2012

Silt Fence	Applications
<p>DESCRIPTION</p> <p>A silt fence consists of geotextile fabric supported by backing stretched between posts, with the lower edge securely embedded in soil downstream of disturbed areas. Intercepts runoff in the form of sheet flow and provides filtration, sedimentation, and velocity reduction.</p> <p>PRIMARY USE</p> <p>Silt fences are used as perimeter control downstream of disturbed areas, and for non-concentrated sheet-flow conditions.</p> <p>APPLICATIONS</p> <p>Silt fences provide an economical way to mitigate overflow, non-concentrated flows, and as a perimeter control device. Best with coarse to silty soil types and to control wind erosion on sandy soils.</p> <p>LIMITATIONS</p> <p>Minor ponding will likely occur at the upstream side of the silt fence, resulting in minor localized flooding.</p> <p>Fences that are constructed in swales or low areas subject to concentrated flow may be overtopped, resulting in failure of the filter fence. Silt fences subject to areas of concentrated flow (waterways with flows >1 cfs) are not acceptable.</p> <p>Silt fence can interfere with construction operations; therefore, planning of access routes onto the site is critical.</p> <p>Silt fence can fail structurally under heavy storm flows, creating maintenance problems and reducing the effectiveness of the system.</p> <p>MAINTENANCE REQUIREMENTS</p> <p>Inspections should be made on a weekly basis, especially after large storm events. If the fabric becomes clogged, it should be cleaned or, if necessary, replaced.</p> <p>Sediment should be removed when it reaches approximately one-half the height of the fence.</p>	<p>Perimeter Control</p> <p>✓ Slope Protection</p> <p>✓ Sediment Trapping</p> <p>Channel Protection</p> <p>Temporary Stabilization</p> <p>Permanent Stabilization</p> <p>Waste Management</p> <p>Housekeeping Practices</p>
<p>Targeted Constituents</p> <p>✓ Sediment</p> <p>Nutrients</p> <p>Toxic Materials</p> <p>Oil and Grease</p> <p>✓ Floatable Materials</p> <p>Construction Wastes</p>	<p>Impact</p> <p>✓ Significant</p> <p>Medium</p> <p>Low</p> <p>Unknown or Questionable</p>

01C1R.DOC A4-5

National Pollutant Discharge Elimination System Manual
Appendix A5 – Good Housekeeping/Materials Management
Revision 2
August 2012

Stabilized Construction Entrance/Exit	Applications
<p>DESCRIPTION</p> <p>A stabilized construction entrance consists of a pad of crushed stone, recycled concrete, or other rock-like material on top of a geotextile filter cloth, which is used to facilitate the washdown and removal of sediment and other debris from construction equipment prior to exiting the site. During the construction phase of a project, regular street sweeping should be performed to remove debris carried from the site.</p> <p>PRIMARY USE</p> <p>Stabilized construction entrances are used to reduce offsite sediment tracking from trucks and construction equipment, and for sites where considerable truck traffic occurs each day. They also reduce the need to clean adjacent pavement as often, and help route site traffic through a single point.</p> <p>APPLICATIONS</p> <p>As a part to the erosion-control plan required for sites larger than five acres, and recommended for all construction sites.</p> <p>LIMITATIONS</p> <p>Selection of the construction entrance location is critical. To be effective, it must be used exclusively.</p> <p>Stabilized entrances are rather expensive, considering that they must be installed in combination with one or more other sediment control techniques. It may be more cost effective, however, than labor-intensive street cleaning.</p> <p>MAINTENANCE REQUIREMENTS</p> <p>Inspections should be made on a regular basis and after large storm events in order to ascertain whether or not sediment and pollution are being effectively detained on site.</p> <p>When sediment has substantially clogged the void area between the rocks, the aggregate mat must be washed down or replaced.</p> <p>Periodic re-grading and top dressing with additional stone must be done to keep the efficiency of the entrance from diminishing.</p>	<p>Perimeter Control</p> <p>Slope Protection</p> <p>Sediment Trapping</p> <p>Channel Protection</p> <p>✓ Temporary Stabilization</p> <p>Permanent Stabilization</p> <p>Waste Management</p> <p>Housekeeping Practices</p>
<p>Targeted Constituents</p> <p>✓ Sediment</p> <p>Nutrients</p> <p>Toxic Materials</p> <p>Oil and Grease</p> <p>Floatable Materials</p> <p>Construction Wastes</p>	<p>Impact</p> <p>✓ Significant</p> <p>Medium</p> <p>Low</p> <p>Unknown or Questionable</p>

01C1R.DOC A5-19

National Pollutant Discharge Elimination System Manual
Appendix A2 – Erosion Control
Revision 2
August 2012

Seeding – Temporary/Vegetation (continued)
<p>All seeded areas should be covered with mulch to provide protection from the weather. Frequent inspections are necessary to check that conditions for growth are good. If the plants do not grow quickly or thick enough to prevent erosion, the area should be reseeded as soon as possible.</p> <p>Temporary seed selection should take into account the season and location. Specific seed mixes can usually be found in the construction plans. The plans and specifications should reflect temporary seeding locations, quantities, and pay items. For suggested seed types, see Appendix D, Guidance on Seed Selection and Seeding of Temporary Vegetation on Disturbed Areas.</p> <p>Native grasses should not be used for temporary seeding. Irrigation or a temporary watering facility should be provided. Seed should be selected in accordance with local Natural Resources Conservation Service (NRCS) rules.</p> <p>Vegetative techniques can and should apply to every construction project, with few exceptions. Vegetation effectively reduces erosion in swales, stockpiles, berms, mild to medium slopes, and along roadways. Vegetative strips can provide some protection when used as a perimeter control for utility and site development construction.</p> <p>Surface Preparation</p> <ul style="list-style-type: none"> Interim or final grading must be completed prior to seeding, minimizing all steep slopes. Install all necessary erosion structures such as dikes, swales, diversions, etc., prior to seeding. Groove or furrow slopes steeper than 3:1 to the contour line before seeding. Provide 4-6 inches of topsoil over rock, gravel, or otherwise unsuitable soils. Seedbed should be well pulverized, loose, and uniform. <p>Plant Selection, Fertilization and Seeding</p> <ul style="list-style-type: none"> Use only high quality, U.S. Department of Agriculture (USDA)-certified seed. Use an appropriate species or species mixture adapted to local climate, soil conditions, and season. Consult with the local NRCS office or local County Extension Service as necessary for selection of proper species and application techniques in the area. Seeding rate should be in accordance with recommendations by the NRCS or Engineering Extension Service. Fertilizer shall be applied according to the manufacturer's recommendation with proper spreader equipment. Typical application rate for 10-10-10 grade fertilizer is 700-1000 lb/acre. DO NOT OVER APPLY FERTILIZER. If hydro-seeding is used, do not mix seed and fertilizer more than 30 minutes before application. Evenly apply seed using cyclone seeder, seed drill, cullpacker, or hydroseeder. Provide adequate water to aid in establishment of vegetation. Use appropriate mulching techniques where necessary.

01C1R.DOC A2-4

National Pollutant Discharge Elimination System Manual
Appendix A4 – Sediment Control
Revision 2
August 2012

Silt Fence (continued)
<p>2"x2" WOOD POST, STANDARD OR BETTER OR EQUAL ALTERNATE: STEEL FENCE POST</p> <p>FILTER FABRIC MATERIAL, USE STAPLES OR WIRE RINGS TO ATTACH FABRIC TO WIRE.</p> <p>SUPPORTING FENCE 2"x2" 14 GA. WIRE OR EQUIV.</p> <p>BURY BOTTOM OF FILTER MATERIAL IN 6" DEEP TRENCH</p> <p>FILTER FABRIC MATERIAL</p> <p>FABRIC ANCHORAGE TRENCH BACKFILLED WITH TAMPED NATURAL SOIL, 6"X 6" MIN.</p> <p>NATURAL SOIL</p> <p>2"x2" WOOD POST ALT: STEEL FENCE POST BURY 24" MIN.</p> <p>FLOW</p>

01C1R.DOC A4-6

National Pollutant Discharge Elimination System Manual
Appendix A5 – Good Housekeeping/Materials Management
Revision 2
August 2012

Stabilized Construction Entrance/Exit (continued)
<p>6" MIN.</p> <p>6" MIN.</p> <p>1" TO 3"</p> <p>COARSE AGGREGATE</p> <p>FILTER FABRIC</p> <p>REINFORCED CONCRETE WASH RACK</p> <p>DRAIN SPACE</p> <p>2'-0" MIN.</p> <p>R25'</p> <p>30' MIN.</p> <p>1/4" MIN.</p> <p>HARD SURFACE PUBLIC ROAD</p>

01C1R.DOC A5-20

1 SEEDING

SCALE: NTS

2 SILT FENCE

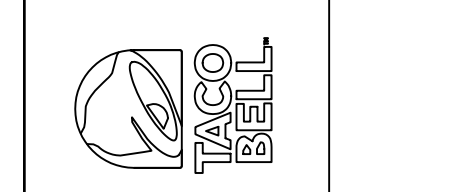
SCALE: NTS

3 STABILIZED CONSTRUCTION ENTRANCE/EXIT

SCALE: NTS

I:\server\server\Civil\Projects\2175023 Taco Bell - ABQ - Snow Vista\DWG\PRODUCTION\2175023 DETAILS.dwg PLOT: 08/21/2024 11:41:36 AM ORIG SIZE: 22"x34"

TACO BELL
98TH & SAGE
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM



DATE	DESCRIPTION	REV

DATE 08/21/2024
PROJECT NO. 2175023
SHEET NAME
EROSION CONTROL DETAILS
SHEET NO.
C807

CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT



SITE PLAN

TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

PLANT SCHEDULE TOTAL SITE						
CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT	SPACING
TREES						
ACE SNS	5	Acer negundo 'Sensation' Sensation Box Elder	2" Cal.	B&B	8' Ht.	As Shown
CEL OCC	4	Celtis occidentalis Common Hackberry	2" Cal.	B&B	8' Ht.	As Shown
GYM DIO	12	Gymnocladus dioica 'Espresso' Kentucky Coffeetree	2" Cal.	B&B	8' Ht.	As Shown
EVERGREEN TREES						
JUN GRA	10	Juniperus scopulorum 'Gray Gleam' Gray Gleam Juniper	6' Ht.	Container	--	As Shown
ORNAMENTAL TREES						
ACE GRN	4	Acer tataricum 'GarAnn' TM Hot Wings Tatarian Maple Multi-stem, min. of 2 trunks	2" Cal.	B&B	6' Ht.	As Shown
CHI BUR	11	Chilopsis linearis 'Burgundy' Burgundy Desert Willow	1.5" Cal.	B&B	6' Ht.	As Shown
CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT/SPREAD	SPACING
SHRUBS						
CER LIN	29	Cercocarpus ledifolius intricatus Little-leaf Mountain Mahogany	5 gal.	Container	3' Ht.	As Shown
CHR NAU	49	Chrysothamnus nauseosus nauseosus Dwarf Blue Rabbitbrush	5 gal.	Container	2' Ht.	As Shown
FAL PAR	36	Fallugia paradoxa Apache Plume	5 gal.	Container	2' Ht.	As Shown
PRU PAW	31	Prunus besseyi 'P011S' TM Pawnee Buttes Sand Cherry	5 gal.	Container	3' W.	As Shown
RHA IND	81	Rhaphiolepis indica Indian Hawthorn	5 gal.	Container	2' Ht.	As Shown
YUC GLA	50	Yucca glauca Soapweed	1 gal.	Container	10" Ht.	As Shown
GRASSES						
BOU BLO	3	Bouteloua gracilis 'Blonde Ambition' Blonde Ambition Blue Grama	1 gal.	Container	--	As Shown
MUH CAP	11	Muhlenbergia capillaris Pink Muhly Grass	1 gal.	Container	--	As Shown
PERENNIALS						
AGA CNA	25	Agastache cana Texas Hummingbird Mint	1 gal.	Container	--	As Shown
OEN COM	42	Oenothera macrocarpa 'Comanche Campfire' Comanche Campfire Evening Primrose	1 gal.	Container	--	As Shown

H: HEIGHT, CP: CALIPER, C: CONTAINER, MT: MULT-TRUNK, FTG: FULL TO GROUND
 1. O.C.: INDICATES APPROXIMATE SPACING TO BE EQUAL ON CENTER. SHALL BE CONSIDERED GENERAL GUIDELINE ONLY AND MAY BE MODIFIED TO SUIT ON-SITE CONDITIONS.
 2. MATCHED: SIZE AND OTHER PHYSICAL CHARACTERISTICS TO BE SIMILAR. ALL DIMENSIONS TO BE WITHIN 5% RANGE.
 3. QUANTITIES ON PLANT LIST ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLANS AND COVERAGE OF ALL AREAS DELINEATED. WHEN DISCREPANCIES OCCUR BETWEEN PLANT LIST AND PLANTING PLANS, THE PLANS ARE TO SUPERSEDE THE PLANT LIST.
 4. 4" CALIPER TREES AND LARGER TO BE LIMBED 6" MINIMUM TO FIRST BRANCH WITH NO VISIBLE PRUNING MARKS ALLOWED UNLESS OTHERWISE NOTED.
 5. ALL TREES TO HAVE A SINGLE CENTRAL LEADER UNLESS OTHERWISE NOTED.

LANDSCAPE REQUIREMENTS

TOTAL SITE: 65,675 SF
 REQUIRED: MINIMUM REQUIRED NET LANDSCAPED AREA = 9,851 SF (15%)
 PROVIDED: LANDSCAPED AREA = 26,566 SF (40%)

REQUIRED: ALL PARKING SPACES WITHIN 100' OF A TREE
 PROVIDED: ALL PARKING SPACES ARE WITHIN 100' OF A TREE

REQUIRED: ONE (1) TREE PER 10 PARKING SPACES (51 SPACES = 5 TREES)
 PROVIDED: 5 TREES

REQUIRED: 1 STREET TREE PER EVERY 25 LINEAR FEET OF LANDSCAPE FRONTAGE (244 LF = 10 TREES)
 PROVIDED: 10 TREES ALONG THE FRONTAGE OF SNOW VISTA

REQUIRED: TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPED AREA.
 OF THE REQUIRED VEGETATIVE COVER, A MINIMUM OF 25% SHALL BE GROUND-LEVEL PLANTS
 PROVIDED: TOTAL LANDSCAPE AREA: (26,566 SF - 5,145 SF WATER/SEWER EASEMENT) = 21,421 SF
 TREE CANOPY: 13,034 SF, SHRUB COVERAGE 3,205 SF
 TOTAL COVERAGE: 16,239 SF
 PROVIDED: (16,239 / 21,421) = 76% OF LANDSCAPE AREA WITH PLANT MATERIAL COVERAGE
 PROVIDED: (3,205 / 9,851) = 33% OF SHRUB COVERAGE

REQUIRED: GRAVEL OR CRUSHER FINES AS A GROUND COVER IS LIMITED TO A MAXIMUM OF 75% OF LANDSCAPED AREA
 PROVIDED: LANDSCAPE AREA = 26,566 SF, GRAVEL AREA = 15,841 SF: 60%

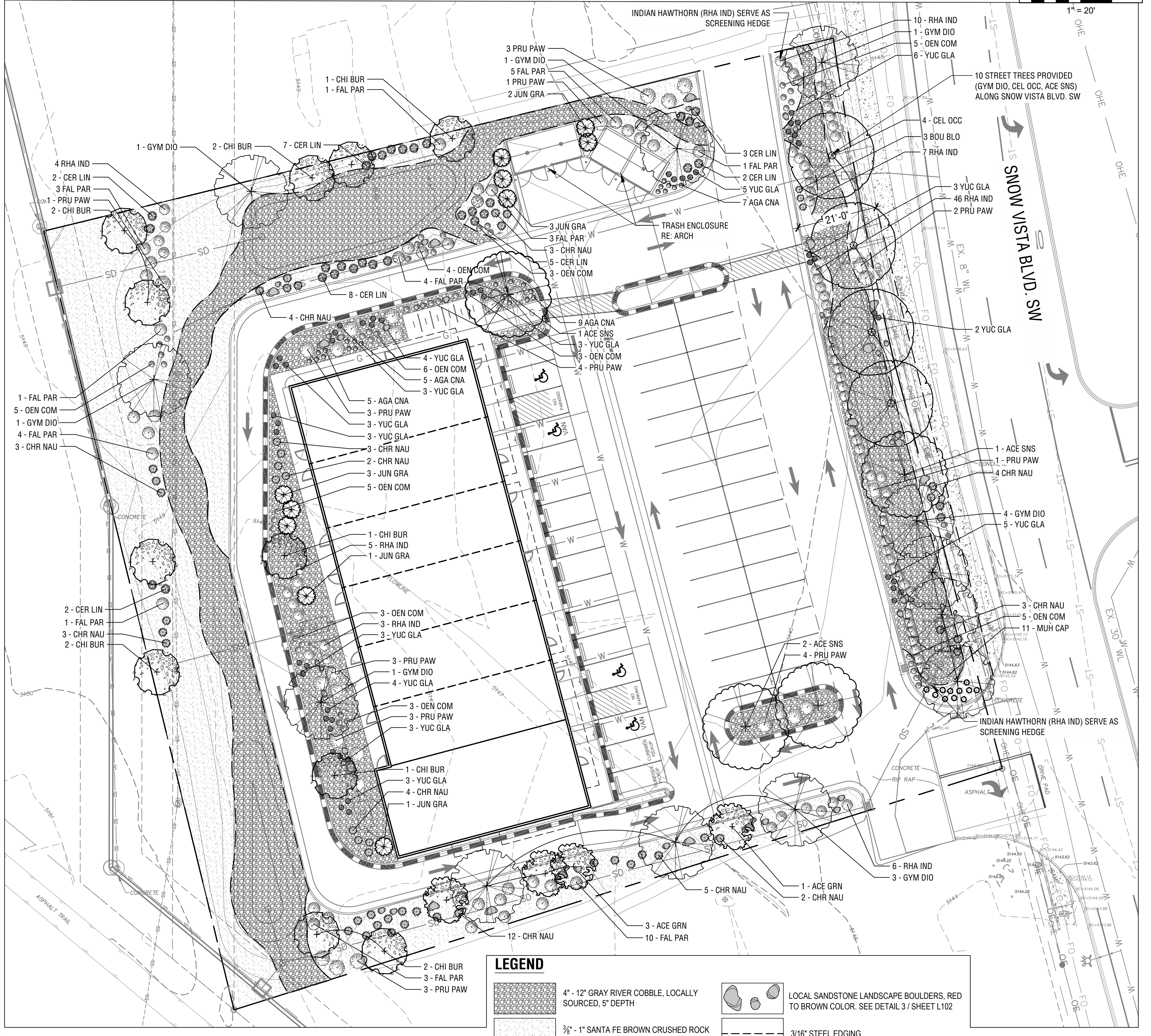
CAUTION

NOTICE TO CONTRACTOR

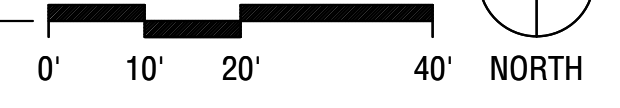
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.

PLANTING NOTES

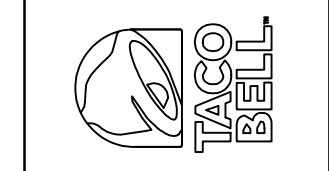
- CONTRACTOR TO ASCERTAIN LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION AND BE RESPONSIBLE FOR DAMAGE RESULTING FROM PLANTING OPERATIONS. REPAIRS SHALL BE MADE AT NO COST TO THE OWNER.
- ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN ON THE SURVEY. CONTACT THE LOCAL UTILITY LOCATION SERVICES PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.
- FINISH GRADE FOR SHRUB, GROUND COVER, AND LAWN AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENT AND CURBS UNLESS OTHERWISE NOTED ON DRAWINGS.
- FIELD STAKE LOCATIONS OF PROPOSED TREES FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO DELIVERY OF TREES.
- BOULDERS TO BE NATIVE, WEATHERED, FIELD-COLLECTED STONES WITH NO SUBSTANTIAL SCARS AND SHALL HAVE SIGNIFICANT COVERAGE OF LICHENS AND/OR MOSS. DIMENSIONS OF BOULDERS SHALL RANGE FROM .5 TONS TO 2 TONS, WITH 50% OF THE BOULDERS BEING ONE TON OR OVER. BOULDERS TO BE PARTIALLY BURIED TO SIMULATE A NATURAL CONDITION. DEPTH OF BOULDERS TO BE BURIED TO AVERAGE 1/3 OF HEIGHT OR AS NEEDED TO SIMULATE A NATURAL CONDITION. LOCATION AND ORIENTATION OF BOULDERS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE. PLACED BOULDERS TO BE PROTECTED FROM DAMAGE FROM CONSTRUCTION OPERATIONS.
- ALL VEGETATED MATERIAL SHALL BE PLANTED IN UNCOMPACTED SOIL.
- BY SUBMITTING A BID, THE CONTRACTOR ACKNOWLEDGES HAVING VISITED THE SITE AND BECOME FAMILIAR WITH THE CONDITIONS RELATED TO THE INSTALLATION OF SITE IMPROVEMENTS.



1 PLANTING PLAN
 1"=20'



TACO BELL
 98TH & SAGE
 1125 SNOW VISTA BLVD SW
 ALBUQUERQUE, NM



DATE

REV	DESCRIPTION

DATE 08/21/2024
 PROJECT NO. 2175023
 SHEET NAME

PLANTING PLAN

SHEET NO. **L100**

I:\Denver-Server\Civil\Projects\2175023 Taco Bell - ABQ - Snow Vista\2175023 Landscape\CAD\2175023 Landscape Sheets.dwg PLOT:8/23/2024 1:17:48 PM ORIG SIZE:22"x34"



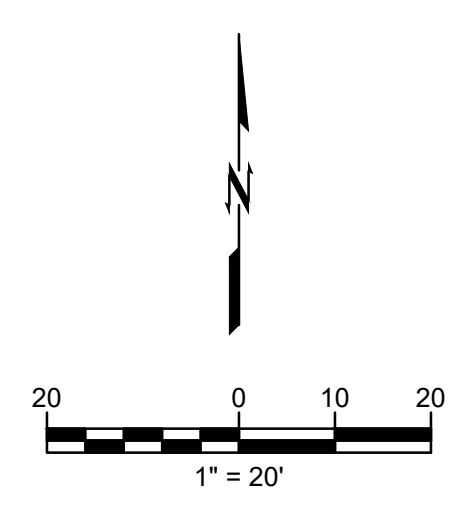
SITE PLAN

TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021



LANDSCAPE GRADING & TOPSOIL

1. TOPSOIL: REUSE FROM STOCKPILE AND PROVIDE NEW TOPSOIL AS NEEDED.
2. IMPORTED TOPSOIL: FRIABLE LOAM, TYPICAL OF CULTIVATED TOPSOILS LOCALLY; FREE OF SUBSOIL, ROOTS, GRASS, EXCESSIVE AMOUNT OF WEEDS, STONE, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 6.0 TO 7.0; CONTAINING A MINIMUM OF 2 PERCENT AND A MAXIMUM OF 5 PERCENT ORGANIC MATTER. TOPSOIL SHALL NOT BE DELIVERED OR USED FOR PLANTING WHILE IN A FROZEN OR MUDDY CONDITION. TOPSOIL SHALL CONFORM TO THE FOLLOWING GRAIN SIZE DISTRIBUTION FOR MATERIAL PASSING THE #10 SIEVE:

U.S.SIEVE SIZE NUMBER	PERCENT PASSING	
	MINIMUM	MAXIMUM
10	100	-
18	85	100
35	70	95
60	50	85
140	36	63
270	32	52
0.002MM	3	8

3. SUBMIT SOURCE AND ANALYSIS OF TOPSOIL FOR BACKFILL. TEST TO BE PERFORMED BY ACCREDITED SOILS LABORATORY. SUBMITS SOILS TEST AND RECOMMENDATIONS FOR AMENDMENTS INCLUDING ADJUSTING SOIL pH TO A VALUE BETWEEN 6.0 AND 7.0.
4. ELIMINATE UNEVEN AREAS AND LOW SPOTS. REMOVE DEBRIS, ROOTS, BRANCHES, STONES, IN EXCESS OF 1 INCH IN SIZE. REMOVE SUB-GRADE CONTAMINATED WITH PETROLEUM PRODUCTS.
5. SCARIFY SUB-GRADE TO DEPTH OF 6 INCHES WHERE TOPSOIL IS SCHEDULED. REMOVE DEBRIS THAT IS BROUGHT TO THE SURFACE IN EXCESS OF 1 INCH IN SIZE.
6. REVIEW SUB-GRADE SCARIFICATION WITH OWNER'S REPRESENTATIVE PRIOR TO COMMENCING PLACEMENT OF TOPSOIL.
7. USE TOPSOIL IN RELATIVELY DRY STATE. PLACE DURING DRY WEATHER.
8. FINE GRADE TOPSOIL OR PLANTING MIX ELIMINATING ROUGH OR LOW AREAS. MAINTAIN LEVELS, PROFILES, AND CONTOURS OF SUB-GRADE.
9. REMOVE STONE, ROOTS, GRASS, WEEDS, DEBRIS, AND FOREIGN MATERIAL WHILE SPREADING.
10. MANUALLY SPREAD TOPSOIL OR PLANTING MIX AROUND TREES, PLANTS, AND STRUCTURES, TO PREVENT DAMAGE.
11. LIGHTLY COMPACT PLACED TOPSOIL.
12. REMOVE SURPLUS SUBSOIL AND TOPSOIL FROM SITE.
13. LEAVE STOCKPILE AREA AND SITE CLEAN AND RAKED, READY TO RECEIVE LANDSCAPING.
14. TOP OF TOPSOIL OR PLANTING MIX TOLERANCES: PLUS OR MINUS 1/2 INCH.
15. REQUIRED TOPSOIL DEPTH FOR LANDSCAPE AREAS:
 - A. LAWN AREAS: 6 INCHES MINIMUM TOPSOIL.
 - B. PLANTING BEDS (SHRUBS, GROUNDCOVER, ETC.): 12 INCHES MINIMUM TOPSOIL.

PLANTING

1. WORK REQUIRED IN THIS SECTION TO BE PERFORMED BY EXPERIENCED PERSONNEL UNDER DIRECTION OF A SKILLED FOREMAN.
2. CONTRACTOR SHALL LOCATE ALL MATERIALS AND BE RESPONSIBLE FOR CONFORMANCE WITH REQUIREMENTS OF THIS SECTION. ALL PLANTS NOT MEETING REQUIREMENTS SHALL BE REJECTED.
3. ALL TREES TO BE REVIEWED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING
 - A. TREES WILL BE REVIEWED AT LOCAL GROWING OR NURSERY BY OWNER'S REPRESENTATIVE AND APPROVED BEFORE DELIVERING TO THE SITE. CONTRACTOR SHALL SCHEDULE REVIEW OF PLANT MATERIAL IN SUCH A MANNER THAT NO SINGLE REVIEW PERIOD WILL EXCEED ONE WORKING DAY WITH A MAXIMUM OF TWO REVIEW PERIODS. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION WITH ALL PARTIES PRIOR TO SCHEDULING.
4. ALL PLANT MATERIAL SHALL BE TRUE TO NAME, IN GOOD HEALTH, FREE OF DISEASE AND INSECTS, EXCELLENT IN FORM AND IN CONFORMANCE WITH ANSI Z60. SPECIES AND SIZE IDENTIFIED ON PLANT LIST. ALL PLANTER MATERIALS TO BE NURSERY GROWN.
5. B&B PLANTS TO BE MOVED WITH SOLID BALLS WRAPPED IN BURLAP. PLANTS TO BE LIFTED ONLY BY BALL OR CONTAINER
6. DELIVER PLANT MATERIALS IMMEDIATELY PRIOR TO PLACEMENT. KEEP PLANT MATERIALS NOT IMMEDIATELY INSTALLED MOIST AND PROTECT FROM FREEZING BY COVERING BALL OR CONTAINER WITH MULCH. ANY PLANTS NOT PLANTED WITHIN 2 DAYS OF DELIVERY ARE TO BE HEELED-IN IN A VERTICAL POSITION, ROOT BALLS FULLY ENCOMPASSED BY MULCH AND A TEMPORARY WATERING SYSTEM INSTALLED.
7. WARRANT ALL PLANTS TO BE LIVING, HEALTHY SPECIMENS FOR A PERIOD OF ONE YEAR COMMENCING UPON DATE OF SUBSTANTIAL COMPLETION. WARRANTY PERIOD SHALL TERMINATE ONLY IF PLANTS HAVE BEEN IN FULL LEAF FOR 30 DAYS AT END OF WARRANTY PERIOD. TERMINATION OF WARRANTY PERIOD SHALL BE EXTENDED AS NECESSARY TO COMPLY. ALL MATERIALS TO BE IN VIGOROUS CONDITION AT END OF WARRANTY PERIOD.
8. IMMEDIATELY REMOVE DEAD PLANTS AND PLANTS NOT IN A VIGOROUS CONDITION AND REPLACE AS SOON AS WEATHER CONDITIONS PERMIT. EACH REPLACEMENT SHALL BE COVERED WITH ONE YEAR WARRANTY COMMENCING AT TIME OF PLANTING. REPLACEMENTS TO MATCH ADJACENT PLANTS OF THE SAME SPECIES IN SIZE AND FORM.
9. CONTRACTOR TO BEGIN MAINTENANCE OF PLANT MATERIAL IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL DATE OF SUBSTANTIAL COMPLETION.
10. MAINTENANCE SHALL INCLUDE MEASURES NECESSARY TO ESTABLISH AND MAINTAIN PLANTS IN A VIGOROUS AND HEALTHY GROWING CONDITION. INCLUDE THE FOLLOWING:
 - A. CULTIVATION AND WEEDING OF PLANT BEDS AND TREE PITS. WHEN HERBICIDES ARE USED FOR WEED CONTROL, APPLY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. REMEDY DAMAGE RESULTING FROM USE OF HERBICIDES.
 - B. WATERING SUFFICIENT TO MAINTAIN OPTIMUM MOISTURE LEVEL.
 - C. PRUNING, INCLUDING REMOVAL OF DEAD OR BROKEN BRANCHES, AND TREATMENT OF PRUNE WOUNDS.
 - D. DISEASE AND INSECT CONTROL.
 - E. MAINTAINING PLANTS IN AN UPRIGHT, PLUMB POSITION, AND REPAIR OF SETTLING.
 - F. MAINTENANCE OF WRAPPINGS, GUYS, TURNBUCKLES AND STAKES. ADJUST TURNBUCKLES OR OTHERWISE KEEP
 - G. GUY WIRES TIGHT. REPAIR OR REPLACE ACCESSORIES WHEN REQUIRED.
11. MULCH: DOUBLE GROUND HARDWOOD BARK MULCH EQUAL TO THAT PRODUCED BY FOSTER BROTHERS, WOOD PRODUCTS INC. www.fosterbros.com. SUBMIT TYPE AND SOURCE FOR APPROVAL BY OWNER'S REPRESENTATIVE.
12. FERTILIZER: OSMOCOTE SLOW RELEASE 18-6-12
13. SOIL ACIDIFIER: EQUAL TO TIGER 90 CR ORGANIC SULPHUR 0-0-0-90
14. COMPOST: BACK TO EARTH COMPOSTED COTTON BURRS AS SUPPLIED BY SOIL MENDER PRODUCTS, LP www.soilmender.com
15. METAL EDGING: 3/16 INCH x 4 INCH STEEL LANDSCAPE EDGING WITH STEEL STAKES AS MANUFACTURED BY COL-MET, 3333 MILLER PARK SOUTH, GARLAND, TEXAS 75042, PHONE 972/494-3900, WWW.COLMET.COM. EDGING TO BE SET VERTICAL WITH TOP EDGE 1 INCH ABOVE FINISHED GRADE.
16. WRAPPING MATERIALS: HEAVY PAPER MANUFACTURED FOR TREE WRAPPING PURPOSE.
17. GREEN METAL FENCE POSTS (3 PER TREE) - 8 FOOT HEIGHT.
18. HARDWARE (CABLES, WIRE, EYE BOLTS, AND TURNBUCKLES): NONCORROSIVE; OF SUFFICIENT STRENGTH TO WITHSTAND WIND PRESSURE.
19. TIE STRAPS: SOFT POLYPROPYLENE MATERIAL EQUAL TO ARBORTIE, BY DEEP ROOT PARTNERS, L.P., 31 LANGSTON ST., SUITE 4, SAN FRANCISCO, CA, 94103, 1-800-277-7668.
20. REMOVE ALL WEEDS AND GRASSES FROM PLANTING BEDS. BERMUDA GRASS, IF PRESENT, TO BE EXTERMINATED BY APPROVED MEANS OR ALL SOIL REMOVED TO 6 INCH DEPTH AND REPLACED WITH TOPSOIL FREE OF BERMUDA GRASS.
21. STAKE TREE LOCATIONS AND PLACE SHRUBS, VINES, AND GROUND COVERS FOR REVIEW AND FINAL ORIENTATION BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
22. OUTLINE BED EDGES FOR APPROVAL BY OWNER'S REPRESENTATIVE.
23. EXCAVATE FOR PLANT MATERIALS. TREE PITS SHALL BE 8' IN DIAMETER. CIRCLE TO BE CENTERED ON TREE AND TRUE IN FORM. SLOPE CUT EDGE TO 6" DEPTH AND BOTTOM OF PIT TO DEPTH REQUIRED TO ACCOMMODATE TREE ROOTBALL. SHRUB PITS SHALL BE 12 INCHES GREATER IN DIAMETER THAN ROOT BALL. TOPSOIL FROM EXCAVATION MAY BE RETAINED FOR BACKFILL IF IT IS FRIABLE AND FREE OF ROCK AND CLODS GREATER THAN 2" IN DIA. REMOVE ALL SUBSOIL, ROCK, AND DEBRIS FROM SITE.
24. SET TREES WITH TOP OF ROOT BALL 3 INCHES ABOVE SURROUNDING GRADE, AND OTHER PLANT MATERIALS 1 INCHES ABOVE SURROUNDING GRADE, AFTER SETTLEMENT.
25. REMOVE CONTAINERS FROM CONTAINER-GROWN STOCK. SET PLANTS IN CENTER OF PITS AND BACKFILL WITH TOPSOIL IN 6 INCH LAYERS. PULL AWAY ROPES, WIRES, ETC. FROM THE TOP OF THE BALL.
26. REMOVE ANY SOIL FROM THE TOP OF THE ROOTBALL, TO THE LEVEL OF THE ROOT FLARE.
27. THOROUGHLY WATER SOIL WHEN THE HOLE IS HALF FULL, AND AGAIN WHEN FULL.

28. APPLY 1/2 POUND FERTILIZER EVENLY OVER CULTIVATED AREA AROUND EACH TREE AND 1 POUND PER 100 SQUARE FEET TO SHRUB AND GROUND COVER PLANTINGS.
29. AFTER PLANTING TREES, FORM A 3' DIAMETER RIDGE OF TOPSOIL AROUND EDGE OF EXCAVATION TO RETAIN WATER.

IRRIGATION

1. IRRIGATION SYSTEM TO BE ELECTRIC SOLENOID CONTROLLED UNDERGROUND SPRINKLER SYSTEM CONSISTING OF PVC PLASTIC PIPE AND FITTINGS, WITH FIXED SPRAY AND VARIABLE ARC ROTARY POP-UP HEADS IN A MULTI-STATION ELECTRIC CONTROL SYSTEM, PROGRAMMED AS APPROVED BY OWNER'S REPRESENTATIVE.
2. SUBMIT THE IRRIGATION DESIGN FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE NO LESS THAN TWO WEEKS PRIOR TO COMMENCING INSTALLATION OPERATIONS. THE DESIGN SHALL INCLUDE THE PIPING LAYOUT, LOCATION AND COVERAGE OF SPRINKLER HEADS, NOZZLE SIZES AND TYPES, PLANT AND LANDSCAPING FEATURES, SITE STRUCTURES, LIST OF FITTINGS TO BE USED, AND CONTROL SYSTEM AND WIRING DIAGRAMS AND DATA; AND SHALL NOTE WATER PRESSURE AT THE PROJECT SITE.
3. UPON COMPLETION AND FINAL REVIEW OF SYSTEM BY OWNER'S REPRESENTATIVE, CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS (REPRODUCIBLES) OF COMPLETED FACILITIES AS INSTALLED. DRAWINGS SHALL BE PROVIDED TO ARCHITECT IN A) ELECTRONIC FORM (AUTOCAD 2010 FORMAT) B) THREE (3) COPIES OF THE AS-BUILT DRAWING IN BLUELINE OR PHOTOCOPY FORM. AS-BUILT DRAWING SHALL SHOW THE MEASURED DISTANCE FROM EASILY IDENTIFIED, FIXED LOCATIONS TO ISOLATION VALVES, ELECTRIC CONTROL VALVES, MANUAL DRAIN VALVES AND WIRE SPLICES. TWO DIMENSIONS FROM FIXED POINTS PER LOCATION ARE REQUIRED.
4. UPON COMPLETION AND FINAL REVIEW OF SYSTEM BY OWNER'S REPRESENTATIVE, CONTRACTOR SHALL PROVIDE THREE (3) BINDERS CONTAINING MANUFACTURER'S INSTALLATION, OPERATION AND MAINTENANCE INSTRUCTIONS AS WELL AS A PARTS BREAKDOWN AND CATALOG FOR EACH PIECE OF EQUIPMENT INSTALLED ON THE PROJECT. AS A MINIMUM THE BINDERS SHALL INCLUDE INFORMATION FOR THE IRRIGATION CONTROLLER, BOOSTER PUMP, BACKFLOW PREVENTER, PRESSURE REGULATORS, ISOLATION VALVES, ELECTRIC CONTROL VALVES, DRAIN VALVES, AIR RELIEF VALVES, ALL SPRAY AND ROTARY SPRINKLER HEADS, RAIN AND FREEZE AND MOISTURE SENSORS.
5. IRRIGATION CONTRACTOR TO PROVIDE A RECOMMENDED SCHEDULE FOR RUN TIMES AND FREQUENCY OF WATERING FOR THE FIRST TWO WEEKS, THE FIRST TWO MONTHS, AND THE FIRST TWELVE MONTHS (INCLUDING ALL SEASONAL CHANGE REQUIREMENTS) AFTER COMPLETION OF ENTIRE SYSTEM.
6. CONTRACTOR TO INSTRUCT OWNER'S PERSONNEL IN OPERATION AND MAINTENANCE OF ENTIRE SYSTEM INCLUDING ADJUSTING OF SPRINKLER HEADS.
7. CONTRACTOR TO INSPECT IRRIGATION SYSTEM AT TWO AND FOUR WEEKS AFTER DATE OF SUBSTANTIAL COMPLETION AND MAKE NECESSARY ADJUSTMENTS.
8. ENTIRE IRRIGATION SYSTEM TO BE UNCONDITIONALLY GUARANTEED AGAINST DEFECTS IN MATERIAL AND WORKMANSHIP, INCLUDING REPAIR OF SETTLING OF BACKFILLED AREAS BELOW GRADE AND ADJUSTING HEADS TO PROPER LEVEL FOR A PERIOD OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
9. ALL MINOR ADJUSTMENTS, ANY DEFECTIVE ELECTRICAL CONTROL VALVES, SPRINKLER HEADS OR OTHER WORKING PARTS SHALL BE REPAIRED OR REPLACED WITHOUT COST TO THE OWNER FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
10. ALL DAMAGE BY OTHERS DURING THE ONE-YEAR GUARANTEE PERIOD WILL BE OWNER'S RESPONSIBILITY.
11. ALL MATERIALS TO BE INCORPORATED IN THIS SECTION BE NEW AND OF THE BEST QUALITY MEETING.
12. ACCEPTABLE PRODUCT MANUFACTURERS:
 - A. RAINBIRD
 - B. WEATHER-MATIC
 - C. HUNTER
 - D. TORO
13. MAINLINE PIPING TYPE & SIZE: AS INDICATED ON PLANS
14. MAINLINE PIPING DEPTH: 18" MINIMUM DEPTH
15. LATERAL PIPING TYPE & SIZE: ALL LATERAL PIPES, DOWNSTREAM OF THE CONTROL VALVES, SHALL BE HAVE SOLVENT WELD JOINTS AND SHALL MEET THE LATEST REQUIREMENTS OF ASTM D 2241 STANDARD SPECIFICATION FOR POLY (VINYL CHLORIDE) / (PVC) PLASTIC PIPE WITH STANDARD DIMENSION RATIO (SDR) OF 21 AND A PRESSURE RATING (PR) OF 200 PSI.
16. LATERAL PIPING DEPTH: 12" MINIMUM DEPTH.
17. LOW FLOW DRIP PIPING TYPE & FITTINGS: RAINBIRD OR EQUAL.
18. LOW FLOW DRIP PIPING DEPTH: BELOW MULCH LAYER OR AS SPECIFIED BY MANUFACTURER.
19. ALL PIPING TO HAVE MAXIMUM VELOCITIES OF FIVE FEET PER SECOND.
20. ALL 1/2" INLET SPRAY HEADS SHALL BE CONNECTED TO THE IRRIGATION PIPING UTILIZING 1/2" THICK WALLED POLYETHYLENE TUBING (RAIN BIRD MODEL SPX-100) AND APPROPRIATE INSERT FITTINGS (RAIN BIRD MODELS SBE-050, SBE-075, SBA-050, SBA-075). SUFFICIENT LENGTHS OF FLEXIBLE PIPE SHALL BE USED TO FORM A SWEEPING ARC TO ENSURE THAT SPRAY HEADS ARE SUPPORTED PROPERLY AND ALLOW FOR VERTICAL ADJUSTMENT AND MOVEMENT DURING SERVICE.
21. SWING JOINTS: EQUAL TO PREFABRICATED SCH. 80 PVCBY SPEARS. FOR USE ON GEAR-DRIVEN ROTARY HEADS, QUICK-COUPLING VALVES, AND GROUND LEVEL POP-UP IMPACT DRIVEN HEADS.
22. ZONE VALVES: RAINBIRD PEB OR EQUAL
23. WHERE POSSIBLE, LOCATION OF ZONE & OTHER VALVES TO BE IN GROUNDCOVER OR LOW PLANTING BEDS. VALVES INSTALLED IN TURF AREAS TO BE OUTSIDE NATURAL WALKWAYS AND PATHS.
24. VALVE BOXES FOR ZONE VALVES: EQUAL TO CARSON INDUSTRIES MODEL 1419 WITH 1419-6X EXTENSIONS.
25. VALVE BOXES TO BE SET WITH COVER FLUSH WITH FINISH GRADE WITH EARTH FILL CAREFULLY TAMPED AROUND EACH VALVE BOX.
26. VALVE BOXES SHALL BE SUPPORTED BY BLOCKING BELOW IN SUCH THAT ANY SURFACE LOADS ON THE VALVE BOX ARE NOT TRANSMITTED TO PIPING OR VALVES.
27. VALVE BOXES SHALL HAVE 12" BY 12" BY 8" MINIMUM DEPTH WASHED GRAVEL SUMP TO ALLOW WATER TO DRAIN AWAY FROM VALVES.
28. VALVE BOXES SHALL BE CENTERED ON THE VALVES.
29. ZONE VALVE BOXES TO BE PLACED PARALLEL TO NEARBY CURBS, WALKS, WALL, BUILDINGS, ETC.
30. ABOVE GRADE BACKFLOW PREVENTERS TO BE IN FIBERGLASS ENCLOSURE EQUAL TO "HOT BOX" MANUFACTURED BY NORTHEAST FLORIDA ENTERPRISES, INC. 1/800-736-0238. PLACE ON CONCRETE SLAB AND ANCHOR WITH 4 BOLTS. SIZE TO FIT BACKFLOW PREVENTER. PROVIDE ELECTRICAL CONNECTION FOR HEATER CABLE AS RECOMMENDED BY ENCLOSURE MANUFACTURER.
31. WIRE FOR COMMUNICATION BETWEEN THE CONTROLLER AND DECODERS SHALL BE 14-2 GAUGE MAXI-CABLE AS REQUIRED FOR THE DECODER SYSTEM.
32. ENVIRONMENTAL SENSORS TO BE EQUAL TO RAINBIRD WR2 RAIN/FREEZE SENSOR. MOUNT SENSOR AT INCONSPICUOUS LOCATION APPROVED BY OWNER'S REPRESENTATIVE USING MANUFACTURER'S RECOMMENDATIONS.
33. CONTRACTOR SHALL PROVIDE A BOOSTER PUMP TO INCREASE THE WATER PRESSURE WHERE NECESSARY TO PROVIDE DESIGNED PRESSURE. THE FINAL BOOSTER PUMP STATION DESIGN CRITERIA WILL DEPEND ON THE DESIGN REQUIREMENTS FOR PROJECT AS WELL AS THE STATIC WATER PRESSURE AT THE TIME OF PROJECT CONSTRUCTION. CONTRACTOR SHALL CONSULT WITH OWNER OR HIS REPRESENTATIVE BEFORE ORDERING THE BOOSTER PUMP.
34. INSTALL AUTOMATIC DRAIN VALVES AT ALL LOW SECTIONS OF LATERAL PIPING (LINES DOWNSTREAM FROM VALVES) TO ENSURE COMPLETE DRAINAGE OF SYSTEM WHEN NOT IN USE. WRAP EACH VALVE WITH APPROVED FILTER FABRIC. MINIMUM OF TWO DRAINS PER ZONE.
35. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION INCLUDING ALL PRESSURE TESTS, CONTRACTOR SHALL CONDUCT A PERFORMANCE TEST OF THE COMPLETE SYSTEM TO INSURE THAT ALL COMPONENTS ARE FUNCTIONING PROPERLY. PERFORMANCE TEST SHALL CONSIST OF OPERATING THE SYSTEM THROUGH A COMPLETE IRRIGATION CYCLE PER DAY FOR TWO (2) CONSECUTIVE DAYS. CONTRACTOR SHALL BE AT THE SITE TO MONITOR THE PERFORMANCE TESTS AND MAKE ANY ADJUSTMENTS AND CORRECTIONS AS NEEDED DURING THE TESTING PERIOD.

ORIG SIZE 22"x34"

PLOT:8/23/2024 1:18:55 PM

I:\Denver-Server\Civil\Projects\2175023 Taco Bell - Albuquerque - Snow Vista\2175023 Landscape\CAD\2175023 Landscape Sheets.dwg

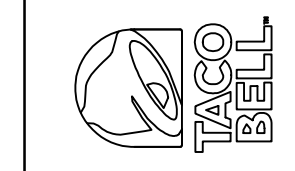
CAUTION

NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



TACO BELL
98TH & SAGE
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM



DATE				

DESCRIPTION				

REV				

DATE: 08/21/2024
PROJECT NO.: 2175023
SHEET NAME:

LANDSCAPE SPECIFICATIONS

SHEET NO.
L101

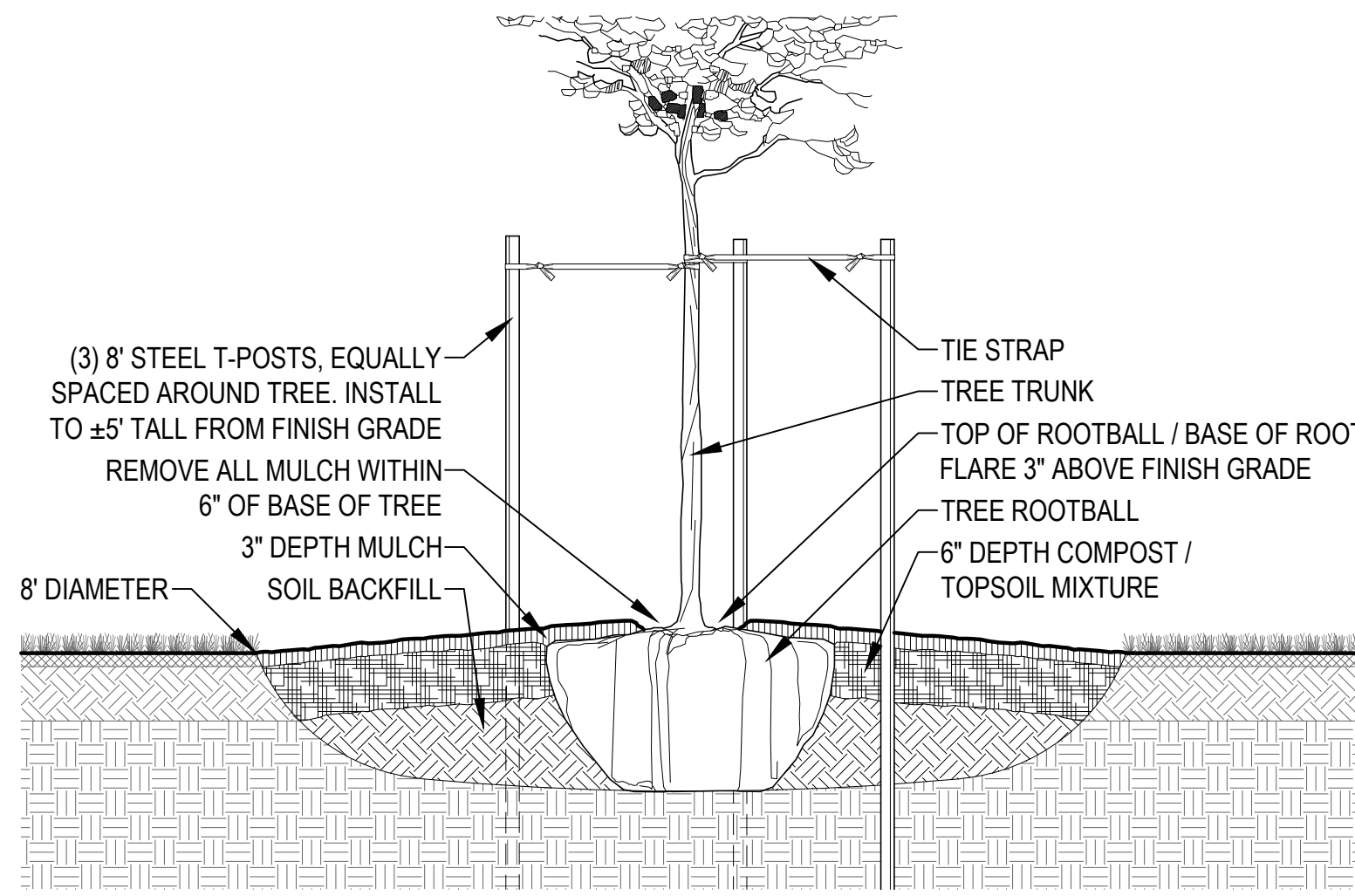
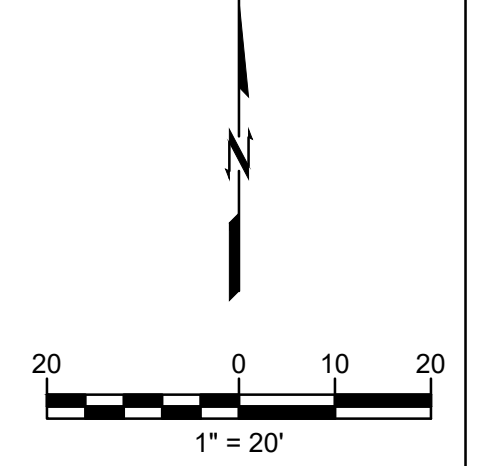
SITE PLAN

TACO BELL - SNOW VISTA BOULEVARD ALBUQUERQUE, NM

CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT

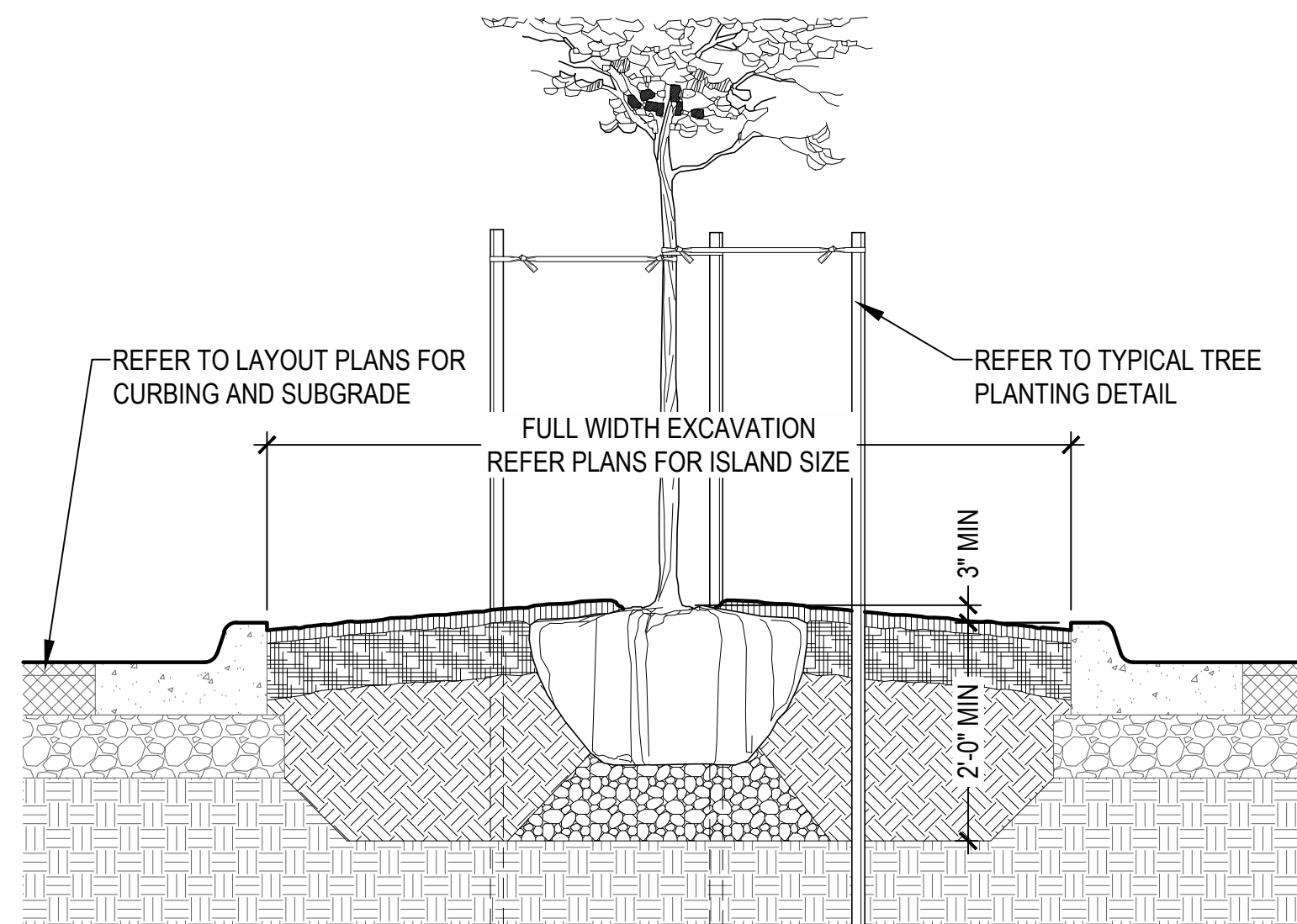
LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

wallace design collective
wallace design collective, pc
structural-civil-landscape-survey
9800 pyramid court, suite 350
englewood, co 80112
303.350.1690 - 800.344.5858



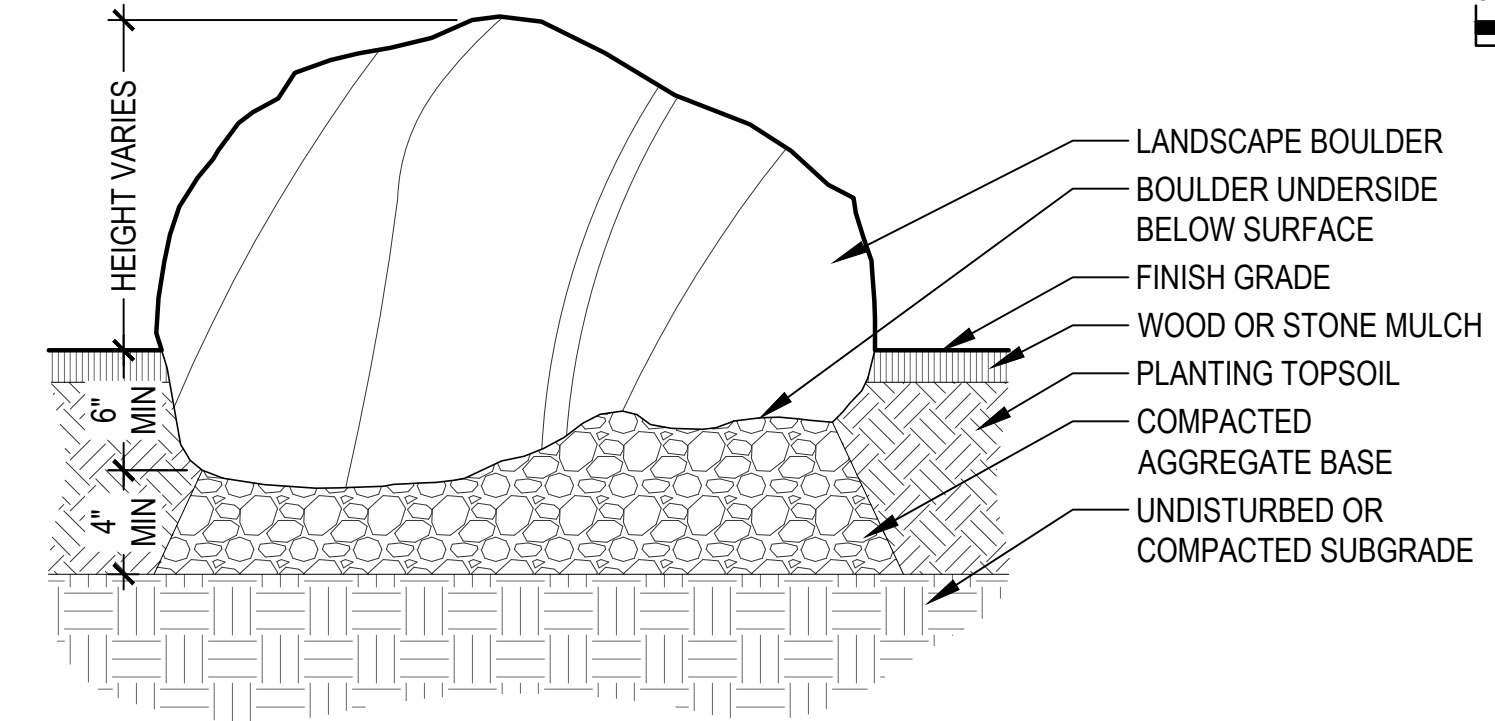
- NOTES**
- REFER TO LANDSCAPE PLANS FOR LOCATIONS AND EDGE CONDITIONS.
 - CONTRACTOR TO REMOVE ALL ROPE, BURLAP, AND TOP HOLDING RINGS FROM TOP OF ROOTBALL.
 - EXCAVATED SOIL MAY BE USED FOR BACKFILL IF IT IS FRIABLE AND FREE OF ROCKS AND CLODS OVER 2" DIAMETER. PROVIDE ADDITIONAL TOPSOIL IF NEEDED FOR TOPSOIL/COMPOST MIX AT SURFACE.
 - COMPOST TO BE EQUAL TO BACK TO EARTH COMPOSTED COTTON BURS AND BE INCORPORATED INTO UPPER 6" OF BACKFILL BY APPROVED MEANS AT THE RATE OF 8 CUBIC FEET (4-2CF BAGS) FOR EACH TREE.
 - TIE STRAP TO BE EQUAL TO (ARBORTIE) AS SUPPLIED BY DEEPROOT www.deeprooot.com CONTRACTOR TO USE (ARBORKNOT) TIE METHOD TO PRODE EXPANDING, GIRDLE FREE ATTACHMENT TO TREE.

1 TYPICAL TREE PLANTING
NTS



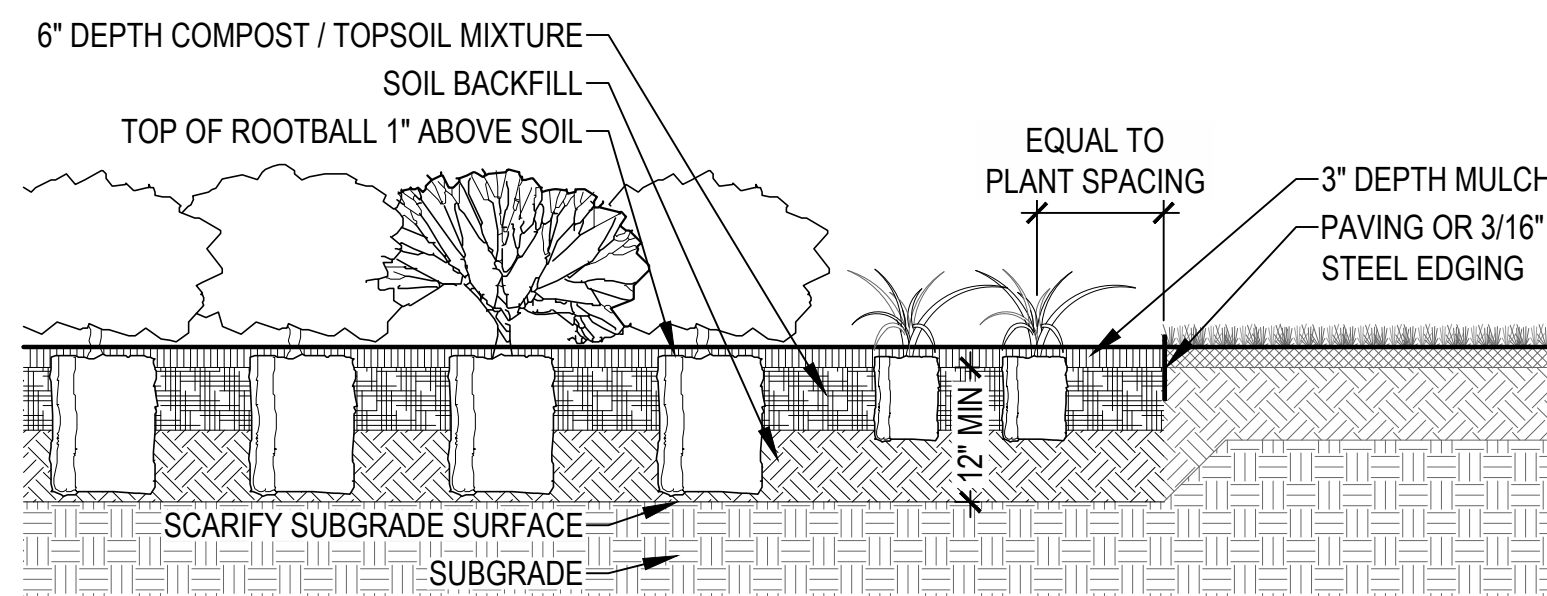
- NOTES**
- REFER TO LANDSCAPE PLANS FOR LOCATIONS AND EDGE CONDITIONS.
 - REFER TO TYPICAL TREE PLANTING DETAIL FOR MULCH, SOIL, COMPOST, GUYING, ETC.
 - CENTER OF PARKING LOT ISLAND TO BE MOUNDED WITH TOP OF ROOTBALL / BASE OF ROOT FLARE ABOVE ADJACENT CURB 3" MINIMUM - OR - 3% SLOPE, WHICH EVER IS GREATER.
 - EXCAVATION FOR PLANTING IN PARKING LOT ISLANDS TO BE 2'-0" MINIMUM WITH SOIL BACKFILL EXTENDING 6" MINIMUM BELOW TREE ROOTBALL WITH COMPACTED WASHED AGGREGATE FOR SUPPORT AS SHOWN.

2 TREE PLANTING IN PARKING LOT ISLAND
NTS



- NOTES**
- REFER TO LANDSCAPE PLANS FOR LOCATIONS AND EDGE CONDITIONS.
 - REFER TO CIVIL PLANS FOR SITE GRADING.
 - FOR CLARITY, FINISH GRADE TO BE CONSIDERED TOP OF TOPSOIL / BOTTOM OF RIVER ROCK.
 - BOULDERS TO BE NATIVE, WEATHERED, FIELD-COLLECTED SANDSTONE WITH NO SUBSTANTIAL SCARS AND SHALL HAVE SIGNIFICANT COVERAGE OF LICHENS AND/OR MOSS.
 - LANDSCAPE BOULDERS TO HAVE CHARACTER AND FACE ON ALL VISIBLE SIDES. OWNER'S REPRESENTATIVE TO APPROVE BOULDER SAMPLE PRIOR TO PLACEMENT.
 - BOULDERS SHOULD RANGE IN SIZE FROM 2'-4" L X 18"-30" W X 18"-30" H.
 - BOULDERS TO BE PARTIALLY BURIED TO SIMULATE A NATURAL CONDITION AS SHOWN. DEPTH OF BOULDERS TO BE BURIED TO AVERAGE 1/4 OF HEIGHT OR AS NEEDED TO SIMULATE A NATURAL CONDITION.
 - CONTRACTOR TO SUBMIT IMAGES OF BOULDERS INTENDED FOR USE ON PROJECT FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO DELIVERY.
 - STORED AND INSTALLED BOULDERS ON SITE TO BE PROTECTED FROM DAMAGE FROM ALL CONSTRUCTION OPERATIONS WITH DAMAGED BOULDERS REPLACED AT NO COST TO OWNER.
 - LOCATION AND ORIENTATION OF BOULDERS TO BE APPROVED BY OWNER'S REPRESENTATIVE.

3 TYPICAL BOULDER INSTALLATION
NTS



- NOTES**
- REFER TO LANDSCAPE PLANS FOR LOCATIONS AND EDGE CONDITIONS.
 - EXCAVATED SOIL MAY BE USED FOR BACKFILL IF IT IS FRIABLE AND FREE OF ROCKS AND CLODS OVER 2" DIAMETER. PROVIDE ADDITIONAL TOPSOIL IF NEEDED FOR TOPSOIL/COMPOST MIX AT SURFACE.
 - COMPOST TO BE EQUAL TO BACK TO EARTH COMPOSTED COTTON BURS AND BE INCORPORATED INTO UPPER 6" OF BACKFILL BY APPROVED MEANS FOR ALL SHRUB PLANTING AREAS.
 - TOPSOIL / BACKFILL SOIL DEPTH IN PLANTING AREAS TO BE 12" MINIMUM UNLESS OTHERWISE NOTED.

4 TYPICAL SHRUB PLANTING
NTS

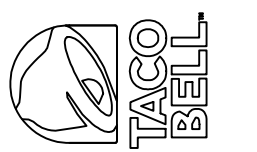
CAUTION

NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



TACO BELL
98TH & SAGE
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM



DATE	DESCRIPTION	REV

DATE 08/21/2024
PROJECT NO. 2175023
SHEET NAME

**LANDSCAPE
DETAILS**

SHEET NO.
L102

ORIG SIZE 22"x34"

PLOT:8/23/2024 1:20:42 PM

I:\Denver-Server\Civil\Projects\2175023_Taco Bell - ABQ - Snow Vista\2175023_Landscape\CAD\2175023_Landscape Sheets.dwg


Supportive Documentation

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.


10/5/2024

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

NA E. Off-Street Loading

- 1. Location and dimensions of all off-street loading areas

F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

A. Locate and identify adjacent public and private streets and alleys.

- 1. Existing and proposed pavement widths, right-of-way widths and curve radii
- 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- NA 3. Location of traffic signs and signals related to the functioning of the proposal
- 4. Identify existing and proposed medians and median cuts
- 5. Sidewalk widths and locations, existing and proposed
- 6. Location of street lights
- 7. Show and dimension clear sight triangle at each site access point
- 8. Show location of all existing driveways fronting and near the subject site.

NA B. Identify Alternate transportation facilities within site or adjacent to site

- 1. Bikeways and bike-related facilities
- 2. Pedestrian trails and linkages
- 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - NA A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- NA 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- NA 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

LETTER OF AUTHORIZATION

December 12, 2023

Lawrence Goodman Revocable Trust
u/a/d December 6, 1977
Attn: Scott Goodman
100 Sun Ave. N.E., Suite 200
Albuquerque, NM 87109
sgoodman@goodmanrealty.com

City of Albuquerque Planning & Development
Plaza del Sol
600 2nd NW
Albuquerque, NM 87102

Attn: City of Albuquerque Planning and Development

I, Scott Goodman of the Lawrence Goodman Revocable Trust u/a/d/December 6, 1977, property owner, hereby authorize Aaron Barnhart (Wallace), Jim Desmond (Wallace) and Mario Valentini (MRV) of Wallace Engineering (Wallace) and MRV Architects (MRV) respectively, and to prepare and sign application materials and otherwise represent the owner(s) regarding the Alvarado Development, LLC d/b/a Taco Bell development located at 1115 Snow Vista Blvd. SW, Albuquerque, New Mexico;

Description of Property. The parties acknowledge that the Final Plat was filed as Document #2022106470 in the office of the County Clerk of Bernalillo County, New Mexico on December 14, 2022, in Plat Book 2022C, Page 225, and that the proper legal description of the Property is as follows:

Lot 1D, as shown and designated on the Plat of Lots 1A, 1B, 1C, 1D and 1E, Snow Heights Investors, filed in the office of the County Clerk of Bernalillo County, New Mexico on December 14, 2022, in Plat Book 2022C, Page 225.

This authorization is limited to the submission of application materials to the City of Albuquerque planning and for the above referenced land development project.

By: Scott Goodman
Scott Goodman, on behalf of the Lawrence Goodman
Revocable Trust u/a/d/December 6, 1977

Date: 2/12/24

October 8, 2024

Planning Department- Development Review
City of Albuquerque
600 2nd St, NW
Albuquerque, NM 87102

Re: Project Justification Letter
Project Number PR-2024-009956
1115 Snow Vista Blvd, SW
Albuquerque, NM

To whom it may concern:

Alvarado Development, LLC is pleased to submit for Planning Review our proposed project located at 1115 Snow Vista Blvd, SW Albuquerque, NM.

We are planning to develop a multi-tenant space to be anchored by the latest Taco Bell design. This location will fit very nicely into the neighborhood, serving great food and the Community in a variety of ways such as an easily accessible dining room, drive-through lane, and mobile ordering.

Taco Bell, being the primary anchor of the Development, strives to engage with the community, offering above average wages, great and affordable food, as well as support of local charities, schools, and events. In addition to the Taco Bell, we also anticipate a variety of other retail services, such as dry cleaners, hair salons, walk-up food concepts, clothing shops, and others that will benefit the community.

The current zoning is NR-C, which is consistent with the proposed development; our engineers have done a good job of addressing zoning requirements such as setbacks, landscape requirements, building heights, internal traffic flow, and public access, and we do not anticipate the need for any variances currently. We have also worked closely with the various City departments such as Traffic, Waste Management, Fire, Water and Sewer, among others to address any questions or concerns they may have.



5654 Greenwood Plaza Blvd
Greenwood Village, CO 80111
P. (303) 745-0555 (F) (303) 745-7951

Please feel free to reach out if you have any questions, we look forward to a successful project and continuing to serve the Albuquerque community.

Kindest regards,

A handwritten signature in black ink, appearing to read 'TDK', is positioned above the printed name.

Tracy D. Knapp
V.P. of Development
Alvarado Development, LLC
678-458-9013
TDKnapp@TeamARN.com

MRV ARCHITECTS, INC.

5105 Tollview Dr., Suite 201, Rolling Meadows, IL 60008

Ph. (224) 318-2140 – Email: mariov@mrvarch.com

May 25, 2023

City of Albuquerque Planning Department
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102

Memo – Taco Bell / Tenant Building

Dear Planning Department,

The applicant, Alvarado Restaurant Nation are proposing site improvements for a new tenant building with a Taco Bell quick-service restaurant with accessory drive-thru as the end cap. The address of the proposed work shall be located at 1115 Snow Vista Blvd.

As planned, the site will have shared access with Lot 1E on Snow Vista Blvd. as well as cross access with Lot 1C (not in contract).

The proposed building is 9595 SF. Of the 9595 SF, Taco Bell shall occupy 1,950 SF at the south end of the building. The remaining area (7,645 SF) shall be devoted to retail spaces.

All the typical equipment required for a fully operating drive-thru will be present. This includes a menu board, speaker-post with canopy and clearance bar. The drive-thru window will be located at the southwest corner of the building. As planned, this site allows for a 12-car drive-thru stack.

The building façade includes a variety of materials including light colored stone veneer, Graphite color metal panel, and stucco (in light and dark tan). We are proposing Graphite awnings and bronze storefront throughout.

Please feel free to contact me with any further questions regarding the request for review.

Sincerely,

Mario Valentini

MRV Architects, Inc.

Public Notice Documentation

David Serban

From: Tracy D. Knapp <TDKnapp@TeamARN.com>
Sent: Tuesday, September 10, 2024 2:55 PM
To: David Serban; Aaron Barnhart; Jake Croop
Subject: Fw: 1115 Snow Vista Blvd. SW_Public Notice Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_M-09-Z_Site Label.pdf

See the attached links to use for applying for the permits and planning approval for 98th and Sage. Please let me know what else you need to complete the process.

Kindest regards,

Tracy D. Knapp
Vice President of Development

TDKnapp@TeamARN.com

Mobile 678-458-9013



Please submit all invoices to APinvoices@teamarn.com

From: Office of Neighborhood Coordination <onc@cabq.gov>
Sent: Tuesday, September 10, 2024 12:08 PM
To: Tracy D. Knapp <TDKnapp@TeamARN.com>
Subject: 1115 Snow Vista Blvd. SW_Public Notice Inquiry Sheet Submission

*****This email came from an EXTERNAL sender*****

PLEASE NOTE:
The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Route 66 West NA		Cherise	Quezada	cherquezada@yahoo.com	10304 Paso Fino Place SW	Albuquerque	NM	87121	5052631178	
Route 66 West NA		Paul	Fava	paulfava@gmail.com	505 Parnelli Drive SW	Albuquerque	NM	87121	5053853202	
South West Alliance of Neighborhoods (SWAN Coalition)		Geraldine	Ulibarri	gerulibbarri1@gmail.com	9009 Starboard NW	Albuquerque	NM	87121	5059076851	
South West Alliance of Neighborhoods (SWAN Coalition)		Lorenzo	Otero	housealbchrome@gmail.com	1413 Hilda Ct NW	Albuquerque	NM	87105		5053851251
Westgate Heights NA	westgate9901@gmail.com	Matthew	Archuleta	mattearchuleta1@hotmail.com	1628 Summerfield Place SW	Albuquerque	NM	87121	5054016849	

Westgate Heights NA	westgate9901@gmail.com	Christoper	Sedillo	navrmc6@aol.com	605 Shire Street SW	Albuquerque	NM	87121	6193155051	
Westside Coalition of Neighborhood Associations		Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	5059852391	5058982114
Westside Coalition of Neighborhood Associations		Elizabeth	Haley	elizabethkayhaley@gmail.com	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Tuesday, September 10, 2024 11:40 AM

To: Office of Neighborhood Coordination <TDKnapp@TeamARN.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Site Plan Review

Contact Name

Tracy Knapp

Telephone Number

678-458-9013

Email Address

TDKnapp@TeamARN.com

Company Name

Alvarado Development, LLC

Company Address

City

State

ZIP

Legal description of the subject site for this project:

Physical address of subject site:

1115 Snow Vista Blvd. SW, Albuquerque, NM 87121

Subject site cross streets:

98th St SW and Sage Ranch Ct

Other subject site identifiers:

This site is located on the following zone atlas page:

M-09-Z

Captcha

x

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [§14-16-6-4\(K\) Public Notice](#). This notice is being provided to the Neighborhood Representatives on the attached list from the City of Albuquerque’s Office of Neighborhood Coordination.

Project Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Contractor [if other than the property owner] _____
4. Application(s) Type* per IDO [Table 6-1-1](#)
 - Historic Certificate of Appropriateness – Minor
 - Sign Permit
 - Alternative Signage Plan
 - Wall/Fence Permit
 - Site Plan – Administrative

Summary of project/request*:

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 and select option for Development Review Services.

6. Where more information about the project can be found*:

Preferred project contact information:

Name: _____

Email: _____

Phone: _____

[Note: Items with an asterisk (*) are required.]

- Attachments:
 - Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination*
 - Others: _____

- Online website or project page: _____

Project Information Required for Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*¹ _____
2. Project Illustrations, as relevant*²

- Architectural drawings
- Elevations of the proposed building(s)
- Other illustrations of the proposed application

See attachments or the website/project page noted above for the items marked above

3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s)	Variance(s) ³	Waiver(s) ⁴
Explanation*:		

4. **For Site Plan – Administrative Applications only***,

Attach the proposed site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. *
- b. Access and circulation for vehicles and pedestrians. *
- c. Maximum height of any proposed structures, with building elevations. *
- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

¹ Available online here: <http://data.cabq.gov/business/zoneatlas/>

² While not required, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project.

³ Separate notice is required for Variance Applications.

⁴ Separate notice is required for Waiver Applications.

[Note: Items with an asterisk (*) are required.]

Pre-submittal Neighborhood Meeting date, if it occurred: _____

Brief Meeting Summary:

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

Additional Information from IDO Zoning Map⁵:

1. Area of Property [typically in acres] _____
 2. IDO Zone District(s) _____
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
 5. Current Land Use(s) [vacant, if none] _____
-

NOTE: Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice for a Site Plan – Administrative application that proposes more than 100 multi-family dwelling units or more than 50,000 s.f. of nonresidential development. To request a facilitated meeting, contact the Planning Department at devhelp@cabq.gov or 505-924-3860 and select the option for “Development Review Services”.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map:

<https://tinyurl.com/idozoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

Notificación de Acceso Lingüístico.

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaaszil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihgii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

David Serban

From: David Serban
Sent: Thursday, September 12, 2024 8:32 AM
To: cherquezada@yahoo.com
Cc: Tracy D. Knapp; Mario Valentini
Subject: Public Notice - New Multi-Tenant Building - 1115 Snow Vista Blvd. SW, Albuquerque, NM
Attachments: 1115 Snow Vista Blvd_Public Notice of Proposed Project.pdf; 1115 Snow Vista Blvd_Site Plan and Elevations.pdf

Hello,

We are notifying you that we are applying for a site plan approval from the Planning Department for a multi-tenant building with a Taco Bell endcap to be located at 1115 Snow Vista Blvd, SW, Albuquerque, NM 87121. I've attached the public notice form along with a PDF showing a zone atlas map, site plan, and elevations for the proposed project.

Thank you,

David Serban
MRV Architects, Inc.
5105 Tollview Dr., Suite 201
Rolling Meadows, IL 60008
Ph: 224-318-2140

David Serban

From: David Serban
Sent: Thursday, September 12, 2024 8:33 AM
To: paulfava@gmail.com
Cc: Tracy D. Knapp; Mario Valentini
Subject: Public Notice - New Multi-Tenant Building - 1115 Snow Vista Blvd. SW, Albuquerque, NM
Attachments: 1115 Snow Vista Blvd_Public Notice of Proposed Project.pdf; 1115 Snow Vista Blvd_Site Plan and Elevations.pdf

Hello,

We are notifying you that we are applying for a site plan approval from the Planning Department for a multi-tenant building with a Taco Bell endcap to be located at 1115 Snow Vista Blvd, SW, Albuquerque, NM 87121. I've attached the public notice form along with a PDF showing a zone atlas map, site plan, and elevations for the proposed project.

Thank you,

David Serban
MRV Architects, Inc.
5105 Tollview Dr., Suite 201
Rolling Meadows, IL 60008
Ph: 224-318-2140

David Serban

From: David Serban
Sent: Thursday, September 12, 2024 8:35 AM
To: gerulibbarri1@gmail.com
Cc: Tracy D. Knapp; Mario Valentini
Subject: Public Notice - New Multi-Tenant Building - 1115 Snow Vista Blvd. SW, Albuquerque, NM
Attachments: 1115 Snow Vista Blvd_Public Notice of Proposed Project.pdf; 1115 Snow Vista Blvd_Site Plan and Elevations.pdf

Hello,

We are notifying you that we are applying for a site plan approval from the Planning Department for a multi-tenant building with a Taco Bell endcap to be located at 1115 Snow Vista Blvd, SW, Albuquerque, NM 87121. I've attached the public notice form along with a PDF showing a zone atlas map, site plan, and elevations for the proposed project.

Thank you,

David Serban
MRV Architects, Inc.
5105 Tollview Dr., Suite 201
Rolling Meadows, IL 60008
Ph: 224-318-2140

David Serban

From: David Serban
Sent: Thursday, September 12, 2024 8:36 AM
To: housealbchrome@gmail.com
Cc: Tracy D. Knapp; Mario Valentini
Subject: Public Notice - New Multi-Tenant Building - 1115 Snow Vista Blvd. SW, Albuquerque, NM
Attachments: 1115 Snow Vista Blvd_Public Notice of Proposed Project.pdf; 1115 Snow Vista Blvd_Site Plan and Elevations.pdf

Hello,

We are notifying you that we are applying for a site plan approval from the Planning Department for a multi-tenant building with a Taco Bell endcap to be located at 1115 Snow Vista Blvd, SW, Albuquerque, NM 87121.

I've attached the public notice form along with a PDF showing a zone atlas map, site plan, and elevations for the proposed project.

Thank you,

David Serban
MRV Architects, Inc.
5105 Tollview Dr., Suite 201
Rolling Meadows, IL 60008
Ph: 224-318-2140

David Serban

From: David Serban
Sent: Thursday, September 12, 2024 8:38 AM
To: mattearchuleta1@hotmail.com
Cc: Tracy D. Knapp; Mario Valentini
Subject: Public Notice - New Multi-Tenant Building - 1115 Snow Vista Blvd. SW, Albuquerque, NM
Attachments: 1115 Snow Vista Blvd_Public Notice of Proposed Project.pdf; 1115 Snow Vista Blvd_Site Plan and Elevations.pdf

Hello,

We are notifying you that we are applying for a site plan approval from the Planning Department for a multi-tenant building with a Taco Bell endcap to be located at 1115 Snow Vista Blvd, SW, Albuquerque, NM 87121. I've attached the public notice form along with a PDF showing a zone atlas map, site plan, and elevations for the proposed project.

Thank you,

David Serban
MRV Architects, Inc.
5105 Tollview Dr., Suite 201
Rolling Meadows, IL 60008
Ph: 224-318-2140

David Serban

From: David Serban
Sent: Thursday, September 12, 2024 8:39 AM
To: navrmc6@aol.com
Cc: Tracy D. Knapp; Mario Valentini
Subject: Public Notice - New Multi-Tenant Building - 1115 Snow Vista Blvd. SW, Albuquerque, NM
Attachments: 1115 Snow Vista Blvd_Public Notice of Proposed Project.pdf; 1115 Snow Vista Blvd_Site Plan and Elevations.pdf

Hello,

We are notifying you that we are applying for a site plan approval from the Planning Department for a multi-tenant building with a Taco Bell endcap to be located at 1115 Snow Vista Blvd, SW, Albuquerque, NM 87121.

I've attached the public notice form along with a PDF showing a zone atlas map, site plan, and elevations for the proposed project.

Thank you,

David Serban
MRV Architects, Inc.
5105 Tollview Dr., Suite 201
Rolling Meadows, IL 60008
Ph: 224-318-2140

David Serban

From: David Serban
Sent: Thursday, September 12, 2024 8:40 AM
To: westgate9901@gmail.com
Cc: Tracy D. Knapp; Mario Valentini
Subject: Public Notice - New Multi-Tenant Building - 1115 Snow Vista Blvd. SW, Albuquerque, NM
Attachments: 1115 Snow Vista Blvd_Public Notice of Proposed Project.pdf; 1115 Snow Vista Blvd_Site Plan and Elevations.pdf

Hello,

We are notifying you that we are applying for a site plan approval from the Planning Department for a multi-tenant building with a Taco Bell endcap to be located at 1115 Snow Vista Blvd, SW, Albuquerque, NM 87121. I've attached the public notice form along with a PDF showing a zone atlas map, site plan, and elevations for the proposed project.

Thank you,

David Serban
MRV Architects, Inc.
5105 Tollview Dr., Suite 201
Rolling Meadows, IL 60008
Ph: 224-318-2140

David Serban

From: David Serban
Sent: Thursday, September 12, 2024 8:41 AM
To: aboard111@gmail.com
Cc: Tracy D. Knapp; Mario Valentini
Subject: Public Notice - New Multi-Tenant Building - 1115 Snow Vista Blvd. SW, Albuquerque, NM
Attachments: 1115 Snow Vista Blvd_Public Notice of Proposed Project.pdf; 1115 Snow Vista Blvd_Site Plan and Elevations.pdf

Hello,

We are notifying you that we are applying for a site plan approval from the Planning Department for a multi-tenant building with a Taco Bell endcap to be located at 1115 Snow Vista Blvd, SW, Albuquerque, NM 87121. I've attached the public notice form along with a PDF showing a zone atlas map, site plan, and elevations for the proposed project.

Thank you,

David Serban
MRV Architects, Inc.
5105 Tollview Dr., Suite 201
Rolling Meadows, IL 60008
Ph: 224-318-2140

David Serban

From: David Serban
Sent: Thursday, September 12, 2024 8:42 AM
To: elizabethkayhaley@gmail.com
Cc: Tracy D. Knapp; Mario Valentini
Subject: Public Notice - New Multi-Tenant Building - 1115 Snow Vista Blvd. SW, Albuquerque, NM
Attachments: 1115 Snow Vista Blvd_Public Notice of Proposed Project.pdf; 1115 Snow Vista Blvd_Site Plan and Elevations.pdf

Hello,

We are notifying you that we are applying for a site plan approval from the Planning Department for a multi-tenant building with a Taco Bell endcap to be located at 1115 Snow Vista Blvd, SW, Albuquerque, NM 87121.

I've attached the public notice form along with a PDF showing a zone atlas map, site plan, and elevations for the proposed project.

Thank you,

David Serban
MRV Architects, Inc.
5105 Tollview Dr., Suite 201
Rolling Meadows, IL 60008
Ph: 224-318-2140