



PLANNING DEPARTMENT  
CITY OF ALBUQUERQUE  
P.O. Box 1293  
Albuquerque, New Mexico 87103

APPLICATION FOR SPECIAL EXCEPTION  
UNDER THE CITY ZONING ORDINANCE

- Conditional Use  
 Expansion of Building  
Nonconforming as to Use  
 Variance

NOTE: There is a separate "Procedure"  
instruction sheet related to this  
application.

Height: \_\_\_\_\_  
Area: 1545 sq ft  
Front Yard: \_\_\_\_\_  
Side Yard: \_\_\_\_\_  
Rear Yard: \_\_\_\_\_  
Other: \_\_\_\_\_

I. APPLICANT INFORMATION

- Applicant's Name: FOX STANLEY PHOTO Phone: 299-8076  
M=ENTIRE CONST  
Mailing Address: BOX 11323 ALBUQ. N.M. 87112
- Agent (if any): M=ENTIRE CONST Business Phone: 294-6667  
Mailing Address: BOX 11323 ALBUQ. N.M. 87112
- Applicant's Interest in Property: \_\_\_\_\_
- Signature: W.R. M=Entire Date: 3-10-76

II. REASON FOR REQUESTED SPECIAL EXCEPTION

CUT DOWN  
REMOVE SMALL 7HR. SERVICE SIGN ON END OF BLDG.  
TO 5' MAX. ON EACH END. THIS WOULD BE 6.47' MAX. UNDER  
ORDINANCE. LEAVE <sup>FOX</sup> SIGN ON SIDE AS IS WITH 16' MAX. OF  
SIGN. THIS WOULD BE 3' MAX. OVER ORDINANCE. THIS IS THE  
SIDE I WOULD WANT A VARIANCE ON CARLISLE.

III. LOCATION OF REQUESTED SPECIAL EXCEPTION

- Legal Description (Use extra sheet if necessary):  
Lot(s): UNIT 1 PORTION OF TRACT A Plat: \_\_\_\_\_  
INDIAN PLAZA
- Street Address (No. if any): 2101 CARLISLE N.E.  
between INDIAN SCHOOL and FREEWAY streets.

IV. PROJECT DETAILS

- Zoning: C-1
- Present Use of Property: SHOPPING CENTER
- Five copies of an accurate site plan showing (a) location of the property that is the subject of the request; (b) abutting streets and alleys; (c) all significant structures presently on the property; (d) the proposed special exception (including dimensions); (e) structures on adjoining property, within 25 feet of the proposed special exception; (f) north-directional arrow. (Note: The Planning Department may waive the site plan where it is obviously not pertinent.) Attached:
- Additional material such as a sketch of the elevation of structures, program of development, or photos, may be required by the Planning Department. Attached:

ZA- 76-85

THIS SIDE FOR OFFICE/USE ONLY

V. INTERNAL DATA

1. Application Received by: Reg. King Date: 3-11-76

2. Signs Issued: 1

3. Hearing Date Assigned: 4-6-76

4. Payment Received: \_\_\_\_\_

5. Planning Map No.: H-16

6. Related Cases: \_\_\_\_\_

7. Legal Ad ... five sq. ft. sign area variance on each of  
two facades of a film booth building to be  
located on...

Sent (by, date): \_\_\_\_\_ Published on: \_\_\_\_\_

8. S.A.S. Needed: Yes: \_\_\_\_\_ No: \_\_\_\_\_

9. Comment Requests Sent: \_\_\_\_\_ By: \_\_\_\_\_

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Traffic Engineer        | <input type="checkbox"/> Refuse Removal Div. | <input type="checkbox"/> Water Engineer |
| <input type="checkbox"/> City Real Estate Office | <input type="checkbox"/> Parks & Recr. Dept. | <input type="checkbox"/> APS            |
| <input type="checkbox"/> City Engineer           | <input type="checkbox"/> Fire Department     | <input type="checkbox"/> CIP            |
| <input type="checkbox"/> COG - MTP               | <input type="checkbox"/> MRGCD               | <input type="checkbox"/> Other          |

FOX - STANLEY PHOTO PRODUCTS, INC.

STEEL FRAME · PREFABRICATED  
DRIVE - UP STORE

INDEX TO DRAWINGS

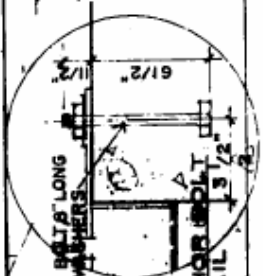
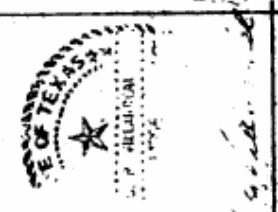
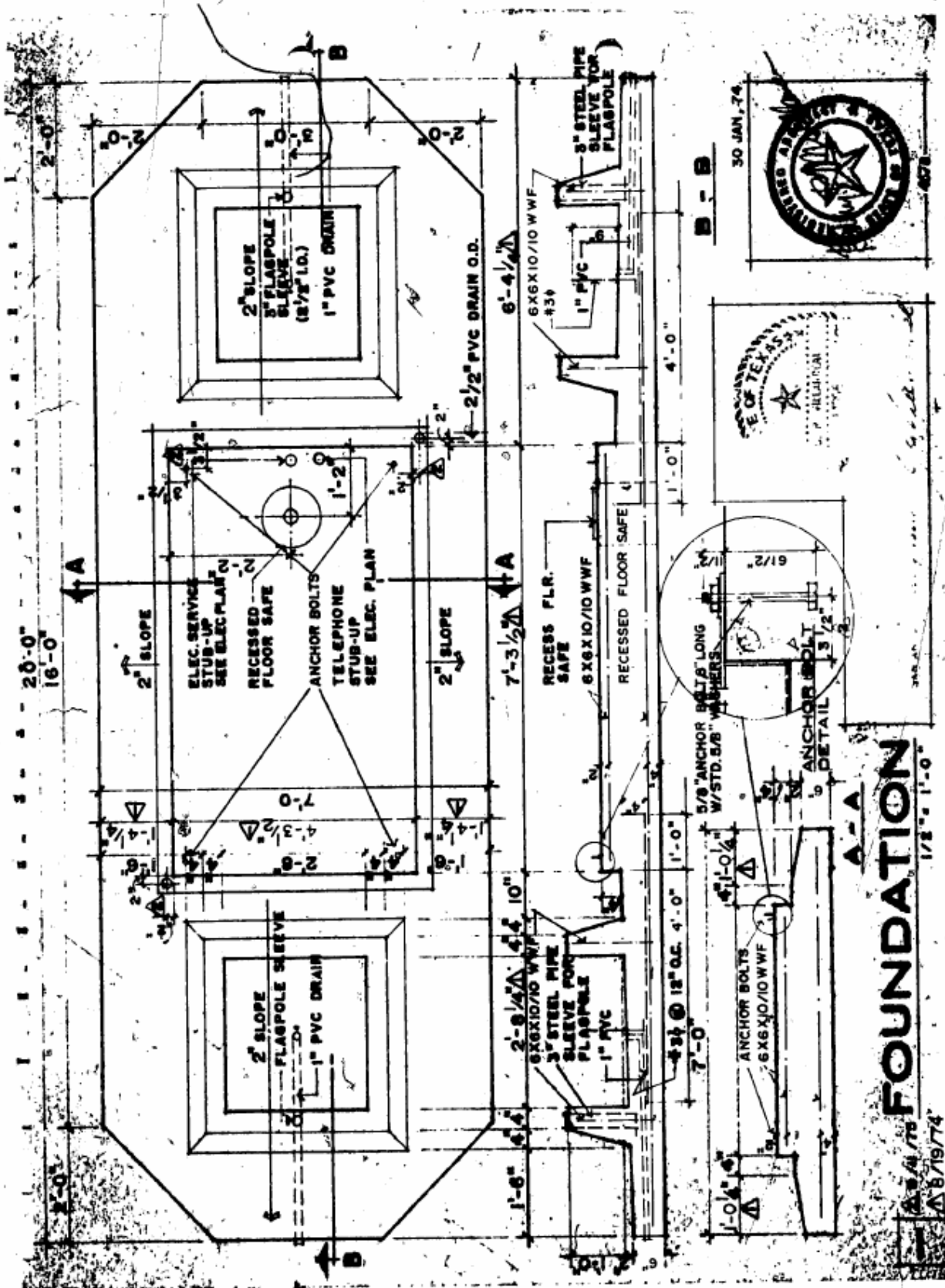
- 1 FOUNDATION PLAN · SECTIONS
- 2 ELECTRICAL PLAN
- 3 FLOOR PLAN
- 4 ELEVATIONS
- 5 BUILDING SECTION · ELEVATION
- 6 BUILDING SECTION
- 7 MISCELLANEOUS DETAILS
- 8 PLOT PLAN

11 AUG 1975  
19 AUG 1974  
30 JAN, 1974  
14 DEC, 1973  
7 NOV, 1973

BARRY P. MIDDLEMAN . AIA ARCHITECT

84 N E LOOP 410 / SUITE 149 E

SAN ANTONIO, TEXAS



**FOUNDATION**  
1/2" = 1'-0"

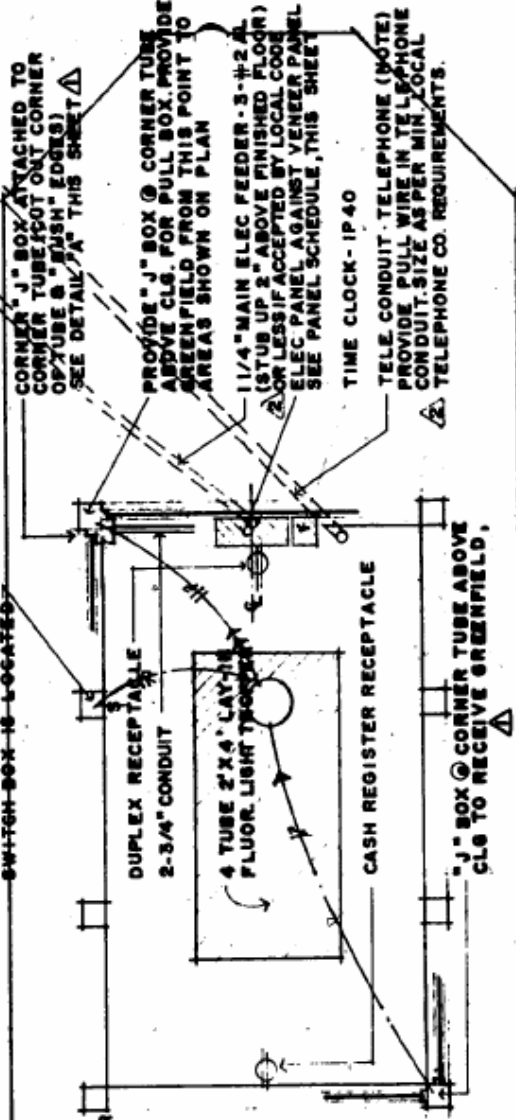
1/24/75  
1/8/19/74

\* (NOTE) PROVIDE 220 V OUTLET FLUSH MOUNTED IN GRID CLG OVER A/C LOCATION. COORDINATE RECEPTACLE TYPE WITH A/C REQUIREMENTS.

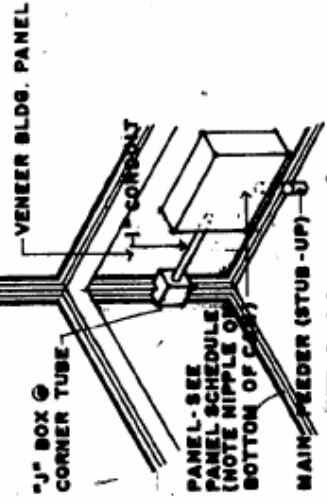
**GENERAL NOTE:**

ELECTRIC METER TO BE LOCATED ON POLE, REMOTE FROM PHOTO UNIT.

RUN (LIGHTING) GREENFIELD DOWN TUBE SHOWN TO A POINT 4'-6" AFF. AT WHICH POINT CLG LIGHT TOSSEL SWITCH-BOX IS LOCATED.



"J" BOX @ CORNER TUBE ABOVE CLG.  
GREENFIELD RUN OUT TO LIGHTING, SIGN, A/C, ETC.



"J" BOX @ CORNER TUBE ABOVE CLG TO RECEIVE GREENFIELD.

NOTE: BUILDING STEEL SHALL BE BONDED TO MAIN ELECTRIC SERVICE GROUND.

ELECTRICAL PANEL - 125 AMLO - 10 3W 120/240V

- BREAKERS**
- 1. 20/1 - SIGNS
  - 2. 20/1 - SIGN MOTOR
  - 3. 20/1 - CASH REGISTER
  - 4. 20/1 - LGT. @ G.D. RECEPTACLE
  - 5. 30/2 - A/C
  - 6. 20/1 - SPARE
  - 7. 20/1 - SPARE
  - 8.

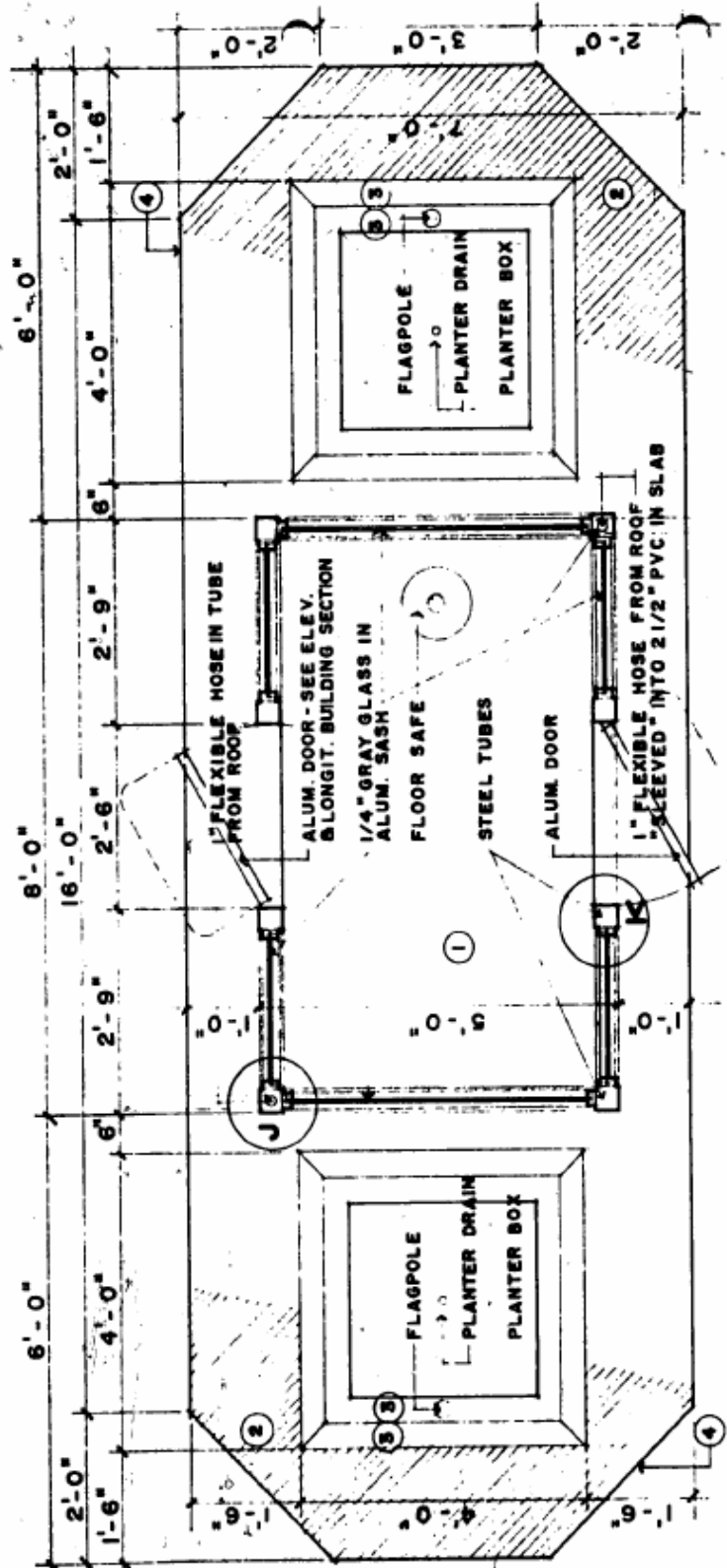
8/11/75  
8/19/74



**DETAIL A**

**ELECTRICAL PLAN**

1/2" = 1'-0"

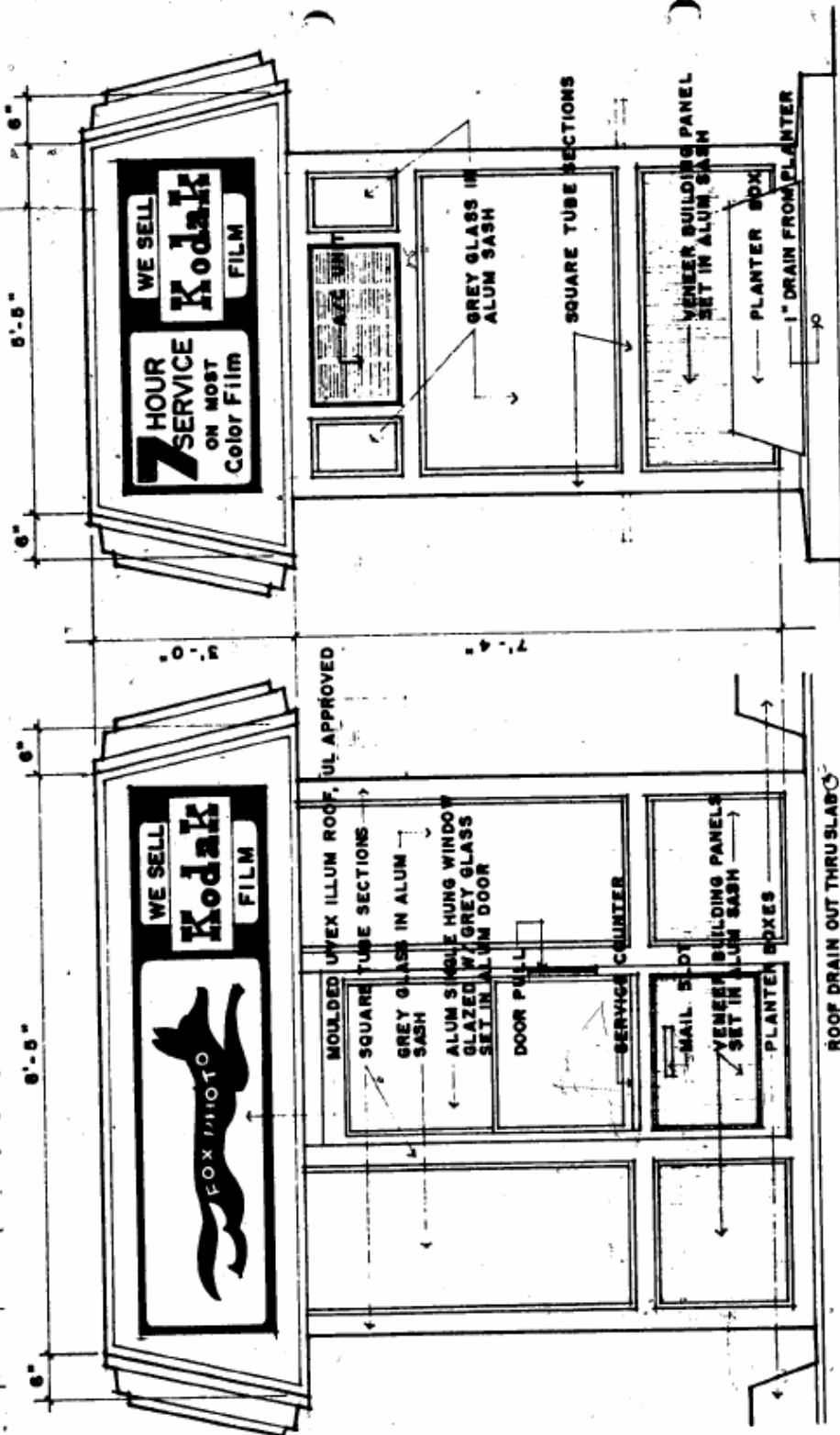


**SCHEDULE OF FINISHES**

- ① CARPET (RUBBER BACKED) FURNISH BY FOX, INSTALLED BY GEN. CONTRACTOR
- ② ARTIFICIAL TURF-FURN. (PRE-CUT) BY FOX WITH ADHESIVE - INSTALLED BY GEN. CONTRACTOR
- ③ PLANTER PAINTED WHITE-TURN PAINTING DOWN INSIDE OF PLANTER TO DIRT LEVEL. GEN. CONTR. TO FURNISH MATERIALS & LABOR
- ④ PAINT EXPOSED EDGES OF SLAB AROUND FULL PERIMETER OF UNIT WITH LATEX BASE VINYL ACRYLIC GREEN PAINT (MATERIAL & LABOR BY GENERAL CONTRACTOR)

**FLOOR PLAN**  
1/2" = 1'-0"

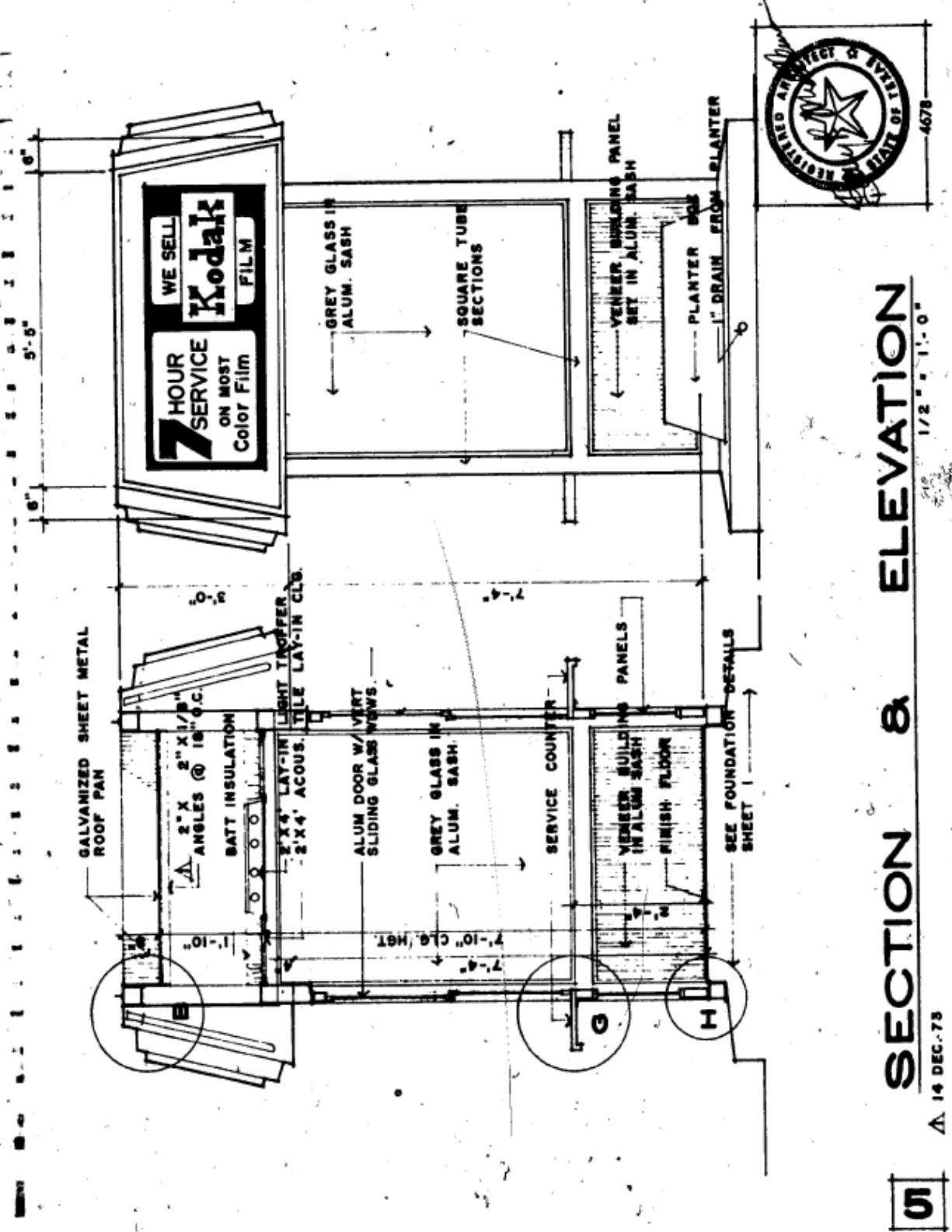
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**ELEVATIONS**

1/2" = 1'-0"



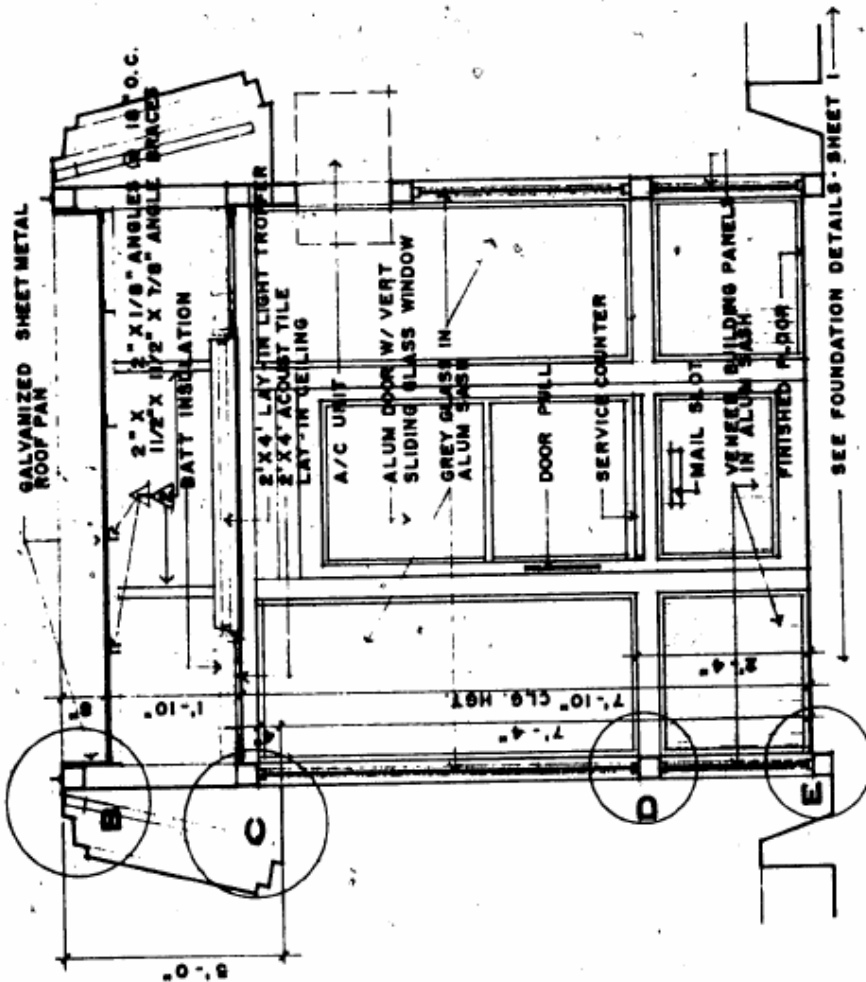


**SECTION & ELEVATION**

1/2" = 1'-0"

Δ 14 DEC. 73

**51**



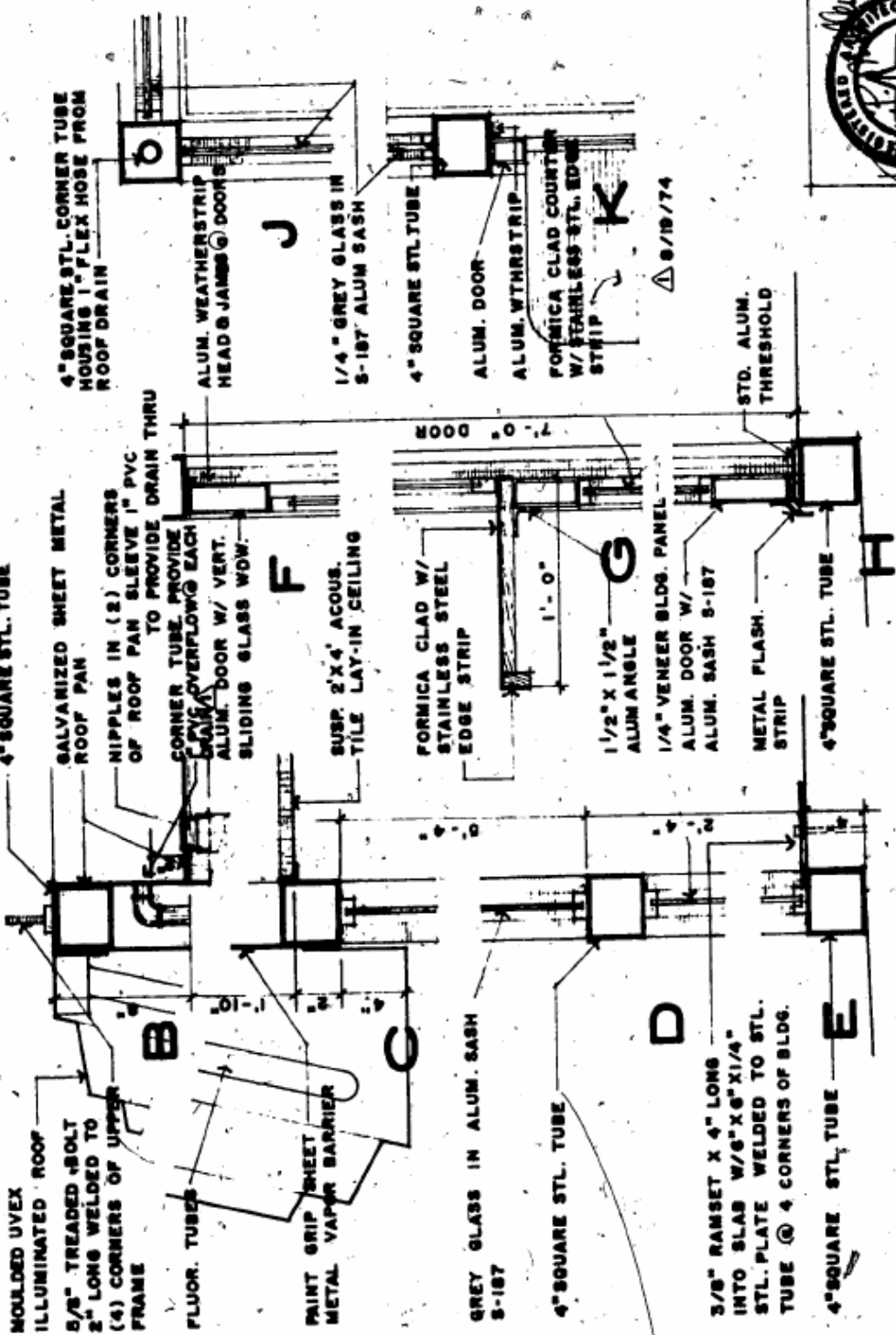
**LONGITUDINAL SECTION**

1/2" = 1'-0"

A. 14 DEC. 78  $\Delta$  8/28/74



SEE FOUNDATION DETAILS - SHEET 1



4" SQUARE STL. CORNER TUBE HOUSING 1" FLEX HOSE FROM ROOF DRAIN

ALUM. WEATHERSTRIP HEAD @ JAMBS @ DOORS

1/4" GREY GLASS IN S-187 ALUM SASH

4" SQUARE STL. TUBE

ALUM. DOOR

ALUM. WTHRSTRIP

FORMICA CLAD COUNTERTOP W/ STAINLESS STL. EDGE STRIP

9/19/74

4" SQUARE STL. TUBE

SALVANIZED SHEET METAL ROOF PAN

NIPPLES IN (2) CORNERS OF ROOF PAN SLEEVE 1" PVC TO PROVIDE DRAIN THRU

CORNER TUBE PROVIDE 1/2" PVC OVERFLOW @ EACH CORNER

ALUM. DOOR W/ VERT. SLIDING GLASS WDW.

F

SUSP. 2" X 4" ACQUIS. TILE LAY-IN CEILING

FORMICA CLAD W/ STAINLESS STEEL EDGE STRIP

1" - 0"

1/2" X 1/2" ALUM ANGLE

1/4" VENEER BLDG. PANEL

ALUM. DOOR W/ ALUM. SASH S-187

METAL FLASH STRIP

4" SQUARE STL. TUBE

H

STD. ALUM. THRESHOLD

MOULDED UVEX ILLUMINATED ROOF

5/8" TREADED BOLT 2" LONG WELDED TO (4) CORNERS OF UPPER FRAME

FLOOR TUBES

PAINT GRIP SHEET METAL VAPOR BARRIER

GREY GLASS IN ALUM. SASH S-187

4" SQUARE STL. TUBE

D

3/8" RAMSET X 4" LONG INTO SLAB W/ 8" X 8" X 1/4" STL. PLATE WELDED TO STL. TUBE @ 4 CORNERS OF BLDG.

4" SQUARE STL. TUBE

E



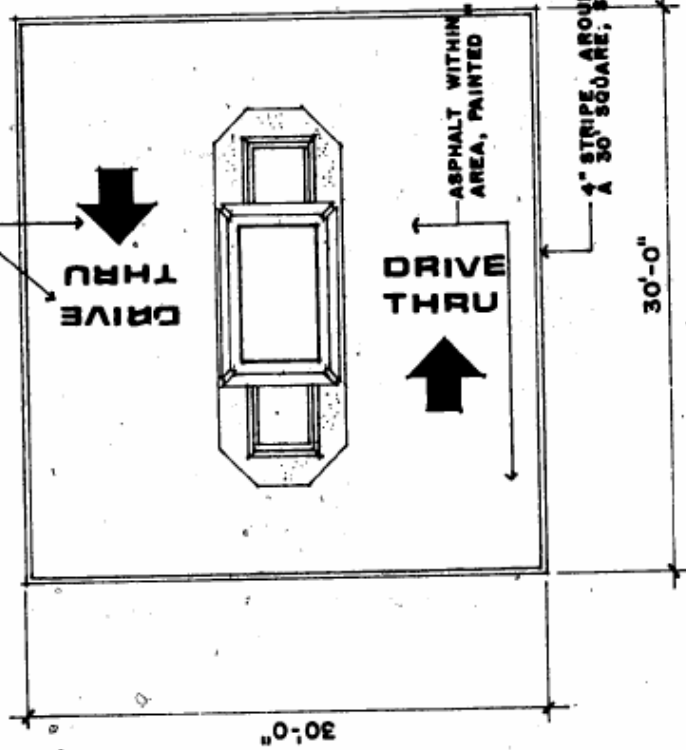
MISCELLANEOUS DETAILS

1 1/2" x 1/2"



2A-76-85

DRIVE THRU LETTERS &  
ARROWS PAINTED "YELLOW"



ASPHALT WITHIN 30' SQUARE  
AREA, PAINTED "BLACK"

4" STRIPE AROUND PERIMETER FORMING  
A 30' SQUARE, STRIPE PAINTED "YELLOW"



# PLOT PLAN

1/8" = 1'-0"

0

OUTLINE SPECIFICATIONS FOR:  
STEEL FRAME - PREFABRICATED - DRIVE-UP STORES

GENERAL CONDITIONS:

Building unit itself is fully prefabricated and will be set in place by FOX. Building is built in accordance with subsequent plans and specifications.

General Contractor is to provide the following:

1. Preparation of site (if required)
2. Underground utilities, as per plans and specs.
3. Paving (if required) as per specifications.
4. Concrete: concrete foundation as per plans and specs.
5. Miscellaneous: installation of artificial turf and painting of pavement and concrete areas as shown on plans.

EXAMINATION OF PREMISES:

Contractor shall carefully examine the premises before submitting his bid. No allowance shall be made him for lack of full knowledge of existing conditions under which he will be obliged to operate.

RESPONSIBILITY OF CONTRACTORS:

Each Contractor will be held responsible for the execution of a complete piece of work, in accordance with the true intent of the drawings and specifications. He shall provide, without extra charge, all incidental items required as part of his work, even though not particularly mentioned or specified. If he has good reason for objecting to the use of any material, appliance or method of construction as shown or specified, he shall make report of such objection to the Architect, and obtain proper adjustment before the contract is made. He shall proceed with the work only with the understanding that a complete and satisfactory piece of work will be required.

BUILDING LAWS AND ORDINANCES:

All materials and construction shall conform to the requirement of all building and sanitary laws, and the Contractor shall be responsible for any violation of the same and shall make work acceptable to the building department without extra charge.

PERMITS AND FEES:

This Contractor shall take out the general construction permit and all other permits required by law, for the entire work, assuming all responsibility and paying all costs involved.

SITE WORK, FILL, GRADING: (If Required)

- A) Scope: The work includes clearing, layout, cut and/or fill, rough grading, gravel fills, and finished grading, and special features shown on plans. At completion and during construction, grades shall slope away from structure and drain entire site without ponding. Utility trenches shall not be left open. Remove excess material from site and bring in new materials as required. Grades shown on the drawings are approximate; minor adjustments may be required to meet existing conditions at the site to carry out the general design shown on the drawings.

SITE WORK, FILL, GRADING: (Continued)

B) Materials and Work: (If Required)

1. Layout
2. Clearing
3. Rough Grading
4. Gravel Fill
5. Finish Grading
6. Excavations and Backfill

PAVING (ASPHALT): (If Required)

A) Scope: The work includes installation of all paving patching, complete with base, shoulders, topping.

B) Materials and Work:

1. Select Crushed Base Material (6" thick)
2. Prime Coat
3. Asphalt Topping To Match Existing (1½" thick)
4. Parking Lot Painted Striping

CONCRETE:

A) Scope: The work includes structural concrete, reinforcing, steel foundation work and finishes. Prefabricated metal forms to be furnished by FOX. General Contractor to set in place, reinforce and pour. Refer to plans.

B) Materials and Work:

1. Forms - Set and well grade to true lines
2. Concrete - Transit mix Portland Cement concrete proportioned by water-cement ratio. Spec. ASTM-C-94-58. Strength required in 28 days: 3000 #PSI
3. Reinforcing Steel - ASTM Spec. A185-56T
4. Finish - Floor areas to receive hard trowelled monolithic finish
5. All concrete to contain "Master Builders" pozzolith admixture

C) Miscellaneous:

1. Recessed floor safe will be furnished by FOX. General Contractor to set in slab prior to pouring concrete at location as shown on plans.
2. Flagpoles (2) and flagpole sleeves (2) will be furnished by FOX and installed by General Contractor as shown on plans. Verify that sleeve is plumb, upon completion of pour.

ELECTRICAL:

A) Scope: The work under this heading shall include all labor, materials, equipment, etc., required for the installation of all electrical work, as shown on drawings and as herein specified.

B) Materials and Work: Materials and equipment shall be new and in perfect condition. Labor shall be performed in a workmanlike manner by mechanics skilled in their particular trade. Conduit and equipment shall be installed square and plumb and accessible for proper operation and service. Installation shall be consistent in completeness and appearance whether enclosed or exposed.

ELECTRICAL: (continued)

C) Permits, Fees and Code Regulations: The Contractor must, at his own expense, obtain all necessary permits, pay all legal fees and charges pertaining to work under this section, and comply with all National, State, and Municipal Building Safety laws, codes, ordinances, and regulations relating to building public safety. All equipment shall be listed by Underwriter's Laboratories as approved.

D) Electrical Contractor shall furnish the following:

1. Underground conduit and wiring for electrical source for building unit as shown in plans. Stub-up and tie into electrical panel. Building unit is completely pre-wired and requires only main feeder, service hook-up.
2. Provide underground conduit for telephone service to building as per plans.
3. Meter and transformer to be set on pole remote from photo unit.
4. Building steel shall be bonded to main electric service ground.

MISCELLANEOUS:

General Contractor to provide the following:

1. Paint paving, arrows, lettering, and stripping as shown on plans.
2. Paint exposed surfaces of concrete as shown on plans, with Elliotts vinyl acrylic paint or approved equal.
3. Install artificial turf (turf and adhesive, furnished by FOX) at area on slab as shown on plans.



FOR-STANLEY PHOTO PRODUCTS, INC.

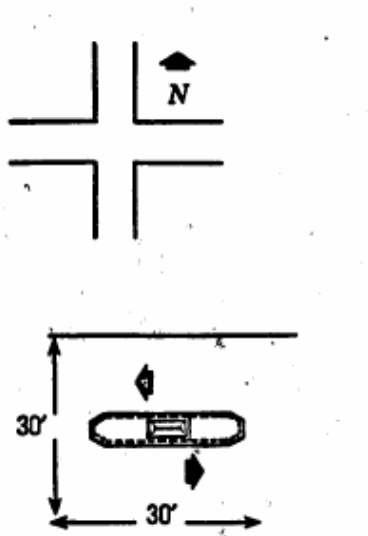
Steel Frame - Prefabricated  
Drive-Up Store - Component Parts

1. Steel building framing - 4" standard steel tubing with walls of .120 Ga. steel.
2. Steel tubing primed with red oxide (Sherwin-Williams) primer. Finish coat in Sherwin-Williams black, non-gloss synthetic enamel.
3. Roof pan as shown on plans is constructed of 20 ga. galvanized sheet metal in one piece. Vapor barrier between building frame and illuminated roof sign around building consists of 22 ga. galvanized sheet metal.
4. Glazing consists of  $\frac{1}{4}$ " grey polished plate glass set in aluminum sash no. #S-187 as manufactured by Samuels Metal Products of San Antonio, Texas.
5.  $\frac{1}{4}$ " veneer building panels as shown in lower sections of unit are "Mirawal" double faced building panels as manufactured by "Kaiser Aluminum." It consists of a center core of cement asbestos board and is faced on the exterior and interior with "Miracoll", a porcelain enamel facing in the color Peifer No. 8 (Kodak - yellow). These panels are set in Alum. sash No. #S-187.
6. Doors for the unit are constructed of aluminum and are anodized in a black finish. Each door contains a standard "Single-hung" aluminum and grey glass sliding window unit in the upper section of the doors. The lower sections of the doors contain  $\frac{1}{4}$ " Mirawal" set in S-187 aluminum sash.
7. Illuminated "roof" sign is U.L. approved and is formed with .032 ga. painted aluminum and is faced with .150 uvex vacuum form plastic at the sign logo.
8. Electrical as shown on plans is fully pre-wired and meets all U.L. requirements as well as the National Electric Code.
9. Air conditioning unit:  
Carrier model No. 51SE 1203, 220 volt  
Cooling capacity - 11,000 BTU  
Heating capacity - 10,500 BTU  
or  
Chrysler Airtemp R12-3EC - 220 Volt  
Cooling capacity - 12,000 BTU  
Heating capacity - 12,000 BTU  
  
(Note) a/c unit sleeve painted flat black on exterior to match building frame.

# FOX-STANLEY PHOTO PRODUCTS, INC.

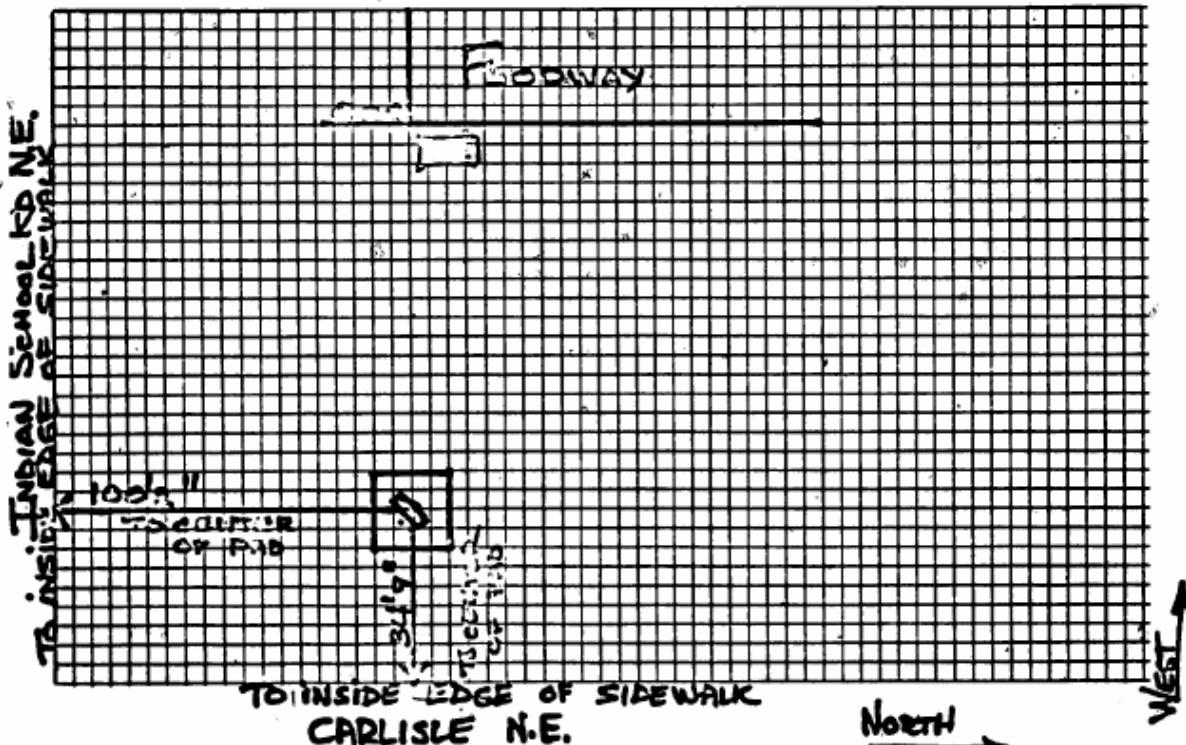
Street Address or Intersection INDIAN PLAZA SHOPPING CENTER  
CARLISLE & INDIAN SCHOOL N.E.

City ALBUQUERQUE County BERNALLILLO State NEW MEXICO



**BUILDING SIZE:**  
 Extended Foundation: 7' x 20'  
 Building: 5' x 8' x 10' 8"

PLOT MAP

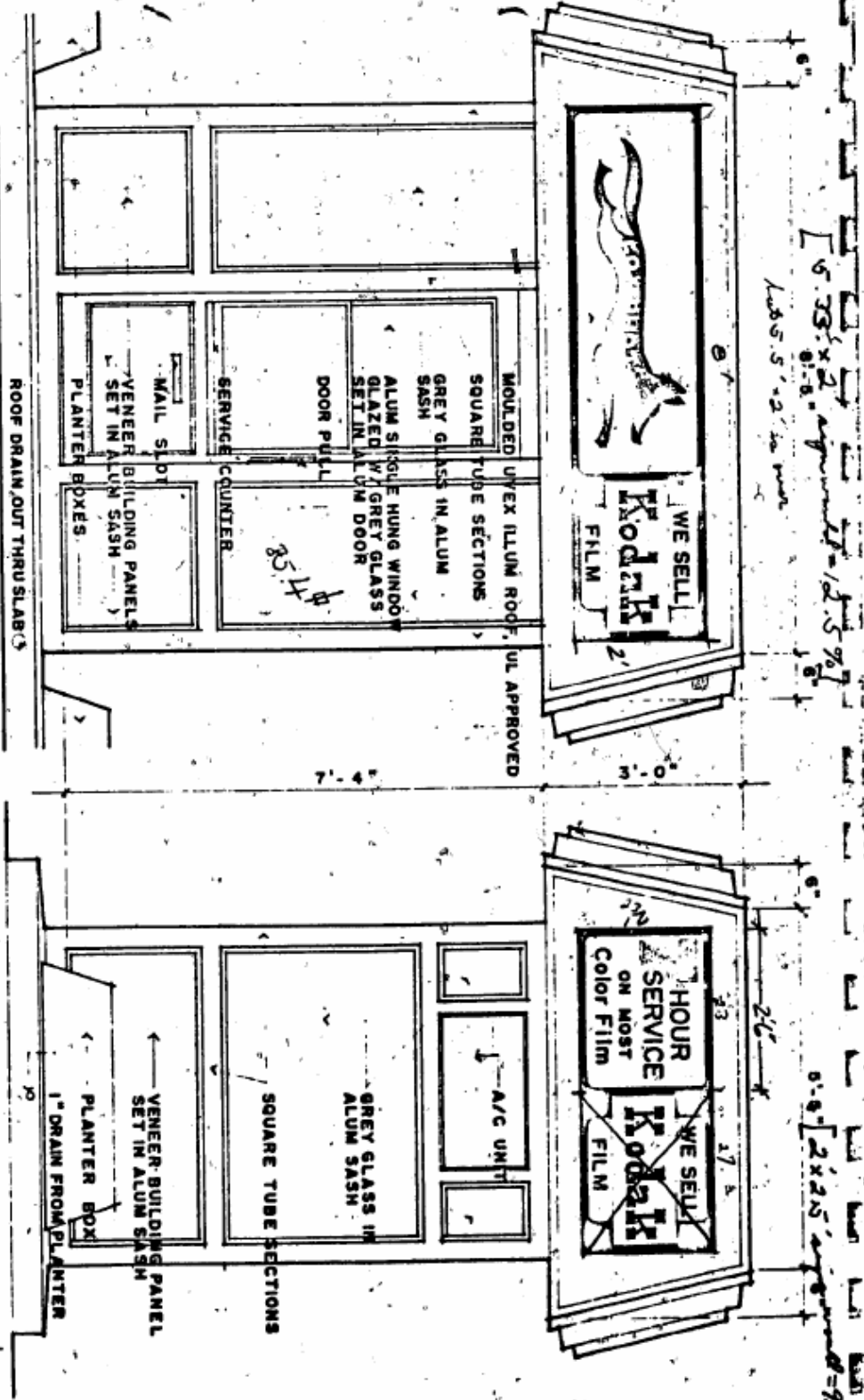


Approved by Lessor \_\_\_\_\_ Approved by Lessee \_\_\_\_\_

4

# ELEVATIONS

1/2" = 1'-0"



5'-3 1/2" x 2' 1/2" sign panel - 12.5%  
 6'-8" x 2' 1/2" sign panel - 12.5%  
 1.55' x 2' 1/2" sign panel

6'-8" x 2' 1/2" sign panel - 12.5%  
 1.55' x 2' 1/2" sign panel

10.3 x 8.4  
 +0.5 x 3  
 1.9  
 1.24  
 1.8  
 1.39  
 1.24  
 1.8  
 1.39

5'-4" x 10'-3"  
 +0.5 x 3  
 1.9  
 1.24  
 1.8  
 1.39





Zoning Administration Division - Planning Department - City of Albuquerque

APPLICATION FOR ZONING PERMIT FOR A SIGN

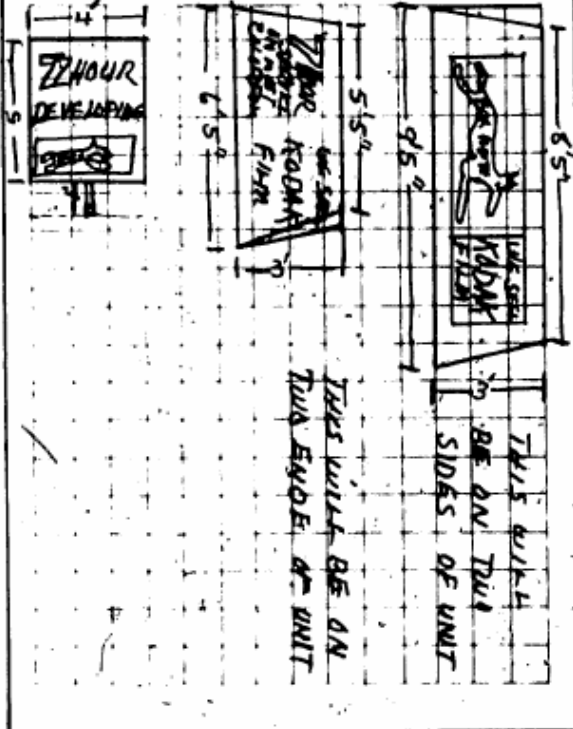
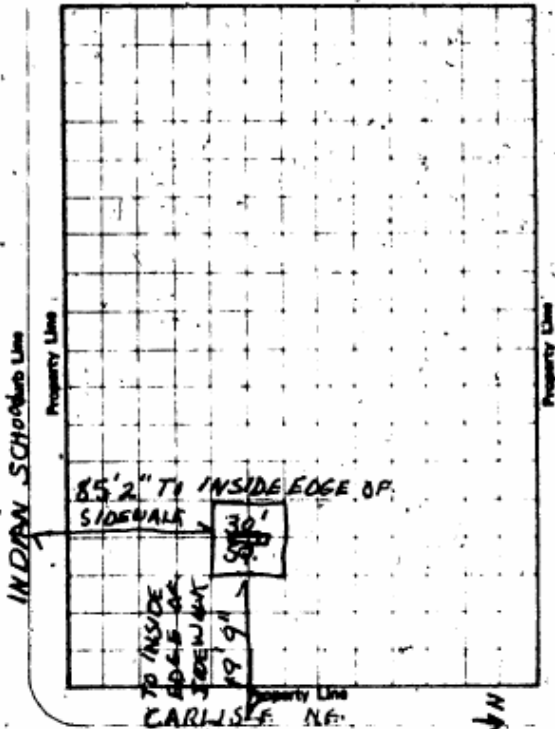
APPLICATION NUMBER

NOTE: THIS IS NOT A BUILDING PERMIT.

Date _____ Location of Sign _____ Street _____ Address _____ Lot _____ Block _____ Subdivision _____	Type(s) and number of Sign(s) to be installed <input type="checkbox"/> Wall <input type="checkbox"/> Free Standing <input type="checkbox"/> Projecting <input type="checkbox"/> Canopy <input type="checkbox"/> Marquee <input type="checkbox"/> Roof Illuminated YES NO Moving Elements YES NO Refers to an On-Premise Business YES NO
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Plot Plan of Premises: Show location of all structures, existing signs and proposed sign(s). Show dimensions (height & length) of signs, buildings, & lot. Show curb cuts.

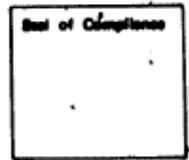
Proposed Sign(s): (1) Draw Sign(s) in Detail, Showing Dimensions and Copy, (2) attach separate drawing, or (3) reference standard plan on file in Planning Department.



Zone _____ Approved _____ Denied _____ Date _____	Reason for Denial, or Modification Required _____	Permit Fee CR 0103713
Sign Owner _____ Address _____	Sign Erector _____ Address _____	

I hereby acknowledge that this application is correct and I agree to comply with all City ordinances regulating signs. I understand that the issuance of a permit shall not prevent the Zoning Administration Division from thereafter requiring correction of violations, and the sign(s) is not given final zoning approval until a seal of compliance is placed on the sign by the Zoning Administration Division. I understand that work under this permit must be completed within six months, or the permit will have to be renewed.

SIGNATURE OF PERMITTEE \_\_\_\_\_

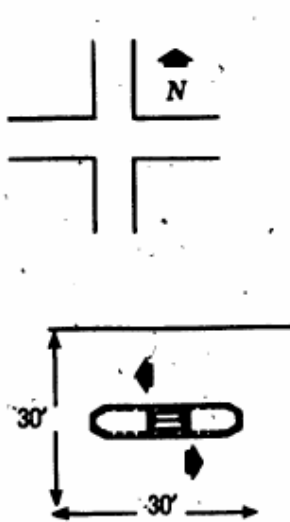


NOTICE: THIS PERMIT NOT VALID UNTIL FEE IS PAID.

# FOX-STANLEY PHOTO PRODUCTS, INC.

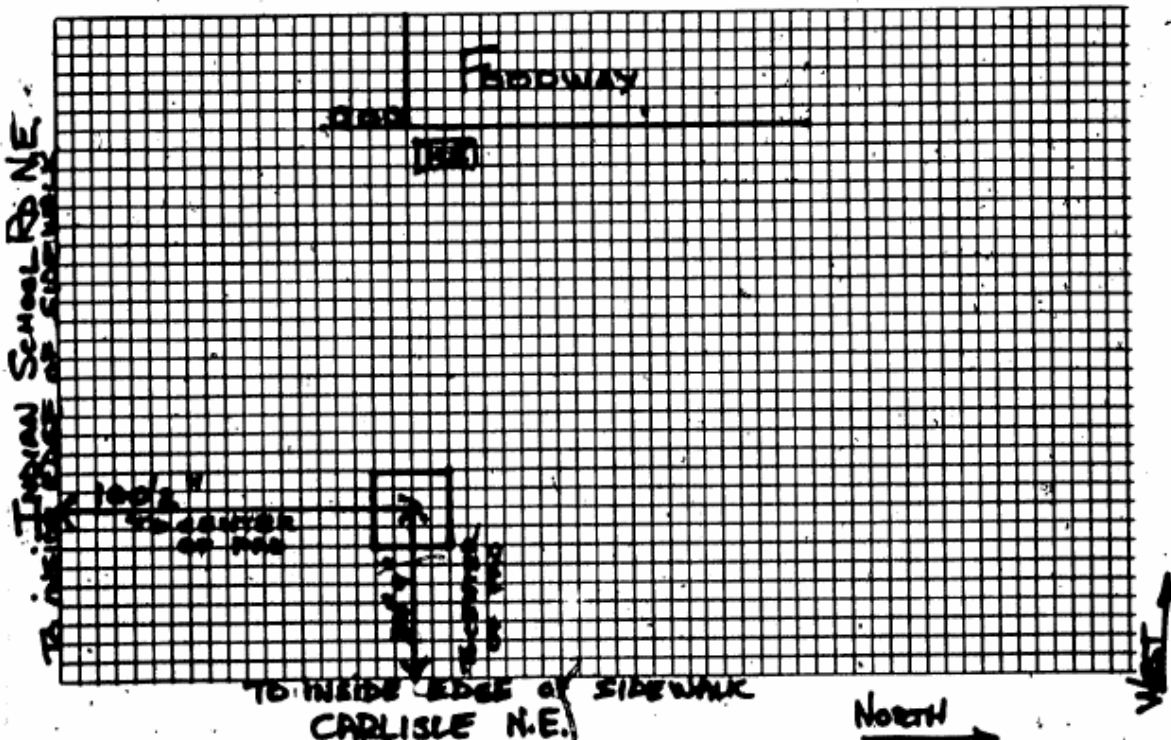
Street Address or Intersection INDIAN PLAZA SHOPPING CENTER  
CARLISLE & INDIAN SCHOOL N.E.

City ALBUQUERQUE County BERNALLILLO State NEW MEXICO



BUILDING SIZE:  
Extended Foundation:  
7' x 20'  
Building:  
5' x 8' x 10' 8"

PLOT MAP



Approved by Lessor J. Stanley Fox  
Co. General Counsel

Approved by Lessee \_\_\_\_\_

EXHIBIT A.

# OFFICIAL NOTICE

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
Box 1293, Albuquerque, NM 87103

Date April 8, 1976

Fox Stanley Photo  
c/o McEntire Construction  
Box 11323  
Albuquerque, NM 87112

## NOTIFICATION OF DECISION ON A ZONING SPECIAL EXCEPTION

File ZA-76-85  
Location: 2101 Carlisle, N.E.

Your application for special exception under the Comprehensive Zoning Ordinance was considered at the Zoning Administrator's hearing on April 6, 1976. The following decision was made:

**FINDINGS:** The size, site, and nature of this building together with the agreement to limit signing below the normal on two sides are sufficient exceptional physical conditions to justify the requested variance. Three sides would be visible from an arterial street; one narrow side would be visible from a collector street. The requested variance will not be injurious to the neighborhood or appropriate use of adjoining property.

**DECISION:** The five sq. ft. sign area variance on each of two facades of a film kiosk building is approved as requested so that signing may be up to but not over 18.73% of the two wider facades on the condition that signing does not exceed 9.2% on the two narrower facades.

**NOTE:** Exact location of this building must be approved by the Traffic Engineer.

If you wish to appeal this decision, you may do so by April 22, 1976 in the manner described below, as excerpted from the Zoning Ordinance of the City of Albuquerque.

1. Jurisdiction. Appeal of special exception decisions by the Zoning Administrator is to the Planning Commission. Appeal of decisions by the Planning Commission is to the City Commission.
2. Application. A decision by the Zoning Administrator or the Planning Commission is final unless appeal is initiated by application to the City on prescribed forms within fifteen days of the decision. A building permit dependent on these shall not be issued until an appeal is decided, or the time for filing the appeal has expired without an appeal being filed.
3. Acceptance. The City Commission may decline to accept an appeal if it finds that all adopted City plans, policies, and ordinances have been properly followed. If it decides that there is a substantial question that all such City plans, policies, and ordinances have not been properly followed or are not adequate, it shall accept the appeal. The Planning Commission shall accept all appeal cases sent to it.
4. Fee. A filing fee of \$25 must accompany each appeal application. When an application is withdrawn the application fee shall not be refunded.
5. Hearing and Decision. An appeal, if accepted, shall be decided within sixty days of its filing. Decision shall be following a public hearing. Public notice of an appeal must be given by legal advertisement in a newspaper of general circulation in the City of Albuquerque at least fifteen days before the hearing. The Planning Department must give written notice of an appeal, together with a notice of the date, time, and place of hearing to the applicant, a representative of the opponents, if any are known, and the appellant.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the Zoning Administrator is secured. Approval of this case does not constitute approval of plans for a building permit. If your application is approved, bring this letter when you come to City Hall, 400 Marquette NW, to secure any related building permit. You should take two copies of your plans to the Building & Inspection Division to initiate such a permit.

Approval of a conditional use or variance application is void after one year from date of approval if the rights and privileges granted thereby have not been executed or utilized.

Sincerely,

  
Zoning Administrator

ZA

Letter of  
Advice

DAP:ps

BHB-02

PLANNING DEPARTMENT  
ALBUQUERQUE / BERNALILLO COUNTY

CASE No. : Z-76-85

FEE PAYMENT

FEE: \$ 25.00 CHECK XX CASH        DATE 3-17-76

\*\*\*\*\*

Check Drawn on: Albuquerque National Bank

Branch: North Fourth Street Office Check No.:       

Account: McIntire Construction Company

/s/ W. R. McEntire

Address:        Phone:       

\*\*\*\*\*

RECEIPT OF THE ABOVE FEE IS HEREBY ACKNOWLEDGED.

ROBERT E. LANDON, TREASURER  
CITY OF ALBUQUERQUE

Date: Galay Nelson

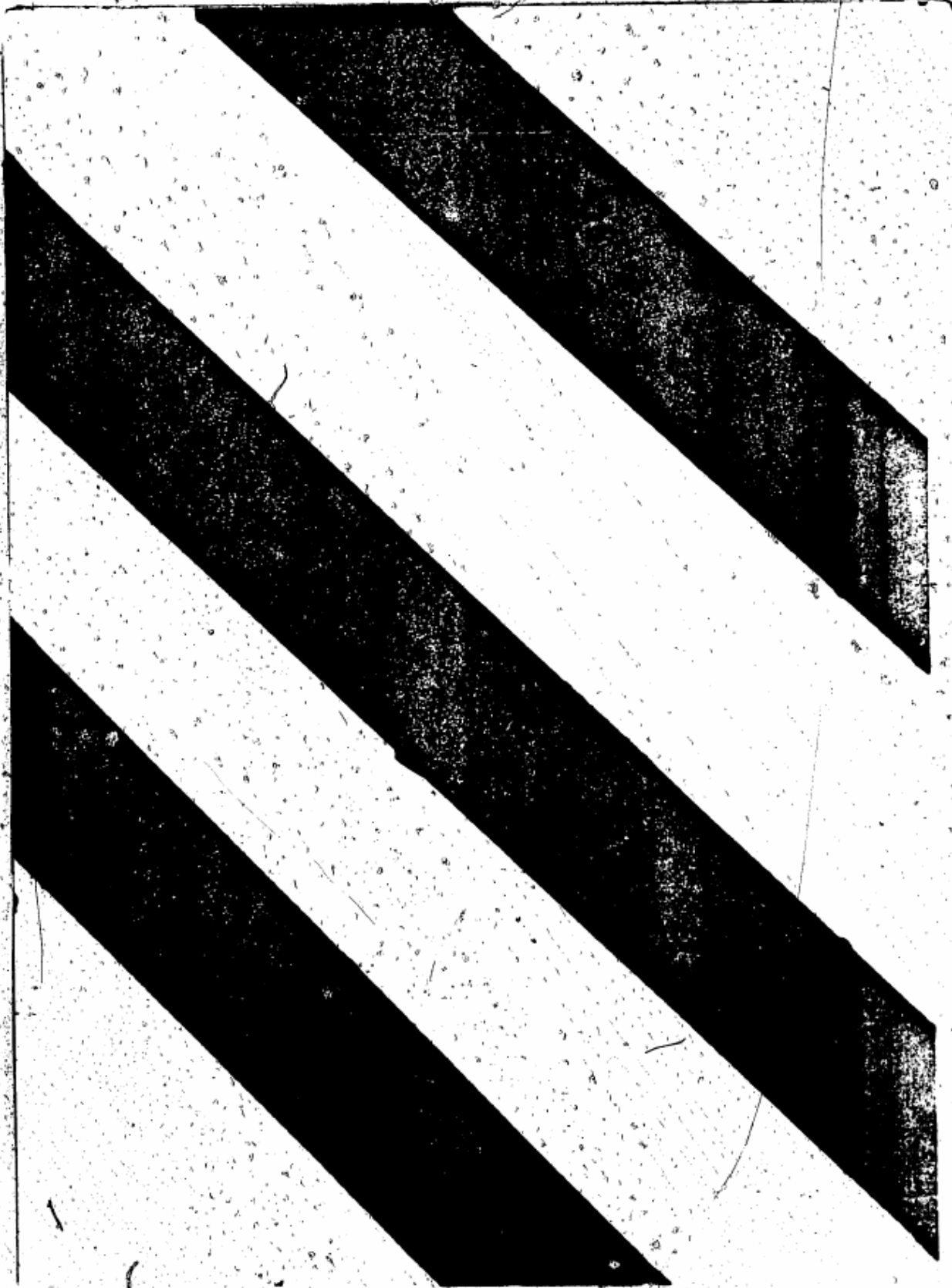
cc: Planning Department

\*\*\*\*\*

Instruction on Use of Form:

- Prepare in Duplicate for Checks
- Prepare in Triplicate for Cash
- Cash Payments must be delivered to Treasurer's office by hand.
- Send all copies of completed form & fee to City Treasurer (1 copy will be returned to PI. File)





ZA-76-85

McEntire Construction, agent for Fox Stanley Photo, requests approval of a five sq. ft. sign area variance on each of two facades of a film kiosk building to be located on Unit 1, Portion of Track A, Indian Plaza Addition, zoned C-1, and located at 2101 Carlisle, NE. (H-16)

Ms. Pat Waldroop an employee of Fox Photo was present. Mr. Peterson stated he had visited the property and had not asked for comments from anyone else.

Mr. Peterson stated he would close the hearing at this time, and make a decision within 15 days. (See Appendix)

ZA-76-86

Electrical Products Signs, agent for Hinkle Corp., requests approval of a variance in the number of signs to permit an extra free standing sign of about 24 sq. ft. west of two Park Central tower, located on the area previously known as Lots 5 thru 12 & 17 - 24, Block 19, Tijeras Place Addition, zoned C-1, and located at 300 San Mateo, NE. (K-18)

At the time this request came up there was no one present to represent it. Mr. Peterson stated he had visited the property, and had not asked for comments from anyone else. He then stated he would close the hearing, and make a decision within 15 days.

Towards the end of the meeting Mr. Reed Buell of Electrical Products Signs and Mr. Jim DeShon of the Hinkle Corp. wished to comment on this request at this time.

Mr. DeShon stated that there was only space for one more tenant, there will not be anymore room for more signs. (This space is available on the ground floor). What they are requesting is to have one big sign on the building advertising the different tenants, and keep the existing free-standing sign now existing.

Mr. Peterson asked for the ownership of this frontage along San Mateo in this block. Mr. DeShon stated that it is one common holding with Scanvest I. This is one premises with several lots involved.

Mr. Peterson stated that they do have enough frontage for these signs, but they are one too many and a suggestion would be if they removed the Hinkle sign, they would be in accordance with the Zoning Code. Mr. DeShon stated that when they put up this sign they were in accordance with the Code in that in a C-1 zoning, there were less restrictions for signs. Mr. Buell then asked Mr. Peterson if the frontages on other streets have an effect on the number of signs you can have. Mr. Peterson stated that they were relevant but only for signs that are closest to the frontage street; each street is calculated separately.

Mr. Peterson then asked what Scanvest I would think if approval of this sign on the condition that no other free-standing signs could be erected on the other two frontages. Mr. DeShon answered that they would wholeheartedly agree.

Mr. Peterson then stated he would close the hearing again, and make a decision within 15 days. (See Appendix)

APPENDIX  
Page 2

ZA-76-85

McEntire Construction, agent for Fox Stanley Photo, requests approval of a five sq. ft. sign area variance on each of two facades of a film kiosk building to be located on Unit 1, Portion of Track A, Indian Plaza Addition, zoned C-1, and located at 2101 Carlisle, NE. (H-16)

**FINDINGS:** The size, site, and nature of this building together with the agreement to limit signing below the normal on two sides are sufficient exceptional physical conditions to justify the requested variance. Three sides would be visible from an arterial street; one narrow side would be visible from a collector street. The requested variance will not be injurious to the neighborhood or appropriate use of adjoining property.

**DECISION:** The five sq. ft. sign area variance on each of two facades of a film kiosk building is approved as requested so that signing may be up to but not over 18.73% of the two wider facades on the condition that signing does not exceed 9.2% on the two narrower facades.

**NOTE:** Exact location of this building must be approved by the Traffic Engineer.

ZA-76-86 Electrical Products Signs, agent for Hinkle Corp., requests approval of a variance in the number of signs to permit an extra free standing sign of about 24 sq. ft. west of two Park Central tower, located on the area previously known as Lots 5 thru 12 & 17 - 24, Block 19, Tijeras Place Addition, zoned C-1, and located at 300 San Mateo, NE. (K-18)

**FINDINGS:**

1. Scanvest I, Ltd. owns the superblock bounded by San Mateo, Central, Maderia, and Copper. The street frontages on these streets are approximately 1000, 440, 1060, and 445 feet respectively.
2. Zoning on the subject area of the superblock is C-1 and C-2.
3. There are now four free-standing signs along San Mateo; none of these are too large or high, but only three free-standing signs are permitted on a 1000 foot street frontage; according to the zoning regulations which became effective January 1, 1976. These four signs were erected prior to this year.
4. There is little signing on the Copper or Maderia sides of the premises. There is no wall signing on Two Park Central Tower, and the building's design does not lend itself to wall signs.
5. The proposed sign is well within size, height and setback requirements of the C-1 zone.
6. A sector development plan with special regulations for this designated Urban Center will be developed in the next few years. Different sign regulations may take effect at this time, based on the special needs and plans of the area. Therefore, it is inappropriate to give permanent sign variances at this time.
7. The limited amount of signing on the premises at this time is an exceptional physical condition which justifies a temporary but not a permanent sign variance.
8. The requested variance will not be injurious to the neighborhood or appropriate use of adjoining property.

NOTICE OF PUBLIC HEARING  
ZONING ADMINISTRATOR - CITY OF ALBUQUERQUE

TO ALL CITIZENS AND PARTIES IN INTEREST:

Notice is hereby given that the Zoning Administrator, City of Albuquerque will hold a public hearing in Room 726, City Hall, 400 Marquette, NW, on Tuesday, April 6, 1976 at 1:00 p.m. for the purpose of considering the following requests:

- ZA-76-57 Charles R. Stevens requests a 17-ft. front yard setback variance to permit an attached garage to come to three feet from the right-of-way line on Lot 19, Block 31, Waggoman-Dennison Addition, zoned R-1, and located at 413 General Somervell, NE. (K-20)
- ZA-76-73 Electrical Products Signs, agent for Montgomery Plaza, requests approval of a 81.5 sq. ft. sign area variance in order to permit a 331.5 sq. ft. sign advertising of 45 businesses on the shopping center site on the northwest corner of Montgomery and San Mateo NE, Montgomery Heights Addition, zoned C-2, and located at 5001 Montgomery NE. (F-17)
- ZA-76-74 Geraldine L. Whitmire requests approval of a 4.5 ft. height variance to permit retention of two walls, up to 7.5 feet high, in the required front yard setback area on Lot 14, Block 05A, Loma Linda Addition, zoned R-1, and located at 1712 Vassar Dr., SE. (L-16)
- ZA-76-75 Department of Housing and Development, City of Albuquerque, agent for Louisa Cameron, requests approval of a two ft. rear yard setback variance to permit an addition to the side of the house coming to 13 feet from the rear property line on MRGCD Map 40, Tract 45, zoned RT, and located at 500 Cromwell, SW. (K-14)
- ZA-76-77 Rudy Buckner, agent for APACA, Inc., requests approval for expansion of a house nonconforming as to use or a conditional use to permit a watchman's residence on Lot 4, F. L. Thompson Subdivision, zoned C-2, and located at 403 Wyoming, SE. (L-19)
- ZA-76-78 Rudy Buckner, agent for APACA, Inc., requests approval of a conditional use for storage of household goods on Lot 4, F. L. Thompson Subdivision, zoned C-2, and located at 403 & 411 Wyoming, SE. (L-19)
- ZA-76-79 Nap Duran requests approval of a three foot rear yard setback variance to permit an addition to the house coming to 12 feet from the rear property line on Lot 5, Block 14, Brentwood Hills Addition, zoned R-1, and located at 12517 Phoenix, NE. (H-22)
- ZA-76-81 Mike Roberts requests approval of an area variance to permit commercial agricultural activity, the harvesting of worms, on less than one acre on TR. 58, MRGCD Map 35, zoned RA-2, and located at 2125 Rio Grande, NW. (H-12)
- ZA-76-82 Jose M. Lujan requests approval of a conditional use for a caretaker's residence and a six space parking variance, so as to permit only four parking spaces in connection with a restaurant or food shop on Lot 11, Block 2, New Year Addition, zoned C-2, and located at 608 Adams St., NE. (J-17)
- ZA-76-83 R. J. Construction Co., agent for Mr. & Mrs. Joe Jackson, requests approval of a 10 foot distance variance to permit an addition to the house to just touch the existing garage on Lot 81, Block 1, Palisades Addition, zoned R-1, and located at 857 Hidalgo Cr., NW. (J-11)
- ZA-76-84 Joseph A. & Alice M. Rideout requests approval of a front yard setback variance of up to 20 feet to permit retention of the carport and patio cover on Lot 16, Block 10, Loma Verde Addition, zoned R-2, and located at 302 San Pablo, NE. (K-19)
- ZA-76-85 McEntire Construction, agent for Fox Stanley Photo, requests approval of a five sq. ft. sign area variance on each of two facades of a film kiosk building to be located on Unit 1, Portion of Track A, Indian Plaza Addition, zoned C-1, and located at 2101 Carlisle, NE. (H-16)

PROPERTY OWNERSHIP LIST

ALBUQUERQUE/BERNALILLO COUNTY  
PLANNING DEPARTMENT

OK  
12

Meeting Date: April 6, 1976  
Index Map: H-16  
Notification Radius: 100 Feet  
Cross Reference \_\_\_\_\_

ZA- <u>76-85</u>	Z- _____
AX: _____	V- _____
CZ- _____	CSU- _____
	S- _____

Legal Description and Location: Unit 1, portion of Tract A  
Indian Plaza Subdivision located at 2101  
Carlside NE between Indian School Rd. and  
Freeway

Request: Variance

Applicant: For Stanley Plot Phone: 2998076

Address: McEntire Court  
Box 11323 Albuquerque 87112

Agent: McEntire Court Phone: 2946667

Address: \_\_\_\_\_

Copy of Legal Ad to be sent  
to Applicant and Agent by:

Certified Mail  
No. \_\_\_\_\_  
Applicant

Certified Mail  
No. \_\_\_\_\_  
Agent

SPECIAL INSTRUCTIONS

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Notices must be mailed from  
the City 11 Days prior to  
the meeting

Date Mailed: March 26, 1976

Signature: M. McEntire

The Following  
Prepared By:

Property Description:

Ownership Search:

Initial      Date

MO      3/16/76

\_\_\_\_\_  
\_\_\_\_\_

APPLICATION FOR SPECIAL EXCEPTION  
UNDER THE CITY ZONING ORDINANCE

- Conditional Use
- Expansion of Building Nonconforming as to Use
- Variance
- Height: \_\_\_\_\_
- Area: \_\_\_\_\_
- Front Yard: \_\_\_\_\_
- Side Yard: \_\_\_\_\_
- Rear Yard: \_\_\_\_\_
- Other: \_\_\_\_\_

NOTE: There is a separate "Procedure" instruction sheet related to this application.

I. APPLICANT INFORMATION

1. Applicant's Name: FOX STANLEY PHOTO Phone: 299-8076  
M-ENTIRE CONST  
Mailing Address: BOX 11323 ALBUQ. N.M. 87112
2. Agent (if any): M-ENTIRE CONST Business Phone: 294-6667  
Mailing Address: BOX 11323 ALBUQ. N.M. 87112
3. Applicant's Interest in Property: \_\_\_\_\_
4. Signature: W.R. M-Entire Date: 3-10-76

II. REASON FOR REQUESTED SPECIAL EXCEPTION

CUT DOWN  
2 SMALL 7HR. SERVICE SIGN ON END OF BLDG  
TO 5' MAX. ONE EACH END. THIS WOULD BE 6.47' MAX. UNDER  
ORDINANCE. LEAVE <sup>FOX</sup> SIGN ON SIDE AS IS WITH 16' MAX. OF  
SIGN. THIS WOULD BE 30' MAX. OVER ORDINANCE. THIS IS THE  
SIDE I WOULD LIKE A VARIANCE ON CARLISLE

III. LOCATION OF REQUESTED SPECIAL EXCEPTION

1. Legal Description (Use extra sheet if necessary):  
Lot(s): UNIT 1 POPTBOOK: OF TRACT A Plat: \_\_\_\_\_  
INDIAN PLAZA
2. Street Address (No. if any): 2101 CARLISLE N.E.  
between INDIAN SCHOOL and FREWAY streets.

IV. PROJECT DETAILS

1. Zoning C-1
2. Present Use of Property SHOPPING CENTER
3. Five copies of an accurate site plan showing (a) location of the property that is the subject of the request; (b) abutting streets and alleys; (c) all significant structures presently on the property; (d) the proposed special exception (including dimensions); (e) structures on adjoining property, within 25 feet of the proposed special exception; (f) north directional arrow. (Note: The Planning Department may waive the site plan where it is obviously not pertinent.) Attached:
4. Additional material such as a sketch of the elevation of structures, program of development, or photos, may be required by the Planning Department. Attached:

A-16

ZA-76-85

BLOCK	LOT TRACT	REAPPRAISAL CODE		NAME	ADDRESS	CERTIFIED MAIL
		MAP NUMBER	GRID LOCATION			
H-16		1-016-054	507036	4-02-5	Lot 7 & 8 Bank Drive Box 1305	87103
			514002	6		
			514006	7		
			514077	8	Betty L. W. Bouler Bt 3624	87110
			513081	9	State Hwy Corp Bx 1641 - Santa Fe	87501
			511086	10		
			494074	11		
			483059	12	Alva Coats	5006 Rayene W 87110
			276043	13		
			477019	14		
H-17			501061	15	Sprawl Inv. Co 12X 3158	80118
		1-017-059	013060	3-01-45	133 Avenue of the Americas New York, N.Y. 10036	
J-16		1-016-058	515516	1-24-22	Phillips Marketing Properties Bldg 1000 - 79700	
			501515	24	Douglas A. Campbell 3500 2nd St NE	87106
J-17			488574	26	Ray A. Pacini 1920 Amhurst NE	
		1-017-058	010523	2-14-19	H B & Calvin P Horn Bt 8765	87108





PLANNING DEPARTMENT  
CITY OF ALBUQUERQUE  
P.O. Box 1293  
Albuquerque, New Mexico 87103

APPLICATION FOR SPECIAL EXCEPTION  
UNDER THE CITY ZONING ORDINANCE

- Conditional Use  
 Expansion of Building  
Nonconforming as to Use  
 Variance

NOTE: There is a separate "Procedure"  
Instruction sheet related to this  
application.

Height: \_\_\_\_\_  
Area: 154 Sign  
Front Yard: \_\_\_\_\_  
Side Yard: \_\_\_\_\_  
Rear Yard: \_\_\_\_\_  
Other: \_\_\_\_\_

I. APPLICANT INFORMATION

1. Applicant's Name FOX STANLEY PHOTO Phone: 299-8076  
M=ENTIRE CONST  
Mailing Address: BOX 11323 ALBQ. N.M. 87112
2. Agent (if any): M=ENTIRE CONST Business Phone: 294-6667  
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REMOVE SMALL 7HR. SERVICE SIGN ON END OF BLDG.  
TO 5' SIGN ON EACH END. THIS WOULD BE 6.47' OVER  
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4. Additional material such as a sketch of the elevation of structures, program of development, or photos, may be required by the Planning Department. Attached:

ZA- 76-85

THIS SIDE FOR OFFICE USE ONLY

V. INTERNAL DATA

1. Application Received by: Perkins Date: 3-11-76  
2. Signs Issued: 1  
3. Hearing Date Assigned: 4-6-76  
4. Payment Received: -  
5. Planning Map No.: H-16  
6. Related Cases: \_\_\_\_\_  
7. Legal Ad: file of 18 signs area variance on each of  
two fences of a farm house building to be  
located on...

Sent (by, date): \_\_\_\_\_ Published on: \_\_\_\_\_

8. S.A.S. Needed: Yes: \_\_\_\_\_ No: \_\_\_\_\_

9. Comment Requests Sent: \_\_\_\_\_ By: \_\_\_\_\_

- |                               |                           |                      |
|-------------------------------|---------------------------|----------------------|
| _____ Traffic Engineer        | _____ Refuse Removal Div. | _____ Water Engineer |
| _____ City Real Estate Office | _____ Parks & Recr. Dept. | _____ APS            |
| _____ City Engineer           | _____ Fire Department     | _____ CIP            |
| _____ COG - MTP               | _____ MRGCD               | _____ Other          |

BHB-02

**FOX-STANLEY PHOTO PRODUCTS, INC.**

**STEEL FRAME · PREFABRICATED  
DRIVE - UP STORE**

**INDEX TO DRAWINGS**

- 1 FOUNDATION PLAN · SECTIONS**
- 2 ELECTRICAL PLAN**
- 3 FLOOR PLAN**
- 4 ELEVATIONS**
- 5 BUILDING SECTION · ELEVATION**
- 6 BUILDING SECTION**
- 7 MISCELLANEOUS DETAILS**
- 8 PLOT PLAN**

11 AUG 1973  
19 AUG 1974  
30 JAN 1974  
14 DEC 1973  
7 NOV 1973

**BARRY P. MIDDLEMAN**

**AIA ARCHITECT**

84 N E LOOP 410 / SUITE 149 E

SAN ANTONIO, TEXAS



\*(NOTE) PROVIDE 220V OUTLET.  
PLUSH MOUNTED IN GRID CLG OVER  
A/C LOCATION. COORDINATE RECEPTACLE  
TYPE WITH A/C REQUIREMENTS.

**GENERAL NOTE:**

ELECTRIC METER TO BE LOCATED  
ON POLE, REMOTE FROM PHOTO  
UNIT.

CORNER "J" BOX ATTACHED TO  
CORNER TUBE, FOOT ONLY CORNER  
OF TUBE @ "RUSH" EDGES)  
SEE DETAIL "A" THIS SHEET. Δ

PROVIDE "J" BOX @ CORNER TUBE  
ABOVE CLG. FOR PULL BOX. PROVIDE  
GREENFIELD FROM THIS POINT TO  
AREAS SHOWN ON PLAN

1 1/4" MAIN ELEC FEEDER - 3-#2 AL  
(STUB UP 2" ABOVE FINISHED FLOOR)  
OR LESS IF ACCEPTED BY LOCAL CODES  
ELEC PANEL AGAINST VENEER PANEL  
SEE PANEL SCHEDULE, THIS SHEET

TIME CLOCK - IP 40

TELEPHONE (NOTE)  
PROVIDE PULL WIRE IN TELEPHONE  
CONDUIT, SIZE AS PER MIN LOCAL  
TELEPHONE CO. REQUIREMENTS.

RUN (LIGHTING) GREENFIELD DOWN  
TUBE SHOWN TO A POINT 4'-6" AFF  
AT WHICH POINT CLG LIGHT TOSBLE  
SWITCH BOX IS LOCATED

DUPLX RECEPTACLE  
2-3/4" CONDUIT

4 TUBE 2" X 4" LAY-18  
FLOOR LIGHT TROUSERS

CASH REGISTER RECEPTACLE

"J" BOX @ CORNER TUBE ABOVE  
CLG TO RECEIVE GREENFIELD. Δ

NOTE:  
BUILDING STEEL SHALL BE  
BONDED TO MAIN ELECTRIC  
SERVICE GROUND.

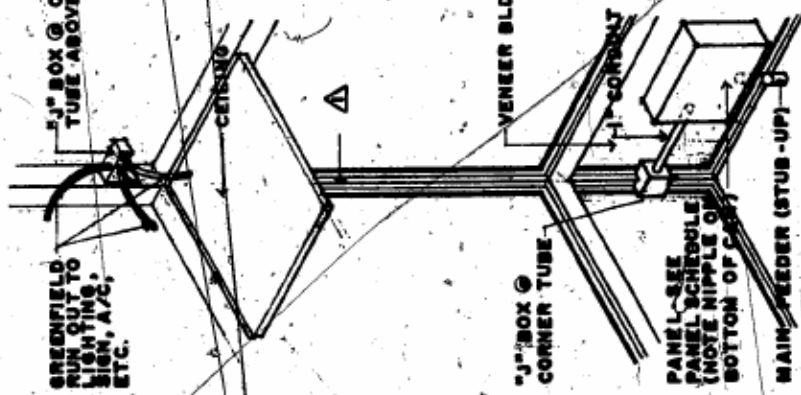
ELECTRICAL PANEL L 125 AMLO 10 3W 120/240V

BREAKERS:

1. 20/1 SIGN MOTOR
2. 20/1 CASH REGISTER
3. 20/1 LST. S.D. RECEPTACLE
4. 20/2 A/C
5. 20/1 SPARE
6. 20/1 SPARE

Δ 9/11/75

Δ 9/19/74



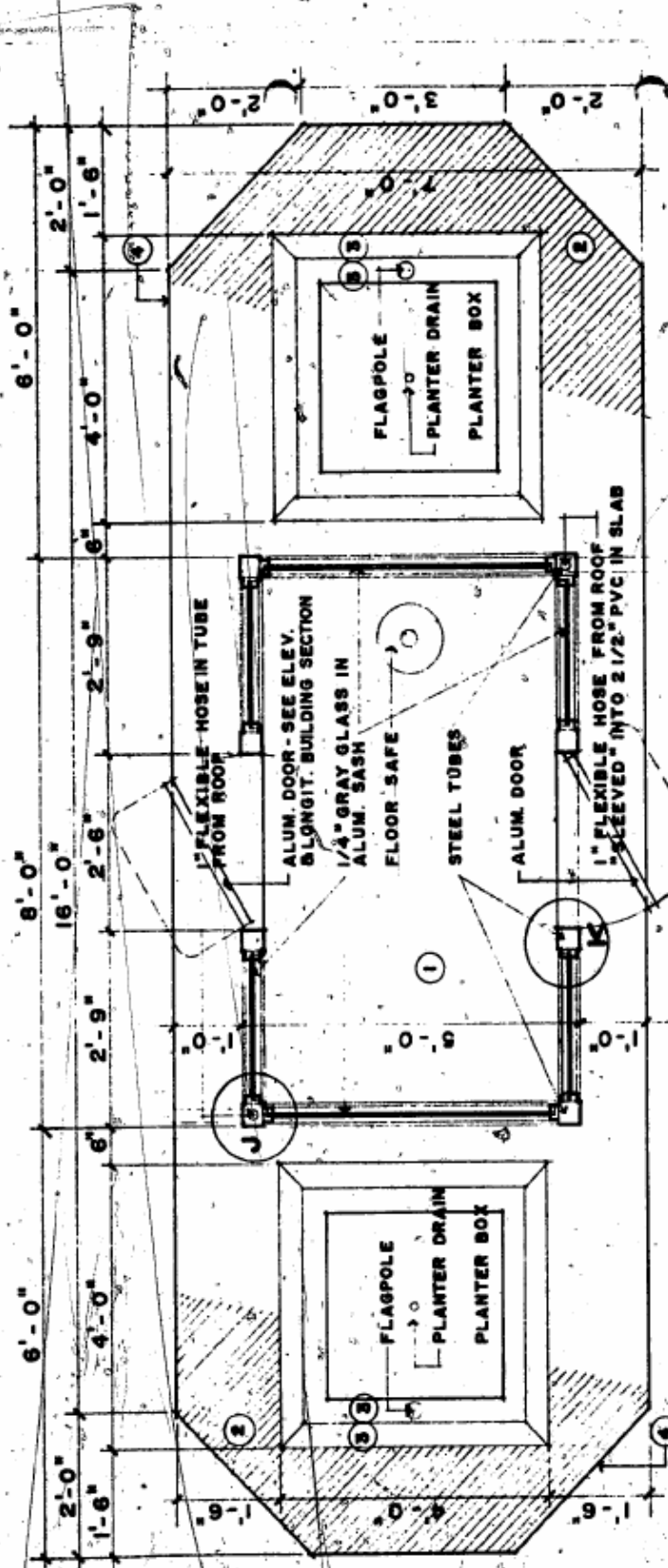
**DETAIL A**

**ELECTRICAL PLAN**

2

1/2" = 1'-0"





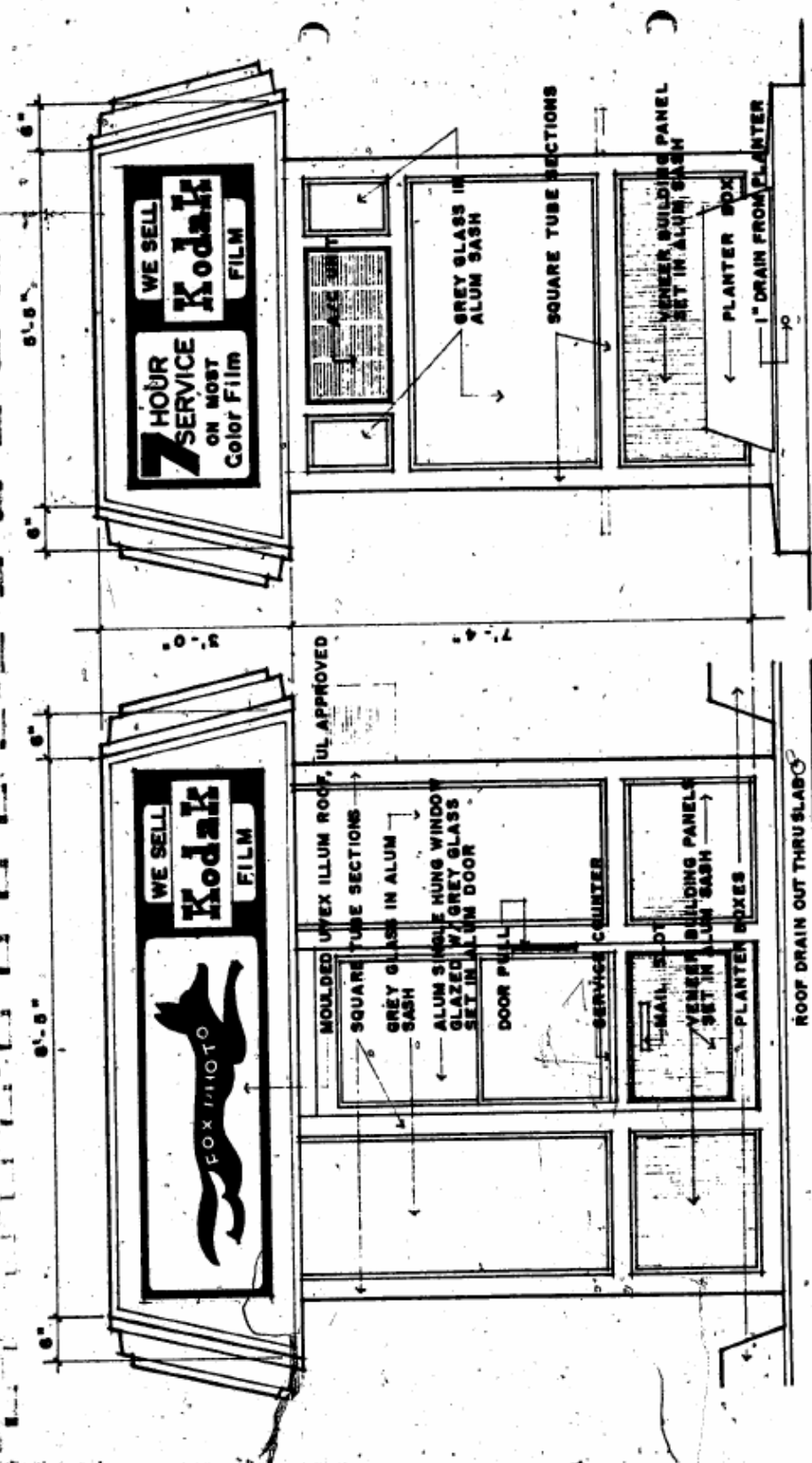
**SCHEDULE OF FINISHES**

- ① CARPET (RUBBER BACKED) FURNISH BY FOX, INSTALLED BY GEN. CONTRACTOR
- ② ARTIFICIAL TURF-FURN. (PRE-CUT) BY FOX WITH ADHESIVE-INSTALLED BY GEN. CONTRACTOR
- ③ PLANTER PAINTED WHITE-TURN PAINTING DOWN INSIDE OF PLANTER TO DIRT LEVEL. GEN. CONTR. TO FURNISH MATERIALS & LABOR
- ④ PAINT EXPOSED EDGES OF SLAB AROUND FULL PERIMETER OF UNIT WITH LATEX BASE VINYL ACRYLIC GREEN PAINT(MATERIAL & LABOR BY GENERAL CONTRACTOR)



**FLOOR PLAN**  
1/2" = 1'-0"

W

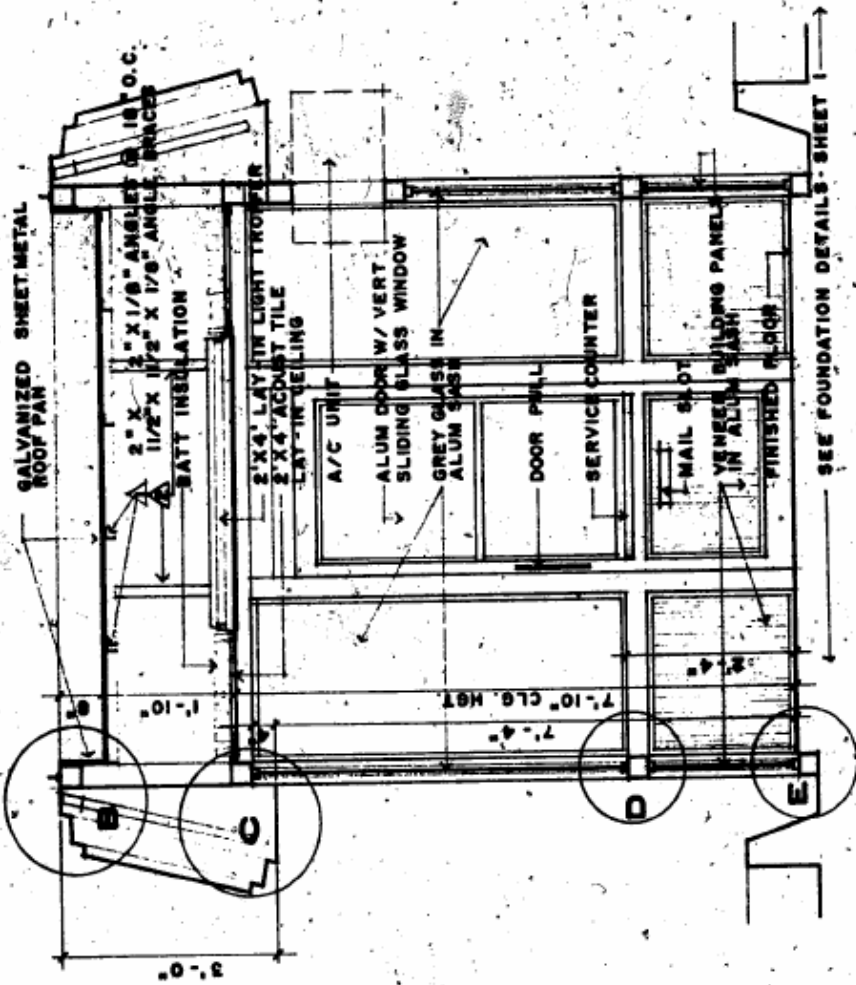


**ELEVATIONS**  
1/2" = 1'-0"

**4**







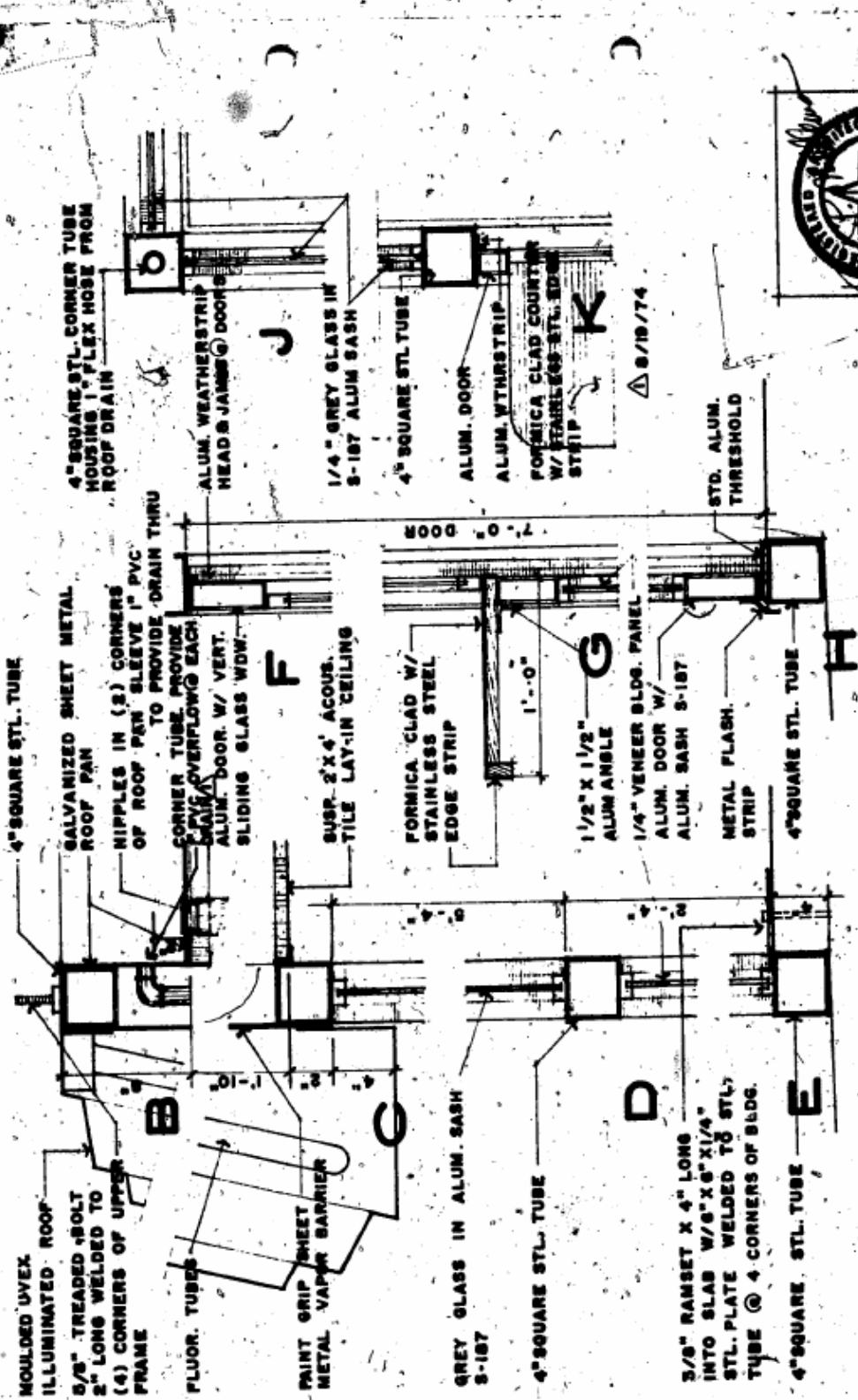
**LONGITUDINAL SECTION**

1/2" = 1'-0"

A 14 DEC. 73  $\Delta$  8/10/74

0

SEE FOUNDATION DETAILS - SHEET 1



MISCELLANEOUS DETAILS

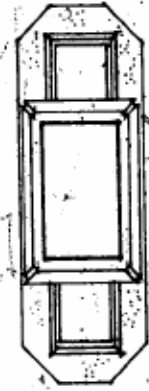
1 1/2" x 1 1/2"



2A-76-85

DRIVE THRU LETTERS &  
ARROWS PAINTED "YELLOW"

DRIVE  
THRU



DRIVE  
THRU



ASPHALT WITHIN  
30'-SQUARE  
AREA, PAINTED  
"BLACK"

4" STRIPE AROUND PERIMETER FORMING  
A 30'-SQUARE, STRIPE PAINTED "YELLOW"

30'-0"

30'-0"



**PLOT PLAN**  
1/8" = 1'-0"



**OUTLINE SPECIFICATIONS FOR:  
STEEL FRAME - PREFABRICATED - DRIVE-UP STORES**

**GENERAL CONDITIONS:**

Building unit itself is fully prefabricated and will be set in place by FOX. Building is built in accordance with subsequent plans and specifications.

General Contractor is to provide the following:

1. Preparation of site (if required)
2. Underground utilities, as per plans and specs.
3. Paving (if required) as per specifications.
4. Concrete: concrete foundation as per plans and specs.
5. Miscellaneous: installation of artificial turf and painting of pavement and concrete areas as shown on plans.

**EXAMINATION OF PREMISES:**

Contractor shall carefully examine the premises before submitting his bid. No allowance shall be made him for lack of full knowledge of existing conditions under which he will be obliged to operate.

**RESPONSIBILITY OF CONTRACTORS:**

Each Contractor will be held responsible for the execution of a complete piece of work, in accordance with the true intent of the drawings and specifications. He shall provide, without extra charge, all incidental items required as part of his work, even though not particularly mentioned or specified. If he has good reason for objecting to the use of any material, appliance or method of construction as shown or specified, he shall make report of such objection to the Architect, and obtain proper adjustment before the contract is made. He shall proceed with the work only with the understanding that a complete and satisfactory piece of work will be required.

**BUILDING LAWS AND ORDINANCES:**

All materials and construction shall conform to the requirement of all building and sanitary laws, and the Contractor shall be responsible for any violation of the same and shall make work acceptable to the building department without extra charge.

**PERMITS AND FEES:**

This Contractor shall take out the general construction permit and all other permits required by law, for the entire work, assuming all responsibility and paying all costs involved.

**SITE WORK, FILL, GRADING: (If Required)**

- A) Scope: The work includes clearing, layout, cut and/or fill, rough grading, gravel fills, and finished grading, and special features shown on plans. At completion and during construction, grades shall slope away from structure and drain entire site without ponding. Utility trenches shall not be left open. Remove excess material from site and bring in new materials as required. Grades shown on the drawings are approximate; minor adjustments may be required to meet existing conditions at the site to carry out the general design shown on the drawings.



SITE WORK, FILL, GRADING: (continued)

B) Materials and Work: (If Required)

1. Layout
2. Clearing
3. Rough Grading
4. Gravel Fill
5. Finish Grading
6. Excavations and Backfill

PAVING (ASPHALT): (If Required)

A) Scope: The work includes installation of all paving patching, complete with base, shoulders, topping.

B) Materials and Work:

1. Select Crushed Base Material (6" thick)
2. Prime Coat
3. Asphalt Topping To Match Existing (1½" thick)
4. Parking Lot Painted Striping

CONCRETE:

A) Scope: The work includes structural concrete, reinforcing, steel foundation work and finishes. Prefabricated metal forms to be furnished by FOX. General Contractor to set in place, reinforce and pour. Refer to plans.

B) Materials and Work:

1. Forms - Set and well grade to true lines
2. Concrete - Transit mix Portland Cement concrete proportioned by water-cement ratio. Spec. ASTM-C-94-58. Strength required in 28 days: 3000 #PSI
3. Reinforcing Steel - ASTM Spec. A185-56T
4. Finish - Floor areas to receive hard trowelled monolithic finish
5. All concrete to contain "Master Builders" pozzolith admixture

C) Miscellaneous:

1. Recessed floor safe will be furnished by FOX. General Contractor to set in slab prior to pouring concrete at location as shown on plans.
2. Flagpoles (2) and flagpole sleeves (2) will be furnished by FOX and installed by General Contractor as shown on plans. Verify that sleeve is plumb, upon completion of pour.

ELECTRICAL:

A) Scope: The work under this heading shall include all labor, materials, equipment, etc., required for the installation of all electrical work, as shown on drawings and as herein specified.

B) Materials and Work: Materials and equipment shall be new and in perfect condition. Labor shall be performed in a workmanlike manner by mechanics skilled in their particular trade. Conduit and equipment shall be installed square and plumb and accessible for proper operation and service. Installation shall be consistent in completeness and appearance whether enclosed or exposed.

ELECTRICAL: (continued)

- C) Permits, Fees and Code Regulations: The Contractor must, at his own expense, obtain all necessary permits, pay all legal fees and charges pertaining to work under this section, and comply with all National, State, and Municipal Building Safety laws, codes, ordinances, and regulations relating to building public safety. All equipment shall be listed by Underwriter's Laboratories as approved.
- D) Electrical Contractor shall furnish the following:
1. Underground conduit and wiring for electrical source for building unit as shown in plans. Stub-up and tie into electrical panel. Building unit is completely pre-wired and requires only main feeder, service hook-up.
  2. Provide underground conduit for telephone service to building as per plans.
  3. Meter and transformer to be set on pole remote from photo unit.
  4. Building steel shall be bonded to main electric service ground.

MISCELLANEOUS:

General Contractor to provide the following:

1. Paint paving, arrows, lettering, and stripping as shown on plans.
2. Paint exposed surfaces of concrete as shown on plans, with Elliotts vinyl acrylic paint or approved equal.
3. Install artificial turf (turf and adhesive, furnished by FOX) at area on slab as shown on plans.

FOX-STANLEY PHOTO PRODUCTS, INC.

Steel Frame - Prefabricated  
Drive-Up Store - Component Parts

1. Steel building framing - 4" standard steel tubing with walls of .120 Ga. steel.
2. Steel tubing primed with red oxide (Sherwin-Williams) primer. Finish coat in Sherwin-Williams black, non-gloss synthetic enamel.
3. Roof pan as shown on plans is constructed of 20 ga. galvanized sheet metal in one piece. Vapor barrier between building frame and illuminated roof sign around building consists of 22 ga. galvanized sheet metal.
4. Glazing consists of  $\frac{1}{2}$ " grey polished plate glass set in aluminum sash no. #S-187 as manufactured by Samuels Metal Products of San Antonio, Texas.
5.  $\frac{1}{2}$ " veneer building panels as shown in lower sections of unit are "Mirawal" double - faced building panels as manufactured by "Kaiser Aluminum." It consists of a center core of cement asbestos board and is faced on the exterior and interior with "Miracoil", a porcelain enamel facing in the color #1 - No. 8 (Kodak - yellow). These panels are set in Alum. sash No. #S-187.
6. Doors for the unit are constructed of aluminum and are anodized in a black finish. Each door contains a standard "Single-hung" aluminum and grey glass sliding window unit in the upper section of the doors. The lower sections of the doors contain  $\frac{1}{2}$ " "Mirawal" set in S-187 aluminum sash.
7. Illuminated "roof" sign is U.L. approved and is formed with .032 ga. painted aluminum and is faced with .150 uvex vacuum form plastic at the sign logo.
8. Electrical as shown on plans is fully pre-wired and meets all U.L. requirements as well as the National Electric Code.
9. Air conditioning unit:  
Carrier model No. 51SE 1203, 220 volt  
Cooling capacity - 11,000 BTU  
Heating capacity - 10,500 BTU  
or  
Chrysler Airtemp R12-3EG - 220 Volt  
Cooling capacity - 12,000 BTU  
Heating capacity - 12,000 BTU

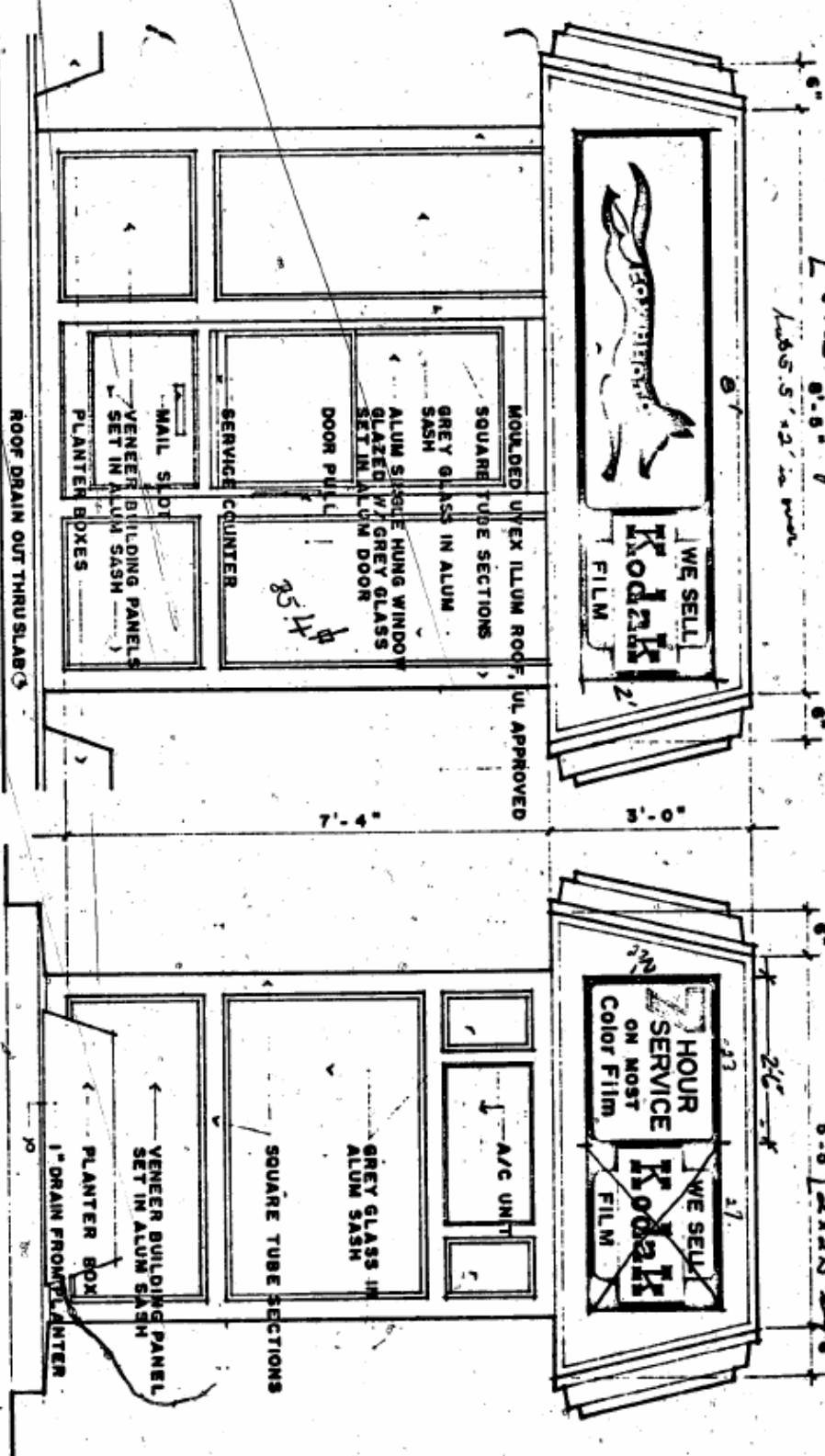
(Note) a/c unit sleeve painted flat black on exterior to match building frame.





15'-33" x 2'-2" opening = 15'-5 7/8"  
 15'-5" x 2'-2" in plan

8'-0" [2' x 2'5" opening = 9'-2 1/2"]



# ELEVATIONS

1/2" = 1'-0"

10'-3" x 8'-4"  
 +0'-5" = 3  
 10'-9" = 10  
 18'-13" = 90

5'-4" x 10'-3"  
 +0'-5" = 3  
 5'-4" = 10  
 5'-4" = 10  
 9'-2" = 90





Zoning Administration Division - Planning Department - City of Albuquerque

APPLICATION FOR ZONING PERMIT FOR A SIGN

APPLICATION NUMBER

NOTE: THIS IS NOT A BUILDING PERMIT.

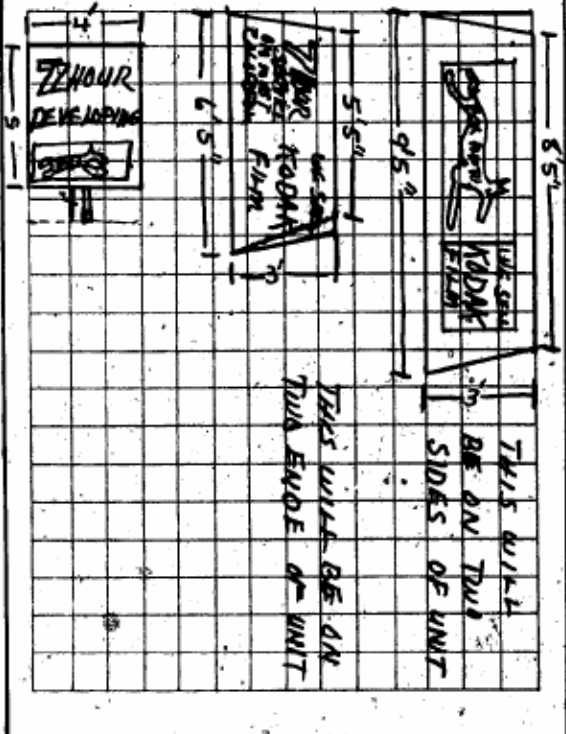
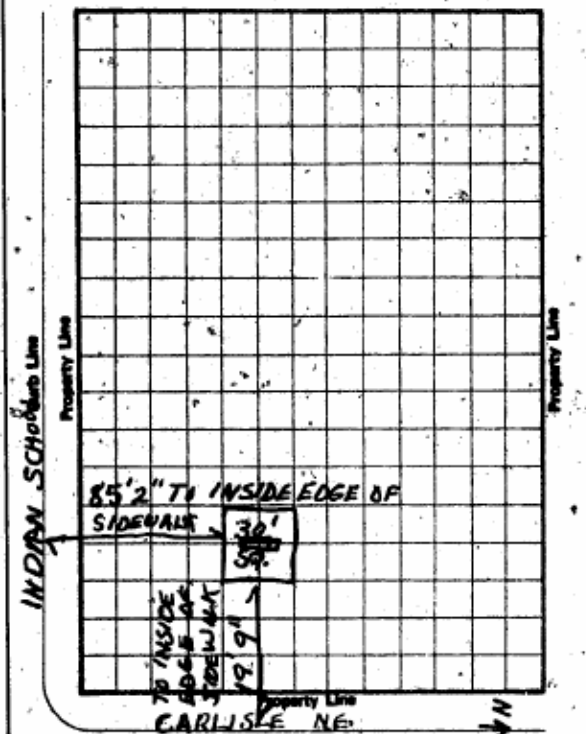
Date \_\_\_\_\_  
 Location of Sign \_\_\_\_\_  
 Street \_\_\_\_\_  
 Address \_\_\_\_\_  
 Lot \_\_\_\_\_ Block \_\_\_\_\_  
 Subdivision \_\_\_\_\_

Type(s) and number of Sign(s) to be Installed

<input type="checkbox"/> Well	Illuminated	YES	NO
<input type="checkbox"/> Free Standing	Moving Elements	YES	NO
<input type="checkbox"/> Projecting	Refers to an	YES	NO
<input type="checkbox"/> Canopy	On-Premise Business		
<input type="checkbox"/> Marquee			
<input type="checkbox"/> Roof			

Plot Plan of Premises: Show location of all structures, existing signs and proposed sign(s). Show dimensions (height & length) of signs, buildings, & lot. Show curby cuts.

Proposed Sign(s): (1) Draw Sign(s) in Detail, Showing Dimensions and Copy, (2) attach separate drawing, or (3) reference standard plan on file in Planning Department.



Zone \_\_\_\_\_  
 Approved \_\_\_\_\_  
 Denied \_\_\_\_\_  
 Date \_\_\_\_\_

Reason for Denial, or Modification Required

Permit Fee  
 CR 0103713

Sign Owner \_\_\_\_\_  
 Address \_\_\_\_\_

Sign Erector \_\_\_\_\_  
 Address \_\_\_\_\_

I hereby acknowledge that this application is correct and I agree to comply with all City ordinances regulating signs. I understand that the issuance of a permit shall not prevent the Zoning Administration Division from thereafter requiring correction of violations, and the sign(s) is not given final zoning approval until a seal of compliance is placed on the sign by the Zoning Administration Division. I understand that work under this permit must be completed within six months, or the permit will have to be renewed.

SIGNATURE OF PERMITTEE \_\_\_\_\_

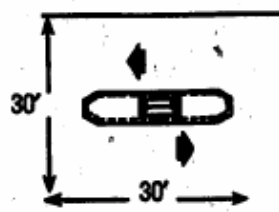
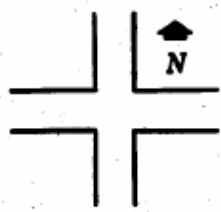


NOTICE: THIS PERMIT NOT VALID UNTIL FEE IS PAID.

# FOX-STANLEY PHOTO PRODUCTS, INC.

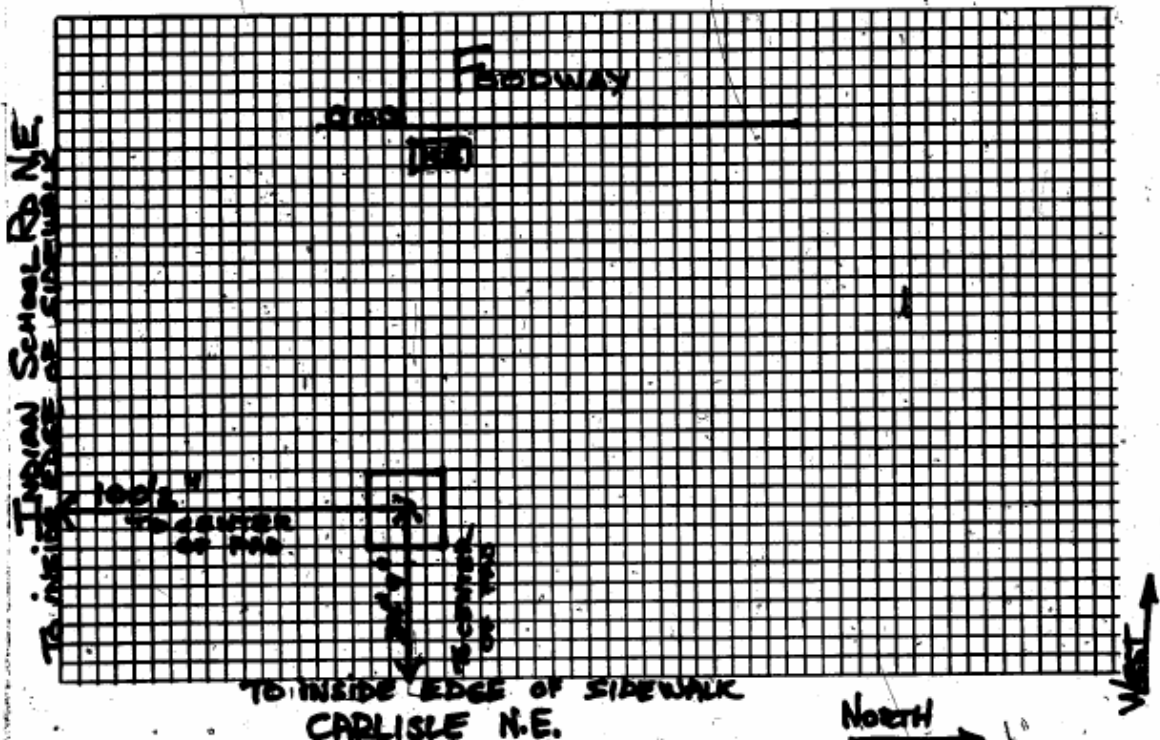
INDIAN PLAZA SHOPPING CENTER  
CARLISLE & INDIAN SCHOOL N.E.

Street Address or Intersection \_\_\_\_\_  
City ALBUQUERQUE County BERNALLILLO State NEW MEXICO



**BUILDING SIZE:**  
Extended Foundation: 7' x 20'  
Building: 5' x 8' x 18' 6"

LOT MAP



Approved by Lessor Juanita Properties Approved by Lessee \_\_\_\_\_  
Sen. Juanita Lopez

EXHIBIT A.

# OFFICIAL NOTICE

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
Box 1293, Albuquerque, NM 87103

Date April 8, 1976

Fox Stanley Photo  
c/o McEntire Construction  
Box 11323  
Albuquerque, NM 87112

## NOTIFICATION OF DECISION ON A ZONING SPECIAL EXCEPTION

File ZA 76-85  
Location: 2101 Carlisle, N.E.

Your application for special exception under the Comprehensive Zoning Ordinance was considered at the Zoning Administrator's hearing on April 6, 1976. The following decision was made:

**FINDINGS:** The size, site, and nature of this building together with the agreement to limit signing below the normal on two sides are sufficient exceptional physical conditions to justify the requested variance. Three sides would be visible from an arterial street; one narrow side would be visible from a collector street. The requested variance will not be injurious to the neighborhood or appropriate use of adjoining property.

**DECISION:** The five sq. ft. sign area variance on each of two facades of a film kiosk building is approved as requested so that signing may be up to but not over 18.73% of the two wider facades on the condition that signing does not exceed 9.2% on the two narrower facades.

**NOTE:** Exact location of this building must be approved by the Traffic Engineer.

If you wish to appeal this decision, you may do so by April 22, 1976 in the manner described below, as excerpted from the Zoning Ordinance of the City of Albuquerque.

1. Jurisdiction. Appeal of special exception decisions by the Zoning Administrator is to the Planning Commission. Appeal of decisions by the Planning Commission is to the City Commission.
2. Application. A decision by the Zoning Administrator or the Planning Commission is final unless appeal is initiated by application to the City on prescribed forms within fifteen days of the decision. A building permit dependent on a case shall not be issued until an appeal is decided, or the time for filing the appeal has expired without an appeal being filed.
3. Acceptance. The City Commission may decline to accept an appeal if it finds that all adopted City plans, policies, and ordinances have been properly followed. If it decides that there is a substantial question that all such City plans,

policies, and ordinances have not been properly followed or are not adequate, it shall accept the appeal. The Planning Commission shall accept all appeal cases sent to it.

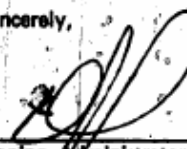
4. Fee. A filing fee of \$25 must accompany each appeal application. When an application is withdrawn the application fee shall not be refunded.

5. Hearing and Decision. An appeal, if accepted, shall be decided within sixty days of its filing. Decision shall be following a public hearing. Public notice of an appeal must be given by legal advertisement in a newspaper of general circulation in the City of Albuquerque at least fifteen days before the hearing. The Planning Department must give written notice of an appeal, together with a notice of the date, time, and place of hearing to the applicant, a representative of the opponents, if any are known, and the appellant.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the Zoning Administrator is secured. Approval of this case does not constitute approval of plans for a building permit. If your application is approved, bring this letter when you come to City Hall, 400 Marquette NW, to secure any related building permit. You should take two copies of your plans to the Building & Inspection Division to initiate such a permit.

Approval of a conditional use or variance application is void after one year from date of approval if the rights and privileges granted thereby have not been executed or utilized.

Sincerely,

  
Zoning Administrator

ZA

Letter of  
Advice

DAP:ps

BHB-02



PLANNING DEPARTMENT  
ALBUQUERQUE / BERNALILLO COUNTY

CASE No. : ZA-76-85

FEE PAYMENT

FEE: \$ 25.00 CHECK  CASH  DATE 3-17-76

\*\*\*\*\*

Check Drawn on: Albuquerque National Bank

Branch: North Fourth Street Office Check No.: \_\_\_\_\_

Account: McEntire Construction Company

/s/ W. R. McEntire

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

\*\*\*\*\*

RECEIPT OF THE ABOVE FEE IS HEREBY ACKNOWLEDGED.

ROBERT E. LANDON, TREASURER  
CITY OF ALBUQUERQUE

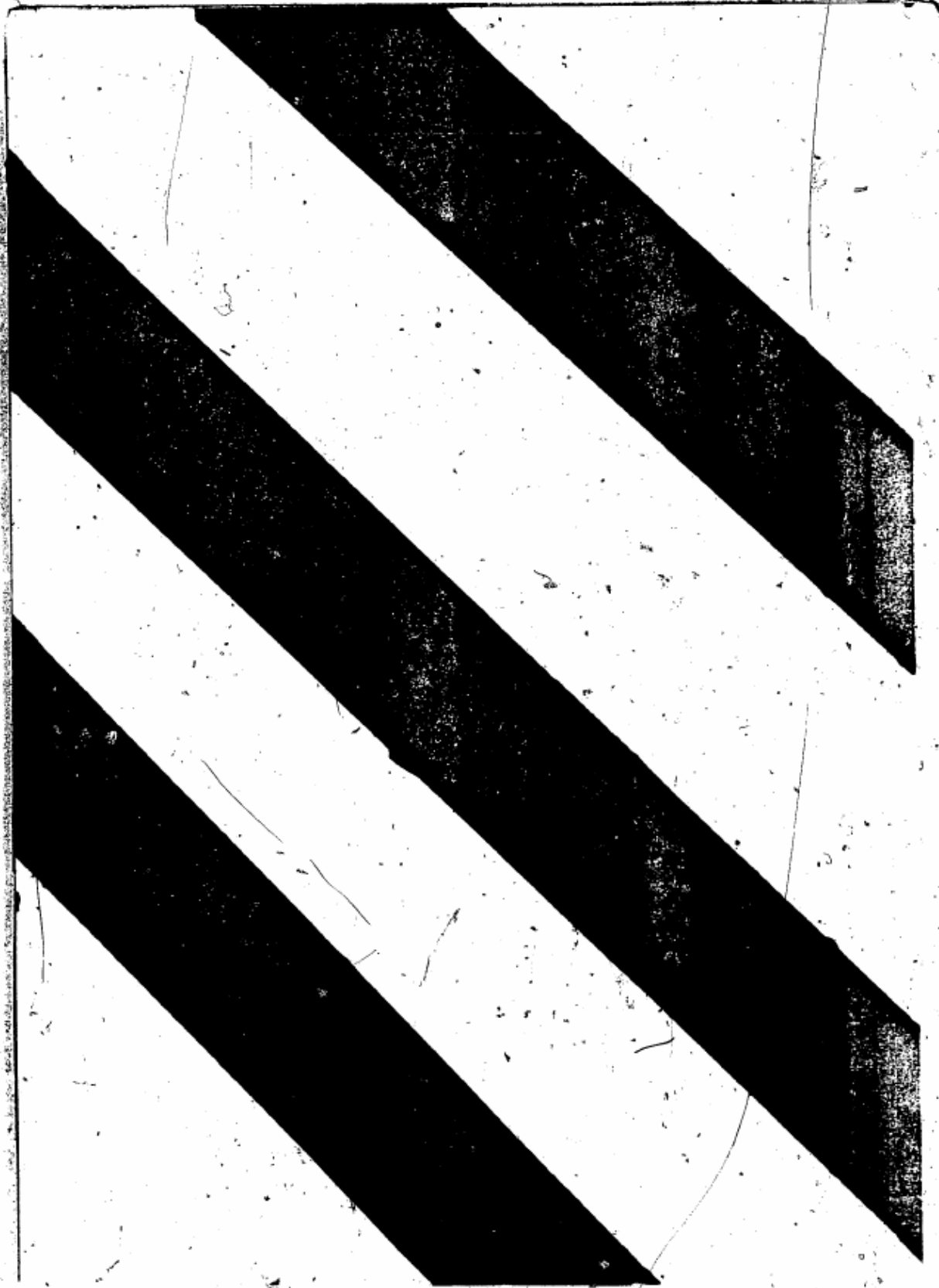
Date: Galay Niles

cc: Planning Department

\*\*\*\*\*

Instruction on Use of Form:

Prepare in Duplicate for Checks  
Prepare in Triplicate for Cash  
Cash Payments must be delivered to Treasurer's office by hand.  
Send all copies of completed form & fee to City Treasurer (1 copy  
will be returned to Pl. File)





ZA MINUTES 4/6/76  
Page 7

ZA-76-85

McEntire Construction, agent for Fox Stanley Photo, requests approval of a five sq. ft. sign-area variance on each of two facades of a film kiosk building to be located on Unit 1, Portion of Track A, Indian Plaza Addition, zoned C-1, and located at 2101 Carlisle, NE. (H-16).

Ms. Pat Waldrup an employee of Fox Photo was present. Mr. Peterson stated he had visited the property and had not asked for comments from anyone else.

Mr. Peterson stated he would close the hearing at this time, and make a decision within 15 days. (See Appendix)

ZA-76-86

Electrical Products Signs, agent for Hinkle Corp., requests approval of a variance in the number of signs to permit an extra free standing sign of about 24 sq. ft. west of two Park Central tower, located on the area previously known as Lots 5 thru 12 & 17 - 24, Block 19, Tijeras Place Addition, zoned C-1, and located at 300 San Mateo, NE. (K-18).

At the time this request came up there was no one present to represent it. Mr. Peterson stated he had visited the property, and had not asked for comments from anyone else. He then stated he would close the hearing, and make a decision within 15 days.

Towards the end of the meeting Mr. Reed Buell of Electrical Products Signs and Mr. Jim DeShon of the Hinkle Corp. wished to comment on this request at this time.

Mr. DeShon stated that there was only space for one more tenant, there will not be anymore room for more signs. (This space is available on the ground floor). What they are requesting is to have one big sign on the building advertising the different tenants, and keep the existing free-standing sign now existing.

Mr. Peterson asked for the ownership of this frontage along San Mateo in this block. Mr. DeShon stated that it is one common holding with Scanvest I. This is one premises with several lots involved.

Mr. Peterson stated that they do have enough frontage for these signs, but they are one too many and a suggestion would be if they removed the Hinkle sign, they would be in accordance with the Zoning Code. Mr. DeShon stated that when they put up this sign they were in accordance with the Code in that in a C-1 zoning, there were less restrictions for signs. Mr. Buell then asked Mr. Peterson if the frontages on other streets have an effect on the number of signs you can have. Mr. Peterson stated that they were relevant but only for signs that are closest to the frontage street; each street is calculated separately.

Mr. Peterson then asked what Scanvest I would think if approval of this sign on the condition that no other free-standing signs could be erected on the other two frontages. Mr. DeShon answered that they would wholeheartedly agree.

Mr. Peterson then stated he would close the hearing again, and make a decision within 15 days. (See Appendix)

APPENDIX  
Page 2

ZA-76-85

McEntire Construction, agent for Fox Stanley Photo, requests approval of a five sq. ft. sign area variance on each of two facades of a film kiosk building to be located on Unit 1, Portion of Track A, Indian Plaza Addition, zoned C-1, and located at 2101 Carlisle, NE. (H-16)

**FINDINGS:** The size, site, and nature of this building together with the agreement to limit signing below the normal on two sides are sufficient exceptional physical conditions to justify the requested variance. Three sides would be visible from an arterial street; one narrow side would be visible from a collector street. The requested variance will not be injurious to the neighborhood or appropriate use of adjoining property.

**DECISION:** The five sq. ft. sign area variance on each of two facades of a film kiosk building is approved as requested, so that signing may be up to but not over 18.73% of the two wider facades on the condition that signing does not exceed 9.2% on the two narrower facades.

**NOTE:** Exact location of this building must be approved by the Traffic Engineer.

ZA-76-86

Electrical Products Signs, agent for Hinkle Corp., requests approval of a variance in the number of signs to permit an extra free standing sign of about 24 sq. ft. west of two Park Central tower, located on the area previously known as Lots 5 thru 12 & 17 - 24, Block 19, Tijeras Place Addition, zoned C-1, and located at 300 San Mateo, NE. (K-18)

- FINDINGS:**
1. Scanvest I, Ltd. owns the superblock bounded by San Mateo, Central, Maderia, and Copper. The street frontages on these streets are approximately 1000, 440, 1060, and 445 feet respectively.
  2. Zoning on the subject area of the superblock is C-1 and C-2.
  3. There are now four free-standing signs along San Mateo; none of these are too large or high, but only three free-standing signs are permitted on a 1000 foot street frontage; according to the zoning regulations which became effective January 1, 1976. These four signs were erected prior to this year.
  4. There is little signing on the Copper or Maderia sides of the premises. There is no wall signing on Two Park Central Tower, and the building's design does not lend itself to wall signs.
  5. The proposed sign is well within size, height and setback requirements of the C-1 zone.
  6. A sector development plan with special regulations for this designated Urban Center will be developed in the next few years. Different sign regulations may take effect at this time, based on the special needs and plans of the area. Therefore, it is inappropriate to give permanent sign variances at this time.
  7. The limited amount of signing on the premises at this time is an exceptional physical condition which justifies a temporary but not a permanent sign variance.
  8. The requested variance will not be injurious to the neighborhood or appropriate use of adjoining property.

NOTICE OF PUBLIC HEARING  
ZONING ADMINISTRATOR - CITY OF ALBUQUERQUE

TO ALL CITIZENS AND PARTIES IN INTEREST:

Notice is hereby given that the Zoning Administrator, City of Albuquerque will hold a public hearing in Room 726, City Hall, 400 Marquette, NW, on Tuesday, April 6, 1976 at 1:00 p.m. for the purpose of considering the following requests:

- ZA-76-57 Charles R. Stevens requests a 17-ft. front yard setback variance to permit an attached garage to come to three feet from the right-of-way line on Lot 19, Block 31, Waggaman-Dennison Addition, zoned R-1, and located at 413 General Somervell, NE. (K-20)
- ZA-76-73 Electrical Products Signs, agent for Montgomery Plaza, requests approval of a 81.5 sq. ft. sign area variance in order to permit a 331.5 sq. ft. sign advertising of 45 businesses on the shopping center site on the northwest corner of Montgomery and San Mateo NE, Montgomery Heights Addition, zoned C-2, and located at 5001 Montgomery NE. (F-17)
- ZA-76-74 Geraldine L. Whitmire requests approval of a 4.5 ft. height variance to permit retention of two walls, up to 7.5 feet high, in the required front yard setback area on Lot 14, Block 05A, Loma Linda Addition, zoned R-1, and located at 1712 Vassar Dr., SE. (L-16)
- ZA-76-75 Department of Housing and Development, City of Albuquerque, agent for Louisa Cameron, requests approval of a two ft. rear yard setback variance to permit an addition to the side of the house coming to 13 feet from the rear property line on MRGCD Map 40, Tract 45, zoned RT, and located at 500 Cromwell, SW. (K-14)
- ZA-76-77 Rudy Buckner, agent for APACA, Inc., requests approval for expansion of a house nonconforming as to use or a conditional use to permit a watchman's residence on Lot 4, F. L. Thompson Subdivision, zoned C-2, and located at 403 Wyoming, SE. (L-19)
- ZA-76-78 Rudy Buckner, agent for APACA, Inc., requests approval of a conditional use for storage of household goods on Lot 4, F. L. Thompson Subdivision, zoned C-2, and located at 403 & 411 Wyoming, SE. (L-19)
- ZA-76-79 Nap Duran requests approval of a three foot rear yard setback variance to permit an addition to the house coming to 12 feet from the rear property line on Lot 5, Block 14, Brentwood Hills Addition, zoned R-1, and located at 12517 Phoenix, NE. (H-22)
- ZA-76-81 Mike Roberts requests approval of an area variance to permit commercial agricultural activity, the harvesting of worms, on less than one acre on TR. 58, MRGCD Map 35, zoned RA-2, and located at 2125 Rio Grande, NW. (H-12)
- ZA-76-82 Jose M. Lujan requests approval of a conditional use for a caretaker's residence and a six space parking variance, so as to permit only four parking spaces in connection with a restaurant or food shop on Lot 11, Block 2, New Year Addition, zoned C-2, and located at 608 Adams St., NE. (J-17)
- ZA-76-83 R. J. Construction Co., agent for Mr. & Mrs. Joe Jackson, requests approval of a 10 foot distance variance to permit an addition to the house to just touch the existing garage on Lot 8, Block 1, Palisades Addition, zoned R-1, and located at 857 Hidalgo Cr., NW. (J-11)
- ZA-76-84 Joseph A. & Alice M. Rideout requests approval of a front yard setback variance of up to 20 feet to permit retention of the carport and patio cover on Lot 16, Block 10, Loma Verde Addition, zoned R-2, and located at 302 San Pablo, NE. (K-19)
- ZA-76-85 McEntire Construction, agent for Fox Stapley Photo, requests approval of a five sq. ft. sign area variance on each of two facades of a film kiosk building to be located on Unit 1, Portion of Track A, Indian Plaza Addition, zoned C-1, and located at 2101 Carlisle, NE. (H-16)

PROPERTY OWNERSHIP LIST

ALBUQUERQUE/BERNALILLO COUNTY  
PLANNING DEPARTMENT

OK  
12

Meeting Date: April 6, 1976  
Index Map: H-16  
Notification Radius: 100 Feet  
Cross Reference \_\_\_\_\_

ZA- <u>76-85</u>	Z- _____
AX- _____	V- _____
GZ- _____	CSU- _____
	S- _____

Legal Description and Location: Unit 1, portion of Tract A  
Indian Plaza Subdivision located at 2101  
Carlisle NE between Indian School Rd. and  
Fairway

Request: Variance

Applicant: For Stanley Plot Phone: 2998076

Address: McEntire Court Box 7323 Albuquerque 87112

Agent: McEntire Const. Phone: 2946667  
Address: \_\_\_\_\_

Copy of Legal Ad to be sent  
to Applicant and Agent by:

Certified Mail  
No. \_\_\_\_\_  
Applicant

Certified Mail  
No. \_\_\_\_\_  
Agent

SPECIAL INSTRUCTIONS

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Notices must be mailed from  
the City 11 Days prior to  
the meeting

Date Mailed: March 26, 1976  
Signature: Mari

The Following  
Prepared By:

Property Description:

Ownership Search:

Initial Date  
MO 3/16/76

APPLICATION FOR SPECIAL EXCEPTION  
UNDER THE CITY ZONING ORDINANCE

- Conditional Use
- Expansion of Building Nonconforming as to Use
- Variance

NOTE: There is a separate "Procedure" instruction sheet related to this application.

Height: \_\_\_\_\_  
 Area: \_\_\_\_\_  
 Front Yard: \_\_\_\_\_  
 Side Yard: \_\_\_\_\_  
 Rear Yard: \_\_\_\_\_  
 Other: \_\_\_\_\_

I. APPLICANT INFORMATION

1. Applicant's Name: FOX STANLEY PHOTO Phone: 299-5076  
M=ENTIRE CONST  
 Mailing Address: BOX 11323 ALBUQ. N.M. 87112
2. Agent (if any): M=ENTIRE CONST Business Phone: 294-6667  
 Mailing Address: BOX 11323 ALBUQ. N.M. 87112
3. Applicant's Interest in Property: \_\_\_\_\_
4. Signature: W.R. M=Entire Date: 3-10-76

II. REASON FOR REQUESTED SPECIAL EXCEPTION

CUT DOWN  
SMALL 7HR. SERVICE SIGN ON END OF BLDG.  
TO 5' ON EACH END. THIS WOULD BE 6.47' MAX UNDER  
ORDINANCE. LEAVE <sup>FOX</sup> SIGN ON SIDE AS IS WITH 16' MAX OF  
SIGN. THIS WOULD BE 3' OVER ORDINANCE. THIS IS THE  
SIDE I WOULD LIKE A VARIANCE ON CARLISLE

III. LOCATION OF REQUESTED SPECIAL EXCEPTION

1. Legal Description (Use extra sheet if necessary):  
 Lot(s): UNIT 1 PORTION OF TRACT A Plat: \_\_\_\_\_  
INDIAN PLAZA
2. Street Address (No. if any): 2101 CARLISLE N.E.  
 between INDIAN SCHOOL and FREWAY streets.

IV. PROJECT DETAILS

1. Zoning: C-1
2. Present Use of Property: SHOPPING CENTER
3. Five copies of an accurate site plan showing (a) location of the property that is the subject of the request; (b) abutting streets and alleys; (c) all significant structures presently on the property; (d) the proposed special exception (including dimensions); (e) structures on adjoining property, within 25 feet of the proposed special exception; (f) north directional arrow. (Note: The Planning Department may waive the site plan where it is obviously not pertinent.) Attached:
4. Additional material such as a sketch of the elevation of structures, program of development, or photos may be required by the Planning Department. Attached:

H 10/10

ZA-76-85



LEGAL LIST

CASE NO: 2A 76-85 DATE 3-16-76

PAGE 2 OF 4

BLOCK	LOT TRACT	REAPPRAISAL CODE		NAME	ADDRESS	CERTIFIED MAIL
		MAP NUMBER	GRID LOCATION			
H-16		1-016-059	507036	Lot 7 Nat'l Bank Bldg	Box 7305	87103
			514062			
			514066			
			514077	Betty L. W. Bonds	Box 3624	87110
			513081	State Hwy Comm	Box 1691 - Santa Fe	87501
			511086			
		X	494074			
			483059	Alva Cook	5006 Rayens Dr	87110
			476043			
			477019			
			501061	Sprawl Inv. Co	Box 3158	87118
H-17		1-017-059	013060	Fifth Carlsbad Corp	1133 Avenue of the Americas New York, NY 10036	
J-16		1-016-058	515516	Phillips Marketing Properties	Phillips Plaza, Box 30-0 Phoenix, Arizona 85001	
			501515	Douglas A. Campbell	3500 1st St. S.W. NE	87106
			488510	Ray A. Phelan	1920 American NE	
J-17		1-017-058	010523	H B & Colvin P Horn	Box 8965	87108

ALBUQUERQUE/BERNALILLO COUNTY PLANNING DEPARTMENT

A-68-3