

1-SITE PLAN DOCUMENTATION



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input checked="" type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

BRIEF DESCRIPTION OF REQUEST
Site Plan Amendment for new construction. 2,016 sf single story building and site improvements

APPLICATION INFORMATION			
Applicant/Owner: D&B Limited Trust LLC		Phone: 787-505-5030	
Address: 1128 Atrisco Dr. NW		Email: dbusellit.mruiz@gmail.com	
City: Albuquerque	State: NM	Zip: 87105	
Professional/Agent (if any): Masterworks Architects Inc		Phone: 505-242-1866	
Address: 1809 Illinois St. NE		Email: MWArchitect@comcast.net	
City: Albuquerque	State: NM	Zip: 87110	
Proprietary Interest in Site: None		List <u>all</u> owners: D&B Limited Trust LLC no others	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.: Lot 5	Block: 2	Unit: Unit 1	
Subdivision/Addition: Clifford West Business Park	MRGCD Map No.:	UPC Code: 101005705236020203	
Zone Atlas Page(s): K-10	Existing Zoning: NR-BP	Proposed Zoning No change	
# of Existing Lots: One	# of Proposed Lots: One	Total Area of Site (Acres): 1.3065	

LOCATION OF PROPERTY BY STREETS	
Site Address/Street:	Between: _____ and: Oliver Ross Dr

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name: James B Clark	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
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<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

BRIEF DESCRIPTION OF REQUEST
Site Plan Amendment for new construction. 7,164 sf two story building with site improvements

APPLICATION INFORMATION			
Applicant/Owner: D&B Limited Trust LLC		Phone: 787-505-5030	
Address: 1128 Atrisco Dr. NW		Email: dbusellit.mruiz@gmail.com	
City: Albuquerque	State: NM	Zip: 87105	
Professional/Agent (if any): Masterworks Architects Inc		Phone: 505-242-1866	
Address: 1809 Illinois St. NE		Email: MWArchitect@comcast.net	
City: Albuquerque	State: NM	Zip: 87110	
Proprietary Interest in Site: None	List <u>all</u> owners: D&B Limited Trust LLC no others		

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.: Tract B	Block:	Unit: Unit 1	
Subdivision/Addition: Clifford West Business Park	MRGCD Map No.:	UPC Code: 101005705236020202	
Zone Atlas Page(s): K-10	Existing Zoning: NR-BP	Proposed Zoning No change	
# of Existing Lots: One	# of Proposed Lots: One	Total Area of Site (Acres): 4.7249	

LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 401 Unser Blve NW	Between: Bluewater	and: Saul Bell

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 24 May 2024
Printed Name: James B Clark	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**X SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- 1) DFT Application form completed, signed, and dated
- 2) Form P2 with all the submittal items checked/marked
- 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- 4) Zone Atlas map with the entire site clearly outlined and labeled
- 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- 7) Infrastructure List, if required for building of public infrastructure
- 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- 10) Completed Site Plan Checklist
- 11) Letter of authorization from the property owner if application is submitted by an agent
- 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)

NA 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

NA 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

X 17) Sign Posting Agreement

NA 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

 Office of Neighborhood Coordination neighborhood meeting inquiry response

 Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

 Completed neighborhood meeting request form(s)

 If a meeting was requested or held, copy of sign-in sheet and meeting notes

X 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

X Office of Neighborhood Coordination notice inquiry response

X Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

X Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- 1) DFT Application form completed, signed, and dated
- 2) Form P2 with all the submittal items checked/marked
- 3) Zone Atlas map with the entire site clearly outlined and labeled
- 4) Site Plan and related drawings
- 5) Infrastructure List, if require
- 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- 7) Letter of authorization from the property owner if application is submitted by an agent
- 8) Solid Waste Department signature on Site Plan
- 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- 10) Approved Grading and Drainage Plan
- 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

Legal Description & Location: _____

Request Description: _____

Hydrology:

- Sensitive Lands Analysis (5-2(C)) _____ Approved _____ NA
- Grading and Drainage Plan _____ Approved _____ NA
- AMAFCA _____ Approved _____ NA
- Bernalillo County _____ Approved _____ NA
- NMDOT _____ Approved _____ NA
- MRGCD _____ Approved _____ NA

Hydrology Department

Date

Transportation:

- Traffic Circulations Layout (TCL) _____ Approved _____ NA
- Traffic Impact Study (TIS) _____ Approved _____ NA
- Neighborhood Impact Analysis (NIA) _____ Approved _____ NA
- Bernalillo County _____ Approved _____ NA
- MRCOG _____ Approved _____ NA
- NMDOT _____ Approved _____ NA
- MRGCD _____ Approved _____ NA

Transportation Department

Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

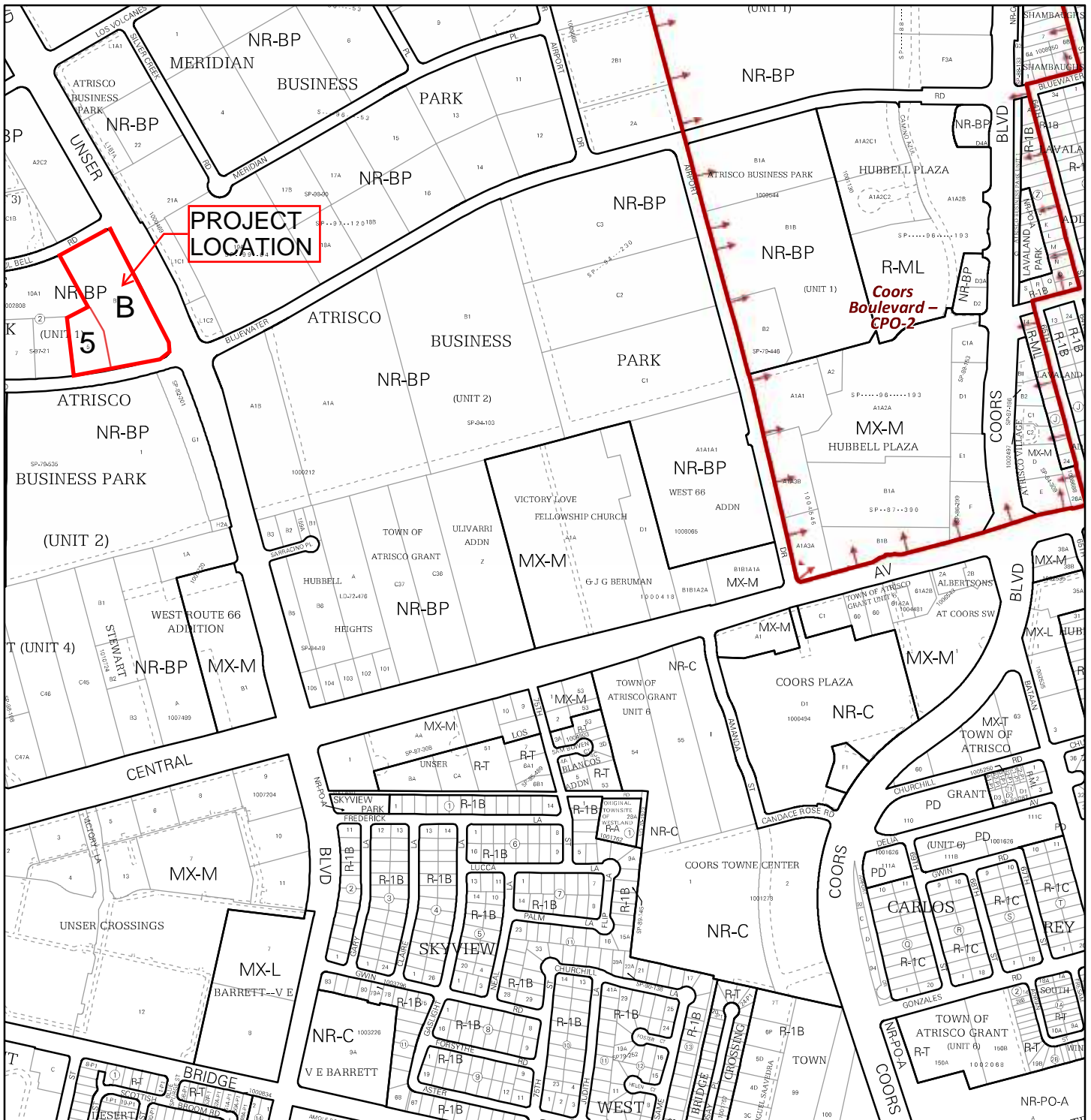
- Request for Availability submitted? ___ Yes ___ No ___ NA
- Availability Statement/Serviceability Letter Number _____
- Note: Commitment for service is required prior to application approval.

ABCWUA

Date


- Infrastructure Improvements Agreement (IIA*) _____ Approved _____ NA
- Solid Waste Department Signature on the Plan _____ Approved _____ NA
- Fire Marshall Signature on the Plan _____ Approved _____ NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

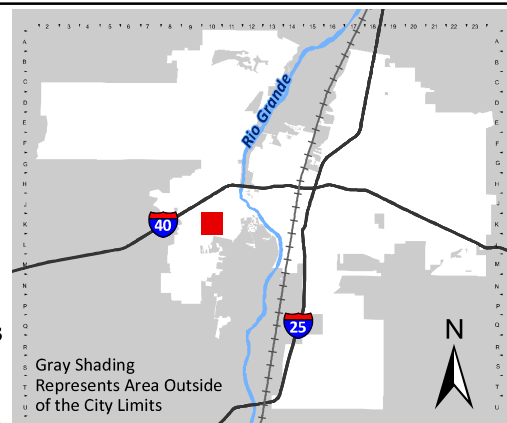


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
K-10-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

SCOPE OF WORK

LEGAL DESCRIPTION

TRACT "B" & LOT 5 BLK 2, CLIFFORD WEST BUSINESS PARK - UNIT 1

DEVELOPMENT REQUIREMENTS

IDO ZONE DISTRICT "NR-BP" NON-RESIDENTIAL - BUSINESS PARK
 CLIFFORD WEST BUSINESS PARK
 FUTURE DEVELOPMENT MUST MEET ALL APPLICABLE STANDARDS AND PROVISIONS OF ANY PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN. CHANGES TO THAT PLAN MAY REQUIRE MINOR/MAJOR AMENDMENTS TO THAT PLAN (PREVIOUSLY IP). WHERE SILENT OR IF ONE DOES NOT EXIST, ALL DEVELOPMENT MUST MEET STANDARDS AND PROVISIONS OF THE IDO (NR-BP) AND THE DPM.

THIS PROPERTY IS DEFINED AS A "THROUGH LOT"
 THE OWNER HAS CHOSEN BLUEWATER ROAD NW AS THE "FRONT" STREET ADDRESS
 THEREFORE, SAUL BELL RD ON THE NORTH EDGE IS THE REAR LOT LINE,
 THE UNSER BLVD EAST EDGE IS A SIDE LOT LINE,
 AND THE WEST EDGE INTERNAL PROPERTY BOUNDARIES ARE SIDE YARD LOT LINES.

SETBACKS ARE AS ESTABLISHED IN THE CLIFFORD WEST BUSINESS PARK DEVELOPMENT CRITERIA:
 WILL BE MEASURED FROM THE BACK OF THE STREET CURB AND WILL BE FULLY LANDSCAPED FROM THE CURB TO THE SETBACK LINE.
 BLUEWATER RD COLLECTOR STREET FRONTAGE - 20' FRONT SETBACK TO BUILDING AND 20' TO THE PARKING AREA
 SAUL BELL RD AND UNSER BOULEVARD - 10' SETBACK AT ALL SIDE AND REAR YARDS

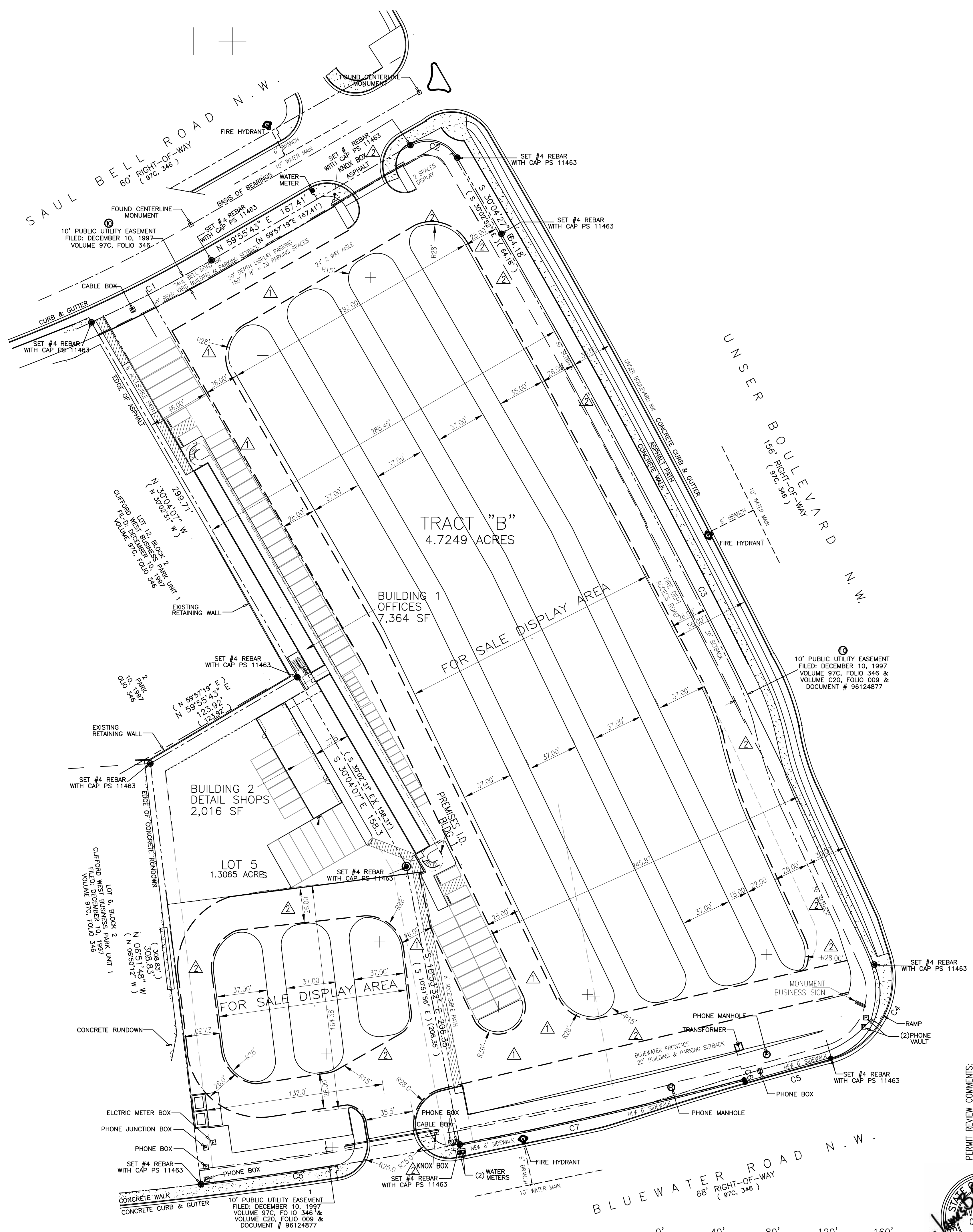
BUILDING COVERAGE OF LOT - MINIMUM 10% AND MAXIMUM 50%
 PROPOSED LOT COVERAGE IS 2.73% AS SHOWN ON THIS LAYOUT PLAN
 NEW SIDEWALKS SHALL BE INSTALLED AS FOLLOWS: 6' WIDE ALONG BLUEWATER AND 5' WIDE ALONG SAUL BELL
 ADA ACCESSIBILITY SHALL BE PROVIDED AT DRIVE ENTRANCES AND OTHER OBSTRUCTIONS

BUILDINGS BOMA FOOTPRINT

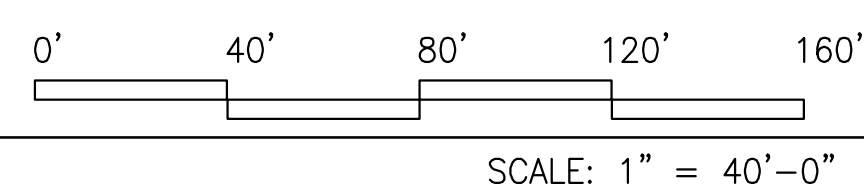
TWO STORY OFFICE BUILDING	
40 PRIVATE OFFICES 11'x13'	
ADMINISTRATIVE SUPPORT AREAS	
OFFICE BUILDING FOOTPRINT AREA	7,364 SF
SHOP BUILDING	
4 SERVICE BAYS	
SHOP BUILDING FOOTPRINT AREA	2,016 SF
TOTAL BUILDINGS FOOTPRINT AREA	9,380 SF

CUSTOMER PARKING COUNT

BUILDINGS	I.D.O. REQUIRED	PROVIDED
OFFICE BUILDING	26 VEHICLES	47 VEHICLES
SHOP BUILDING	3 VEHICLES	7 VEHICLES
ACCESSIBLE SPACES	1 STANDARD 1 VAN	2 STANDARD 2 VANS
TOTAL CUSTOMER SPACES	31 VEHICLES	58 VEHICLES
OTHER VEHICLES		
MOTORCYCLES	2 SPACES	4 SPACES
BICYCLES	3 SPACES	4 SPACES
GOLF CARTS	-0-	14 SPACES



1 SITE LAYOUT PLAN - TRACT B



PERMIT REVIEW COMMENTS:
 CYCLE 1 - 14 MARCH 2024
 CYCLE 2 - 26 MARCH 2024

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 1809 ILLINOIS ST NE 242-1866
 ALBUQUERQUE, NEW MEXICO 87110

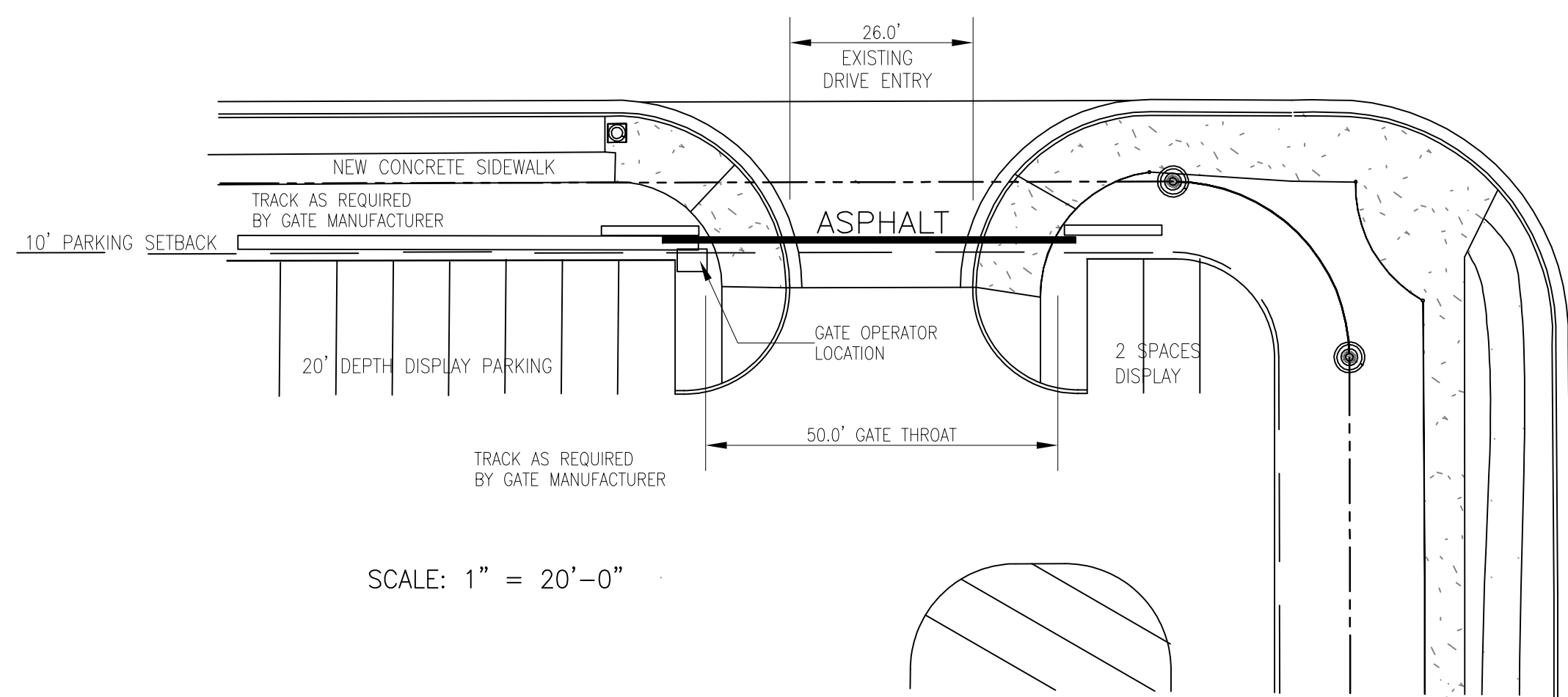
FILE # 2317G-SITE
 20 FEB 2024

JAMES BENJAMIN CLARK III
 1047
 REGISTERED ARCHITECT

CONSTRUCTION OF A NEW FACILITY FOR
D&B U-SELL-IT
 401 UNSER BLVD NW
 ALBUQUERQUE, NM 87121

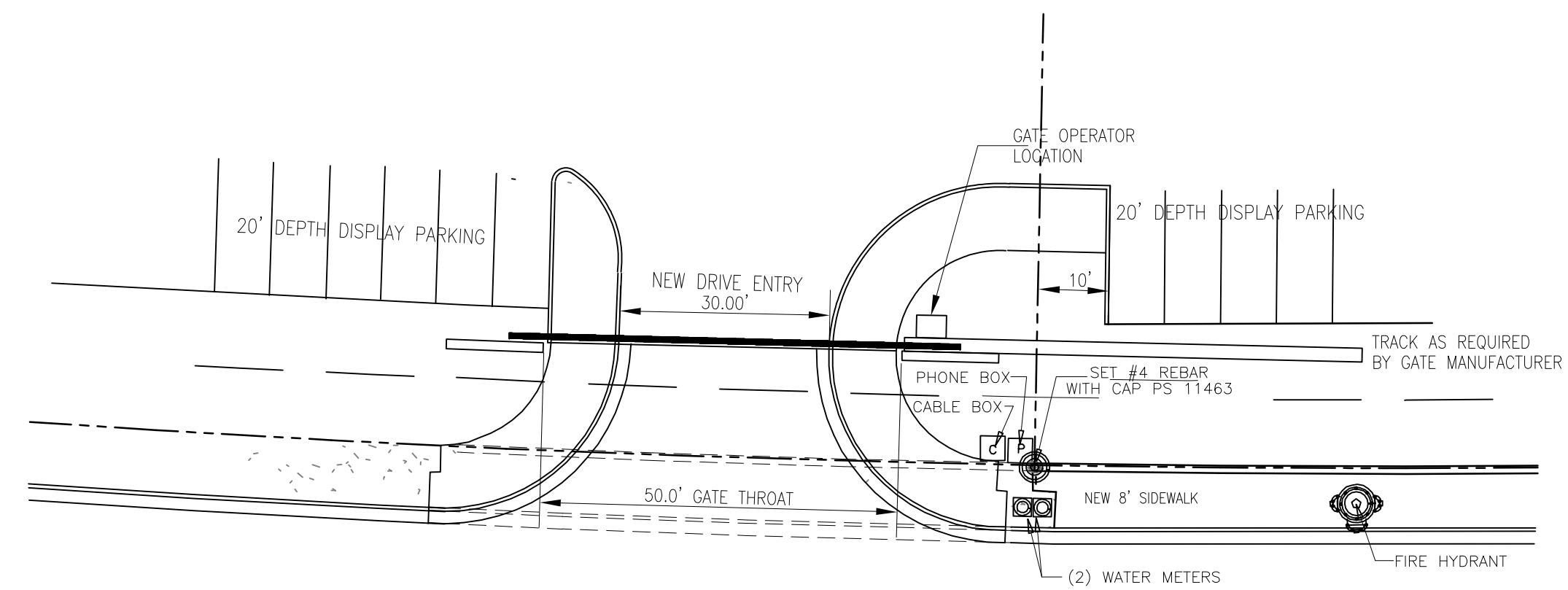
SITE LAYOUT PLAN
DEVELOPMENT REQUIREMENTS
NOTES & DETAILS

AC1



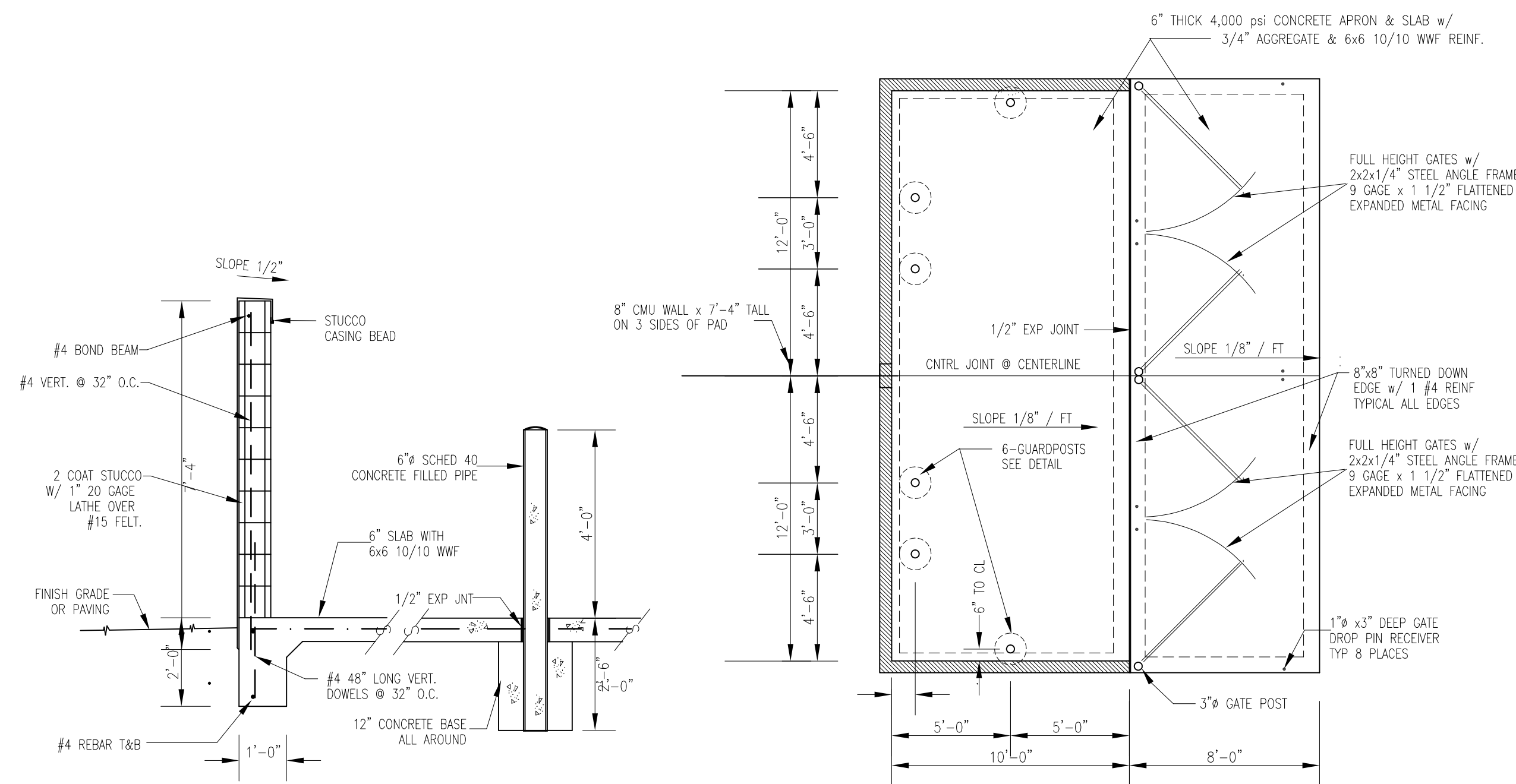
2 ENTRY GATE @ SAUL BELL ROAD
AC2

SCALE: 1/4" & 1/2" = 1'-0"



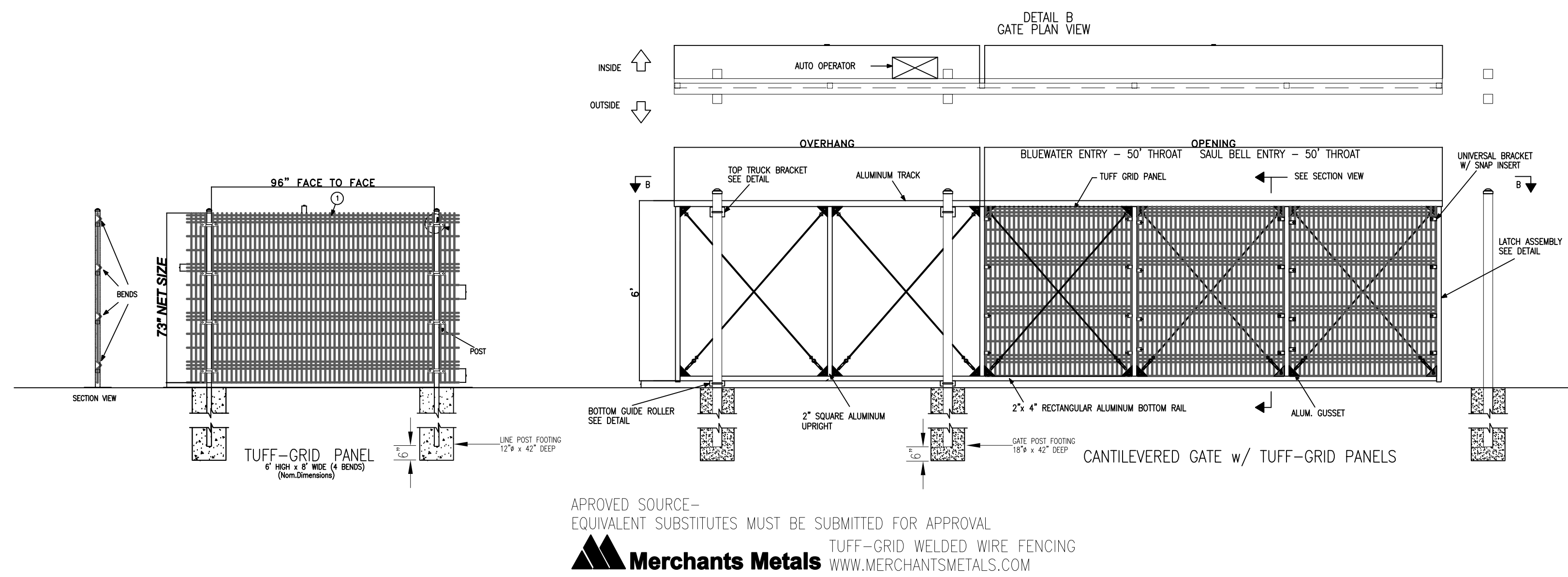
1 ENTRY GATE @ BLUEWATER ROAD
AC2

SCALE: 1/4" & 1/2" = 1'-0"



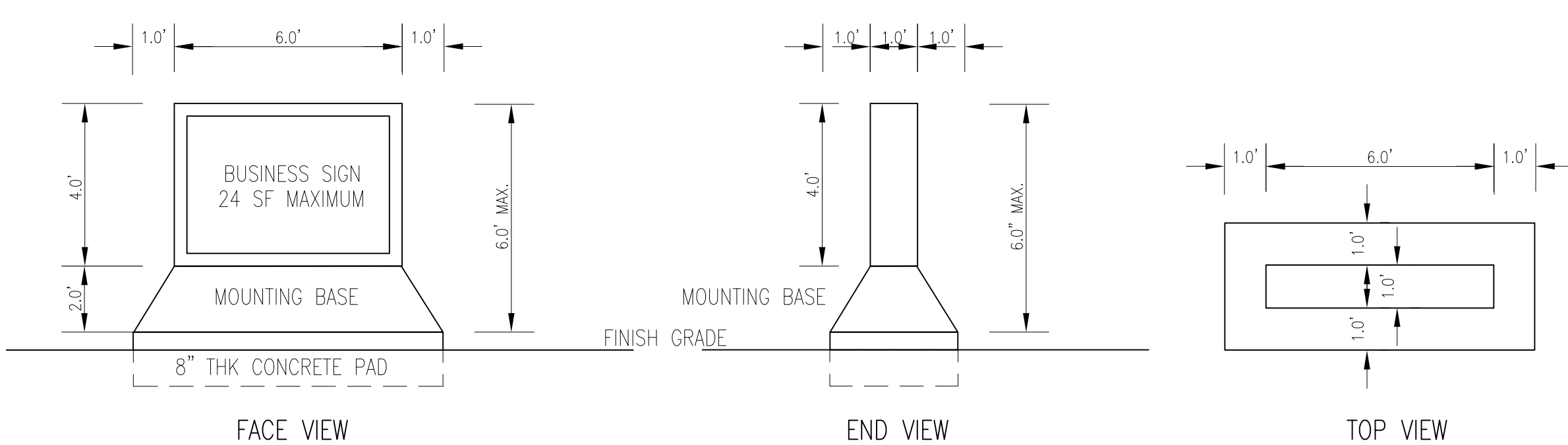
4 DUMPSTER ENCLOSURE PLAN
AC2

SCALE: 1/4" & 1/2" = 1'-0"

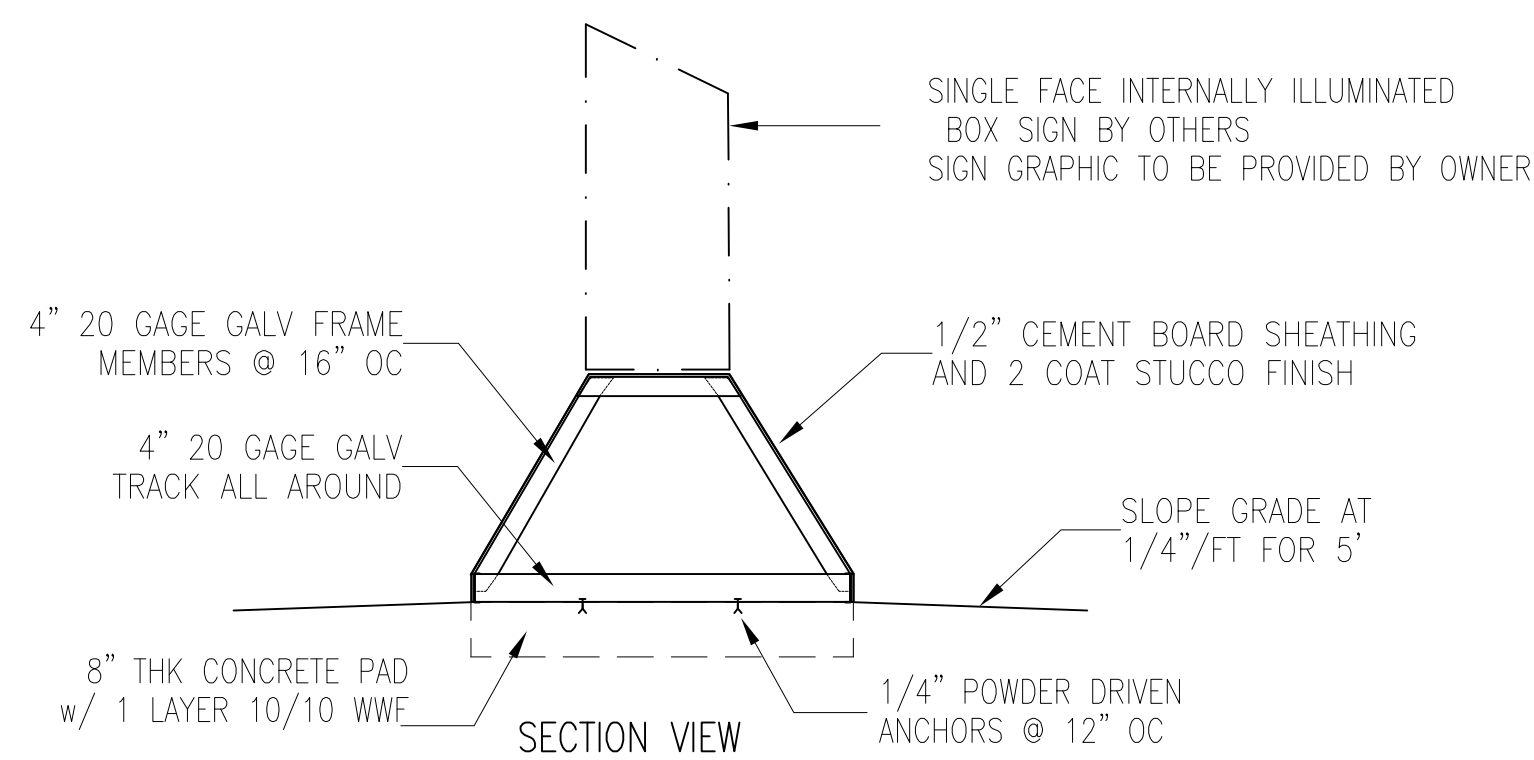


3 PERIMETER WIRE FENCING
AC2

SCALE: 1/4" & 1/2" = 1'-0"



5 MONUMENT STREET SIGN SPECS
AC2



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1809 ILLINOIS ST NE 242-1866
ALBUQUERQUE, NEW MEXICO 87110
©MWA, Inc 2023

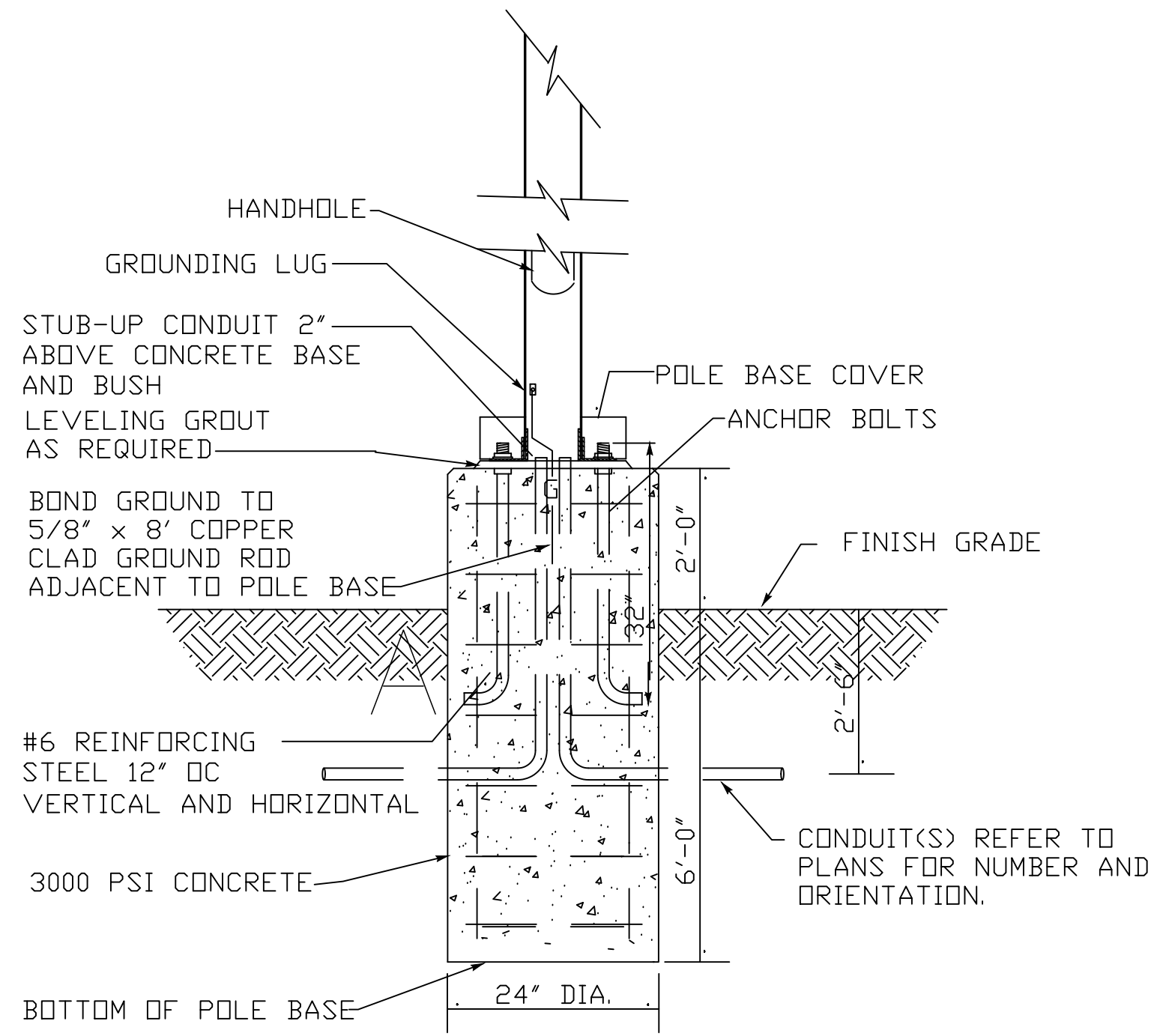
FILE # 2317F-SITE
15 NOV 2023

JAMES BENJAMIN CLARK III
1047
REGISTERED ARCHITECT
NEW MEXICO

CONSTRUCTION OF A NEW FACILITY FOR
D&B U-SELL-IT
8531 BLUEWATER RD NW
ALBUQUERQUE, NM 87121

IMPROVEMENTS DETAILS
GATE DETAILS
NOTES & DETAILS

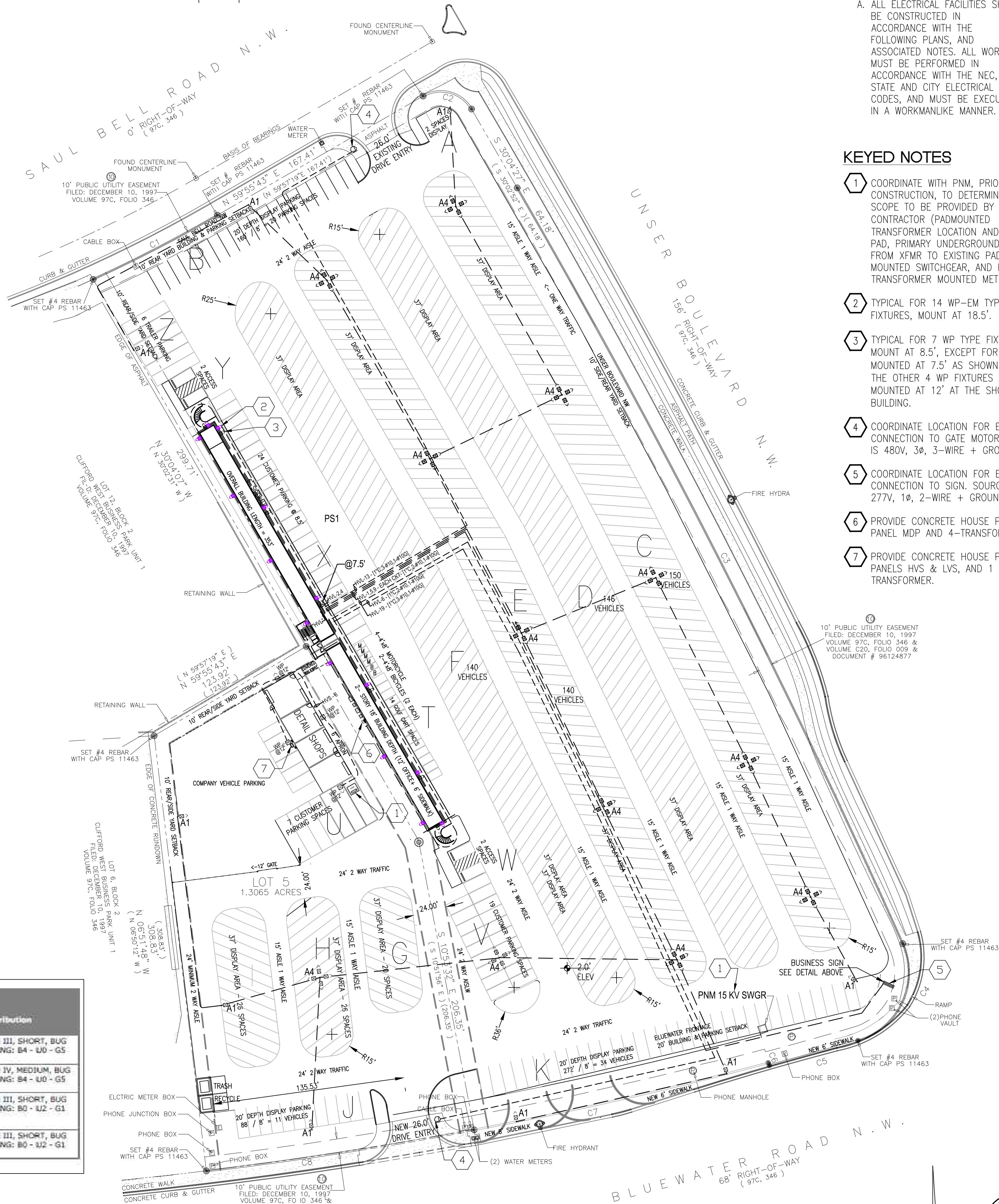
AC2



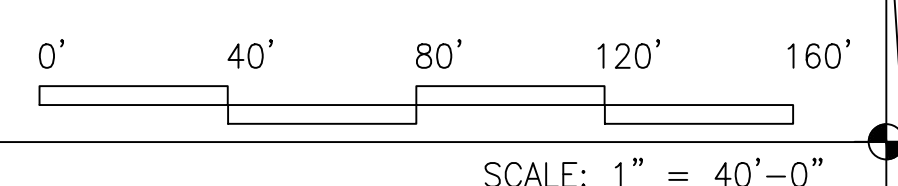
POLE BASE DETAIL (25')
NTS

Type	Qty	Division	Catalog #
A1	9	AMER	ATB2 P905 MVOLT R3 BZ
A1 POLE	9	AMER	SSS 25 55C D01 W5 BZ FSTXXX FSTXXX, HZ 12IN 1A BOW SQT BZ, (2)FGIUS BZ, AB-26-4 RFD341254
A4	48	AMER	ATB2 P605 MVOLT R4 BZ
A4 POLE	12	AMER	SSS 25 55C D04 W5 BZ FSTXXX FSTXXX, (4)HZ 12IN 1A BOW SQT BZ, (2)FGIUS BZ, AB-26-4 RFD341253
WP-EM	10	HOLO	WCNG P1 40K T3M MVOLT ZT 10KV BZSDP LTCH NPR ELSW
WP	15	HOLO	WCNG P1 40K T3M MVOLT ZT 10KV BZSDP LTCH NPR

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Lumen Multiplier	Light Loss Factor	Wattage	Distribution
	A1	9	American Electric Lighting	ATB2 P905 R3 4K	Autobahn Large P905 Package Roadway Type III 4000K/5000K CCT	1	53937	1	0.9	369	TYPE III, SHORT, BUG RATING: B4 - U0 - G5
	A4	12	American Electric Lighting	ATB2 P605 R4 4K	Autobahn Large P605 Package Roadway Type IV 4000K/5000K CCT	1	36796	1	0.9	1180	TYPE IV, MEDIUM, BUG RATING: B4 - U0 - G5
	WP-EM	10	Holophane	WCNG P1 40K T3M	WCNG P1 Performance Package 4000K CCT Type III(Emergency Battery Pack Mode)	1	2194	0.91	0.9	15.99	TYPE III, SHORT, BUG RATING: B0 - UJZ - G1
	WP	15	Holophane	WCNG P1 40K T3M	WCNG P1 Performance Package 4000K CCT Type III	1	2194	1	0.9	15.99	TYPE III, SHORT, BUG RATING: B0 - UJZ - G1



1 ELECTRICAL SITE PLAN



GENERAL NOTES

- A. ALL ELECTRICAL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING PLANS, AND ASSOCIATED NOTES. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE NEC, STATE AND CITY ELECTRICAL CODES, AND MUST BE EXECUTED IN A WORKMANLIKE MANNER.

KEYED NOTES

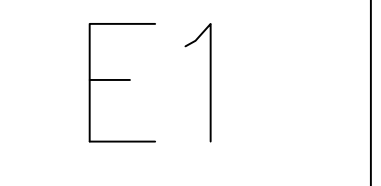
- 1 COORDINATE WITH PNM, PRIOR TO ANY CONSTRUCTION, TO DETERMINE WORK SCOPE TO BE PROVIDED BY THE CONTRACTOR (PADMOUNTED TRANSFORMER LOCATION AND XFMR PAD, PRIMARY UNDERGROUND CONDUIT FROM XFMR TO EXISTING PAD MOUNTED SWITCHGEAR, AND PROPOSED TRANSFORMER MOUNTED METER.
- 2 TYPICAL FOR 14 WP-EM TYPE FIXTURES, MOUNT AT 18.5'.
- 3 TYPICAL FOR 7 WP TYPE FIXTURES, MOUNT AT 8.5', EXCEPT FOR 1 MOUNTED AT 7.5' AS SHOWN. NOTE: THE OTHER 4 WP FIXTURES ARE MOUNTED AT 12' AT THE SHOP BUILDING.
- 4 COORDINATE LOCATION FOR ELECTRICAL CONNECTION TO GATE MOTOR. SOURCE IS 480V, 3Ø, 3-WIRE + GROUND.
- 5 COORDINATE LOCATION FOR ELECTRICAL CONNECTION TO SIGN. SOURCE IS 277V, 1Ø, 2-WIRE + GROUND.
- 6 PROVIDE CONCRETE HOUSE PAD FOR PANEL MDP AND 4-TRANSFORMERS.
- 7 PROVIDE CONCRETE HOUSE PAD FOR PANELS HVS & LVS, AND 1 - TRANSFORMER.

MASTERWORKS ARCHITECTS, INC
1809 ILLINOIS ST. NE 242-1866
ALBUQUERQUE, NEW MEXICO 87110
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FILE # 2317G-SITE
23 AUG 2023

D&B U-SELL-IT
8531 BLUEWATER RD NW
ALBUQUERQUE, NM 87121

ELECTRICAL SITE PLAN
ELECTRICAL SERVICE
SITE AREA LIGHTING



LANDSCAPE NOTES:

THE INSTALLED LANDSCAPING IS TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCES. THIS DESIGN IS BASED ON THE PLANTING RESTRICTIONS APPROACH. ALL PLANTS ARE LOW & MEDIUM WATER USE, AND SOD IS LESS THAN 20% OF THE TOTAL LANDSCAPE AREA. THIS DESIGN IS BASED ON PROVIDING 75% LIVE PLANT COVERAGE OF LANDSCAPED BUFFER AREAS WHEN PLANTINGS ARE FULLY MATURE.

LANDSCAPE INSTALLATION SHALL BE COMPLETED AT CO.

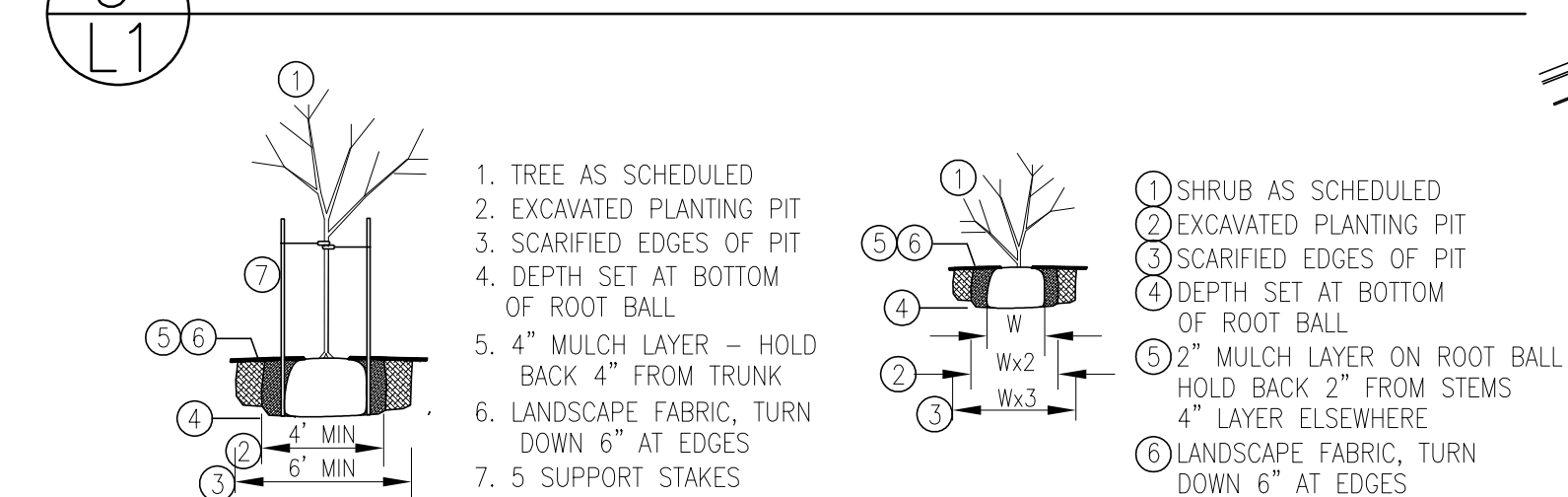
LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL PLANT MATERIALS WHICH DO NOT SURVIVE SHALL BE REPLACED WITHIN 60 DAYS.

AUTOMATIC DRIP IRRIGATION SYSTEM SHALL BE INSTALLED THROUGHOUT THE LANDSCAPE PLANTING AREAS. IRRIGATION CONTROLLERS SHALL BE INSTALLED IN THE PLANTER BED THROUGHOUT THE LANDSCAPE PLANTING AREAS. CONTROLLERS WITH INTEGRAL ANTI-SIPHON VALVES SHALL BE AMBIENT SOLAR POWERED AND PROVIDE PROGRAMMABLE MULTI-DAY / MULTI-HOUR OPERATION.

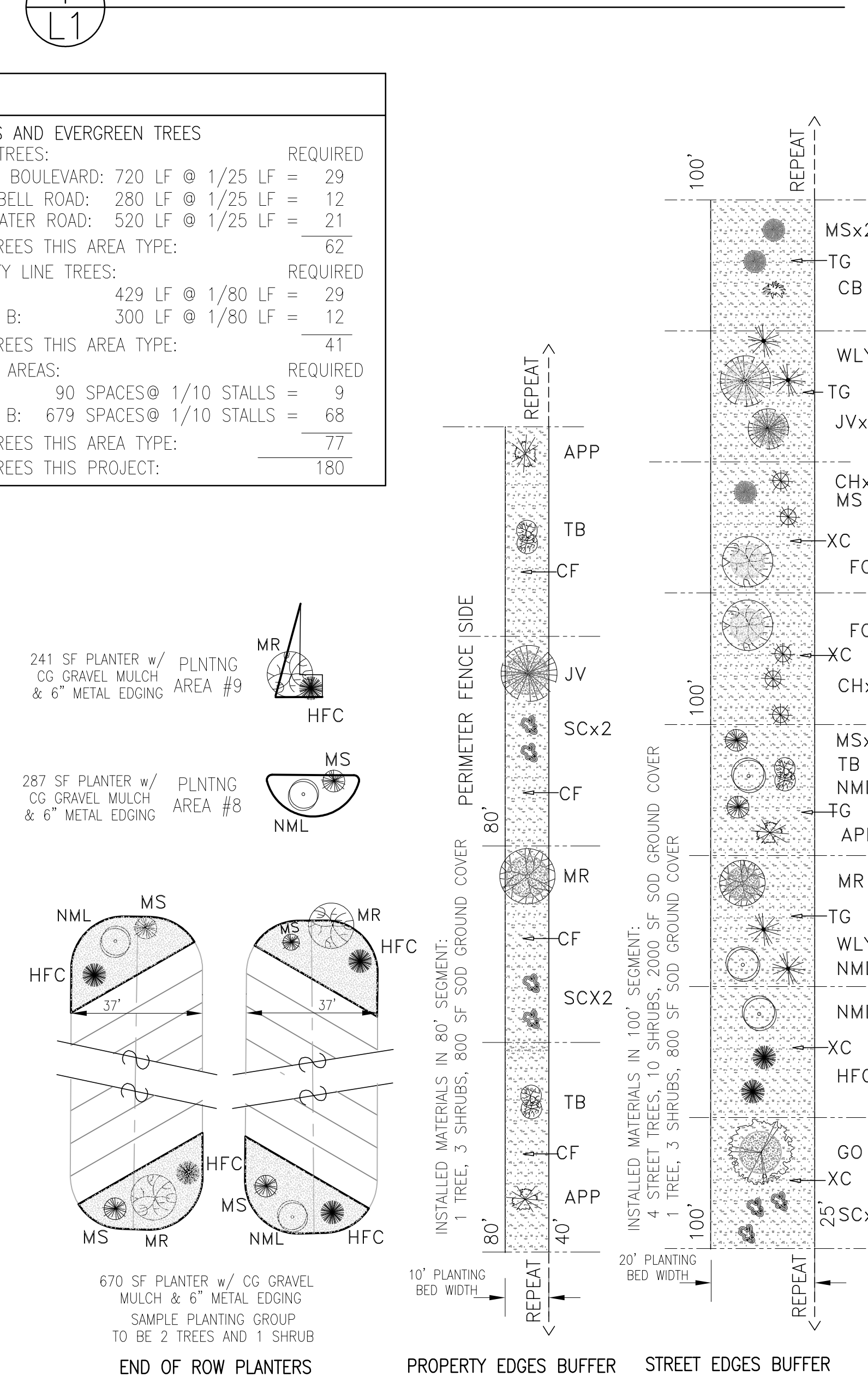
LANDSCAPE REQUIREMENTS:

NET LOT AREA - 18%
 NET LOT AREA VEGETATIVE COVERAGE-75% MATURE CANOPY SIZE
 NET LOT AREA SOD GRASSES-20% OF VEGETATIVE AREA
 STREET TREES:
 1 EACH /25' LF OF ROADWAY, 50' MAX SEPARATION
 PERIMETER TREES:
 1 EACH /80' LF OF REMAINING PROPERTY LINE
 CUSTOMER PARKING AREAS:
 1 EACH FOR EVERY 10 PARKING STALLS
 100' MAX. DISTANCE FROM TREE TO VEHICLES
 PLANT MATERIAL SIZES:
 TREES - 2" CALIPER @ 2' ABOVE GROUND
 SHRUBS AND GROUND COVERS -
 25% SHALL BE IN 5 GAL CONTAINERS
 THE REMAINDER IN 1 GAL CONTAINERS

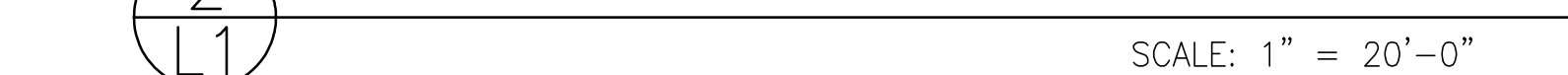
3 STREET EDGE PLANTING GUIDE



4 TREE & SHRUB PLANTING DETAILS



2 PLANTING LAYOUTS



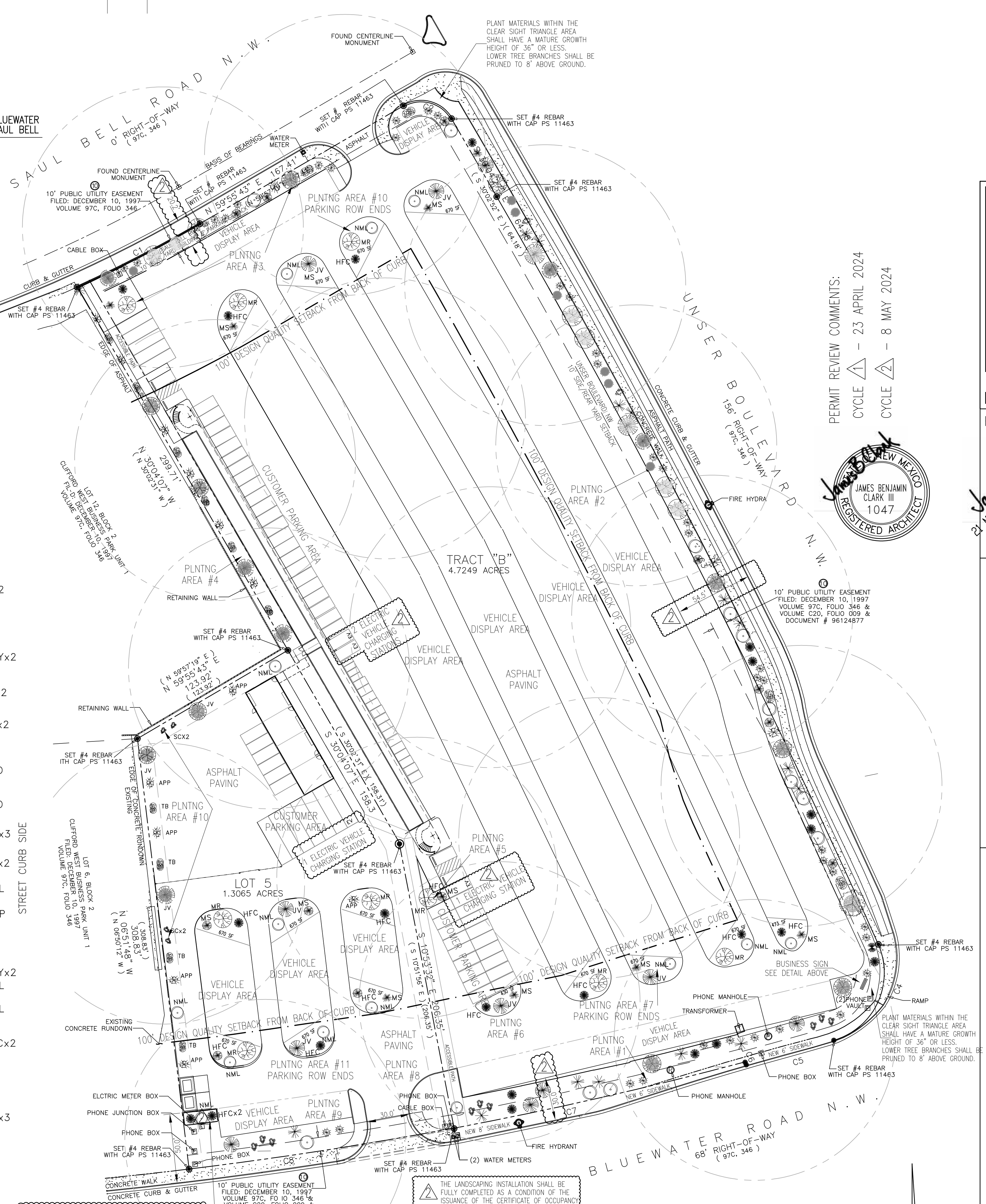
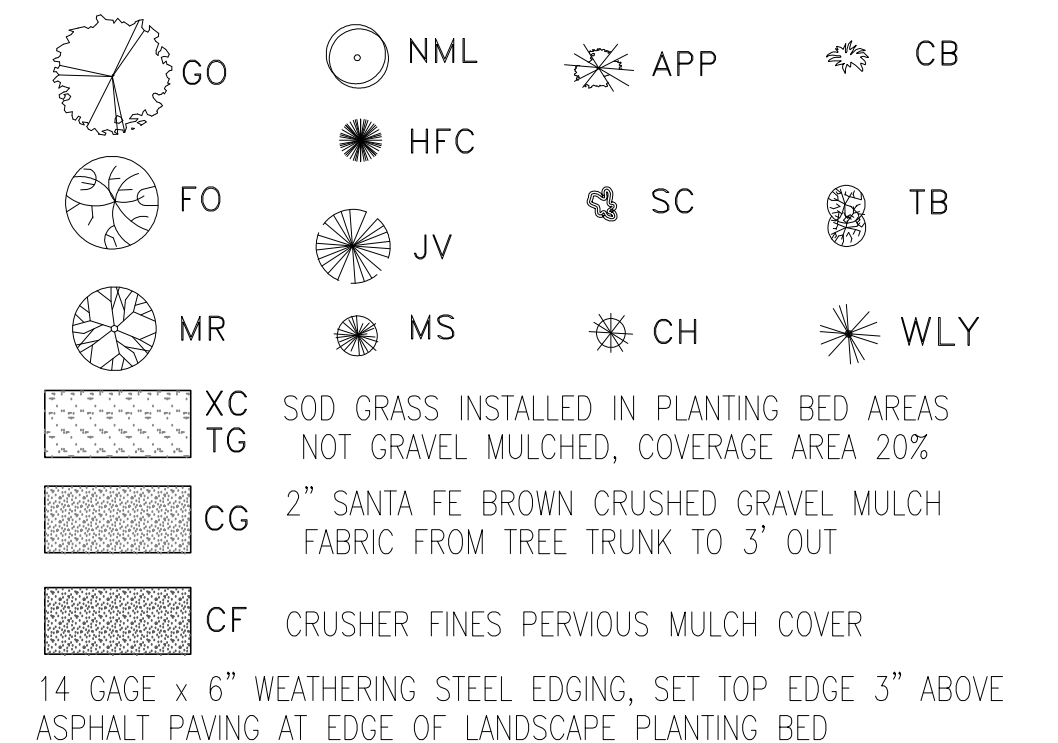
LANDSCAPE CALCULATIONS:

REQUIRED LANDSCAPE AREA	265,427.0 GSF	DECIDUOUS AND EVERGREEN TREES	REQUIRED
GROSS DEVELOPED AREA:	265,427.0 GSF	STREET TREES:	REQUIRED
BUILDINGS TOTAL FOOTPRINT:	5,925.0 GSF	UNSER BOULEVARD: 720 LF @ 1/25 LF =	29
TRACT B DISPLAY AREA:	125,460.0 GSF	SAUL BELL ROAD: 280 LF @ 1/25 LF =	12
NET LOT AREA:	134,039.0 GSF	BLUEWATER ROAD: 520 LF @ 1/25 LF =	21
REQUIRED AREA:	24,127.0 GSF	TOTAL TREES THIS AREA TYPE:	62
LANDSCAPE PROVIDED		PROPERTY LINE TREES:	REQUIRED
AREA 1: 7,602 SF	AREA 8: 827 SF	LOT 5: 429 LF @ 1/80 LF =	29
AREA 2: 13,058 SF	AREA 9: 1,727 SF	TRACT B: 300 LF @ 1/80 LF =	12
AREA 3: 2,801 SF	AREA 10: 3,558 SF	TOTAL TREES THIS AREA TYPE:	41
AREA 4: 2,295 SF	AREA 11: 4,020 SF	PARKING AREAS:	REQUIRED
AREA 5: 248 SF	SUBTOTAL 10,132 SF	LOT 5: 90 SPACES @ 1/10 STALLS =	9
AREA 6: 430 SF	TOTAL PROVIDED: 41,729 SF	TRACT B: 679 SPACES @ 1/10 STALLS =	68
AREA 7: 5,163 SF		TOTAL TREES THIS AREA TYPE:	77
SUBTOTAL 31,597 SF		TOTAL TREES THIS PROJECT:	180

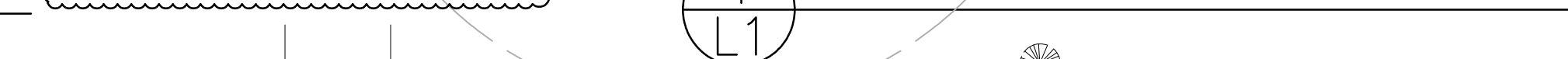
PLANT LIST:

KEY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	HEIGHT x WIDTH	MATURE SIZE	HEIGHT x WIDTH
DECIDUOUS TREES						
GO	GAMBEL OAK	QUERCUS GAMBELI	2.5" CAL x 12"	30" BOX / BB	25 x 25	
FO	FRUITLESS OLIVE	OLEA EUROPAEA	2.5" CAL x 12"	MULCH-TRUNK / BB	25 - 20	
MR	MEXICAN REDJUD	CERCIS MEXICANA	2" CAL x 10"	30" BOX / BB	15 x 12	
NML	NEW MEXICO LOGJIST	ROBINIA NEOMEXICANA	2" CAL x 10"	30" BOX / BB	15 x 10	
EVERGREEN TREES						
HFC	HENRI FALSE CYPRESS	CHAMAECYPARIS OBUSA GRACILIS	2.5" CAL x 12"	30" BOX / BB	15 x 8	
JV	JUNIPER VIRGINIANA	JUNIPERUS VIRGINIANA	2.5" CAL x 12"	30" BOX / BB	20 x 10	
MS	MONTGOMERY SPRUCE	PICEA MONTGOMERYI	2.5" CAL x 12"	30" BOX / BB	8 x 6	
SHRUBS						
APP	ARJIS PLUME	FALLUISA PARVIFLORA	MIN 24" HGT	5 GAL	4 x 4	
SC	SHRUBBY CONJUGIFOL	POTENTILLA FRUTICOSA	MIN 24" HGT	5 GAL	3 x 3	
CH	DWARF CHAMISA	CHRYSOTHAMNUS NAUSEOSUS	MIN 24" HGT	5 GAL	2 x 2	
CB	DWARF COYOTE BUSH	BACCHARIS PILULARIS	MIN 8" HGT	5 GAL	1.5 x 3	
TB	THOMPSON BROOM	BACCHARIS STARNIS	MIN 8" HGT	5 GAL	2 x 5	
WLY	WEAK LEAF YUCCA	YUCCA FLACIDA	MIN 12" HGT	5 GAL	2 x 5	
SOD GRASS						
XC	XERISCAPE CLOVER	High Country Clover, Albuquerque	1 lb Seed/800 SF		Varies	
TG	TEMPLE GRASS	ZOYSIA TENUIFOLIA	50' North & West of Corner Measurement Sign	MATURE SOD	10 CM HEIGHT	

PLANT MATERIALS SYMBOLS



1 LANDSCAPE PLAN - TRACT B



MASTERWORKS ARCHITECTS, INC
 1809 ILLINOIS ST NE 242-1866
 ALBUQUERQUE, NEW MEXICO 87110
 ©MWA, Inc 2023

FILE # 2317G-SITE
 10 MAY 2024

JAMES BENJAMIN CLARK III
 REGISTERED ARCHITECT
 1047

CONSTRUCTION OF NEW FACILITY FOR
D&B U-SELL-IT
 ALBUQUERQUE, NM 87121

LANDSCAPE PLAN - TRACT B
 DEVELOPMENT REQUIREMENTS
 NOTES & DETAILS

L1

PERMIT REVIEW COMMENTS:
 CYCLE 1 - 23 APRIL 2024
 CYCLE 2 - 8 MAY 2024

JAMES BENJAMIN CLARK III
 REGISTERED ARCHITECT
 1047

JAMES BENJAMIN CLARK III
 REGISTERED ARCHITECT
 1047

PLANT MATERIALS SHALL HAVE A MINIMUM MATURE GROWTH HEIGHT OF 8' OR MORE TO PROVIDE CONCEALMENT OF THE DUMPSTER ENCLOSURE WALL AND NOT VIOLATE THE ELECTRICAL EQUIPMENT ACCESS CLEARANCES.

THE LANDSCAPING INSTALLATION SHALL BE FULLY COMPLETED AS A CONDITION OF THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

Location

Tract 5/Block 2 and Tract B, Clifford West Business, Unit 1 is located at the northwest corner of Unser Blvd. NW and Bluewater Rd. NW. See attached portion of Vicinity Map K-10-Z for exact location.

Purpose

The purpose of this drainage report is to present a grading and drainage solution for the proposed development.

Existing Drainage Conditions

This falls within the Master Drainage Plan K09/D023 prepared by Mark Goodwin and Associates. The site drains from north to south and west to Bluewater. There are two existing inlets on Blue Water Rd. close to the Unser Blvd. The site does not fall within a designated floodplain.

Proposed Conditions and On-Site Drainage Management Plan

Based on the Master Drainage Plan K09/D023 prepared by Mark Goodwin and Associates the total allowable discharge for Tract 5 is 1.01 cfs and Tract B is 2.91 cfs. Therefore, the runoff is being detained on site and discharge at the allowable rates.

Tract B drains to a ponding area to the south and discharges to back of sidewalk culvert at a flow rate of 2.61 cfs (which is less than the allowable discharge rate of 2.91 cfs) through a 0.88'x0.50' opening in the wall to Blue Water Rd. The runoff backs up into the parking lot during the detention period. Part of the pond is retention to meet the first flush volume ponding requirement.

Tract 5 drains to a ponding area to the south as well and discharges towards the entrance and out to Blue Water Rd. at a flow rate of 0.88 cfs (which is less than the allowable discharge rate of 1.01 cfs) through a 0.67'x0.33' opening. The runoff backs up into the parking lot during the detention period. Part of the pond is retention to meet the first flush volume ponding requirement. See Sheet 2 for ponding and runoff calculation using AHYMO. All the runoff which discharges onto Blue Water Rd. from this project will drain west to two existing inlets.

First flush ponding volume provided for Tract 5 is 1,825.20 cf which more that required volume of 1,792.36 cf. First flush ponding volume provided for Tract B is 6,531.07 cf which more that required volume of 6,483.25 cf.

FIRST FLUSH VOLUME CALCULATION

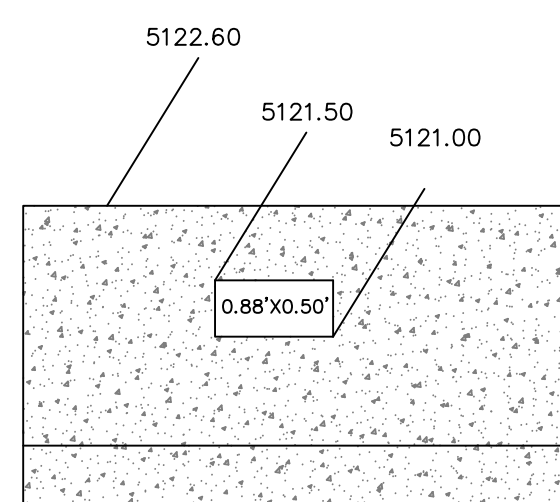
Tract 5 First Volume requirement = $(0.42/12 * 185,235.70) = 6,486.25$ CF

Tract B First Volume requirement = $(0.42/12 * 51,221.03) = 1,792.74$ CF

VOLUME CALCULATIONS FOR STORM WATER QUALITY PONDS

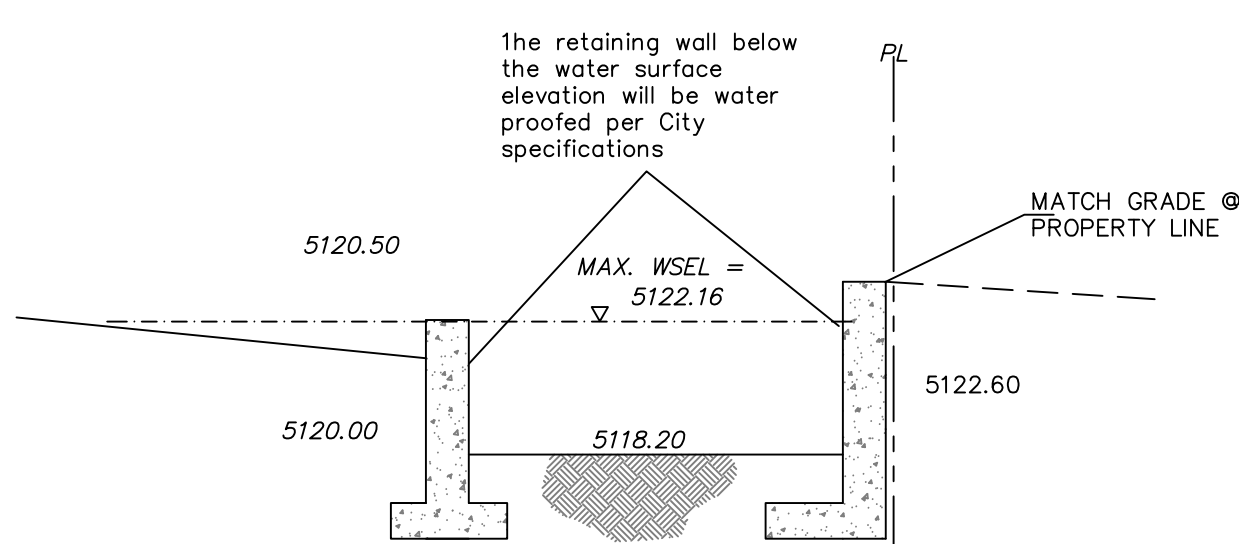
TRACT 5
 BOTTOM AREA = 1,352.00 SF
 TOP AREA = 1,352.00 SF
 DEPTH = 1.35'
 POND VOLUME = 1,352.00 X 1.35
 POND VOLUME = 1,825.20 CF

TRACT B
 BOTTOM AREA = 2,721.28 SF
 TOP AREA = 2,721.28 SF
 DEPTH = 2.40'
 POND VOLUME = 2,721.28 X 2.40
 POND VOLUME = 6,531.07 CF

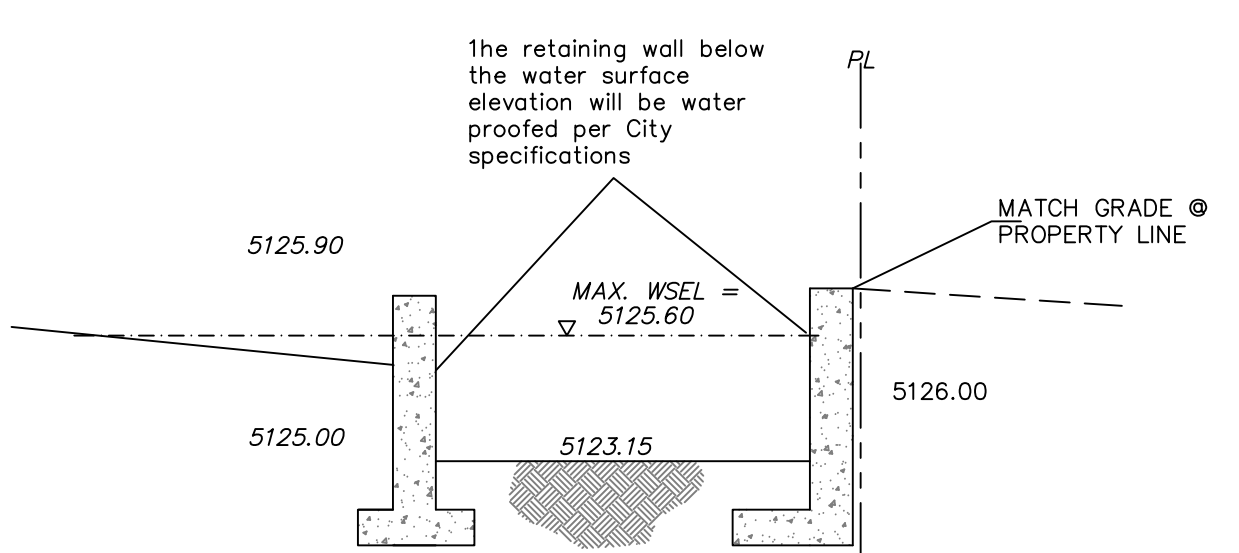


TYPICAL WALL OPENING

More details will be provided at the time of wall permitting

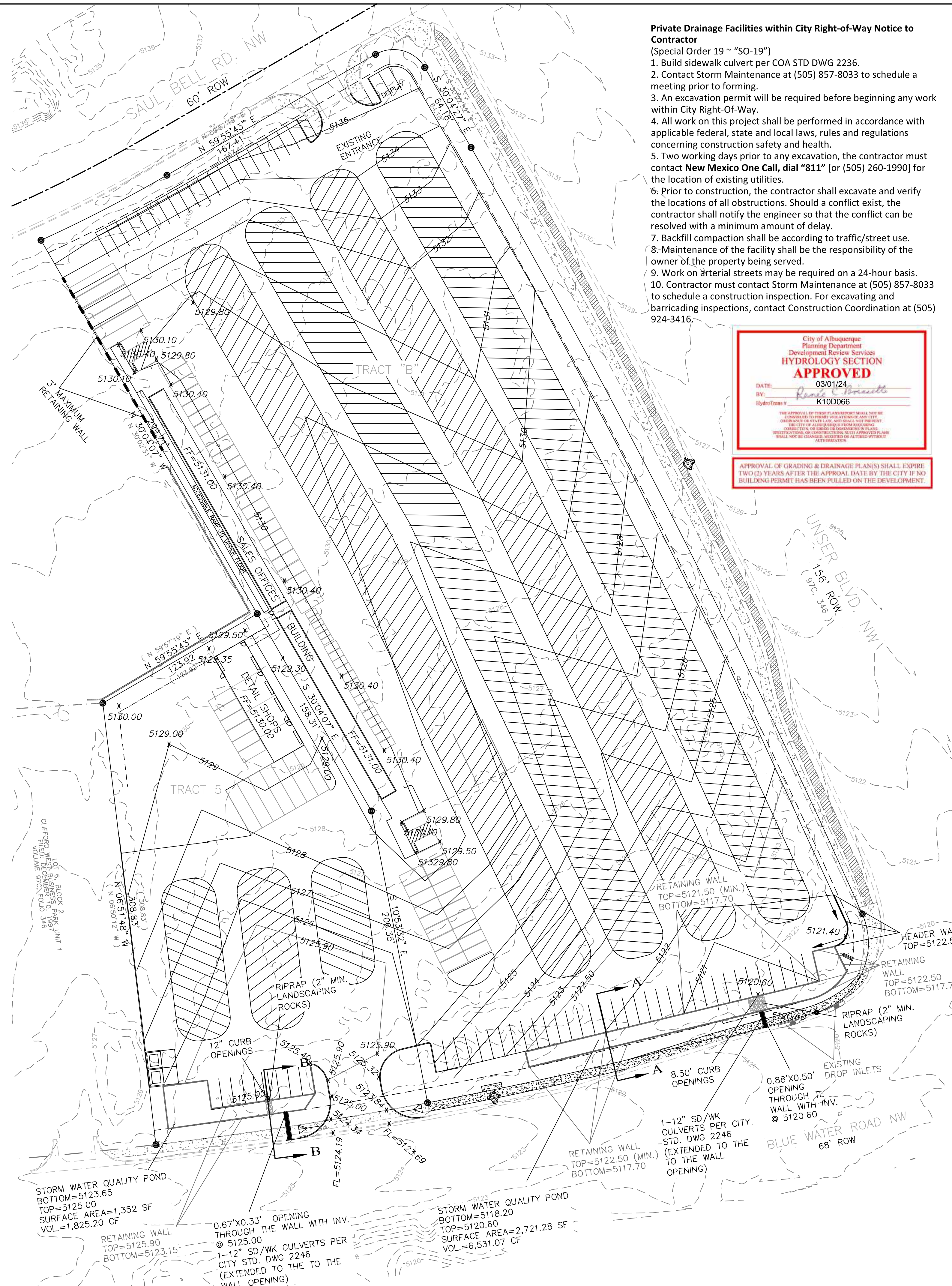


SECTION A-A



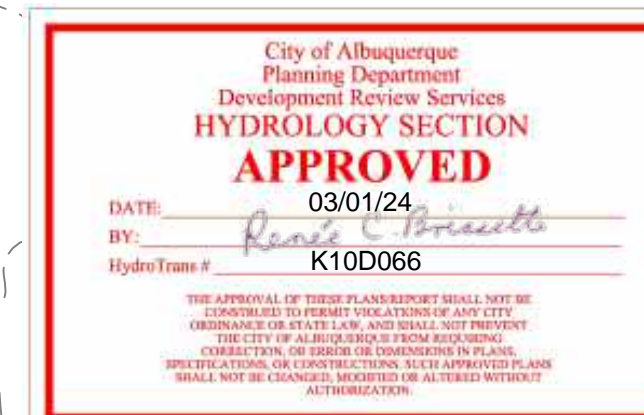
SECTION B-B

GRAPHIC SCALE

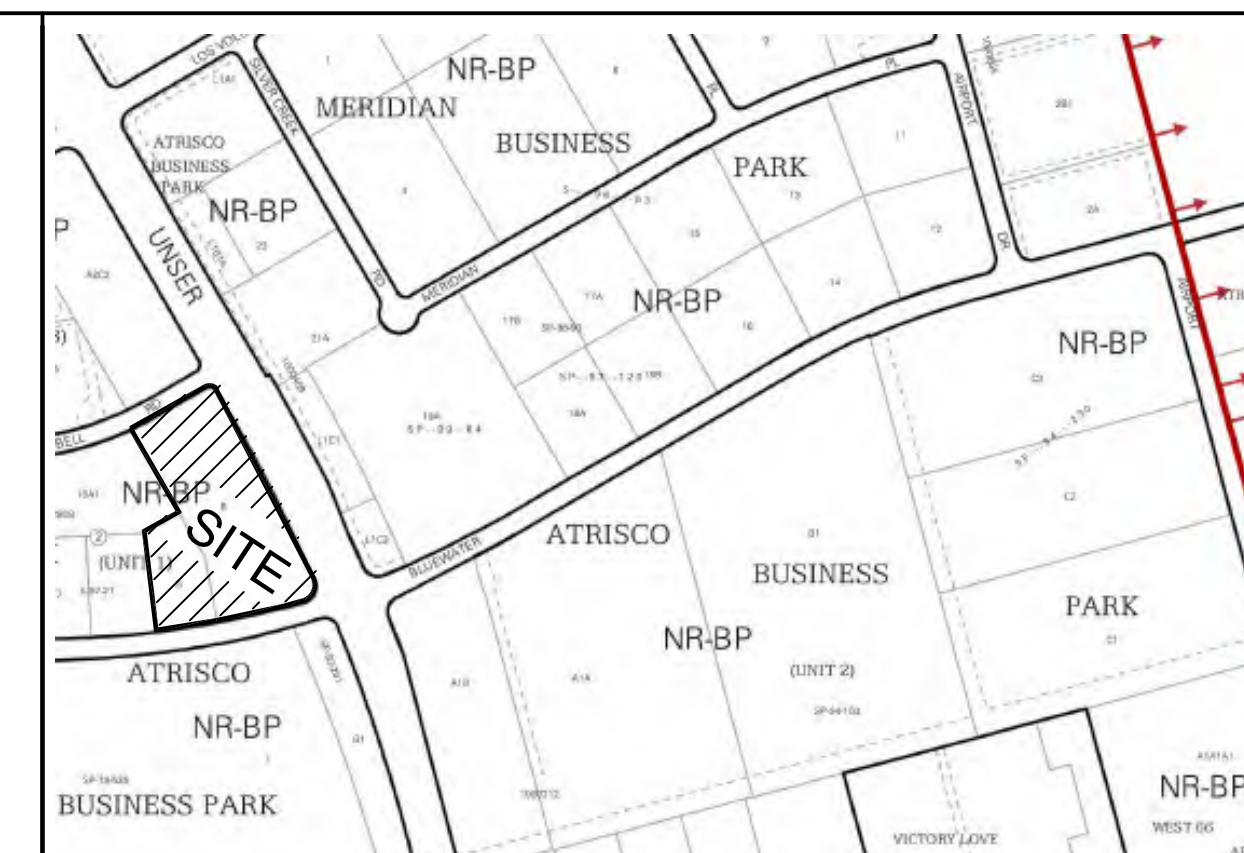


Private Drainage Facilities within City Right-of-Way Notice to Contractor

1. Build sidewalk culvert per COA STD DWG 2236.
2. Contact Storm Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
3. An excavation permit will be required before beginning any work within City Right-Of-Way.
4. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
5. Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" or (505) 260-1990 for the location of existing utilities.
6. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
7. Backfill compaction shall be according to traffic/street use.
8. Maintenance of the facility shall be the responsibility of the owner of the property being served.
9. Work on arterial streets may be required on a 24-hour basis.
10. Contractor must contact Storm Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.



APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



VICINITY MAP: K-10-Z



FIRM MAP: 35001C0328J

LEGAL DESCRIPTION:
 TRACTS 5/BLK 2 AND TRACT B
 CLIFFORD WEST BUSINESS PARK, UNIT 1
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

LEGEND

— 5030 —	EXISTING CONTOUR (MAJOR)
— 5029 —	EXISTING CONTOUR (MINOR)
---	BOUNDARY LINE
x 5242.70	PROPOSED SPOT ELEVATION
x 5029.16	EXISTING GRADE
x FL=5075.65	EXISTING FLOWLINE ELEVATION
— —	PROPOSED RETAINING WALL
BC=41.30	BOTTOM OF CHANEL
TF=42.00	TOP OF FOOTING
TRW=45.12	TOP OF RETAINING WALL
HP	HIGH POINT
42.40	AS-BUILT GRADES
42.40	AS-BUILT SPOT ELEVATIONS



SBS CONSTRUCTION AND ENGINEERING, LLC

7632 WILLIAM MOYERS AVE., NE
 ALBUQUERQUE, NEW MEXICO 87122
 (505) 804-5013
 EMAIL: AECLC@AOL.COM

RUNOFF AND PONDING CALCULATIONS
TRACTS 5/BLK 2 AND TRACT B
CLIFFORD WEST BUSINESS PARK, UNIT 1

DRAWING: BLUEWATER.DWG	DRAWN BY: SH-B	DATE: 2/22/2024	SHEET # 1 OF 2
---------------------------	-------------------	--------------------	-------------------

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 30, 2024

Shahran Biazar
SBS Construction and Engineering, LLC
7632 William Moyers Ave. NE
Albuquerque, NM 87112

Re: D & B U-SELL-IT
8531 Bluewater Rd. NW
Traffic Circulation Layout
Engineer's Stamp 04-22-24 (K10-D066)

Dear Mr. Biazar,

The TCL submittal received 04-24-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

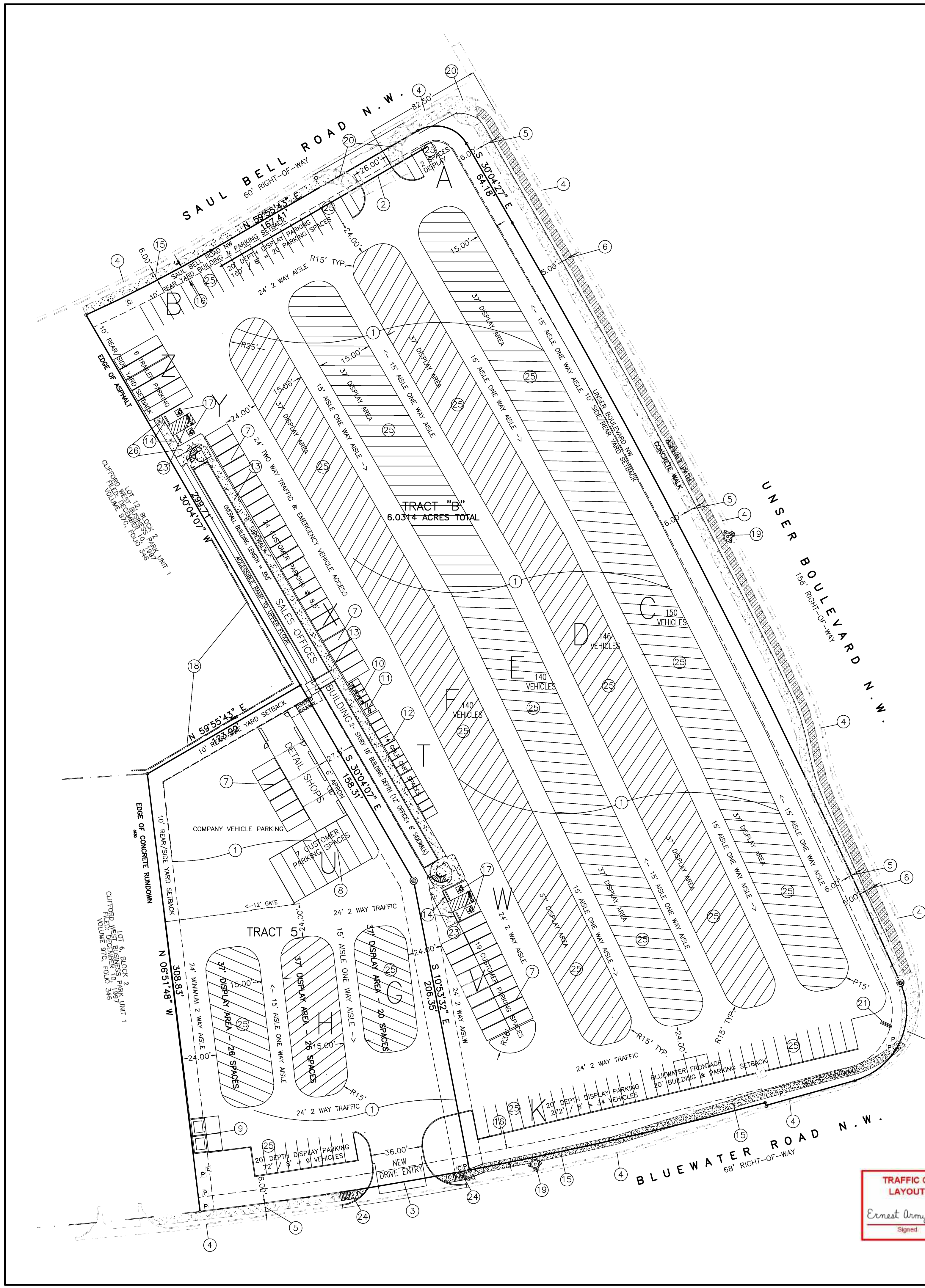
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



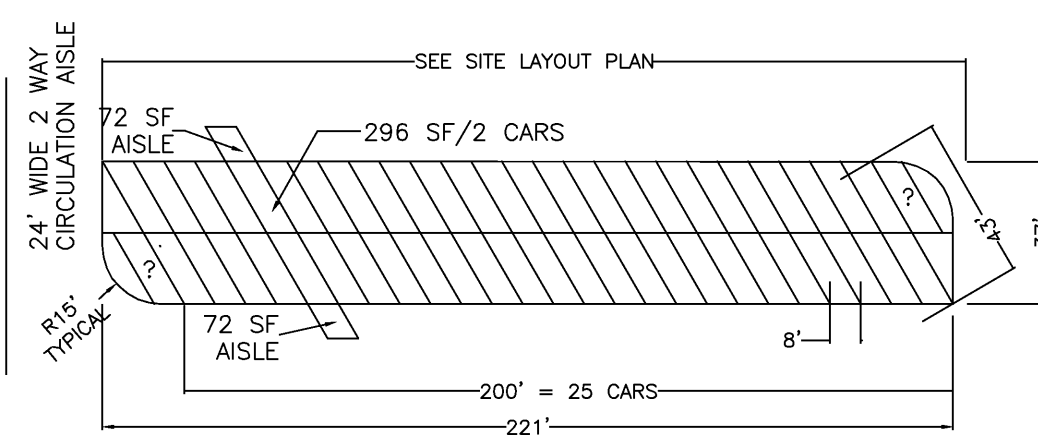
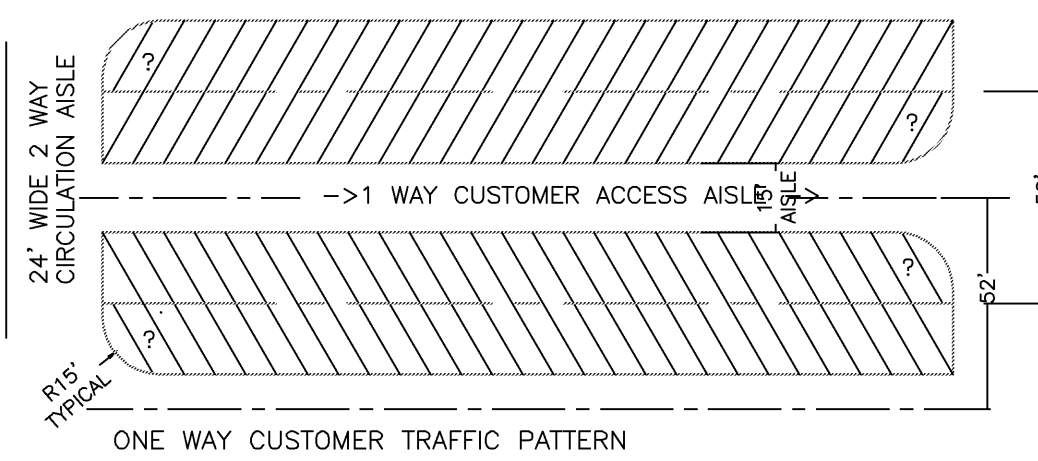
LEGEND

---	BOUNDARY LINE
- - - -	EASEMENT LINE
---	EXISTING OVERHEAD UTILITY
---	EXISTING CURB & GUTTER
-x-x-x-x-	EXISTING CHAIN LINK FENCE
---	EXISTING SIDEWALK
---	EXISTING FIRE HYDRANT
---	EXISTING WATER SERVICE
---	EXISTING DROP INLET
---	PROPOSED SIDEWALK

- KEYED NOTES:**
- ASPHALT PAVING AREA, TYP., 3" ASPHALT OVER COMPACTED SUBGRADE.
 - EXISTING 26.00' DRIVEWAY.
 - NEW DRIVEWAY PER COA STD DWG.#2426.
 - EXISTING CURB & GUTTER.
 - EXISTING 6.00' SIDEWALK.
 - EXISTING 5'.00' ASPHALT PATH.
 - 8.50' WIDE X 18' DEEP CUSTOMER PARKING SPACES, TYP.
 - 9.00' WIDE X 35.50' DEEP PARKING SPACES, TYP.
 - NEW TRASH ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS
 - NEW MOTORCYCLE PARKING (4'X8' MIN.). MC MARKING SHOULD BE SHOWN ON THE OPPOSITE DIRECTION OF MOTORCYCLE ENTERING THE PARKING. INSTALL MOTORCYCLE PARKING SIGN, EITHER WALL MOUNTED OR FREE STANDING.
 - BICYCLE RACK (MIN. 3 BICYCLES). SEE PAGE 2 OF 2 FOR DETAIL.
 - GOLF CART PARKING.
 - NEW 6.00' WIDE SIDEWALK,
 - INSTALL HANDICAP SIGN PER COA STANDARDS, MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978, "VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING"
 - NEW 6.00' WIDE SIDEWALK PER COA STD. DWG. #2430.
 - EXISTING 10.00' PUBLIC UTILITY EASEMENT.
 - HC PARKING 8.50' WIDE X 18' DEEP, TYP.
 - EXISTING RETAINING WALL.
 - EXISTING FIRE HYDRANT.
 - EXISTING HC RAMP. IT MUST BE UPDATED TO CURRENT STANDARDS AND HAVE TRUNCATED DOMES.
 - PROPOSED PROJECT SIGN.
 - CLEAR SIGHT TRIANGLE. DISTANCE TO RIGHT 160', DISTANCE TO LEFT 350'.
 - INSTALL WORD "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST 2" WIDE PLACED AT THE REAR OF PARKING SPACES.
 - UNI-DIRECTIONAL RAMP PER COA STD DWG #2440. SEE DETAIL ON PAGE 2 OF 2.
 - CAR DISPLAY AREA, TYP.
 - 6.00' WIDE SIDEWALK ADA ACCESS TO THE BUILDING. SEE DETAIL ON PAGE 2 OF 2.
 - CLEAR SIGHT TRIANGLE. DISTANCE TO RIGHT 160', DISTANCE TO LEFT 260'.

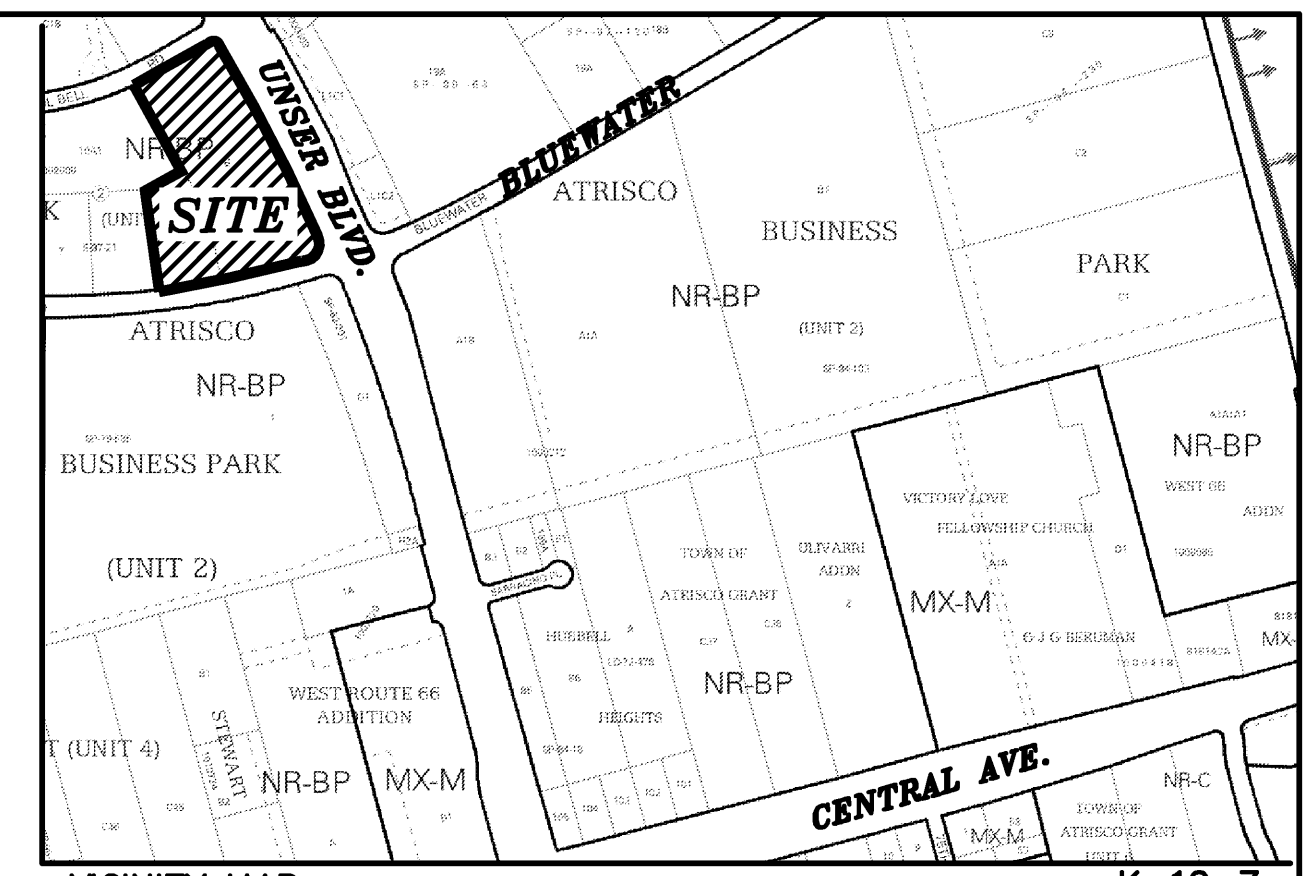
TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Arroyo 4/30/2024
Signed Date



DISPLAY GROUND AREA FOR 1 VEHICLE = 220 SF
TOTAL GROUND AREA FOR 650 VEHICLES = 143,000 SF ~ 3.36 ACRES
THIS EXISTING ROW PROVIDES 50 VEHICLE DISPLAY SPACES

TYPICAL VEHICLE DISPLAY LAYOUT



LEGAL DESCRIPTION:
TRACT "B" & LOT 5 BLK 2, CLIFFORD WEST BUSINESS PARK - UNIT 1 CONTAINING 7.3379 ACRES (319,639.80 SF)

ADDRESS
8531 BLUEWATER RD., NW, ALBUQUERQUE, NM 87102

SITE DATA
PROPOSED USAGE: AUTO DEALER AND CAR RELATED SERVICES

BUILDINGS

TWO STORY OFFICE BUILDING	
40 PRIVATE OFFICES 11'x13'	5,720 SF
ADMINISTRATIVE SUPPORT AREAS	2,032 SF
OFFICE BUILDING FLOOR AREA	7,752 SF
SHOP BUILDING	
3 SERVICE BAYS 20'x24'	1,440 SF
1 SERVICE BAYS 24'x24'	576 SF
SHOP BUILDING FLOOR AREA	2,016 SF
TOTAL BUILDINGS FLOOR AREA	9,768 SF

PARKING CALCULATIONS

BUILDINGS	I.D.O. REQUIRED	PROVIDED	KEYED AREAS
OFFICE BUILDING	26 VEHICLES	47 VEHICLES	Z, X, V
SHOP BUILDING	3 VEHICLES	7 VEHICLES	U
ACCESSIBLE SPACES	1 STANDARD	2 STANDARD	Y, W
	1 VAN	2 VANS	
TOTAL CUSTOMER SPACES	31 VEHICLES	58 VEHICLES	
OTHER VEHICLES			
MOTORCYCLES	2 SPACES	4 SPACES	T
BICYCLES	3 SPACES	4 SPACES	
GOLF CARTS	-0-	14 SPACES	

DISPLAY PARKING COUNT

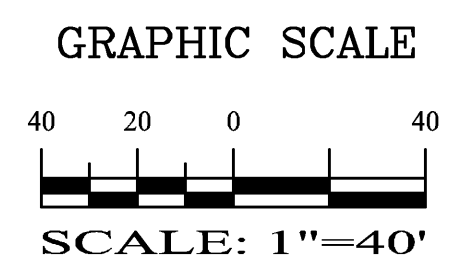
AREA	VEHICLES	KEYED AREAS
EAST AREA		
CENTER DISPLAY AREA	576 VEHICLES	C, D, E, F
NORTH EDGE DISPLAY AREA	22 VEHICLES	A, B
SOUTH EDGE DISPLAY AREA	34 VEHICLES	K
WEST AREA		
CENTER DISPLAY AREA	72 VEHICLES	G, H, I
SOUTH WEST EDGE	11 VEHICLES	J
TOTAL DISPLAY VEHICLES	715 VEHICLES	
DISPLAY SPACES REQUESTED	650 VEHICLES	



SBS CONSTRUCTION AND ENGINEERING, LLC

REZA AFAQHPOUR
P.E. #11814

7632 WILLIAM MOYERS AVE. NE
ALBUQUERQUE, NEW MEXICO 87122
(505)804-5013



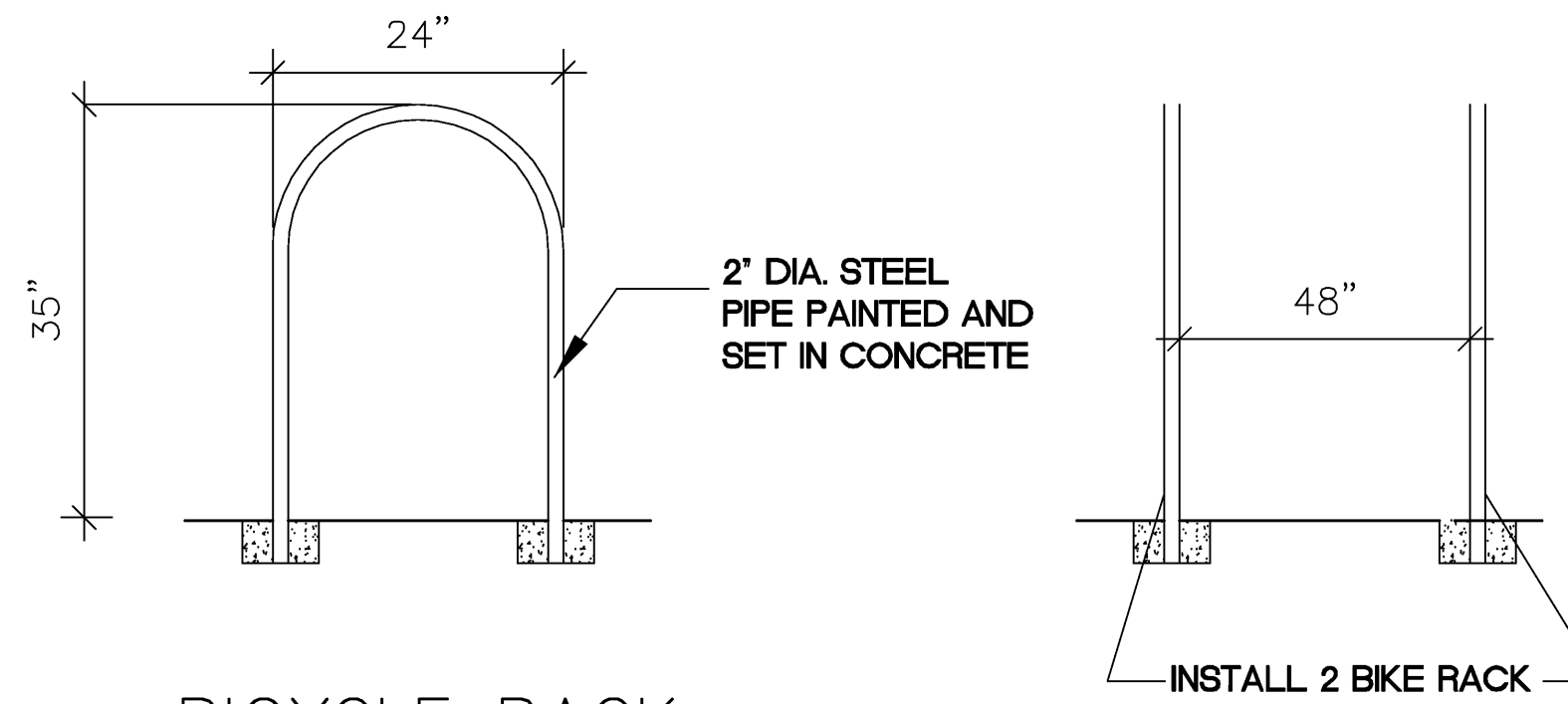
D&B U-SELL-IT SITE PLAN FOR TCL

DRAWING:	DRAWN BY:	DATE:	SHEET #
202332-SP.DWG	SH-B	01-3-2024	1 OF 2

GENERAL NOTE:

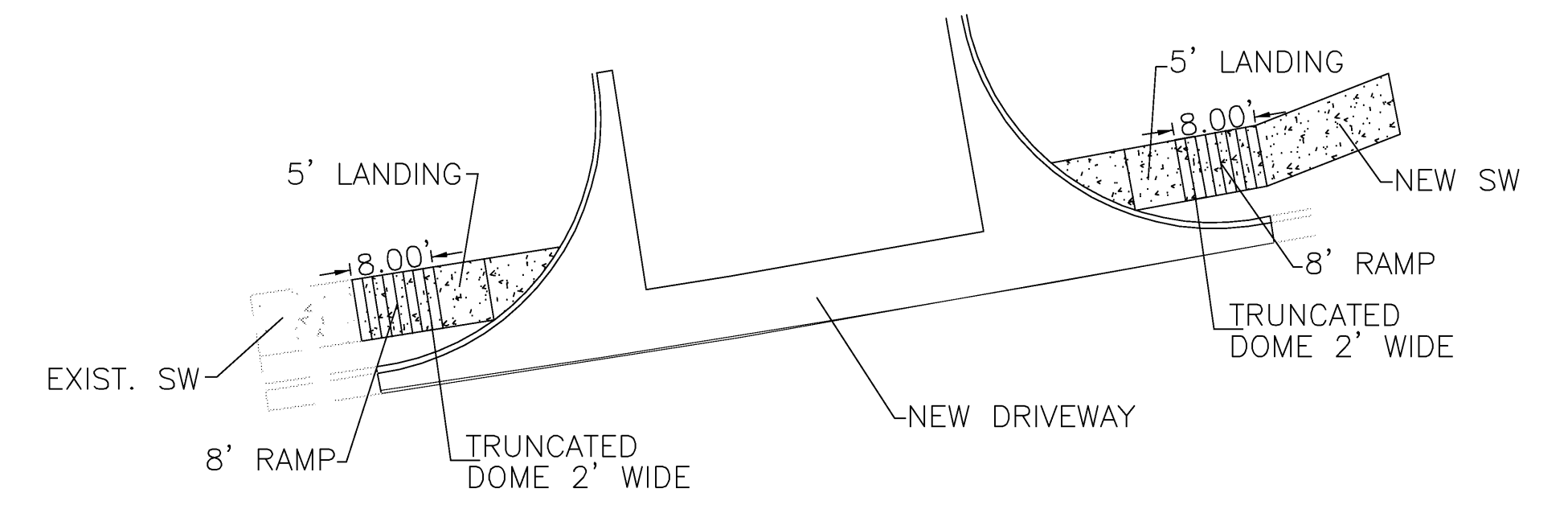
- 1) ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK PER COA STD DWG# 2430.
- 2) ALL BROKEN OR CRACKED CURB & GUTTER MUST BE REPLACED WITH NEW CURB & GUTTER, COA STD DWG. #2415A.
- 3) ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPLACED WITH NEW SIDEWALK, COA STD DWG. #2430.
- 4) LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. PLEASE SEE SIGHT DISTANCE EXHIBIT AT STREET INTERSECTIONS FOR CLARIFICATION (THE DEVELOPMENT PROCESS MANUAL, CHAPTER 23, PART B, SECTION 5. A.
- 5) ALL THE IMPROVEMENTS WITHIN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER. PLANS MUST BE SUBMITTED TO DRC FOR APPROVAL AND OBTAIN WORK ORDER FOR CONSTRUCTION.

**TRAFFIC CIRCULATION
LAYOUT APPROVED**
 Ernest Armijo 4/30/2024
 Signed Date

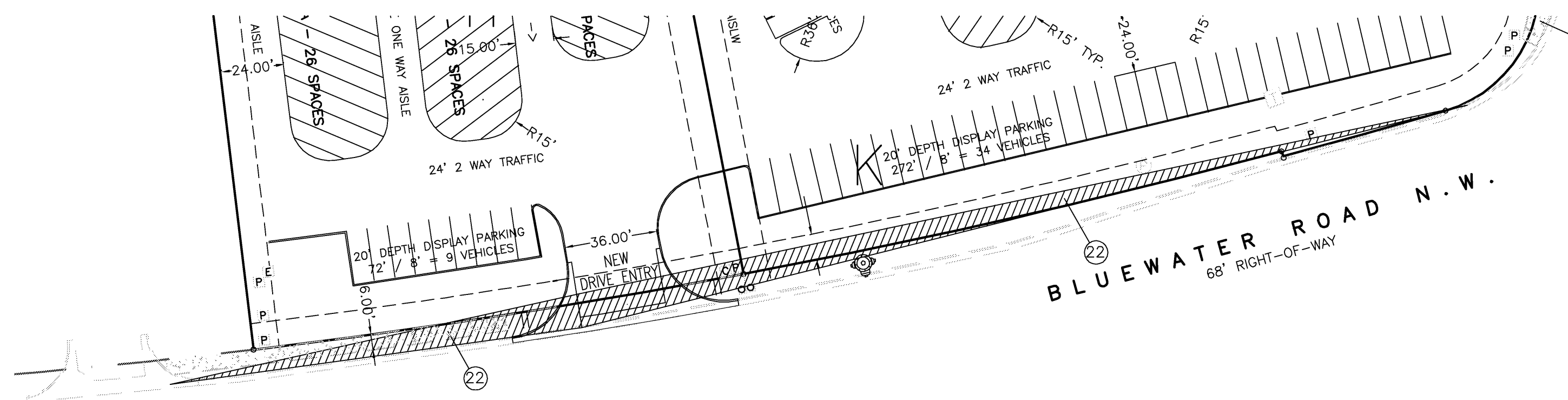


BICYCLE RACK
N.T.S.

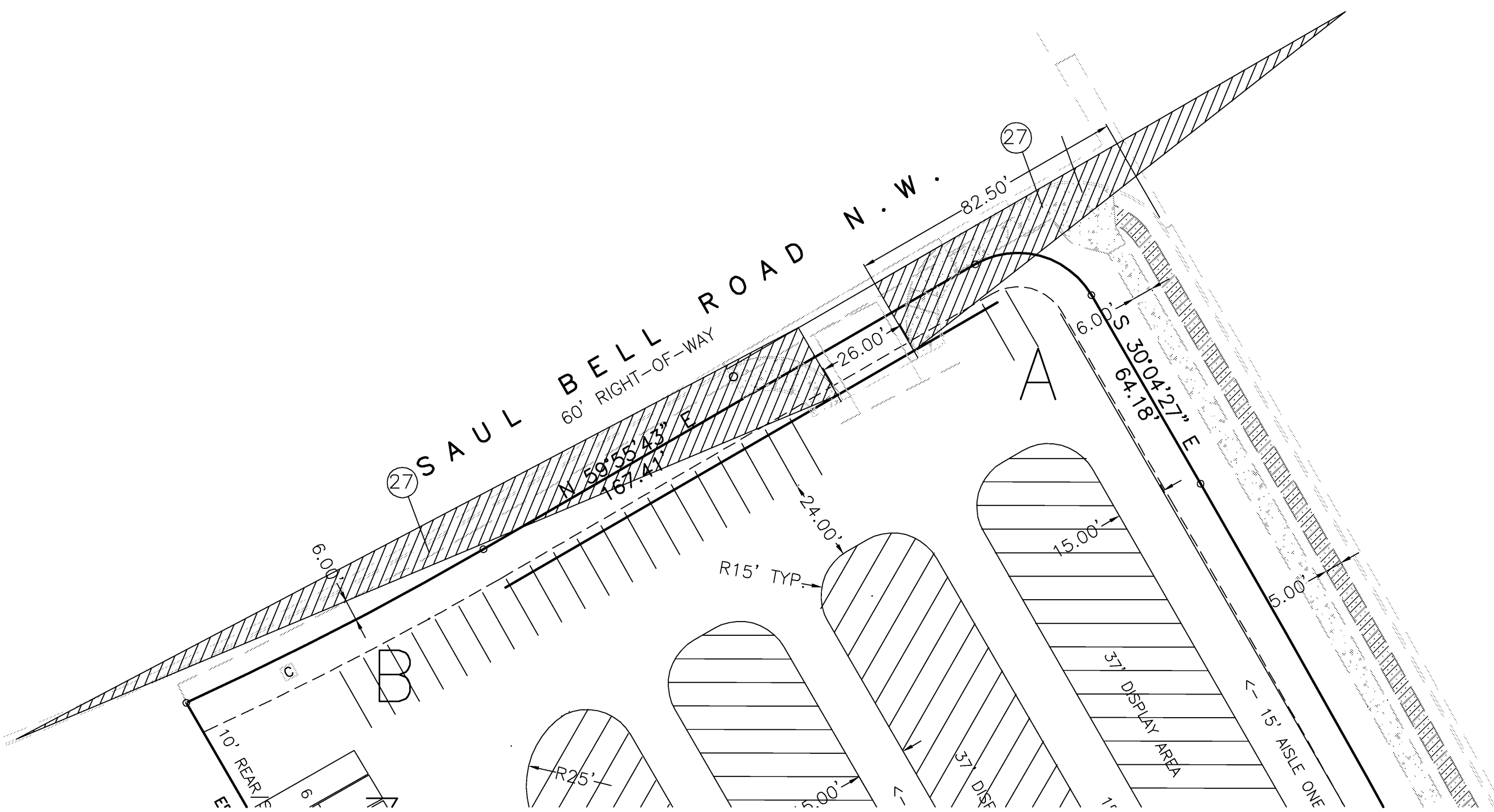
BICYCLE RACK DETAIL



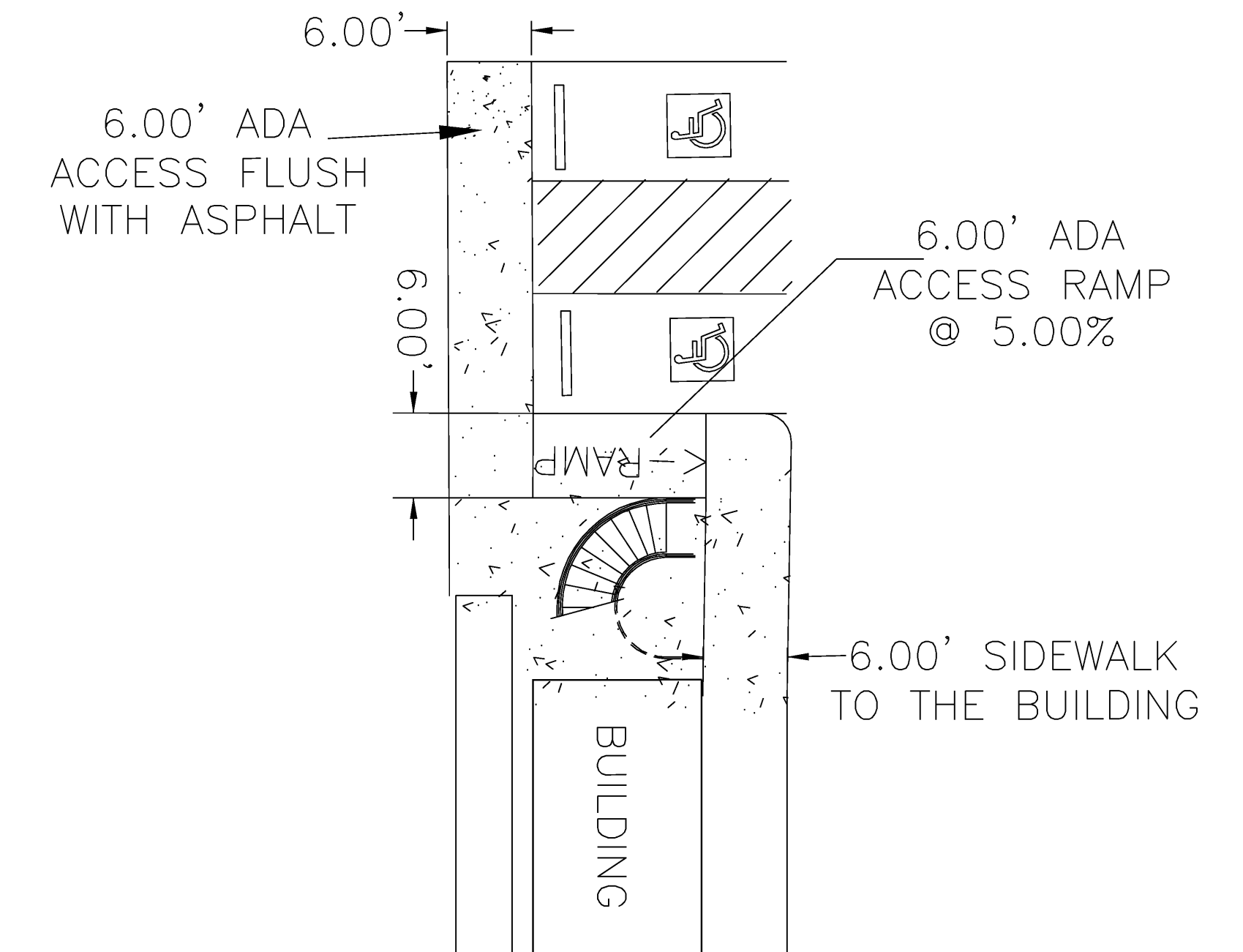
BLUEWATER DRIVEWAY W.C. RAMP DETAIL



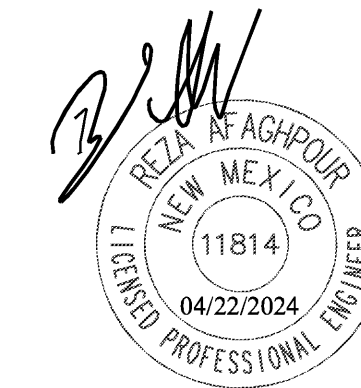
CLEAR SIGHT TRIANGLE BLUEWATER



CLEAR SIGHT TRIANGLE SAUL BELL



6.00' ADA ACCESS DETAIL



REZA AFAQHPUR
P.E. #11814

**SBS CONSTRUCTION
AND ENGINEERING, LLC**

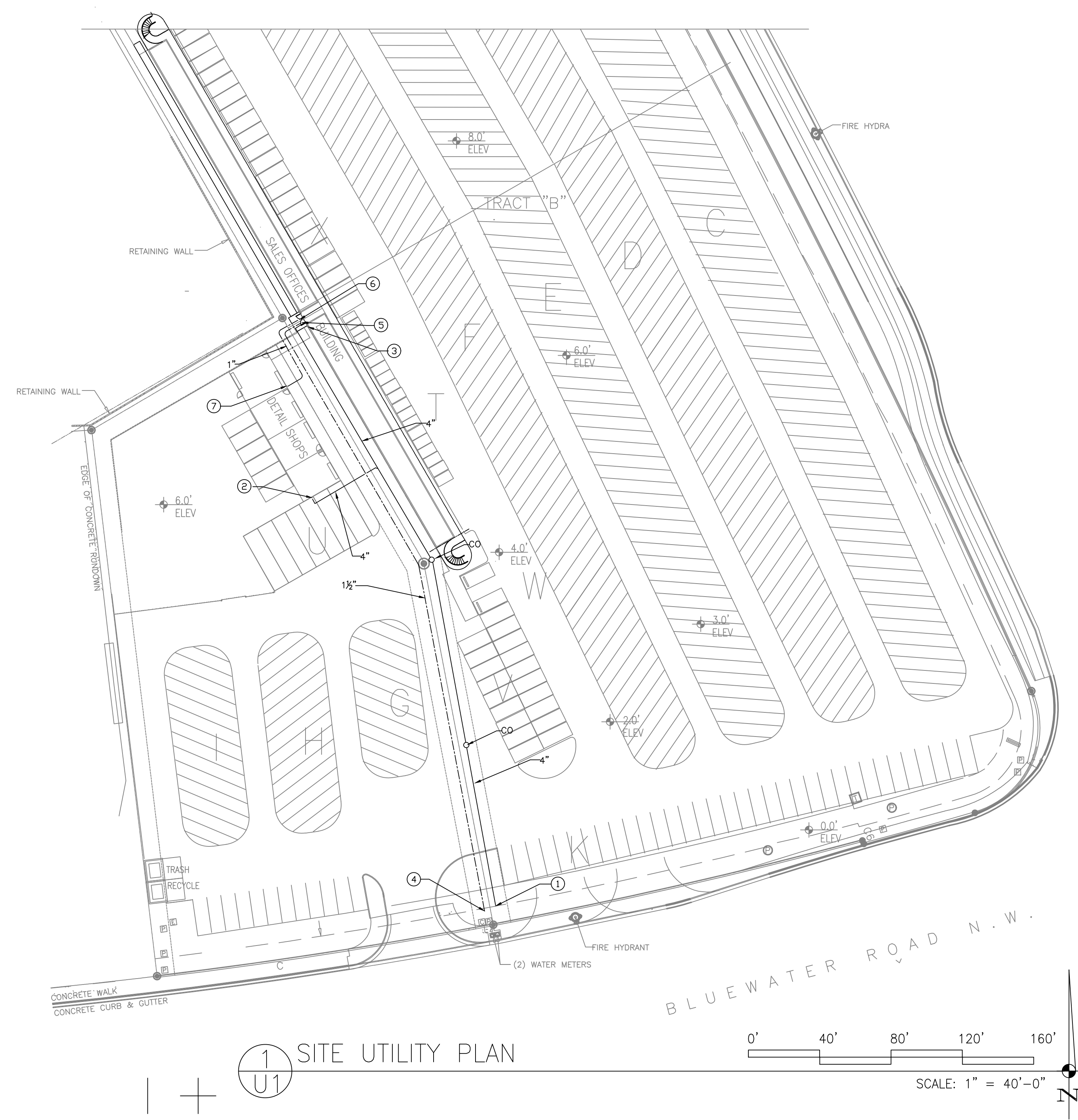
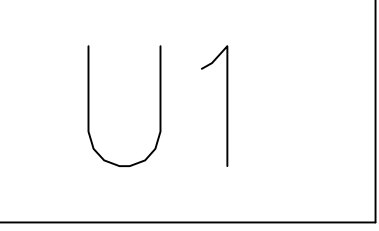
7632 WILLIAM MOYERS AVE. NE
ALBUQUERQUE, NEW MEXICO 87122
(505)804-5013

GRAPHIC SCALE



**D&B U-SELL-IT
SITE PLAN FOR TCL**

DRAWING:	DRAWN BY:	DATE:	SHEET #
202332.SP.DWG	SH-B	01-3-2024	2 OF 2



- SPECIFIC NOTES**
- ① 4" WASTE LINE TO EXISTING SITE SEWER STUB-IN. VERIFY SIZE AND LOCATION.
 - ② 4" WASTE LINE FROM DETAIL BUILDING. SEE SHEET MP2 FOR CONTINUATION.
 - ③ 4" WASTE LINE FROM OFFICE BUILDING. SEE SHEET MP1 FOR CONTINUATION.
 - ④ CONNECT NEW 1 1/2" CW TO EXISTING 1" WATER METER. VERIFY SIZE AND LOCATION.
 - ⑤ 1 1/2" CW TO OFFICE BUILDING. SEE SHEET MP1 FOR CONTINUATION.
 - ⑥ 1" CW TO OFFICE BUILDING. SEE SHEET MP1 FOR CONTINUATION.
 - ⑦ 1" CW TO DETAIL BUILDING. SEE SHEET MP2 FOR CONTINUATION.

① SITE UTILITY PLAN

SCALE: 1" = 40'-0"

#1003057
 (CORRECTED 2-22-11)

PROJECT NAME: [Blank]

SLNB ARCHITECTS, INC.
 1000 WEST 12TH AVENUE, SUITE 100
 DENVER, COLORADO 80202
 TEL: 303.733.1100

MASTER DEVELOPMENT PLAN
 CLIFFORD WEST BUSINESS PARK
 14500 BOULVARD NW, ALBUQUERQUE, NM

REVISED: 28 AUG 07
 31 JUL 07
 SHEET: A

NOTICE: THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT ACCEPTS ALL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED AND THE RESULTS OF THE DESIGN. THE ARCHITECT ASSUMES NO LIABILITY FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT.

FILE NO. 08-10-10-01
 DESIGN DATE: 8-22-05
 DESIGNER: [Signature]

NOTES:
 1. SEE ALL SHEETS FOR COMPLETE INFORMATION.
 2. ALL DIMENSIONS ARE IN FEET AND INCHES.
 3. FINISH GRADES ARE SHOWN ON ALL SHEETS.
 4. ALL UTILITIES ARE TO BE DELETED OR RELOCATED AS SHOWN ON THIS PLAN.
 5. ALL EXISTING STRUCTURES ARE TO BE DEMOLISHED AND RECONSTRUCTED AS SHOWN ON THIS PLAN.
 6. ALL NEW CONSTRUCTION IS TO BE CONFORMANT WITH ALL APPLICABLE CODES AND REGULATIONS.



CASE NUMBER: 2-01-11

BY: [Signature]
 DATE: 8-22-05

BY: [Signature]
 DATE: 8-22-05

BY: [Signature]
 DATE: 8-22-05

F PROJECT INFORMATION

PROJECT NAME: [Blank]

CLIENT: [Blank]

DESIGNER: [Blank]

DATE: [Blank]

PHASING PLAN @ 1/8" = 1'-0"



J TYPICAL SITE PLAN NO SCALE

LANDSCAPE NOTES:
 1. ALL PLANTING IS TO BE CONFORMANT WITH ALL APPLICABLE CODES AND REGULATIONS.
 2. ALL PLANTING IS TO BE INSTALLED AND MAINTAINED AS SHOWN ON THIS PLAN.
 3. ALL PLANTING IS TO BE CONFORMANT WITH ALL APPLICABLE CODES AND REGULATIONS.

T DESIGN GUIDELINES

GENERAL DESIGN PRINCIPLES:
 The design of the building and site should be based on the following principles:
 1. The building should be designed to be functional, efficient, and cost-effective.
 2. The building should be designed to be aesthetically pleasing and to blend with the surrounding environment.
 3. The building should be designed to be sustainable and to minimize its impact on the environment.
 4. The building should be designed to be flexible and to accommodate future changes in use.

LANDSCAPE DESIGN PRINCIPLES:
 The landscape design should be based on the following principles:
 1. The landscape should be designed to be functional, efficient, and cost-effective.
 2. The landscape should be designed to be aesthetically pleasing and to blend with the surrounding environment.
 3. The landscape should be designed to be sustainable and to minimize its impact on the environment.
 4. The landscape should be designed to be flexible and to accommodate future changes in use.

ARCHITECTURAL DESIGN PRINCIPLES:
 The architectural design should be based on the following principles:
 1. The building should be designed to be functional, efficient, and cost-effective.
 2. The building should be designed to be aesthetically pleasing and to blend with the surrounding environment.
 3. The building should be designed to be sustainable and to minimize its impact on the environment.
 4. The building should be designed to be flexible and to accommodate future changes in use.

Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. ***The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).***

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.

Section A.

General Site Arrangement and Building Orientation:

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.

Achieved Achieved in Part Evaluated Only

2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.

Achieved Achieved in Part Evaluated Only

3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.

Achieved Achieved in Part Evaluated Only

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Achieved Achieved in Part Evaluated Only

5. Design should allow for natural ventilation as much as possible.

Achieved Achieved in Part Evaluated Only

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Achieved Achieved in Part Evaluated Only

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved Achieved in Part Evaluated Only

8. North facing windows are encouraged as they require little to no shading.

Achieved Achieved in Part Evaluated Only

9. Any west facing building entries and windows should mitigate solar effects.

Achieved Achieved in Part Evaluated Only

Outdoor Elements (Integration):

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved Achieved in Part Evaluated Only

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Achieved Achieved in Part Evaluated Only

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved Achieved in Part Evaluated Only

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Achieved Achieved in Part Evaluated Only

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Achieved Achieved in Part Evaluated Only

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved Achieved in Part Evaluated Only

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved Achieved in Part Evaluated Only

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved Achieved in Part Evaluated Only

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved Achieved in Part Evaluated Only

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project _____ and Application No _____.

James B Clark

1047

Signature of Project Architect/License No.

Signature of Project Landscape Architect/License No.

Section B.

Sun and Shade Analysis requirements in compliance with 5-2(D)(1):

A solar shading analysis shall be submitted with all site plan submittals, except for industrial development and multi-family residential development containing less than 25 units.

The desired outcome is that *summer sun* be shaded at least 50% or more on transparent windows and doors at three peak times on each facade.

The desired outcome is that 75% of *winter sun* should reach transparent windows and doors at noon on each facade.

The submittal shall include sun and shade analysis on elevations of all primary facades with a minimum of four elevations. Screen shots from a program like SketchUp are acceptable.

Summer Sun Analysis

1. Show the effects of summer sun on windows on the following date and times:
 - a. May 21st analysis:
 - 9:00 AM
 - Noon
 - 4:00 PM
 - b. The shading study for May should show the percentage of shading of transparent windows and doors at 9 am and 4 pm. **The desired outcome is that 50% or more of the transparent windows and doors be shaded at 9 am and 4 pm on each façade.**
 - c. The shading study for May should show the percentage of shading of transparent windows and doors at noon. **The desired outcome is for 90% or more of transparent windows and doors be shaded at noon on each façade.**
 - d. Plantings may be modeled and included in the shading analysis. Use the mature size of trees and large shrubs according to the Albuquerque Plant List.
 - e. If no sun is influencing a façade at any of the above times, the graphic should simple state “no solar effect.”

Winter Sun Analysis

2. Show the effects of winter sun on windows on the following date and time:
 - a. November 21st analysis:
 - Noon
 - b. The shading study for November will show the amount of sun reaching the transparent windows or doors and not shaded. **The desired outcome is for 75% of available sun to reach the windows or doors on each facade.**


2-SUPPORTIVE DOCUMENTATION

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 _____ 27 May 2024
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - NA 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - NA 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - NA 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - NAA. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

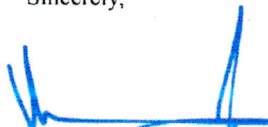
City of Albuquerque
Planning Department
600 Second St NW
Albuquerque, NM 87102

Subject: Agency Agreement

D&B Limited Trust LLC hereby authorizes James B. Clark (or other designated individual) from Masterworks Architects Inc to act as our Agent for the purpose of preparing and submitting documents relating to the development of the properties known as Lot 5 and Tract B of the Clifford West Business Park, Albuquerque, NM.

This Agency Agreement will expire upon the acceptable completion of the work required to obtain City Approval for execution of the proposed property development.

Sincerely,



Signature and Title

3/1/24

Date

1128 Arivolo NW

Albu, NM 87105

Address

City of Albuquerque
Planning Department
600 Second St NW
Albuquerque, NM 87102

RE: Proposed Development for two properties located
in the northwest corner of Unser and Bluewater NW
known as Lot 5, UPC 101005703733820203,
and Tract B, UPC 101005705236020202.

These properties will be developed by the D&B Limited Trust LLC as the new
location for the U-Sell-It vehicle sales company. Each property will be
individually constructed and maintained to allow flexibility in the future
operations of this facility.

The owners Miriam and Mayra Ruiz are successful operators of their existing
business to be relocated to this location.

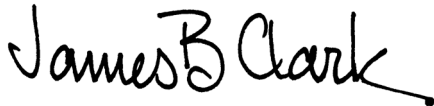
The attached architectural rendering and Site Development Plan illustrate the
work to be done on this property and that it will be in compliance with the
Clifford West Master Development Plan and subsequent requirements.

There will be one building constructed on Lot 5, a single-story 22' tall building
of 2,016 sf. A 7,143 sf 2-story 25' tall Office Building will be constructed on
Tract B. Required customer parking will be provided on each property.

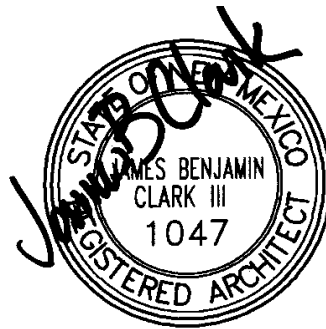
Site Improvements include asphalt paved circulation, customer parking and
vehicle sales display areas. Desert wise interior and perimeter landscaping will
be provided for the entire site.

Please contact me via eMail if I may provide any additional information or
clarification of the content of this Information Notice.

Respectfully submitted,



James B. Clark, President
Masterworks Architects Inc



Encls:

Architectural Rendering
Site Development Plan
Zone Map K-10

Electronic Mailing of Notifications to Neighborhood Associations
USPO Mailing of Notifications to Adjacent Property Owners



MASTERWORKS ARCHITECTS, INC

1809 Illinois St NE · Albuquerque, NM 87110
MWArchitect@comcast.net 505-242-1866

6-5 ADMINISTRATIVE DECISIONS

6-5(A) ARCHAEOLOGICAL CERTIFICATE

All applicable provisions of Section 14-16-6-4 (General Procedures) apply unless specifically modified by the provisions of this Subsection 14-16-6-5(A).

6-5(A)(1) Applicability

This Subsection 14-16-6-5(A) requires an Archaeological Certificate of No Effect or Certificate of Approval to be duly approved prior to approval of any preliminary plat, Site Plan, or Master Development Plan for projects over 5 acres.



6-5(A)(2) Procedure

- 6-5(A)(2)(a) An application for an Archaeological Certificate shall be reviewed by the City Archaeologist to determine whether the proposed development will have an adverse impact on any significant archaeological site.
- 6-5(A)(2)(b) The City Archaeologist shall issue a Certificate of No Effect if there is no adverse impact.
- 6-5(A)(2)(c) If the application does not qualify for a Certificate of No Effect, an application for a Certificate of Approval shall be required. The applicant must submit a treatment plan prepared by a qualified archaeologist that adequately mitigates any archaeological impacts of the development.
- 6-5(A)(2)(d) The City Archaeologist shall review the treatment plan and shall approve or deny the proposed plan within 15 calendar days of its submission. If the plan is approved, a Certificate of Approval shall be issued by the City Archaeologist. If the plan is not approved as submitted, the City Archaeologist shall advise the applicant of the changes needed in the plan for its approval.
- 6-5(A)(2)(e) The Planning Department shall maintain records of project areas that received a Certificate of No Effect or Certificate of Approval.
- 6-5(A)(2)(f) The Planning Director shall require that the treatment plan is included on the applicable infrastructure lists of Preliminary Plats and Site Plans.
- 6-5(A)(2)(g) The Planning Director shall require that any necessary treatment plan is referenced on the first sheet of the Site Plan or Master Development Plan. Implementation of the necessary treatment plan shall be made a condition of approval.

6-5(A)(3) Review and Decision Criteria**6-5(A)(3)(a) Certificate of No Effect**

An application for a Certificate of No Effect shall be approved if it meets any of the following criteria.

1. An archaeological investigation has been conducted on the property, and based on a report prepared by a qualified archaeologist, it has been determined that no significant archaeological site exists on the property. The factual basis necessary to support this determination shall be met through the presentation of an archaeological investigation report prepared in compliance with federal or New Mexico State historic preservation laws and regulations that used a comparable definition for a significant archaeological site. Documentation indicating that the report was accepted by the relevant agency shall accompany the report.
2. The property has been disturbed through previous land use or development to such an extent that there is a substantial reduction in the probability of the continuing existence of any significant archaeological site. It shall be adequate evidence that the property was previously disturbed to such an extent so as to meet this requirement if the property has been graded, demolition has occurred on the property, or the project involves redevelopment or rehabilitation of existing improvements.
3. The informational value of any significant archaeological sites located on the property has been satisfactorily documented through previous archaeological investigation.

6-5(A)(3)(b) Certificate of Approval

1. A Certificate of Approval shall be issued if the proposed site-specific treatment plan accomplishes all of the following:
 - a. Details strategies for the management of the affected archaeological sites.
 - b. Includes standards for further testing, sampling, documentation, data recovery, preservation and protection, analysis, and report preparation.
 - c. Outlines an effective preservation plan or data recovery and documentation plan for those resources that the City Archaeologist has determined to have significant research or other value.
 - d. Provides a schedule for the implementation of the treatment plan.
 - e. Provides a cost estimate for mitigation strategies, including testing, data recovery, curation, and report preparation.

2. In making a decision on the plan, the City Archaeologist shall consider methods to avoid, reduce, or mitigate effects on archaeological resources, including the use of conservation easements, while taking into consideration the needs of the property owner.

3-PUBLIC NOTICE DOCUMENTATION

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING - ADMINISTRATIVE SITE PLAN APPLICATION

All persons making application to the City under the requirements and procedures established by the City Zoning Code (IDO) are responsible for the posting and maintaining of one or more signs on the property which the application describes. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Zoning Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Zoning Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs will be posted for 15 days from 7 April 2024 To 21 April 2024

I have read this sheet and discussed it with the Zoning Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

James B Clark
(Applicant or Agent)

6 April 2024
(Date)

I issued 2 signs for this application, 1-30-2024 (Date) [Signature] (Staff Member)

PERMIT NUMBER: BP-2023-47302/ BP-2024-15892

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING - ADMINISTRATIVE SITE PLAN APPLICATION

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James B Clark
(Applicant or Agent)

6 April 2024
(Date)

I issued 1 signs for this application, 4/2/24 (Date), [Signature] (Staff Member)

PERMIT NUMBER: BP-2023-47302 / BP-2024-15892

2317 D&B Auto
5 April 2024

USPO Mail Notice to
Adjacent Property Owners

RE: Proposed Development for the property located
in the northwest corner of Unser and Bluewater NW
known as Lot 5 and Tract B

This property is proposed to be developed by the D&B Limited Trust LLC as a
support facility for the new location of the D&B U-Sell-It vehicle sales company
and related industries.

The owner, Miriam Ruiz with the collaboration of her daughters, have
successfully operated the existing business and are planning to move to this
location.

This project will consist of the construction a two story building of 7,143 sf on
Tract B and a single story building of 2,016 sf on Lot 5.

This development is considered an Adminisrtative Amendment to the existng
Clifford West Business Park Master Plan. No variances or conditional uses will
be necessary.

Attached are copies of the design rendering of the new buildings, the Site
Development Plan and the City Zone Atlas Map K-10.

Respectfully submitted,



James B. Clark, President
Masterworks Architects Inc

Encl:
Architectural Rendering
Site Development Plan
Zone Map K-10



MASTERWORKS ARCHITECTS, INC

1809 Illinois St NE · Albuquerque, NM 87110
MWArchitect@comcast.net 505-242-1866

USPO MAILING LIST ADDRESSES FOR ADJACENT PROPERTY OWNERS



D&B LIMITED TRUST LLC
1128 ATRISCO DR NW
ALBUQUERQUE NM 87105-1215

REGIONS BEYOND INC C/O THE POTTERS HOUSE
PO BOX 7486
ALBUQUERQUE NM 87194-7486

FELLOWSHIP BAPTIST CHURCH
DBA FELLOWSHIP MISSIONARY CHURCH
8550 SAUL BELL RD NW
ALBUQUERQUE NM 87121

MOJO PROPERTIES C/O RICHARD JONES
3520 CALLE CUERVO NW
ALBUQUERQUE NM 87114-9220

EAGLE INVESTORS INC
4505 ATHERTON WAY NW
ALBUQUERQUE NM 87120

MJ HOSPITALITY LLC
11900 GIACOMO AVE SE
ALBUQUERQUE NM 87123

GRAYLAND CORPORATION & J2C LLC & CLIFFORD JACK J & LEE RVT & ET
PO BOX 35640
ALBUQUERQUE NM 87176-5640

DEBLASSIE STEVEN M & GINA M
8310 CALLE PICAFLOR NW
ALBUQUERQUE NM 87120-3104

UPTOWN
2505 GRACELAND DR NE
ALBUQUERQUE, NM 87110-9998
(800)275-8777

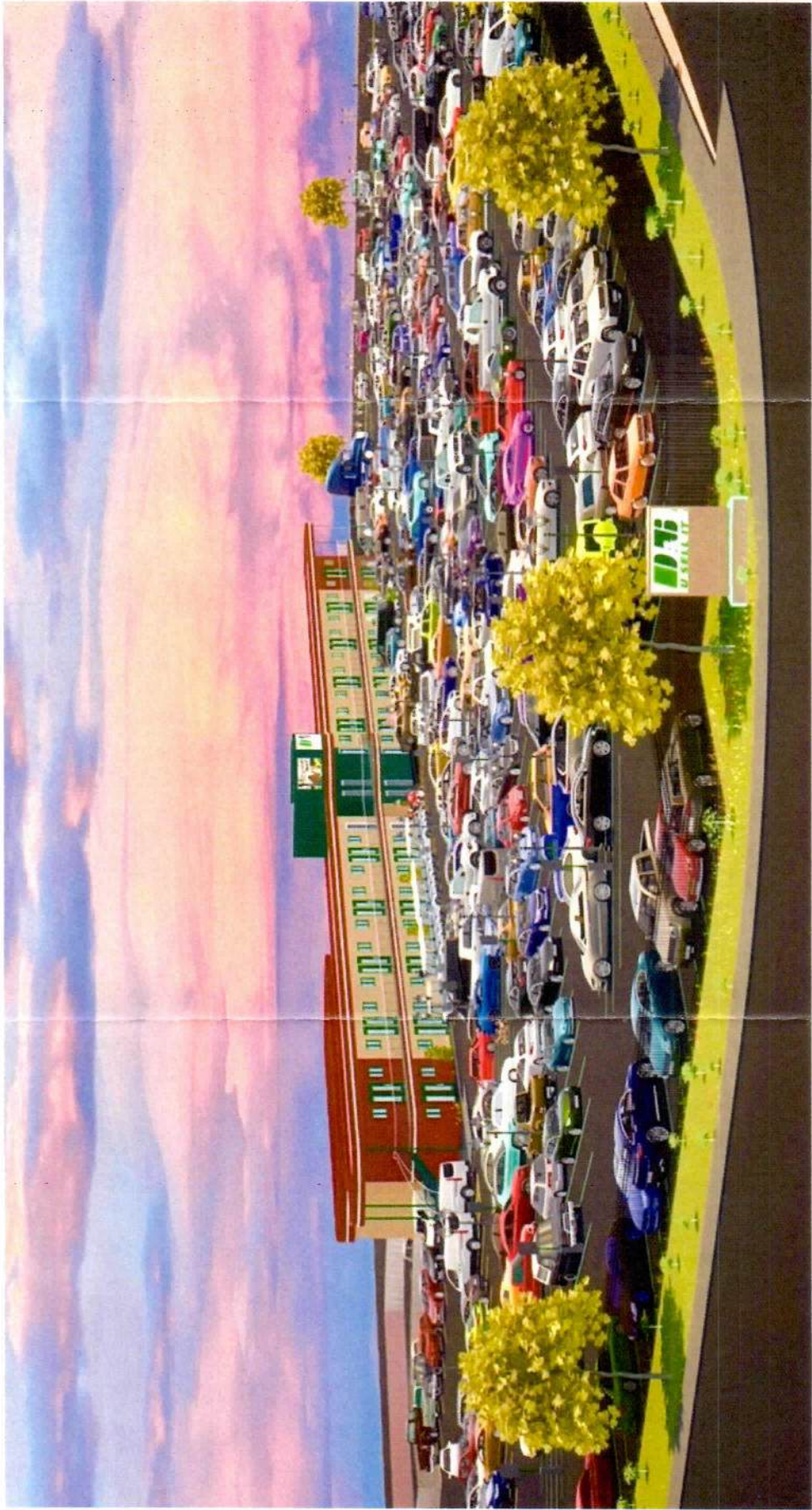
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First-Class Mail® Letter Albuquerque, NM 87194 Weight: 0 lb 1.00 oz Estimated Delivery Date Thu 04/18/2024	1		\$0.68
First-Class Mail® Letter Albuquerque, NM 87121 Weight: 0 lb 1.00 oz Estimated Delivery Date Thu 04/18/2024	1		\$0.68
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First-Class Mail® Letter Albuquerque, NM 87123 Weight: 0 lb 1.00 oz Estimated Delivery Date Thu 04/18/2024	1		\$0.68
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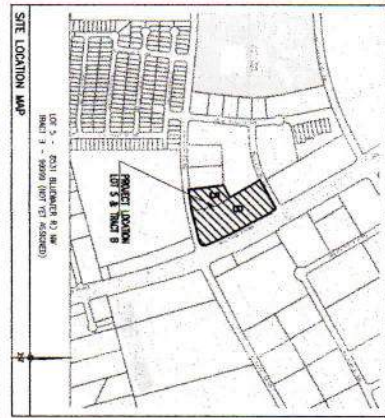
Grand Total: \$5.44

Debit Card Remit \$5.44

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Approval #: 720419
Transaction #: 473
Receipt #: 057921
Debit Card Purchase: \$5.44
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PTN: Verified



D&B AUTO U-SELL-IT

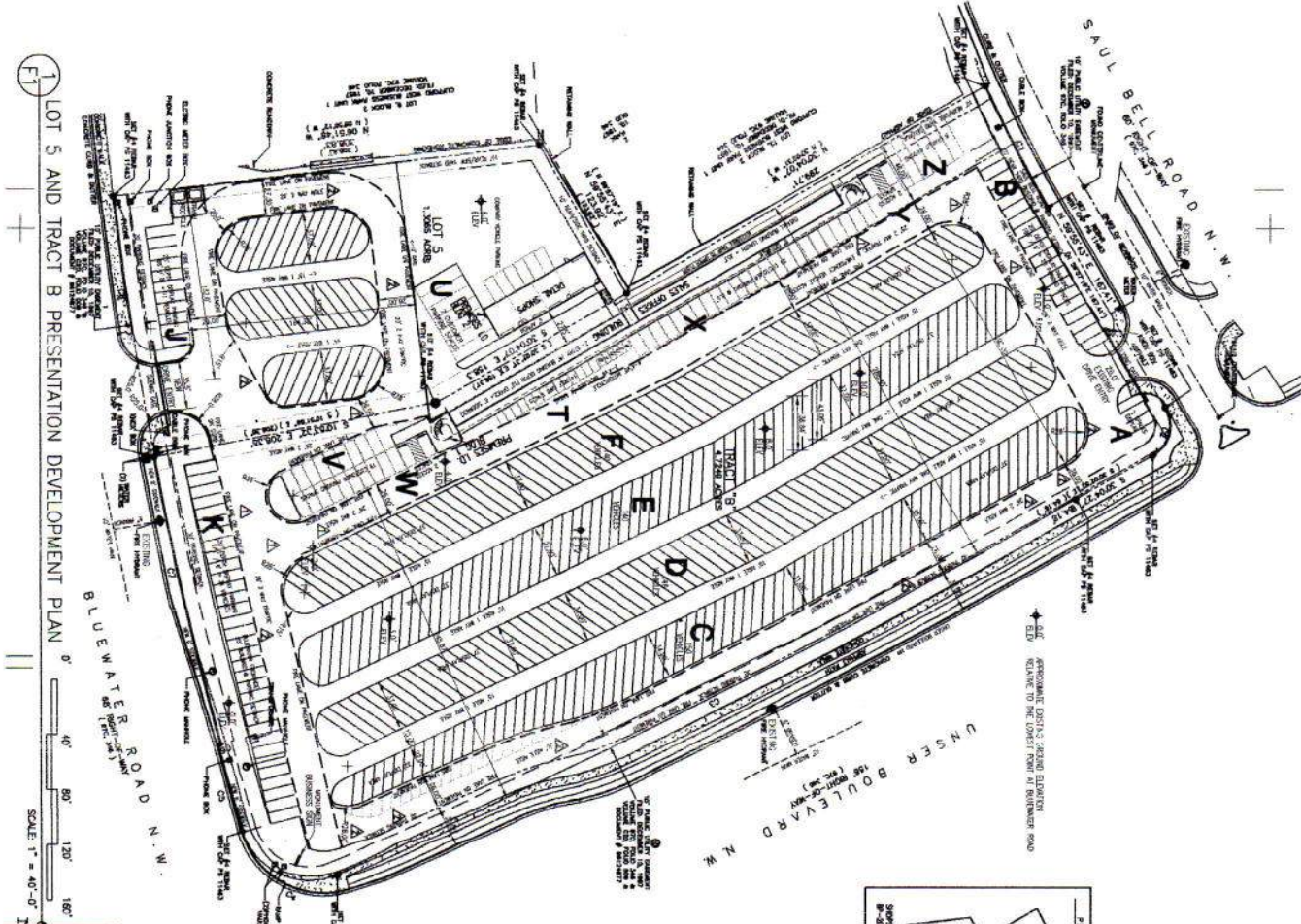


SCOPE OF WORK
 THE DEVELOPER'S OBLIGATION OF EACH LOT WILL BE CONSIDERED SEPARATELY AND NOT AS A WHOLE. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING AND THE SITE WORK. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING AND THE SITE WORK. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING AND THE SITE WORK.

BUILDING CODE REQUIREMENTS - I.B.C. 2021
 TOTAL BUILDING FLOOR AREA: 7,000 S.F.
 OCCUPANCY: COMMERCIAL
 STRUCTURE TYPE: TYPE III
 WIND RESISTANCE: 150 PSF
 SEISMIC DESIGN CATEGORY: C
 DESIGN WIND SPEED: 140 MPH
 DESIGN EARTHQUAKE MOTION: 0.25g
 DESIGN FLOOD: 1 FT
 DESIGN SNOW LOAD: 30 PSF
 DESIGN LIVE LOAD: 40 PSF
 DESIGN DEAD LOAD: 10 PSF
 DESIGN WIND UPPER WIND WALL: 150 PSF
 DESIGN WIND LOWER WIND WALL: 100 PSF
 DESIGN WIND ROOF: 150 PSF
 DESIGN WIND GROUND SURFACE: 150 PSF
 DESIGN WIND EXPOSED ROOF: 150 PSF
 DESIGN WIND EXPOSED WALL: 150 PSF
 DESIGN WIND EXPOSED ROOF: 150 PSF
 DESIGN WIND EXPOSED WALL: 150 PSF
 DESIGN WIND EXPOSED ROOF: 150 PSF
 DESIGN WIND EXPOSED WALL: 150 PSF

DISPLAY PARKING COUNT	
TYPE	COUNT
STANDARD	10
COMPACT	10
TOTAL	20

CUSTOMER PARKING COUNT	
TYPE	COUNT
STANDARD	10
COMPACT	10
TOTAL	20



D1

SITE LAYOUT PLAN
 LOT 5 & TRACT B
 NOTES & DETAILS

CONSTRUCTION OF A NEW FACILITY FOR
D&B U-SELL-IT
 8531 BLUEWATER RD NW
 ALBUQUERQUE, NM 87121

Masterworks Architects, Inc.
 1809 ILLINOIS ST NE 242-1886
 ALBUQUERQUE, NEW MEXICO 87110

Project No. 2023-011
 Date: 15 NOV 2023

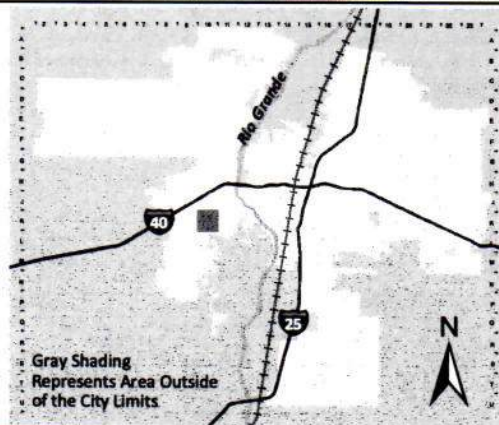


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
K-10-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- 0 250 500 1,000 Feet

Hello everyone:

This property is proposed to be developed by the D&B Limited Trust LLC as a support facility for the new location of the D&B U-Sell-It vehicle sales company and related industries.

The owner, Miriam Ruiz with the collaboration of her daughters, have successfully operated the existing business and are planning to move to this location.

This project will consist of the construction a two story building of 7,143 sf on Tract B and a single story building of 2,016 sf on Lot 5.

This development is considered an Administrative Amendment to the existng Clifford West Business Park Master Plan. No variances or conditional uses will be necessary.

Attached are copies of the design rendering of the new buildings, the Site Development Plan and the City Zone Atlas Map K-10.

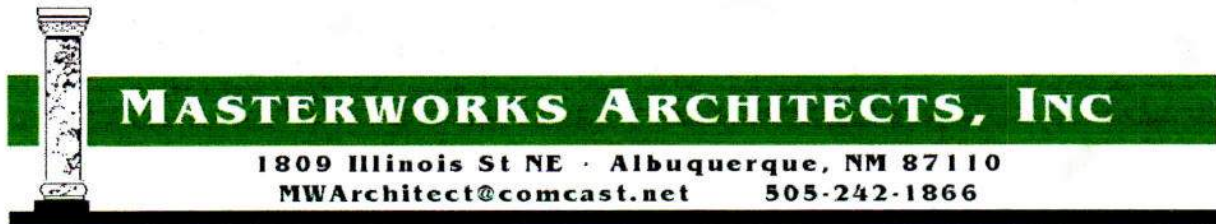
Association Name	Association Email	First Name	Last Name	Email
Los Volcanes NA		Ted	Trujillo	nedcarla@live.com
Los Volcanes NA		Doug	Cooper	douglascooper@hotmail.com
South West Alliance of Neighborhoods (SWAN Coalition)	jgallegoswccdg@gmail.com	Jerry	Gallegos	jgallegoswccdg@gmail.com
South West Alliance of Neighborhoods (SWAN Coalition)	jgallegoswccdg@gmail.com	Geraldine	Ulibarri	gerulibarri1@gmail.com
Westside Coalition of Neighborhood Associations	wscona0@gmail.com	Rene	Horvath	aboard111@gmail.com
Westside Coalition of Neighborhood Associations	wscona0@gmail.com	Elizabeth	Haley	elizabethkayhaley@gmail.com

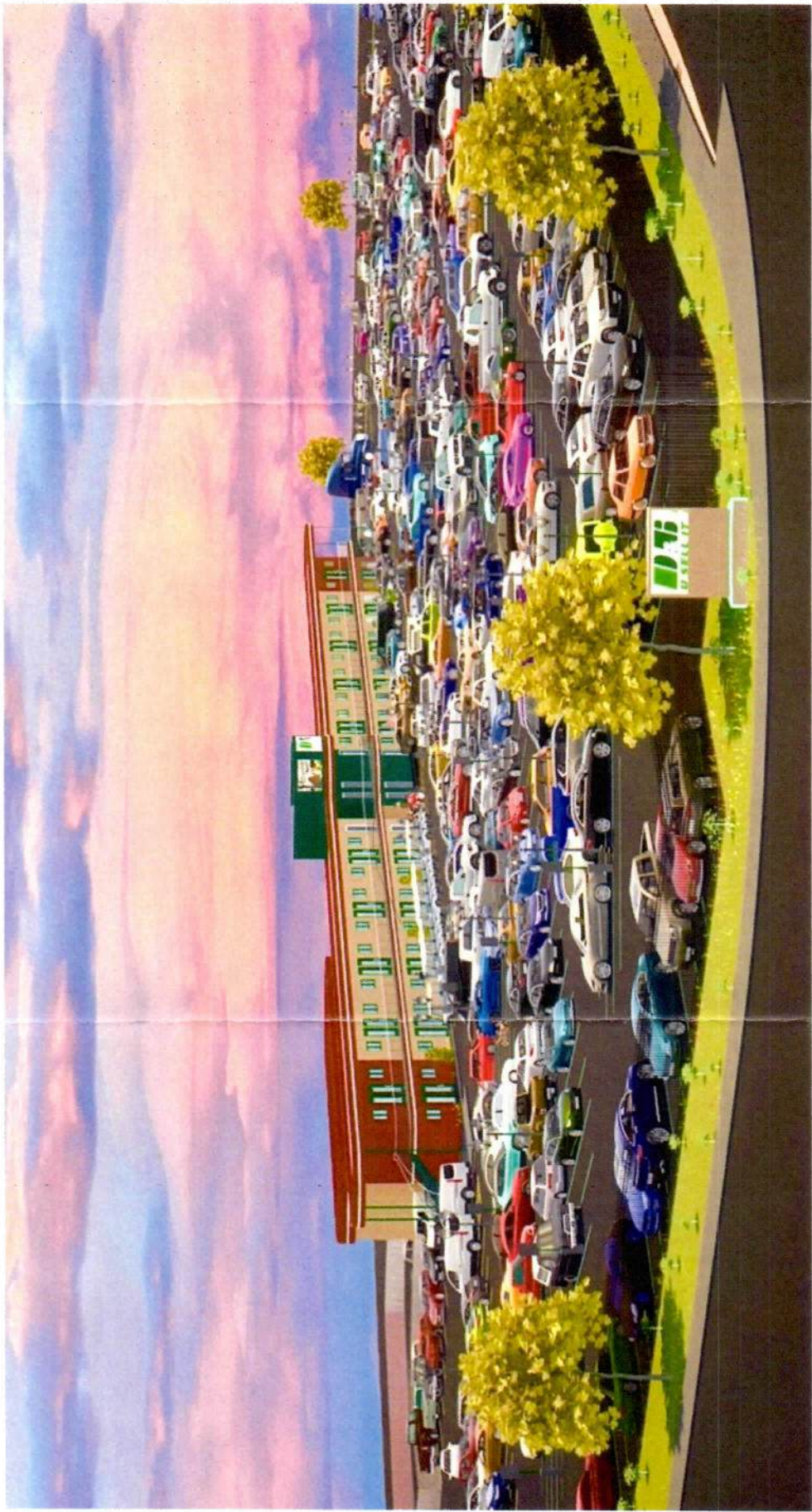
Please contact me via email if I may provide any additional information of clarification of the content of this information notice.

Respectfully submitted,

James B. Clark, President
Masterworks Architects Inc

Encl: Architectural Rendering
Site Development Plan
Zone Map K-10





D&B AUTO U-SELL-IT

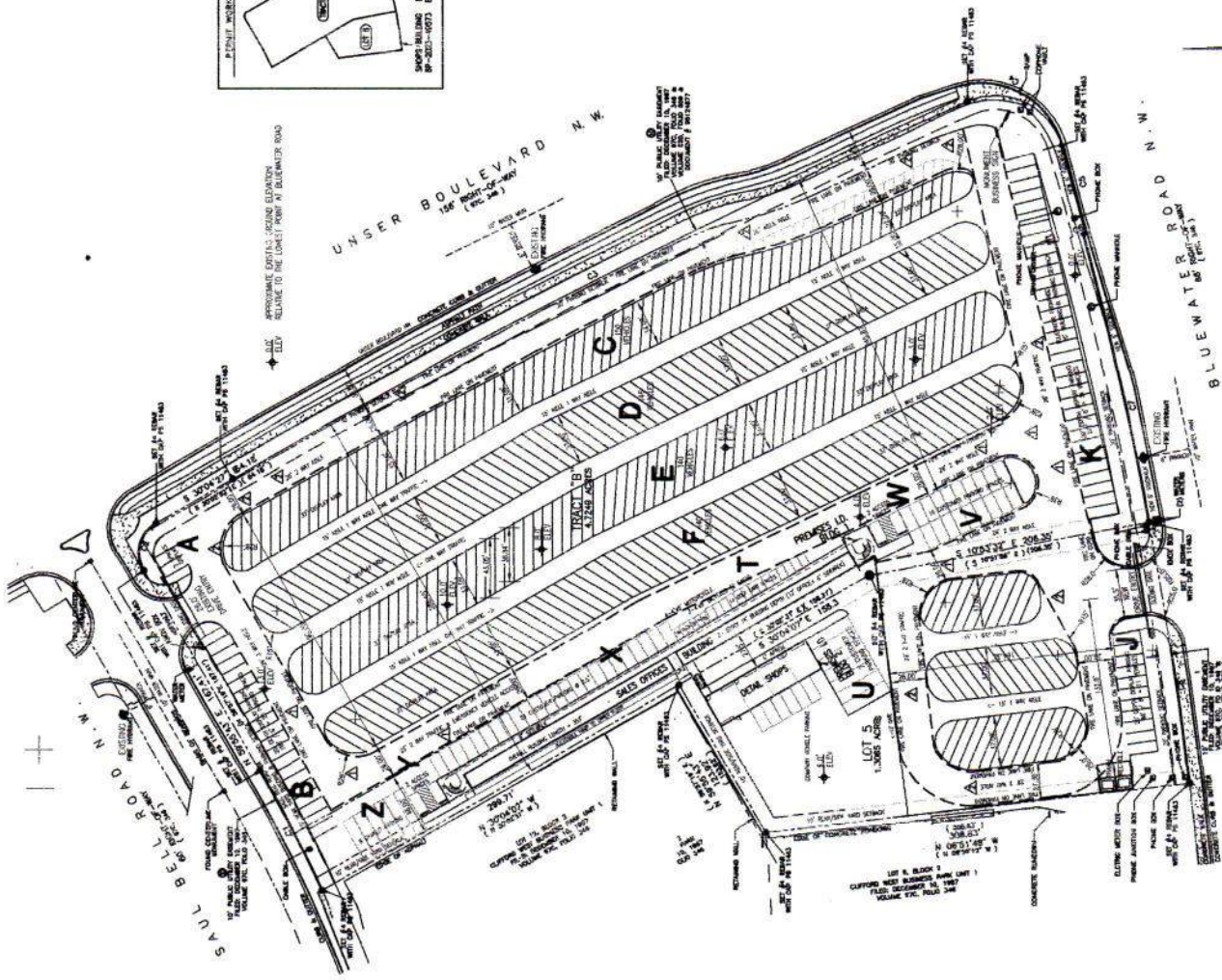
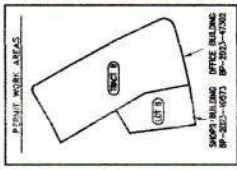
MASTERWORKS ARCHITECTS, INC.
 1809 LINCOLN ST NE 242-1866
 ALBUQUERQUE, NEW MEXICO 87110

DATE: 11/15/2023
 PROJECT: 2317F-F1
 15 NOV 2023

CONSTRUCTION OF A NEW FACILITY FOR
 D&B U-SELL-T
 8531 BLUEWATER RD NW
 ALBUQUERQUE, NM 87121

SITE LAYOUT PLAN
 LOT 5 & TRACT B
 NOTES & DETAILS

D1



SCALE: 1" = 40'-0"

0' 40' 80' 120' 160'

BLUWATER ROAD N.W.

UNSER BOULEVARD N.W.

SAUL BELL ROAD N.W.

LOT 5 AND TRACT B PRESENTATION DEVELOPMENT PLAN



SCOPE OF WORK

THE DEVELOPMENT CONTRACTOR OF THIS LOT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING AND ALL UTILITIES AND CONDUITS TO BE INSTALLED ON THE LOT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING AND ALL UTILITIES AND CONDUITS TO BE INSTALLED ON THE LOT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING AND ALL UTILITIES AND CONDUITS TO BE INSTALLED ON THE LOT.

BUILDING CODE REQUIREMENTS - IBC, 2021

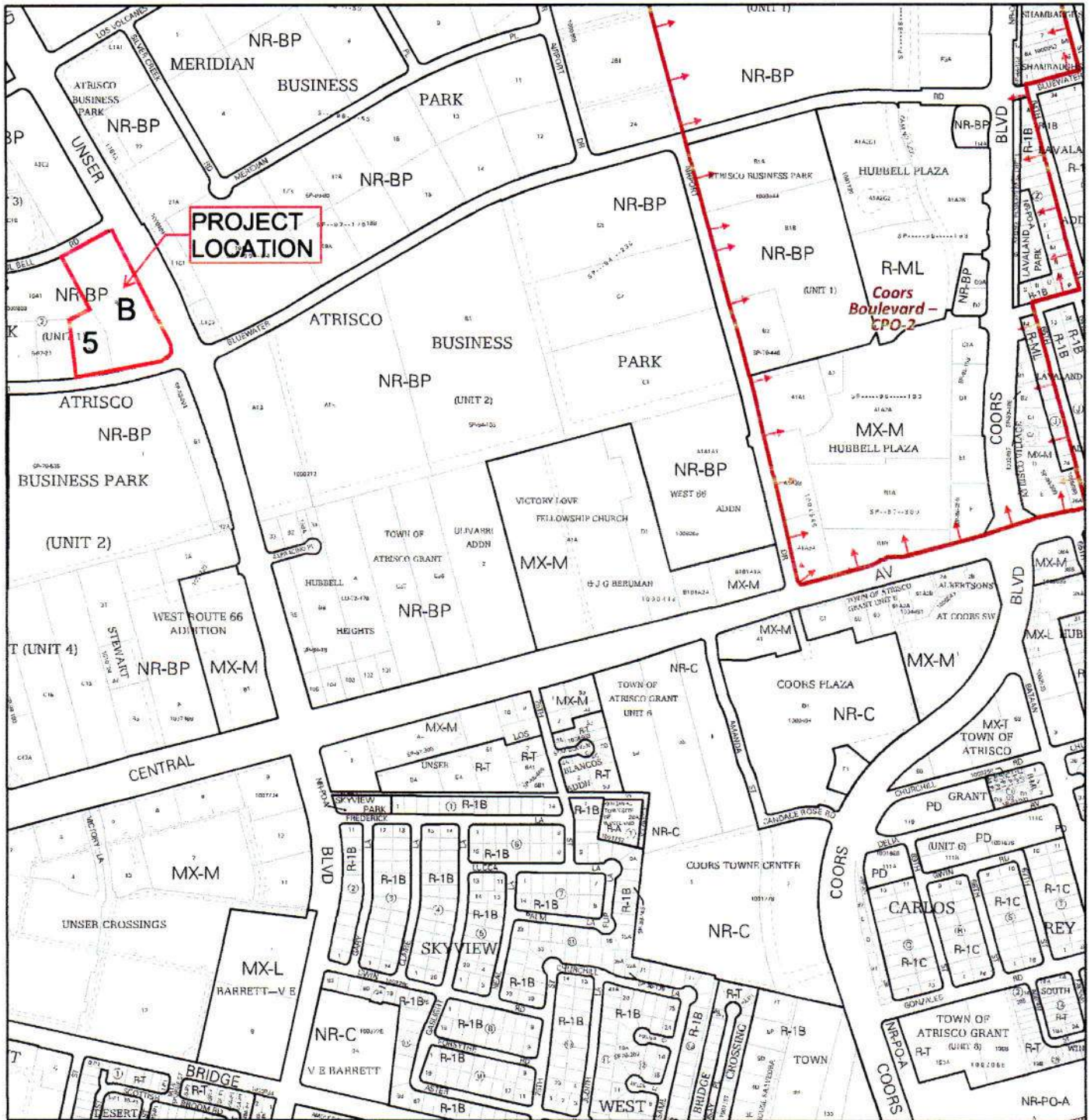
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501.0	MINIMUM CLEAR HEIGHT	8'-0" (MINIMUM)
502.0	MINIMUM CLEAR WIDTH	6'-0" (MINIMUM)
503.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
504.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
505.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
506.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
507.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
508.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
509.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
510.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
511.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
512.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
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514.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
515.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
516.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
517.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
518.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
519.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)
520.0	MINIMUM CLEARANCE	7'-0" (MINIMUM)

DISPLAY PARKING COUNT

TYPE	COUNT	TOTAL
STANDARD	100	100
COMPACT	50	50
BIKE	10	10
TOTAL	160	160


CUSTOMER PARKING COUNT

TYPE	COUNT	TOTAL
STANDARD	100	100
COMPACT	50	50
BIKE	10	10
TOTAL	160	160




For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018











IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-10-Z

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

2317 D&B Auto
30 March 2024

USPO Mail Notice to
Adjacent Property Owners

RE: Proposed Development for the property located
in the northwest corner of Unser and Bluewater NW
known as Lot 5 and Tract B

This property is proposed to be developed by the D&B Limited Trust LLC as a support facility for the new location of the D&B U-Sell-It vehicle sales company and related industries.

The owner, Miriam Ruiz with the collaboration of her daughters, have successfully operated the existing business and are planning to move to this location.

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James B. Clark, President
Masterworks Architects Inc

Encl:
Architectural Rendering
Site Development Plan
Zone Map K-10



MASTERWORKS ARCHITECTS, INC

1809 Illinois St NE · Albuquerque, NM 87110
MWArchitect@comcast.net 505-242-1866

2317 #10



ORIGINAL

USPO MAILING LIST ADDRESSES FOR ADJACENT PROPERTY OWNERS

D&B LIMITED TRUST LLC
1128 ATRISCO DR NW
ALBUQUERQUE NM 87105-1215

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UPTOWN
2505 GRACELAND DR NE
ALBUQUERQUE, NM 87110-9998
(800) 275-8777

04/16/2024 01:44 PM

Product	Qty	Unit Price	Price
First-Class Mail® Letter Albuquerque, NM 87105 Weight: 0 lb 1.00 oz Estimated Delivery Date Thu 04/18/2024	1		\$0.68
First-Class Mail® Letter Albuquerque, NM 87120 Weight: 0 lb 1.00 oz Estimated Delivery Date Thu 04/18/2024	1		\$0.68
First-Class Mail® Letter Albuquerque, NM 87194 Weight: 0 lb 1.00 oz Estimated Delivery Date Thu 04/18/2024	1		\$0.68
First-Class Mail® Letter Albuquerque, NM 87121 Weight: 0 lb 1.00 oz Estimated Delivery Date Thu 04/18/2024	1		\$0.68
First-Class Mail® Letter Albuquerque, NM 87114 Weight: 0 lb 1.00 oz Estimated Delivery Date Thu 04/18/2024	1		\$0.68
First-Class Mail® Letter Albuquerque, NM 87176 Weight: 0 lb 1.00 oz Estimated Delivery Date Thu 04/18/2024	1		\$0.68
First-Class Mail® Letter Albuquerque, NM 87123 Weight: 0 lb 1.00 oz Estimated Delivery Date Thu 04/18/2024	1		\$0.68
First-Class Mail® Letter Albuquerque, NM 87120 Weight: 0 lb 1.00 oz Estimated Delivery Date Thu 04/18/2024	1		\$0.68

Grand Total: \$5.44

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Transaction #: 473
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Debit Card Purchase: \$5.44
AID: A0000000980840 Chip
AL: US DEBIT
PTM: Verified




D&B AUTO U-SELL-IT



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018



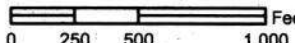
Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018
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are established by the
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Zone Atlas Page:
K-10-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

 Feet
 0 250 500 1,000

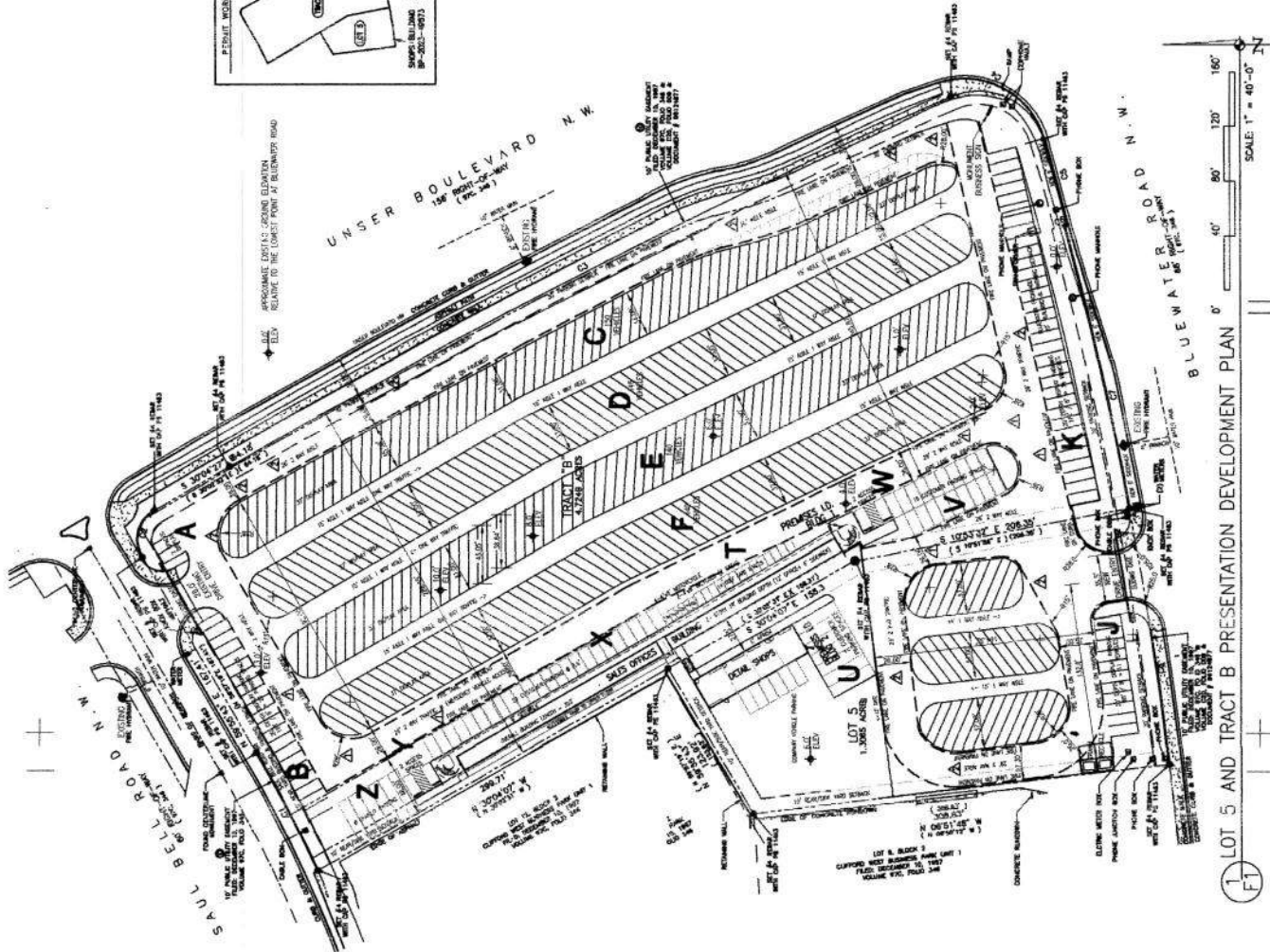
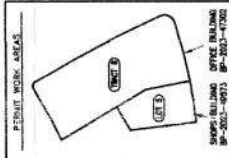
MASTERWORKS ARCHITECTS, INC.
1809 LINCOLN ST NE 242-1866
ALBUQUERQUE, NEW MEXICO 87110

REF: 2317-F-1
15 NOV 2023

CONSTRUCTION OF A NEW FACILITY FOR
D&B U-SELL-T
8531 BLUEWATER RD NW
ALBUQUERQUE, NM 87121

SITE LAYOUT PLAN
LOT 5 & TRACT B
NOTES & DETAILS

D1



SCOPE OF WORK
THE DEVELOPMENT CONSTRUCTION OF THIS LOT WILL BE CONSTRUCTED IN ACCORDANCE WITH THE PERMIT REQUIREMENTS AND CONSTRUCTION CONDITIONS OF THE PERMIT FOR A NEW COMMERCIAL SALES BUSINESS. THE DEVELOPMENT SHALL INCLUDE THE CONSTRUCTION OF A NEW COMMERCIAL SALES BUSINESS BUILDING AND ASSOCIATED PARKING AND DRIVE AISLES. THE DEVELOPMENT SHALL BE SUBJECT TO THE PERMITTING AND REGULATORY REQUIREMENTS OF THE CITY AND COUNTY OF ALBUQUERQUE, NEW MEXICO. THE DEVELOPMENT SHALL BE SUBJECT TO THE PERMITTING AND REGULATORY REQUIREMENTS OF THE CITY AND COUNTY OF ALBUQUERQUE, NEW MEXICO. THE DEVELOPMENT SHALL BE SUBJECT TO THE PERMITTING AND REGULATORY REQUIREMENTS OF THE CITY AND COUNTY OF ALBUQUERQUE, NEW MEXICO.

BUILDING CODE REQUIREMENTS - I.B.C. 2021

SECTION	REQUIREMENT	REMARKS
201.0	GENERAL	SEE I.B.C. 2021
202.0	PERMITS	SEE I.B.C. 2021
203.0	PLANNING	SEE I.B.C. 2021
204.0	ZONING	SEE I.B.C. 2021
205.0	ENVIRONMENTAL	SEE I.B.C. 2021
206.0	ENERGY EFFICIENCY	SEE I.B.C. 2021
207.0	SAFETY	SEE I.B.C. 2021
208.0	ACCESSIBILITY	SEE I.B.C. 2021
209.0	DISCREETION	SEE I.B.C. 2021

DISPLAY PARKING COUNT

TYPE	COUNT
STREET	10
TRUCK	5
TOTAL	15

CUSTOMER PARKING COUNT

TYPE	COUNT
STREET	10
TRUCK	5
TOTAL	15