



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	<b>APPEAL</b>
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

**BRIEF DESCRIPTION OF REQUEST**

**APPLICATION INFORMATION**

Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street:	Between:	and:
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**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: <i>Jonathan Turner</i>	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

**FORM S3: ADMINISTRATIVE APPLICATIONS – Development Facilitation Team (DFT) as of 12/25/2022****\_ AMENDMENT TO INFRASTRUCTURE LIST**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form S3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Proposed Amended Infrastructure List
- \_\_\_ 6) Original Infrastructure List

**\_ TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

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- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) A scale drawing showing the location of the deferred sidewalk with appropriate dimensions

**\_ EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

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- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled

- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Letter describing, explaining, and justifying the deferral or extension
- \_\_\_ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

**\_ INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA)  
EXTENSION**

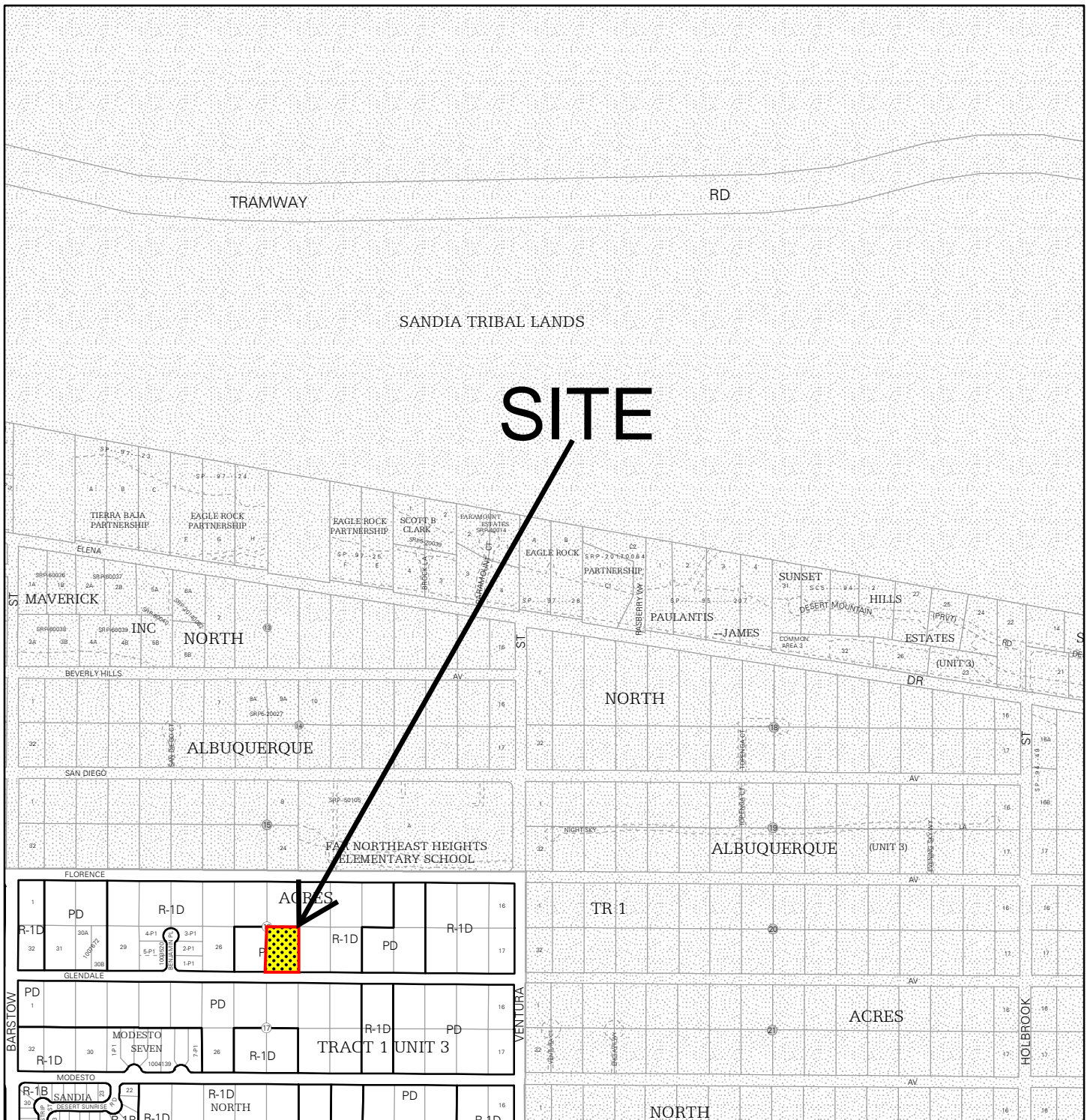
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- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- \_\_\_ 6) Preliminary Plat or Site Plan
- \_\_\_ 7) Copy of DRB approved Infrastructure List
- \_\_\_ 8) Copy of recorded IIA

**\_ SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT**

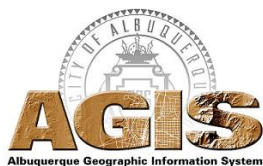
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- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter describing, explaining, and justifying the request
- \_\_\_ 5) Scale drawing of the proposed subdivision plat or Site Plan
- \_\_\_ 6) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

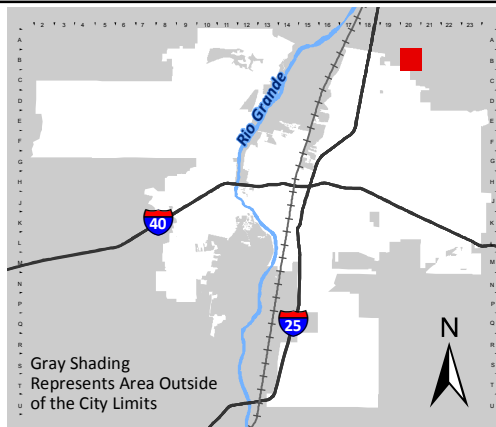


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018

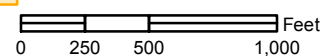


IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**B-20-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





June 4, 2024

Landscape Architecture  
Urban Design  
Planning Services

Jolene Wolfley, Associate Director  
Planning Department  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

Dear Ms. Wolfley,

The purpose of this application is to request a sketch plan review for the development of a single-family dwelling unit on an existing platted lot located at 8701 Glendale Avenue NE. The property is legally described as: Lot 24 Block 16 Tract 1 Unit 3 North Albuquerque Acres containing approximately .89 acres. The site is located on the north side of Glendale Avenue between Barstow and Ventura. The property is currently vacant and the owner's intent is to obtain a building permit to allow the construction of a single-family residence.

Pursuant to the applicable IDO regulations of section 2-6(A)(7), Procedure for Single-family Development for PD zone districts, the property owner wishes to apply for a Site Plan – Administrative pursuant to Subsection 14-16-6-5(G) for low density residential development which will maintain the pattern of development in the surrounding subdivision.

Enclosed with the application documents is a preliminary sketch plan, which serves as the basis for our application. We kindly seek review and feedback from the Development Facilitation Team, ensuring compliance with the Integrated Development Ordinance and all relevant regulations of the Development Process Manual.

Thank you in advance for your attention to this matter, and please feel free to contact me directly should you require any further details or clarifications.

Sincerely,



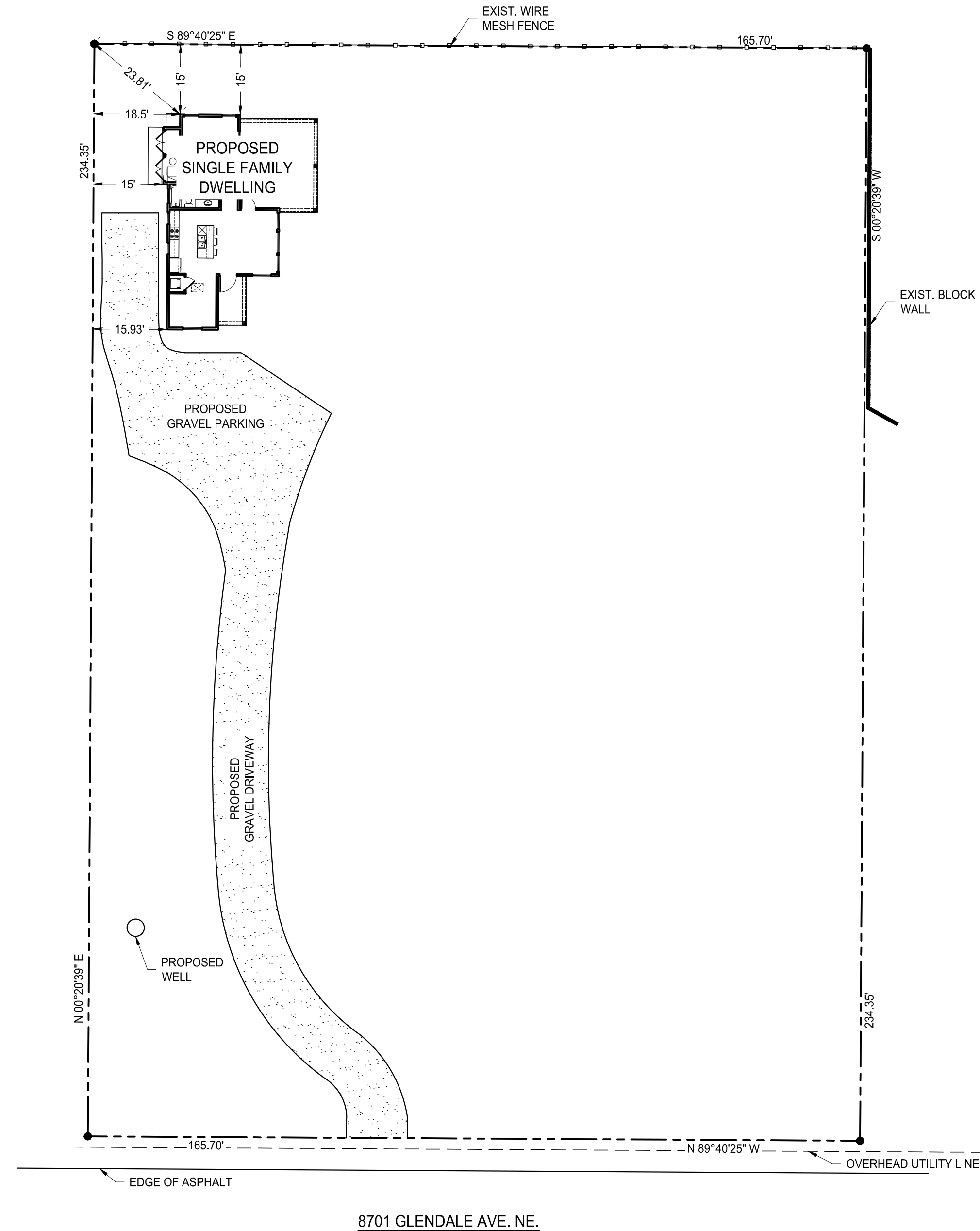
Jonathan Turner

#### PRINCIPALS

James K. Strozier, FAICP  
Jacqueline Fishman, AICP

#### ASSOCIATES

Ken Romig, PLA, ASLA



8701 GLENDALE AVE. NE.

SITE PLAN

1" = 20'-0"



**CONTENTS**

C1.....COVER SHEET & SITE PLAN  
 A1.....ARCHITECTURAL FLOOR PLAN & DETAILS  
 A2.....DIMENSIONED FLOOR PLAN  
 A3.....EXTERIOR ELEVATIONS  
 A4.....ISOMETRIC VIEWS & ROOF PLAN  
 S1.....STRUCTURAL PLANS  
 S2.....STRUCTURAL DETAILS  
 E1.....ELECTRICAL PLAN

**PROJECT DATA**

PROJECT ADDRESS: 8701 GLENDALE AVE. NE.  
 ALBUQUERQUE, NEW MEXICO 87112

LEGAL DESCRIPTION: LOT 24, BLOCK 16, NORTH  
 ALBUQUERQUE ACRES TR. 1, UNIT 3  
 ELENA GALLEGOS GRANT  
 BERNALILLO COUNTY, NEW MEXICO

**PROJECT AREAS**

TOTAL HEATED	750 SF
COVERED PORCHES	381 SF
MECH. CLOSET	42 SF
<b>TOTAL PROJECT</b>	<b>1173 SF</b>

**CODE COMPLIANCE**

- The 2015 International Building Code
- The 2015 International Residential Code
- The 2018 International Energy Conservation Code
- The 2021 Uniform Mechanical Code
- The 2021 Uniform Plumbing Code
- The 2017 National Electrical Code
- Applicable Administrative Codes

Permit holder is responsible for checking with the permit office to verify current adopted codes and any amendments to current codes.

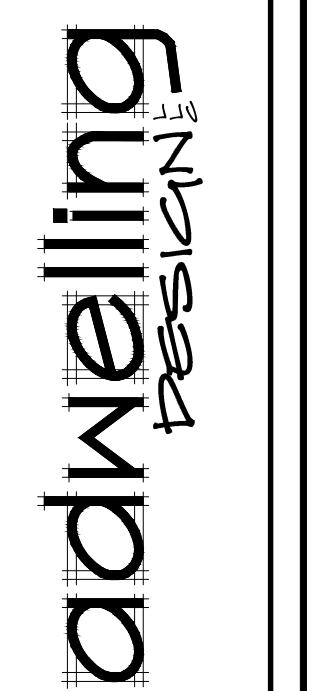
Code requirements per permit office take precedence over all detailing and specifications in plans.

**GENERAL SITE NOTES**

- SEE BUILDER FOR ALL EXTERIOR FLATWORK LOCATIONS.
- SEE BUILDER FOR ALL YARDWALL LOCATIONS.
- PROVIDE SILT FENCING @ PROPERTY LINES FOR DURATION OF CONSTRUCTION OR UNTIL SITE WALLS ARE BUILT.
- UTILITIES SHALL BE LOCATED IN SHARED TRENCHES WHEREVER POSSIBLE.
- LIMITS OF CLEARING & GRADING SHALL BE THE PROPERTY LINES OR +/- 15' FROM PERIMETER OF HOME (SEE PLAN).
- PROVIDE PERMEABLE DRIVEWAY AND WALKWAY SURFACES WHERE POSSIBLE. FOR CITY LOTS, INFILL LOTS AND MASTER PLANNED COMMUNITIES & SUBDIVISIONS, ALL DRIVEWAY MATERIALS SHALL BE BUILT AS PER ZONING CODE OR COVENANTS. CONTRACTOR SHALL CONFIRM PRIOR TO CONSTRUCTION.
- "NO DISTURBANCE" ZONES SHALL BE CREATED w/ FENCING OR FLAGGING, AND LABELED AS SUCH IN ORDER TO PROTECT VEGETATION AND SENSITIVE AREAS ON THE LOT FROM CONSTRUCTION ACTIVITY.
- FINISHED GRADE AT ALL SIDES OF THE BUILDING SHALL BE SLOPED TO PROVIDE A MINIMUM OF 6" (150MM) OF FALL WITHIN 10' (3048MM) OF THE EDGE OF THE BUILDING. WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6" (150MM) OF FALL WITHIN 10' (3048 MM), THE FINAL GRADE SHALL BE SLOPED AWAY FROM THE EDGE OF THE BUILDING AT A MINIMUM SLOPE OF 2%.
- SPECIFICATIONS OF ANY SOILS REPORT OR GRADING DESIGN FOR THIS PROPERTY SHALL TAKE PRECEDENCE OVER ANY SPECIFICATIONS IN THIS SET OF DRAWINGS.
- SEE BUILDER FOR PREFERRED METHOD OF SOIL GAS MITIGATION.
- SEE BUILDER FOR WELL, SEPTIC, AND LEACH FIELD LOCATIONS.
- ALL COLORS AND MATERIALS SHALL BE DESIGNATED PER ANY APPLICABLE ASSOCIATIONS.

1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED IN THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH. EACH SHEET MAY CONTAIN WORK PERTINENT TO THEIR RESPECTIVE DISCIPLINES.  
 2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.

PROJECT ADDRESS:  
**8701 GLENDALE AVE. NE**  
**ALBUQUERQUE, NM 87122**  
 CLIENT'S NAME:  
**FELLOWSHIP HOMES**



DRAWING NAME:  
**COVER SHEET & SITE PLAN**  
 PROJECT NUMBER:  
**23-016**  
 PROJECT PROGRESS:  
**FINAL**  
 DRAWN BY:  
**ADWELLING**  
 CHECKED BY: / APPROVED BY:  
**D.G. / D.G.**  
 DATE:  
**12.01.23**  
 SCALE:  
**AS NOTED**  
 SHEET:  
**C1**