



June 23, 2025

Development Facilitation Team,
City of Albuquerque – Planning Department
PO Box 1293
Albuquerque, NM. 87103

**RE: SITE PLAN – ADMINISTRATIVE DEVELOPMENT FACILITATION TEAM
PR-2024-010691, SP-2025-00031
7520 RAINBOW BLVD NW; LT 11-A BLK 2 PLAT OF LTS 10-A, 11-A, 19-A THRU 22-A BLK
2 UNIT 14 VOLCANO CLIFFS SUBD CONT 2.0312 AC**

Dear Development Facilitation Team,

Please see responses to DFT comments for **PR-2024-010691, SP-2025-00031**.
Also included are the updated construction drawings to address the comments.

If you have any questions, please feel free to contact me at dsandoval@tierrawestllc.com

ABCWUA:

1. Availability 21017 Provides conditions for service. Infrastructure improvements are required and must be constructed or financially guaranteed prior to final sign off.
 - a. A Request for Availability has been placed (250402) due to a newly established fire one plan. This will establish potentially new conditions for service and will also likely require infrastructure improvements that will need to be constructed or financially guaranteed prior to final sign off.

RESPONSE: Acknowledged. Availability Statement 250402 was cancelled and revised under the initial submittal. Availability Statement 21017R was executed 3/10/2025.

2. Please label the portion of public fire line within the right-of-way as “public” and note that it will be constructed with a work order or connection permit (as applies) as well as any other connections to the public water and/or sanitary sewer systems.

RESPONSE: This has been labeled

3. Not Approved: 1. Due to a pending Request for Availability, the site plan proposed cannot yet be approved. Comment: (Provide written response explaining how comments were addressed)

RESPONSE: Acknowledged. Availability Statement 250402 was cancelled and revised under the initial submittal. Availability Statement 21017R was executed 3/10/2025.

HYDROLOGY:

1. Hydrology has an approved Conceptual Grading & Drainage Plan (HT# C09D021) with engineer’s stamp 12/10/2024.

RESPONSE: Acknowledged.

2. Comment - Prior to submitting for Building Permit, a licensed New Mexico civil engineer will need to submit a Grading & Drainage Plan to Hydrology for review & approval if one of these conditions is met. (500 cy of grading, 1,000 sf of proposed building, or 10,000 sf of proposed paving).

RESPONSE: Acknowledged.

TRANSPORTATION:

1. Transportation has an approved TCL dated 1/14/2025. No objection.

RESPONSE: Acknowledged.

2. As a reminder, an approved full TCL will be required prior to building permit.

RESPONSE: Acknowledged.

PLANNING:

1. Self-Storage requires a conditional use approval in the MX-L zone district as specified in the allowable use table. A conditional use was approved October 02, 2024 and Notice of Decision (NOD) was submitted with this application. The site will also be subject to the requirements of the View Protection overlay Zone (VPO-2). * Plans will demonstrate how these standards are being met.

RESPONSE: Refer to SP, dimensions abide by the View Protection Overlay Zone (VPO-2)

2. Clarify the Development/Dimensional standards per section 5-1-D, table 5-1-2 and section 3-6(E) Northwest Mesa Escarpment – (VPO-2) height standards.

RESPONSE: Refer to SP, dimensions abide by the Northwest Mesa Escarpment – (VPO-2) height standards. The site is not located within the Sub-VPO2 section.

3. Clarify this development is within the Volcano Mesa Character Protection Overlay Zone CPO-13 and not (CPO-12) as stated on page 17 of the submitted packet.

RESPONSE: The development is within the Volcano Mesa Character Protection Overlay Zone CPO-13.

4. An outdoor seating area is required for a primary building more than 30,000 square feet.

RESPONSE: Per Section 5-11-(E)(3)(a)2, projects between 90,000 and 120,000 square feet require three 400-square-foot gathering areas. Given the site's use as a self-storage facility with only one on-site employee and its unique lot shape, all three gathering areas have been consolidated into a single location at the northwest corner of the building, near the main entrance. Refer to landscape plan and site plan.

5. Clarify and confirm that all development, landscaping, and screening are within private property areas and they will not be encroaching into the public right of way.

(*Exception--Street/Sidewalk landscape buffer should be within ROW).

RESPONSE: All development is within private property areas.

6. Confirm compliance with section 7 of the DPM Table 7.2.29 regarding Sidewalk width requirements, the landscape buffer, and Maintenance responsibilities.

- a. Rainbow Blvd. is a Principal Arterial Street and requires 6' sidewalk width a 5' to 6' landscape buffer. Please provide a dimension of sidewalks and buffers along the frontage. All work in the ROW needs to be placed on an infrastructure list and done

through City work order. *Verification of standards per Transportation. *Clarify if dedication of right of way is needed for either trail or sidewalk.

RESPONSE: Refer to SP dimensions

7. Once the IL is approved, a recorded Infrastructure Improvements Agreement to guarantee the infrastructure will need to be executed and recorded with the County Clerk prior to final sign off of the site plan.

REPOSENSE: Acknowledged.

8. The project and application numbers must be added to the Site Plan and any associated IL.

REPOSENSE: Acknowledged. See SP and IL

9. Confirm whether the trees shown in the landscaping plan were recommended by city forester.

REPOSENSE: Acknowledged.

10. Please confirm whether the proposed landscaping plan falls within any of the property's utility easements. If it does, let us know if an alternative landscaping plan will be required.

RESPONSE: Proposed landscaping plan falls does not fall within the property's utility easements

11. The Landscaping Plan needs to include measurements for required buffer areas and Screening areas, per 4-3-D-29 and 5-6. Buffer/screening area to the north separating from the residential lots. Parking screening required in the south parking area facing Rainbow Blvd.

RESPONSE: See landscape plans

12. Clarify and confirm whether there is an updated Infrastructure List (IL), or if the one included in your submittal is the most recent version.

RESPONSE: The IL included is the most recent version.

13. Applicant must ensure that all revised and final Plan sheets are sealed and signed by a design professional licensed in the State of New Mexico.

RESPONSE: Acknowledged

14. Provide a lighting plan with dimensions that meets IDO section 4-3-D-29, and section 5-8.

RESPONSE: The design is compliant with Sections 4-3-D-29 and 5-8 of the IDO, as well as the New Mexico Night Sky Protection standards. All lighting is building-mounted, with no freestanding area lights proposed. Lighting fixtures are fully shielded to prevent light spill beyond the site boundaries.

15. Elevation pages need to include details on how the project will be meeting IDO section 3-6-(E) Northwest Mesas Escarpment; specifically, 6-6(E)(5). Provide additional elevation detail to demonstrate and explain compliance with all sections within 5-11-E. Specifically 5-11-(E)(2) and 5-11(E)(3)(a)(2).

RESPONSE: See updated Elevation sheets highlighting color pallet from section 3-6(E)(5). All dimensional standards in section 3-6-(E), 5-11-(E)(2), and 5-11(E)(3)(a)(2) are met, see dimensions.

16. Per section 5-12 of the IDO for signage, properties in the MX-L zone must either submit a signage plan or obtain a separate permit that complies with MX-L standards for signage. *Verification of these standards per Code Enforcement.

RESPONSE: Acknowledged.

PARKS & RECREATION:

1. Per 5-6(C)(9)(c) Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way. Irrigation design must comply with this code.

RESPONSE: Acknowledged.

2. Detention ponding areas must comply with Specification 1013 of the City of Albuquerque.

RESPONSE: Acknowledged. See LS-101

Sincerely,

A handwritten signature in black ink, appearing to read "Donna Sandoval", with a stylized flourish at the end.

Donna Sandoval
Planner

JN:2024032
RRB/DS/AT/VC

VPO-2 NOTE

THIS PROPERTY FALLS WITHIN THE NORTHWEST ESCARPMENT OVERLAY (VPO-2) BUT IS NOT SUBJECT TO THE HEIGHT RESTRICTIONS SUB-AREA. THIS PROJECT IS IN COMPLIANCE WITH THE OVERLAY REQUIREMENTS BY PROVIDING SCREENING FOR ANY ROOF MOUNTED EQUIPMENT, PROVIDING BUILDING COLORS CONSISTING OF BROWNS AND DULL RED, AND WILL NOT HAVE ANY REFLECTIVE OR MIRRORRED GLASS.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

CLEAR SIGHT TRIANGLE NOTE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

SETBACKS:

FRONT 5' MINIMUM
SIDE 5' MINIMUM
BACK 15' MINIMUM

LANDSCAPE BUFFER:

BACK 50' MINIMUM OR 6' OPAQUE WALL

SITE DATA

PROPOSED USAGE: SAFStor Self Storage
LOT AREA: 88,479.07 SF (2.0312) ACRE)
ZONING: MX-L

BUILDING AREA: 105,300 SF

PARKING REQUIRED: 35 SPACES (105,300 SF, 1 SPACE/ 3,000 GFA)
PARKING PROVIDED: 35 SPACES 3-SMALL CAR (9%)

HC PARKING REQUIRED: 2 SPACES
HC PARKING PROVIDED: 2 SPACES
1 SPACE VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED: 2 SPACES
MOTORCYCLE PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

LANDSCAPE AREA REQUIRED: 13,272 SF
LANDSCAPE AREA PROVIDED: 39,161 SF

OUTDOOR SEATING/GATHERING AREA REQUIRED: 1,200 SF
OUTDOOR SEATING/GATHERING AREA PROVIDED: 1,200 SF

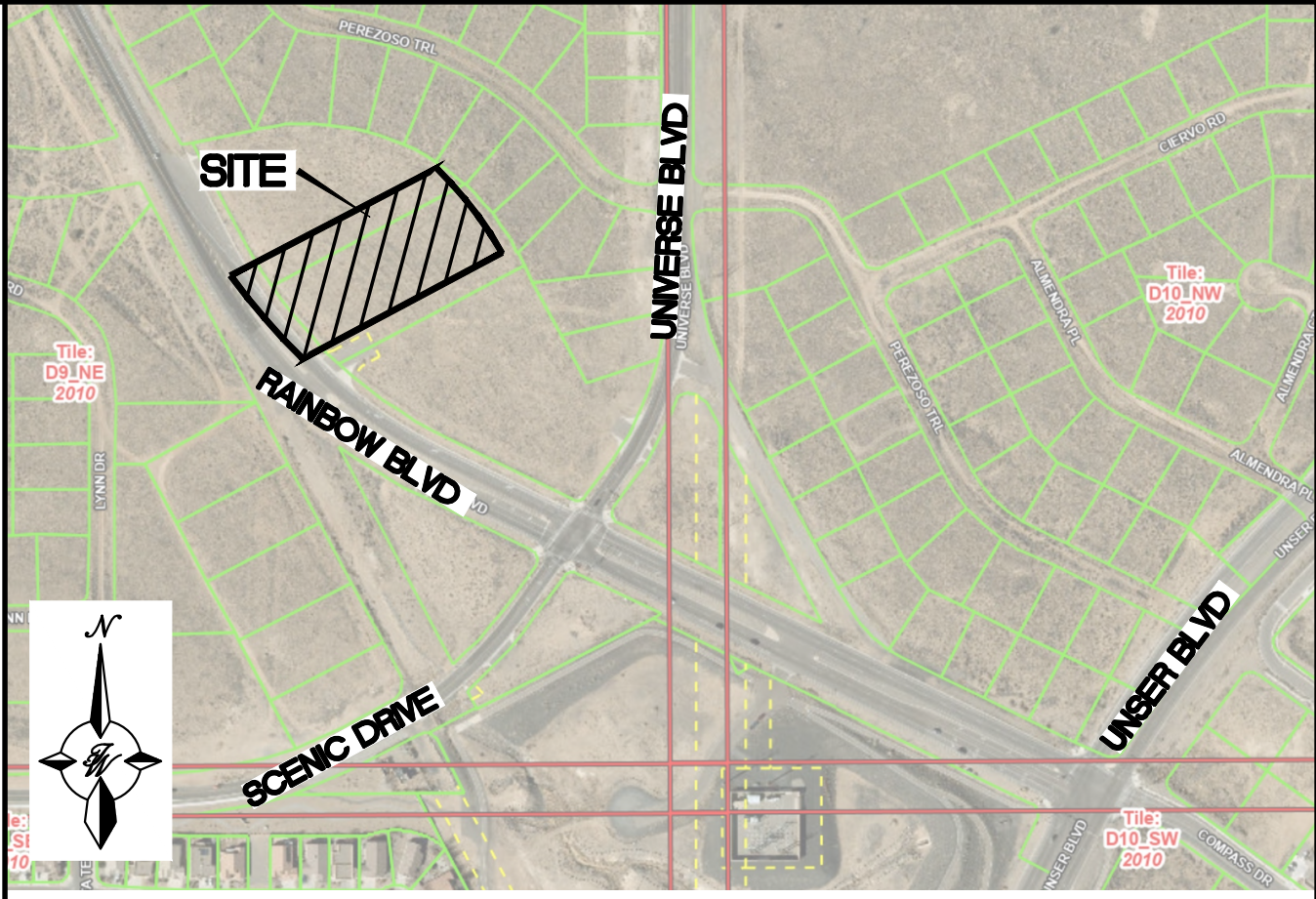
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

KEYED NOTES

- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. DET-1)
- 2 6" HEADER CURB (SEE DETAIL SHT. DET-1)
- 3 CONCRETE SIDEWALK AT BUILDING (SEE DETAIL SHT. DET-1)
- 4 DUMPSTER (SEE DETAIL SHT. DET-1)
- 5 BICYCLE RACKS (SEE DETAIL SHT. DET-1)
- 6 CURB HC RAMP (SEE DETAIL SHT. DET-1)
- 7 WHEEL STOP (SEE DETAIL SHT. DET-1)
- 8 MONUMENT SIGN
- 9 STOP SIGN
- 10 STOP BAR
- 11 1200 SF OUTDOOR SEATING/GATHERING AREA WITH 3 BENCHES AND TRASH RECEPTACLE
- 12 NOT USED
- 13 NEW 6" CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP.), (SEE DETAIL SHT. C9)
- 14 UNIDIRECTIONAL ACCESSIBLE (TYP.) RAMP PER COA STD DWG 2443, (SEE DETAIL SHT. C9)
- 15 6' OPAQUE FENCE/WALL

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SITE LIGHTS
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING STORM DRAIN
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING FIBER OPTIC
- TRANSFORMER
- RETAINING WALL

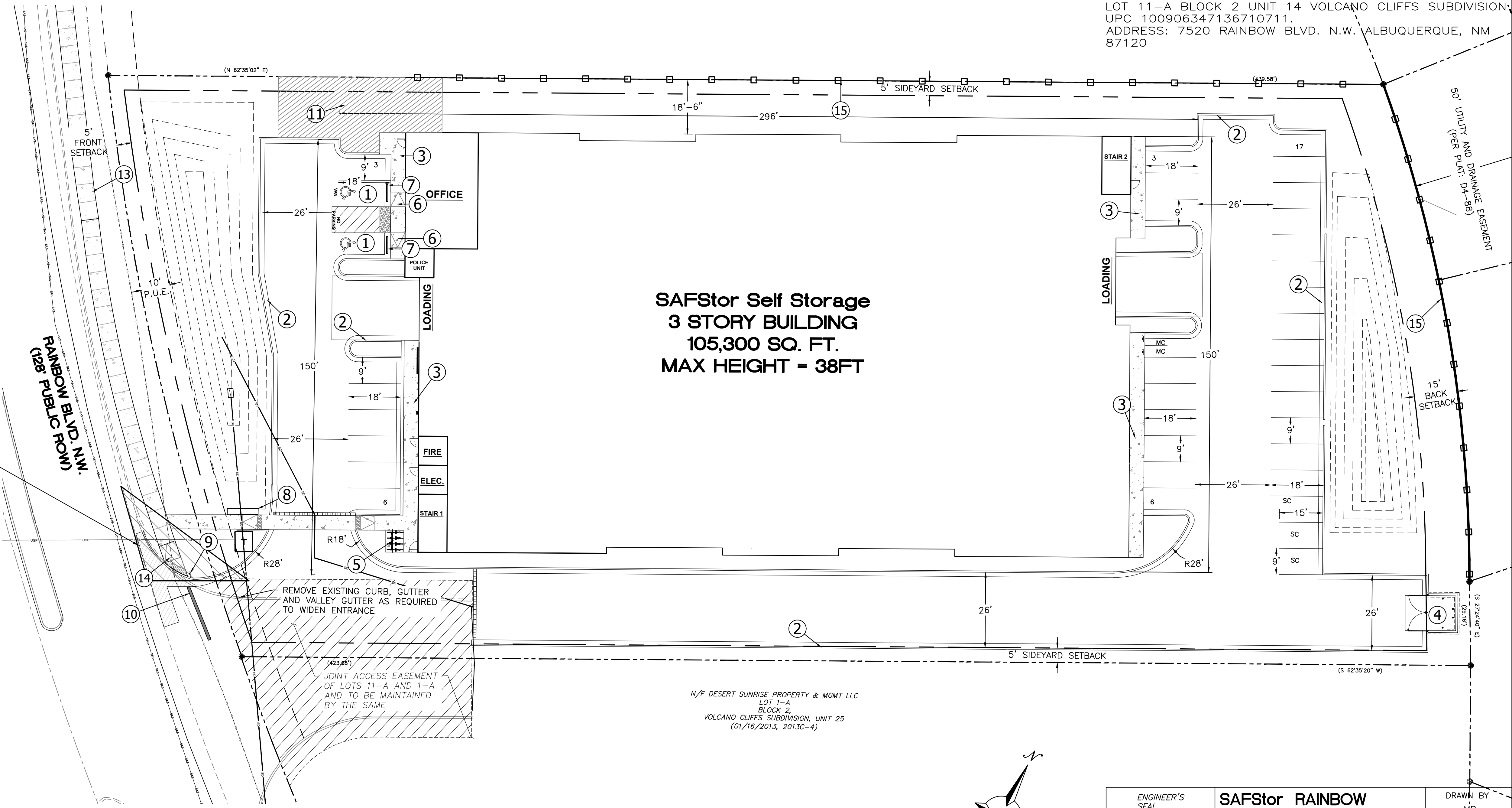


VICINITY MAP:

L-D9-Z

LEGAL DESCRIPTION:

LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION, UPC 100906347136710711, ADDRESS: 7520 RAINBOW BLVD. N.W. ALBUQUERQUE, NM 87120



PROJECT NUMBER: PR-2024-010691

APPLICATION NUMBER: SP-2025-00031

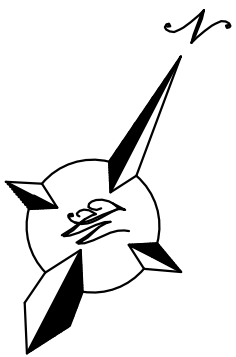
Is an Infrastructure List required? (X) Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

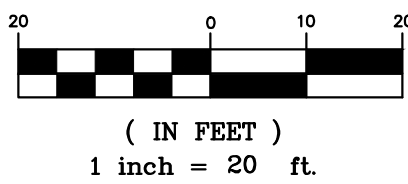
Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

* Environmental Health, if necessary

N/F DESERT SUNRISE PROPERTY & MGMT LLC
LOT 1-A
BLOCK 2,
VOLCANO CLIFFS SUBDIVISION, UNIT 25
(01/16/2013, 2013C-4)



GRAPHIC SCALE



<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN</div> <div>NEW MEXICO</div> <div>7868</div> <div>PROFESSIONAL ENGINEER</div> <div>06/23/2025</div> <div>RONALD R. BOHANNAN</div> <div>P.E. #7868</div>	SAFStor RAINBOW ALBUQUERQUE, N.M.	DRAWN BY MR
	SITE PLAN	DATE 06/23/2025
		2024032_SP
		SHEET #
		SP-1
		JOB #
		2024032

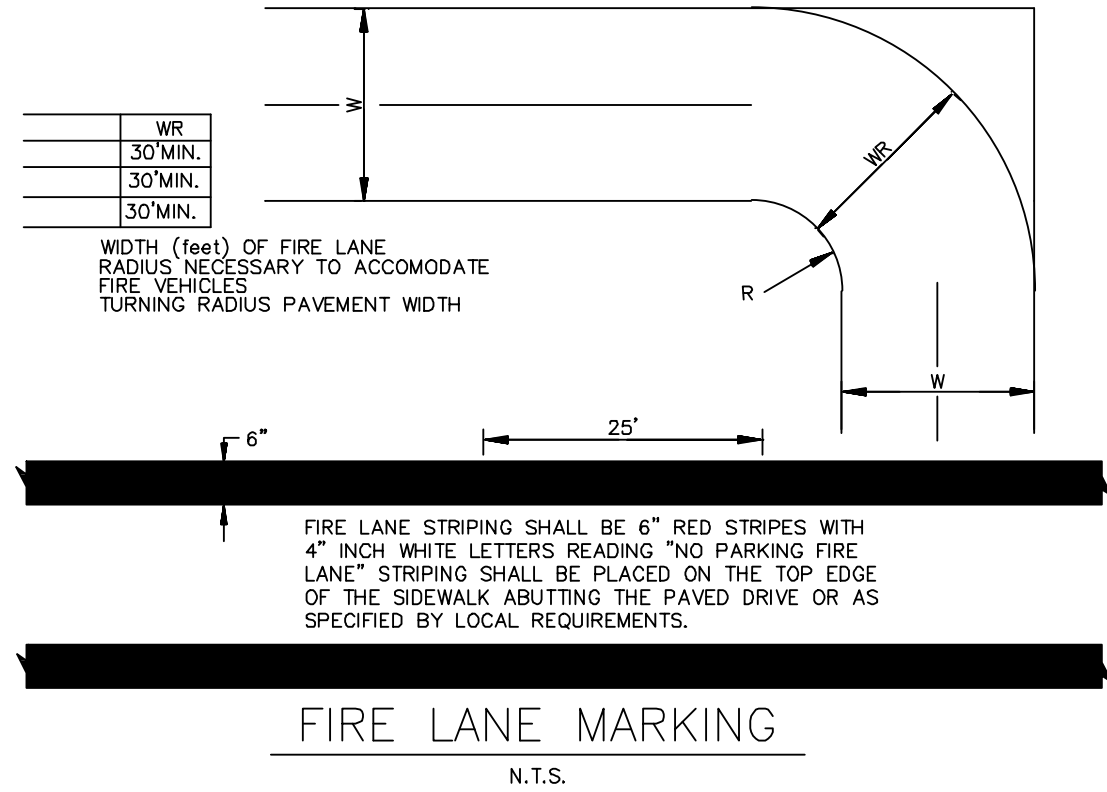
TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 856-3100
www.tierrawestllc.com

SAFStor
7520 RAINBOW BLVD. N.W.
ALBUQUERQUE, NM

MIXED USE-LOW INTENSITY MX-L
OCCUPANCY TYPE: STORAGE (GROUP S1)

LOT AREA: 88,479 SF (2.0312 ACRES)
BUILDING AREA: 105,000 SF
3 STORY HIGH BUILDING
CONSTRUCTION TYPE: II-B

BUILDING IS FULLY SPRINKLERED
FIRE SEPARATION = 2-HOUR RATING
MAX BUILDING HEIGHT 38'-0"
FIRE-FLOW = 3375GPM (6750GPM WITH 50% REDUCTION)
FH's REQUIRED=3
FH'S PROVIDED=3



KEYED NOTES

- 1 PIV
- 2 BUILDING ADDRESS
- 3 KNOX BOX
- 4 FDC
- 5 WATERLINE CONNECTION PER COA STD DWG. 2301
- 6 8" PUBLIC GATE VALVE
- 7 8" PRIVATE GATE VALVE
- 8 6" PRIVATE GATE VALVE
- 9 NEW PRIVATE FIRE HYDRANT AND VALVE
- 10 2" WATER METER AND SERVICE LINE CONNECTION PER COA STD DWG. 2363



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: ER 24-021652
APPROVED DATE: 10/24/24
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN CONFORMANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 3375 GPM, 3 HYDRANTS, 11-6"

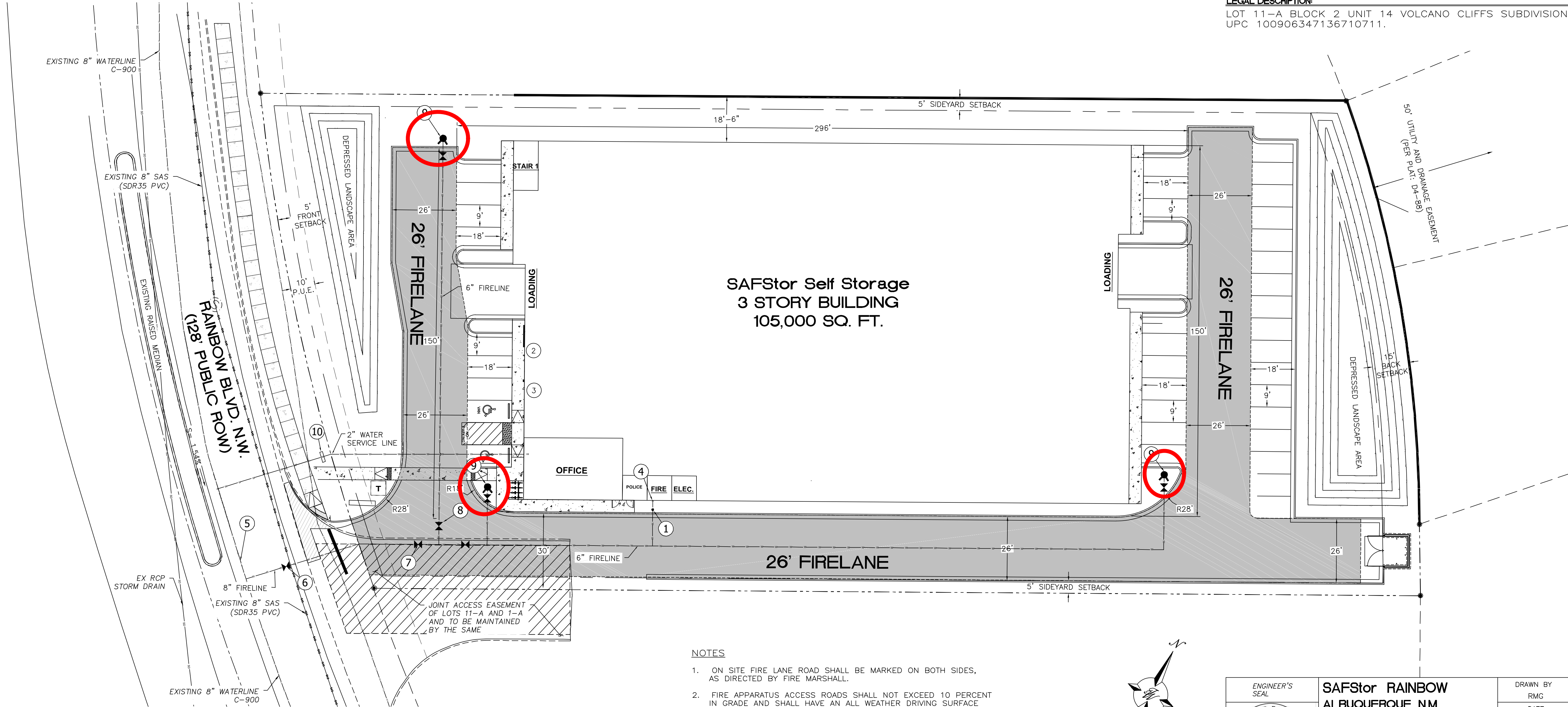


VICINITY MAP:

L-D9-Z

LEGAL DESCRIPTION:

LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION
UPC 100906347136710711.

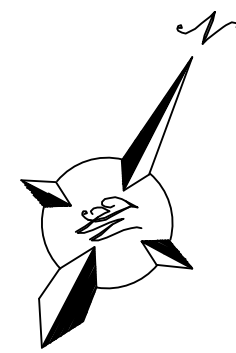


NOTES

1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
3. KNOX KEY SWITCH SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED. ONE IS TO BE PROVIDED FOR ALL ELECTRIC GATES AND ALL BUILDINGS.
4. KNOX KEY SWITCH REQUIRED FOR ALL ELECTRIC GATES AND ALL BUILDINGS.
5. BUILDINGS WILL REQUIRE VERTICAL AND HORIZONTAL FIRE SEPARATION BETWEEN EACH DWELLING UNIT WITH A FIRE-RESISTANCE RATING NO LESS THAN 2 HOURS PER 707.3.10 OF THE IBC.

CAUTION

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GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.



SAFStor RAINBOW
ALBUQUERQUE, N.M.

FIRE 1
PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY

RMG

DATE

06/17/2024

2024032_F1

SHEET #

F-1

JOB #

2024032

LEGEND

- CURB & GUTTER
--- BOUNDARY LINE
--- RIGHT-OF-WAY
— BUILDING
--- SIDEWALK
—5010— CONTOUR MAJOR
—5011— CONTOUR MINOR
x 5048.25 SPOT ELEVATION
→ FLOW ARROW
--- EXISTING CURB & GUTTER
--- EXISTING BOUNDARY LINE
---5010--- EXISTING CONTOUR MAJOR
---5011--- EXISTING CONTOUR MINOR

NOTICE TO CONTRACTORS

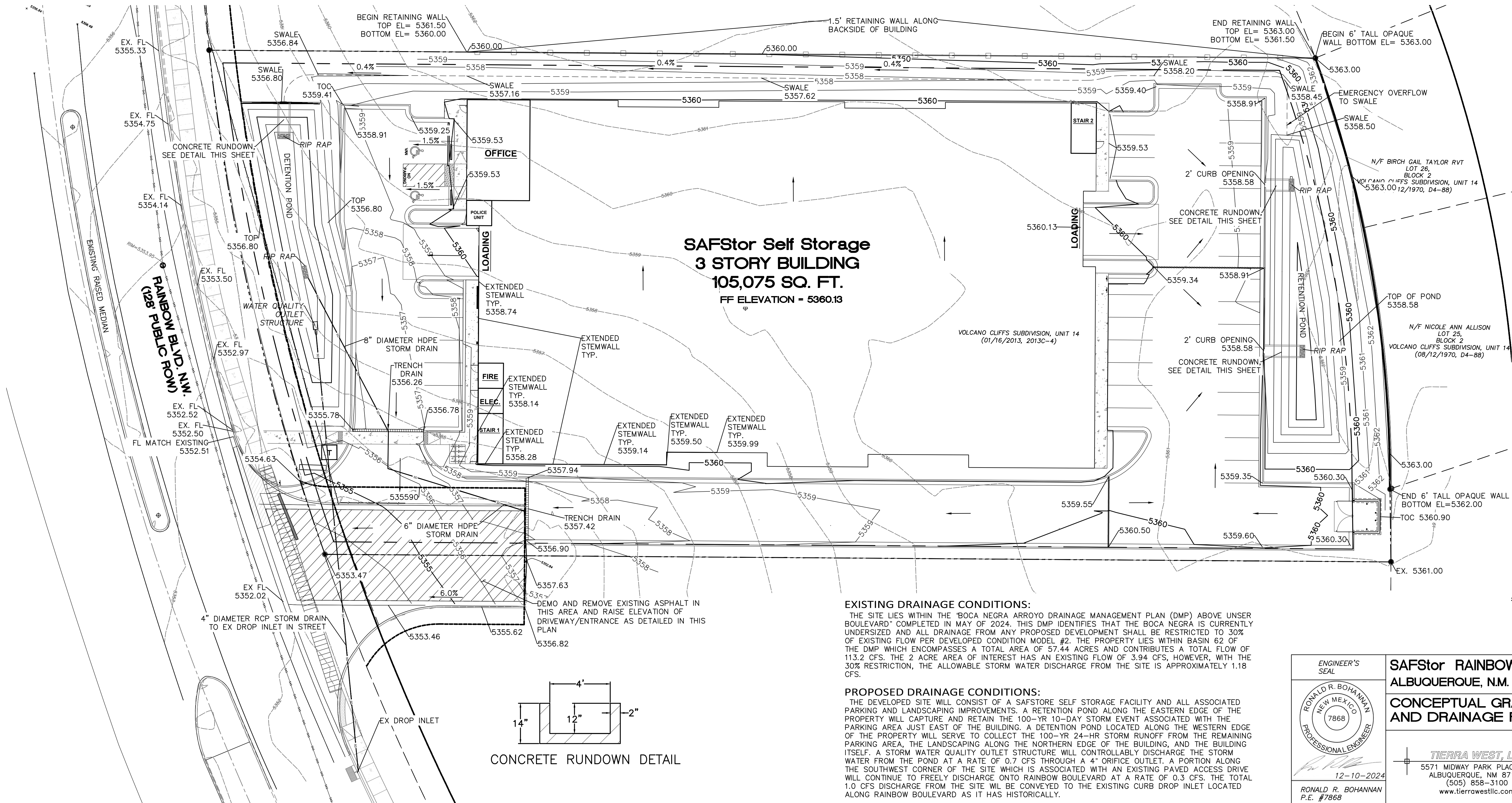
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR $\frac{3}{4}$ " GRAVEL.

NOTE:

ELEVATIONS SHOWN ARE AT FLOWLINE UNLESS OTHERWISE NOTED.

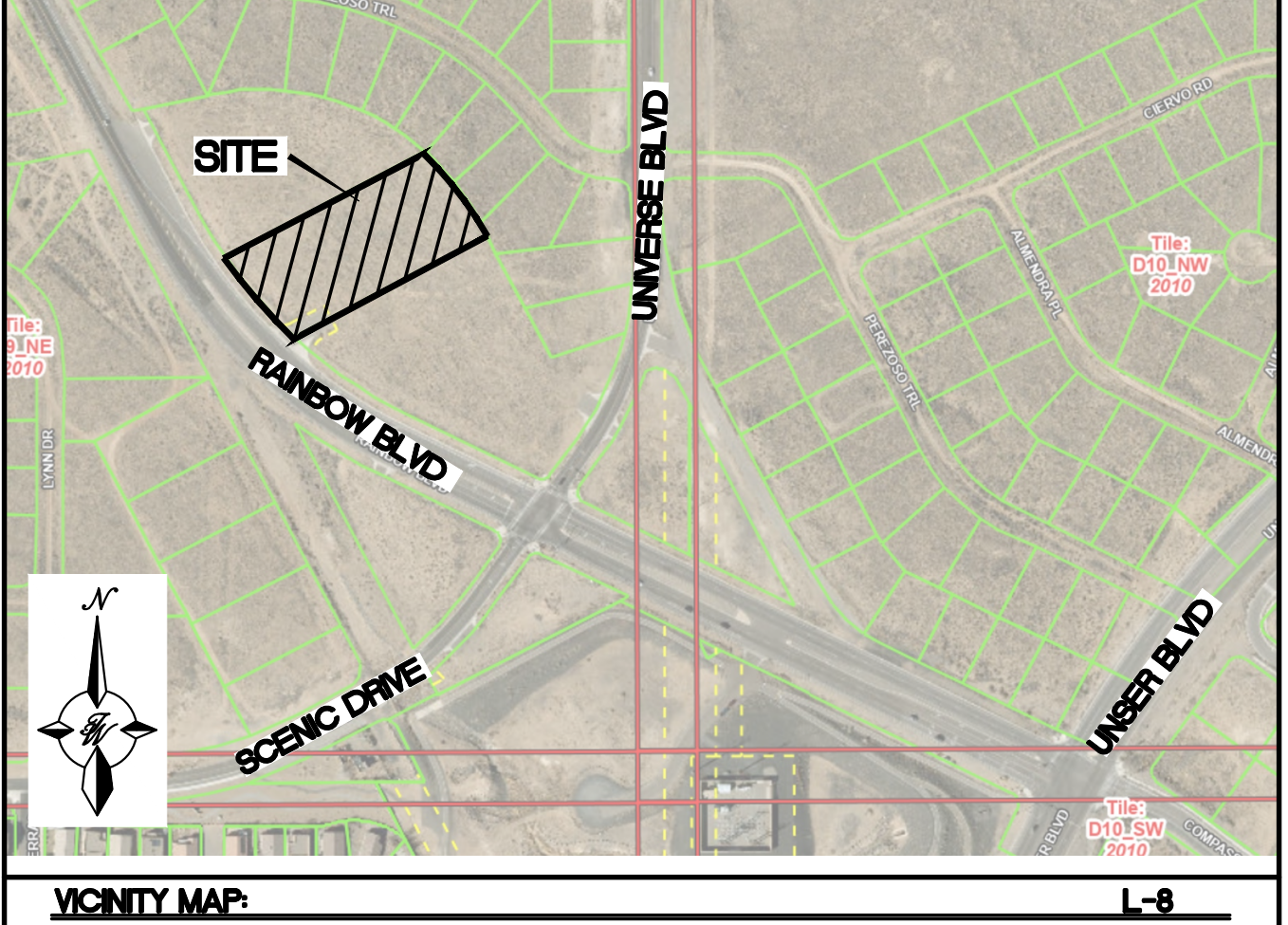
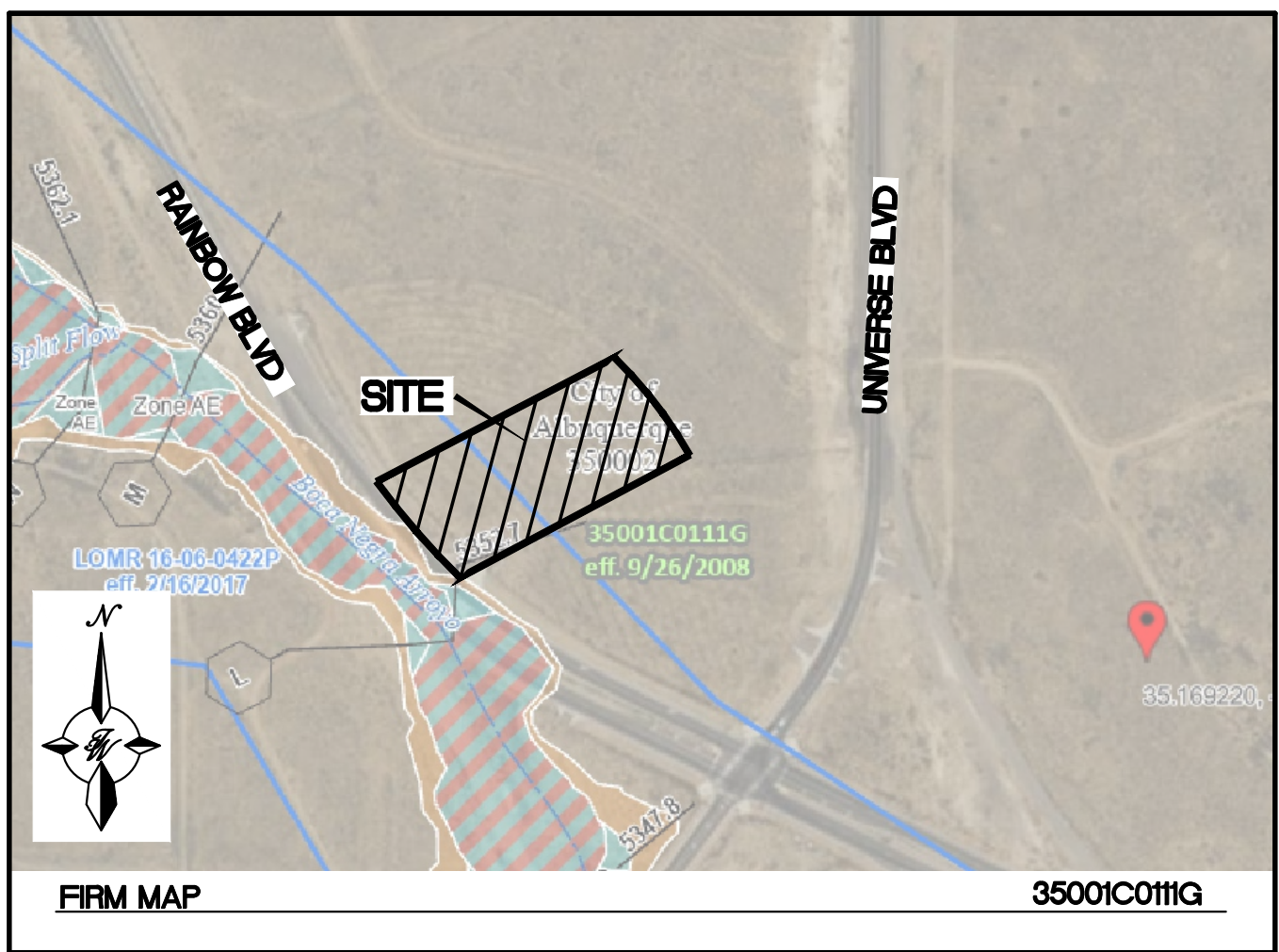


EXISTING DRAINAGE CONDITIONS:

THE SITE LIES WITHIN THE 'BOCA NEGRA ARROYO DRAINAGE MANAGEMENT PLAN (DMP)' ABOVE UNSER BOULEVARD* COMPLETED IN MAY OF 2024. THIS DMP IDENTIFIES THAT THE BOCA NEGRA IS CURRENTLY UNDERSIZED AND ALL DRAINAGE FROM ANY PROPOSED DEVELOPMENT SHALL BE RESTRICTED TO 30% OF EXISTING FLOW PER DEVELOPED CONDITION MODEL #2. THE PROPERTY LIES WITHIN BASIN 62 OF THE DMP WHICH ENCOMPASSES A TOTAL AREA OF 57.44 ACRES AND CONTRIBUTES A TOTAL FLOW OF 113.2 CFS. THE 2 ACRE AREA OF INTEREST HAS AN EXISTING FLOW OF 3.94 CFS, HOWEVER, WITH THE 30% RESTRICTION, THE ALLOWABLE STORM WATER DISCHARGE FROM THE SITE IS APPROXIMATELY 1.18 CFS.

PROPOSED DRAINAGE CONDITIONS:

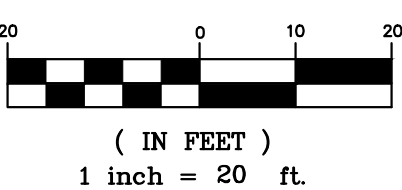
THE DEVELOPED SITE WILL CONSIST OF A SAFSTORE SELF STORAGE FACILITY AND ALL ASSOCIATED PARKING AND LANDSCAPING IMPROVEMENTS. A RETENTION POND ALONG THE EASTERN EDGE OF THE PROPERTY WILL CAPTURE AND RETAIN THE 100-YR 10-DAY STORM EVENT ASSOCIATED WITH THE PARKING AREA JUST EAST OF THE BUILDING. A DETENTION POND LOCATED ALONG THE WESTERN EDGE OF THE PROPERTY WILL SERVE TO COLLECT THE 100-YR 24-HR STORM RUNOFF FROM THE REMAINING PARKING AREA. THE LANDSCAPING ALONG THE NORTHERN EDGE OF THE BUILDING, AND THE BUILDING ITSELF, A STORM WATER QUALITY OUTLET STRUCTURE WILL CONTROLLABLY DISCHARGE THE STORM WATER FROM THE POND AT A RATE OF 0.7 CFS THROUGH A 4" ORIFICE OUTLET. A PORTION ALONG THE SOUTHWEST CORNER OF THE SITE WHICH IS ASSOCIATED WITH AN EXISTING PAVED ACCESS DRIVE WILL CONTINUE TO FREELY DISCHARGE ONTO RAINBOW BOULEVARD AT A RATE OF 0.3 CFS. THE TOTAL 1.0 CFS DISCHARGE FROM THE SITE WL BE CONVEYED TO THE EXISTING CURB DROP INLET LOCATED ALONG RAINBOW BOULEVARD AS IT HAS HISTORICALLY.





LEGAL DESCRIPTION:

LOT 1 BLOCK 3 TOWN OF ATRISCO GRANT
UPC 100805638540210405

GRAPHIC SCALE



	SAFStor RAINBOW ALBUQUERQUE, N.M.	DRAWN BY	RMG
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE	12/10/2024
	 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET #	GR-1
		JOB #	2024032

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SITE DATA

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BUILDING AREA: 105,075 SF

PARKING REQUIRED: 35 SPACES (105,075 SF, 1 SPACE/ 3,000 GFA)
PARKING PROVIDED: 35 SPACES 3--SMALL CAR (9%)

HC PARKING REQUIRED: 2 SPACES
HC PARKING PROVIDED: 2 SPACES
1 SPACE VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED: 2 SPACES
MOTORCYCLE PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

LANDSCAPE AREA REQUIRED: 13,272 SF
LANDSCAPE AREA PROVIDED: 39,161 SF

KEYED NOTES

- 1

ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. D1)
- 2

6" HEADER CURB (SEE DETAIL SHT. D1)
- 3

CONCRETE SIDEWALK AT BUILDING (SEE DETAIL SHT. D1)
- 4

DUMPSTER (SEE DETAIL SHT. D1)
- 5

BICYCLE RACKS (SEE DETAIL SHT. D1)
- 6

CURB HC RAMP (SEE DETAIL SHT. D1)
- 7

WHEEL STOP (SEE DETAIL SHT. D1)

8

MONUMENT SIGN

9

STOP SIGN

10

STOP BAR

11

NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP.), (SEE DETAIL SHT. D1)

12

UNIDIRECTIONAL ACCESSIBLE (TYP.) RAMP PER COA STD DWG 2443, (SEE DETAIL SHT. D1)

13

6' OPAQUE FENCE/WALL

14

PEDESTRIAN ACCESS WALKWAY

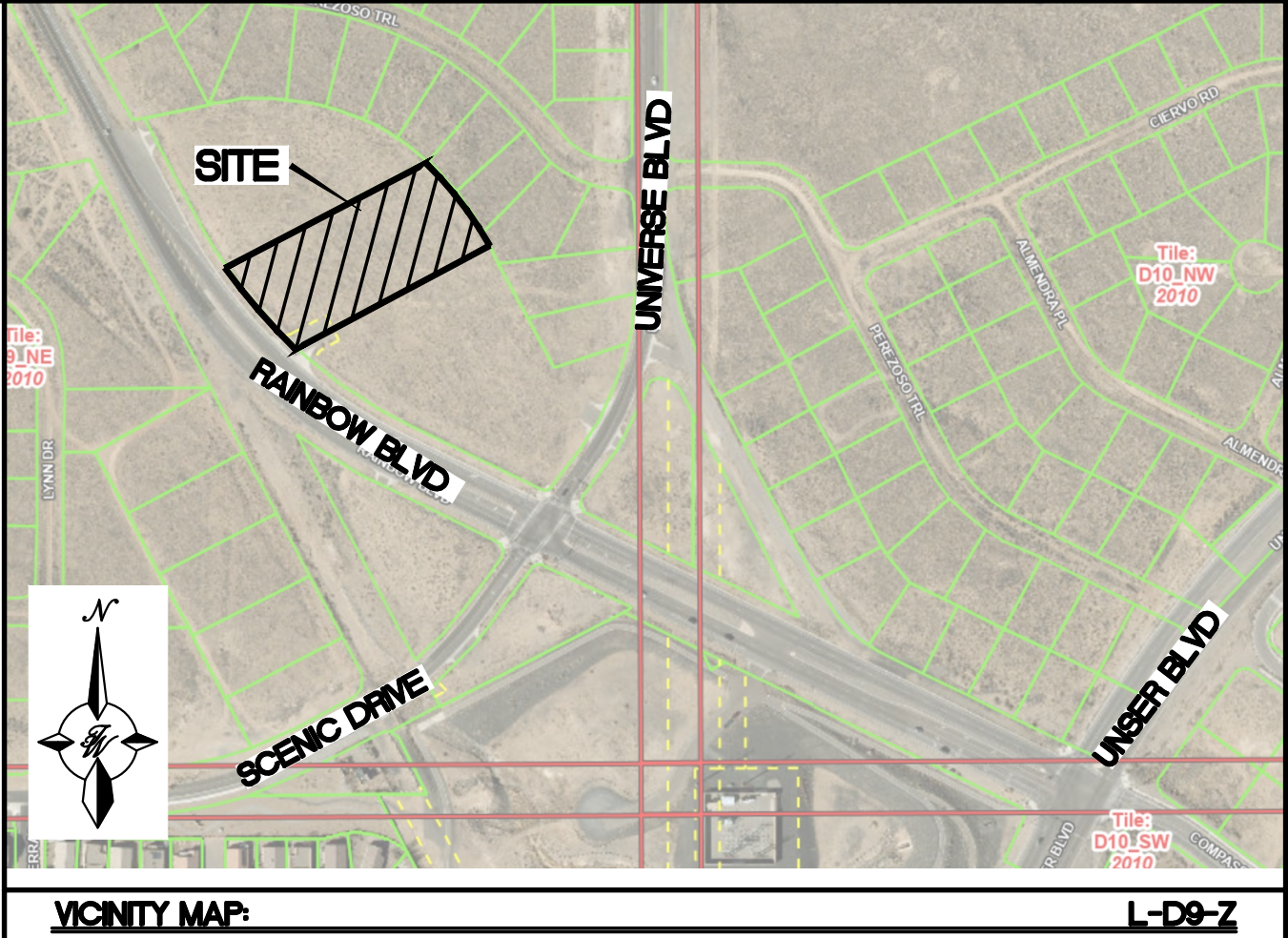
15

NEW ASPHALT PAVING

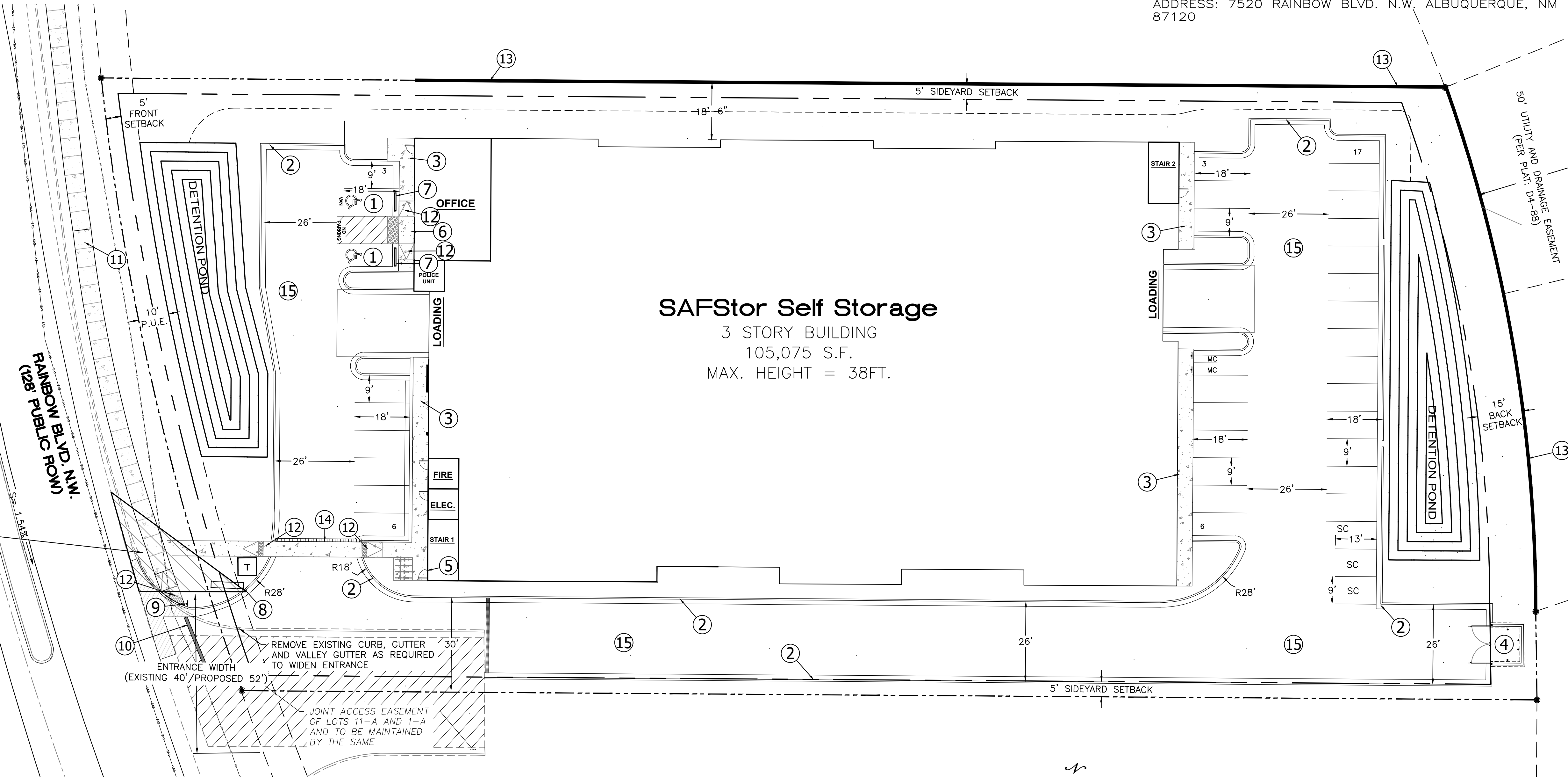
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SITE LIGHTS
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING STORM DRAIN
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING FIBER OPTIC
- T

TRANSFORMER



LEGAL DESCRIPTION:
LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION
UPC 100906347136710711.
ADDRESS: 7520 RAINBOW BLVD. N.W. ALBUQUERQUE, NM 87120



LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

SETBACKS:

FRONT 5' MINIMUM
SIDE 5' MINIMUM
BACK 15' MINIMUM

LANDSCAPE BUFFER:

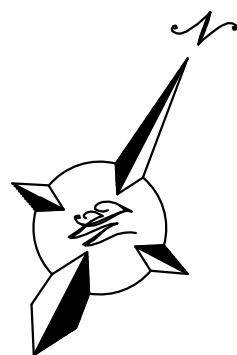
BACK 50' MINIMUM OR 6' OPAQUE WALL

GENERAL NOTES:

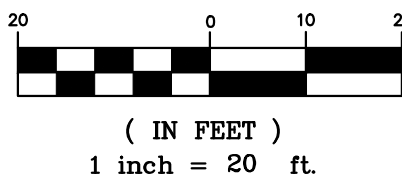
1. ALL BROKEN OR CRACKED CURB AND GUTTER OR VALLEY GUTTER MUST BE REMOVED AND REPLACED.




EXECUTIVE SUMMARY

THE SITE IS LOCATED IN THE SOUTHEAST QUADRANT OF RAINBOW BOULEVARD N.W. AND UNIVERSE BOULEVARD N.W. THE IMPROVEMENTS ON THE 2.03 ACRE PROPERTY (ONE TRACT) ARE PROPOSED 105,075 SF BUILDING AND ALL OTHER SITE IMPROVEMENTS. ALL OTHER EXISTING IMPROVEMENTS WILL REMAIN AS IS. ACCESS TO THE SITE IS FROM ONE EXISTING ENTRANCE OFF RAINBOW BOULEVARD N.W.



GRAPHIC SCALE



ENGINEER'S SEAL	SAFStor RAINBOW ALBUQUERQUE, N.M.	DRAWN BY RMG
  10-24-2024		DATE 10/24/2024
	TRAFFIC CIRULATION PLAN	2024032_TCL
	RONALD R. BOHANNAN P.E. #7868	 <i>TERRA WEST, LLC</i> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com
		JOB # 2024032



NOTES:

-
- Diagram illustrating a ramp design with a truncated dome surface. The ramp is shown with a 12:1 slope, a 5:1 slope, and a 50:1 MAX. slope. The ramp is labeled "TRUNCATED DOME". The ramp is shown with a "HEADER CURB" and a "WING TRANSITION OF HC RAMP" which must be orthogonal to the sidewalk. The ramp is shown with a "VARIES (7 MIN.)" slope and a "5:1 (MIN.)" slope. The ramp is shown with a "12:1" slope and a "50:1 MAX." slope.
1. WHEELCHAIR RAMP ARE AS COA S#2441 CASE II, EXCEPT THE RAMP WILL VARY TO MEET A 12:1 MAX. SLOPE.
 2. TRUNCATED DOME DESIGN NEEDS TO FOLLOW ADA GUIDELINES.
 3. FOR TRUNCATED DOMES, SUBMIT DESIGN/SPEC'S TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.

WHEELCHAIR RAMP DETAIL (TYP.)

NTS



A diagram showing a 4x4 grid of nodes (circles with crosses) arranged in a square pattern. The horizontal distance between adjacent nodes is labeled 'CC'. The vertical distance between adjacent nodes is labeled 'BB'. The grid is enclosed in a square frame with arrows indicating the dimensions.

DOME SPACING

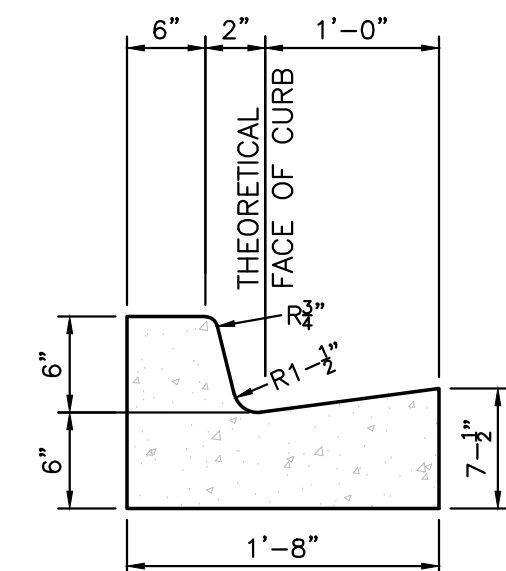
CC – CENTER TO CENTER SPACING 2.35'
BB – BASE TO BASE SPACING 1.48" MIN



NTS



NTS



CURB GENERAL NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWEED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

6" PRIVATE CURB & GUTTER

NTS



SECTION A-A

UNIDIRECTIONAL HC RAMP

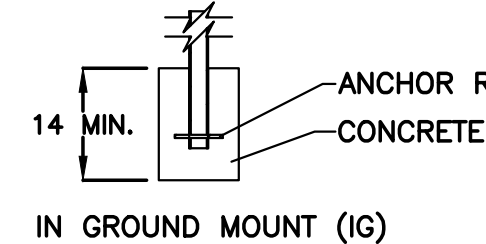
SCALE: NTS

- NOTES:

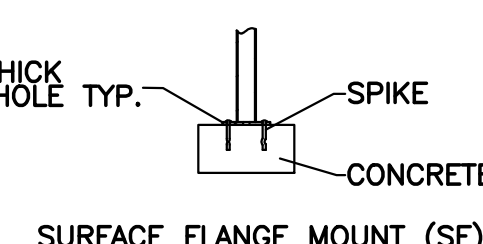
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.



CHECK DESIRED MOUNT



IN GROUND MOUNT (IG)

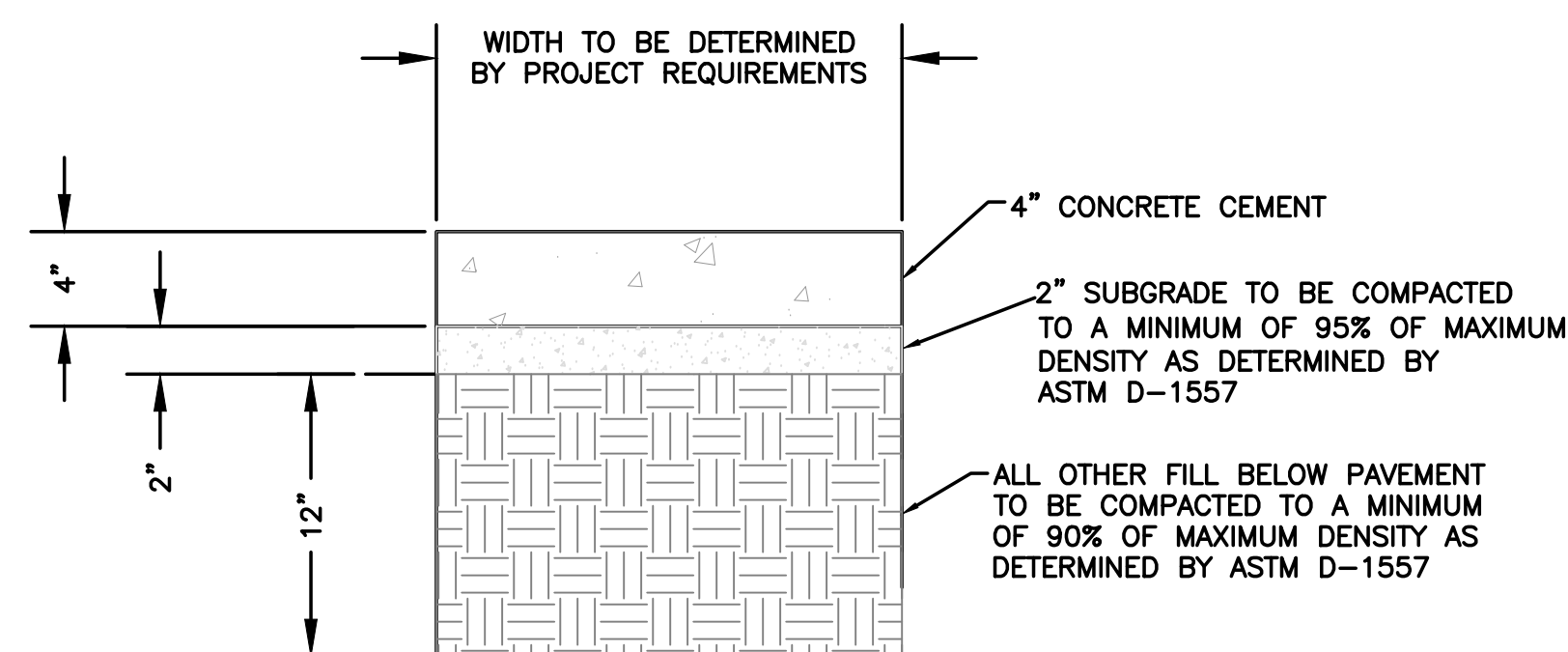


SURFACE FLANGE MOUNT (SF)

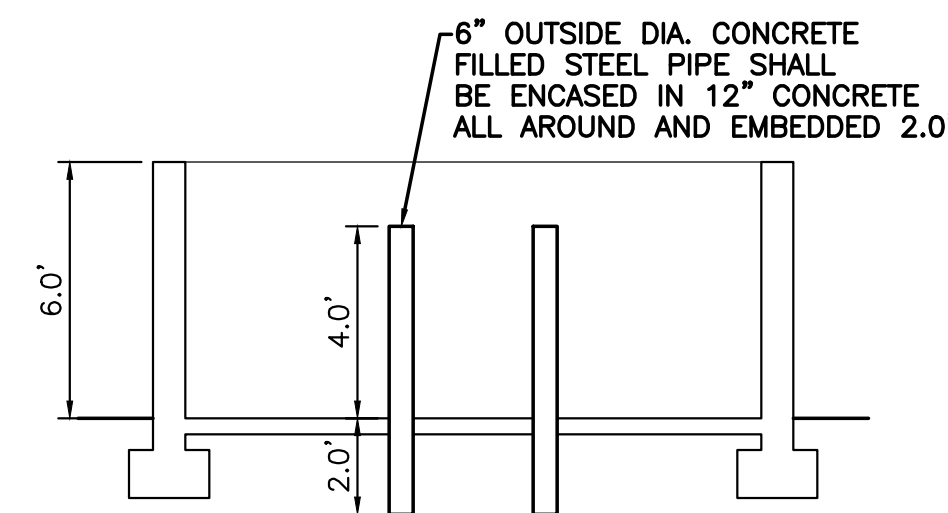
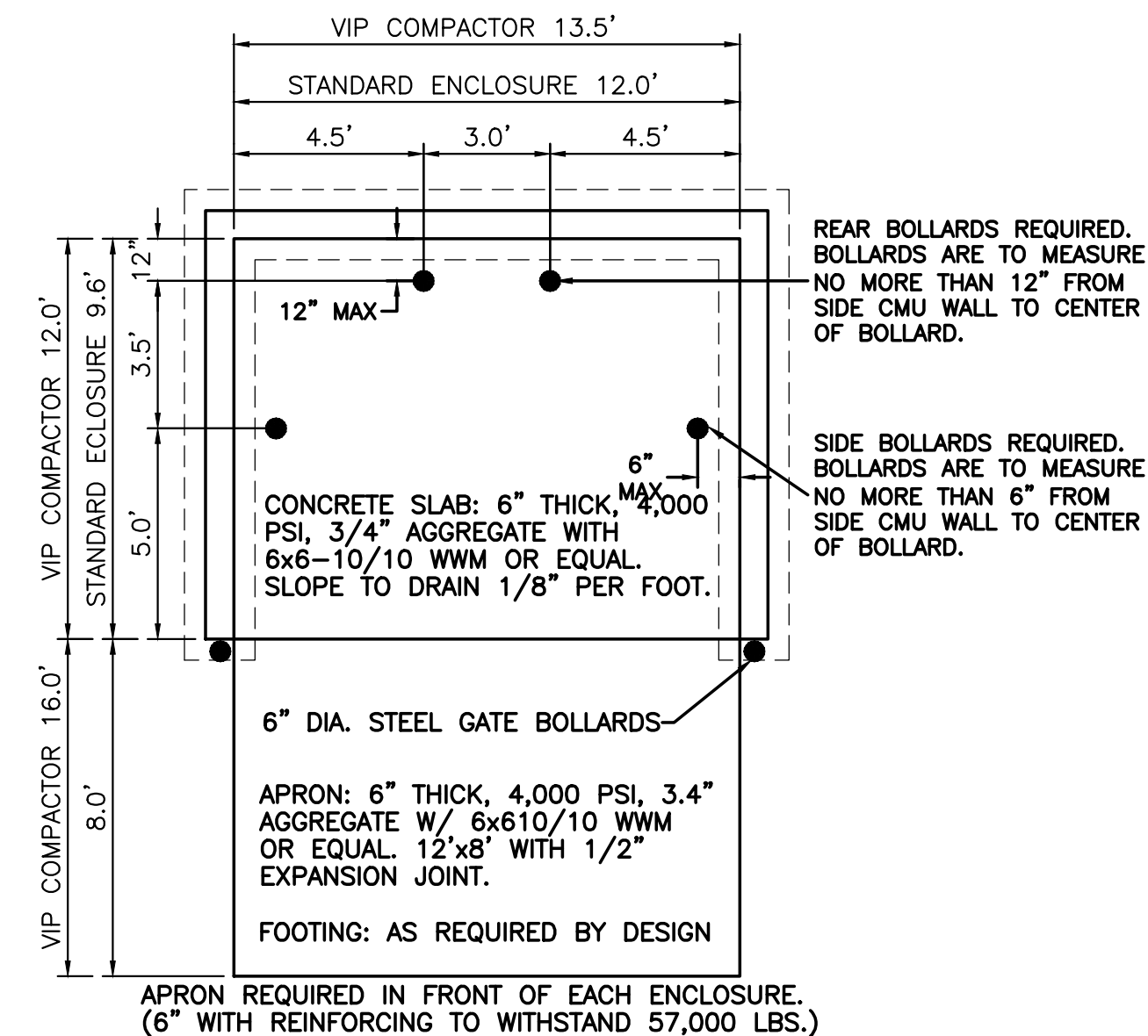
PRODUCT: U238-IG(SF) DESCRIPTION: 'U' BIKE
RACK 2 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 10-4-18 ENG: SMC

- NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR (FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

U-BIKE RACK



CONCRETE SIDEWALK SECTION



NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

DUMPSTER ENCLOSURE DETAIL

NTS



GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
13. ALL PUBLIC UTILITY INFRASTRUCTURE IMPROVEMENTS SHALL BE COMPLETED WITH A WORK ORDER PERMIT ISSUED THROUGH THE WATER UTILITY AUTHORITY.

NOTES:

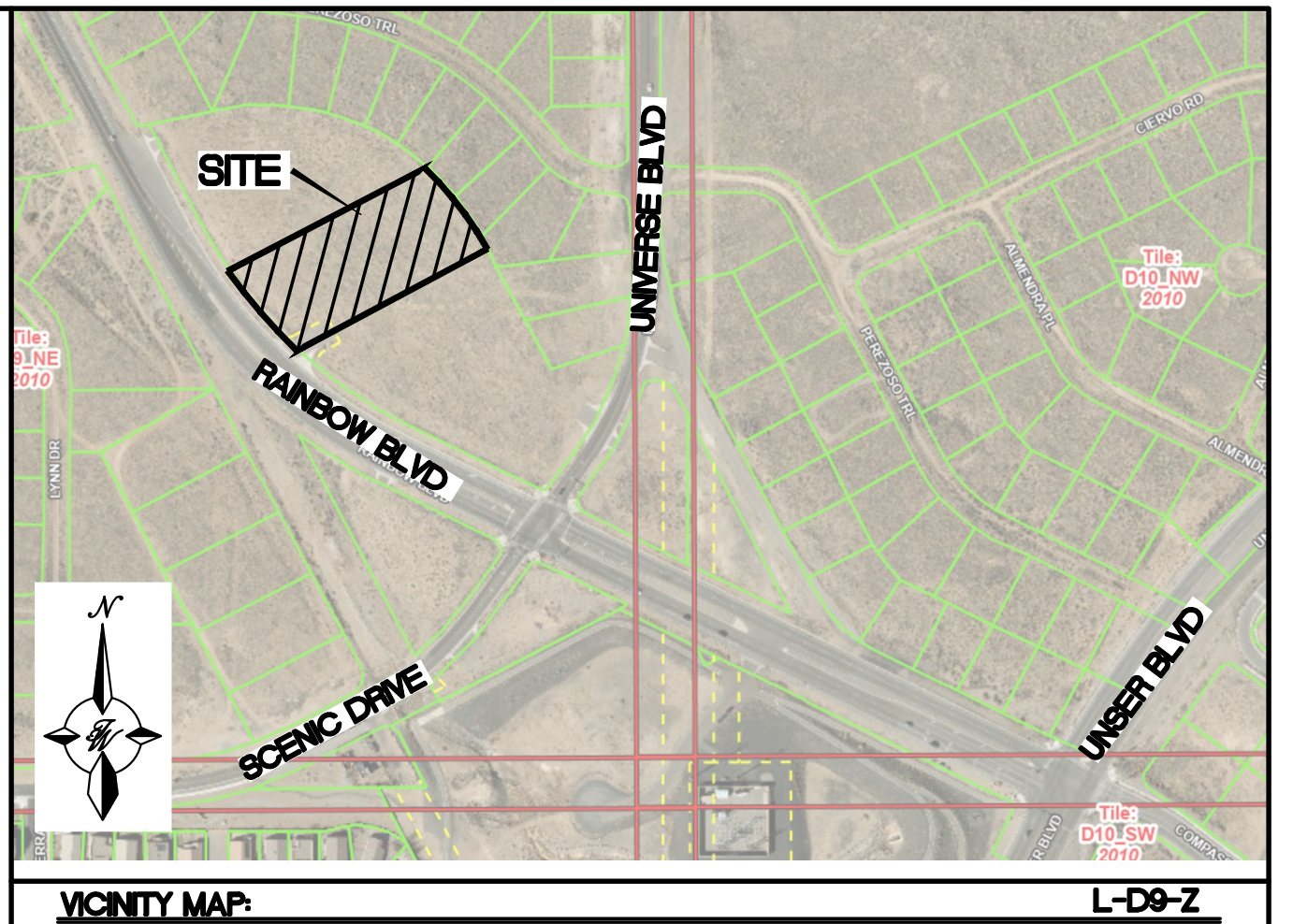
1. ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PRIVATE.
2. THE PRIVATE FIRE HYDRANTS, INDICATED IN THE UTILITY PLAN, SHALL BE PAINTED SAFETY ORANGE.

KEYED NOTES

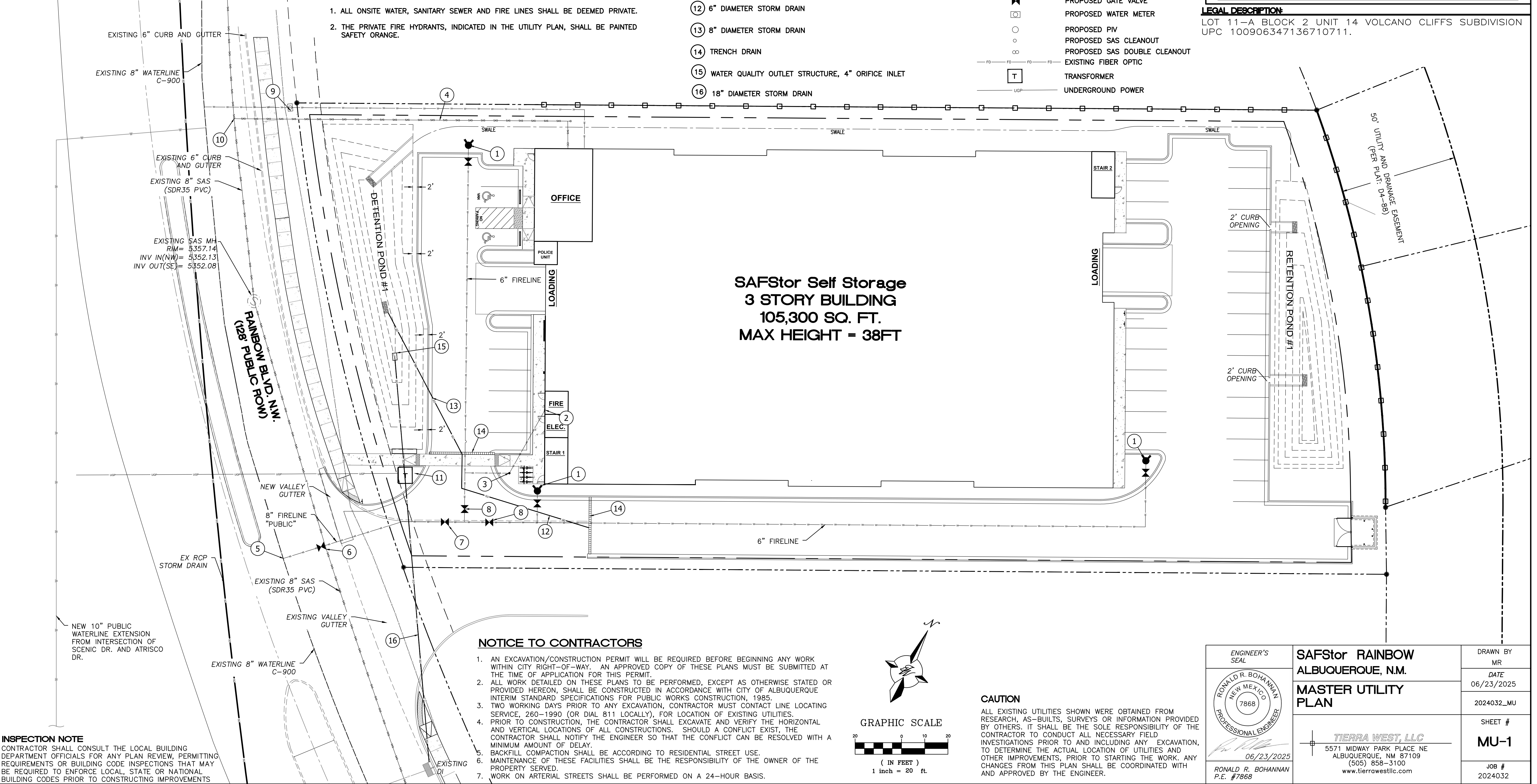
- 1 NEW PRIVATE FIRE HYDRANT AND VALVE PER COA STD DWG 2340
- 2 FDC (FIRE DEPARTMENT CONNECTION)
- 3 PIV (POST INDICATOR VALVE)
- 4 4" SAS SERVICE LINE
- 5 WATERLINE CONNECTION PER COA STD DWG 2301
- 6 8" PUBLIC GATE VALVE, VALVE BOX, AND RING/COVER PER COA STD DWG.'S 2326, 2328,AND 2329.
- 7 8" PRIVATE GATE VALVE, VALVE BOX, AND RING/COVER PER COA STD. DWG.'S 2326, 2328, AND 2329.
- 8 6" PRIVATE GATE VALVE, VALVE BOX, AND RING/COVER PER COA STD. DWG.'S 2326, 2328, AND 2329.
- 9 2" WATER METER AND SERVICE LINE CONNECTION PER COA STD DWG 2363
- 10 SAS SERVICE LINE CONNECTION PER COA STD DWG 2125
- 11 ELECTRICAL TRANSFORMER
- 12 6" DIAMETER STORM DRAIN
- 13 8" DIAMETER STORM DRAIN
- 14 TRENCH DRAIN
- 15 WATER QUALITY OUTLET STRUCTURE, 4" ORIFICE INLET
- 16 18" DIAMETER STORM DRAIN

LEGEND

- | | |
|--|------------------------|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | BUILDING |
| | SIDEWALK |
| | SITE LIGHTS |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING SIDEWALK |
| | |



VICINITY MAP:
LEGAL DESCRIPTION:
LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION
UPC 100906347136710711.

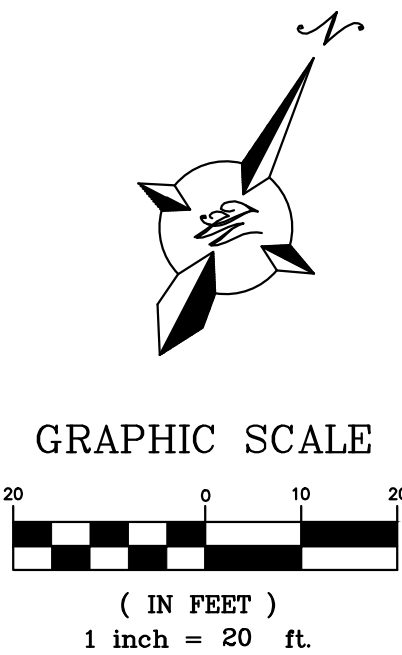


INSPECTION NOTE

CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

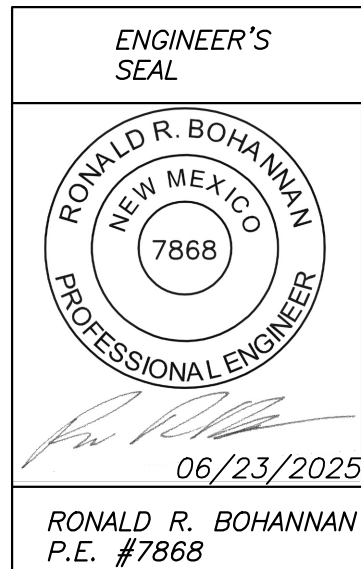
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



SAFStor RAINBOW
ALBUQUERQUE, N.M.
MASTER UTILITY
PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
MR

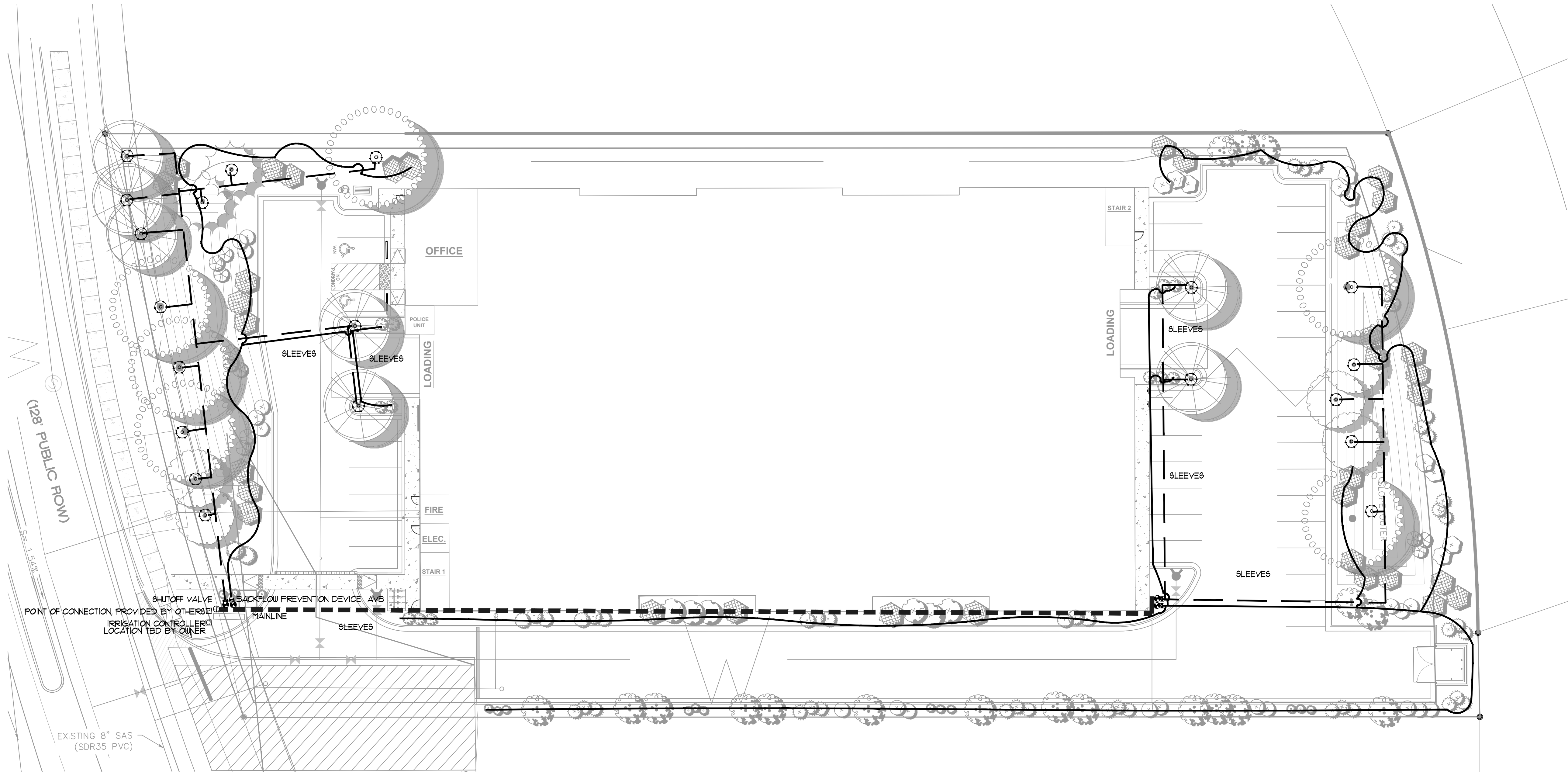
DATE
06/23/2025

2024032_MU

SHEET #

MU-1

JOB #
2024032



IRRIGATION LEGEND

COMPONENT	MANUFACTURER	SIZE / NOTES
POINT OF CONNECTION, PROVIDED BY OTHERS	SEE CIVIL PLANS	1" As Required
IRRIGATION CONTROLLER	HUNTER	1" Cover, Provide Freeze Protection
BACKFLOW PREVENTION DEVICE RPA	FEECO (OR EQUAL)	1" Cover, Provide Freeze Protection
MASTERYALVE ASSEMBLY	HUNTER	1" Cover, Provide Freeze Protection
MAINLINE	Sch 40 PVC	1" with Pressure Regulation and Y Filter
ELECTRIC ZONE VALVE	HUNTER	2 SIZES LARGER THAN PIPE TO BE SLEEVED.
SLEEVES	Class 200 PVC	1" 3/4" - 1" SEE DETAIL
Drip Line, Tree Netafim Rings	Class 200 PVC	
Drip Line, Shrub Drip Emitters	Polyline	
Netafim Tree Irrigation Lines	RAINBIRD	

Size Equipment as Required for Flow Rate

IRRIGATION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
- THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT AFFROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS, CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- ALL IRRIGATION SLEEVEING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVEING DETAIL.
- SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNER. BACKFLOW PREVENTOR TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER.

IRRIGATION NOTES:
Irrigation shall be a complete underground system.

Trees and shrubs shall be on separate valves.

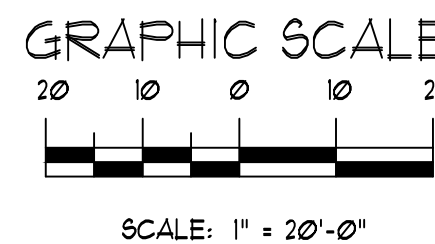
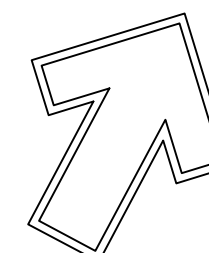
Point of connection for irrigation system shall be as indicated on the Utility Plan, Civil drawings. Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.

Irrigation will be operated by smart irrigation system automatic controller, capable of multi-programming ability.

Location of controller to be field determined and power source for controller to be provided by the owner.

Irrigation maintenance shall be the responsibility of the Property Owner.

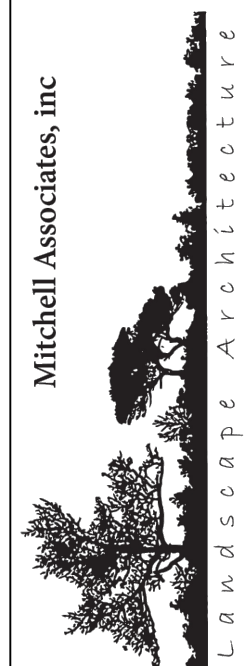
Water and Power source for irrigation system shall be the responsibility of the Property Owner.



SAFSTOR

7520 RAINBOW BLVD. N.W.
ALBUQUERQUE, NM 87120

Mitchell Associates, Inc.

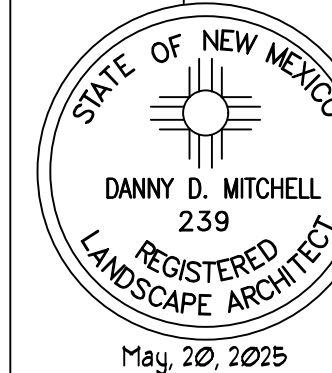


905.539.9583

danny@mitchellassociatesinc.com

Seal:

Landscape Architect



Project NO: 2024-046

DRAWING NO: LS-102

DESIGNED BY:	REVISIONS
Drawn By:	Date:
Approved By:	Date:
Date:	Comment
6/17/2025	
NEW MEXICO ONE CALL	
1-800-521-ALERT (2537)	
www.rmonecall.org	
Call two working days before you dig.	
File ID:	

City of Albuquerque Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided for Reference

PURPOSE

This Section 14-6-5-6 regulates landscaping to ensure visually attractive, sustainable desert landscapes that aid in the creation of a quality public realm. The City recognizes landscape as a visual component to quality environments that enhance Albuquerque's overall appearance and provide other public benefit through:

- 5-6(A)(1) Providing visual relief from urbanization.
- 5-6(A)(2) Establishing a consistent, attractive streetscape that generates a sense of continuity and a strong positive city image.
- 5-6(A)(3) Improving the aesthetic appearance of commercial, industrial, and multi-family residential development to protect and enhance public and private investments and property values.
- 5-6(A)(4) Ensuring the use of native and/or adapted, low water-use, or xeric species, and regionally appropriate, sustainable design and maintenance techniques to conserve water resources.
- 5-6(A)(5) Contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscaping should be designed to resist soil moisture prevent erosion, encourage the growth of abutting plantings, and mitigate urban heat-island effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and glare.
- 5-6(A)(6) Providing screening of some types of facilities, structures, and equipment.
- 5-6(A)(7) Providing shade and comfort for pedestrians and visually screening streets, which has been shown to reduce vehicle speeding and accidents.

5-6(B) APPLICABILITY

5-6(B)(1) The provisions of this Section 14-6-5-6 shall apply to any of the following unless specified otherwise this IDO.

5-6(B)(1)(a) Construction of a new building containing multi-family, mixed-use, or non-residential development or an accessory parking structure.

5-6(B)(1)(b) Construction of a new driveway or other lines as ground cover be limited to a maximum of 75 percent of any landscaped area, or 50 percent in DT-UC-M5 areas 5-6(C)(2)(a) A minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended. 5-6(C)(3)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, used barrier fabric is prohibited.

5-6(C)(3)(f) All landscaped areas shall be protected from vehicular encroachment by curbs or utility slopes located 2 feet outside the landscaped area with openings to accommodate surface collection of stormwater runoff in vegetated washes and stormwater infiltration areas.

5-6(C)(6) Minimum Plant Sizes at Installation.

All vegetation required by this Section 14-6-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO.

Table 5-6-1 Minimum Plant Sizes	Minimum size
Deciduous Street Trees	2 1/2" caliper 4 ft. above grade
Evergreen Street Trees	1.5" in caliper 4 ft. above grade
Small Trees	6" in height
Medium Trees	Minimum 2 1/2" caliper 4 ft. above grade
Large Trees	Minimum 4" caliper 4 ft. above grade
Ground cover and turf	Adapted to provide general ground cover within 10' of trees

5-6(C)(1) Planting Material Spacing

5-6(C)(1)(a) Vegetation along this Section 14-6-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve vaults, gas bills, manholes, hydrants, and fire department connections.

5-6(C)(1)(b) Tree planting requirements are based on the length of the street frontage, areas of coverage, and the type of vegetation to be included when calculating the number of trees required to be planted, and all trees that would otherwise be required in driveways or drive aisles shall be planted in other landscaped front yard areas.

5-6(C)(1)(c) The Planning Director may authorize adjustments to any spacing requirements when required due to topography, drainage, utilities or obstructions, provided that the total amount of required landscaping is not reduced.

5-6(C)(2) Protecting Clear Sight Triangle

The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

5-6(C)(3) Planting In or over the Public Right-of-way

5-6(C)(3)(a) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of-way.

5-6(C)(3)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8 foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 9 foot clearance over the street surface.

5-6(C)(3)(c) Landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements of Article 6-6-2 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve at the property line allowing for the irrigation of the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way.

5-6(C)(3)(d) Planting near Utilities

5-6(C)(3)(e) Trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced.

5-6(C)(3)(f) Trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line.

5-6(C)(3)(g) Trees or shrubs planted within utility easements shall comply with the standards of the utility provider to minimize effects on facilities maintenance and repair.

5-6(C)(3)(h) If overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.

5-6(C)(3)(i) All screening and vegetation surrounding ground-mounted transformers and utility poles must allow 10 feet of clearance for access and to ensure the safety of the work crew and public during maintenance and repair.

5-6(C)(3)(j) Trees shall not be planted near existing or proposed street poles.

5-6(C)(3)(k) Standards in the DPM may apply to tree planting in or near utility easements.

5-6(C)(3)(l) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(3)(m) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(3)(n) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(3)(o) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(3)(p) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(3)(q) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(3)(r) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(3)(s) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(3)(t) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(3)(u) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(3)(v) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(3)(w) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(3)(x) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(3)(y) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(3)(z) Screening and vegetation shall be installed in the public right-of-way.

5-6(C)(4) Required Plant Materials and Site Amenities

5-6(C)(4)(a) A minimum of 5 species must be used in the landscaped area.

5-6(C)(4)(b) Only plants and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-6-5-6(C) (General Landscaping Standards) except that, upon presentation of evidence, the relevant decision-making body may authorize alternative species or cultivars that meet all of the following requirements:

1. Meet the intended purpose of that type of landscaping.
2. Are not hazardous.
3. Are not identified as invasive on a City or State plant list.
4. Are not listed in the City's weed identification Handbook.
5. Are equally hardy to the New Mexico climate.

5-6(C)(4)(c) Installation of any trees, shrubs, or other vegetation included in a State list of prohibited or invasive species or listed as noxious weeds in the City's weed identification Handbook is prohibited.

5-6(C)(4)(d) No more than 10 percent of required landscape areas shall be cool season grass species. Irrigated cool season grass shall not be planted on slopes exceeding 14 percent or planted in narrow or irregularly shaped areas 10 feet or less in any dimension in order to avoid water waste. Any cool season grass shall be installed at

Table 5-6-2: Credits for Preserving Trees

Diameter at Breast Height (in.)	Number of Trees Credited
>13 and <25	8
25 and <13	4
>4 and <8	2
<4	1
Prohibited trees 8 in. or greater ^[1]	1

5-6(C)(5) Stormwater Management Features

5-6(C)(5)(a) Required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation.

5-6(C)(5)(b) Required landscape and buffer areas shall be designed pursuant to the DPM and the City Standard Specifications for Public Works Construction.

5-6(C)(5)(c) In the R-M, R-MH, Mixed-use, and NR-SU zone districts, and on lots containing multi-family dwellings or non-residential uses in the R-A, R-1, R-1C, and R-2 zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collection areas that are located in landscape areas and that meet all applicable standards in the DPM.

5-6(C)(5)(d) Areas created to meet stormwater management requirements of the City or a governmental entity, located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in those areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(5)(e) Where pedestrian walkways and multi-use trails cross required landscape areas, permeable paving may be used and any cross count toward the requirements of Subsection 14-6-5-6(C)(5) (Stormwater Management Features).

5-6(C)(5)(f) Irrigation Systems

5-6(C)(5)(f)(a) Any irrigation system shall comply with Section 8 of the ABCUWA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).

5-6(C)(5)(f)(b) All irrigation systems shall be designed to minimize the use of water.

5-6(C)(5)(f)(c) All non-residential landscape irrigation shall have automatic timers.

5-6(C)(5)(f)(d) Any programmable systems to avoid overwatering.

5-6(C)(5)(f)(e) The irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.

5-6(C)(5)(f)(f) Installation

5-6(C)(5)(f)(g) All landscaping material used to meet the requirements of this Section 14-6-5-6 shall be installed in accordance with the planting procedures established by the American Nursery and Landscape Association.

5-6(C)(5)(f)(h) All required landscaping, street trees, screening, and buffering shall be installed prior to the issuance of a final certificate of occupancy if there is more than one primary building on the site, the landscaping, screening, and buffering related to each building

5-6(C)(5)(i) Alternative Landscape Plans

The Planning Director may approve alternative landscape plans that do not meet the specific requirements stated in this Section 14-6-5-6 if the Planning Director determines that the alternatives meet all of the following criteria:

1. 5-6(C)(5)(a) Are consistent with the purposes of this Section 14-6-5-6.
2. 5-6(C)(5)(b) Do not include invasive vegetation included in a City or State list of prohibited or invasive species or listed as a noxious weed in the City's weed identification Handbook.
3. 5-6(C)(5)(c) Do not include a reduction of tree planting requirements.
4. 5-6(C)(5)(d) Provide equal or superior buffering of adjacent properties from anticipated impacts of the proposed development.
5. 5-6(C)(5)(e) Provide equal or superior visual appearance of the property when viewed from the street.

5-6(C)(5)(i)(f) Provide equal or superior carbon dioxide absorption and heat island reduction.

5-6(C)(6) STREET FRONTAGE LANDSCAPING

5-6(C)(6)(1) Required Street Trees

5-6(C)(6)(1)(a) All development shall comply with Part 6-6-2 of ROA 1994 (Street Trees) and any standards developed by the Parks and Recreation Department or other City department to implement that Ordinance. Trees are generally required along street frontages every 25 feet or center unless specified otherwise in Part 6-6-2 of ROA 1994 (Street Trees). Along street frontages where street trees are required, trees that are planted within 20 feet of the back of curb of the abutting street may fulfill this requirement.

5-6(C)(6)(1)(b) Only trees selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-6-5-6(C)(6) (Street Frontage Landscaping), except that existing trees that are 8 inch caliper or larger may count toward street tree requirements, regardless of whether they appear on one of those lists.

5-6(C)(6)(1)(c) Planting areas reserved for trees in the street frontage shall meet the minimum size requirements in Table 5-6-3 unless specified otherwise in this IDO. Tree grades may be used in contained locations to accommodate pedestrian circulation, to allow the required planting areas to have a walkable surface.

Table 5-6-3: Minimum Planting Area by Tree Height at Maturity	Minimum size
Tree Height at Maturity (ft.)	Minimum Planting Area (ft.)
>20	4 x 4
10-20	3 x 3
<10	6 x 6

5-6(C)(2) Additional Prongue Landscaping

5-6(C)(2)(a) General For buildings with a footprint of more than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, public trail, or other landscaped area.

5-6(C)(2)(b) Downtown, Urban Centers, and Main Street and Premium Transit Areas Fifty (50) percent of any front setback area not used for pedestrian areas to the building or improved with pedestrian furniture and amenities shall be landscaped, and no part of the front setback area surface shall be asphalt.

Table 5-6-6(XI) Buffering – Development Type Summary ¹⁾		General Buffering	Buffering in DT-UC-M5
Development Type	Nearest to	Standard	Buffering
Industrial	Industrial	14-16-5 (34')	Landscaped buffer area 225 ft.
Multi-Family	Industrial	14-16-5 (34')	Landscaped buffer area 225 ft.
Mixed-use or adjacent residential	R-A, R-1, R-1C, R-2, R-2C, R-3, R-3C, R-4, R-4C, R-5, R-5C, R-6, R-6C, R-7, R-7C, R-8, R-8C, R-9, R-9C, R-10, R-10C, R-11, R-11C, R-12, R-12C, R-13, R-13C, R-14, R-14C, R-15, R-15C, R-16, R-16C, R-17, R-17C, R-18, R-18C, R-19, R-19C, R-20, R-20C, R-21, R-21C, R-22, R-22C, R-23, R-23C, R-24, R-24C, R-25, R-25C, R-26, R-26C, R-27, R-27C, R-28, R-28C, R-29, R-29C, R-30, R-30C, R-31, R-31C, R-32, R-32C, R-33, R-33C, R-34, R-34C, R-35, R-35C, R-36, R-36C, R-37, R-37C, R-38, R-38C, R-39, R-39C, R-40, R-40C, R-41, R-41C, R-42, R-42C, R-43, R-43C, R-44, R-44C, R-45, R-45C, R-46, R-46C, R-47, R-47C, R-48, R-48C, R-49, R-49C, R-50, R-50C, R-51, R-51C, R-52, R-52C, R-53, R-53C, R-54, R-54C, R-55, R-55C, R-56, R-56C, R-57, R-57C, R-58, R-58C, R-59, R-59C, R-60, R-60C, R-61, R-61C, R-62, R-62C, R-63, R-63C, R-64, R-64C, R-65, R-65C, R-66, R-66C, R-67, R-67C, R-68, R-68C, R-69, R-69C, R-70, R-70C, R-71, R-71C, R-72, R-72C, R-73, R-73C, R-74, R-74C, R-75, R-75C, 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EIFS			ACM		MP	TRIM <10%
SW6142 (LRV 49%)	SW9116 (LRV 32%)	SW6146 (LRV 10%)	ACM-1 (LRV 30%)	ACM-2 (LRV 30%)	MP-2B (LRV 29%)	(LRV <10%)

ELEVATION NOTES

1. INSTALLER TO VERIFY THAT ALL EXTERIOR FINISHES ARE OF QUALITY AND MEET PROJECT SPECIFICATIONS AS LISTED IN PROJECT DOCUMENTS OR APPROVED PRODUCT SUBMITTALS. COORDINATE WITH GC FOR INSTALLED SITE MOCK UPS AS REQUIRED.
2. RETURN EIFS REVEALS BACK TO WALL AT ALL CORNER CONDITIONS.
3. RETURN ROOF COPING BACK TO WALL AT ALL CORNER CONDITIONS.
4. RETURN STONE SILL CAP BACK TO WALL AT ALL CORNER CONDITIONS.
5. BUILDING SIGNAGE TO BE PERMITTED SEPARATELY. FINAL SIZE & LOCATION TO BE REVIEWED BY ARCHITECT AND APPROVED BY OWNER.
6. DIMENSIONS AT EIFS/ACM REVEAL ARE TO CENTERLINE OF REVEAL U.N.O.
7. DIMENSIONS AT WALL LOUVERS ARE TO CENTERLINE OF LOUVER U.N.O.
8. STANDARD EIFS REVEAL TYPE IS 1-1/2" WIDE AND 3/4" DEEP. SEE EIFS REVEAL DETAIL.
9. STNADARD ACM REVEAL TYPE IS 1/2" MANUFACTURER TO VERIFY.
10. SEE EXTERIOR ELEVATIONS FOR FINISH TAGS AND DESCRIPTIONS.

KEYNOTE LEGEND

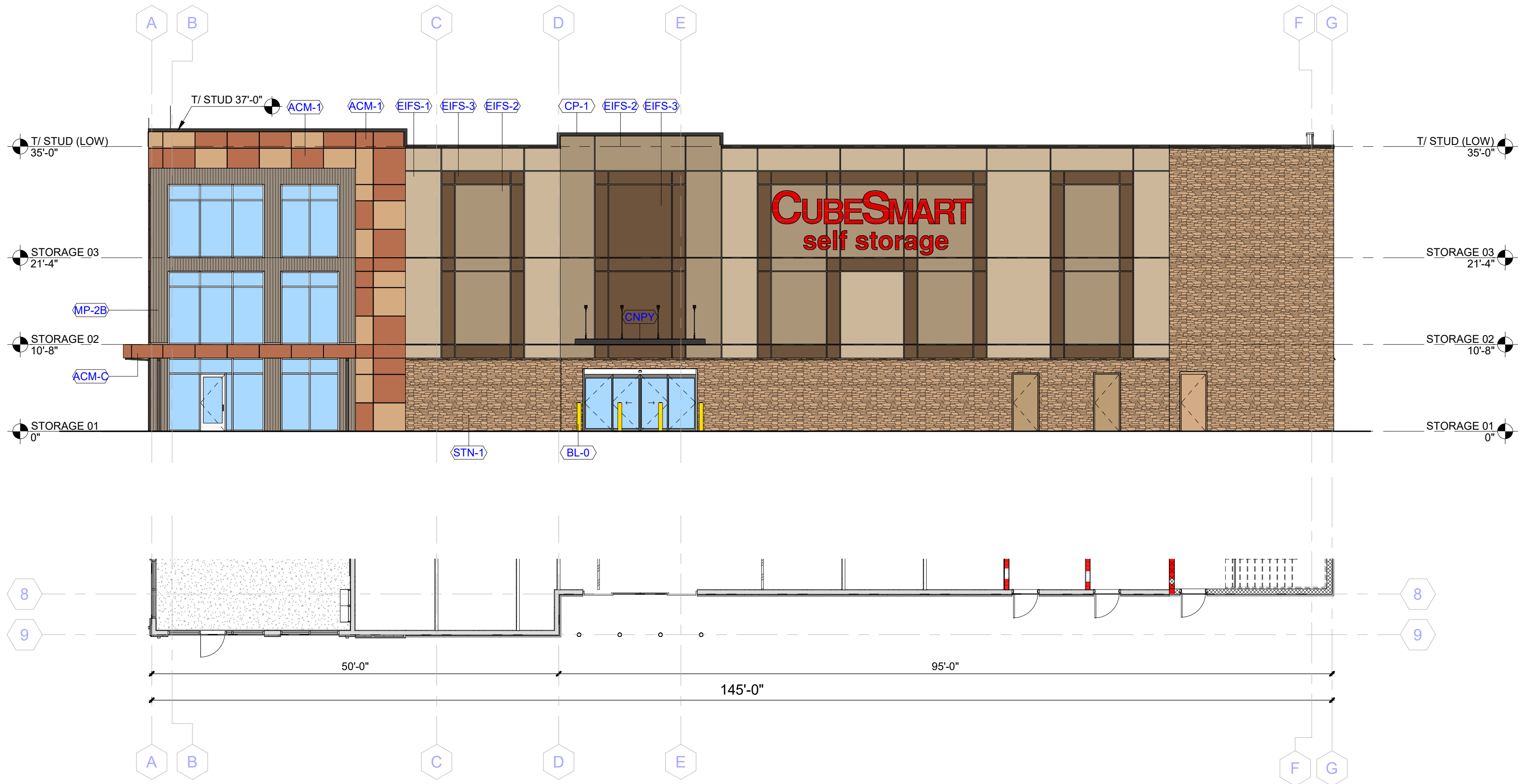
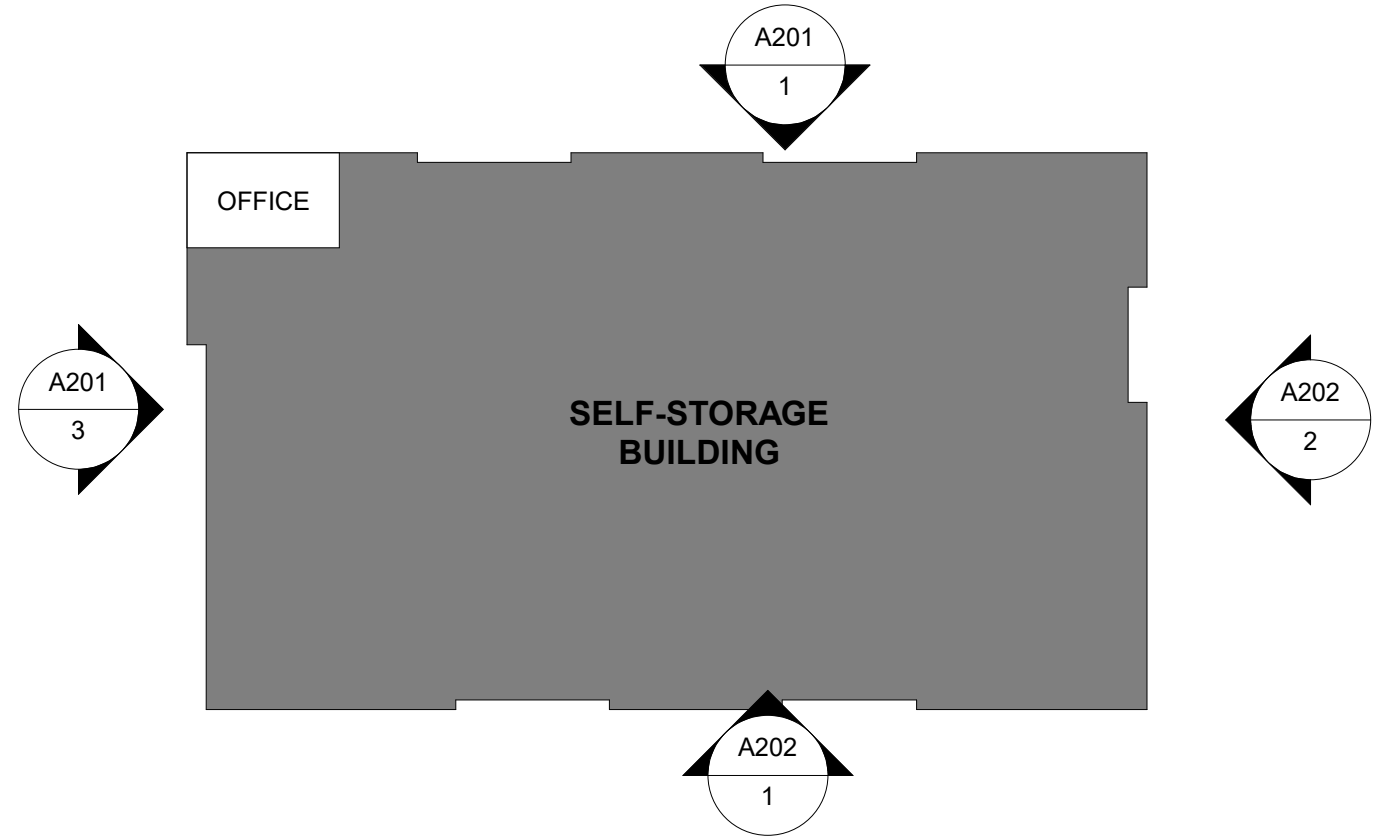
Key Value	Keynote Text
ACM-1	ACM SYSTEM - ALPOLIC LAB BEIGE (LVR 30%)
ACM-2	ACM SYSTEM - ALPOLIC TRM TERRACOTA (LVR 30%)
ACM-C	ACM CANOPY - ALPOLIC TRM TERRACOTA
BL-0	6" BOLLARD - SAFETY YELLOW COLOR
CN-PY	PRE-FABRICATED ROD HUNG CANOPY - MATCH DARK EIFS COLOR
CP-1	ROOF COPING - DARK COLOR TRIM - TBD
EIFS-1	EIFS - FINE TEXTURE - LIGHT - SW 6142 MACADAMIA (LVR 49%)
EIFS-2	EIFS - FINE TEXTURE - MEDIUM - SW 9116 SERENGETI GRASS (LVR 32%)
EIFS-3	EIFS - MEDIUM TEXTURE - DARK - SW 9146 UMBER (LVR 10%)
MP-2B	CORRUGATED METAL PANEL - MBCI VERTICAL NARROW - DESERT SAND (LVR 29%)
STN-1	THIN MANUFACTURED MASONRY VENEER - STONE - MEDIUM BROWN - TBD

DESIGN BUILDER:

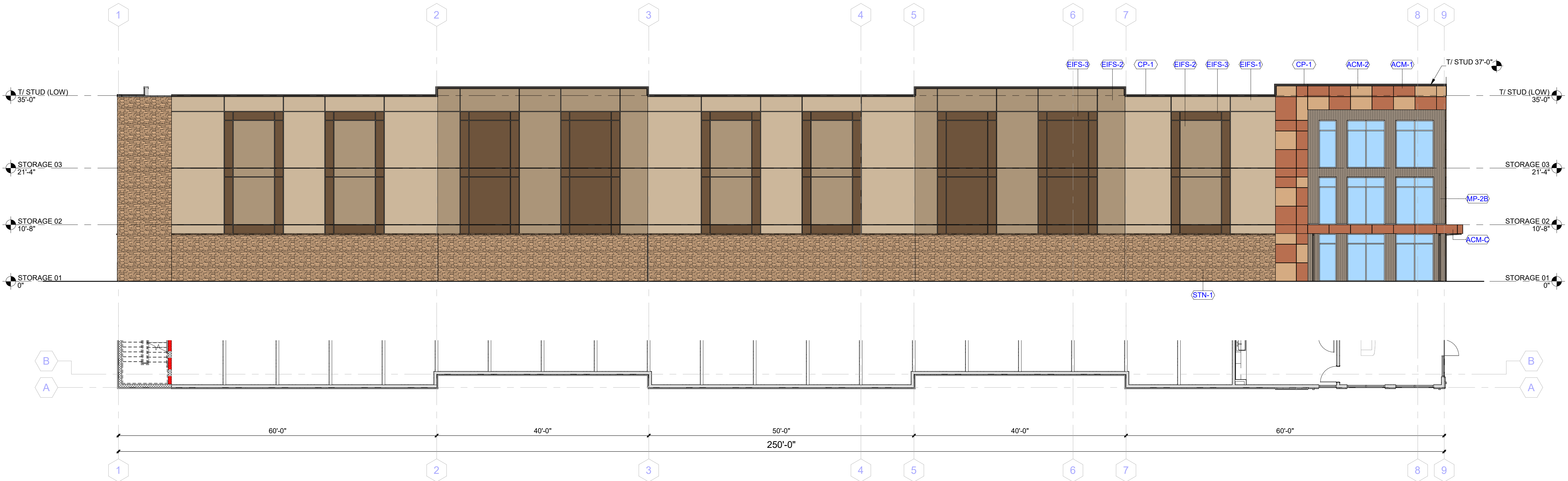
ARCO
DESIGN/BUILD

DESIGNER/ ENGINEER:

H2 ONE FOUR TWO
ARCHITECTURE



3
A201
EXTERIOR ELEVATION & PROFILE PLAN WEST
SCALE: 1" = 10'-0"



1
A201
EXTERIOR ELEVATION & PROFILE PLAN NORTH
SCALE: 1" = 10'-0"

PROJECT TITLE:

**SAFSTOR
RAINBOW**

RAINBOW BLVD.
ALBUQUERQUE, NM

SAFSTOR

SEAL:

**NOT FOR
CONSTRUCTION**

SUBMITTALS / REVISIONS:

NO.	DATE	DESCRIPTION
1	2025.05.20	25% PROGRESS

PROJECT NO.:

DS364-24

DRAWN BY:

MC

SHEET TITLE:

**EXTERIOR
ELEVATIONS**

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SHEET NUMBER:

A201

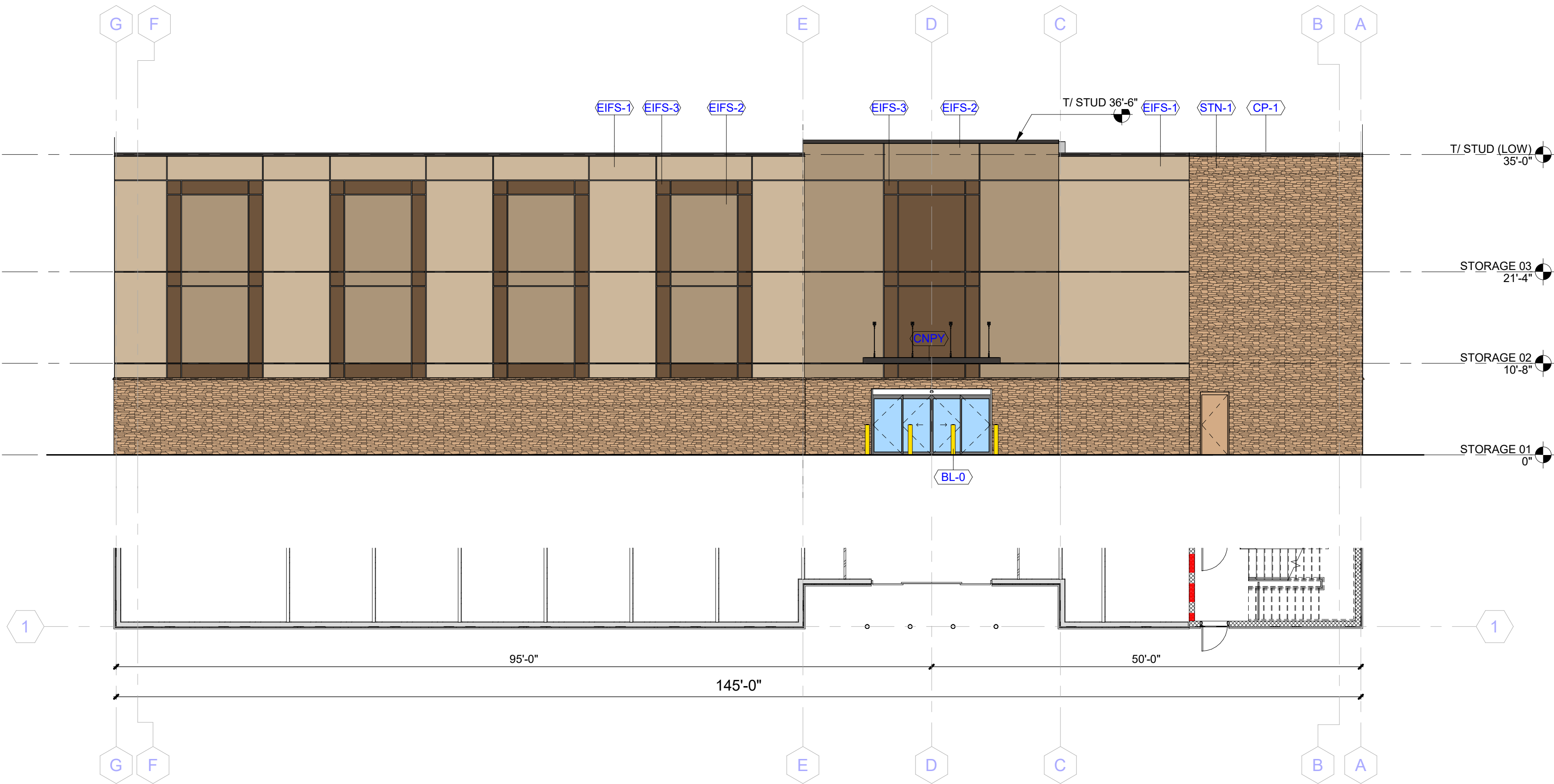
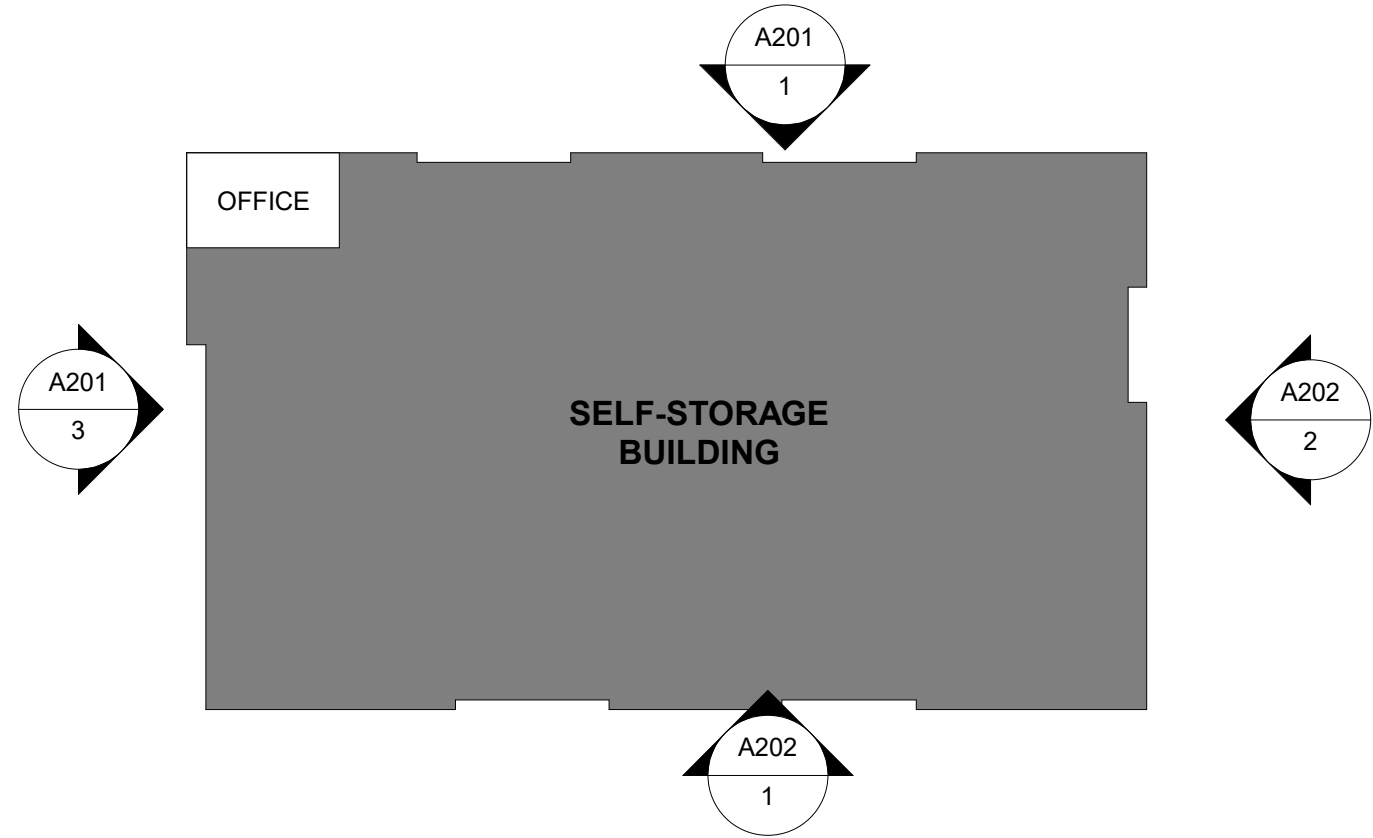
EIFS			ACM		MP	TRIM <10%
SW6142 (LRV 49%)	SW9116 (LRV 32%)	SW6146 (LRV 10%)	ACM-1 (LRV 30%)	ACM-2 (LRV 30%)	MP-2B (LRV 29%)	(LRV <10%)

ELEVATION NOTES

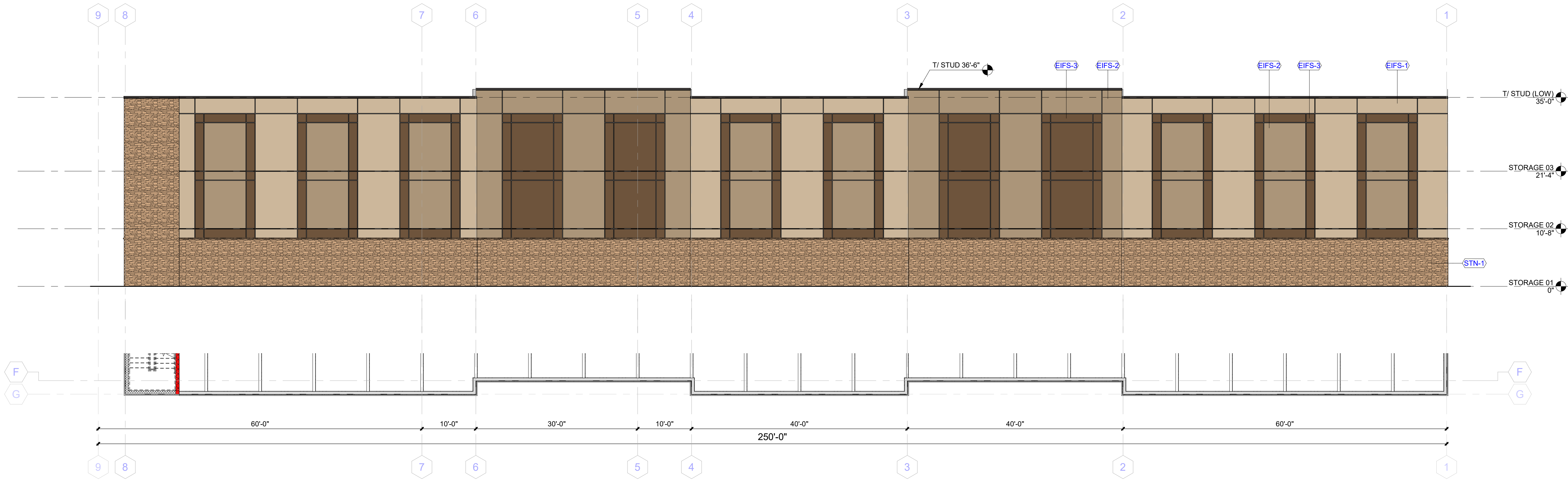
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KEYNOTE LEGEND

Key Value	Keynote Text
BL-0	6" BOLLARD - SAFETY YELLOW COLOR
CP-1	PRE-FABRICATED ROD HUNG CANOPY - MATCH DARK EIFS COLOR
CP-1	ROOF COPING - DARK COLOR TRIM - TBD
EIFS-1	EIFS - FINE TEXTURE - LIGHT - SW 6142 MACADAMIA (LRV 49%)
EIFS-2	EIFS - FINE TEXTURE - MEDIUM - SW 9116 SERENGETI GRASS (LRV 32%)
EIFS-3	EIFS - MEDIUM TEXTURE - DARK - SW 9146 UMBER (LRV 10%)
STN-1	THIN MANUFACTURED MASONRY VENEER - STONE - MEDIUM BROWN - TBD



2 EXTERIOR ELEVATION & PROFILE PLAN - EAST
A202 SCALE: 1" = 10'-0"



1 EXTERIOR ELEVATION & PROFILE PLAN - SOUTH
A202 SCALE: 1" = 10'-0"



EZZI SIGNS
EST. 2005

16611 West Little York Rd
Houston, Texas 77084
EZZISIGNS.COM
713-232-0771

PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

LANDLORD:



UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

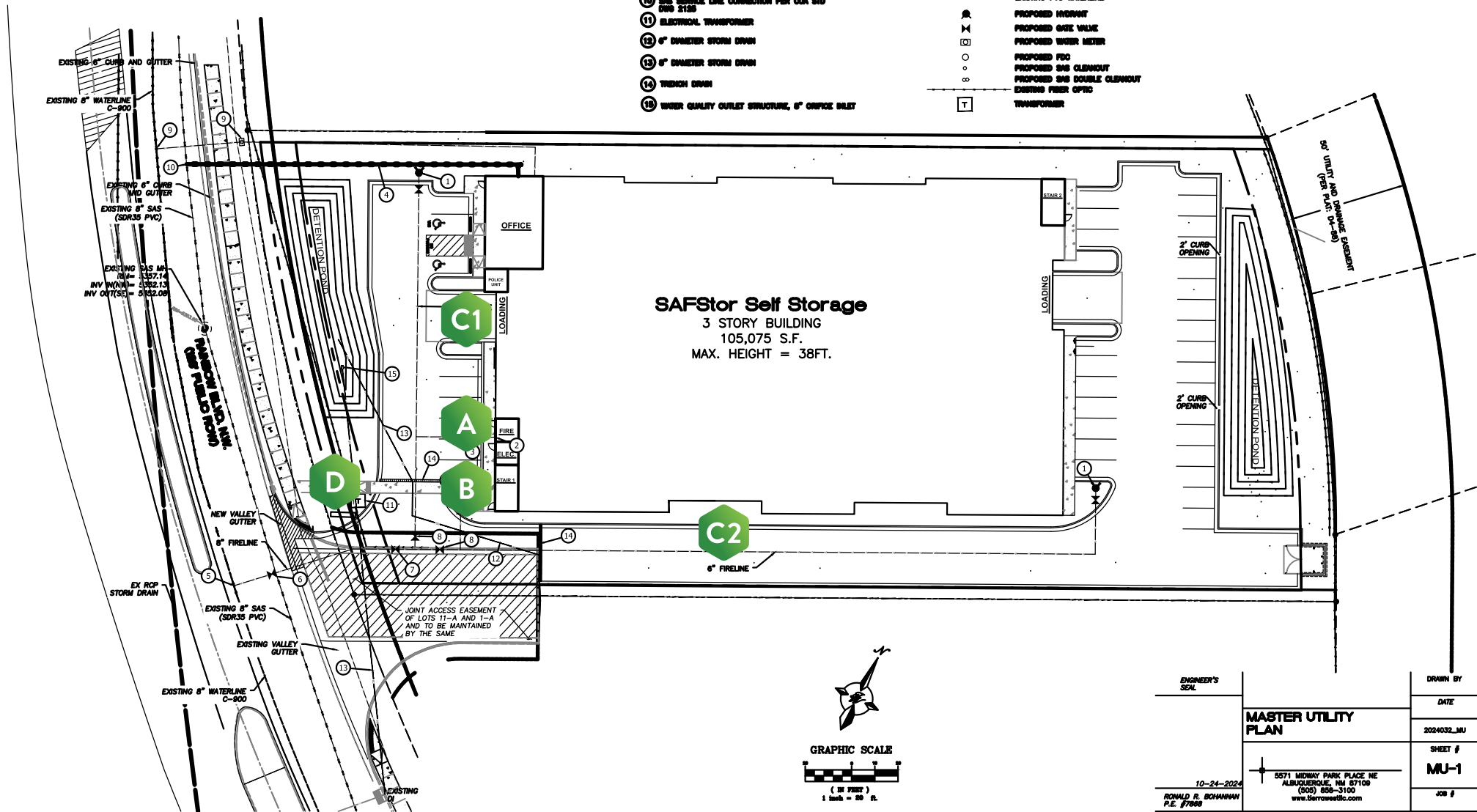
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KEYED NOTES

- NEW FIRELINE FIRE HYDRANT AND VALVE PER COA STD DWG 2340
- FDC (FIRE DEPARTMENT CONNECTION)
- PV (POST INDICATOR VALVE)
- 4" GAS SERVICE LINE
- WATERLINE CONNECTION PER COA STD DWG 2301
- 6" PUBLIC GAS VALVE, VALVE BOX, AND RING/COVER PER COA STD DWG'S 2304, 2305, AND 2306
- 6" PRIVATE GAS VALVE, VALVE BOX, AND RING/COVER PER COA STD DWG'S 2304, 2305, AND 2306
- 6" PRIVATE GAS VALVE, VALVE BOX, AND RING/COVER PER COA STD DWG'S 2304, 2305, AND 2306
- 2" UNDER METER AND SERVICE LINE CONNECTION PER COA STD DWG 2303
- 2" GAS SERVICE LINE CONNECTION PER COA STD DWG 2125
- ELECTRICAL TRANSFORMER
- 6" DIAMETER STORM DRAIN
- 6" DIAMETER STORM DRAIN
- TRENCH DRAIN
- WATER QUALITY OUTLET STRUCTURE, 6" OFFICE DILET

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EXISTING
- BUILDING
- SEWERLINE
- SITE LIGHTS
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SEWERLINE
- STORM SEWER LINE
- PROPOSED SEWERLINE
- PROPOSED WATERLINE
- EXISTING SANITARY SEWER LINE
- EXISTING PVD WATERLINE
- PROPOSED HYDRANT
- PROPOSED GAS VALVE
- PROPOSED WATER METER
- PROPOSED FDC
- PROPOSED GAS CLEANOUT
- PROPOSED GAS DOUBLE CLEANOUT
- EXISTING FDC
- TRANSFORMER



ENGINEER'S SEAL	MASTER UTILITY PLAN	DRAWN BY
10-24-2024	0571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87106 (505) 555-5100 www.sevenyearwarranty.com	DATE
RONALD R. BOHANNON P.E. #7868		2024032_MU
		SHEET #
		MU-1
		JOB #



SCOPE OF WORK

1. FABRICATE AND INSTALL -
NEW CHANNEL LETTER SET

Survey Required



QTY : 1
SET

SIGN SQFT: 185.6 FT



EZZI SIGNS
EST. 2005

16611 West Little York Rd
Houston, Texas 77084
EZZISIGNS.COM
713-232-0771

PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

LANDLORD:



UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

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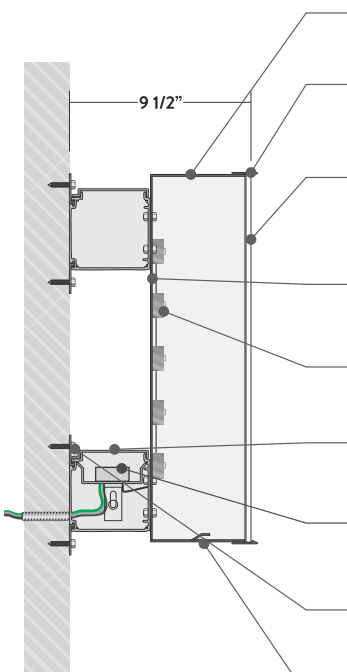
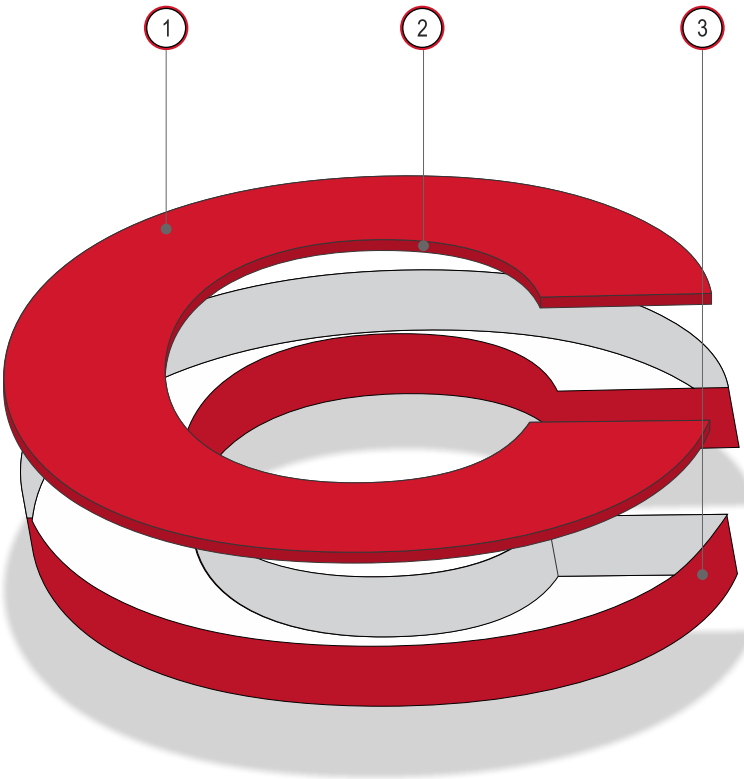


DESIGN

SCALE: 1/4" = 1' - 0"



- ① **3/16" 2793 RED**
ACRYLIC/POLYCARBONATE
- ② **RED**
TRIMCAP
- ③ **RED**
SATIN FINISH



- RETURNS:** 5" DEEP .040" ALUMINUM
COLOR: RED
- TRIM:** 1" JEWELITE
COLOR: RED
- FACES:** 2793 3/16" RED ACRYLIC/POLYCARBONATE
(MATERIAL VARIES PER SIGN SIZES)
VINYL: NONE
- BACKS:** .125" ALUMINUM
STOCK WHITE
- INTERIOR ILLUMINATION:**
RED - PRINCIPAL QWIK MOD 2 6500 K
- RACEWAY:** ALUMINUM - 4 1/2" X 7"
PAINTED: **PTM WALL**
- POWER SUPPLIES:** HOUSED INSIDE RACEWAY
DISCONNECT SWITCH (NEC 600-5) & PHOTOCELL K400 SERIES
- MOUNTING:** MINIMUM 3/8" X 5" FASTENERS
FLUSH MOUNTED (NON-CORROSIVE/GALVANIZED)
- 1/4" WEEP HOLES, 2 PER LETTER, WITH LIGHT BAFFLES**
- 120V** T100 SERIES ELECTROMECHANICAL TIME SWITCHES
INSTALLED BY CLIENTS ELECTRICIAN BY BREAKER BOX

COLOR SCHEDULE

SCALE: NTS

CROSS SECTION

SCALE: NTS

SCOPE OF WORK

- 1. REMOVE & DISPOSE - EXISTING SIGNAGE
- 2. FABRICATE AND INSTALL - FCO LETTERS

Survey Required



QTY : 1



EZZI SIGNS

EST. 2005

16611 West Little York Rd
Houston, Texas 77084

EZZISIGNS.COM
713-232-0771

PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

LANDLORD:



SEVEN
YEAR WARRANTY

UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

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DESIGN

SCALE: 1" = 1' - 0"



FCO: 1/2" ACRYLIC
PAINT: WHITE

MOUNTING: SILICONE ADHESIVE
or FASTENERS AS NEEDED

CROSS SECTION

SCALE: NTS



SCOPE OF WORK

- 1. REMOVE & DISPOSE - EXISTING SIGNAGE
- 2. FABRICATE AND INSTALL - FCO LETTERS

Survey Required



QTY : 2



EZZI SIGNS

EST. 2005

16611 West Little York Rd
Houston, Texas 77084

EZZISIGNS.COM
713-232-0771

PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

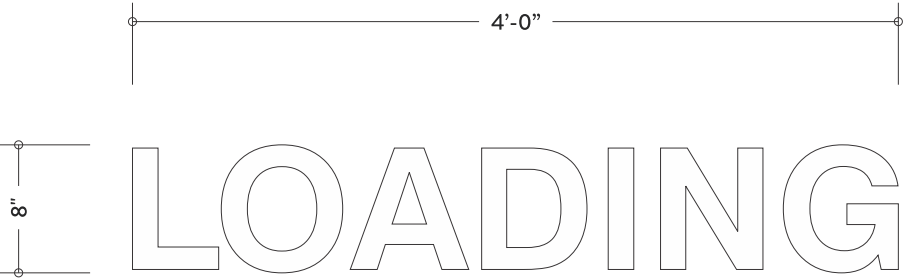
LANDLORD:



SEVEN
YEAR WARRANTY

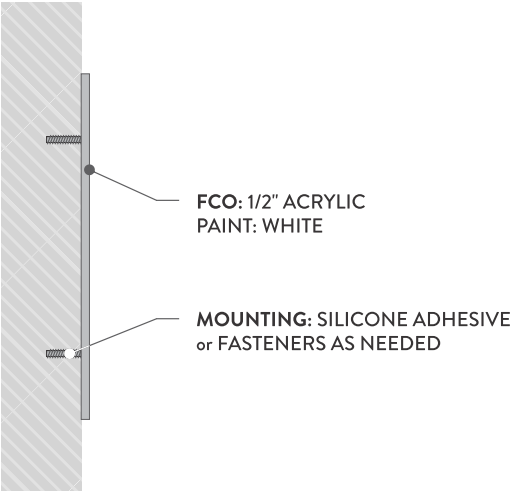
UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

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DESIGN

SCALE: 1" = 1' - 0"



CROSS SECTION
SCALE: NTS



SCOPE OF WORK
1. FABRICATE AND INSTALL - ILLUMINATED,
D/F MONUMENT SIGN

Survey Required



QTY : 1



16611 West Little York Rd
Houston, Texas 77084
EZZISIGNS.COM
713-232-0771

PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

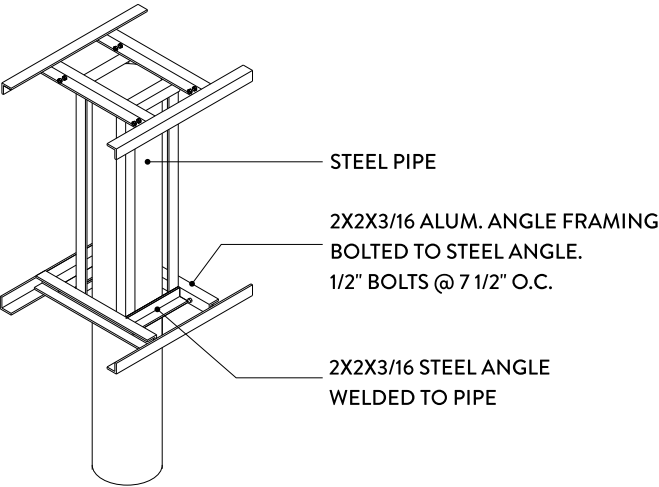
LANDLORD:



UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

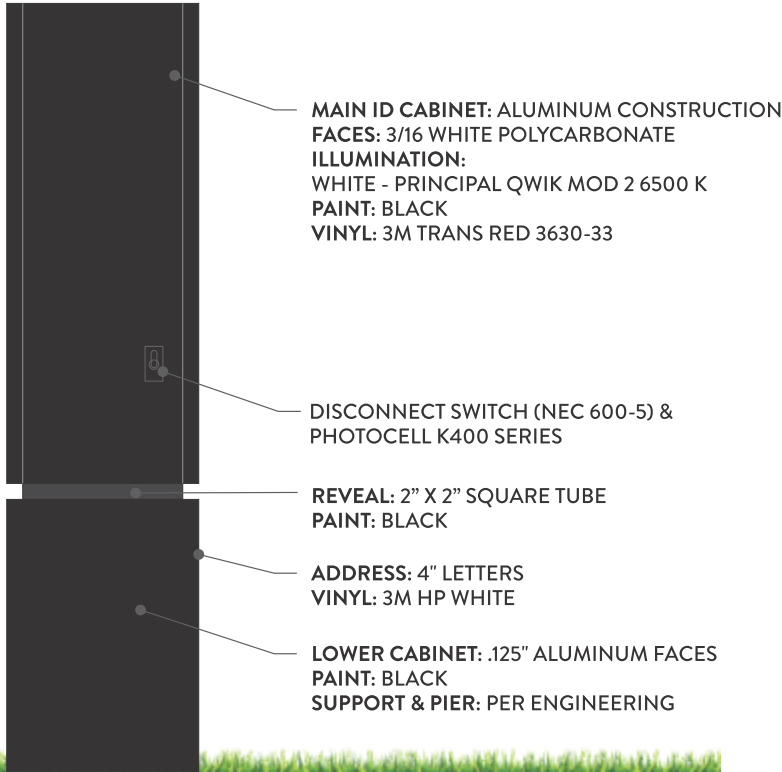
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SADDLE DETAIL



TYPICAL ATTACHMENT DETAIL
SCALE: NTS

2'-0"



SIGN DESIGN - END VIEW
SCALE: 1/2" = 1'-0"



SIGN DESIGN
SCALE: 1/2" = 1'-0"



The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	Engineer's Certification for Grading & Drainage is required for release of Financial Guarantee					/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
							Impact Fee Administrator Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
---------------	---

Ron Bohannon, PE

NAME (print)

TIERRA WEST LLC

FIRM

SIGNATURE - date

PLANNING- date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

HYDROLOGY-date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER