

FORM S3: ADMINISTRATIVE APPLICATIONS – Development Facilitation Team (DFT) as of 12/25/2022**_ AMENDMENT TO INFRASTRUCTURE LIST**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Amended Infrastructure List
- ___ 6) Original Infrastructure List

_ TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

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- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) A scale drawing showing the location of the deferred sidewalk with appropriate dimensions

_ EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

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- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled

- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the deferral or extension
- ___ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

**_ INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA)
EXTENSION**

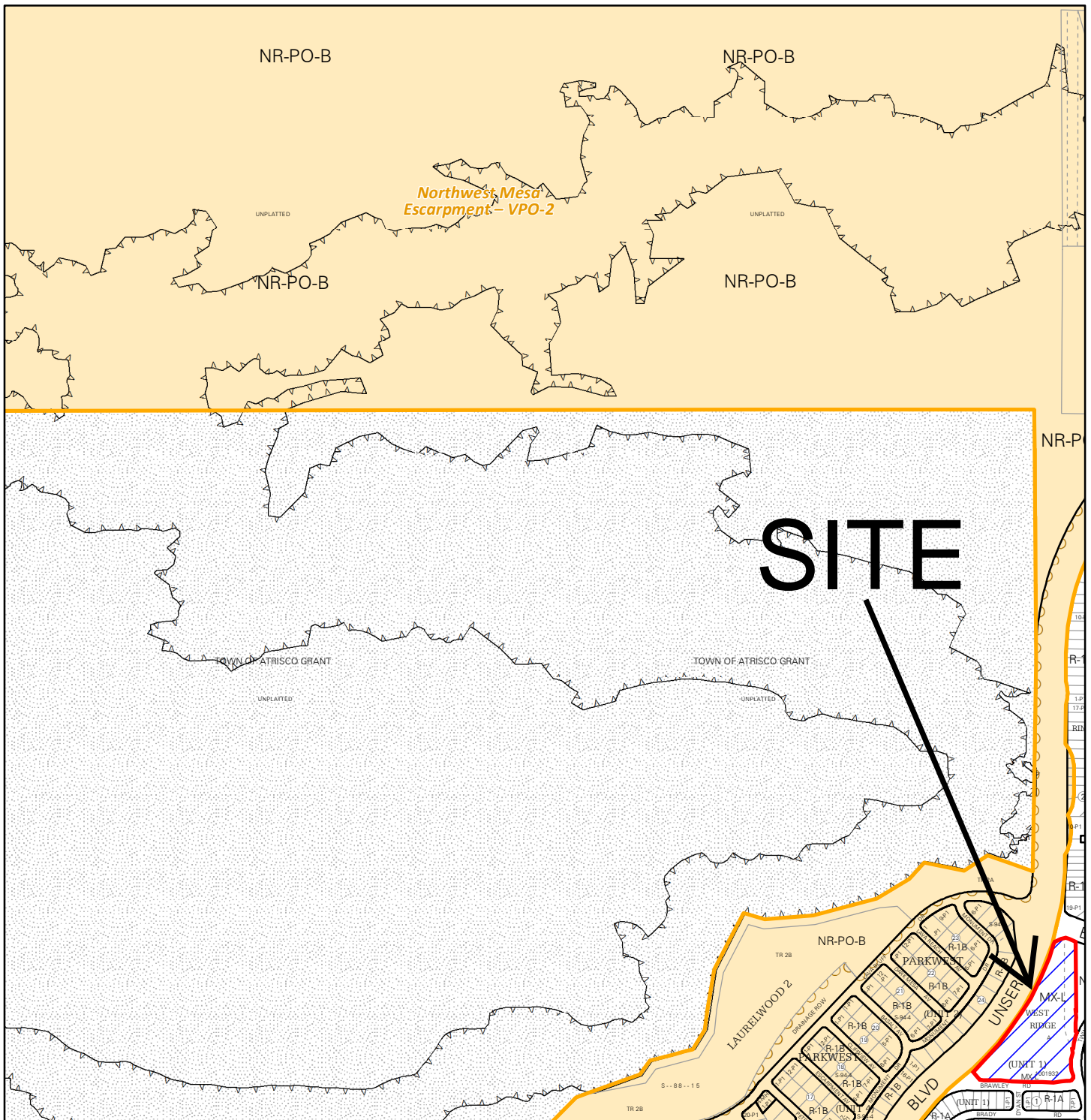
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- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- ___ 6) Preliminary Plat or Site Plan
- ___ 7) Copy of DRB approved Infrastructure List
- ___ 8) Copy of recorded IIA

_ SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT

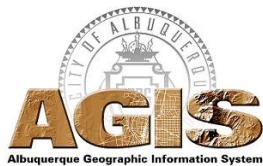
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- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter describing, explaining, and justifying the request
- ___ 5) Scale drawing of the proposed subdivision plat or Site Plan
- ___ 6) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

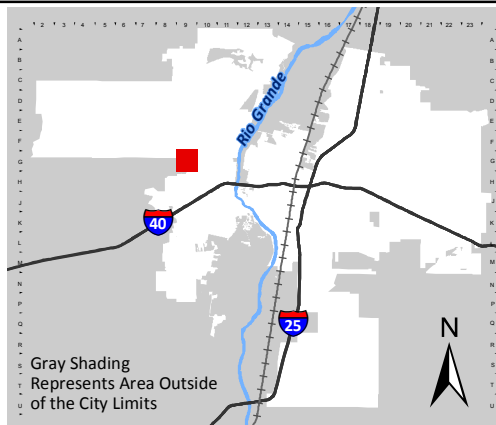


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

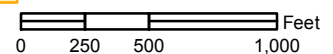


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
G-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





February 14, 2024

Landscape Architecture
Urban Design
Planning Services

Jolene Wolfley, Associate Director
Planning Department
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Ms. Wolfley:

The purpose of this letter is to request a sketch plat review for a proposed project located on Unser Boulevard NW in Albuquerque. The site is located on the southeast corner of Unser and Ouray and is shown on the attached zone atlas page G-9. The project is for a minor subdivision of land to create two new lots from the existing Tract A parcel.

The applicant is seeking the DFT's review and comments based on the proposed sketch plat submitted with this application. The intent of the applicant is to be fully informed of all requirements that may be imposed under the regulations of the IDO, DPM, and the original West Ridge Site Development Plan in order to obtain approval of a Preliminary/Final plat.

Please do not hesitate to contact me directly if you have any questions or require more information.

Thank you in advance for your review and consideration.

Sincerely,



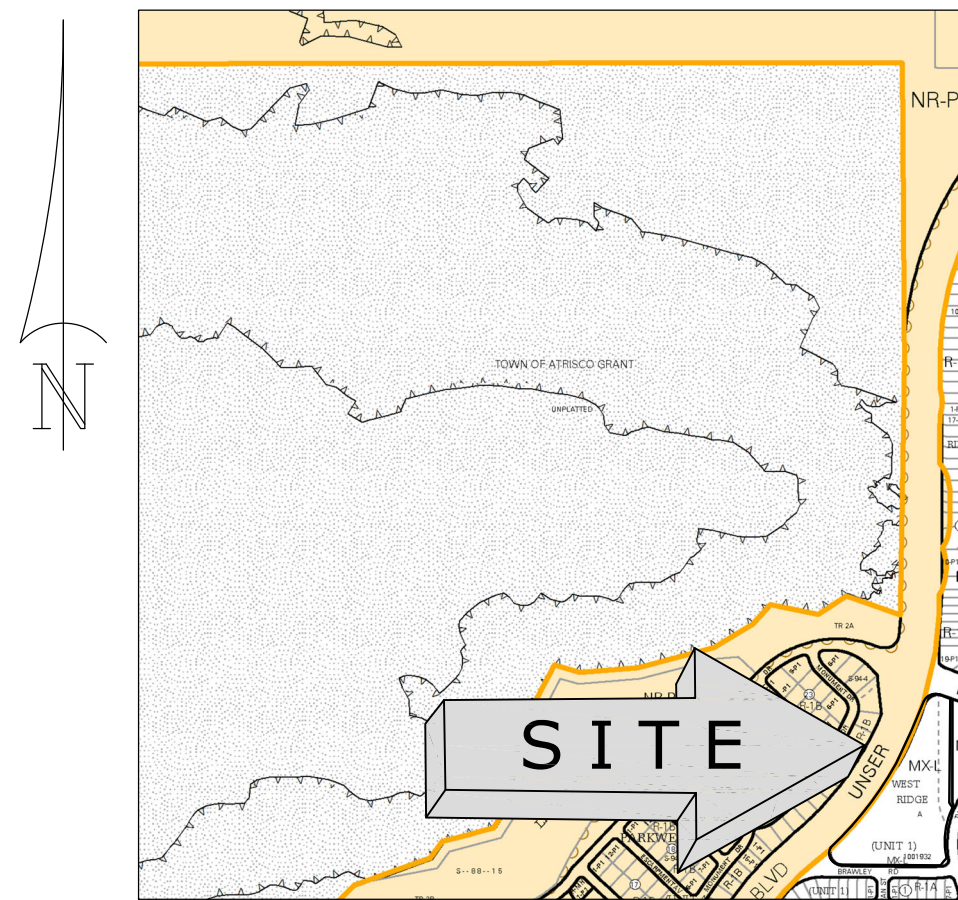
Jonathan Turner

PRINCIPALS

James K. Strozier, FAICP
Jacqueline Fishman, AICP

ASSOCIATES

Ken Romig, PLA, ASLA



VICINITY MAP NOT TO SCALE
ZONE ATLAS MAP G-9-Z

PUBLIC UTILITIES

Public Utility Easements shown on this plat are granted for the common and joint use of :

- a. **Public Service Company of New Mexico (PNM)**, a New Mexico Corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- b. **New Mexico Gas Company (NMGC)** for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- c. **Century Link dba Lumen Technologies** for the installation, maintenance and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- d. **Comcast** for the installation, maintenance and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate within the easement, change, remove replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric, transformers/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a title search of the properties shown hereon. Consequently, PNM and NMGC **DO NOT** waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

SOLAR NOTE:

No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat. The foregoing requirement shall be a condition to approval of this plat for subdivision.

PURPOSE OF PLAT :

The purpose of this plat is to divide existing Tract A into two new Tracts A1 and A2, West Ridge Subdivision Unit 1, to grant a new 24' access easement benefiting Tract A2 and to grant a new 15' public utility easement.

FREE CONSENT:

The undersigned owners and proprietors of the properties represented hereon do hereby certify and affirm that this replat is created with our free will and consent in accordance with our expressed wishes and desires.

by _____
_____ representative for Newsoul Church Date
a New Mexico Non-Profit Organization

ACKNOWLEDGEMENT

State of New Mexico)
County of _____) SS

The foregoing instrument was acknowledged before me this ____ day of _____, 2024 by: _____
Representative for Newsoul Church, a New Mexico Non-Profit Organization.

Notary Public: _____

NOTES:

1. The basis of bearings is the line Southerly line of Tract A, West Ridge Subdivision Unit 1, as measured with the "Trimble VRS Now" GNSS RTK Virtual Reference System. Bearings are New Mexico State Plane Bearings, Central Zone 3002, NAD83. Distances are ground distances. Elevation Datum is NAVD88. Bearings and distances shown in () are per record plat.
2. Documents used (on file at Bernalillo County Clerk unless otherwise noted):
 - a. Amended Plat of West Ridge Subdivision Unit 1, December 8, 2004, Bk. 2004C, Pg. 380.
 - b. Unrecorded Plat of Survey, Tracts A & D, West Ridge Subdivision Unit 1, dated June 2023, by Thomas W. Patrick NMPLS 12651, Community Sciences Corporation.
 - c. Unrecorded Topographic Survey, Tract A, West Ridge Subdivision Unit 1, dated June 2023, by Thomas W. Patrick NMPLS 12651, Community Sciences Corporation.
 - d. Underground Public Service Company of New Mexico Easement, Tract A, West Ridge Subdivision Unit 1, January 8, 2004, Bk. A71 Pg. 2426;
 - e. Warranty Deed, Tract A, West Ridge Subdivision Unit 1, February 23, 2023, Doc 2023010858;
 - f. U.S. West Easement, October 20, 1994, 94-29 Doc 6194.
3. This Property lies within Zone X, Area of Minimal Flood Hazard as per FEMA Flood Insurance Rate Map (FIRM) 35001-C-0326-J, Effective date 11/4/2016.
4. All easements of record are shown hereon.

TREASURER'S CERTIFICATION:

This is to certify that all taxes due and payable have been paid in full for year 2024 pursuant to New Mexico Statute 7-38-44.1

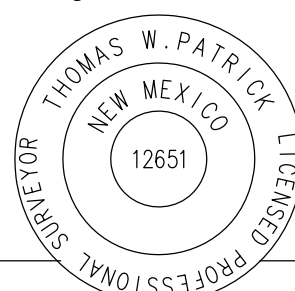
Tract A, West Ridge Subdivision Unit 1

UPC #101006000300532701

Bernalillo County Treasurer's Office: By: _____ Date: _____

SURVEYOR'S CERTIFICATION

I, Thomas W. Patrick, New Mexico Professional Surveyor No. 12651, hereby certify that this plat was prepared from an actual ground survey performed by me or under my supervision, that I am responsible for this plat and that this plat is true and correct to the best of my knowledge and belief. This plat conforms to the minimum standards for surveying in New Mexico as adopted by the New Mexico Board of Registration for Professional Engineers and Surveyors and to the City of Albuquerque Subdivision Ordinance.



Thomas W. Patrick
New Mexico Professional Surveyor No. 12651 Date

SUMMARY PLAT
Tract A1 and A2
West Ridge Subdivision Unit 1
BEING A REPLAT OF TRACT A, WEST RIDGE
SUBDIVISION UNIT 1.

SITUATE WITHIN
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10, T.10N, R.2E, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER 2023

SITE DATA:

FEMA Map Number 35001C0326G
Zoning SU1
No. of Existing Tracts 1
No. of Tracts Created 2
Total Area 5.0714 acres

Project Number: _____

Application Number: _____

Plat Approval

Utility Approvals

PNM Electric Services	Date
New Mexico Gas Company	Date
Century Link dba Lumen Technologies	Date
Comcast	Date
AMAFCA	Date

City Approvals:

City Surveyor	Date
Traffic Engineering, Transportation Division	Date
City Parks & Recreation Department	Date
City Engineer	Date
Code Enforcement	Date
Hydrology	Date
ABCWUA	Date
Planning Department	Date

INFO FOR COUNTY CLERK:

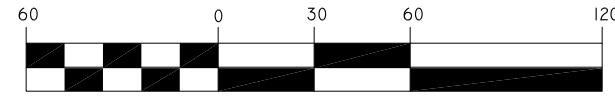
Owner: Newsoul Church
UPC #: 101006000300532701
Property: Tract A, West Ridge Subd Unit 1
Location: Projected Sections 3, 4, 9 & 10, T10N, R2E, NMPM, Town of Atresco Grant, Albuquerque, Bernalillo County, NM

SUMMARY PLAT
Tracts A1 & A2
West Ridge Subdivision Unit 1

DWG PATH: 1/29/2024 S:\N1446 - Simmons Architecture\Newsoul Church\Survey\Newsoul Replat.dwg
OPS: Baby, June 2023
CREW: JAK
SCALE: 1"=60'
DATE: October 18, 2023
DRAWN: DKS REVIEW: SLN.TWP
JOB NO: N1446-Simons



AGRS Station "9-G10, 2004"
 NAD83 NMSP Central Zone
 N = 1498490.51 us ft
 E = 1497549.44 us ft
 Ground to Grid = 0.999679844
 Mapping Angle = -0_16_29.40



SCALE: 1"= 60'

SUMMARY PLAT
Tract A1 and A2
West Ridge Subdivision Unit 1
 BEING A REPLAT OF TRACT A, WEST RIDGE
 SUBDIVISION UNIT 1.
 SITUATE WITHIN
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 PROJECTED SECTIONS 3, 4, 9 AND 10, T.10N, R.2E, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2023

Legal Description:

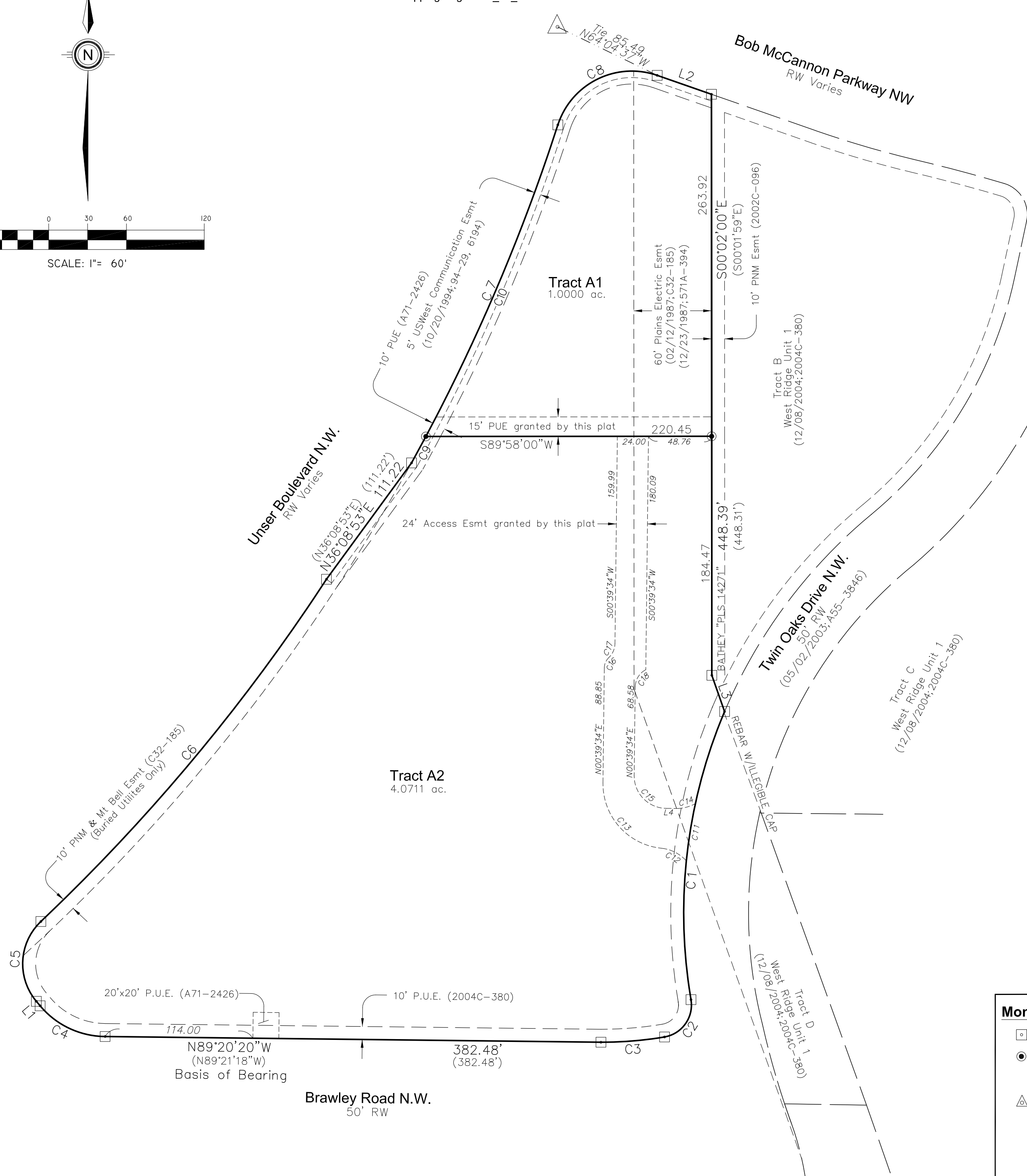
Tract A, West Ridge Subdivision Unit 1, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on December 8, 2004, in Volume 2004C, Page 380.

Said Tract A contains 5.0714 acres more or less.

Curve Table

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	32°33'45"	226.88'	399.21'	S06°38'47"W	223.84'
	32°30'36"	226.96'	400.00'	S06°36'24"W	223.93'
C2	89°54'31"	39.23'	25.00'	S35°19'20"W	35.33'
	89°53'08"	39.23'	25.00'	N35°21'05"E	35.32'
C3	9°44'34"	49.28'	289.81'	S85°16'59"W	49.22'
	10°20'38"	49.65'	275.00'	N85°28'23"E	49.58'
C4	49°40'25"	57.22'	66.00'	N64°41'22"W	55.44'
	49°19'30"	56.81'	66.00'	S64°41'40"E	55.08'
C5	86°31'46"	67.96'	45.00'	N03°14'56"E	61.68'
	86°31'25"	67.96'	45.00'	S03°13'50"W	61.68'
C6	13°21'44"	344.69'	1478.00'	N39°48'52"E	343.91'
	13°21'44"	344.69'	1478.00'	N39°48'52"E	343.91'
C7	10°57'38"	284.65'	1488.00'	N23°23'27"E	284.22'
	10°57'38"	284.65'	1488.00'	N23°22'21"E	284.22'
C8	91°06'35"	95.41'	60.00'	N63°30'18"E	85.67'
	91°06'32"	95.41'	60.00'	S63°29'12"W	85.67'
C9	0°53'36"	23.20	1488.00	N28°25'28"E	23.20
C10	10°04'02"	261.45	1488.00	N22°56'39"E	261.11
C11	6°25'18"	44.74	399.21	S09°00'08"W	44.72
C12	42°07'41"	22.12	30.08	N63°12'59"W	21.62
C13	84°56'24"	74.12	50.00	S41°48'38"E	67.52
C14	25°49'44"	13.53	30.01	N73°45'57"E	13.41
C15	90°20'21"	39.42	25.00	S44°30'37"E	35.46
C16	46°15'01"	8.88	11.00	S23°47'04"W	8.64
C17	46°15'01"	12.11	15.00	N23°47'04"E	11.78
C18	61°00'11"	16.25	15.26	S31°50'27"W	15.49

L1: N40°10'57"W, 4.52' (N40°12'03"W, 4.52')
 L2: S70°46'02"E, 44.32' (S70°47'08"E, 44.32')
 L3: S19°25'55"E, 29.60' (S19°39'38"E, 29.67')
 L4: S89°40'47"E, 9.51'



Monument Legend

- Found Monument as noted.
- Set 5/8" Rebar w/Yellow Cap Stamped PATRICK PS 12651 or Pk-Nail w/Disc PATRICK PS 12651
- △ Control Station

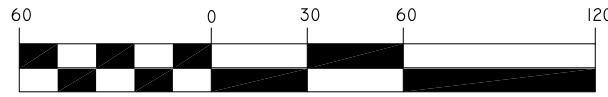
SUMMARY PLAT
Tracts A1 & A2
West Ridge Subdivision Unit 1

DWG. DATE: 1/29/2024 S:\N1446 - Simmons Architecture\Newsoul Church\Survey\Newsoul Replat.dwg
 DPK: Baby, June 2023
 CREW: JAK
 SCALE: 1"=60'
 DATE: October 18, 2023
 DRAWN: DKS REVIEW: SLN.TWP
 JOB NO: N1446-Simons

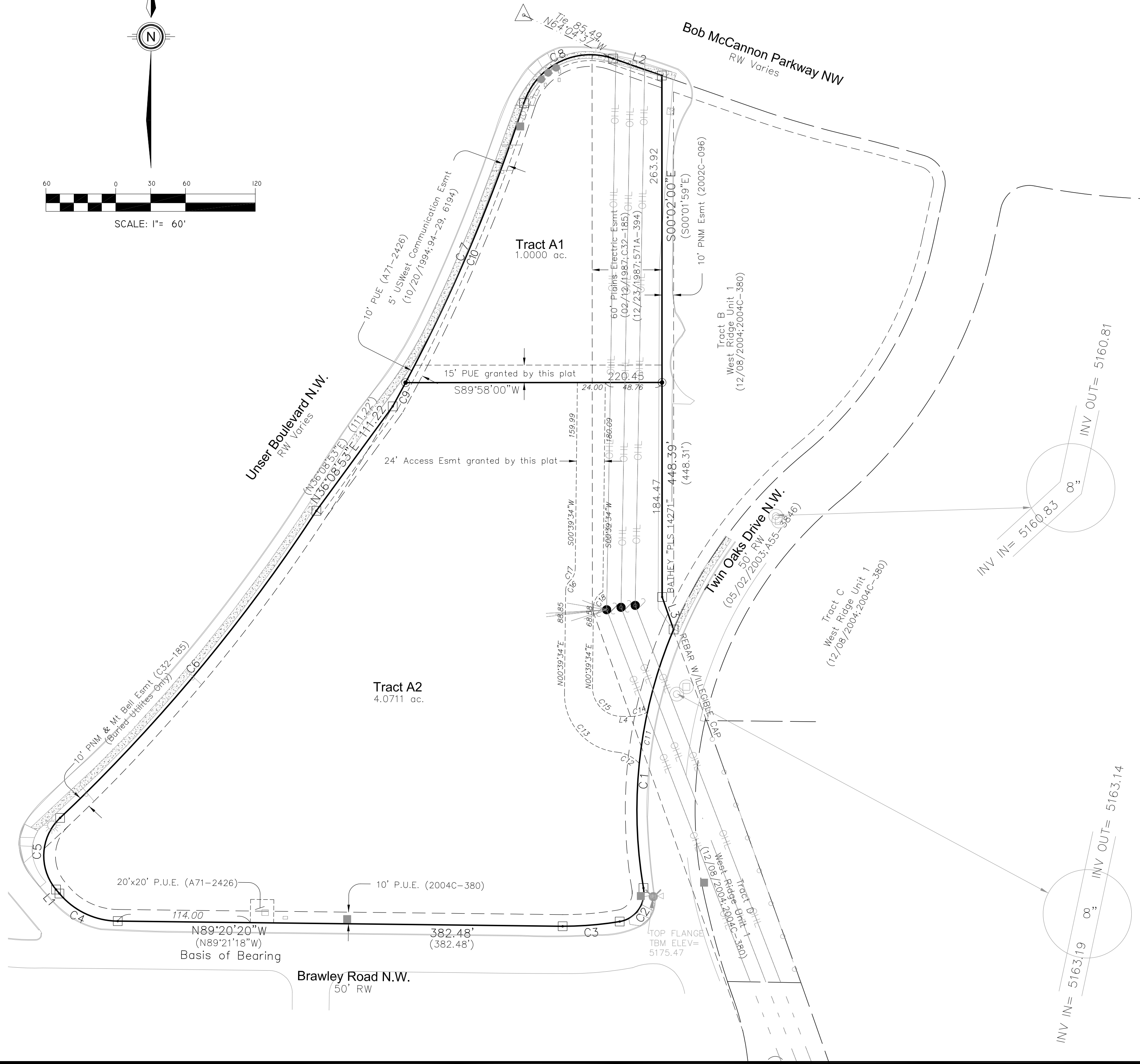
SITE PLAN EXISTING CONDITIONS Tract A1 and A2 West Ridge Subdivision Unit 1

SITUATE WITHIN
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10, T.10N, R.2E, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER 2023
















AGRS Station "9-G10, 2004"
NAD83 NMSP Central Zone
N = 1498490.51 us ft
E = 1497549.44 us ft
Ground to Grid = 0.999679844
Mapping Angle = -0_16_29.40



SCALE: 1"= 60'



Legend

-  FND MONUMENT AS NOTED
-  SET 5/8" REBAR W/CAP (PS12651)
OR PK-NAIL W/ SHINER (PS12651)
-  LIGHT POLE
-  FIRE HYDRANT
-  WATER METER
-  UTILITY PEDESTAL
-  BOLLARD
-  UTILITY POLE
-  POWER POLE
-  GUY WIRE
-  SIGN
-  SANITARY SEWER MANHOLE
-  STORM DRAIN MANHOLE
-  WHEELCHAIR RAMP
-  CONCRETE

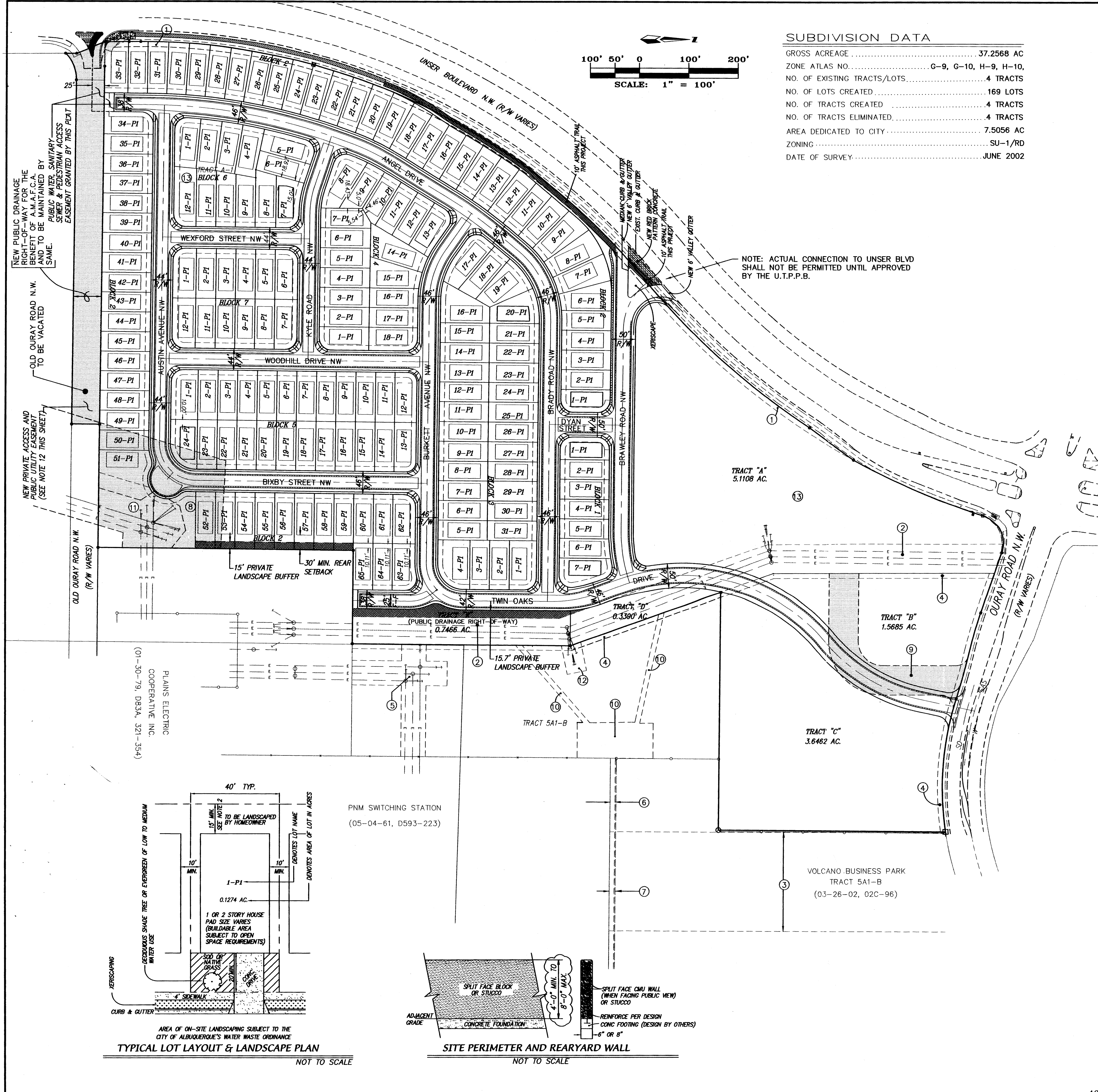
Symbols shown are indicative only.
The symbol size and orientation
does not necessarily represent
the real size or orientation of the feature.

SITE PLAN - EXISTING Tracts A1 & A2 West Ridge Subdivision Unit 1

DWS PATH: 1/29/2024 S:\N1446 - Simmons Architecture\Newsoul Church\Survey\Newsoul Replot.dwg	
DATE:	Baby June 2023
CREW:	JAK
SCALE:	1"=60'
DATE:	October 18, 2023
DRAWN:	DKS
REVIEW:	SLN,TWP
JOB NO.:	N1446-Simmons



PROJECT 1001932



SUBDIVISION DATA

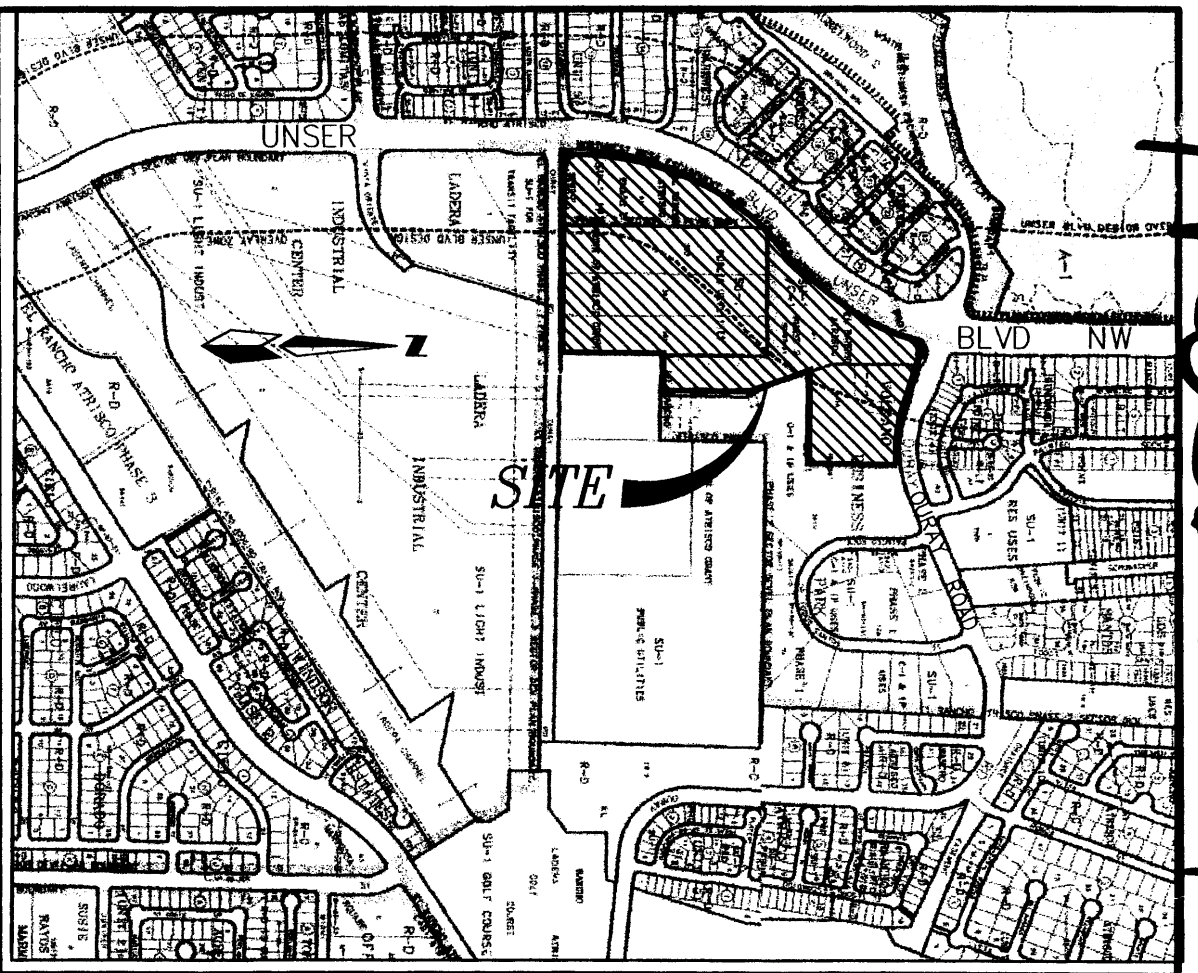
GROSS ACREAGE	37.2568 AC
ZONE ATLAS NO.	G-9, G-10, H-9, H-10
NO. OF EXISTING TRACTS/LOTS	4 TRACTS
NO. OF LOTS CREATED	169 LOTS
NO. OF TRACTS CREATED	4 TRACTS
NO. OF TRACTS ELIMINATED	4 TRACTS
AREA DEDICATED TO CITY	7.5056 AC
ZONING	SU-1/RD
DATE OF SURVEY	JUNE 2002

GENERAL NOTES:

- DEVELOPMENT DENSITY:**
Gross site area is 36.2357 acres.
Site is zoned SU-1 (RD, CI & IP)
- MINIMUM BUILDING SETBACK:**
There is no sideyard setback.
Front yard setback is 15'.
Minimum driveway length is 20'.
Backyard setback is 15', unless otherwise noted the following lots:
Lots 52 thru 59, Block 2 (30' per EPC)
Lots 63, 64 & 65, Block 2
Lots 7, 9, & 10, Block 4
- BUILDING HEIGHT:**
Structure shall not exceed 26 feet in height.
- PARK DEVELOPMENT:**
The developer will be paying cash in lieu of dedicating land for a park.
- OPEN SPACE:**
All open space requirements are met on the lot with the dwelling per the provisions of Section 14-16-3-B (A) (2).
- WATER AND SEWER:**
Prior to development, City of Albuquerque Water and Sanitary Sewer Service to the site must be verified and coordinated with the Utility Development Section, City of Albuquerque Public Works Department.
- PARKING:**
Off-street parking is provided on each site in accordance with Section 14-16-3-1 of the zoning code for lots with the "PI" designation.
- ACCESS:**
Site ingress/egress is provided entirely by public streets.
- BUILDINGS:**
Buildings will be traditional or southwest style with flat or pitched roofs.
The exterior stucco finish will consist of colors in shades of earthtones.
- LANDSCAPING:**
Both individual and community landscaping shall comply with the Water Conservation Landscaping and Water Waste Ordinance. Perimeter landscaping shall be in accordance with the Street Tree Ordinance and trees planted will be in accordance with the list of deciduous and evergreen trees listed in the City of Albuquerque Guide to Zieriscapins.
- PERIMETER WALL:**
The subdivision perimeter garden wall will be constructed of CMU and will be covered by either stucco or consist of a Split-Faced texture. The maximum wall height will be 8.0 feet, and minimum of 4.0 feet.
- NEW EASEMENTS:**
New Private Access Easement granted to the Owners of the Lands of Plains Electric Generation and Transmission CO-OP, Inc. (01-30-79, Bk D83A, Pg. 321-354) and the Lands of PNM (05-04-61, Bk D-593, Pg 223), its Successors or Assigns, by this plan and to be jointly maintained by said owners. Access by beneficiaries shall be free and unrestricted.

EASEMENTS

- EXISTING 10' PNM AND MT. BELL EASEMENT (BURIED UTILITIES ONLY) (02-12-87, C32-185)
- EXISTING 60' PLAINS ELECTRIC EASEMENT (02-12-87, C32-185) (12-23-87, BK. MISC. 571A, PG. 394)
- EXISTING 200' PNM EASEMENT (04-24-86, C30-78)
- EXISTING 10' PNM EASEMENT (03-26-02, 02C-96)
- EXISTING 50' PNM EASEMENT (04-24-86, C30-78)
- EXISTING 10' PUE (06-12-95, 95C-208)
- EXISTING 12' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF AND TO BE MAINTAINED BY TRACT 5A1 AND 5A2-A1-1 (04-03-98, 98C-89)
- EXISTING 200' EASEMENT UNITED STATES DISTRICT COURT CAUSE NO. 1845 (02-05-92, BK. MISC. D197, PGS. 571-572) VACATED PORTION SHOWN PER 1/8
- EXISTING EASEMENT AGREEMENT, FINAL LOCATION TO BE COMPLETED AND EXECUTED AS THE FINAL DEVELOPMENT PLAN FOR TRACT 5A1-A IS APPROVED BY G.O.A. (09-14-90, BK. BCR 90-15, PG. 3409) VACATED PER 1/8
- EXISTING PRIVATE DRAINAGE EASEMENTS, FOR THE BENEFIT OF TRACT 5A1-B. (03-26-02, 02C-96)
- EXISTING PNM EASEMENT (03-11-02, BK. A33, PG. 1956) - TO REMAIN
- EXISTING 40' PLAINS ELECTRIC ANCHOR EASEMENT (12-23-87, BK. MISC. 571A, PG. 394)
- THESE TRACTS ARE AFFECTED BY A RIGHT-OF-WAY EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY, DATED DECEMBER 13, 1928, RECORDED IN BOOK 112, PAGE 290, SAID EASEMENT AMENDED BY A MODIFICATION EASEMENT, DATED JANUARY 31, 1973, RECORDED IN BOOK MISC. 298, PAGE 635, SAID EASEMENT ASSIGNED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY ASSIGNMENT DATED DECEMBER 26, 1974, RECORDED IN BOOK 575, PAGE 928, ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.



VICINITY MAP ZONE MAP: H-9/10-Z

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 3, 4, 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 5A1-A, VOLCANO BUSINESS PARK as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 28, 2002 in Book 2002C, Page 96 and all of TRACTS A-1 and B-1, EL RANCHO ATRISCO, PHASE II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 1987 in Volume C32, Folio 185 together with all of LANDS OF PLAINS ELECTRIC COOPERATIVE, INC. as the same is described in a WARRANTY DEED filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 14, 1964 in Book D756, Page 258 together with a portion of VACATED OLD OURAY ROAD N.W. and containing 37.2568 acres, more or less.

PROJECT NO. 1001932
 APPLICATION NO. 02-DEB-01581
 APPROVED AND ACCEPTED BY:

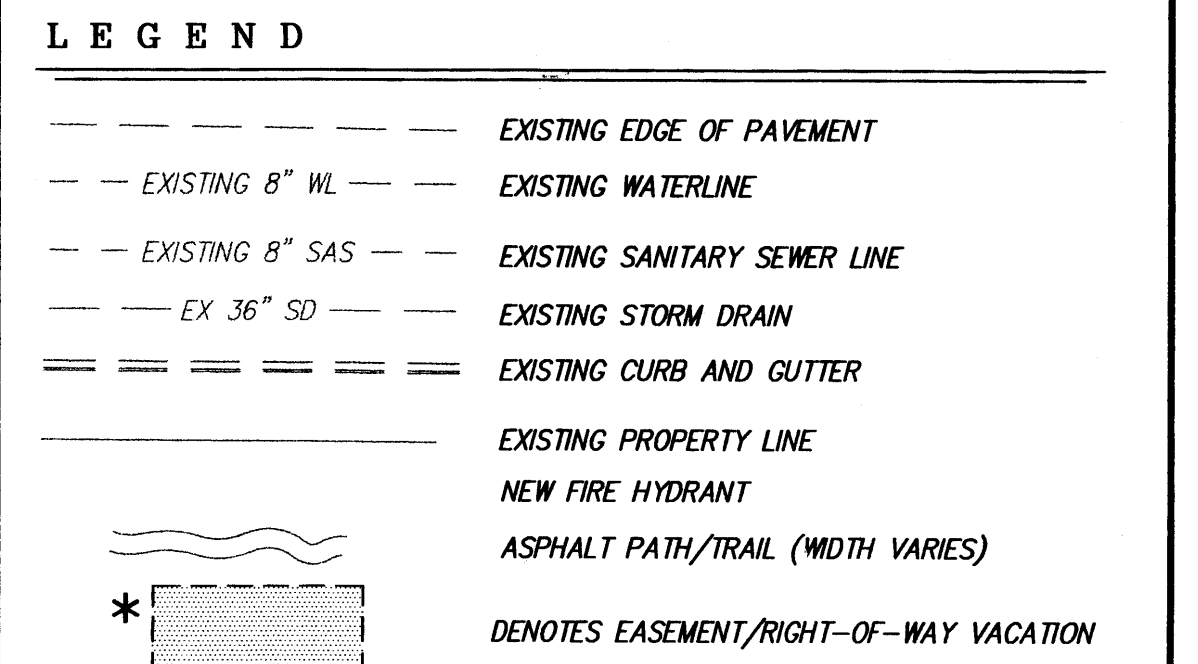
Sherrill Nelson 4/22/03
 Planning Department

Bruce J. Blythe 1/8/03
 City Engineer

Robert D. Dault 1-08-03
 Transportation Development

Roger A. Green 1-8-03
 Utility Development

Christine Sandral 1/8/03
 Parks and Recreation



WEST RIDGE SITE DEVELOPMENT PLAN

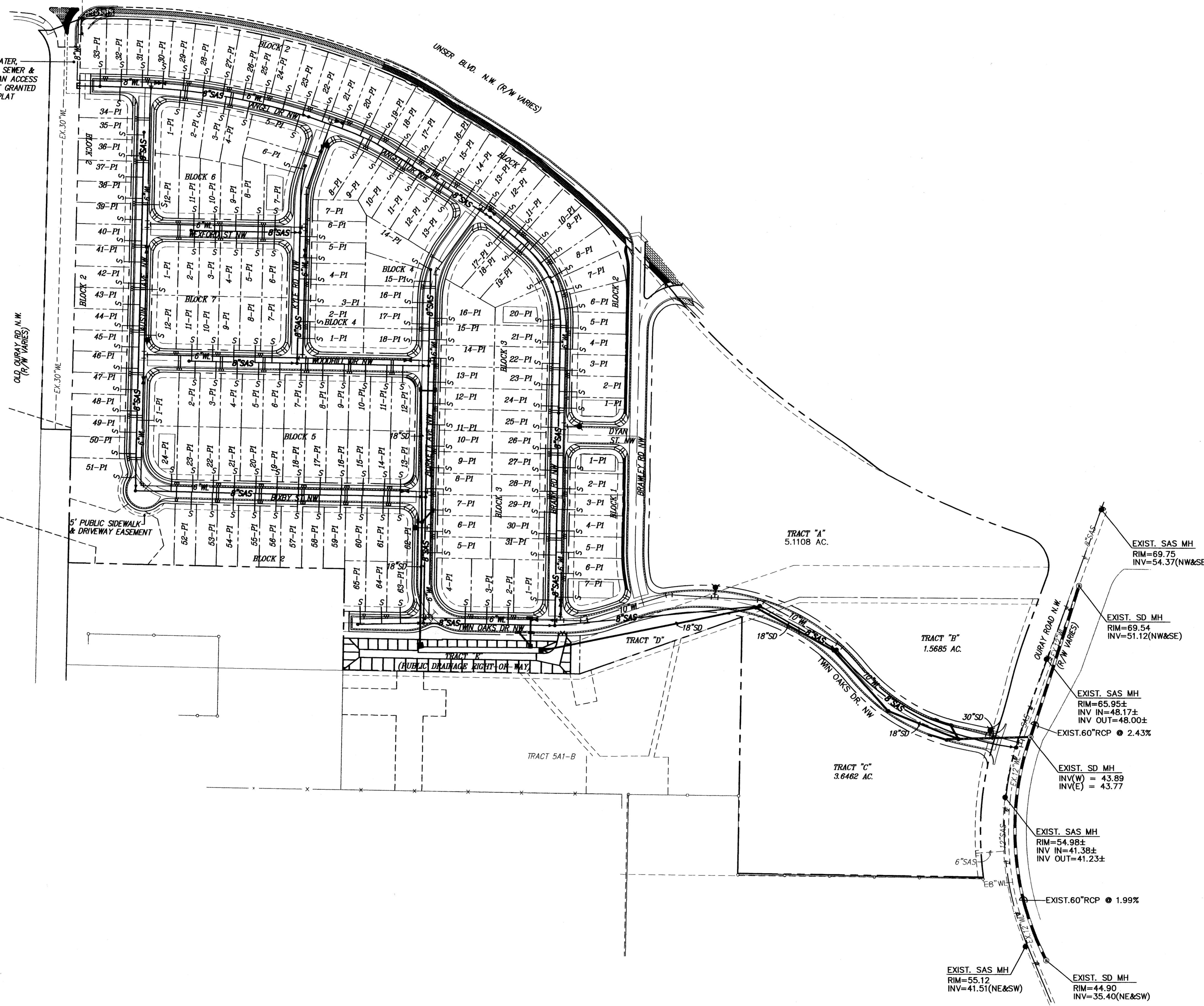
dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: JMM	Drawn: [Symbol]	Checked: DMG	Sheet 1 of 1
Scale: 1" = 100'	Date: [Symbol]	Job: A02031	

E:\A02031\A02031\RDQ\SITEPLAN\SITEPLAN1-REV.DWG Mon Jan 06 06:12:46 2003 D. MARK GOODWIN & ASSOCIATES, PLTTED BY: DER

NOTES

PUBLIC WATER, SANITARY SEWER & PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **WEST RIDGE SUBDIVISION**
MASTER UTILITY PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **H-9 & 10** SHEET **1** OF **1**

AS BUILT INFORMATION	
CONTRACTOR	DATE
WORKS BY	DATE
INSPECTORS	DATE
ACCEPTANCE BY	DATE
VEGETATION BY	DATE
DRAWINGS BY	DATE
COMPILED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

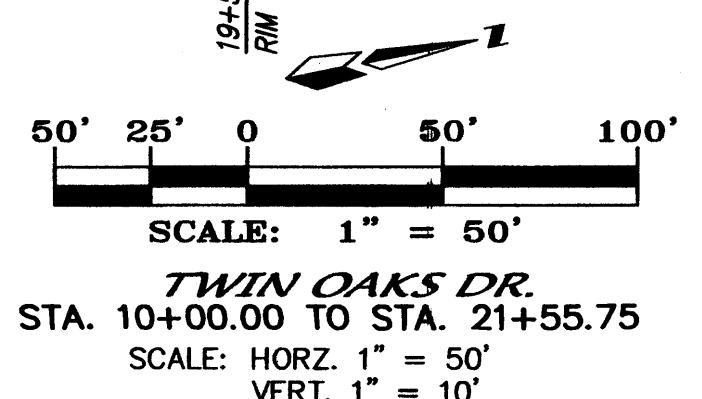
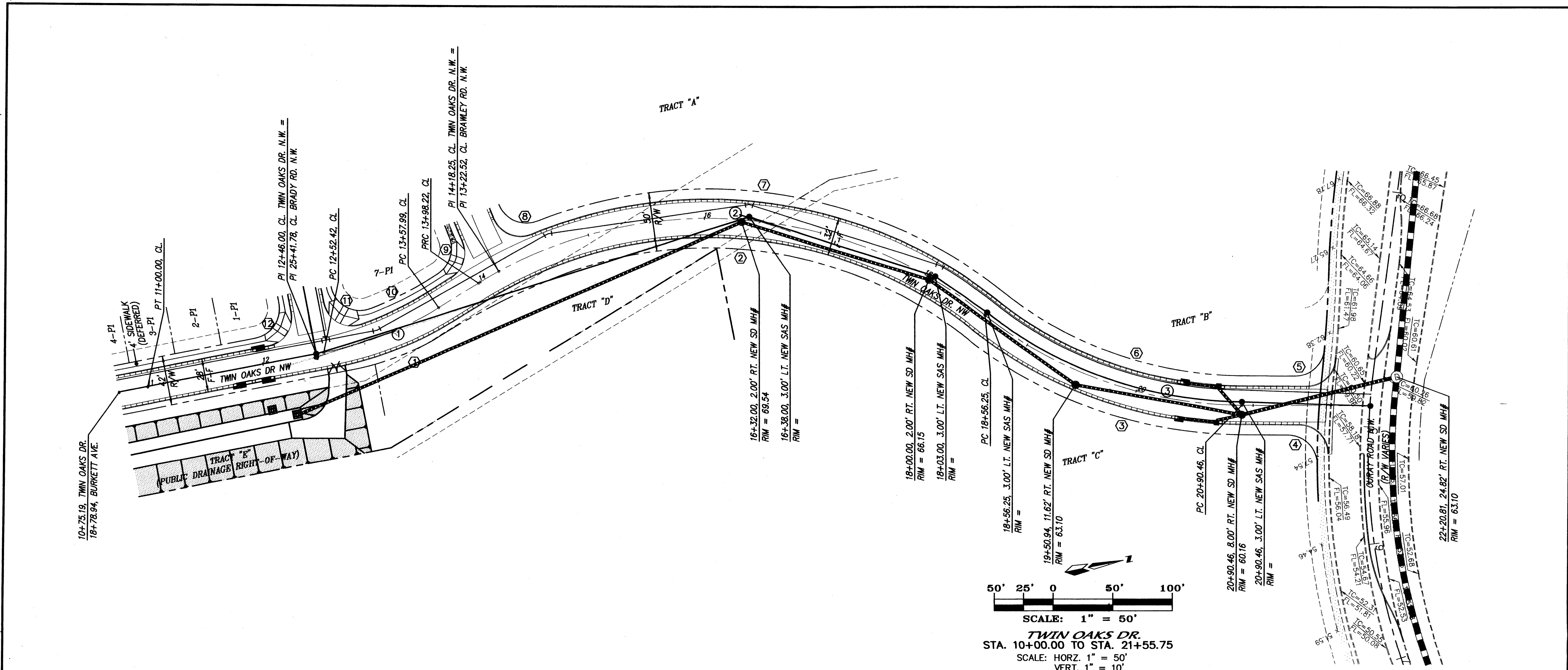
SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	

ENGINEER'S SEAL	
NO.	DATE
BY	

REVISIONS	
NO.	DATE
REMARKS	DATE
DESIGN	12/02
BY	12/02
DATE	12/02
DATE	12/02
DATE	12/02

BENCH MARKS	
ACS BRASS CAP STAMPED "BH-39"	FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON OURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT, CONTINUING ON DIRT ROAD LEFT 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD, TURN LEFT 0.4 MILES TO A CROSSROAD, THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.
GEOGRAPHIC POSITION (MAD 1927), IN FT	
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	
X=356,760.08, Y=1,494,772.28	ELEVATION=5185.46, NAD028, IN FT.

F:\A2031WRD\A2031MUTIL.dwg Mon Jan 06 13:56:36 2003 D. MARK GOODWIN & ASSOCIATES, PLTIED BY: ACH



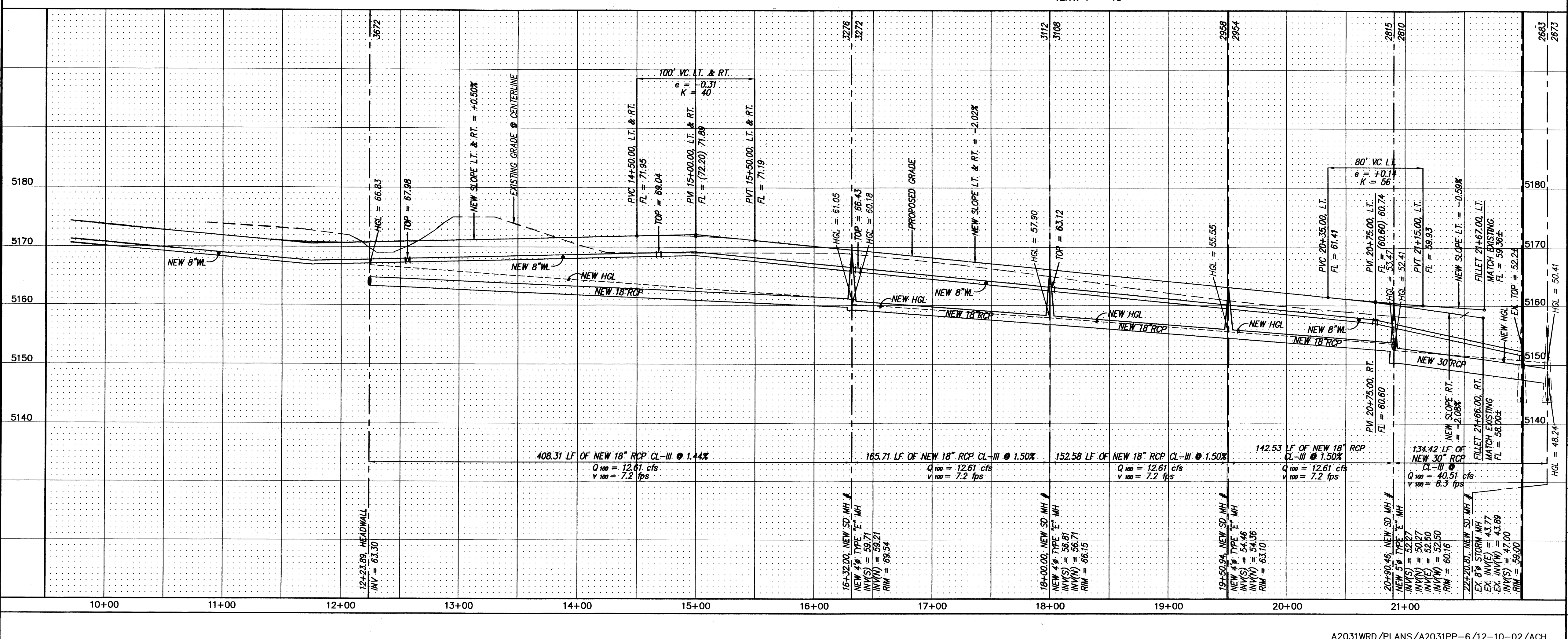
NOTES
1. ALL STATIONING IS CENTERLINE STATIONING.

CURVE DATA - DESCRIBES FACE OF CURB

① Δ = 20°09'46" R = 316.00' L = 111.20' T = 55.99'	② Δ = 69°58'55" R = 358.00' L = 438.49' T = 249.44'
③ Δ = 38°20'26" R = 25.00' L = 244.92' T = 116.36'	④ Δ = 90°00'58" R = 25.00' L = 39.28' T = 25.00'
⑤ Δ = 88°06'35" R = 25.00' L = 38.45' T = 24.17'	⑥ Δ = 38°20'26" R = 334.00' L = 223.50' T = 115.67'
⑦ Δ = 61°08'70" R = 391.00' L = 417.20' T = 230.72'	⑧ Δ = 89°06'23" R = 25.00' L = 38.88' T = 24.59'
⑨ Δ = 83°07'50" R = 25.00' L = 36.27' T = 22.15'	⑩ Δ = 11°41'41" R = 284.00' L = 57.97' T = 28.38'
⑪ Δ = 98°36'39" R = 25.00' L = 43.03' T = 28.94'	⑫ Δ = 89°51'25" R = 25.00' L = 39.21' T = 24.79'

CURVE DATA - DESCRIBES CENTERLINE

① Δ = 20°09'46" R = 300.00' L = 105.57' T = 53.15'	② Δ = 69°58'55" R = 375.00' L = 458.03' T = 260.56'
③ Δ = 38°20'26" R = 350.00' L = 234.21' T = 121.21'	



SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	ACCS BRASS CAP STAMPED "B"-39"	FROM THE INTERSECTION OF	CONTRACTOR	DATE
			COORS RD. N.W. AND I-40. 0.4 MILES NORTH ON QUARY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT. CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO THE CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT. <td></td> <td></td>		

dmg MARK GOODWIN & ASSOCIATES, P.A.
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(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

**TITLE: WEST RIDGE SUBDIVISION
TWIN OAKS DR. N.W.
PRELIMINARY STORM IMPROVEMENTS**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. # **H9 & 10** SHEET **1** OF **1**



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

3-13-2003

5. Project # 1001932
03DRB-00220 Major-Vacation of Pub Right-of-Way
03DRB-00353 Minor-Amnd Prelim Plat Approval

MARK GOODWIN AND ASSOCIATES PA, agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for all or a portion of Tract(s) 391-393, Lots A-1 and SE portion of B-1, TOWN OF ATRISCO GRANT, El Rancho Atrisco, Phase II, (to be known as **WEST RIDGE SUBDIVISION**, zoned R-LT residential zone, located on UNSER BLVD NW AND OLD OURAY ROAD NW, and containing approximately 40 acre(s). [REF: 02DRB-01578, 02DRB-01579, 02DRB-01580] (H-9/H-10)

At the March 12, 2003, Development Review Board meeting, the Vacation was approved as shown on Exhibit B in the Planning file, subject to the Findings and Conditions of the Subdivision Ordinance as follows:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
3. Affected utility companies shall acknowledge the vacation by their signatures on the replat.

With the signing of the amended infrastructure list dated 3/12/03 the amended preliminary plat was approved. This amendment does not extend the expiration date of the original preliminary plat.

If you wish to appeal this decision, you must do so by March 27, 2003, in the manner described below.




OFFICIAL NOTICE
PAGE TWO

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)


Sheran Matson, AICP, DRB Chair

cc: KB Home New Mexico Inc., 4921 Alexander NE, Suite B, 87107
Mark Goodwin & Associates PA, 8916 Adams NE, 87199
Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

February 2, 2005

1. Project # 1001932
04DRB-01995 Major-One Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for K B HOMES OF NEW MEXICO INC request(s) the above action(s) for, **WEST RIDGE SUBDIVISION, UNIT 1**, zoned SU-1 RD, located on UNSER BLVD NW, between OURAY RD NW and OLD OURAY RD NW containing approximately 40 acre(s). [REF: 03DRB00220, 03DRB00353, 02DRB01810] (G-9/G-10, H-9/H-10)

At the February 2, 2005, Development Review Board meeting, a one-year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by February 17, 2005, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

A handwritten signature in cursive script that reads "Sheran Matson".

Sheran Matson, AICP, DRB Chair

Cc:KB Home of New Mexico Inc., 4921 Alexander NE, Suite B, 87107
Mark Goodwin & Associates PA, P.O. Box 90606, 87199
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File