



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	<b>APPEAL</b>
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

<b>BRIEF DESCRIPTION OF REQUEST</b>

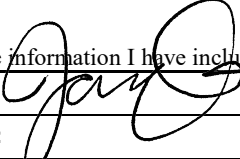
<b>APPLICATION INFORMATION</b>		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street:	Between:	and:

<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

<b>Signature:</b> 	<b>Date:</b>
<b>Printed Name:</b>	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

**FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022****\_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

**SITE PLAN DOCUMENTATION**

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- \_\_\_ 4) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- \_\_\_ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- \_\_\_ 7) Infrastructure List, if required for building of public infrastructure
- \_\_\_ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):  
[https://documents.cabq.gov/planning/development-review-board/Sensitive\\_lands\\_analysis\\_form.pdf](https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf)
- \_\_\_ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic\\_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

**SUPPORTIVE DOCUMENTATION**

- \_\_\_ 10) Completed Site Plan Checklist
- \_\_\_ 11) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- \_\_\_ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- \_\_\_ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

\_\_\_ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

\_\_\_ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

**PUBLIC NOTICE DOCUMENTATION**

\_\_\_ 17) Sign Posting Agreement

\_\_\_ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

\_\_\_ Office of Neighborhood Coordination neighborhood meeting inquiry response

\_\_\_ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

\_\_\_ Completed neighborhood meeting request form(s)

\_\_\_ If a meeting was requested or held, copy of sign-in sheet and meeting notes

\_\_\_ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

\_\_\_ Office of Neighborhood Coordination notice inquiry response

\_\_\_ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

\_\_\_ Proof of emailed notice to affected Neighborhood Association representatives

**\_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Site Plan and related drawings
- \_\_\_ 5) Infrastructure List, if require
- \_\_\_ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- \_\_\_ 7) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 8) Solid Waste Department signature on Site Plan
- \_\_\_ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- \_\_\_ 10) Approved Grading and Drainage Plan
- \_\_\_ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

**FORM SP: PRE-APPROVALS/SIGNATURES**

(Revised 10/26/23)

**Legal Description & Location:** FIRE STATION #4- LOCATED AT 301 MCKNIGHT AVE NW  
LEGAL: PORT OF CORONADO PARK LESS PORT TO R/W FRANCISCAN ADDN.

**Request Description:** \_\_\_\_\_

**Hydrology:**

- Sensitive Lands Analysis (5-2(C))                    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- Grading and Drainage Plan                            \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- AMAFCA    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- Bernalillo County    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- NMDOT    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- MRGCD    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA

\_\_\_\_\_  
Hydrology Department

\_\_\_\_\_  
Date

**Transportation:**


- Traffic Circulations Layout (TCL)                    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- Traffic Impact Study (TIS)                            \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- Neighborhood Impact Analysis (NIA)                \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- Bernalillo County    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- MRCOG    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- NMDOT    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- MRGCD    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA

\_\_\_\_\_  
Transportation Department

\_\_\_\_\_  
Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Request for Availability submitted?                 Yes     No     NA
- Availability Statement/Serviceability Letter Number 240711
- Note: Commitment for service is required prior to application approval.



\_\_\_\_\_  
ABCWUA

07/24/2024  
Date

- Infrastructure Improvements Agreement (IIA\*)                    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- Solid Waste Department Signature on the Plan                    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- Fire Marshall Signature on the Plan                                    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA

\* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

**FORM SP: PRE-APPROVALS/SIGNATURES**

(Revised 10/26/23)

**Legal Description & Location: PORT OF CORONADO PARK LESS PORT TO R/W FRANCISCAN ADDN  
301 MCKNIGHT NW**

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**Request Description: \_\_\_\_\_ DFT review of EPC approved Site Plan for City Fire Station 4**

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**Hydrology:**

- Sensitive Lands Analysis (5-2(C))                    \_\_\_\_\_ Approved                      X   NA
- Grading and Drainage Plan                              X   Approved                            \_\_\_\_\_ NA
- AMAFCA    \_\_\_\_\_ Approved                                  X   NA
- Bernalillo County    \_\_\_\_\_ Approved                                      X   NA
- NMDOT     \_\_\_\_\_ Approved                                      X   NA
- MRGCD     \_\_\_\_\_ Approved                                      X   NA

Renee C. Brissette  
Hydrology Department

07/29/24  
Date

**Transportation:**

- Traffic Circulations Layout (TCL)                      X   Approved                                    \_\_\_\_\_ NA
- Traffic Impact Study (TIS)                            \_\_\_\_\_ Approved                                      X   NA
- Neighborhood Impact Analysis (NIA)                \_\_\_\_\_ Approved                                      X   NA
- Bernalillo County    \_\_\_\_\_ Approved                                      X   NA
- MRCOG     \_\_\_\_\_ Approved                                      X   NA
- NMDOT     \_\_\_\_\_ Approved                                      X   NA
- MRGCD     \_\_\_\_\_ Approved                                      X   NA

Ernest Armyo  
Transportation Department

7/26/2024  
Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Request for Availability submitted?                \_\_\_ Yes    \_\_\_ No    \_\_\_ NA
- Availability Statement/Serviceability Letter Number \_\_\_\_\_
- Note: Commitment for service is required prior to application approval.

\_\_\_\_\_  
ABCWUA

\_\_\_\_\_  
Date

- Infrastructure Improvements Agreement (IIA\*)                    \_\_\_\_\_ Approved                                    \_\_\_\_\_ NA
- Solid Waste Department Signature on the Plan                    \_\_\_\_\_ Approved                                    \_\_\_\_\_ NA
- Fire Marshall Signature on the Plan                                    \_\_\_\_\_ Approved                                    \_\_\_\_\_ NA

\* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).

Rio Grande

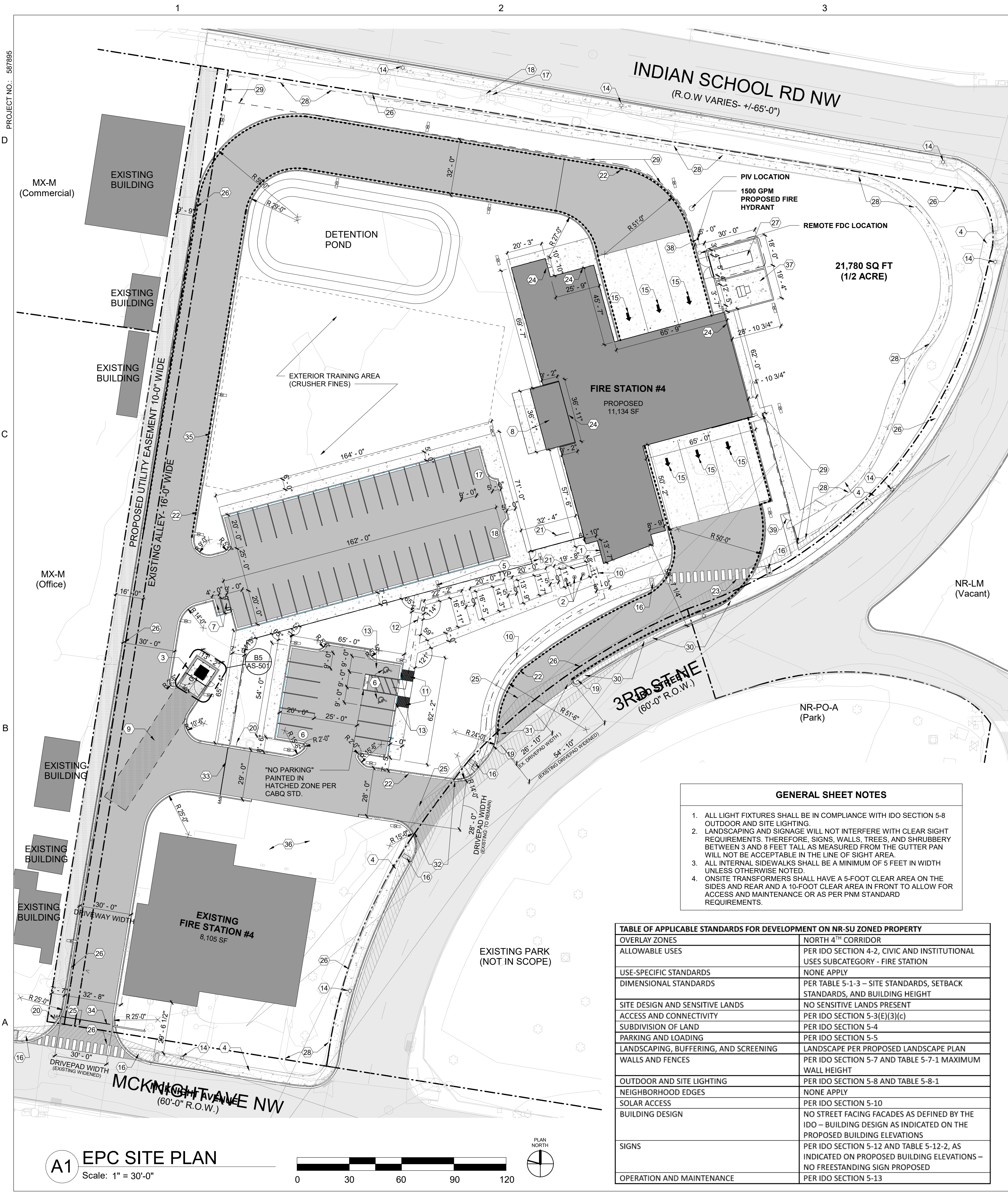
40 25

Gray Shading  
Represents Area Outside  
of the City Limits

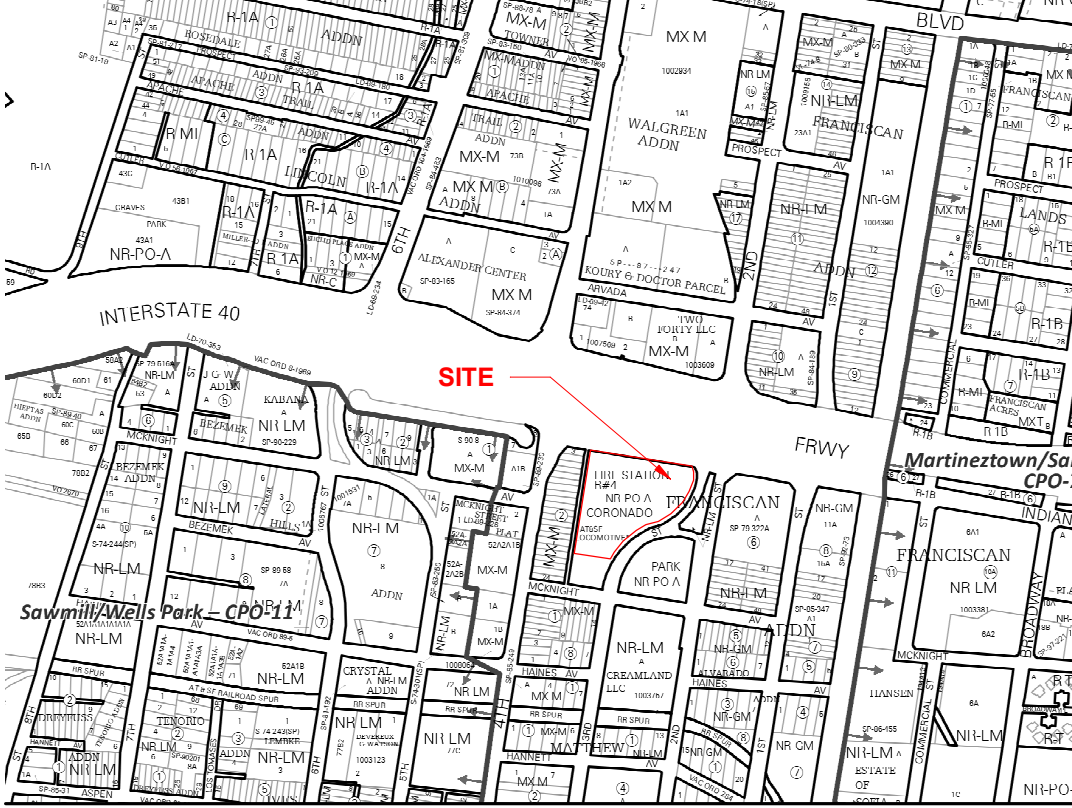
Zone Atlas Page:  
**H-14-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



**VICINITY MAP**



PROJECT NUMBER: PR-2024-010349  
 Application Number: SI-2024-00677

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated JUNE 20TH 2024 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

- DFT SITE DEVELOPMENT PLAN APPROVAL:**
- Traffic Engineering, Transportation Division
  - ABCWUA
  - Parks and Recreation Department
  - Hydrology
  - Code Enforcement
  - \*Environmental Health Department (conditional)
  - Solid Waste Management
  - Planning Department

**SITE DATA**

LEGAL DESCRIPTION:  
 PORT OF CORONADO PARK LESS PORT TO R/W FRANCISCAN ADDN.  
 UPC: 10140593131141604  
 SIZE: 4.09 ACRES

EXISTING ZONING: NR-PO-A  
 PROPOSED ZONING: NR-SU  
 PROPOSED LAND USE: FIRE STATION

PEDESTRIAN AND VEHICLE ACCESS: PRIMARY VEHICULAR AND PEDESTRIAN ACCESS IS FROM 3RD STREET. A NEW 6 FOOT SIDEWALK WILL BE CONSTRUCTED TO CONNECT TO THE EXISTING ONE ALONG 3RD STREET, WITH PEDESTRIAN CONNECTIONS FROM THE SIDEWALK TO THE BUILDINGS.  
 BUS ROUTES: ROUTE 7 ALONG 3RD STREET, WITH A PEAK FREQUENCY OF 30 MINUTES; AND ROUTE 13 ALONG 3RD STREET, WITH A PEAK FREQUENCY OF 40 MINUTES.

**PARKING REQUIREMENTS**

**PARKING CALCULATIONS**

**PARKING SPACES:**  
 PER IDO TABLE 5-5-1 MINIMUM OFF STREET PARKING REQUIREMENTS:  
 • FIRE STATION: 2 SPACES PER 1,000 SQ. FT. GFA

**TOTAL REQUIRED:**  
 FIRE STATION #4: 11,169 SF, SO (11,169/1000)\*2 = 23 SPACES  
 (EXISTING) FIRE STATION #4 (TO BE USED AS TRAINING/OFFICE SPACE): 8,105 SF, SO (8,105/1000)\*2 = 16.21 = 17 SPACES

**TOTAL PROVIDED:**  
 41 SPACES TOTAL ON SITE, OF WHICH 2 ARE HC ACCESSIBLE

**MOTORCYCLE SPACES:**  
 PER IDO 5-5(D)(1)

**TOTAL REQUIRED - 2**  
**TOTAL PROVIDED - 2**

**BICYCLE SPACES:**  
 PER IDO TABLE 5-5-5 OF IDO MINIMUM BICYCLE PARKING REQUIREMENTS - 3 SPACES OR 10% OF REQUIRED OFF STREET PARKING SPACES, WHICHEVER IS GREATER, IS REQUIRED.

**TOTAL REQUIRED - 5**  
**TOTAL PROVIDED - 6**

**GENERAL SHEET NOTES**

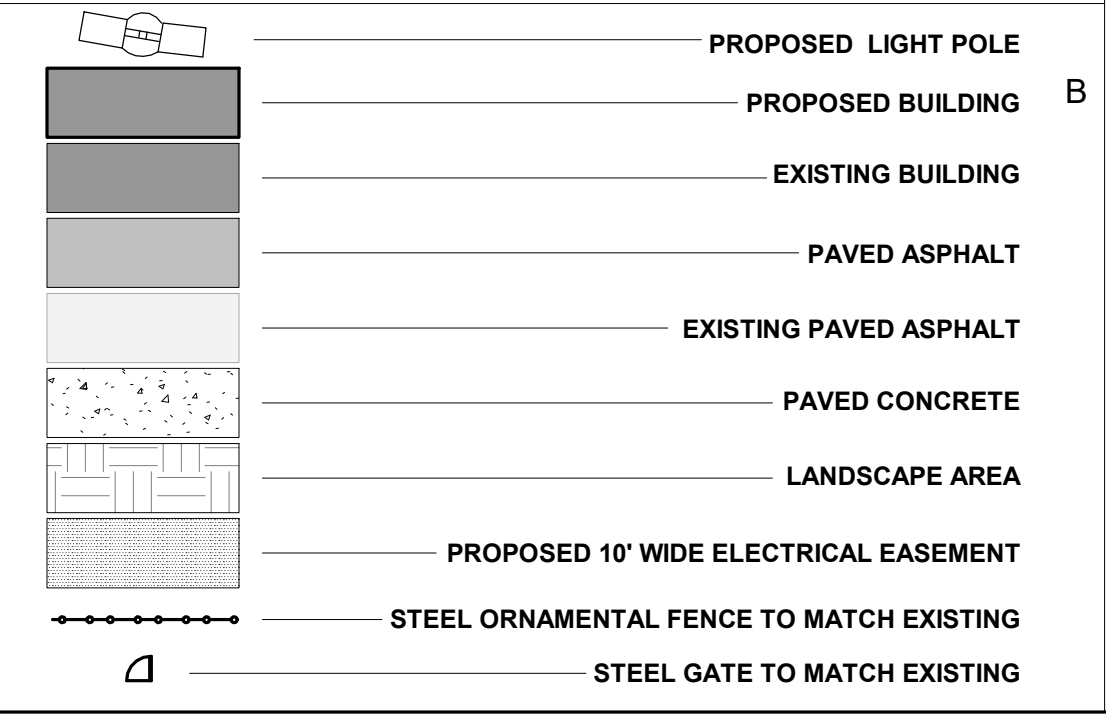
- ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE LINE OF SIGHT AREA.
- ALL INTERNAL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH UNLESS OTHERWISE NOTED.
- ONSITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE OR AS PER PNM STANDARD REQUIREMENTS.

TABLE OF APPLICABLE STANDARDS FOR DEVELOPMENT ON NR-SU ZONED PROPERTY	
OVERLAY ZONES	NORTH 4TH CORRIDOR
ALLOWABLE USES	PER IDO SECTION 4-2, CIVIC AND INSTITUTIONAL USES SUBCATEGORY - FIRE STATION
USE-SPECIFIC STANDARDS	NONE APPLY
DIMENSIONAL STANDARDS	PER TABLE 5-1-3 - SITE STANDARDS, SETBACK STANDARDS, AND BUILDING HEIGHT
SITE DESIGN AND SENSITIVE LANDS	NO SENSITIVE LANDS PRESENT
ACCESS AND CONNECTIVITY	PER IDO SECTION 5-3(E)(3)(c)
SUBDIVISION OF LAND	PER IDO SECTION 5-4
PARKING AND LOADING	PER IDO SECTION 5-5
LANDSCAPING, BUFFERING, AND SCREENING	LANDSCAPE PER PROPOSED LANDSCAPE PLAN
WALLS AND FENCES	PER IDO SECTION 5-7 AND TABLE 5-7-1 MAXIMUM WALL HEIGHT
OUTDOOR AND SITE LIGHTING	PER IDO SECTION 5-8 AND TABLE 5-8-1
NEIGHBORHOOD EDGES	NONE APPLY
SOLAR ACCESS	PER IDO SECTION 5-10
BUILDING DESIGN	NO STREET FACING FACADES AS DEFINED BY THE IDO - BUILDING DESIGN AS INDICATED ON THE PROPOSED BUILDING ELEVATIONS
SIGNS	PER IDO SECTION 5-12 AND TABLE 5-12-2, AS INDICATED ON PROPOSED BUILDING ELEVATIONS - NO FREESTANDING SIGN PROPOSED
OPERATION AND MAINTENANCE	PER IDO SECTION 5-13

**SHEET KEYNOTES AS-101 EPC**

- PROPOSED ENTRY DOOR
- NEW 30' FLAGPOLE W/ INTEGRAL LIGHT, TYP. OF 3 SEE C3/AS-502
- REFUSE ENCLOSURE COMPLIANT WITH CABQ STANDARDS SEE DETAIL B5/AS-501 + C3/AS-501
- EXISTING SIDEWALK TO REMAIN
- NEW 16' LIGHTPOLE
- HANDICAP PARKING PER CABQ STANDARD
- MOTORCYCLE PARKING
- COVERED PATIO WITH LOOSE FURNITURE, 613 SF
- PROPOSED 85' REFUSE VEHICLE CLEARANCE
- ADA ACCESS PATH (163 FT TOTAL PATH FROM ROW)
- ACCESSIBLE SIDEWALK RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 SEE A1/AS-503
- ADA ACCESS PATH (188 FT TOTAL PATH FROM ADA PARKING)
- ACCESSIBLE HANDICAP PARKING SIGN WITH WITH CABQ STD LANGUAGE SIGN SEE A2/AS-502
- EXISTING STREET LIGHT TO REMAIN
- PAVEMENT DIRECTION MARKERS SEE A4/AS-503
- ACCESSIBLE DRIVEPAD RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 DETAIL C
- EXISTING TRANSFORMER TO REMAIN
- EXISTING ELECTRICAL POWER BOX TO REMAIN
- NEW CABQ STANDARD "DO NOT ENTER" SIGN
- NEW STANDARD "OFFICIAL VEHICLES ONLY BEYOND THIS POINT" SIGN
- NEW BICYCLE RACK SEE B3/AS-501
- 6" CURBS AND GUTTERS PER CABQ STD DETAIL TYP.
- CROSSWALK STRIPES - INTEGRALLY COLORED CONCRETE- CAST FLUSH W/ ADJACENT COLOR TO BE GOLD YELLOW INTEGRAL CONCRETE- 2'X6" STRIPES EA. AT 2' APART TO EXTENTS SHOWN
- PROPOSED EXIT DOOR LOCATION
- CLEAR SIGHT TRIANGLE PER CABQ DPM 7.4.93
- PROPERTY LINE
- GENERATOR ENCLOSURE (ADD ALT #1)
- EXISTING SITE FENCE
- RE-USED SITE FENCE INSTALLATION
- EXISTING CURB ISLAND TO REMAIN IN PLACE
- EXISTING DRIVEPAD ENTRANCE TO REMAIN BUT WIDEN TO EXTENTS SHOWN
- EXISTING DRIVEPAD ENTRANCE TO REMAIN BUT REPLACE ENTERING CURB RADIUS TO EXTENTS SHOWN
- RE-USED EXISTING GATE - CONTRACTOR TO CONFIRM AND PROCURE NECESSARY PARTS TO COMPLETE RELOCATION, INCLUDING ELECTRIC OPERATOR WITH MAGNETIC INDUCTION LOOP IN PAVEMENT ON SECURE SIDE AND A PEDESTAL KEYPAD ON UNSECURED SIDE COORDINATE POWER CONDUITS AND ANY COMMUNICATION REQUIREMENTS FULLY WITH OPERATOR UNIT MFR.
- NEW GATE INSTALLATION TO MATCH EXISTING - CONTRACTOR TO PROVIDE ELECTRIC OPERATOR WITH MAGNETIC INDUCTION LOOP IN PAVEMENT ON SECURE SIDE AND A PEDESTAL KEYPAD ON UNSECURED SIDE COORDINATE POWER CONDUITS AND ANY COMMUNICATION REQUIREMENTS FULLY WITH OPERATOR UNIT MFR.
- 6" ROLLED CURB & GUTTERS SEE CIVIL
- EXISTING CONCRETE DRIVEPAD TO REMAIN
- TRANSFORMER ENCLOSURE
- NEW FIRE HYDRANT
- THE DEDICATED GREEN SPACE SHALL BE ACCESSIBLE TO THE PUBLIC VIA AN ACCESS GATE. AFR SHALL BE RESPONSIBLE FOR LOCKING AND UNLOCKING THE GATE.

**LEGEND**



**CITY OF ALBUQUERQUE  
 CAPITAL IMPLEMENTATION PROGRAM  
 FIRE STATION #4**

**SITE PLAN - EPC**

Drawing Title	City Engineer Approval		Mo./Day/Yr.	Mo./Day/Yr.
Design Review Committee	City Engineer Approval			
Issue Date:	City Project No.	587895	Sheet	EPC-AS-101
JULY 2024				

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	BY	NO.	DATE
WORK STACKED BY	DATE						
FIELD ACCEPTANCE BY	DATE						
REVISIONS BY	DATE						
CORRECTED BY	DATE						
NO.							

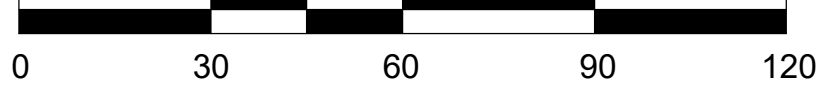


NO.	DATE	REMARKS	BY
		95% CONSTRUCTION DOCUMENTS NOT FOR CONSTRUCTION	
		Designed By:	DATE:
		Drawn By:	DATE:
		Checked By:	DATE:



**A1 EPC SITE PLAN**

Scale: 1" = 30'-0"



PROJECT NO.: 587895





### PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME
<b>TREES</b>		
	19	Acer negundo 'Sensation' / Sensation Box Elder
	3	Chilopsis linearis 'Bubba' / Bubba Desert Willow
	2	Pinus eldarica / Afghan Pine
	5	Pistacia chinensis / Chinese Pistache
	28	Ulmus parvifolia 'Allee' / Allee® Lacebark Elm
<b>SHRUBS</b>		
	11	Forestiera neomexicana / NM Olive
	12	Juniperus horizontalis 'Blue Chip' / Blue Chip Creeping Juniper (Female only)
	11	Mahonia aquifolium 'Compacta' / Compact Oregon Grape
	21	Nepeta x faassenii 'Select Blue' / Select Blue Catmint
	14	Potentilla fruticosa / Shrubby Cinquefoil
	26	Rhus trilobata / Three-Leaf Sumac
	29	Rhus trilobata 'Autumn Amber' / Autumn Amber Sumac
<b>GRASSES</b>		
	37	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama
	20	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass
	34	Muhlenbergia reverchonii 'PUND01S' / Undaunted Ruby Muhly Grass
<b>PERENNIALS</b>		
	36	Mirabilis multiflora / Colorado Four O'Clock
	26	Teucrium aronianum / Creeping Germander
<b>SUCCULENTS</b>		
	24	Agave americana / Century Plant

\*NOTE: ALL PLANT MATERIALS LISTED ON THE PLANT SCHEDULE ARE PART OF THE OFFICIAL ALBUQUERQUE PLANT PALETTE LIST.

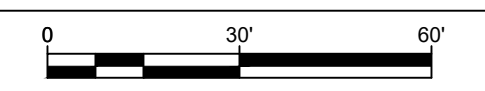
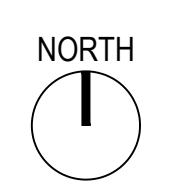
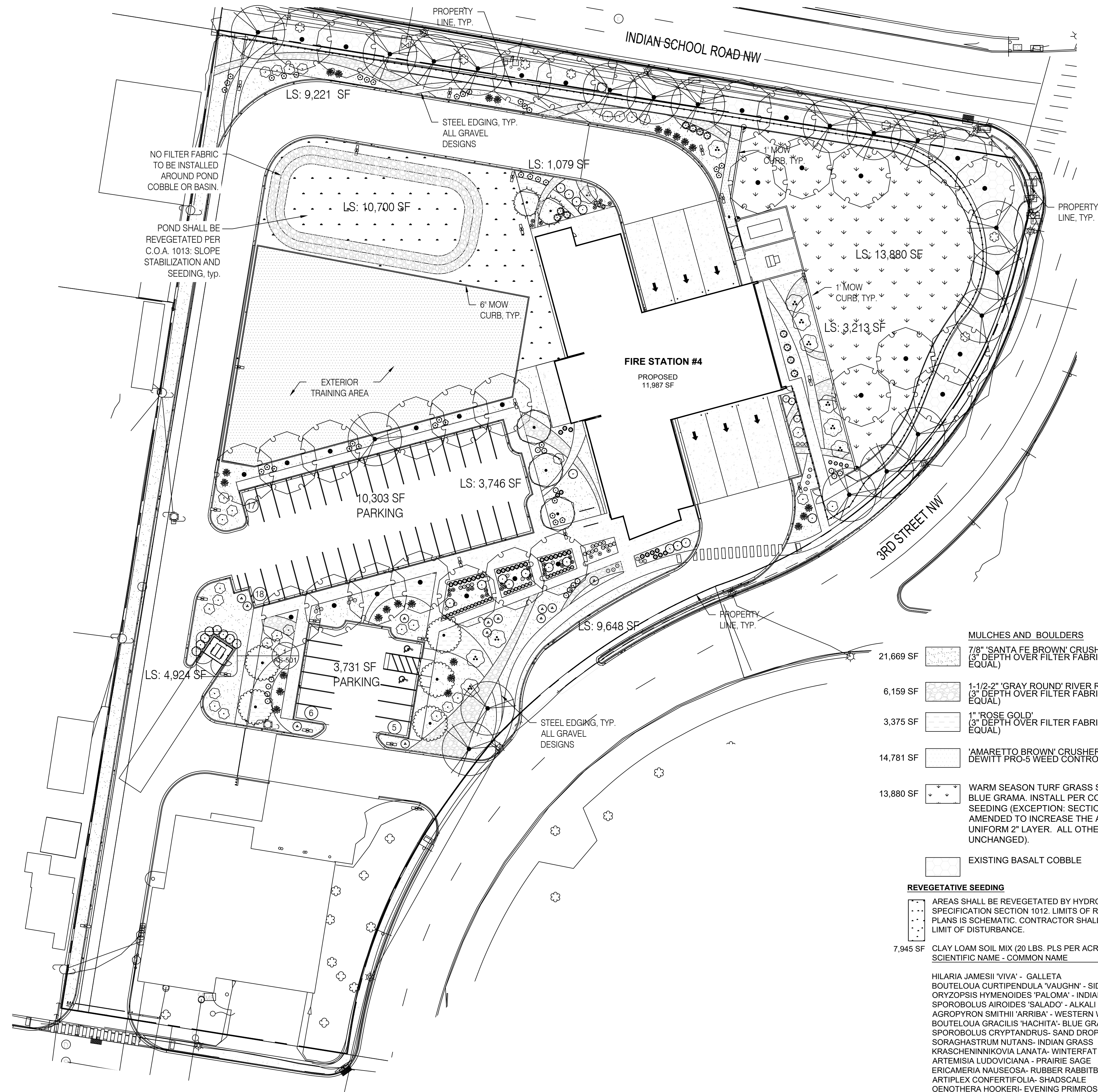
**MULCHES AND BOULDERS**

21,669 SF		7/8" 'SANTA FE BROWN' CRUSHED GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL, OR EQUAL)
6,159 SF		1-1/2-2" 'GRAY ROUND' RIVER ROCK (3" DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL, OR EQUAL)
3,375 SF		1" 'ROSE GOLD' (3" DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL, OR EQUAL)
14,781 SF		'AMARETTO BROWN' CRUSHER FINES (3" DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL, OR EQUAL)
13,880 SF		WARM SEASON TURF GRASS SEED SHALL CONSIST BUFFALO GRASS & BLUE GRAMA. INSTALL PER COA SPECIFICATION SECTION 1011, GRASS SEEDING (EXCEPTION: SECTION 1011.4.1 PREPARATION SHALL BE AMENDED TO INCREASE THE AMOUNT OF ORGANIC AMENDMENT TO A UNIFORM 2" LAYER. ALL OTHER PROVISIONS OF THAT SECTION REMAIN UNCHANGED).
		EXISTING BASALT COBBLE

**REVEGETATIVE SEEDING**

AREAS SHALL BE REVEGETATED BY HYDROMULCH APPLICATION PER COA SPECIFICATION SECTION 1012. LIMITS OF REVEGETATED SEEDING SHOWN ON PLANS IS SCHEMATIC. CONTRACTOR SHALL APPLY REVEGETATED SEED TO LIMIT OF DISTURBANCE.

SCIENTIFIC NAME - COMMON NAME	#PLS/AC
HILARIA JAMESII 'VIVA' - GALLETA	4.0
BOUTELOUA CURTIPENDULA 'VAUGHN' - SIDEOATS GRAMA	3.0
ORYZOPSIS HYMENOIDES 'PALOMA' - INDIAN RICE GRASS	2.0
SPOROBOLUS AIROIDES 'SALADO' - ALKALI SACATON	2.0
AGROPYRON SMITHII 'ARRIBA' - WESTERN WHEAT	1.0
BOUTELOUA GRACILIS 'HACHITA' - BLUE GRAMA	1.0
SPOROBOLUS CRYPTANDRUS - SAND DROPSEED	1.0
SORAGHASTRUM NUTANS - INDIAN GRASS	.50
KRASCHENINIKOVIA LANATA - WINTERFAT	.25
ARTEMISIA LUDOVICIANA - PRAIRIE SAGE	.25
ERICAMERIA NAUSEOSA - RUBBER RABBITBRUSH	.25
ARTIPEX CONFERTIFOLIA - SHADSCALE	.25
OENOTHERA HOOKERI - EVENING PRIMROSE	.25
OENOTHERA PALLID - WHITE EVENING PRIMROSE	.25
BAILEYA MULTIRADIATA - DESERT MARIGOLD	.25
LINUM LEWISII - BLUE FLAX	.25
DALEA PURPUREA VAR PURPUREA - PURPLE PRAIRIE CLOVER	.25
RATIBIDA COLUMNIFERA	.25



**L1 FS #4 LANDSCAPE PLAN**  
SCALE: 1" = 30'-0"

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
INSPECTOR'S NAME	DATE
INSPECTOR'S DATE	DATE
FIELD VERIFICATION BY	DATE
DRAWING BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE

BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	DATE
NO.	DATE

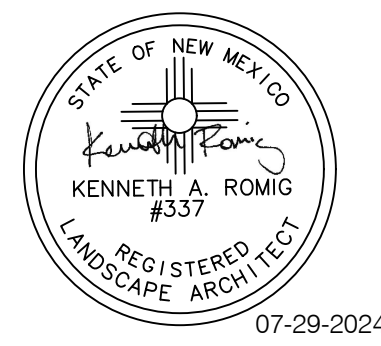
  

MICRO-FILM INFORMATION	
NO.	DATE

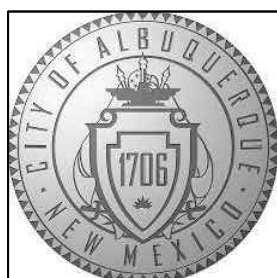
  

SEAL

NO.	DATE	REMARKS	BY
	4/16/24	DESIGN	AM
	4/16/24		AM
	4/16/24		KR



**CONSENSUS PLANNING, INC.**  
 Planning / Landscape Architecture  
 302 Eighth Street NW  
 Albuquerque, NM 87102  
 (505) 764-9801 Fax 842-5495



**CITY OF ALBUQUERQUE**  
**CAPITAL IMPLEMENTATION PROGRAM**  
**AFR FIRE STATION 4**  
 ALBUQUERQUE, NM

Drawing Title

**LANDSCAPE PLAN DFT**

Design Review Committee	City Engineer Approval	Mo./Day/Yr. 00/00/2023	Mo./Day/Yr.
-------------------------	------------------------	---------------------------	-------------

Issue Date: **MAY 9, 2024**

City Project No. **XXXXX**

Sheet **LS-101**

**LANDSCAPE CALCULATIONS**

**LANDSCAPE AREA COVERAGE**  
 TOTAL SITE AREA (4.09 AC.): 178,160 SF  
 BUILDING AREA: - 11,987 SF  
 NET AREA: 166,173 SF  
 REQUIRED / PROVIDED LANDSCAPE: 24,926 SF / 52,282 SF

**COVERAGE**  
 LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPE AREA. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

REQUIRED/PROVIDED LIVE VEGETATIVE COVERAGE 39,212 SF/ 85,200  
 REQUIRED/PROVIDED GROUND-LEVEL COVERAGE 9,803 SF/ 28,099

**PARKING LOT TREES**  
 PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES AND NO PARKING SPACE MAY BE MORE THAN 100FT FROM A TREE TRUNK.  
 PARKING LOT SPACES PROVIDED: 46  
 REQUIRED/PROVIDED PARKING LOT TREES: 4/4

**PARKING LOT AREA**  
 AT LEAST 10% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEWER SPACES, SHALL BE LANDSCAPED.  
 TOTAL PARKING LOT AREA: 14,034 SF  
 REQUIRED/PROVIDED LANDSCAPE AREA: 1,403 SF / 8,667

**WARM SEASON NATIVE GRASSES**  
 70% OF THE REQUIRED LANDSCAPE AREAS CAN BE 'WARM SEASON' GRASSES.  
 ALLOWABLE NATIVE GRASS AREA: 17,448 SF  
 PROVIDED NATIVE GRASS AREA: 13,880 SF

**STREET TREES**  
 STREET TREE REQUIREMENTS ARE BASED UPON AN AVERAGE SPACING OF 25' O.C. (INDIAN SCHOOL ROAD); STREET FRONTAGE- 438'  
 REQUIRED/PROVIDED STREET TREES = 18/18  
 (3RD STREET) STREET FRONTAGE- 249'  
 REQUIRED/PROVIDED STREET TREES = 10/12

**NMDOT ROW**  
 A LANDSCAPING PERMIT SHALL BE PROVIDED TO THE NMDOT FOR ANY LANDSCAPING WITHIN NMDOT HIGHWAY RIGHT OF WAY.

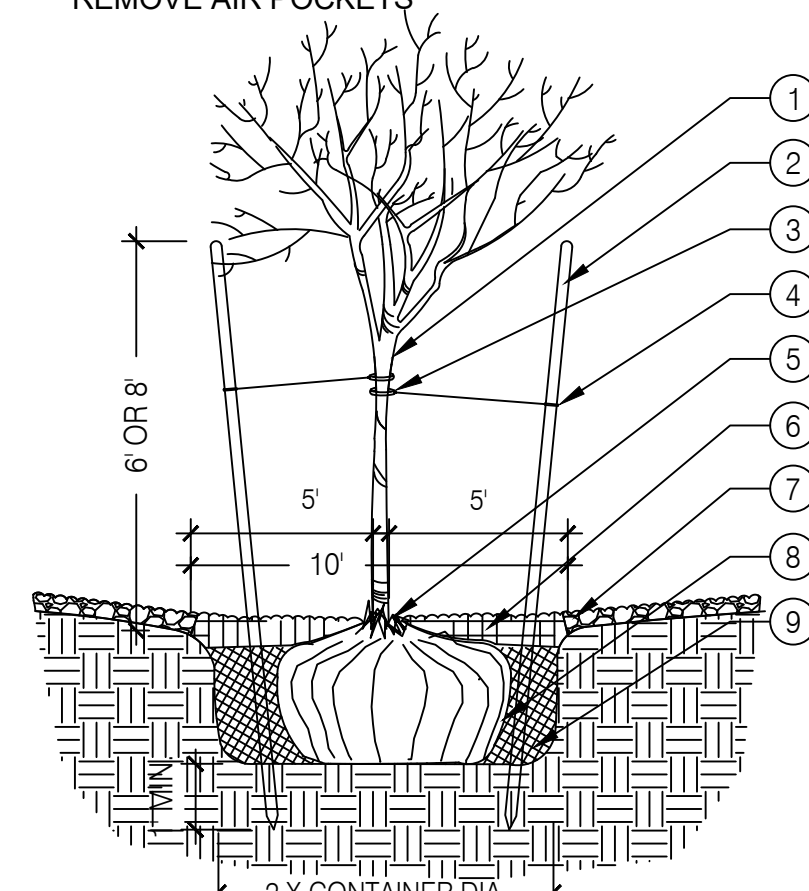
**GRAVEL MULCH COVERAGE**  
 LANDSCAPE SHALL APPLY PURSUANT TO 5-6(C)(5)(C) THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA, OR 50 PERCENT INDT-UC-MS AREAS

ALLOWED: 50,144 SF (no more than 75%) / NON GRVL 12,356 (25%)  
 PROVIDED: 45,984 SF (63%) / REVEG 21,825 SF (25+%)

ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.

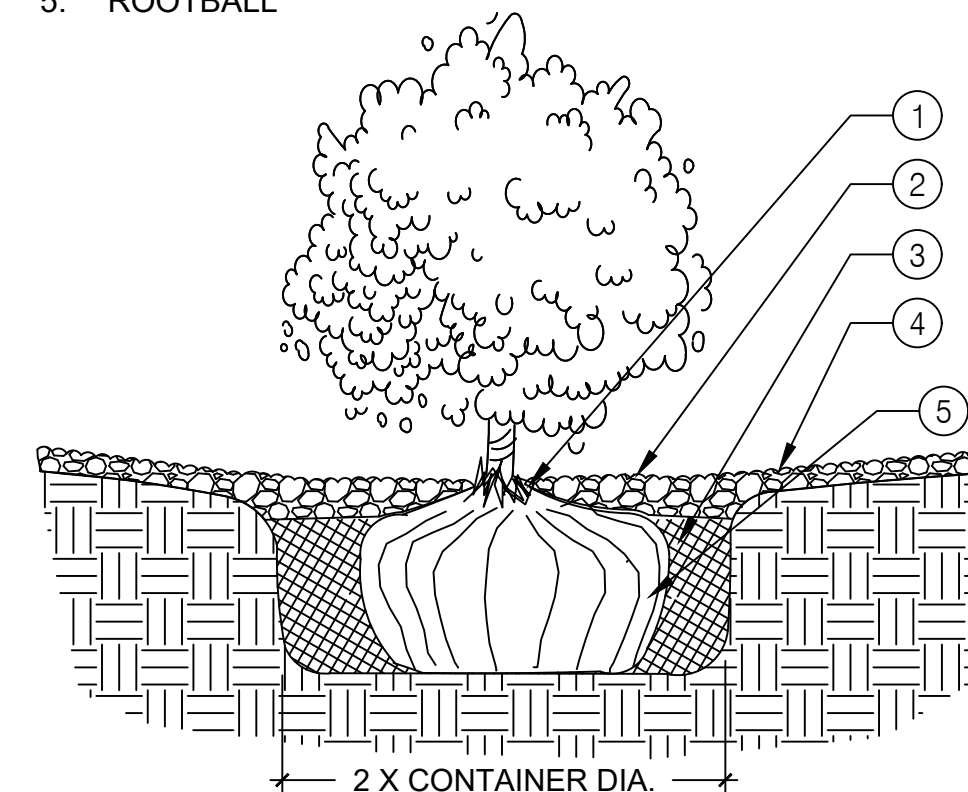
5-6-(c) (4) (i) SHADE TREES REQUIRED EVERY 25 O.C. ALONG ALL PEDESTRIAN PATHWAYS. (SITE COMPLIANT)

1. STRESS POINT OF TREE
2. 8' OR 10' LODGEPOLE STAKES DRIVEN AT ANGLE (8' FOR MULTI OR CANOPY, 10' FOR TALL COLUMNAR)
3. 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
4. #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
5. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
6. WATER RETENTION BASIN - ORGANIC MULCH SHALL BE PROVIDED WITHIN A 5' RADIUS OF NEWLY PLANTED TREES, AT A DEPTH OF 3". THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES
7. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
8. ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
9. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS



1 TREE PLANTING SCALE: N.T.S.

1. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
2. WATER RETENTION BASIN - 3" LAYER OF ORGANIC BARK MULCH. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
3. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS
4. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
5. ROOTBALL



2 SHRUB PLANTING SCALE: N.T.S.

**GENERAL LANDSCAPE NOTES**

**IRRIGATION**  
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING. PURSUANT OF IDO 5-6(C)(14)(C) THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS/ GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS.

**RESPONSIBILITY OF MAINTENANCE**  
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
 THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PNM COORDINATION**  
 COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

**SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.**

**CLEAR SIGHT DISTANCE**  
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**SHREDDED ORGANIC MULCH AT TREES**  
 SHREDDED ORGANIC MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 5' DIAMETER CIRCLE.

**IDO STANDARDS**

**CLEARANCE**  
 PER 5-6(C)(7)(A), VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.

PER 5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.

PER 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.

PER 5-6(C)(10)(A) TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS.

PER 5-6(C)(10)(B) TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.

PER 5-6(C)(10)(E) ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS MUST ALLOW 10 FEET OF CLEARANCE FOR ACCESS AND TO ENSURE THE SAFETY OF THE WORK CREWS AND PUBLIC DURING MAINTENANCE AND REPAIR.

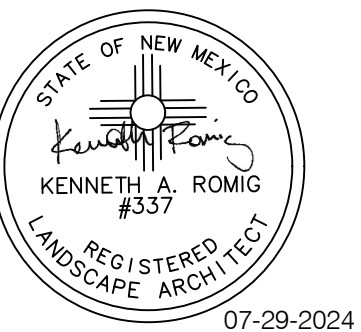
PER 5-6(C)(10)(F) TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.

City of Albuquerque Electronic Stamp

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
INSPECTOR'S APPROVAL BY	DATE
FIELD VERIFICATION BY	DATE
DRAWING BY	DATE
CHECKED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

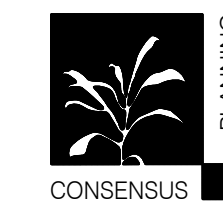
BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY



07-29-2024

SEAL	
NO.	DATE
REMARKS	BY
DESIGN	4/16/24
Drawn By: AM	4/16/24
Checked By: KR	4/16/24



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**CITY OF ALBUQUERQUE**  
 CAPITAL IMPLEMENTATION PROGRAM

**AFR FIRE STATION 4**

ALBUQUERQUE, NM

Drawing Title		Mo./Day/Yr.	
<b>NOTES AND DETAILS DFT</b>		00/00/2023	
Design Review Committee	City Engineer Approval		
Issue Date:	City Project No.		
<b>MAY 9, 2024</b>	<b>XXXXX</b>		
	<b>XXXXX</b>		
Sheet		<b>LS-501</b>	

# DRAINAGE REPORT

## SITE LOCATION

The existing site is an approximate 4.25-acre piece of land located west of 3rd Street and south of I-40 and Indian School in Albuquerque, New Mexico. The site can be accessed via 3rd Street. (see vicinity map this sheet)

## EXISTING CONDITIONS

The existing site is estimated at 4.25 acres and is currently developed as a city park and existing fire station. The site is relatively flat with a very mild slope to the south and west. The site does not lie within a 100-year FEMA floodplain. However, 3rd Street and McKnight both have a FEMA designated Zone AO floodplain as indicated on the FEMA panel on this sheet. Discharge from the site must be limited to existing conditions as indicated in the Mid-Valley DMP.

## PROPOSED CONDITIONS

The proposed project will consist of a new fire station building, a new driveway entrance from 3rd Street and parking lot areas on the west side of the site. The site will also have several landscape areas and a large water harvesting feature on the northwest side of the property. The site has been divided into two drainage basins, Basin A and B. Basin A is the total site area of 3.05 acres that will be developed as the new fire station site and will be routed to the new detention pond. Basin B is estimated at 1.2 acres and consists of the southern portion of the overall site that represents the existing fire station development and what will free discharge from the site.

Storm water will be routed to the new detention pond via surface flow and underground storm sewer pipes that will collect roof drainage from the building and the south parking lot area. A 12" storm sewer outfall pipe has been added to the pond so that the pond can slowly discharge into the existing storm sewer system in McKnight at a controlled rate per the Mid-Valley DMP. An orifice plate will be added to the inlet of the 12" storm drainpipe as needed to control the release rate from the pond.

## CONCLUSIONS

When fully developed as indicated on the grading and drainage plan, runoff from the new fire station site will discharge to a water harvest feature on the northwest side of the site. Basin A will be routed through the proposed detention pond. Runoff from the detention pond discharge to the McKnight storm drain system at a controlled rate per the Mid-Valley DMP. Basin B will free discharge from the site as it does under existing conditions.

## HYDROLOGY CALCULATIONS

Precipitation Zone 2 - 100-year Storm P(360) = 2.28 in P(1440) = 2.59 in

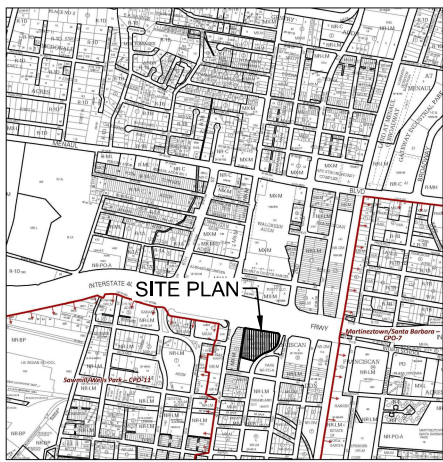
Basin	Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (cfs)	V(100-24) (cfs)	Q(100) (cfs)
		A	B	C	D				
Existing Conditions									
Site	4.250	0.000	2.960	0.000	1.290	1.264	0.448	0.49	12.58
<b>Total</b>	<b>4.250</b>							<b>0.49</b>	<b>12.58</b>
Proposed Conditions									
A	3.050	0.000	0.000	1.820	1.230	1.55	0.395	0.44	10.89
B	1.200	0.000	0.000	0.520	0.880	1.98	0.199	0.23	4.69
<b>Total</b>	<b>4.250</b>							<b>0.66</b>	<b>15.68</b>

## WATER HARVEST AREA

WHA #1			
Pond Rating Table			
Slope			
Elev. (ft)	Area (sq ft)	Volume (cf)	Cum Volume (cf)
61	3766	0	0
62	5127	4446.500	4446.500
63	6645	5886.000	10332.500

## STORM WATER QUALITY CALCULATIONS

$$SQWV = (0.42 / 12 * 91,511 \text{ SF}) = 3,217 \text{ CUBIC FEET}$$



## VICINITY MAP

ZONE ATLAS MAP: H14Z

## National Flood Hazard Layer FIRMette



## FLOOD ZONE MAP

FLOOD ZONE MAP: 39101C12025

City of Albuquerque  
Planning Department  
Development Review Services  
**PRELIMINARY APPROVED**  
DATE: 7/12/2024  
BY: [Signature]  
HydroTeam # H14D120

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

## GENERAL NOTES:

- EXISTING TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY PRECISION SURVEYS, INC., ALBUQUERQUE, NEW MEXICO JANUARY, 2024. MILLER ENGINEERS CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- PROJECT BENCHMARK IS A NATIONAL GEODETIC SURVEY (NGS) A STAINLESS STEEL ROD SET BENEATH A 5 1/2" ACCESS COVER, STAMPED "4-436, 1984", IN THE NORTHWEST QUADRANT OF MANUEL BOULEVARD NORTHWEST AND THE BNSF RAILROAD TRACKS. ELEVATION = 4,975.35 FEET (NAVD 88 VERTICAL DATUM).
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND POLICIES FOR LAND DEVELOPMENT.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LOADS FROM EXISTING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING INTENTIONAL, LEGAL TRANSPORTATION OF SAME, IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%. AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2019 EDITION OF THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (GRAY BOOK). ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN PUBLIC WORKS ASSOCIATION, NEW MEXICO CHAPTER, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.
- THE CONTRACTOR SHALL SUBMIT A SEED MIX DESIGN TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO STARTING THE SEEDING ON THE PROJECT. THE SEED MIX DESIGN SHALL BE A SEED MIX RECOMMENDED BY NRCS FIELD OFFICE REPRESENTATIVE APPROPRIATE FOR PROJECT LOCATION.

ALL DISTURBED AREAS, NOT ADDRESSED BY ARCHITECTURAL LANDSCAPE PLAN WITH SLOPES OF LESS THAN 3:1 SHALL RECEIVE CLASS "A" SEEDING. ANY SLOPES THAT ARE 3:1 OR STEEPER SLOPES SHALL RECEIVE STEEP SLOPE SEEDING. THE STEEP SLOPE SEEDING SHALL CONSIST OF SEEDING IN CONJUNCTION WITH A 100% COCONUT FIBER BLEND EROSION BLANKET (NORTH AMERICAN GREEN 0125) OR APPROVED EQUAL.

NO.	DATE	REMARKS	DESIGN		CONSTRUCTION	
			Drawn By	Checked By	DATE	DATE

**VIGIL & ASSOCIATES**  
ARCHITECTURAL GROUP PC  
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Albuquerque, New Mexico 87114  
Ph: 505.850.9000 • Fax: 505.850.9001  
www.vigil-associates.com



## CITY OF ALBUQUERQUE CAPITAL IMPLEMENTATION PROGRAM AFD FIRE STATION 4

351 MANHATTAN AVENUE, N.E.  
ALBUQUERQUE, NM 87125

Design Review Committee	City Engineer Approval	Mo. Day Yr.	Mo. Day Yr.
		7/10/18	

Issue Date: **JUNE, 2024** City Project No. **CG-101** Sheet **CG-101**

**ME MILLER ENGINEERING CONSULTANTS**  
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ALBUQUERQUE, NM 87110  
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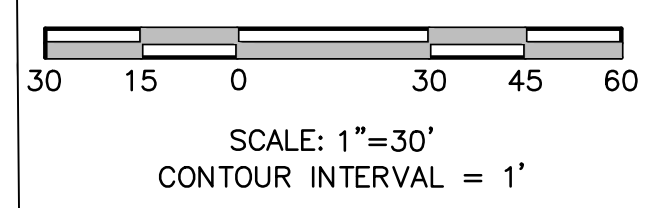
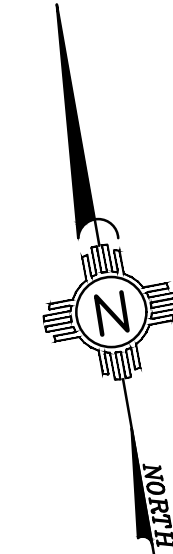
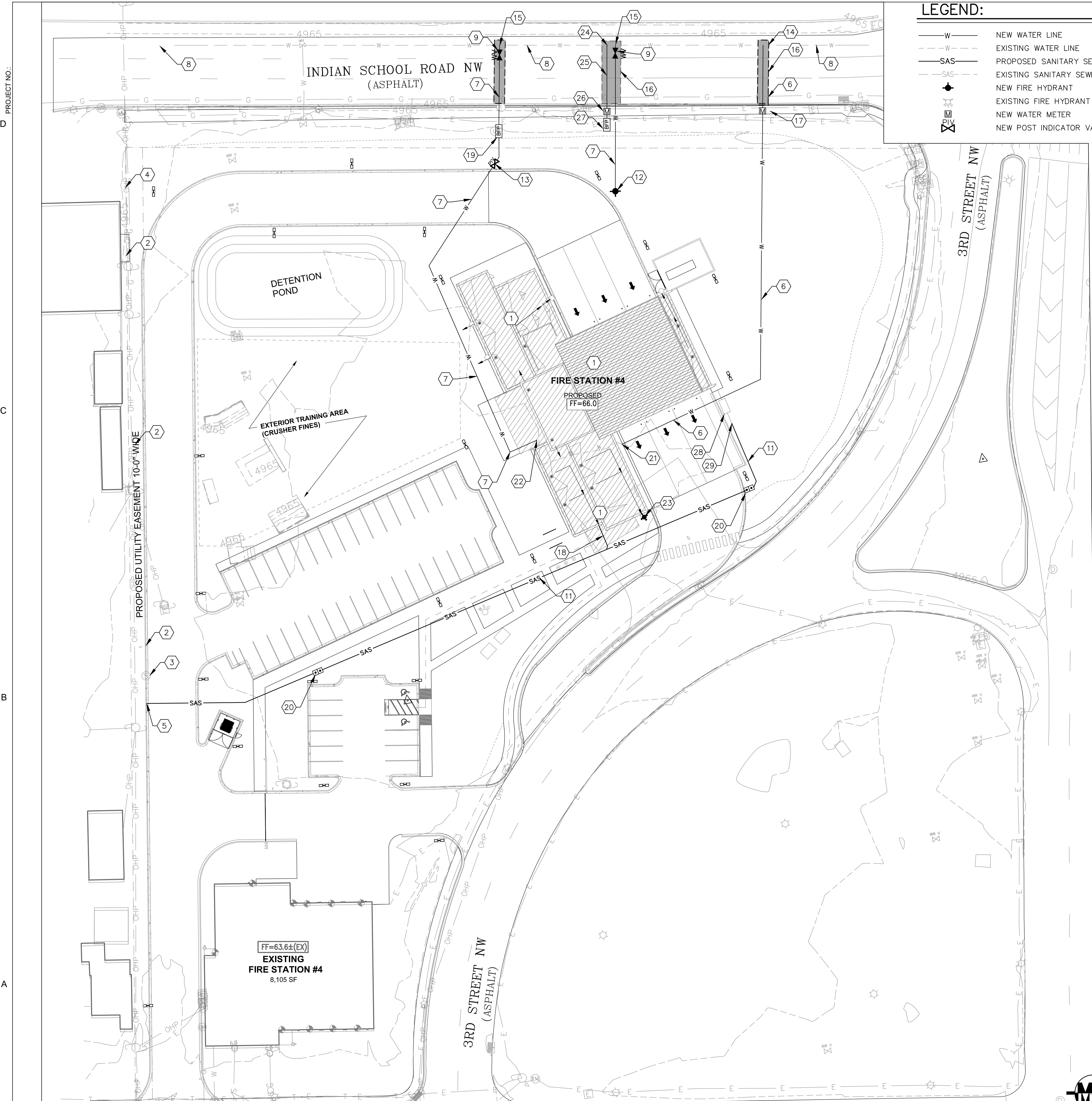
LEGEND:

- W — NEW WATER LINE
- - - W - - - EXISTING WATER LINE
- - - SAS - - - PROPOSED SANITARY SEWER LINE
- - - SAS - - - EXISTING SANITARY SEWER LINE
- NEW FIRE HYDRANT
- EXISTING FIRE HYDRANT
- NEW WATER METER
- NEW POST INDICATOR VALVE

- ⊙ EXISTING SAS MANHOLE
- PROPOSED SAS MANHOLE
- ⊙ EXISTING SD LINE
- PROPOSED SD LINE
- ⊙ EXISTING SD MANHOLE
- PROPOSED SD MANHOLE
- PROPOSED GATE VALVE
- PROPOSED CLEANOUT
- BFP PROPOSED BACK FLOW PREVENTER

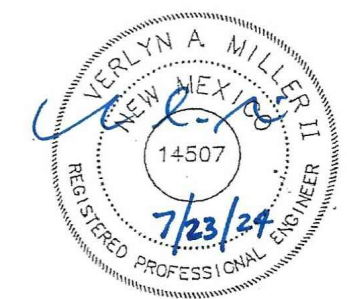
KEYED NOTES

1. NEW BUILDINGS SEE ARCHITECTURAL DRAWINGS.
  2. EXISTING 8" VITRIFIED CLAY PIPE SANITARY SEWER LINE.
  3. EXISTING SAS MANHOLE TO REMAIN. INV(N)=4954.76, INV(S)=4954.79. L=527'
  4. EXISTING SAS MANHOLE TO REMAIN.
  5. POINT OF CONNECTION FOR NEW 4" SAS LINE TO EXISTING SAS LINE. PER COA STD DWG #2125.
  6. NEW 2" DIA. DOMESTIC WATER SERVICE LINE WITH METER. PER COA STD DWG #2301.
  7. NEW 6" DIA. DEDICATED FIRE LINE. PER COA STD DWG #2301.
  8. EXISTING 6" CAST IRON WATER MAIN LINE.
  9. NEW 6" GATE VALVE. PER COA STD DWG #2324.
  10. NEW 6"x6" TEE.
  11. NEW 4" SAS LINE @ 1.5% MINIMUM SLOPE.
  12. NEW FIRE HYDRANT. PER COA STD DWG #2340.
  13. NEW POST INDICATOR VALVE (PIV). SEE DETAIL SHEET C-503.
  14. CONNECT NEW 2" DIA. DOMESTIC WATER LINE TO EXISTING WATER MAIN. PER COA STD DWG #2301.
  15. CONNECT NEW 6" DIA. DEDICATED FIRE LINE TO EXISTING WATER MAIN WITH TAPPING TEE AND VALVE.
  16. SAW CUT, EXISTING ASPHALT TO CLEAN STRAIGHT EDGE. REMOVE, DISPOSE AND REPLACE EXISTING ASPHALT AS NECESSARY TO INSTALL WATER AND SAS LINES. MATCH EXISTING ASPHALT SECTION OF ASPHALT, BASE COURSE AND SUBGRADE PREP. (9' MAX. WIDTH). PER COA STD DWG #2465.
  17. NEW 2" WATER METER. PER COA STD DWG #2363.
  18. POINT OF CONNECTION OF NEW 4" SAS TO NEW BUILDING, SEE PLUMBING PLANS FOR CONTINUATION. INV=
  19. NEW REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY, PER COA STD DWG #2385.
  20. NEW DOUBLE SAS CLEANOUT. SEE DETAIL SHEET C-503.
  21. POINT OF CONNECTION OF NEW 2" DOMESTIC LINE TO BUILDING, SEE PLUMBING PLAN FOR LOCATION AND ELEVATION.
  22. POINT OF CONNECTION OF 6" DEDICATED FIRE LINE TO BUILDING, SEE PLUMBING PLAN FOR LOCATION AND ELEVATION.
  23. NEW REMOTE FDC. SEE DETAIL SHEET C-503.
  24. POINT OF CONNECTION OF NEW 1 1/2" IRRIGATION LINE TO EXISTING WATER MAIN. PER COA STD DWG #2301.
  25. NEW 1 1/2" IRRIGATION LINE.
  26. NEW 1 1/2" WATER METER. PER COA STD DWG #2363.
  27. NEW 1 1/2" BACK FLOW PREVENTER AND HOT BOX, SEE LANDSCAPING FOR CONTINUATION.
  28. OIL INTERCEPTOR LOCATION, SEE PLUMBING PLAN.
  29. POINT OF CONNECTION FOR OIL INTERCEPTOR, INV=62.78. SEE PLUMBING PLAN FOR CONTINUATION.
- GENERAL NOTE:  
1. ALL WATER LINES SHALL HAVE A 3' MINIMUM BURY.



**ME MILLER ENGINEERING CONSULTANTS**  
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AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	DATE
WORKS BY	DATE	NO.	DATE	NO.	DATE
SUBMITTER	DATE	NO.	DATE	NO.	DATE
ACCEPTANCE BY	DATE	NO.	DATE	NO.	DATE
FIELD CHECKED BY	DATE	NO.	DATE	NO.	DATE
REVISIONS	DATE	NO.	DATE	NO.	DATE
CORRECTED BY	DATE	NO.	DATE	NO.	DATE
MICRO-FILM INFORMATION	DATE	NO.	DATE	NO.	DATE
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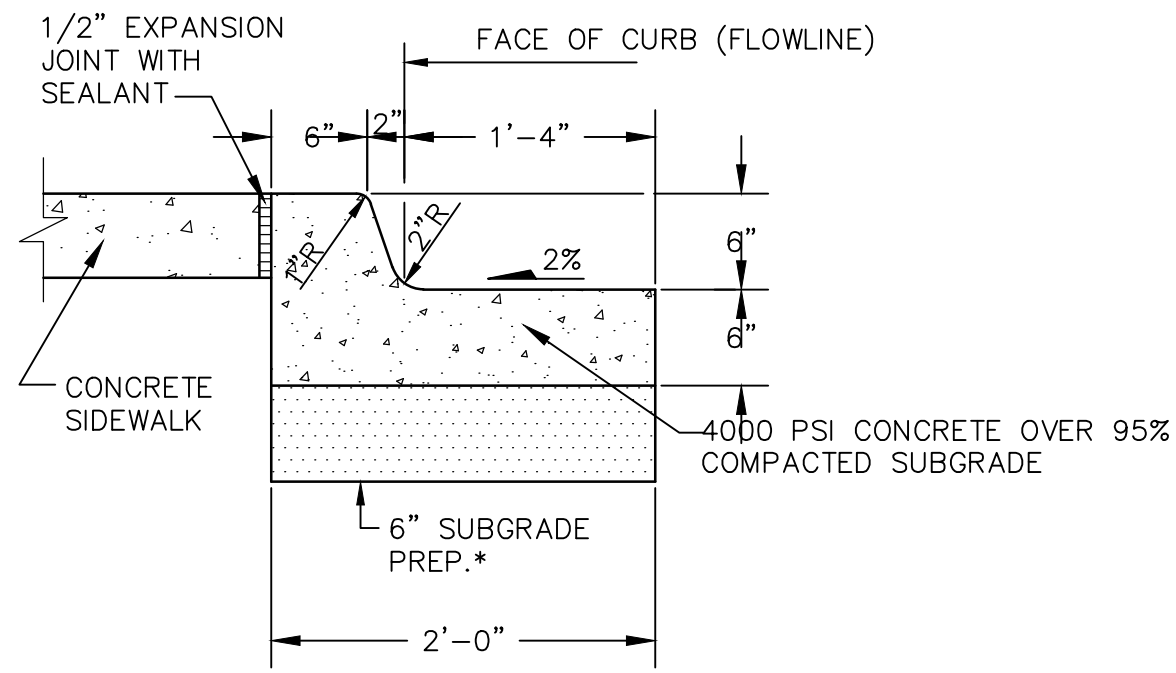
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**CITY OF ALBUQUERQUE**  
 CAPITAL IMPLEMENTATION PROGRAM  
**AFD FIRE STATION 4**  
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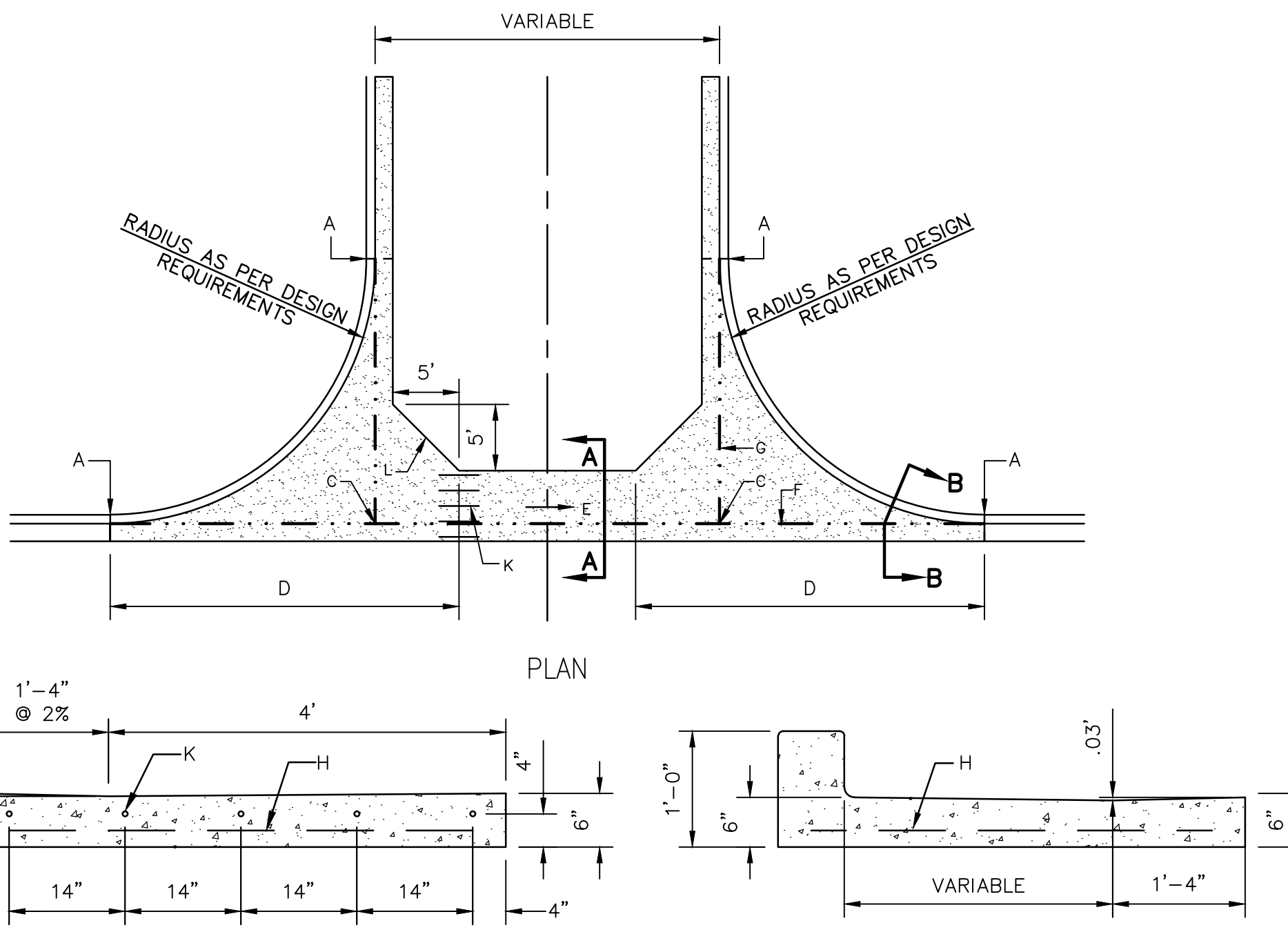
Drawing Title		SITE UTILITY PLAN	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		7/24/18	
Issue Date:	City Project No.	Last Design Update	Sheet
<b>JULY, 2024</b>			<b>C-201</b>

**A1 SITE UTILITY PLAN**  
 SCALE: 1"=30'

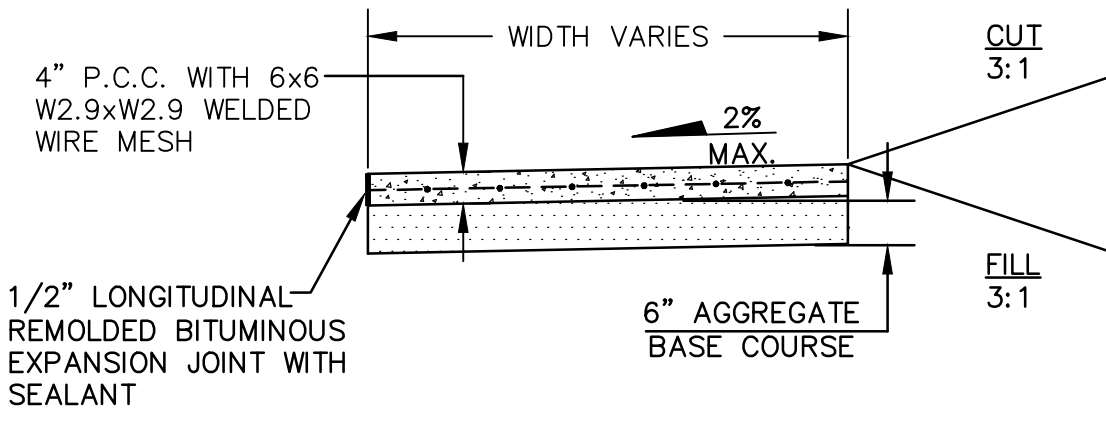


- NOTES:
- SEE PLAN FOR SIDEWALK JOINT PATTERN.
  - CONSTRUCT 1/2" EXPANSION JOINTS WITH SEALANT @40'-0" O.C. MAX.
  - CONSTRUCT 1 1/2" DEEP TOOLED CONTROL JOINTS @5'-0" O.C. MAX.
  - MATCH TOP OF EXISTING SIDEWALK AND MAINTAIN EXISTING FLOW LINE.

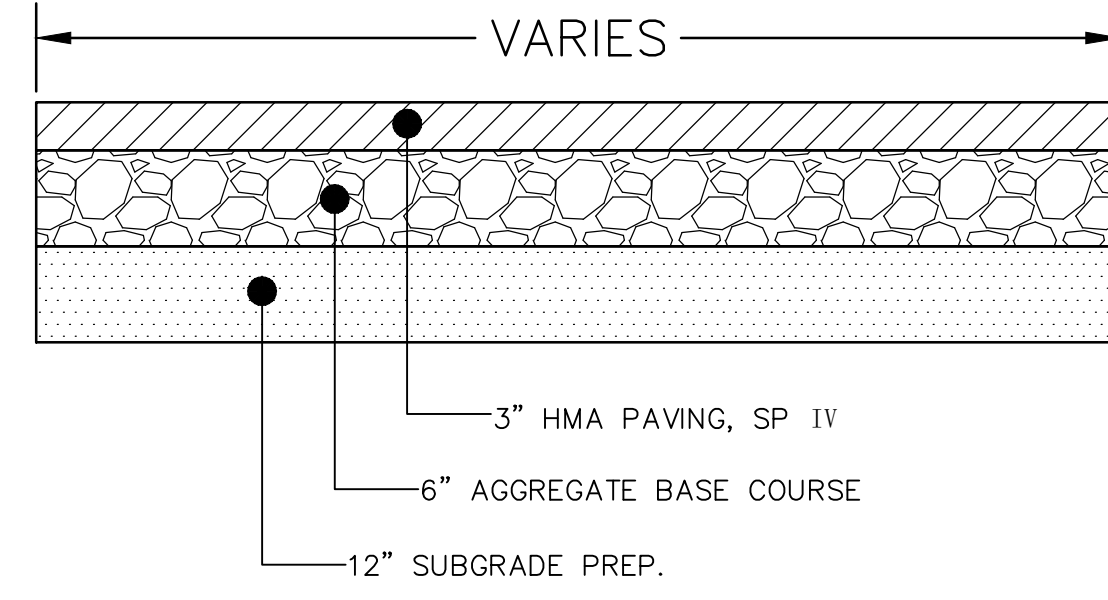
**E1 TYPICAL STANDARD CURB AND GUTTER SECTION**  
SCALE: NOT TO SCALE



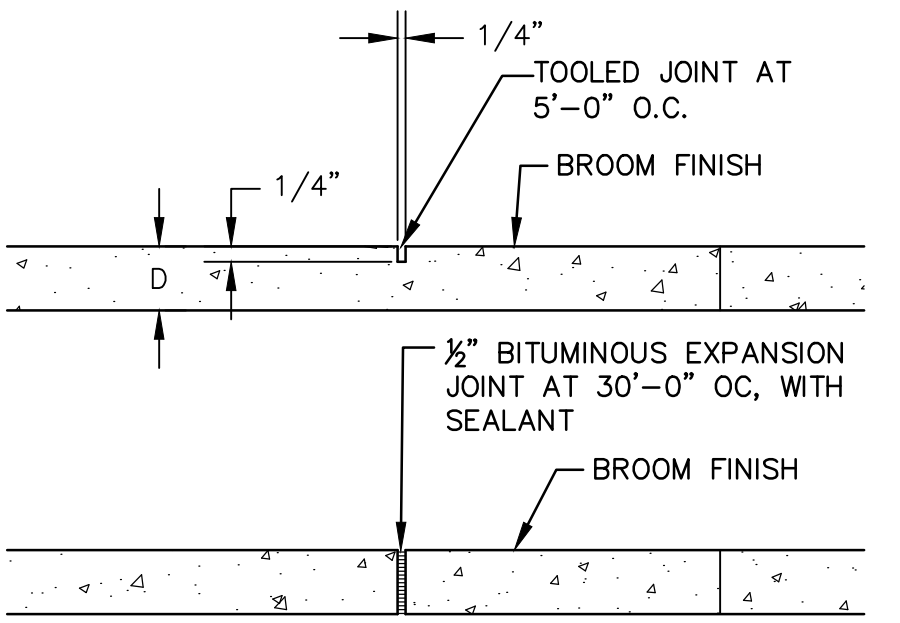
**D4 CONCRETE PAVING VALLEY GUTTER AND RETURNS**  
SCALE: NOT TO SCALE



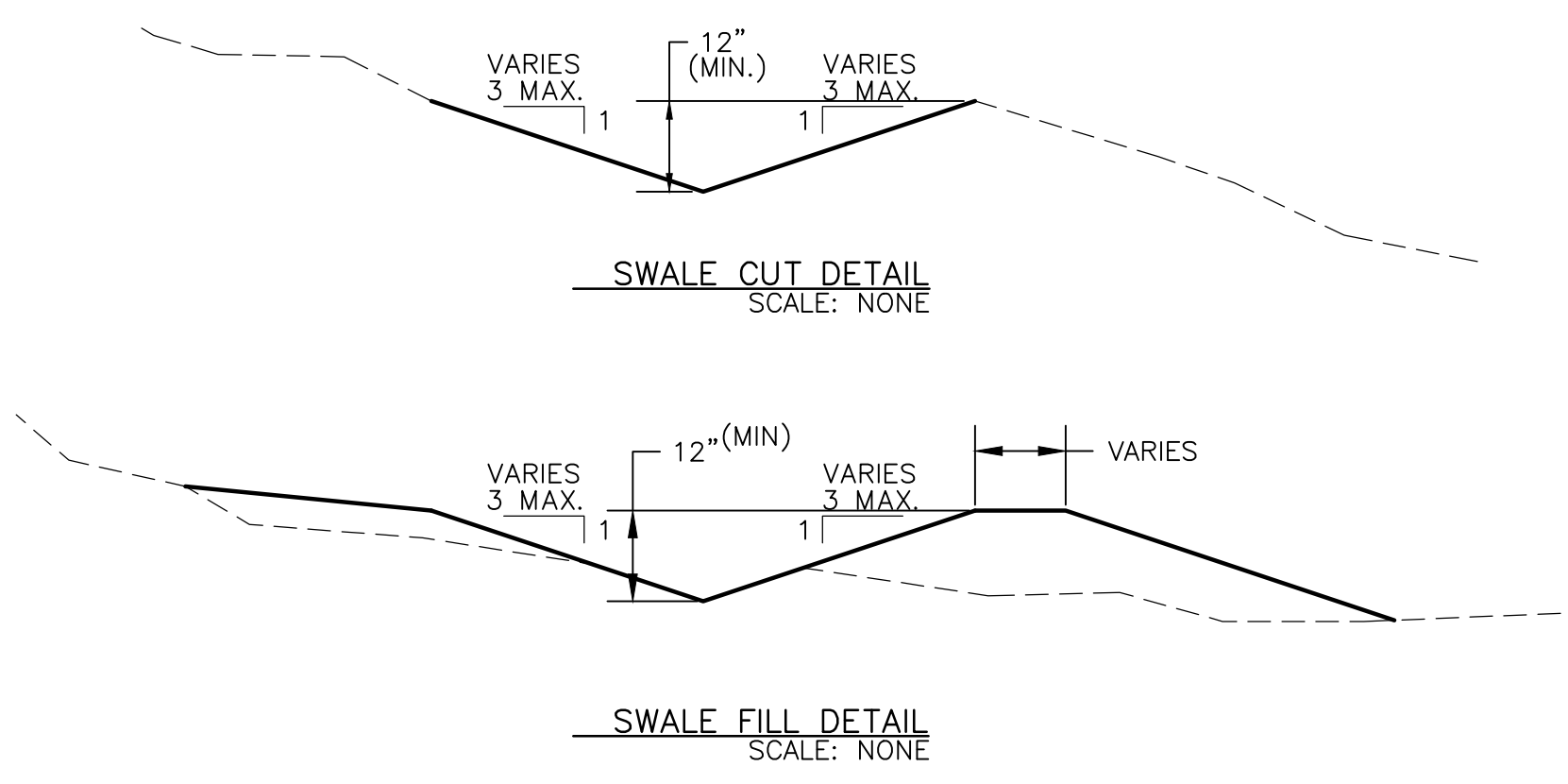
**A1 TYPICAL SIDEWALK SECTION**  
SCALE: NOT TO SCALE



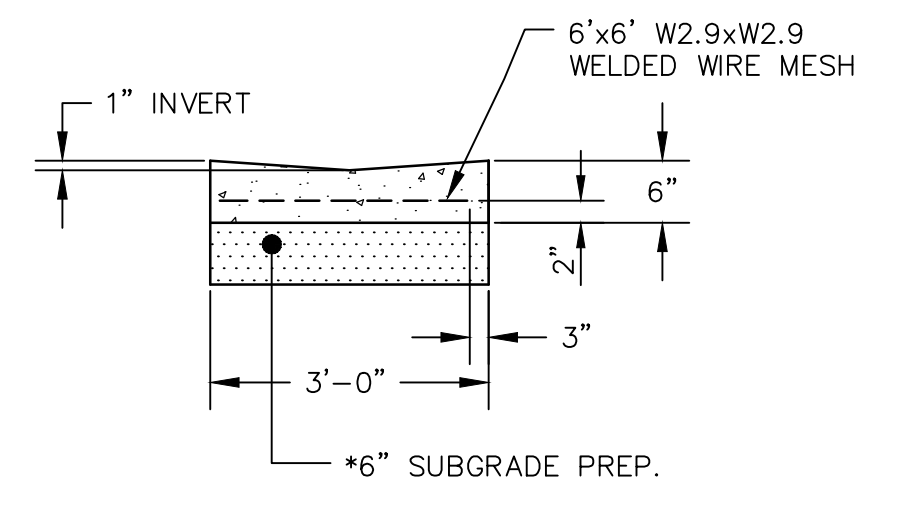
**E5 TYPICAL LIGHT DUTY ASPHALT PAVING DETAIL**  
SCALE: NOT TO SCALE



**A3 CONCRETE SIDEWALK JOINTS**  
SCALE: NOT TO SCALE  
NOTE: CONCRETE JOINT PATTERNS SHALL BE SUBMITTED BY CONTRACTOR FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

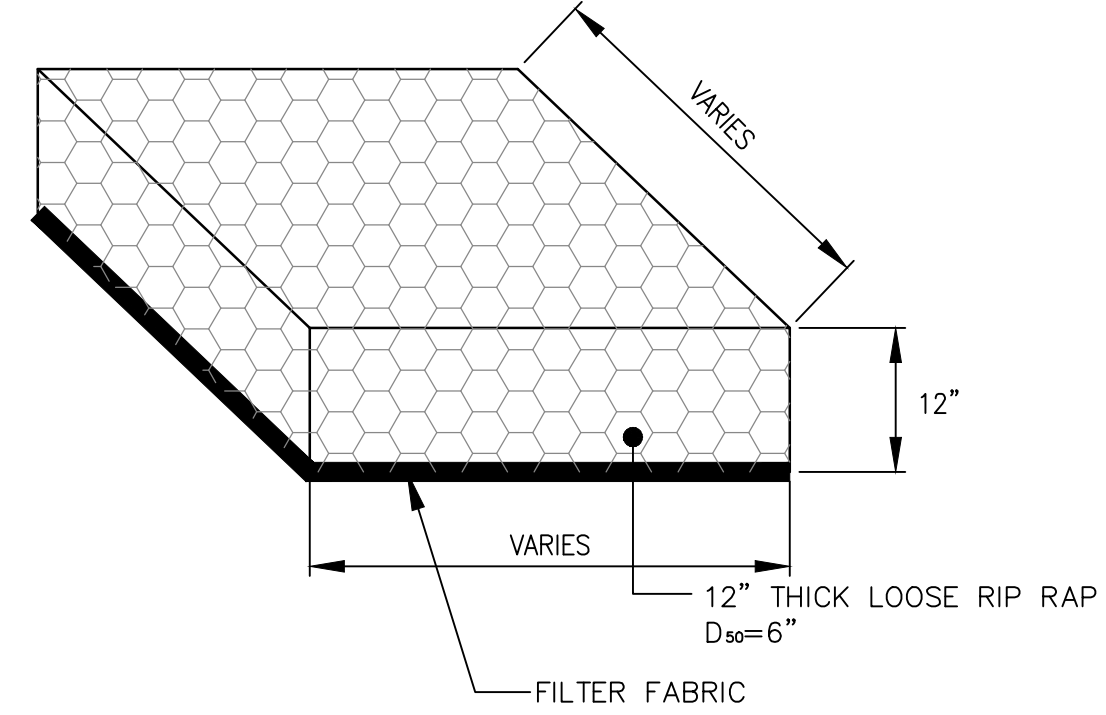


**C5 EARTHEN SWALE**  
SCALE: NOT TO SCALE

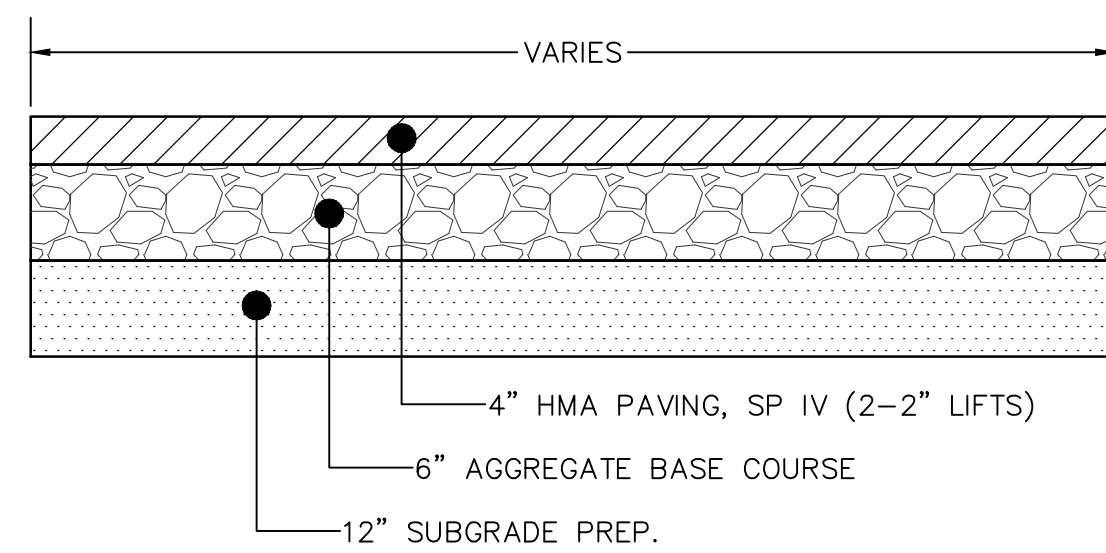


**A4 6" X 36" CONCRETE VALLEY GUTTER DETAIL**  
SCALE: NOT TO SCALE  
\* 6" SUBGRADE PREP. SHALL BE CONSIDERED INCIDENTAL TO ITEM NO. 609636, CONCRETE VALLEY GUTTER - 6"x36" AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THE WORK.

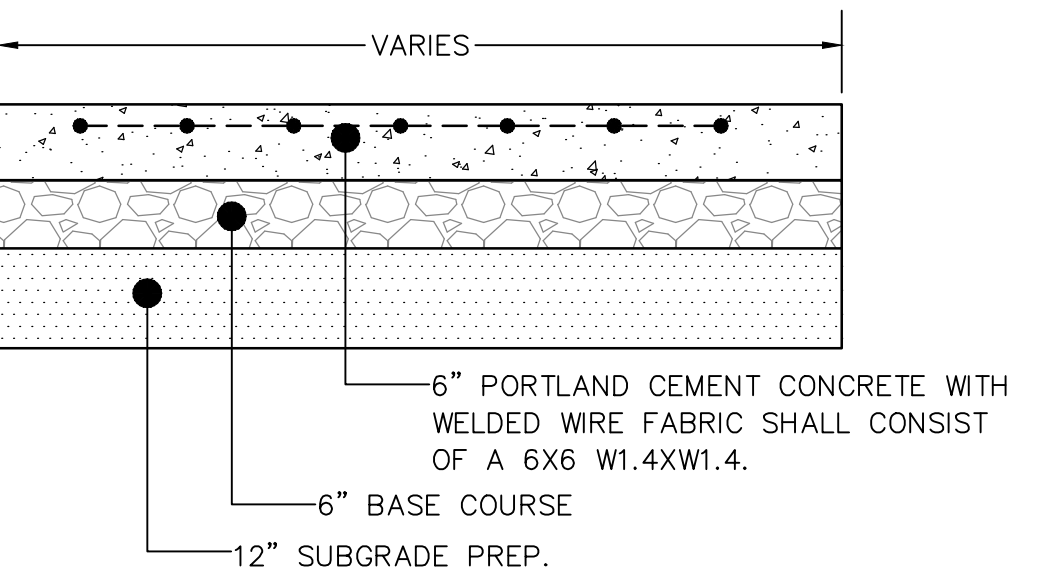
- GENERAL NOTES:**
- DESIGN ELEVATIONS TO BE GIVEN AT EACH END OF THE CURB RETURN (TOP OF CURB ELEV.) AND AT INTERSECTIONS OF PROJECTED FLOWLINES (FLOWLINE ELEV.).
  - ON UPSTREAM AND DOWNSTREAM ENDS OF THE INTERSECTION, VALLEY GUTTER CONSTRUCTION SHALL EXTEND TO THE END OF RETURNS.
  - THE VALLEY GUTTER TO BE REINFORCED WITH 6"x6"xNo. 6 GA. WIRE MESH.
  - INVERT OF VALLEY GUTTER TO EXTEND FROM FLOWLINE OF UPSTREAM CURB RETURN TO FLOWLINE OF DOWNSTREAM CURB RETURN.
  - CURB FLOWLINE AND TOP OF CURB ELEV. SHOWN IN THE BOX TO CORRESPOND TO QUARTERPOINTS INDICATED ON THE CURB RETURN IN THE CLOCKWISE DIRECTION.
  - DENOTES 1/2" EXPANSION JOINT.
  - FOR NEW CONSTRUCTION, VALLEY GUTTER SHALL BE CONSTRUCTED PRIOR TO ADJACENT PAVEMENT. ASPHALT CONCRETE SHALL BE INSTALLED MONOLITHICALLY TO MEET NEW VALLEY GUTTER.
  - PRIOR TO CONSTRUCTION OF NEW VALLEY GUTTER ON EXISTING ACCEPTED STREETS, PAVEMENT SHALL BE REMOVED AS SHOWN ON PLANS.
- CONSTRUCTION NOTES:**
- END OF CURB RETURN, SEE NOTE 1.
  - FOR RAMP DETAILS SEE SHEET C-505
  - INTERSECTION OF FLOWLINES, SEE NOTE 1.
  - SURFACE AND CURB TO BE MONOLITHIC.
  - DIRECTION OF FLOW.
  - FLOWLINE.
  - PROJECTED FLOWLINE OF 0.03' INVERT, SEE NOTE 2.
  - 6"x6" No. 6 GA. WIRE MESH.
  - NO. 4 REBARS 3'-0" LONG @ 14" O.C.
  - FILLET AS PER PLAN.



**A4 CLASS 'B' RIP RAP PAD DETAIL**  
SCALE: NOT TO SCALE  
SEE PLANS FOR SHAPE AND DIMENSIONS



**A1 HEAVY DUTY ASPHALT PAVING DETAIL**  
SCALE: NOT TO SCALE



**A3 HEAVY DUTY CONCRETE PAVING SECTION**  
SCALE: NOT TO SCALE

City of Albuquerque Electronic Stamp

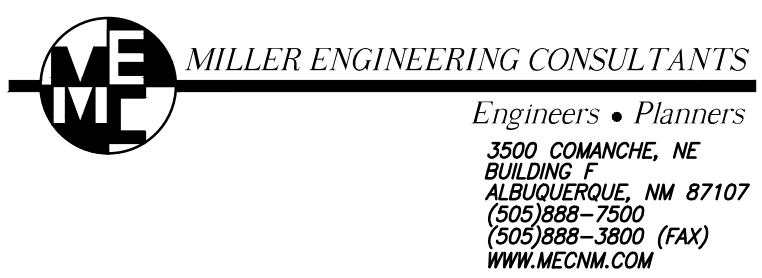
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WORKS BY	DATE	NO.	DATE	NO.	DATE
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FIELD ACCEPTANCE BY	DATE	NO.	DATE	NO.	DATE
DESIGNED BY	DATE	NO.	DATE	NO.	DATE
CHECKED BY	DATE	NO.	DATE	NO.	DATE
RECORDED BY	DATE	NO.	DATE	NO.	DATE

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CAPITAL IMPLEMENTATION PROGRAM  
**AFD FIRE STATION 4**  
301 McKnight Avenue N.W.  
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MISCELLANEOUS DETAILS	
Drawing Title	City Engineer Approval
Design Review Committee	City Project No.
Issue Date:	Sheet
JUNE, 2024	C-501





PROJECT NO. D

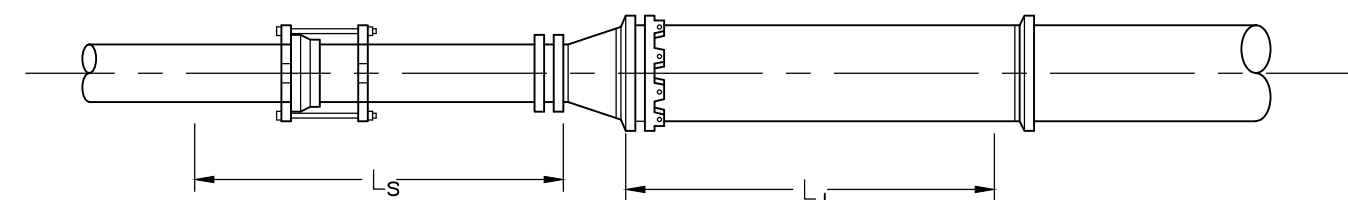
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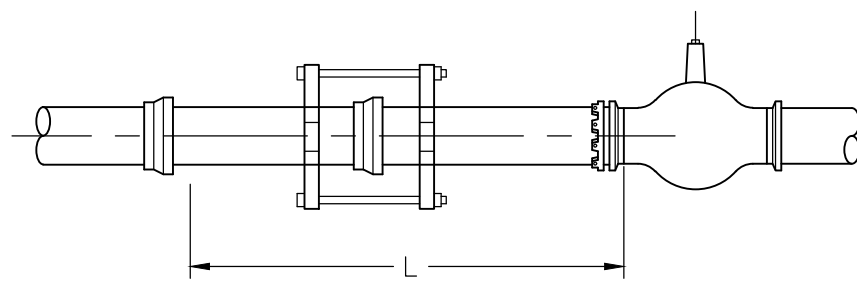
REDUCER

RESTRAIN EITHER L <sub>S</sub> OR L <sub>L</sub> LENGTH	(L <sub>S</sub> ) L SMALL or (L <sub>L</sub> ) L LARGE	
	UNOBSTRUCTED STRAIGHT RUN LENGTH, FEET RESTRAINED	LARGE SIDE RESTRAINED LENGTH, FEET
6" x 4"	42	28
8" x 4"	39	30
8" x 6"	39	30
10" x 6"	87	53
10" x 8"	36	29
12" x 8"	81	54
12" x 10"	36	30
14" x 10"	78	55



LINE SIZE	RESTRAINED LENGTH L, BOTH SIDES OF VALVE, FEET
4"	39
6"	55
8"	72
10"	86
12"	102
14"	116

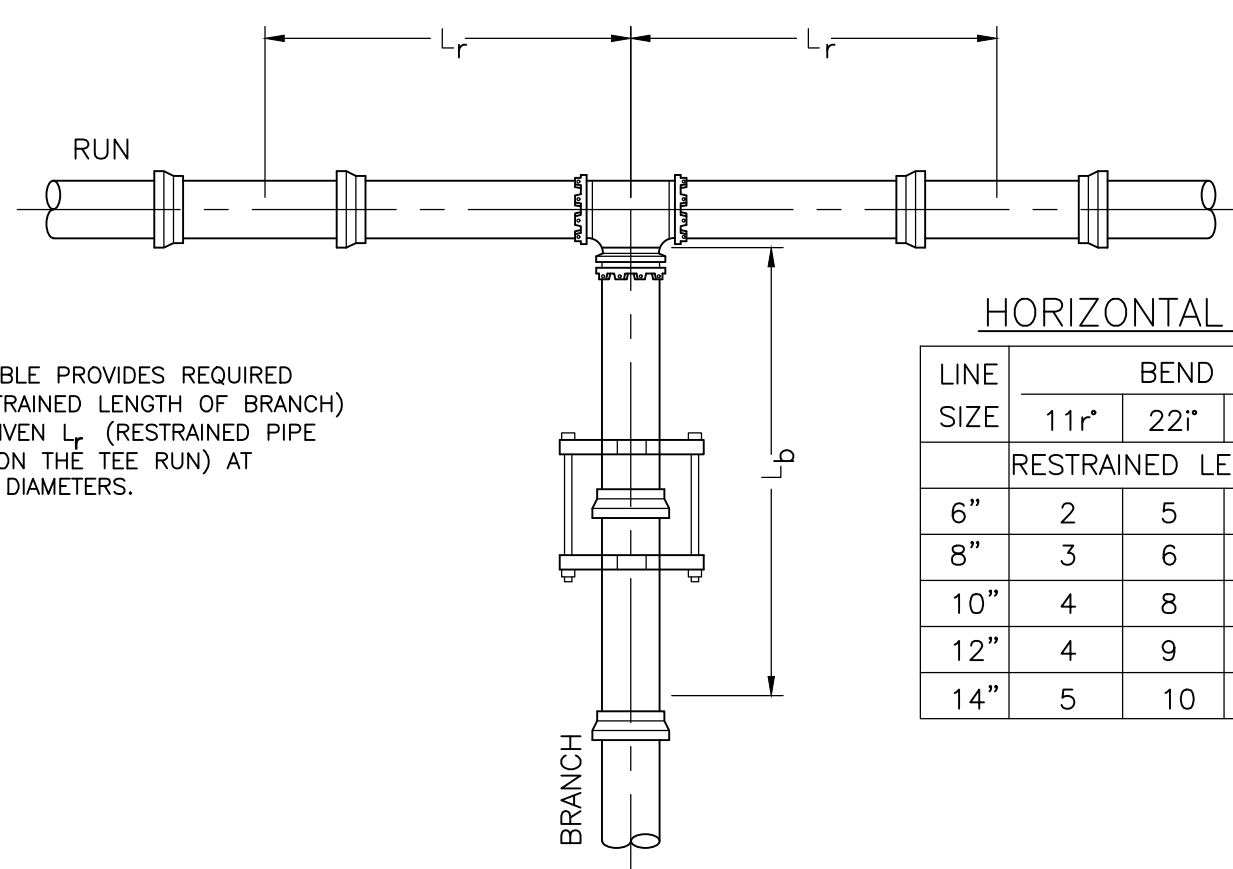
THESE LENGTHS MAY BE USED WHERE ENOUGH NEW PIPE EXISTS TO INSTALL THE RESTRAINT JOINTS ALONG A STRAIGHT PIPE RUN.



TEES

LINE SIZE	BRANCH SIZE 6"			BRANCH SIZE 8"			BRANCH SIZE 10"			BRANCH SIZE 12"						
	L <sub>r</sub> =5'	L <sub>r</sub> =10'	L <sub>r</sub> =15'	L <sub>r</sub> =5'	L <sub>r</sub> =10'	L <sub>r</sub> =15'	L <sub>r</sub> =5'	L <sub>r</sub> =10'	L <sub>r</sub> =15'	L <sub>r</sub> =5'	L <sub>r</sub> =10'	L <sub>r</sub> =15'				
	RESTRAINED LENGTH L <sub>b</sub> , FEET FOR A SPECIFIED L <sub>r</sub>															
6"	36	18	FJO	FJO	58	44	30	16	75	64	53	41	—	—	—	—
8"	30	6	FJO	FJO	53	35	16	FJO	71	56	42	27	—	—	—	—
10"	24	FJO	FJO	FJO	48	24	1	FJO	67	48	29	10	86	70	54	38
12"	17	FJO	FJO	FJO	43	14	FJO	FJO	63	40	17	FJO	83	63	44	25
14"	FJO	FJO	FJO	FJO	21	FJO	FJO	FJO	39	12	FJO	FJO	56	33	11	FJO

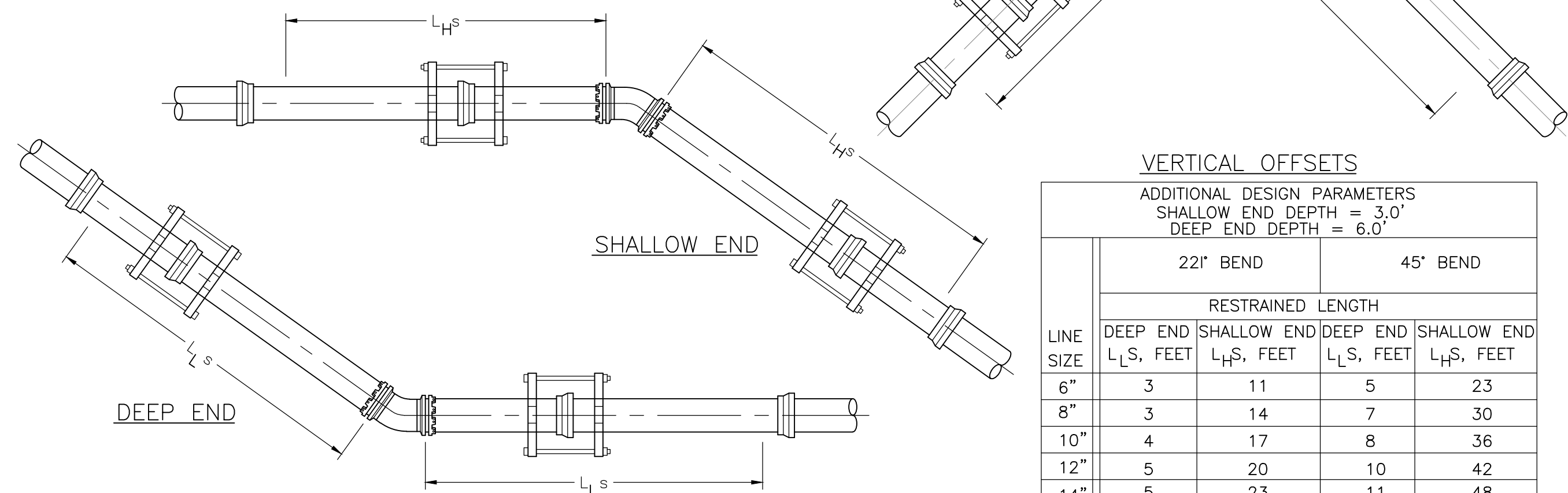
FJO: RESTRAINT REQUIRED AT FITTING JOINT ONLY



HORIZONTAL BENDS

LINE SIZE	BEND ANGLE			
	11°	22°	45°	90°
6"	2	5	10	25
8"	3	6	13	32
10"	4	8	16	38
12"	4	9	19	45
14"	5	10	21	51

NOTE: TABLE PROVIDES REQUIRED L<sub>b</sub> (RESTRAINED LENGTH OF BRANCH) FOR A GIVEN L<sub>r</sub> (RESTRAINED PIPE LENGTH ON THE TEE RUN) AT VARIOUS DIAMETERS.



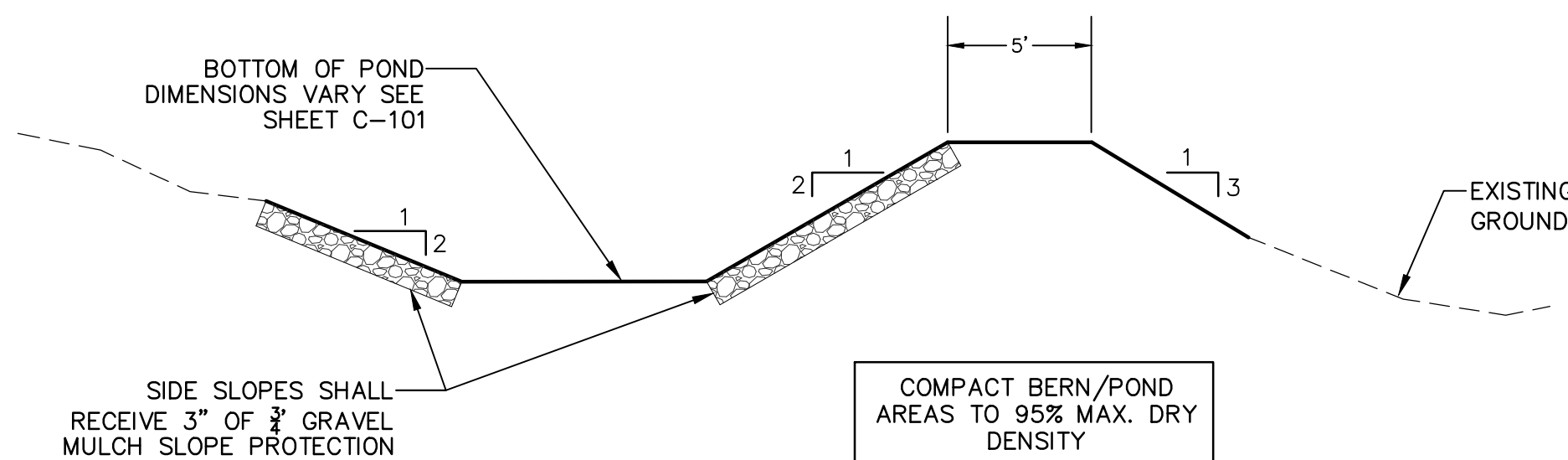
VERTICAL OFFSETS

ADDITIONAL DESIGN PARAMETERS  
SHALLOW END DEPTH = 3.0'  
DEEP END DEPTH = 6.0'

LINE SIZE	RESTRAINED LENGTH			
	22° BEND		45° BEND	
	DEEP END L <sub>L</sub> S, FEET	SHALLOW END L <sub>H</sub> S, FEET	DEEP END L <sub>L</sub> S, FEET	SHALLOW END L <sub>H</sub> S, FEET
6"	3	11	5	23
8"	3	14	7	30
10"	4	17	8	36
12"	5	20	10	42
14"	5	23	11	48

B1 PIPE RESTRAINT LENGTHS

SCALE: NOT TO SCALE



C5 TYPICAL WATER HARVEST AREA SECTION

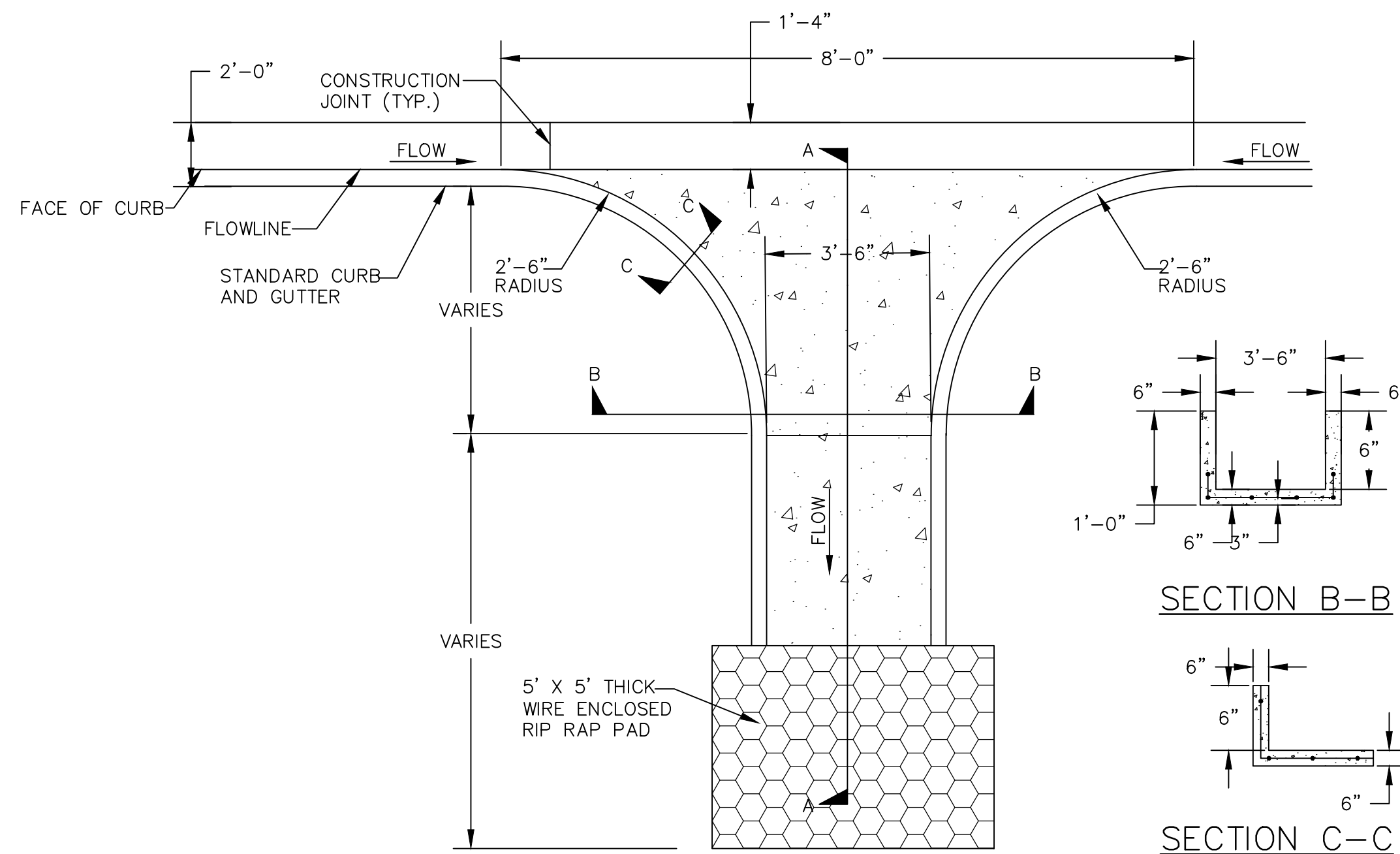
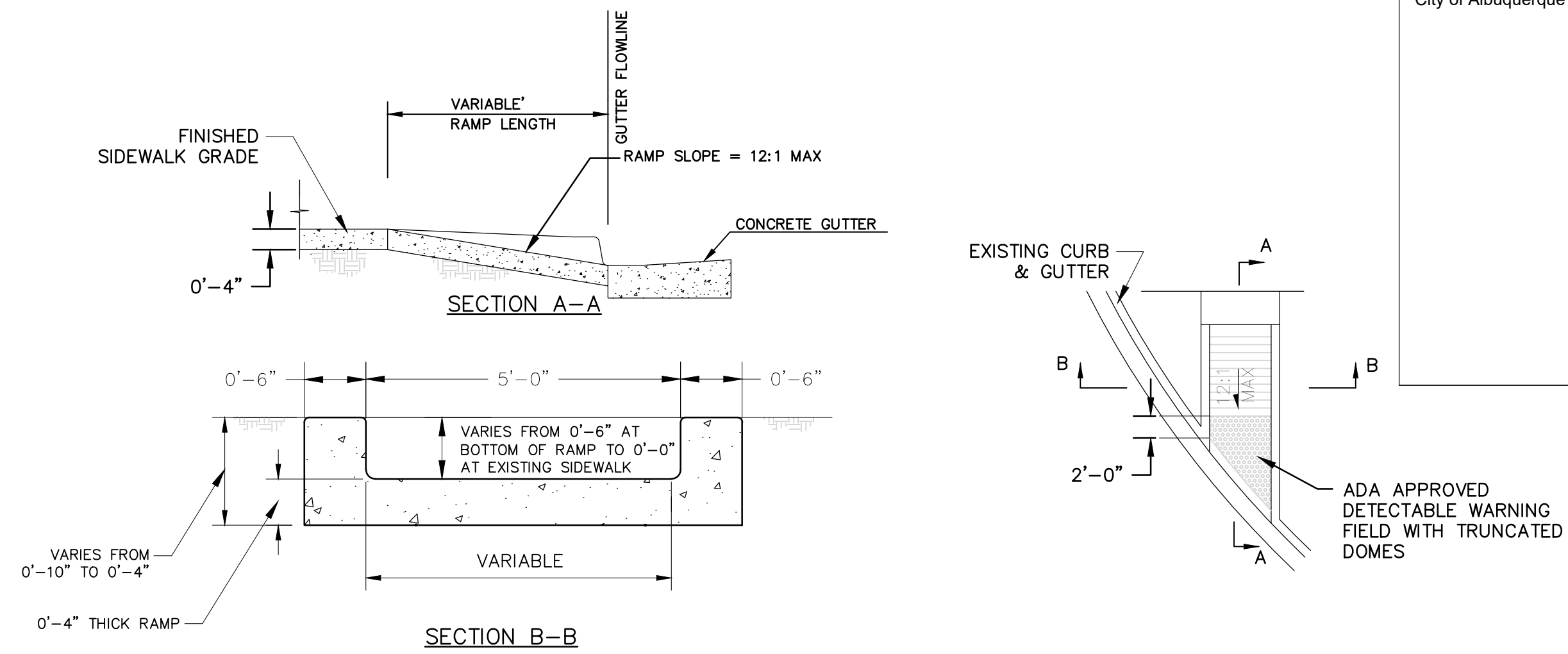
SCALE: NOT TO SCALE

THRUST RESTRAINT GENERAL NOTES

- RESTRAINED PIPE LENGTHS FOR PVC USING EBAA IRON THRUST RESTRAINING SYSTEM.
- LENGTHS MAY OVERLAP TO DETERMINE GREATEST RESTRAINT LENGTH IN ANY ONE DIRECTION.
- CONTRACTOR SHALL MINIMIZE NUMBERS OF RESTRAINED JOINTS REQUIRED BY USING 20' LONG SECTIONS OF PIPE WITHIN THE RESTRAINED LENGTH WHERE POSSIBLE. DIVIDE LENGTH BY 20 AND TRUNCATE DECIMAL PORTION OF NUMBER TO DETERMINE THE NUMBER OF REQUIRED RESTRAINED JOINTS.
- SPECIAL CONSIDERATION MAY BE NEEDED TO MEET CERTAIN FIELD CONDITIONS.
- RESTRAINT LENGTHS MAY EXTEND INTO EXISTING WATER MAINS, REQUIRING RESTRAINED FITTINGS TO BE PLACED AT EXISTING WATERLINE JOINTS FOR THE LENGTH SPECIFIED IN THE TABLES ON THIS SHEET.
- CONCRETE BLOCKING, PER COA STANDARD DRAWING 2320, SHALL BE USED IN LIEU OF RESTRAINED JOINTS AT ALL CAPS. DESIGN ASSUMPTIONS:  
SAFETY FACTOR: 1.5  
PRESSURE: 150 PSI  
SOIL TYPE: GM & SM - SILTY GRAVELS AND SILTY SANDS  
PIPE: PVC  
TRENCH TYPE: 3 (PIPE BEDDED IN 4 INCHES MINIMUM LOOSE SOIL. BACKFILL LIGHTLY CONSOLIDATED TO TOP OF THE PIPE.)

D5 HANDICAP RAMP DETAIL

SCALE: NOT TO SCALE

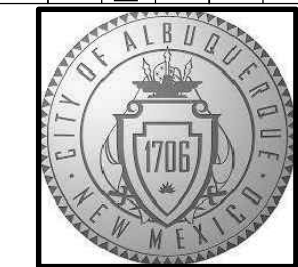


A5 CONCRETE RUNDOWN DETAIL

SCALE: NOT TO SCALE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL	
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WORKED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
FIELD ACCEPTANCE BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
DESIGNED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
CHECKED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
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MICRO-FILM INFORMATION							

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CITY OF ALBUQUERQUE CAPITAL IMPLEMENTATION PROGRAM

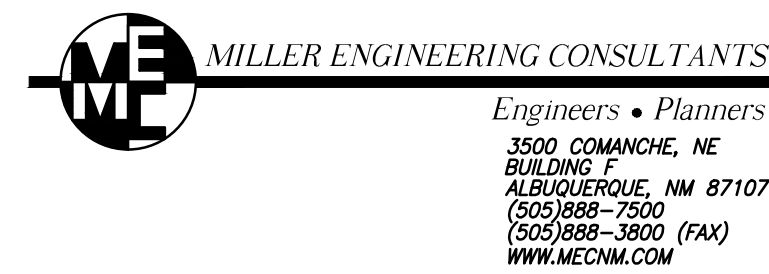
AFD FIRE STATION 4

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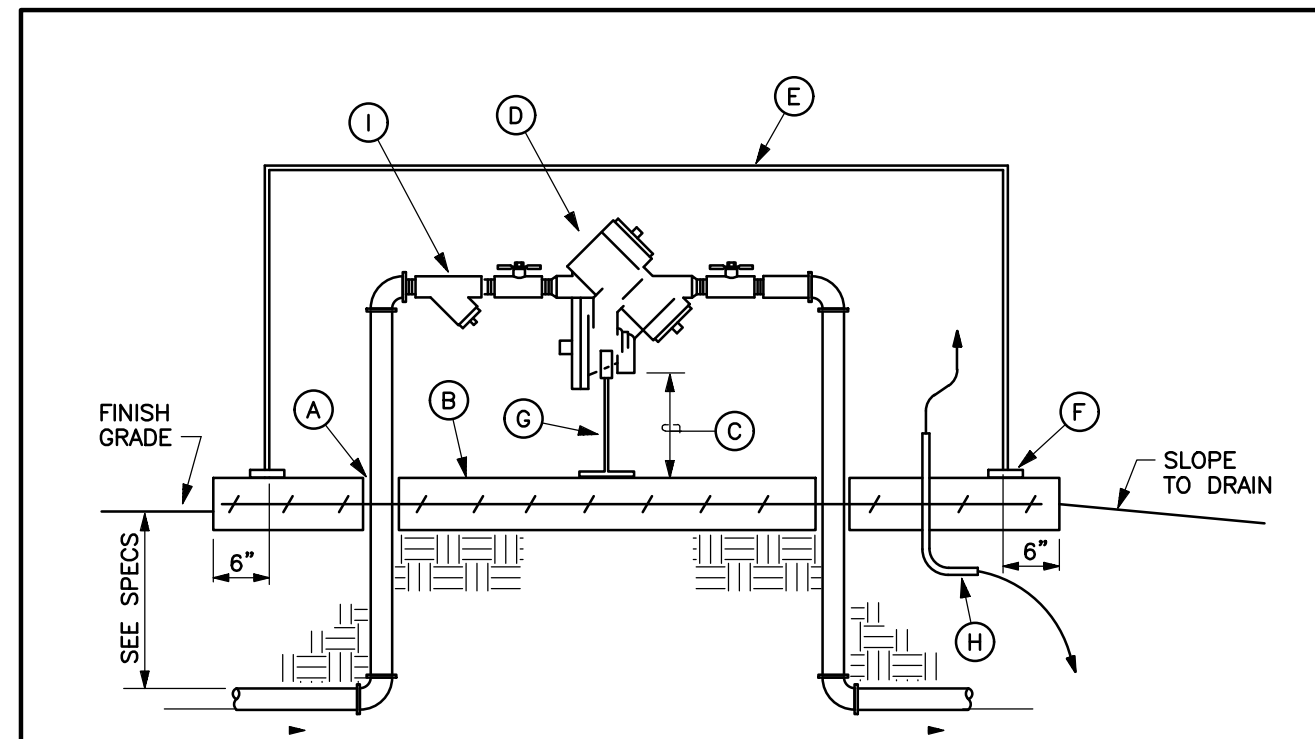
Drawing Title MISCELLANEOUS DETAILS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		7/10/18	

Issue Date: JUNE, 2024 City Project No.



Sheet C-502



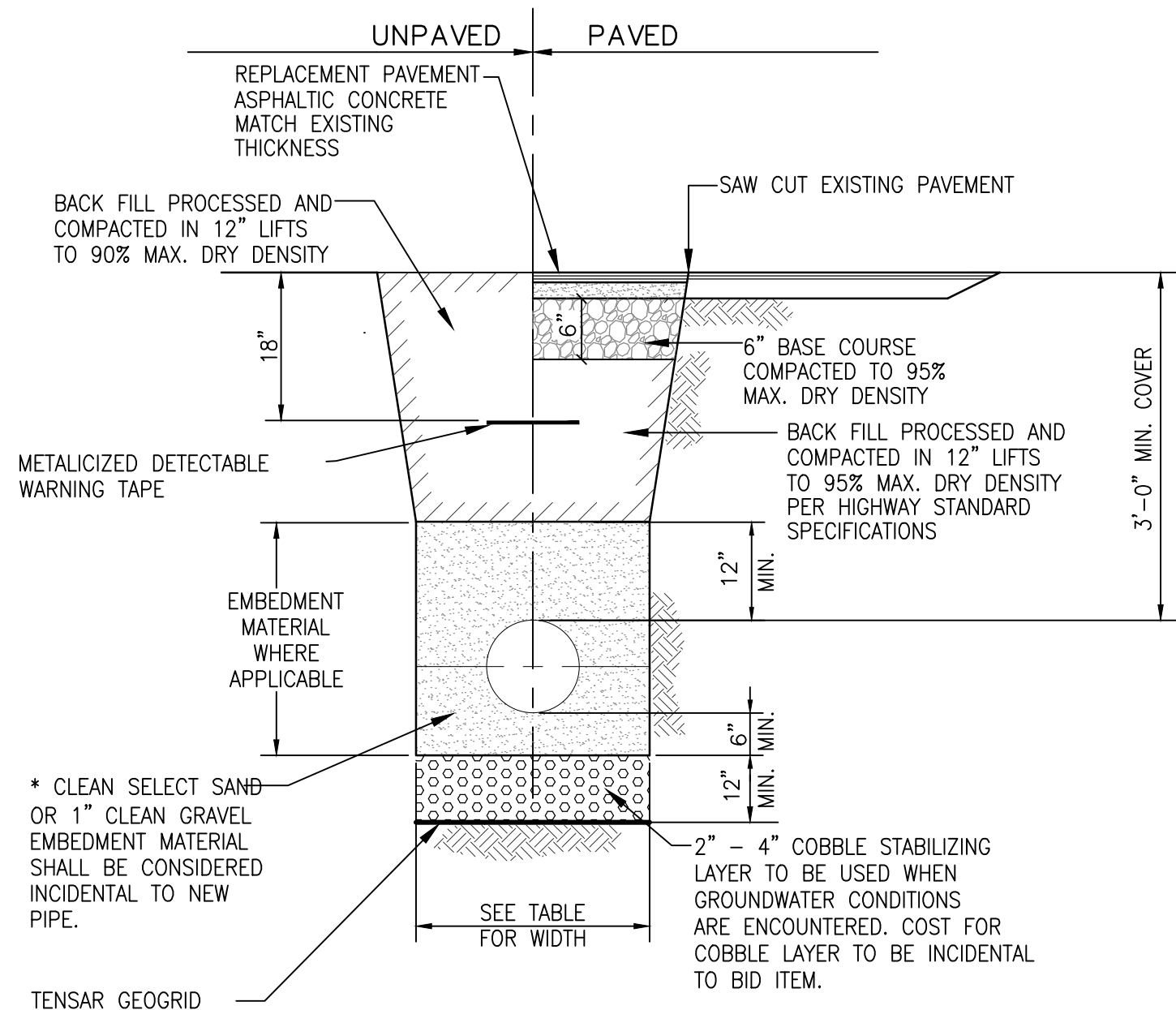
NOTE:

- A. 1/2" CLOSED CELL INSULATION.
- B. 4" CONCRETE SLAB WITH #4 BARS @ 12" O.C. SIZE TO FIT INSULATED ENCLOSURE.
- C. 1'-0" MINIMUM CLEAR.
- D. REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY BFP
- E. THERMAL INSULATED - ELECTRIC HEATED ENCLOSURE, HOT BOX MODEL NUMBER HB2S. SEE ELECTRICAL SITE PLAN FOR POWER, COORDINATE LOCATION WITH ALL ELECTRICAL IN THIS AREA.
- F. DRAIN, DRAIN TO DAYLIGHT.
- G. STEEL PIPE STAND.
- H. ELECTRICAL POWER - SEE ELECTRICAL PLANS FOR DETAILS.
- I. STRAINER, PART OF BFP.

**REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY (BFP)**

SCALE: NONE

FIRE PROTECTION EQUIPMENT SCHEDULE	
SYMBOL	DESCRIPTION
BFP-1	BACKFLOW PREVENTOR: FEBCO MODEL 860U REDUCED PRESSURE BACKFLOW PREVENTION DEVICE WITH UNION END BALL VALVES, CHECK VALVE ASSEMBLY WITH STAINLESS STEEL SPRINGS, BRONZE BODY, WORKING PRESSURE OF 175 PSI AND WATER TEMPERATURES OF 32 F TO 140 F, USC AND IAPMO APPROVED, FURNISH WITH AG-1 AIR GAP DRAIN AND PIPE FULL SIZE TO OUTSIDE, SIZE AS SHOWN ON DRAWING.
HE-1	HEATED ENCLOSURE: FLIP TOP FIBERGLASS UNIT WITH HEAT, MINIMUM 1/8" THICK THIXOTROPIC POLYESTER RESIN REINFORCED WITH FIBERGLASS, SMOOTH MOLDED EXTERIOR, UV PROTECTED FINISH, 1 1/4" INSULATION(R-8), LOCKABLE FLIP TOP, ONE WAY DRAIN OPENINGS, 2-1500 WATT HEATERS, UNIT SHALL BE ASSE 1060 CERTIFIED, SELECTION BASED ON HOT BOX MODEL HB2 OR APPROVED EQUAL.

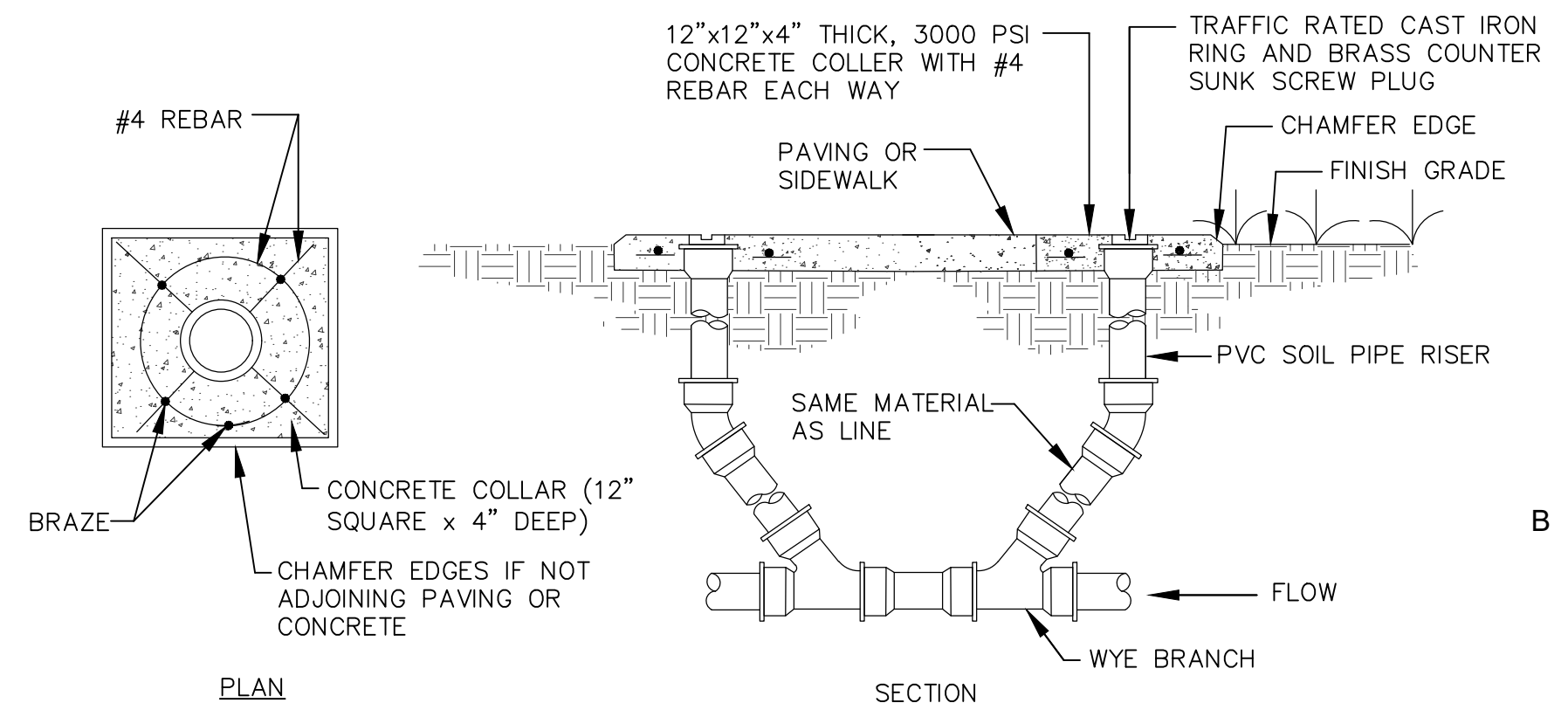


PIPE Ø	MIN WIDTH	MAX WIDTH	SIEVE SIZE	% PASSED
4"	1'-4"	2'-4"	1"	100
6"	1'-6"	2'-6"	* 200	0-20
8"	1'-8"	2'-8"		
12"	2'-0"	3'-0"		
14"	2'-4"	3'-4"		

NOTE: TRENCH TO BE BRACED OR SHEETED AS REQUIRED FOR SAFETY OF WORKMEN AND OTHER UTILITIES

**C2 TYPICAL WATER & SEWER TRENCH SECTION**

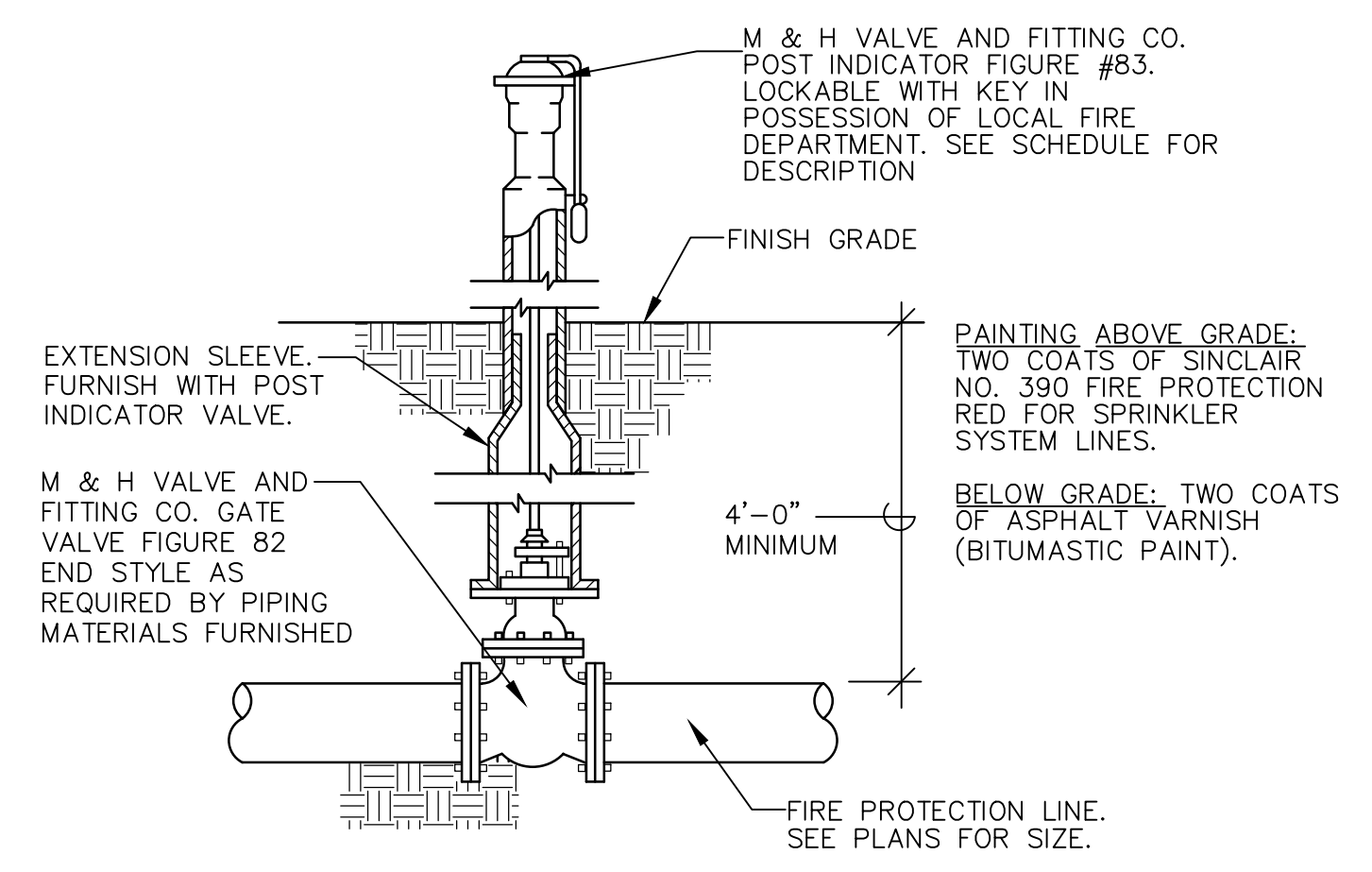
SCALE: NOT TO SCALE



NOTE: THIS REBAR CONFIGURATION IS USED FOR ALL EXTERIOR C.O. COLLARS

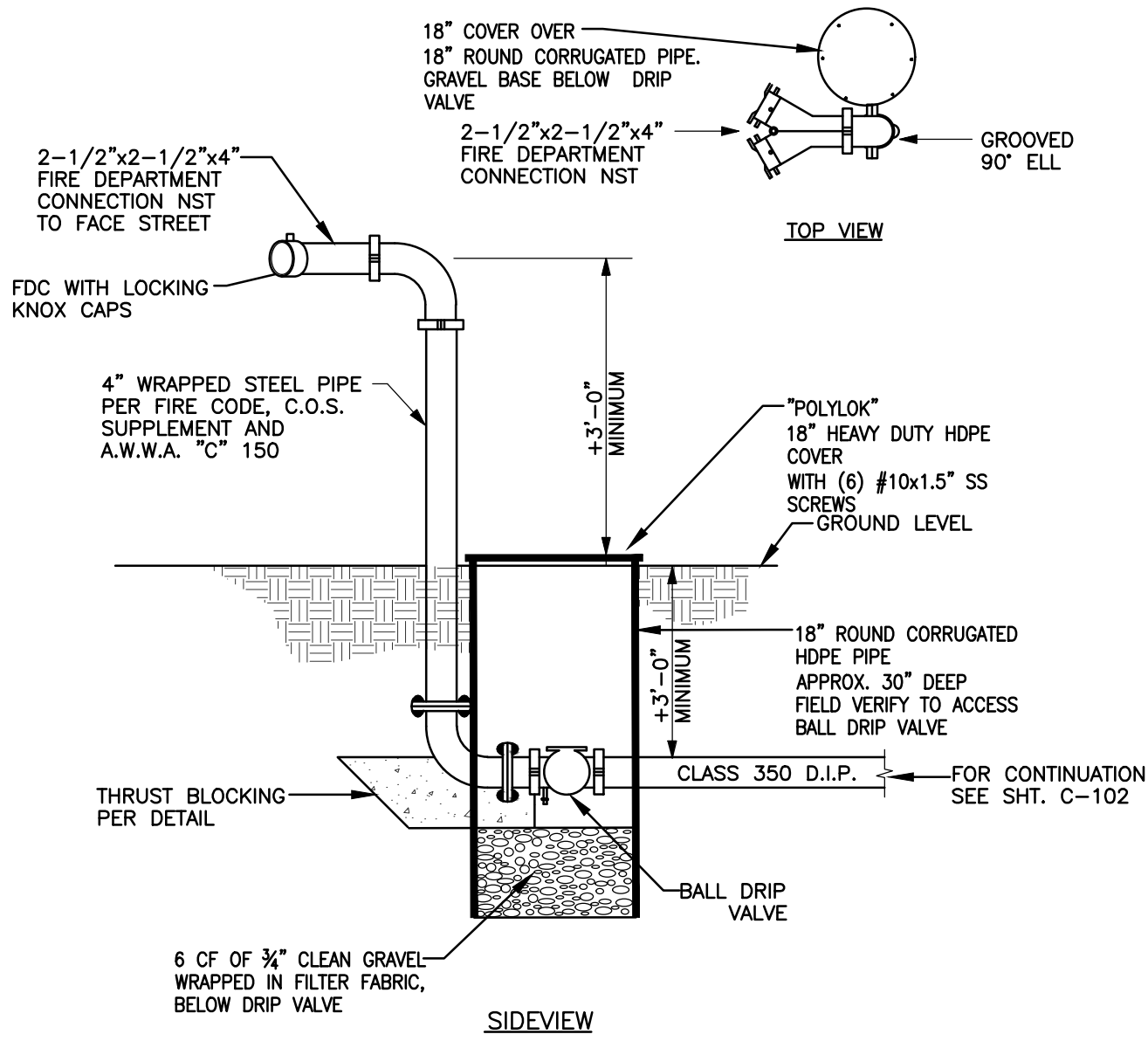
**B4 TYPICAL DOUBLE CLEANOUT TO GRADE DETAIL**

SCALE: NOT TO SCALE



**A1 POST INDICATOR VALVE DETAIL**

SCALE: NOT TO SCALE



**A3 REMOTE FIRE DEPARTMENT CONNECTION (FDC)**

SCALE: NOT TO SCALE

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AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK BY	DATE						
INSPECTED BY	DATE						
FIELD ACCEPTANCE BY	DATE						
INSPECTION BY	DATE						
FORWARDED BY	DATE						
RECORDED BY	DATE						
MICRO-FILM INFORMATION							
NO.	DATE						

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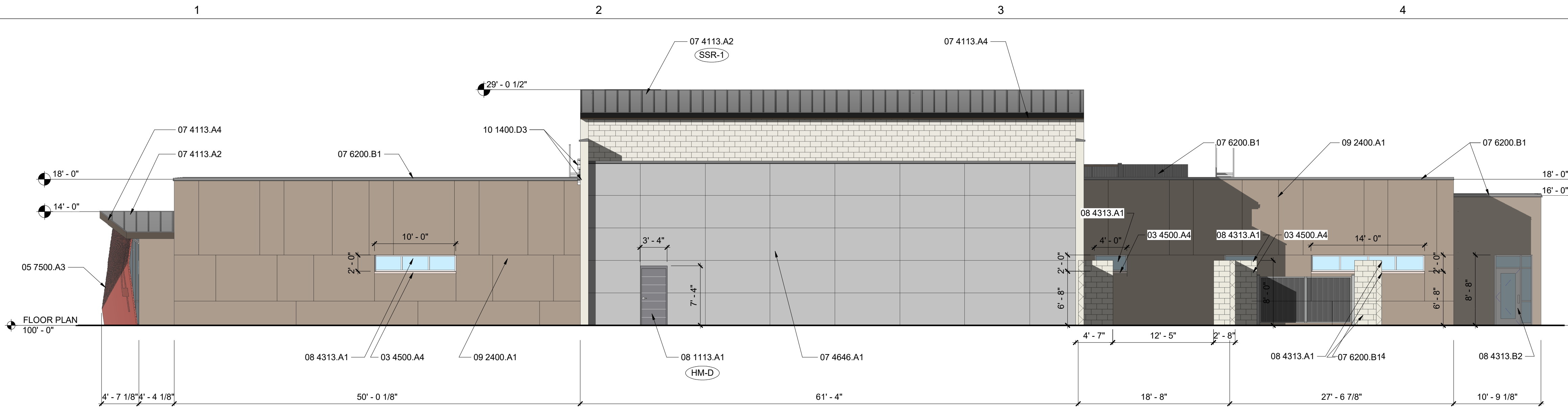
**MISCELLANEOUS DETAILS**

Drawing Title	City Engineer Approval		Mo./Day/Yr.	Mo./Day/Yr.
Design Review Committee			7/10/18	
Issue Date:	City Project No.	Last Design Update		Sheet
<b>JUNE, 2024</b>				<b>C-503</b>



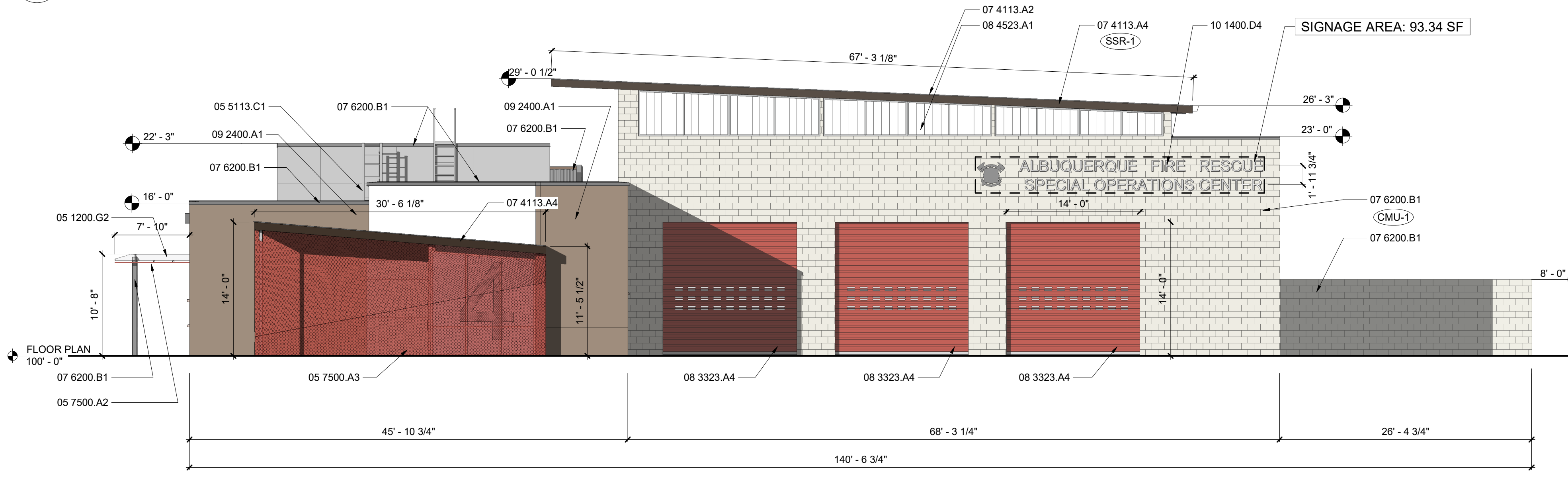
PROJECT NO.: 587895

D



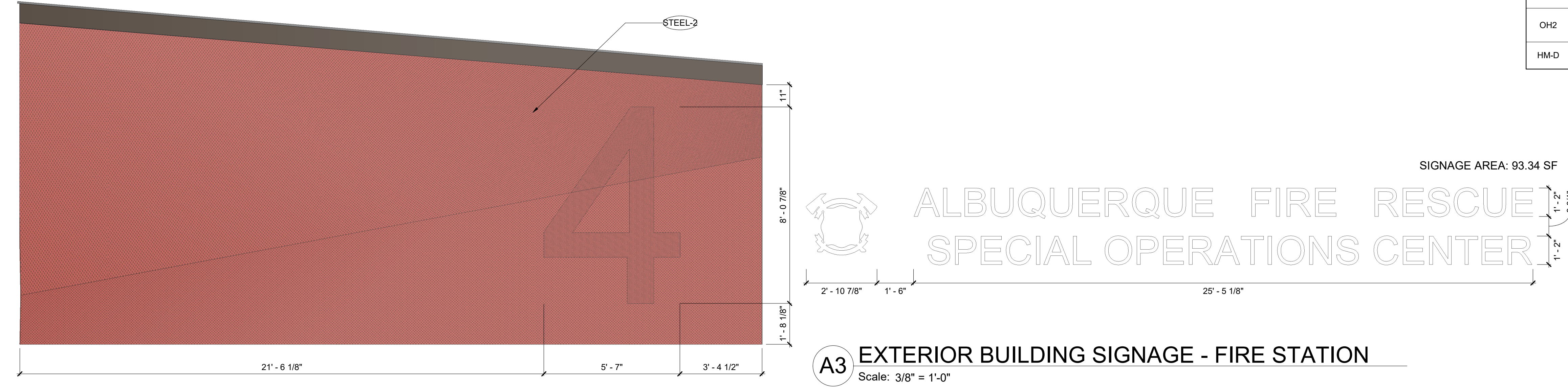
**C1** NORTHEAST ELEVATION  
Scale: 1/8" = 1'-0"

C



**B1** SOUTHEAST ELEVATION  
Scale: 1/8" = 1'-0"

B



**A1** EXTERIOR BUILDING SIGNAGE - FIRE STATION  
Scale: 3/8" = 1'-0"

A

City of Albuquerque Electronic Stamp

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
REVISIONS BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

- GENERAL SHEET NOTES**
- ALL EXTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES, DOORS, AND EXPOSED STEEL BEAMS AND COLUMNS AND DOOR STOPS SHALL BE PAINTED.
  - REFER COLOR & MATERIAL SCHEDULE FOR STUCCO AND CMU COLORS.
  - REFER CIVIL SHEETS FOR LOCATIONS OF DOWNSPOUTS THAT WILL BE CONNECTED TO STORM DRAIN SYSTEM.

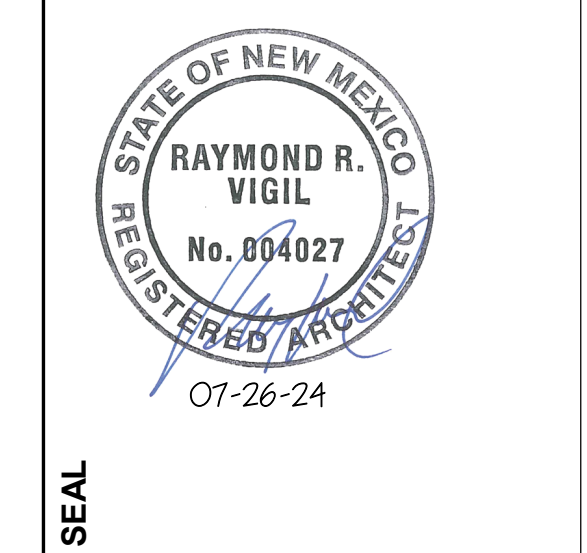
**REFERENCE KEYNOTES**

03 4500.A4	PRECAST ARCHITECTURAL CONCRETE SILL
05 1200.G2	TUBE STEEL COLUMN - REFER STRUCTURAL
05 5113.C1	STEEL ROOF ACCESS LADDER - PAINT
05 7500.A2	SOLID METAL PANELS - RIBBED
05 7500.A3	PERFORATED METAL PANEL - CUSTOM PERFORATIONS
07 4113.A2	PRE-FINISHED STANDING SEAM METAL ROOF PANEL
07 4113.A4	PRE-FINISHED METAL SOFFIT SYSTEM BY STANDING SEAM METAL ROOF MANUFACTURER
07 4646.A1	FIBER-CEMENT SIDING
07 6200.B1	COPING
08 1113.A1	HOLLOW METAL DOOR AND FRAME
08 3323.A4	OVERHEAD COILING DOOR - ELECTRIC MOTOR OPERATED
08 4313.A1	ALUMINUM FRAMED STORFRONT
08 4313.B2	ALUMINUM STORFRONT DOOR FRAME
08 4523.A1	POLYCARBONATE TRANSLUCENT PANEL ASSEMBLY
09 2400.A1	7/8" ELASTOMERIC SYNTHETIC STUCCO SYSTEM - STO-01
10 1400.D3	BUILDING IDENTIFICATION LETTERS - 12" HIGH
10 1400.D4	BUILDING IDENTIFICATION LETTERS - 24" HIGH

**COLOR AND MATERIAL SCHEDULE - ELEVATIONS**

CODE	MATERIAL	STYLE	COLOR
<b>EXTERIOR FINISHES</b>			
CMU-1	BURNISHED - CMU	BURNISHED BLOCK	OFF WHITE
STO	STUCCO 01	SAND STUCCO FINISH	TAUPE
FCP	FIBER CEMENT PANEL	SMOOTH	LIGHT GRAY
PC-#	WALL COPING CAP	METAL	CHARCOAL
SSR-1	STANDING SEAM METAL ROOF	RAWHIDE	CHARCOAL
STEEL-1	SUNSHADE STRUCTURAL STEEL	MATTE	CHARCOAL
STEEL-2	METAL SCREEN	MATTE	BRIGHT RED
AL-1	ALUMINUM FRAMED OPENINGS	EXTERIOR: TRIFAB VG451T INTERIOR: TRIFAB 450	CLEAR ANODIZED ALUMINUM (SILVER)
OH1	HIGH SPEED OVERHEAD DOOR	MODEL #: EPI 300	BRIGHT RED
OH2	OVERHEAD SECTIONAL DOOR	MODEL #: 904U	CLEAR ANODIZED ALUMINUM (SILVER)
HM-D	HOLLOW METAL DOORS AND FRAMES	MATTE	FLAT GREY

BENCH MARKS	
CONTRACTOR	DATE
NO.	
SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	



NO.	DATE	REMARKS	BY
<b>95% CONSTRUCTION DOCUMENTS NOT FOR CONSTRUCTION</b>			
DESIGNED BY:	DATE:	DRAWN BY:	DATE:
CHECKED BY:	DATE:		

**VIGIL & ASSOCIATES**  
ARCHITECTURAL GROUP, P.C.  
4477 Irving NW, Suite A  
Albuquerque, New Mexico 87114  
Ph: 505.890.9300 - Fax: 505.890.5031  
www.VA-architects.com

**CITY OF ALBUQUERQUE**  
CAPITAL IMPLEMENTATION PROGRAM  
**FIRE STATION #4**

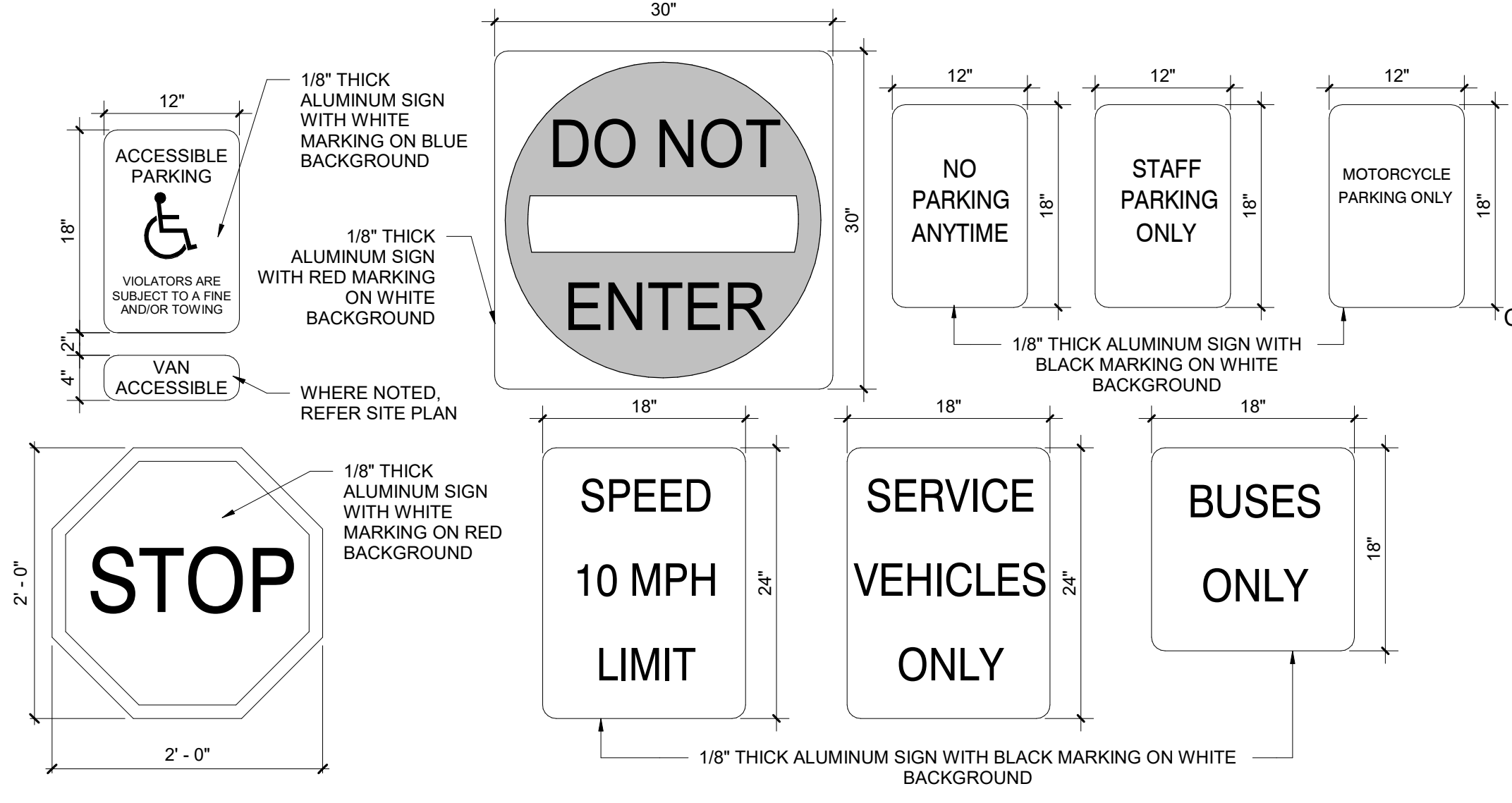
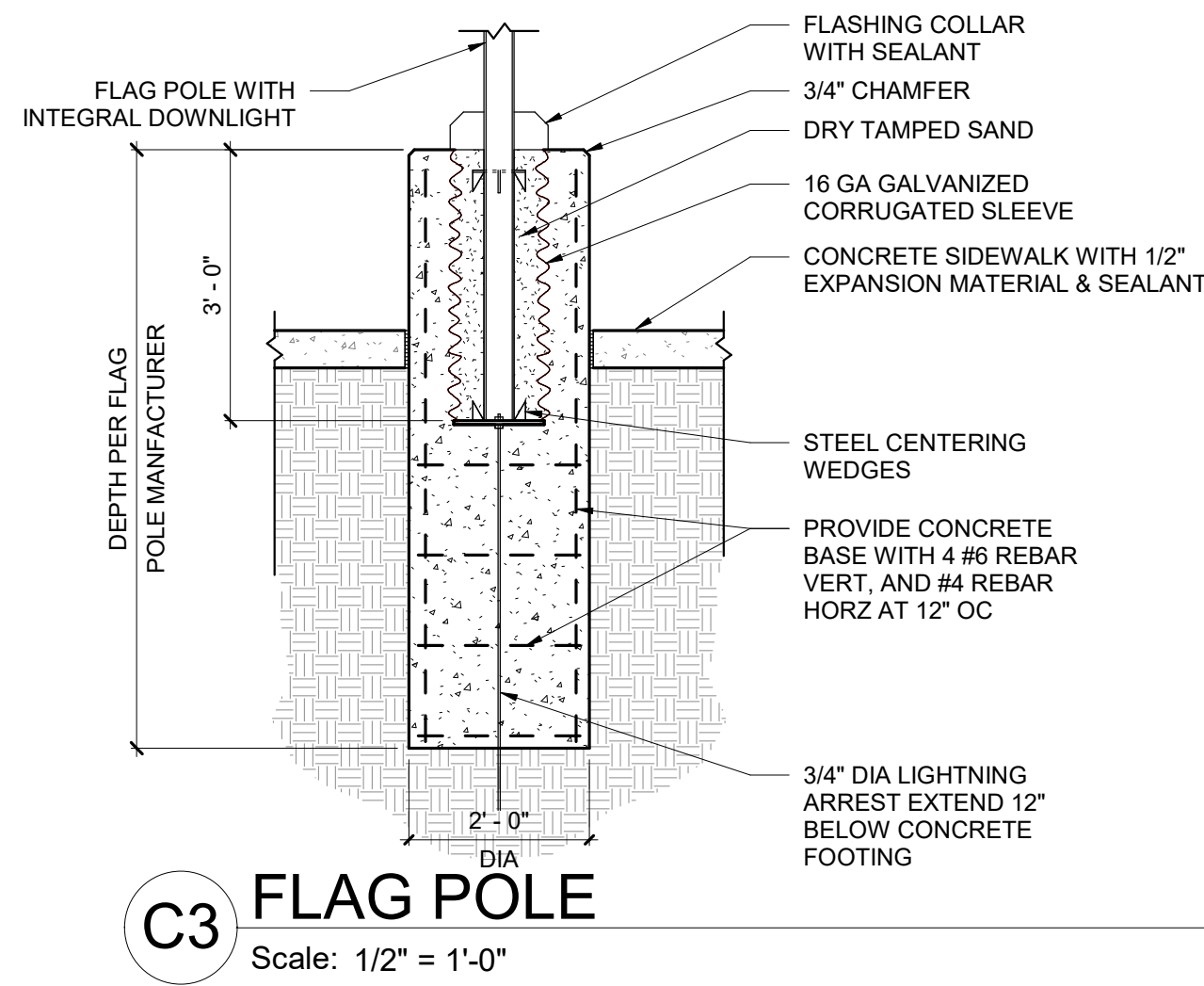
Drawing Title: **EXTERIOR ELEVATIONS - EPC**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

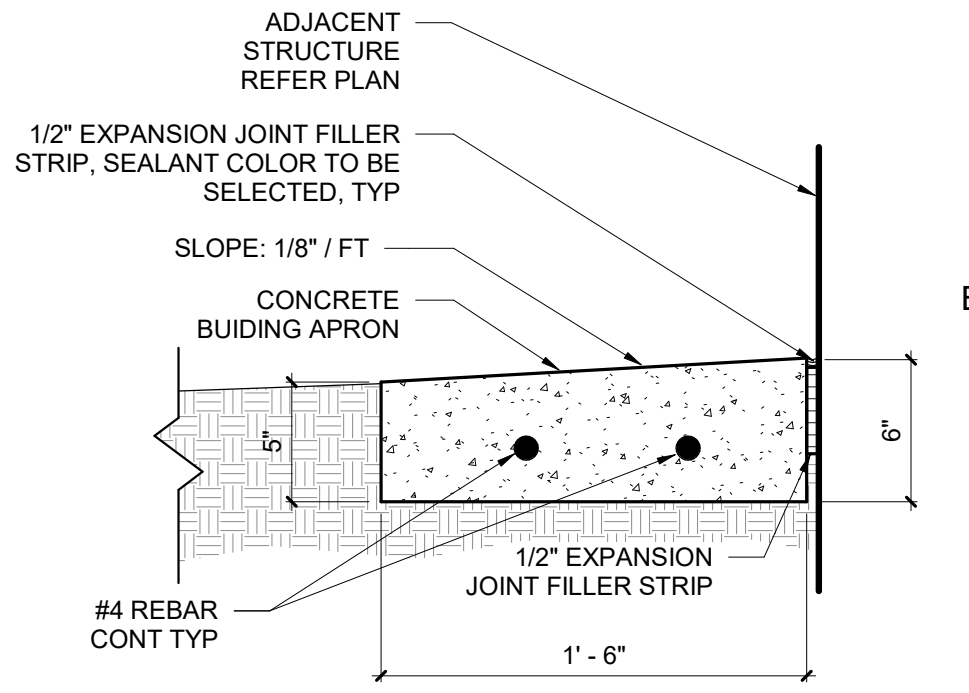
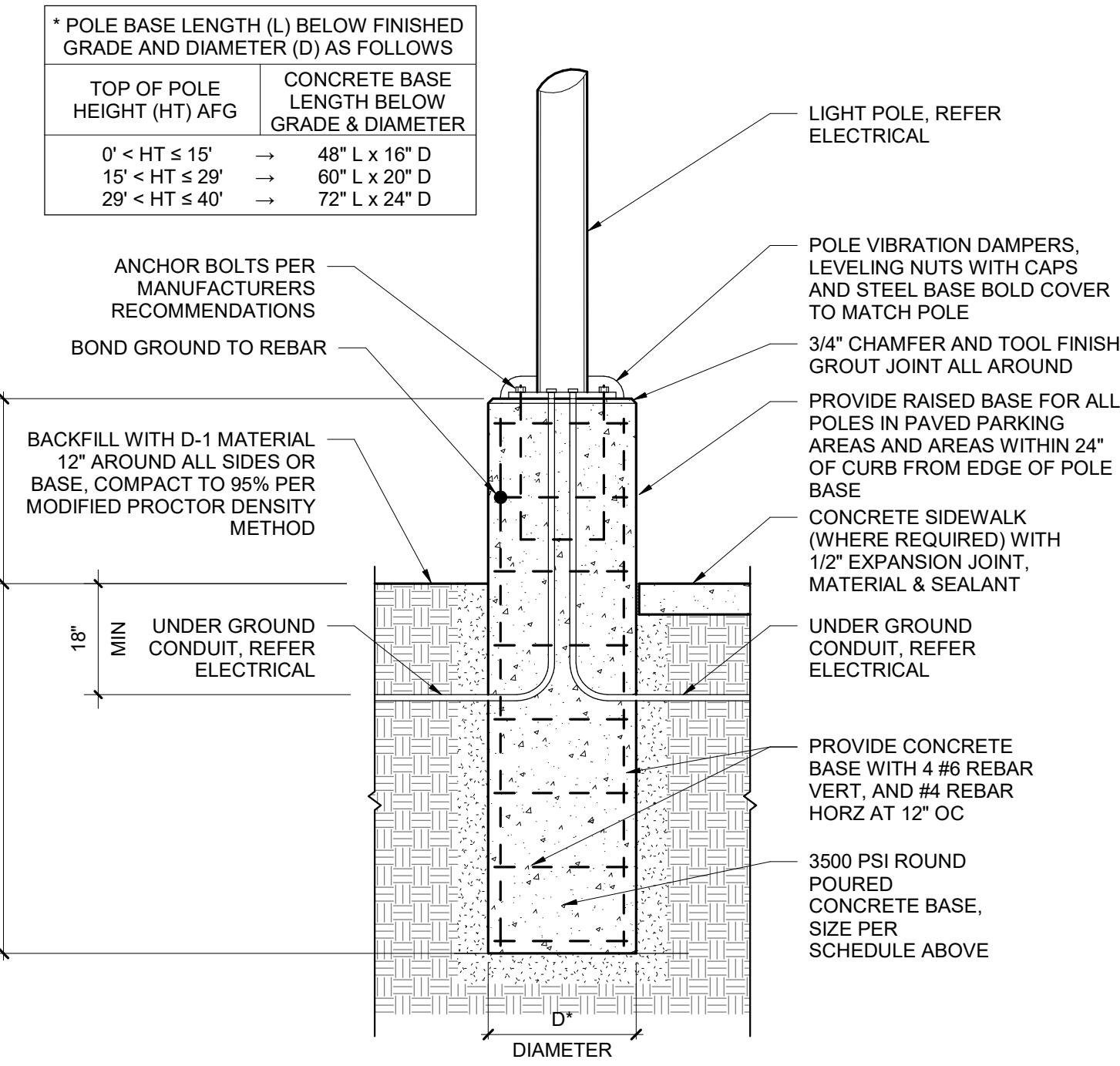
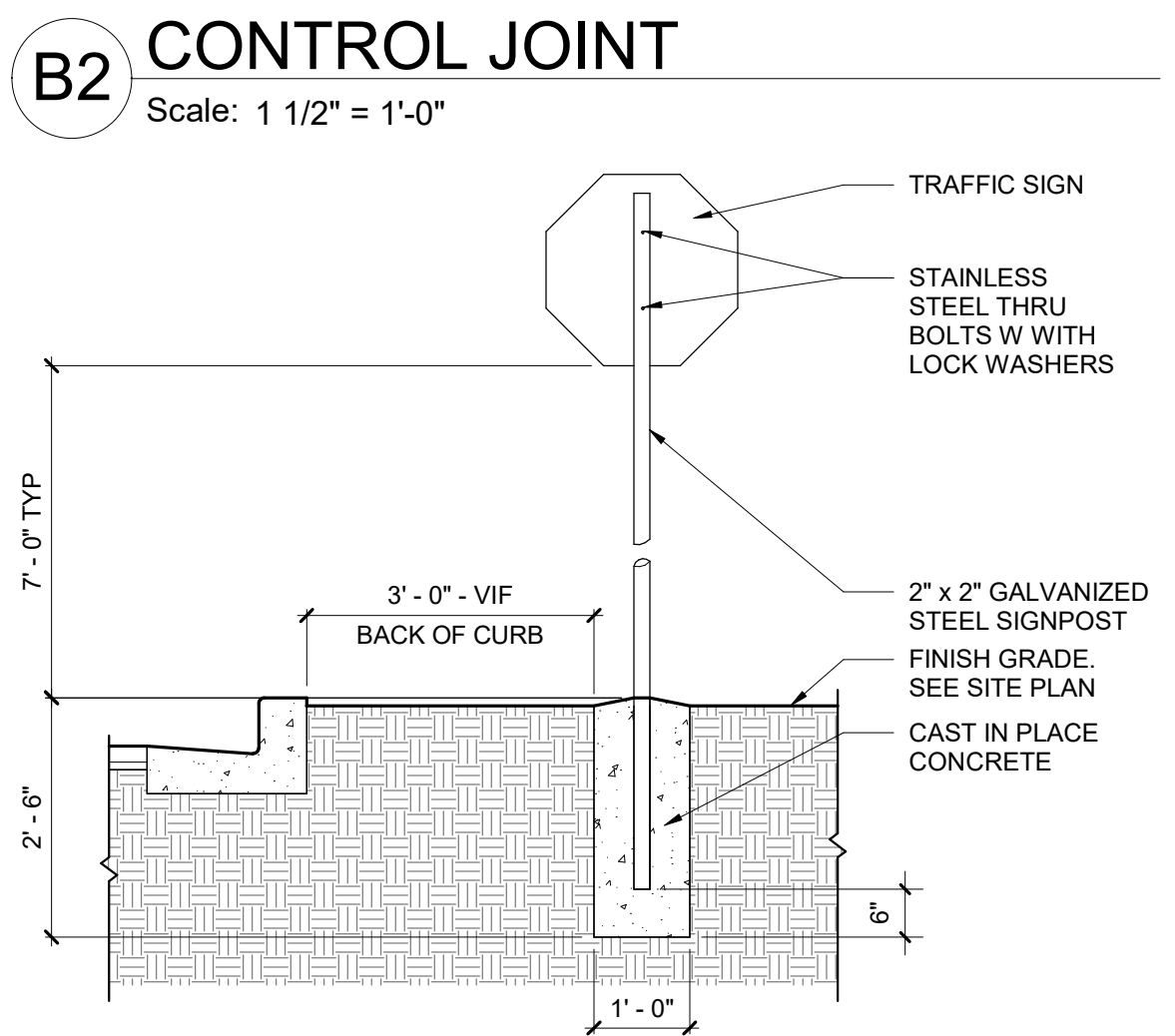
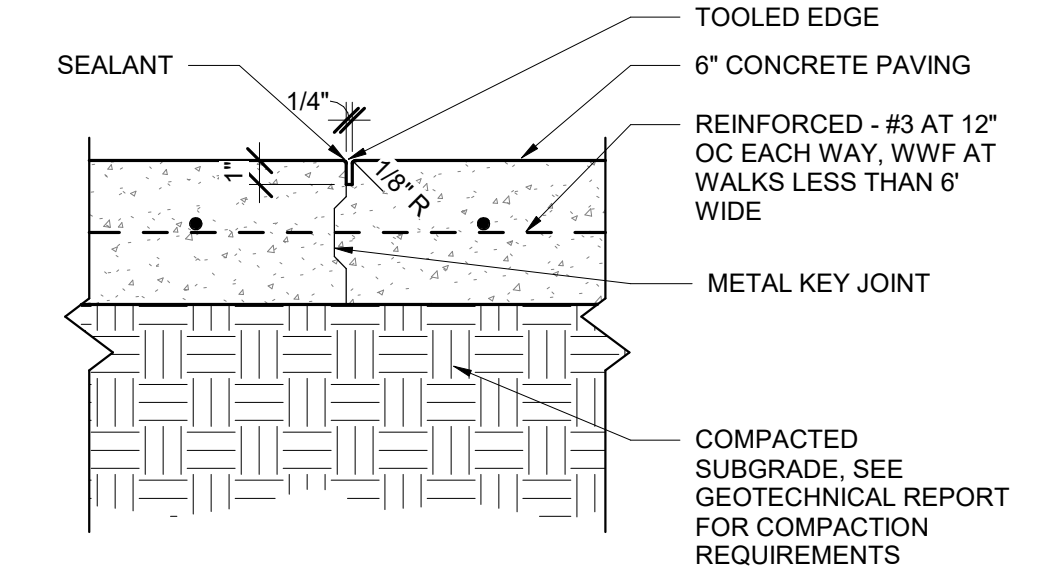
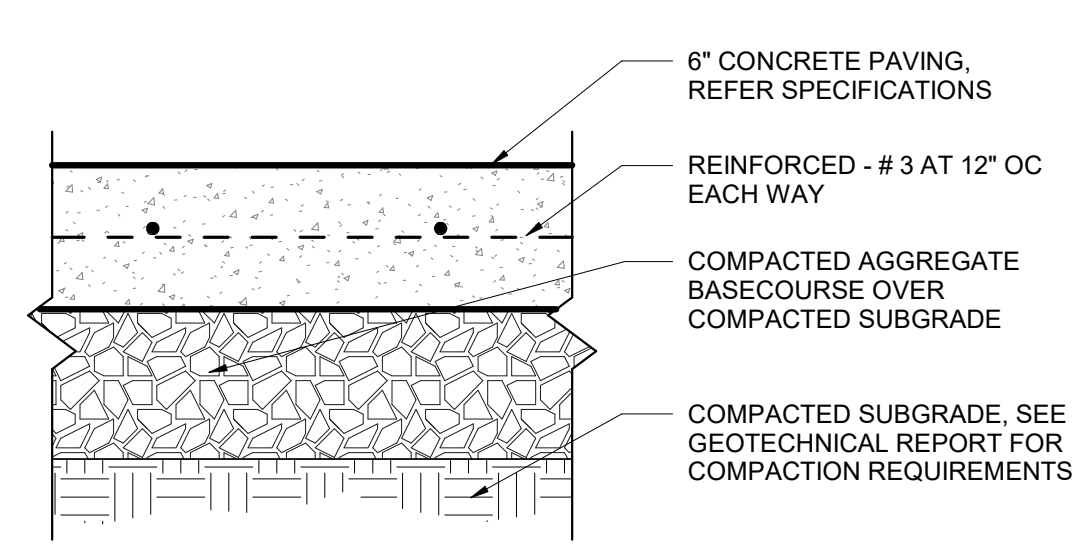
Issue Date: **JULY 2024** City Project No. **587895** Sheet **EPC-A-202**







REFER AS-101 FOR LOCATIONS  
NOTE: FOR REFERENCE ONLY, UTILIZE INDUSTRY STANDARDS FOR TYPICAL SIZE/COLOR/STYLIZATION



AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
FIELD ACCEPTANCE BY	DATE
REVISIONS BY	DATE
CORRECTED BY	DATE
RECORDED BY	DATE
NO.	

BENCH MARKS	
CONTRACTOR	DATE
WORK STARTED BY	DATE
FIELD ACCEPTANCE BY	DATE
REVISIONS BY	DATE
CORRECTED BY	DATE
RECORDED BY	DATE
NO.	

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	

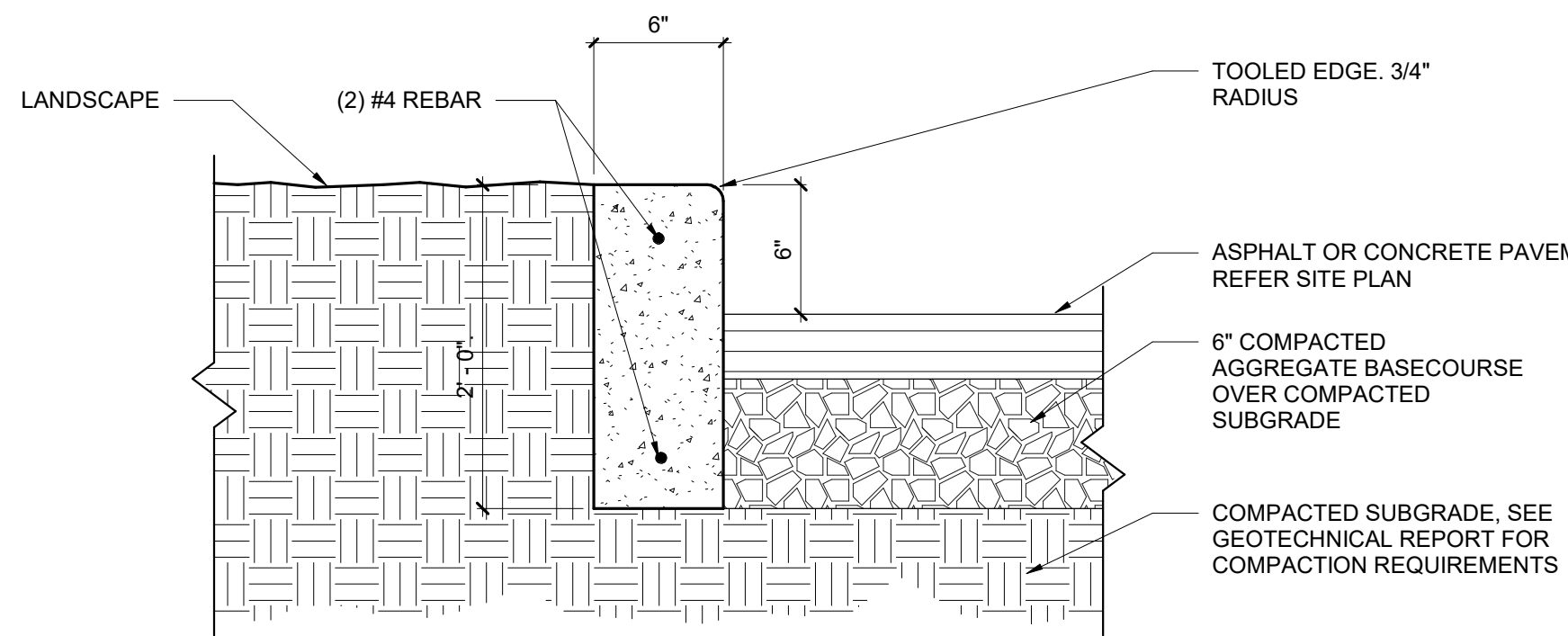
  

SEAL	
NO.	DATE
REMARKS	BY
95% CONSTRUCTION DOCUMENTS NOT FOR CONSTRUCTION	
Designed By:	DATE
Drawn By:	DATE
Checked By:	DATE



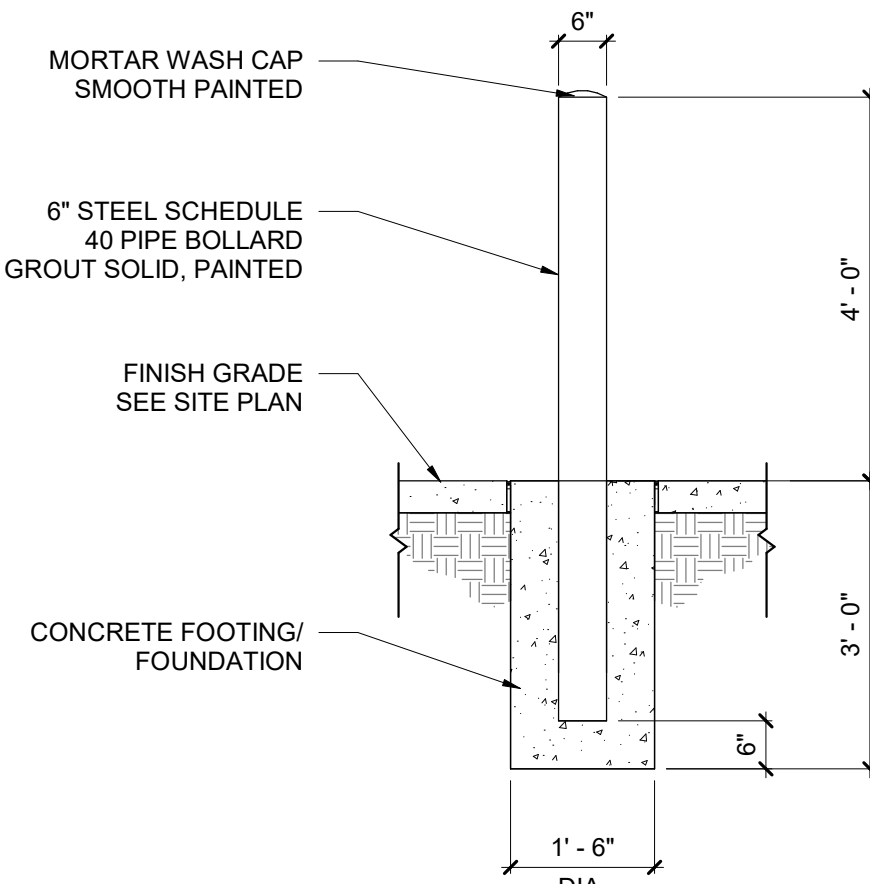
**CITY OF ALBUQUERQUE  
CAPITAL IMPLEMENTATION PROGRAM  
FIRE STATION #4**

Drawing Title		<b>SITE DETAILS - EPC</b>	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Issue Date:	City Project No.	Sheet	
<b>JULY 2024</b>	<b>587895</b>	<b>EPC-AS-502</b>	

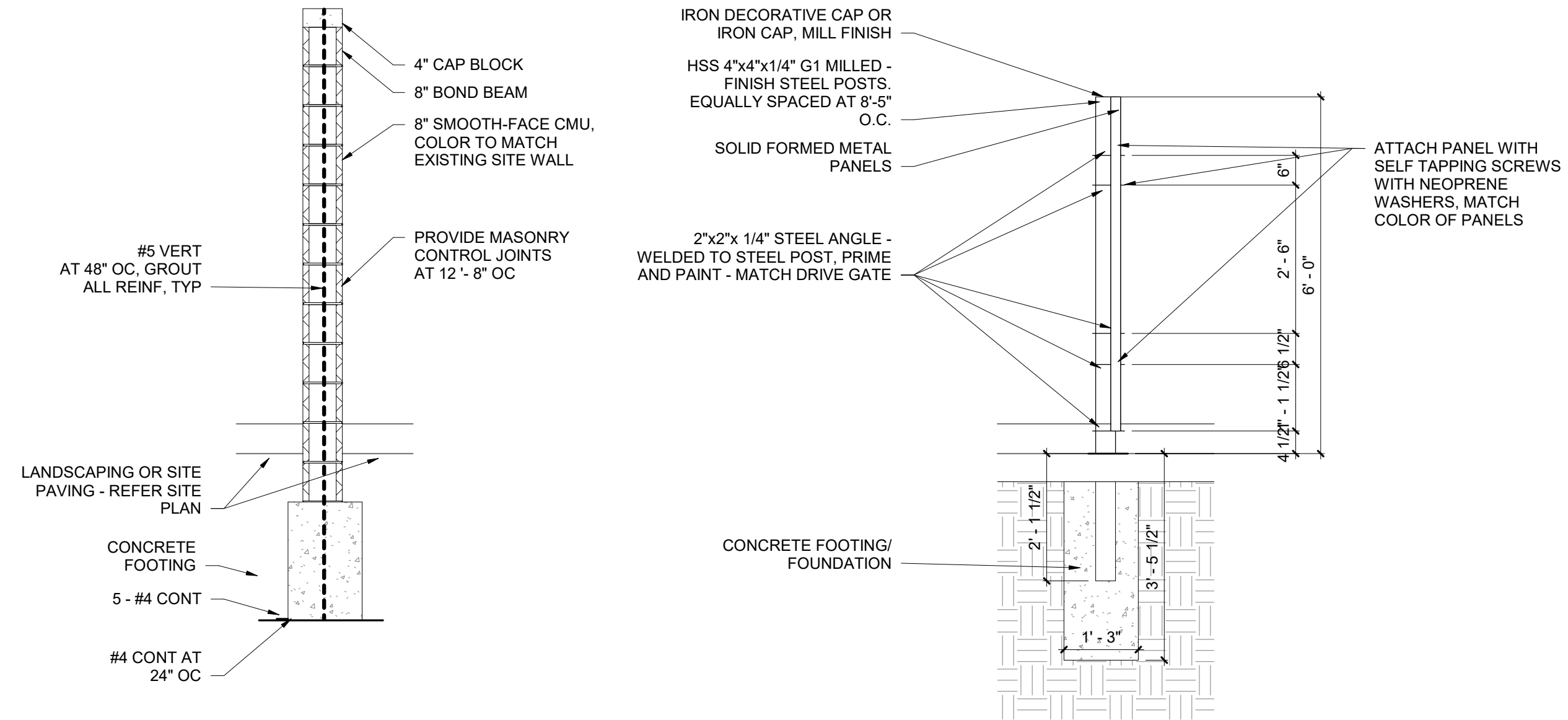


NOTES:  
 1) EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL  
 2) REQUIRES FULL FORM ON ALL FACES  
 3) CONSTRUCTION CONTROL JOINTS AT 6' OC MAX  
 4) 1/2" EXPANSION JOINTS 24' OC, CURB RETURNS AND EACH SIDE OF DRIVES

**C1 HEADER CURB**  
 Scale: 1 1/2" = 1'-0"

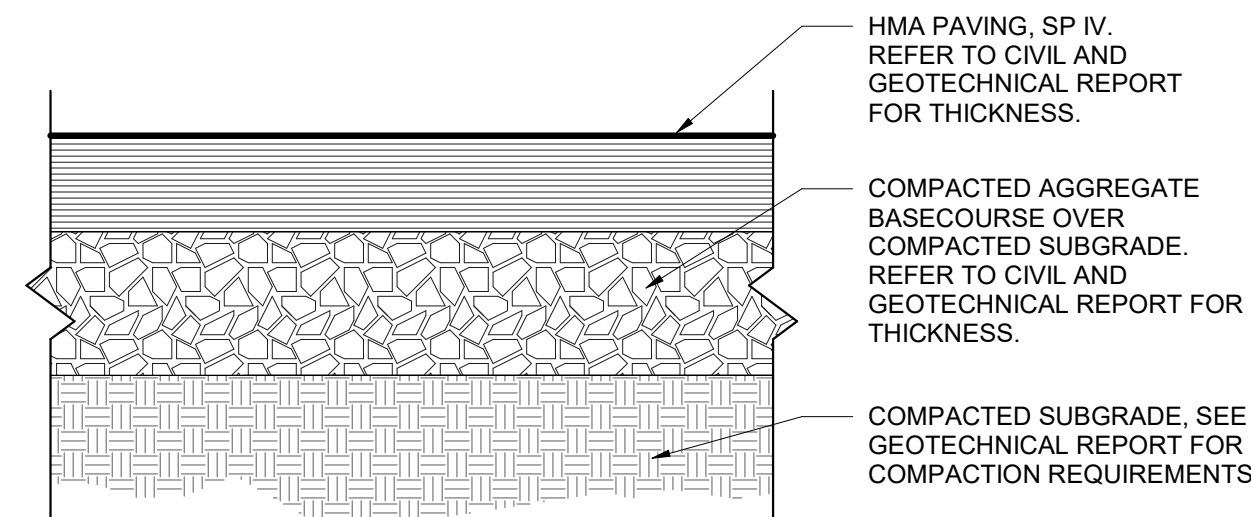


**C2 BOLLARD**  
 Scale: 1/2" = 1'-0"

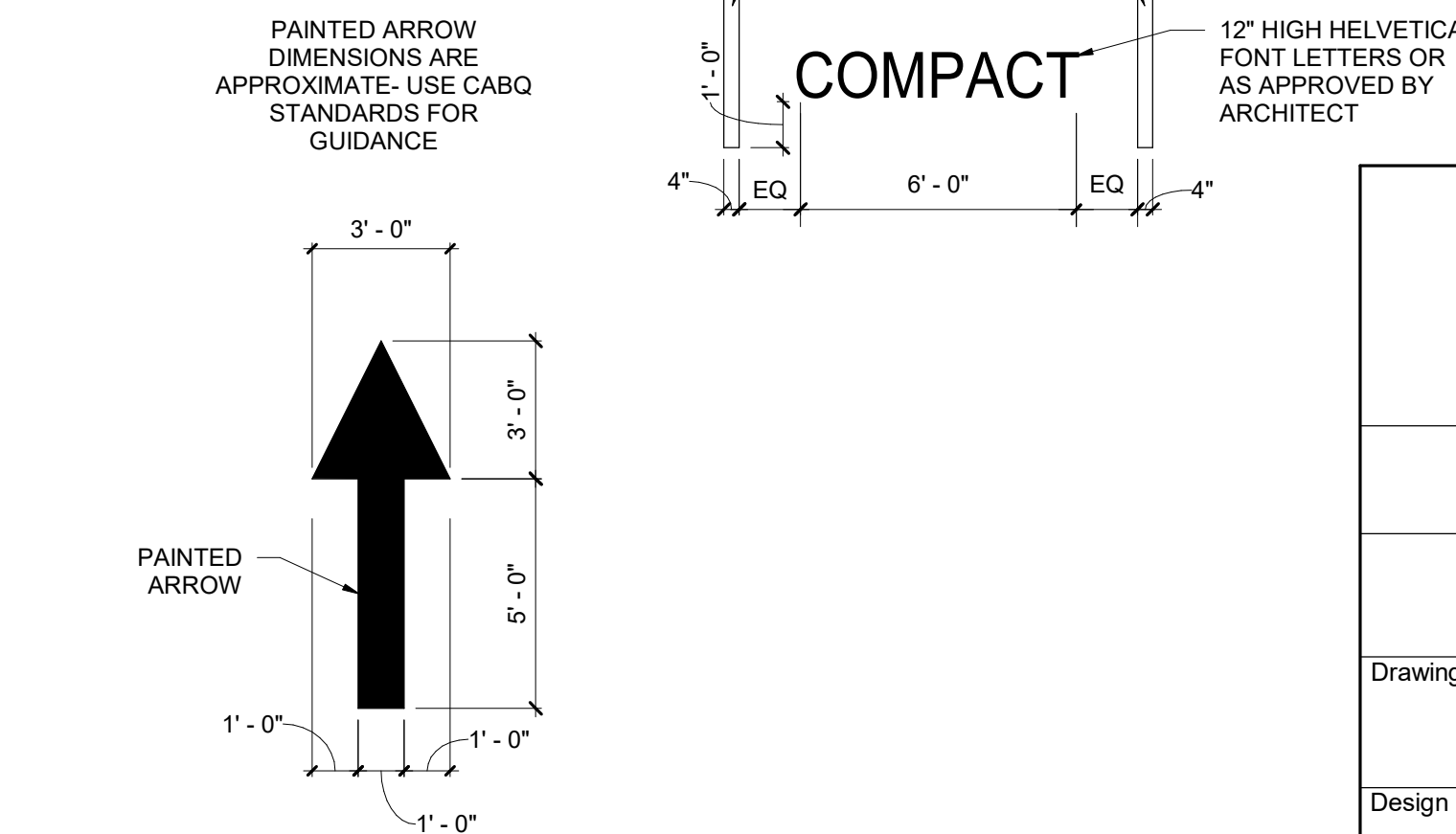
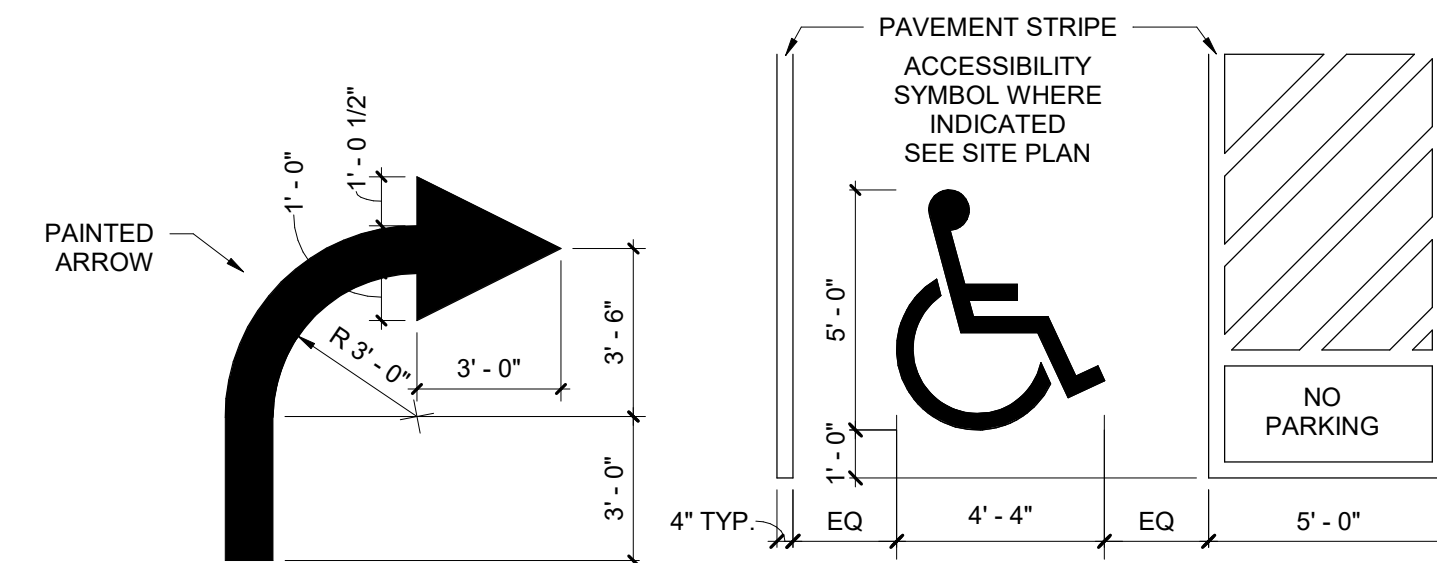


**C4 SITE WALL**  
 Scale: 1/2" = 1'-0"

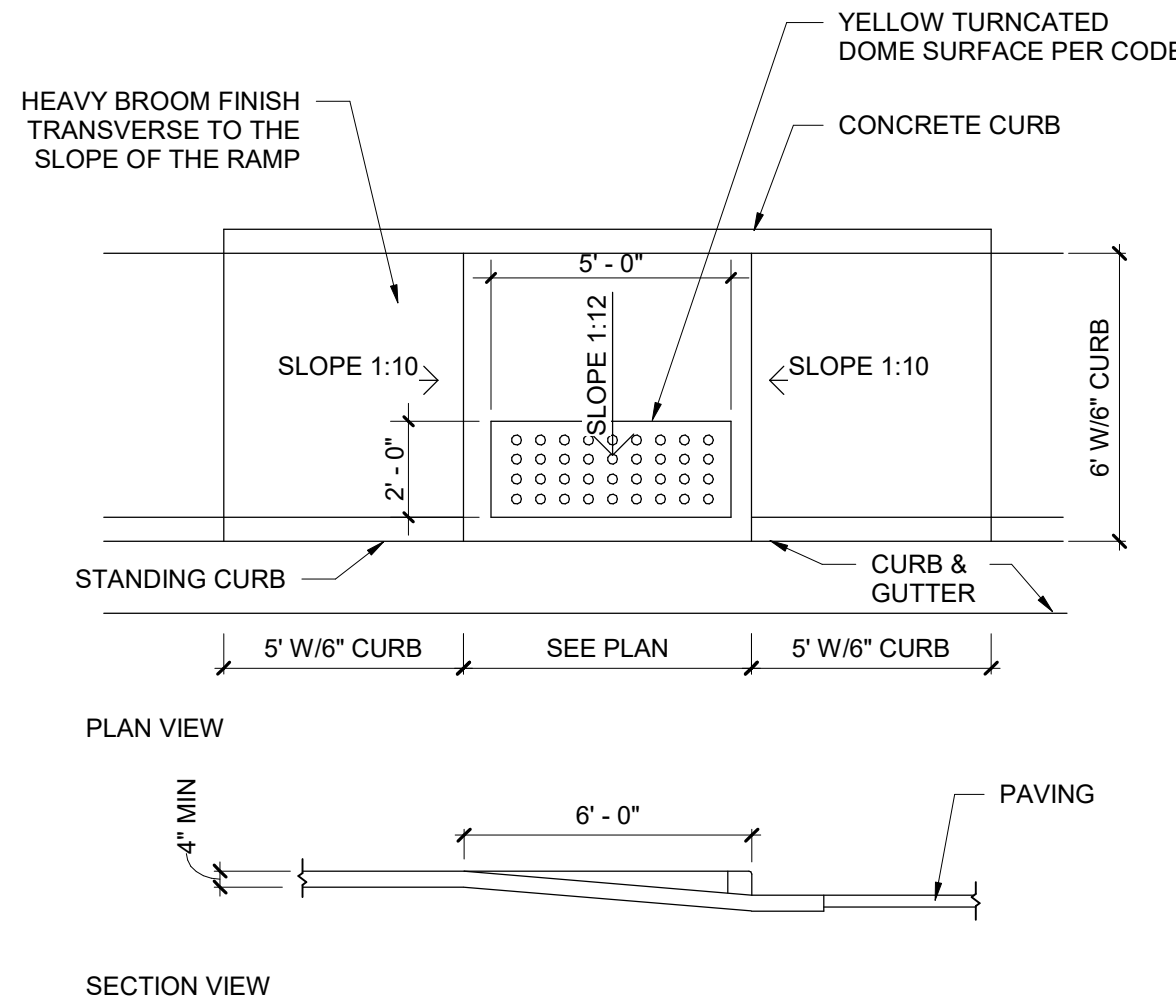
**C5 SITE WALL**  
 Scale: 1/2" = 1'-0"



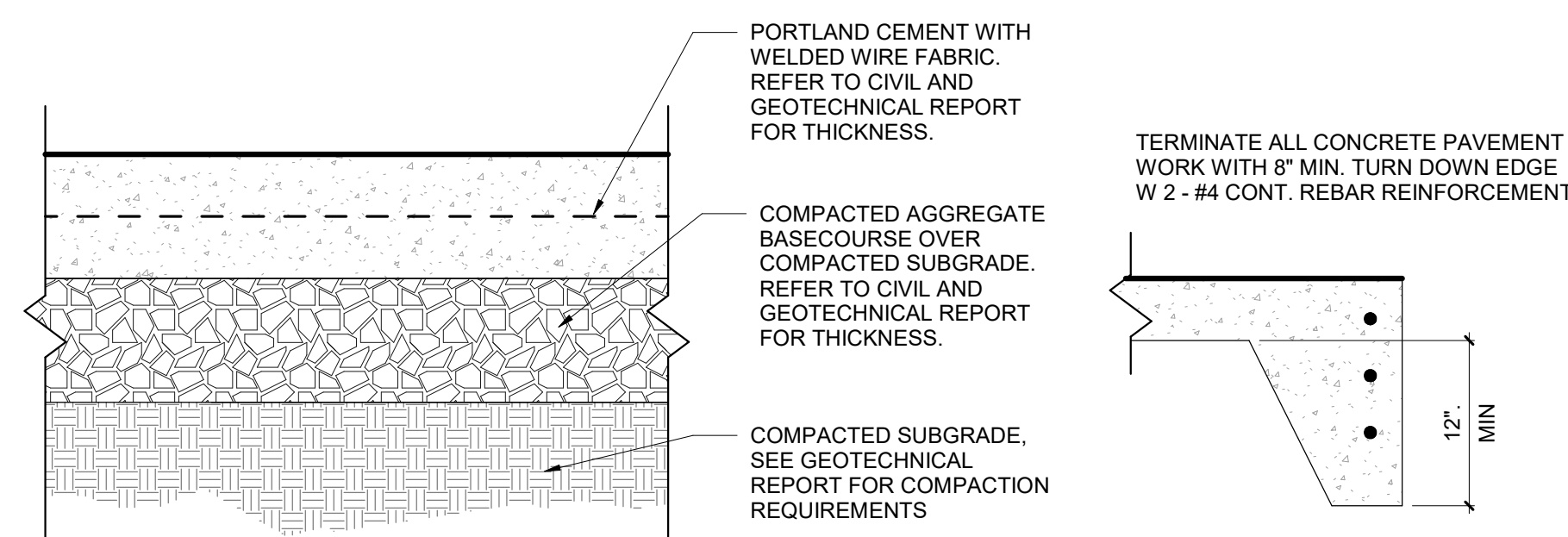
**B2 ASPHALT PAVEMENT - HEAVY DUTY**  
 Scale: 1 1/2" = 1'-0"



**A4 PAVEMENT MARKERS**  
 Scale: 1/4" = 1'-0"



**A1 HANDICAP RAMP, TYPICAL**  
 Scale: 1/4" = 1'-0"



**A2 HEAVY DUTY CONCRETE PAVEMENT**  
 Scale: 1 1/2" = 1'-0"

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
FIELD ACCEPTANCE BY	DATE
REVISIONS BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

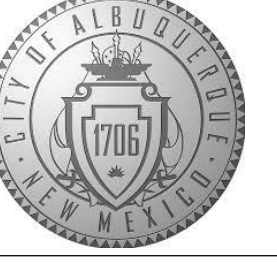
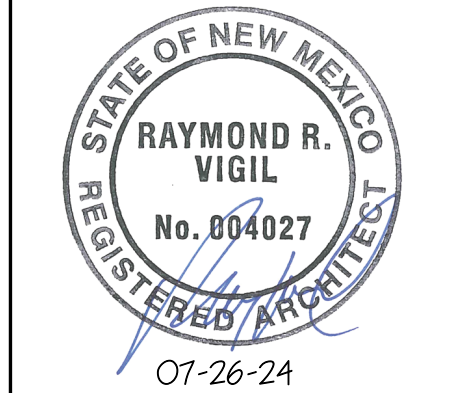
BENCH MARKS	
CONTRACTOR	DATE
WORK STARTED BY	DATE
FIELD ACCEPTANCE BY	DATE
REVISIONS BY	DATE
CORRECTED BY	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	

SEAL	
NO.	DATE
REMARKS	BY
95% CONSTRUCTION DOCUMENTS NOT FOR CONSTRUCTION	
Designed By:	DATE
Drawn By:	DATE
Checked By:	DATE



**CITY OF ALBUQUERQUE**  
**CAPITAL IMPLEMENTATION PROGRAM**  
**FIRE STATION #4**

Drawing Title		<b>SITE DETAILS - EPC</b>	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Issue Date:	City Project No.	Sheet	
<b>JULY 2024</b>	<b>587895</b>		





Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

COA Fire Station #4 301 McKnight Ave NW

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Portion of Coronado Park less portion to right-of-way Franciscan Addition  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		6'	PCC-Sidewalk	3rd Street	10+00	16+50	/	/	/
		STD	Double Type D Inlet	McKnight Ave	McKnight Ave	McKnight Ave	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/



The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		Approval of Creditable Items:	City User Dept. Signature	Date
							Inspector	P.E.			
							/	/	/		
							/	/	/		

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA. Street lights per City requirements.

\* INCLUDES T, B, & C, FITTINGS, AND VALVES

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

**Jennifer Turner**  
NAME (print)

**City of Albuquerque DMD CIP**

FIRM *JL* 1-29-25  
SIGNATURE - date

- DRB CHAIR - date \_\_\_\_\_
- PARKS & RECREATION - date \_\_\_\_\_
- TRANSPORTATION DEVELOPMENT - date \_\_\_\_\_
- AMAFCA - date \_\_\_\_\_
- UTILITY DEVELOPMENT - date \_\_\_\_\_
- CODE ENFORCEMENT - date \_\_\_\_\_
- CITY ENGINEER - date \_\_\_\_\_
- \_\_\_\_\_ - date \_\_\_\_\_

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339



## OFFICIAL NOTIFICATION OF DECISION

JUNE 20, 2024

City of Albuquerque Fire  
and Rescue Department  
PO BOX 1293  
Albuquerque, NM 87103

**Project # PR-2024-010349**  
**RZ- 2024-00029**–Zone Map Amendment  
**SI-2024-00677** – Site Plan EPC

Consensus Planning, agent for the City of Albuquerque Fire and Rescue dept., requests a Zone Map Amendment from NR-PO-A to NR-SU and a Site Plan-EPC for a Fire Station for all or a portion of the portion of Coronado Park, less portion to the right-of-way of Franciscan Addition, located at 301 McKnight Ave NW, Albuquerque, NM 87102, at the south west quadrant of the intersection of Indian School Rd NW and 2nd St NW, approximately 4.1 acres. (H-17-Z)

Staff Planners: Rebecca Bolen and Dustin Kiska

On June 20, 2024, the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2024-010349, RZ-2024-00029, Zone Map Amendment, based on the following Findings.

### FINDINGS – RZ-2024-00029 Zoning Map Amendment

1. The request is for a Zoning Map Amendment for an approximately 4.1-acre site legally described as all or a portion of the portion of Coronado Park, less portion to the right-of-way of Franciscan Addition, located at 301 McKnight Ave NW, Albuquerque, NM 87102, at the south west quadrant of the intersection of Indian School Rd NW and 2nd St NW, Zone Map (H-14-Z).
2. The applicant is requesting a zone change from NR-PO-A (Non-Residential Park and Open Space) to NR-SU (Non-residential – Sensitive Use), which would create a spot zone.
3. The request would facilitate development of a Fire Station, which requires a NR-SU zoning designation. Fire Stations are required to be submitted via a Site Plan - EPC pursuant to the NR-SU zoning district in accordance with IDO section 14-16-2-5(E). The Site Plan associated with this request shall be reviewed by the EPC in conjunction with the zone change request.
4. The subject site is in an Area of Consistency and is within a Mainstreet Corridor, but not in a designated Activity Center as designated by the Comprehensive Plan
5. The subject site is located within the North 4<sup>th</sup> Corridor Character Protection Overlay Zone (CPO-9, IDO Section 14-16-3-4(J)).

6. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request clearly facilitates the following Comprehensive Plan Goals and policies from Chapter 4: Community Identity

A. GOAL 4.1 CHARACTER: Enhance, protect, and preserve distinct communities.

The development of the Fire Station #4 would enhance the ability for the existing Fire Department 4 to better serve Downtown Albuquerque and the surrounding industrial area and residential neighborhoods, making it an important and distinct part of the Downtown community. The proposed amendment enhances the distinct community by providing an expanded public safety opportunity to the City of Albuquerque.

B. POLICY 4.1.2 IDENTITY AND DESIGN: Protect identity and cohesiveness by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed development of the new Fire station 4 facility would help protect the identity and cohesiveness of the Downtown area including the surrounding residential neighborhoods of Wells Park, Sawmill, and Santa Barbara Martineztown, by specifying specific uses, site standards, and development standards pursuant to the NR-SU zone district. The proposed standards are of similar scale to the surrounding area. The applicant has demonstrated that the zone change would facilitate development that meets edge buffer requirements and is an appropriate location for an expanded public safety complex in an established city area and being centrally located to the city as a whole. The building design is consistent with other City Fire facilities.

C. POLICY 4.1.3 PLACEMAKING: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.

The request helps to protect and enhance special places in the built environment that contribute to the distinct identity and sense of place to the Downtown area because it will create a way for the Fire Department to train and better serve the community. The distinct identity is enhanced because this facility improvement will help to increase the response time to an area that receives one of the largest number of calls.

D. GOAL 4.3: PROTECT and enhance the natural and cultural characteristics and features that contribute to distinct identity and prioritize projects and programs to meet the needs of communities, neighborhoods, and sub-areas.

The request helps to protect and enhance the cultural characteristics that contribute to the distinct identity and prioritize projects that meet the needs of the community and neighborhood by developing a new facility to train Firemen and women to better protect and provide public safety and service.

8. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding land use, efficient development patterns, and infill development from Chapter 5: Land Use.

A. GOAL 5.2: COMPLETE COMMUNITIES: Foster communities where residents can live, work, learn, shop, and play together.

Any addition or expansion of a Fire Department facility, helps to provide protection of life, property, and the environment from the effects of fires, medical emergencies, and hazards, therefore fostering communities where residents can live, work, learn, shop and play together. The request to change the subject sites zoning to NR-SU for the development of a Fire station and training center would foster job creation and improve safety, allowing for residents to live, work, learn, shop, and play together. The request would facilitate expansion of the existing fire station and development of additional Fire Station uses that are lacking in the city. Additionally, a community meeting room is proposed on site, which is conveniently accessible from surrounding neighborhoods via streets, adequate sidewalk infrastructure, bike routes, and transit.

- B. **POLICY 5.2.1: LAND USES:** Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request to change the subject sites zoning to NR-SU for the development of a Fire station and training center would contribute to creating a healthy and sustainable community. The request would facilitate expansion of the existing fire station and development of additional Fire Station uses that are lacking in City. Additionally, a community meeting room is proposed on site, which is conveniently accessible from surrounding neighborhoods via streets, adequate sidewalk infrastructure, bike routes, and transit.

- C. **GOAL 5.3 CITY EFFICIENT DEVELOPMENT PATTERNS:** Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would generally promote efficient use of the land by facilitating development that maximized the utility of existing infrastructure and public facilities including streets, transit, and water and sewer services.

- D. **POLICY 5.3.1 INFILL DEVELOPMENT:** Support additional growth in areas with existing infrastructure and public facilities.

The request would support growth on a vacant infill site within an existing residential area. The proposed development would be served by existing infrastructure and public facilities.

9. The request clearly facilitates the following Comprehensive Plan Policies regarding Infill and Development Quality from Chapter 7: Urban Design

- A. **POLICY 7.3.4: INFILL:** Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site is an underused public property, formerly a park, in a developed commercial and industrial area. Proposed development of the site would create infill and enhance the built environment, particularly through streetscape improvements.

- B. **POLICY 7.3.5 DEVELOPMENT QUALITY:** Encourage innovative and high-quality design in all development.

The request would facilitate development of a Fire Station. The proposed Site Plan specifies building design, site, and development standards that would ensure high quality design through site circulation, building materials, and plant pallet. The Site circulation is designed in a way where the Fire trucks have the ability to pull through, cutting time for reversing into the truck bay. The building is designed with quality materials and a simple color aesthetic, like burnished

face CMU, Stucco and Metal siding, and brushed aluminum door and window framing. Last the landscaping chosen provides a diverse color pallet, by selecting a variety of trees and shrubs that are compliant with the ABQ Plant Pallet List.

- C. **POLICY 7.5.1 LANDSCAPE DESIGN:** Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

The landscape plan proposes a plant list that is pursuant to the City's approved Plant Palette containing only low water usage plants that are consistent with the high desert climate. The Landscape plan also follows all IDO section 5-6 Landscaping, Buffering and screening requirements and contributes to sense of place.

10. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding Community Facilities from Chapter 12: Infrastructure, Community Facilities & Services

- A. **GOAL 12.2 COMMUNITY FACILITIES:** Provide community facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

The request would eliminate an existing nonconforming park space and expand vital community safety services. Access to 3<sup>rd</sup> St. and McKnight Ave. ensures efficient service delivery. Future development of the fire station includes a proposed community meeting space for persons of all ages, which could generally promote community involvement.

- B. **POLICY 12.2.3: NEW FACILITIES:** Locate new facilities in areas with excellent access to provide services to underserved and developing areas.

The request would correct an existing nonconformity in the park space that has experienced blight, expand the facility to better serve the surrounding area, and expand Fire services throughout the City through the new facility and proposed future training center. Easy access to 3<sup>rd</sup> St., a Principal Arterial and designated Commercial Corridor, and Indian School Rd., an Urban Interstate Frontage, and I-25, an Interstate Highway and Commuter Corridor, and 4<sup>th</sup> St., a designated Multi-modal Corridor, ensure that services would be provided to a high-need area.

- C. **GOAL 12.3 PUBLIC SERVICES:** Plan, coordinate, and provide efficient, equitable, and environmentally sound services to best serve residents and protect their health, safety, and well-being.

The city has planned and coordinated to expand an existing fire station, and to provide a new Fire training facility, an efficient and equitable use, to best serve residents of the surrounding area to protect their health safety and well-being.

- D. **POLICY 12.3.1: ACCESS TO PUBLIC SERVICES:** Maximize residents' access to public services and distribute services equitably, whether they are provided by the City or County or in partnership with other agencies.

The request would maximize residents' access to Public Safety services centrally located within the city. The existing fire station cannot expand to meet these needs with the current zoning, and the development would help to distribute these services equitably throughout the city.

- E. **POLICY 12.3.3 FIRE AND RESCUE:** Provide comprehensive fire and rescue and emergency medical services to save and protect lives, property, and the environment in cooperation with the public and other agencies.

The request would facilitate redevelopment and expansion of a City Fire Station, which would provide fire and rescue EMS services to the surrounding community to help save and protect lives and property.

- F. **GOAL 12.5 RESOURCES:** Identify and allocate sufficient resources to support infrastructure, community facility, and public service needs in order to invest public dollars efficiently and effectively and to maintain a sound fiscal position.

The City is allocating public resources to support a redevelopment of fire public services on a property that is already owned by the City and in the possession of AFR. The resource would support infrastructure needs for the area and would generally result in an efficient investment of public dollars.

- G. **POLICY 12.5.2: COST ALLOCATION:** Allocate the costs of new community and public facilities and infrastructure extensions and upgrades fairly and equitably to support new development.

The development of the new Fire Station 4 clearly demonstrates the City's policy to allocate costs for new and expanded facilities in an equitable manner to meet community needs by expanding the existing Fire Station facility to accommodate new development of a training facility and a new upgraded Fire Station facility.

11. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-7(G)(3)-Review and Decision Criteria for Zoning Map Amendments, as follows:

- A. Consistency with the City's health, safety, morals and general welfare is shown by demonstrating that a request clearly facilitates applicable Comprehensive Plan Goals and Policies and does not significantly conflict with them.

Applicable citations: Goal 5.2 – Complete Communities, Policy 5.2.1 – Land Uses, Goal 5.6 – City Development Areas, Policy 5.6.2 – Areas of Consistency, Policy 7.3.4 – Infill, Goal 12.2 – Community Facilities, Policy 12.2.3 – New Facilities, Goal 12.3– Public Services, Policy 12.3.1 – Access to Public Services, Policy 12.3.3 – Fire and Rescue, and Policy 12.5.2 – Cost Allocation. [BRA1] [JMD2]

The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City including the Sawmill/Wells Park Area Metropolitan Redevelopment Area Plan (MRA Plan) as shown in the sections above.

The applicant's response adequately demonstrates that the request generally furthers goals and policies regarding Complete Communities, Land Uses, City Development Areas, Areas of Consistency, Infill, Community Facilities and Public Services, and does not present any significant conflicts with the Comprehensive Plan. Therefore, the request is consistent with the City's health, safety, and general welfare.

- B. The applicant's policy-based response adequately demonstrates that the request clearly facilitates a preponderance of applicable Goals and Policies regarding Complete Communities, Land Uses, City Development Areas, Areas of Consistency, Infill, Community Facilities, New Facilities, Public Services, Access to Public Services, Fire and Rescue, and Cost Allocation,



and does not present any significant conflicts with the Comprehensive Plan. Therefore, the request is consistent with the City's health, safety, and general welfare.

- C. The subject site is located wholly in an area of consistency; therefore, this criterion does not apply.
- D. The requested zone change to NR-SU is required for the development of Fire and Police Stations pursuant to IDO section 2-5(E), in conjunction with a Site Plan-EPC review. The Site Plan and zone change are mutually supportive. The Site Plan shall specify specifies uses, site standards, and development standards, which are approved with the associated zone change for the request. Where the Site Plan is Silent, applicable IDO standards apply.

The NR-SU zone district does not establish Permissive Uses with use-specific standards. There are no Use Specific Standards for Fire Stations and the applicant has provided a table demonstrating that the proposed development would follow all applicable IDO standards, mitigating potential harmful impacts on the surrounding community to the greatest extent possible. Future development could not occur on site without a Major or Minor amendment. Staff generally agrees with the discussion and that any potential harm to the surrounding properties, the neighborhood, or the community could be mitigated.

- E. The request meets the requirement that the City's existing infrastructure and public improvements adequately serve the subject site and have adequate capacity to serve the development made possible by the change of zone.
- F. The applicant's justification is not based on the subject site's location along a major street. The subject site is within the 4<sup>th</sup> Street Main Street Area Corridor. The applicant adequately justifies the request based on applicable Comprehensive Plan goals and policies and for the need of fire protection services in the area.
- G. The cost of land and economic considerations are not the factor for the requested zone change. The applicant's justification is based predominantly on providing fire and police services to an high-need area, which has been demonstrated to clearly facilitate applicable Comprehensive Plan Goals and policies.
- H. Criterion H is a two-part test which the request generally meets. The request to NR-SU would create a spot zone. The applicant has demonstrated that the request would (1) clearly facilitate implementation of several applicable goals and policies of the ABC Comp Plan from Chapters 4-Community Identity, 5-Land Use, 7-Urban Design, and 12-Infrastructure, Community Facilities and Services. The NR-SU zone district would correct the nonconforming Fire Station use, as well as facilitate the development of a much-needed training center, which requires the NR-SU Zoning designation and A Site Plan to be reviewed by the EPC.

The subject site is surrounded by industrial and commercial uses, with very few residences within walking distance. The applicant claims that the subject site is no longer able to function as a park. A Fire and Police Station use would benefit the safety of the surrounding community, residential uses, and schools nearby.

Staff generally agrees with the applicant's justification to create a spot zone.

- 12. The affected neighborhood organizations, Wells Park NA and the Near North Valley NA, were contacted, as well as property owners within 100 feet of the subject site, as required.
- 13. A pre-application facilitated neighborhood meeting was held March 19, 2024.

14. There were no unresolved issues or concerns, and at the conclusion of the facilitated meeting, participants support the intended Fire Station and one-half acre park. There was no opposition to the request.

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On June 20, 2024, the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2024-010349, SI-2024-00677, Site Plan-EPC, based on the following Findings and Conditions.

FINDINGS – SI-2024-00677 Site Plan EPC

1. The request is for a Site Plan EPC for an approximately 4.1-acre site which is legally described as for all or a portion of the portion of Coronado Park, less portion to the right-of-way of Franciscan Addition, located at 301 McKnight Ave NW, Albuquerque, NM 87102, at the south west quadrant of the intersection of Indian School Rd NW and 2nd St NW, Zone Map (H-14-Z).
2. The request would facilitate development of a Fire Station, which requires a NR-SU zoning designation. Fire Stations are required to be submitted via a Site Plan - EPC pursuant to the NR-SU zoning district in accordance with IDO section 14-16-2-5(E). The Site Plan associated with this request shall be reviewed by the EPC in conjunction with the zone change request.
3. The proposed Site Plan is being reviewed in conjunction with the requested NR-SU zone designation.
4. The proposed Site Plan is comprised of a new Fire Department Station facility, an existing Fire Station building to be used as storage and office space. Associated Site work including Parking, Landscaping, Grading and Drainage, Utilities, and signage are included with the request.
5. The southern portion of the site is developed with the existing Fire Station #4 which the northern portion of the Subject site was the location of the City Owned, Coronado Park. The Park is not considered a site of any historic significance. It was closed in 2023 because it was determined to be a blighted property, and no longer able to function as a park. In 2023 Real Property transferred the 'Rights of Property' from Parks and Recreation to Albuquerque Fire Department. It was concluded that the subject site would be appropriate for a new Fire Station #4.
6. The subject site is located within the North 4<sup>th</sup> Corridor Character Protection Overlay Zone (CPO-9, IDO Section 14-16-3-4(J)).
7. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
8. The request clearly facilitates the following Comprehensive Plan goals and policies from,  
Chapter 4: COMMUNITY IDENTITY
9. The request clearly facilitates the following Comprehensive Plan policy from Chapter 4:  
Community Identity
  - A. GOAL 4.1 CHARACTER: Enhance, protect, and preserve distinct communities.

The development of the Fire Station #4 would enhance the ability for the existing Fire Department 4 to better serve Downtown Albuquerque and the surrounding industrial area and residential neighborhoods, making it an important and distinct part of the Downtown

community. The proposed amendment enhances the distinct community by providing an expanded public safety opportunity to the City of Albuquerque.

- B. **POLICY 4.1.2 IDENTITY AND DESIGN:** Protect identity and cohesiveness by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed development of the new Fire station 4 facility would help protect the identity and cohesiveness of the Downtown area including the surrounding residential neighborhoods of Wells Park, Sawmill, and Santa Barbara Martineztown, by specifying specific uses, site standards, and development standards pursuant to the NR-SU zone district. The proposed standards are of similar scale to the surrounding area. The applicant has demonstrated that the zone change would facilitate development that meets edge buffer requirements and is an appropriate location for an expanded public safety complex in an established city area and being centrally located to the city as a whole. The building design is consistent with other City Fire facilities.

- C. **POLICY 4.1.3 PLACEMAKING:** Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.

The request helps to protect and enhance special places in the built environment that contribute to the distinct identity and sense of place to the Downtown area because it will create a way for the Fire Department to train and better serve the community. The distinct identity is enhanced because this facility improvement will help to increase the response time to an area that receives one of the largest number of calls.

- D. **GOAL 4.3: PROTECT** and enhance the natural and cultural characteristics and features that contribute to distinct identity and prioritize projects and programs to meet the needs of communities, neighborhoods, and sub-areas.

The request helps to protect and enhance the cultural characteristics that contribute to the distinct identity and prioritize projects that meet the needs of the community and neighborhood by developing a new facility to train Firemen and women to better protect and provide public safety and service.

10. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding land use, efficient development patterns, and infill development from Chapter 5: Land Use.

- A. **GOAL 5.2: COMPLETE COMMUNITIES:** Foster communities where residents can live, work, learn, shop, and play together.

Any addition or expansion of a Fire Department facility, helps to provide protection of life, property, and the environment from the effects of fires, medical emergencies, and hazards, therefore fostering communities where residents can live, work, learn, shop and play together. The request to change the subject sites zoning to NR-SU for the development of a Fire station and training center would foster job creation and improve safety, allowing for residents to live, work, learn, shop, and play together. The request would facilitate expansion of the existing fire station and development of additional Fire Station uses that are lacking in the city. Additionally, a community meeting room is proposed on site, which is conveniently accessible from surrounding neighborhoods via streets, adequate sidewalk infrastructure, bike routes, and transit.

- B. **POLICY 5.2.1: LAND USES:** Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request to change the subject sites zoning to NR-SU for the development of a Fire station and training center would contribute to creating a healthy and sustainable community. The request would facilitate expansion of the existing fire station and development of additional Fire Station uses that are lacking in City. Additionally, a community meeting room is proposed on site, which is conveniently accessible from surrounding neighborhoods via streets, adequate sidewalk infrastructure, bike routes, and transit.

- C. **GOAL 5.3 CITY EFFICIENT DEVELOPMENT PATTERNS:** Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would generally promote efficient use of the land by facilitating development that maximized the utility of existing infrastructure and public facilities including streets, transit, and water and sewer services.

- D. **POLICY 5.3.1 INFILL DEVELOPMENT:** Support additional growth in areas with existing infrastructure and public facilities.

The request would support growth on a vacant infill site within an existing residential area. The proposed development would be served by existing infrastructure and public facilities.

11. The request clearly facilitates the following Comprehensive Plan Policies regarding Infill and Development Quality from Chapter 7: Urban Design

- A. **POLICY 7.3.4: INFILL:** Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site is an underused public property, formerly a park, in a developed commercial and industrial area. Proposed development of the site would create infill and enhance the built environment, particularly through streetscape improvements.

- B. **POLICY 7.3.5 DEVELOPMENT QUALITY:** Encourage innovative and high-quality design in all development.

The request would facilitate development of a Fire Station. The proposed Site Plan specifies building design, site, and development standards that would ensure high quality design through site circulation, building materials, and plant pallet. The Site circulation is designed in a way where the Fire trucks have the ability to pull through, cutting time for reversing into the truck bay. The building is designed with quality materials and a simple color aesthetic, like burnished face CMU, Stucco and Metal siding, and brushed aluminum door and window framing. Last the landscaping chosen provides a diverse color pallet, by selecting a variety of trees and shrubs that are compliant with the ABQ Plant Pallet List.

- C. **POLICY 7.5.1 LANDSCAPE DESIGN:** Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

The landscape plan proposes a plant list that is pursuant to the City's approved Plant Palette containing only low water usage plants that are consistent with the high desert climate. The Landscape plan also follows all IDO section 5-6 Landscaping, Buffering and screening requirements and contributes to sense of place.

12. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding Community Facilities from Chapter 12: Infrastructure, Community Facilities & Services

- A. **GOAL 12.2 COMMUNITY FACILITIES:** Provide community facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

The request would eliminate an existing nonconforming park space and expand vital community safety services. Access to 3<sup>rd</sup> St. and McKnight Ave. ensures efficient service delivery. Future development of the fire station includes a proposed community meeting space for persons of all ages, which could generally promote community involvement.

- B. **POLICY 12.2.3: NEW FACILITIES:** Locate new facilities in areas with excellent access to provide services to underserved and developing areas.

The request would correct an existing nonconformity in the park space that has experienced blight, expand the facility to better serve the surrounding area, and expand Fire services throughout the city through the new facility and proposed future training center. Easy access to 3<sup>rd</sup> St., a Principal Arterial and designated Commercial Corridor, and Indian School Rd., an Urban Interstate Frontage, and I-25, an Interstate Highway and Commuter Corridor, and 4<sup>th</sup> St., a designated Multi-modal Corridor, ensure that services would be provided to a high-need area.

- C. **GOAL 12.3 PUBLIC SERVICES:** Plan, coordinate, and provide efficient, equitable, and environmentally sound services to best serve residents and protect their health, safety, and well-being.

The city has planned and coordinated to expand an existing fire station, and to provide a new Fire training facility, an efficient and equitable use, to best serve residents of the surrounding area to protect their health safety and well-being.

- D. **POLICY 12.3.1: ACCESS TO PUBLIC SERVICES:** Maximize residents' access to public services and distribute services equitably, whether they are provided by the City or County or in partnership with other agencies.

The request would maximize residents' access to Public Safety services centrally located within the city. The existing fire station cannot expand to meet these needs with the current zoning, and the development would help to distribute these services equitably throughout the city.

- E. **POLICY 12.3.3 FIRE AND RESCUE:** Provide comprehensive fire and rescue and emergency medical services to save and protect lives, property, and the environment in cooperation with the public and other agencies.

The request would facilitate redevelopment and expansion of a City Fire Station, which would provide fire and rescue EMS services to the surrounding community to help save and protect lives and property.

- F. **GOAL 12.5 RESOURCES:** Identify and allocate sufficient resources to support infrastructure, community facility, and public service needs in order to invest public dollars efficiently and effectively and to maintain a sound fiscal position.

The City is allocating public resources to support a redevelopment of fire public services on a property that is already owned by the City and in the possession of AFR. The resource would support infrastructure needs for the area and would generally result in an efficient investment of public dollars.

- G. **POLICY 12.5.2: COST ALLOCATION:** Allocate the costs of new community and public facilities and infrastructure extensions and upgrades fairly and equitably to support new development.

The development of the new Fire Station 4 clearly demonstrates the City's policy to allocate costs for new and expanded facilities in an equitable manner to meet community needs by expanding the existing Fire Station facility to accommodate new development of a training facility and a new upgraded Fire Station facility.

13. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-6(I)(3)-Review and Decision Criteria for a Site Plan-EPC, as follows:

- A. Criterion A: As demonstrated by the policy-based analysis, the proposed Site Plan is consistent with applicable Comprehensive Plan Goals and policies
- B. Criterion B: The request is for a Fire Station use, which requires the zone designation of NR-SU. The request for a Site Plan-EPC is in conjunction with a zone change from NR-PO-A to NR-SU. The Site Plan proposes uses, standards, and development standards pursuant to the IDO. Any future development would be required to comply with the approved NR-SU Site Plan associated with this request.
- C. Criterion C: The request is for Zoning Map Amendment to NR-SU for development of a Fire Station. The Site Plan specifies uses, standards and development standards which are negotiated at the EPC.

The proposed Site Plan is required to comply with all applicable provisions of the IDO, DPM, other adopted City regulations. All conditions must be met prior to building permit approval.

- D. Criterion D: The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The City's existing infrastructure has adequate capacity for the proposed development made possible by this request.

- E. Criterion E: The applicant has demonstrated that the request would not negatively impact the surrounding area based on responses to applicable Comprehensive Plan Goals and Policies. The applicant has stated that they have taken steps to mitigate any adverse impacts on the surrounding community by choosing to follow applicable IDO Standards for the Site Plan.
- F. Criterion F: The subject property is not within a Master Development Plan.
- G. Criterion G: The subject property is within the Railroad and Spur Area. The proposed development for Fire Station 4 does not meet all of the criteria of Subsection 14-16-5-2(E)(1), therefore, there are no requirements for mitigation. There is a minimal amount of residential development on the west side of 5th Street approximately 687 feet to the west of the subject property and no residential use in any mixed-use zone district within 1,320 feet. The Applicant is not proposing any of the uses listed in Section 5-2(E)(1)(c).

14. The affected neighborhood organizations, Wells Park NA and the Near North Valley NA, were contacted, as well as property owners within 100 feet of the subject site, as required.

15. A pre-application facilitated neighborhood meeting was held March 19, 2024.
16. There were no unresolved issues or concerns, and at the conclusion of the facilitated meeting, participants support the intended Fire Station and one-half acre park. There was no opposition to the request.
17. During the June 20, 2024 EPC hearing, the applicant agreed that the City of Albuquerque will maintain or contract maintenance for the property and the designated green space.
18. During the June 20, 2024 EPC hearing, the applicant agreed that the public will have access to the green space in the NE corner of the subject site during typical park hours, to be defined before final sign-off by the DFT (Development Facilitation Team).

#### CONDITIONS – SI-2024-00677 Site Plan EPC

1. After approval by the Environmental Planning Commission (EPC), the applicant shall submit the proposed site plan to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.
2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that the EPC Conditions in the Official Notification of Decision have been met. The staff planner will provide a post-EPC memo.
3. **CONDITIONS FROM SOLID WASTE:** A site plan approved by the Solid Waste Department will be required. The scaled site plan can be sent to [hgallegos@cabq.gov](mailto:hgallegos@cabq.gov) for review. Reference <https://www.cabq.gov/solidwaste/documents/enclosurespecificationswordfont14.pdf> for minimum requirements for a trash enclosure.
4. **CONDITIONS FROM PNM:** It is the applicant's obligation to determine if existing utility easements or rights-of-way are located within the property and to abide by any conditions or terms of those easements.

Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM.

Any existing and/or new PNM easements and facilities need to be reflected on any future Site Plan and any future Plat.

Structures, especially those made of metal like restrooms, storage buildings, and canopies, should not be within or near PNM easements without close coordination with and agreement from PNM. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities.

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

5. TRANSPORTATION DEVELOPMENT REVIEW SERVICES CONDITION: The applicant shall provide a Traffic and fire truck Circulation Layout.
6. The dedicated green space on the NE corner of the subject site shall be noted on the site plan as accessible to the public via an access gate. AFR will be responsible for locking and unlocking the gate.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **July 5, 2024**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,



for Alan M. Varela,  
Planning Director

AV/RB/DK/MJ

CC:

Consensus Planning, Jackie Fishman, [fishman@consensusplanning.com](mailto:fishman@consensusplanning.com)  
City of Albuquerque Fire and Rescue, PO Box 1293 Albuquerque, NM 87103  
City Legal, Devon King, [Dking@cabq.gov](mailto:Dking@cabq.gov)  
City Legal, Nicole Sanchez [nasancez@cabq.gov](mailto:nasancez@cabq.gov)  
Wells Park NA, Doreen McKnight, [doreenmcknightnm@gmail.com](mailto:doreenmcknightnm@gmail.com)  
Near North Valley NA, Joe Sabatini, [jsabatini423@gmail.com](mailto:jsabatini423@gmail.com)  
North Valley Coalition, Peggy Norton, [peggynorton@yahoo.com](mailto:peggynorton@yahoo.com)  
Joe Calkins, [jcalkins5@gmail.com](mailto:jcalkins5@gmail.com)  
Ricardo Guillermo, [ricardoguillermo7@gmail.com](mailto:ricardoguillermo7@gmail.com)  
Mike Prondo, 611 Bellamah NW  
[EPC File](#)[\[BRA3\]](#)[\[JMD4\]](#)



# CITY OF ALBUQUERQUE

*Department of Municipal Development/ Interim Director/ Jennifer Turner*



May 6, 2024  
Jonathan Hollinger, Chairman  
Environmental Planning Commission  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Dear Mr. Chairman,  
This letter authorizes Consensus Planning, Inc. to act as agent for all matters related to the request for Zone Map Amendment and a Site Plan-EPC to the Environmental Planning Commission for the property located 301 McKnight Avenue, NW. The property is legally described as *Portion of Coronado Park less portion to right-of-way Franciscan Addition*. The City is planning to construct a new Fire Station at this location.

Sincerely,

Juan Serna  
Construction Project Manager  
DMD  
jeserna@cabq.gov



July 29, 2024

Jolene Wolfley, Chair  
Development Facilitation Team  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87102

**RE: Fire Station 4 – DFT Final Signoff of Site Plan-EPC – PR-2024-010349; SI-2024-00677**

Landscape Architecture  
Urban Design  
Planning Services

Dear Madam Chair:

302 Eighth St. NW  
Albuquerque, NM 87102

The purpose of this letter is to request final sign-off of the Site Plan-EPC approved by the Environmental Planning Commission (EPC) for Fire Station 4 at 301 McKnight Avenue NW. The EPC approved the Site Plan at its June 20, 2024, hearing. This letter addresses each of the EPC’s conditions of approval.

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com



*Project Site.*

**Conditions**

1. After approval by the Environmental Planning Commission (EPC), the applicant shall submit the proposed site plan to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.

**Applicant Response:** Agreed, this letter accompanies the Site Plan submitted to the DFT for final sign-off.

**PRINCIPALS**

James K. Strozier, FAICP  
Jacqueline Fishman, AICP

**ASSOCIATES**

Ken Romig, PLA, ASLA,  
SITES AP



2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that the EPC Conditions in the Official Notification of Decision have been met. The staff planner will provide a post-EPC memo.

**Applicant Response:** Agreed, Consensus Planning, on behalf of the applicant, coordinated with and submitted the revised Site Plan-EPC to the case planners, Dustin Kiska and Rebecca Bolen for review prior to submitting the application to the DFT.

3. CONDITIONS FROM SOLID WASTE: A site plan approved by the Solid Waste Department will be required. The scaled site plan can be sent to [hgallegos@cabq.gov](mailto:hgallegos@cabq.gov) for review. Reference <https://www.cabq.gov/solidwaste/documents/enclosurespecificationswordsfont14.pdf> for minimum requirements for a trash enclosure.

**Applicant Response:** The Applicant submitted the Site Plan to Herman Gallegos for review and he provided his signature for approval, which is included in the application packet.

4. CONDITIONS FROM PNM: It is the applicant's obligation to determine if existing utility easements or rights-of-way are located within the property and to abide by any conditions or terms of those easements. Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM. Any existing and/or new PNM easements and facilities need to be reflected on any future Site Plan and any future Plat. Structures, especially those made of metal like restrooms, storage buildings, and canopies, should not be within or near PNM easements without close coordination with and agreement from PNM. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

**Applicant Response:** The Applicant has coordinated with PNM and will continue to do so as the project moves towards building permit submittal and review. Proposed easements are included in the plat submitted by Juanita Garcia of JAG Planning & Zoning.

5. TRANSPORTATION DEVELOPMENT REVIEW SERVICES CONDITION: The applicant shall provide a Traffic and fire truck Circulation Layout.

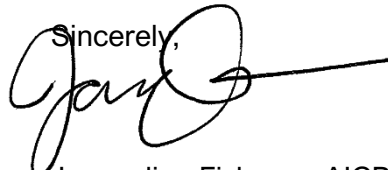
**Applicant Response:** The Applicant created a TCL and received approval from Ernest Armijo. A copy of the approved TCL and associated letter is included in the application to the DFT.



6. The dedicated green space on the NE corner of the subject site shall be noted on the site plan as accessible to the public via an access gate. AFR will be responsible for locking and unlocking the gate.

**Applicant Response:** A note has been added to the Site Plan.

On behalf of the City of Albuquerque Fire Rescue, we respectfully request that the DFT provide final approval and sign-off of the Site Plan-EPC for Fire Station 4. Thank you for your consideration.

Sincerely,  
  
Jacqueline Fishman, AICP  
Principal

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 15, 2024

**Kevin deGraauw**  
**VIGIL & ASSOCIATES**  
**4477 Irving NW, Suite A**  
**Albuquerque, NM, 87114** [kevin@va-architects.com](mailto:kevin@va-architects.com)

**Re: Fire Station #4**  
**301 McKnight NW**  
**Conceptual Traffic Circulation Layout for DFT Approval**  
**Engineer's Stamp 07-10-24 (H14D120)**

Dear Mr. deGraauw,

The conceptual TCL submittal received 7-12-2024 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit. **When submitting TCL for building permit approval, please ensure that:**

**1-Replace the Bike Rack type with the a type that is approved by DPM.**

**2-Bike Racks should be on paved base.**

**3-Install sign for the Motorcycles parking**

**4-All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.**

**5- Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.**

**6-Provide Solid Waste Dept approval.**

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

*Sertil A. Kanbar*

Sertil Kanbar, PhD, PE, CFM  
Sr. Engineer, Planning Dept.  
Development Review Services

C: File

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 12, 2024

Verlyn Miller, P.E.  
Miller Engineering Consultants, Inc  
3500 Comanche NE Bldg. F  
Albuquerque, NM 87107

**RE: AFD Fire Station 4  
Grading and Drainage Plans  
Engineer's Stamp Date: no stamp  
Hydrology File: H14D120**

Dear Mr. Miller:

Based upon the information provided in your submittal received 06/28/2024, the Grading & Drainage Plan is approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit.

**PRIOR TO BUILDING PERMIT:**

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) along with the Drainage Transportation Information Sheet.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

**TYPE OF DEVELOPMENT:** PLAT (#of lots) \_\_\_\_\_ RESIDENCE  
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

**DEPARTMENT:** TRANSPORTATION HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

### TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)  
ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT  
APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT  
APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_