

SITE PLAN CHECKLIST

Project #: PR-2024-010691 Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- X 1. Date of drawing and/or last revision
- X 2. Scale: 1.0 acre or less 1" = 10'
- 1.0 - 5.0 acres 1" = 20'
- Over 5 acres 1" = 50'
- Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- X 3. Bar scale
- X 4. North arrow
- X 5. Legend
- X 6. Scaled vicinity map
- X 7. Property lines (clearly identify)
- X 8. Existing and proposed easements (identify each)
- NA 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- X A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- X B. Square footage of each structure
- X C. Proposed use of each structure
- X D. Signs (freestanding) and other improvements
- X E. Walls, fences, and screening: indicate height, length, color and materials
- X F. Dimensions of all principal site elements or typical dimensions
- X G. Loading facilities
- NA H. Site lighting (indicate height & fixture type)
- NA I. Indicate structures within 20 feet of site
- X J. Elevation drawing of refuse container and enclosure, if applicable.
- X K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- X A. Parking layout with spaces numbered per aisle and totaled.
 - X 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - X 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - NA 3. On street parking spaces
- X B. Bicycle parking & facilities
 - X 1. Bicycle racks – location and detail
 - NA 2. Other bicycle facilities, if applicable
- X C. Vehicular Circulation (Refer to DPM and IDO)
 - X 1. Ingress and egress locations, including width and curve radii dimensions
 - X 2. Drive aisle locations, including width and curve radii dimensions
 - X 3. End aisle locations, including width and curve radii dimensions
 - X 4. Location & orientation of refuse enclosure, with dimensions
 - X 5. Loading, service area, and refuse service locations and dimensions
- X D. Pedestrian Circulation
 - X 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- X 2. Location and dimension of drive aisle crossings, including paving treatment
- NA 3. Location and description of amenities, including patios, benches, tables, etc.
- X E. Off-Street Loading
 - X 1. Location and dimensions of all off-street loading areas
- NA F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - ___ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - ___ 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - ___ 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- X A. Locate and identify adjacent public and private streets and alleys.
 - X 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - X 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - NA 3. Location of traffic signs and signals related to the functioning of the proposal
 - X 4. Identify existing and proposed medians and median cuts
 - X 5. Sidewalk widths and locations, existing and proposed
 - NA 6. Location of street lights
 - X 7. Show and dimension clear sight triangle at each site access point
 - X 8. Show location of all existing driveways fronting and near the subject site.
- NA B. Identify Alternate transportation facilities within site or adjacent to site
 - ___ 1. Bikeways and bike-related facilities
 - ___ 2. Pedestrian trails and linkages
 - ___ 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- X 1. Scale - must be same as scale on sheet #1 - Site plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Existing and proposed easements
- X 6. Identify nature of ground cover materials
 - X A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - X B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - X C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- ☒ 7. Identify type, location and size of plantings (common and/or botanical names).
 - ☒ A. Existing, indicating whether it is to be preserved or removed.
 - ☒ B. Proposed, to be established for general landscaping.
 - ☒ C. Proposed, to be established for screening/buffering.
- ☒ 8. Describe irrigation system – Phase I & II . . .
- ☒ 9. Planting Beds, indicating square footage of each bed
- ☒ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ☒ 11. Responsibility for Maintenance (statement)
- ☒ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ☒ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- ☒ 14. Planting or tree well detail
- ☒ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ☒ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- ☒ 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- ☒ 1. Scale - must be same as Sheet #1 - Site Plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Building footprints
- ☒ 7. Location of Retaining walls

B. Grading Information

- ☒ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ☒ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ☒ 3. Identify ponding areas, erosion and sediment control facilities.
- ☒ 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- X A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- X B. Distribution lines
- X C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- X D. Existing water, sewer, storm drainage facilities (public and/or private).
- X E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- X A. Scale
- X B. Bar Scale
- X C. Detailed Building Elevations for each facade
 - X 1. Identify facade orientation
 - X 2. Dimensions of facade elements, including overall height and width
 - X 3. Location, material and colors of windows, doors and framing
 - X 4. Materials and colors of all building elements and structures
 - X 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- X 1. Site location(s)
- X 2. Sign elevations to scale
- X 3. Dimensions, including height and width
- X 4. Sign face area - dimensions and square footage clearly indicated
- X 5. Lighting
- X 6. Materials and colors for sign face and structural elements.
- X 7. List the sign restrictions per the IDO



PLAN SNAPSHOT REPORT SP-2025-00031 FOR CITY OF ALBUQUERQUE

Plan Type: Site Plan **Project:** PR-2024-010691 (PR-2024-010691) **App Date:** 05/05/2025
Work Class: Administrative DFT **District:** City of Albuquerque **Exp Date:** 05/04/2028
Status: Fees Due **Square Feet:** 0.00 **Completed:** NOT COMPLETED
Valuation: \$0.00 **Assigned To:** **Approval**
Expire Date:
Description: Site Plan Administrative DFT Review.
This is for a self storage facility located on 7520 Rainbow BLVD.

Parcel: 100906347136710711 Main	Address: 7520 Rainbow Blvd Nw Albuquerque, NM 7520 Rainbow Blvd Nw Main Albuquerque, NM 87120	Zone:
----------------------------------------	---------------------------------------------------------------------------------------------------------------	--------------

Engineer Amadeo Trujillo Home: (505) 858-3100 Business: (505) 858-3100	Agent Donna Sandoval 5571 Midway Park PL NE Albuquerque, NM 87109 Business: (505) 858-3100	Applicant Tierra West 5571 Midway Park PI NE Albuquerque NM, 8710 Albuquerque NM, 8710 Albuquerque, NM 87109 Home: (505) 858-3100 Business: (505) 858-3100 Mobile: (505) 858-3100	Owner SPEER GREGORY M & HELEN LAURA SPEER GREGORY M & HELEN LAURA Business: (505) 858-3100
----------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------

Developer
Chris R
Business: (704) 578-3161

Plan Custom Fields

Existing Project NumberPR-2024-010691, VA-2024-00214	Existing ZoningMX-L - Mixed-Use - Low Intensity	Number of Existing Lots1
Total Area of Site in Acres2.03	Site Location Between StreetsBETWEEN RAINBOW BLVD NW & UNIVERSE BLVD NW	Case History1009083
Number of Signs1	Building Size (Sq. Ft.)105300	Total Number of Dwelling Units0
Lot and/or Tract Number11A	Total Gross Square Footage50	Block Number2
Subdivision Name and/or Unit NumberVOLCANO CLIFFS UNIT 14	Legal DescriptionLT 11-A BLK 2 PLAT OF LTS 10-A, 11-A, 19-A THRU 22-A BLK 2UNIT 14 VOLCANO CLIFFS SUBD CONT 2.0312 AC	Existing Zone DistrictMX-L
Zone Atlas Page(s)D-09	Acreage2.0312	Calculated Acreage2.03105
Council District5	Community Planning Area(s)Northwest Mesa	Development Area(s)Consistency
Current Land Use(s)15 Vacant	Character Protection OverlayVolcano Mesa – CPO-13	View Protection OverlayNorthwest Mesa Escarpment – VPO-2
IDO Use Development Standards NameVolcano Mesa – CPO-13	IDO Use Development Standards SubsectionOff-premises Signs (Prohibitions) (5-12)	IDO Use Specific Standards NameVolcano Mesa – CPO-13
IDO Use Specific Standards SubsectionDwelling Unit, Accessory (P) (4-3(F))	IDO Administration & Enforcement NameNorthwest Mesa Escarpment – VPO-2	IDO Administration & Enforcement SubsectionVariance – EPC (6-6)
Pre-IDO Zoning DistrictSU-2	Pre-IDO Zoning DescriptionVCMX	Major Street Functional Classification3 - urban minor arterial
FEMA Flood ZoneX	Are you asking for a deviation?No	Total Gross Square Footage30
Total Gross Square Footage40	Credit Multiplier62	Spaces Credited Towards Minimum0

PLAN SNAPSHOT REPORT (SP-2025-00031)

Required5		Credit Multiplier5	4	Spaces Credited Towards Minimum Required	0
Credit Multiplier3	7	Spaces Credited Towards Minimum Required6	0	Credit Multiplier2	4
Spaces Credited Towards Minimum Required4	0	Credit Multiplier	1	Spaces Credited Towards Minimum Required2	0
Credit Multiplier4	1	Spaces Credited Towards Minimum Required3	0	Total Gross Square Footage	0
Total Gross Square Footage2	0				

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Tierra_West_5/5/2025.jpg	05/05/2025 11:47	West, Tierra		Uploaded via CSS

Note	Created By	Date and Time Created
1. Signed plan from Solid Waste is required	Renee Zamora	05/07/2025 9:59
2. Submittal has been reviewed and is ready to be processed.	Renee Zamora	05/07/2025 12:21

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00020440	Published Notice Fee	\$75.00	\$0.00
	Facilitated Meeting Fee for Public Hearing Cases	\$50.00	\$0.00
	Site Plan Administrative Application Fee	\$385.00	\$0.00
	Technology Fee	\$36.40	\$0.00
	Posted Sign Fee	\$10.00	\$0.00
Total for Invoice INV-00020440		\$556.40	\$0.00
Grand Total for Plan		\$556.40	\$0.00

Meeting Type	Location	Scheduled Date	Subject
DFT Meeting v.1	Zoom	05/14/2025	DFT

Workflow Step / Action Name	Action Type	Start Date	End Date
Linked Project Plans v.1			
Application Intake v.1		05/07/2025 9:21	05/07/2025 15:10
Check for Threshold and Assign Case v.1	Generic Action		05/07/2025 15:09
Associate Project Number v.1	Generic Action		05/07/2025 9:21
Screen for Completeness v.1	Generic Action		05/07/2025 15:09
Sign Posting v.1	Generic Action		05/07/2025 15:09
Verify Payment v.1	Generic Action		05/07/2025 15:10
Application Review v.1		05/07/2025 15:10	
DFT Meeting v.1	Hold Meeting	05/07/2025 15:10	05/07/2025 15:11
Site Plan Administrative Application DFT v.1	Receive Submittal		
Notice of Decision v.1			
Upload Notice of Decision v.1	Generic Action		
Add in Conditions of Approval v.1	Generic Action		
Linked Applications v.1			



CITY OF ALBUQUERQUE
OFFICE OF ADMINISTRATIVE HEARINGS
ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

Gregory Speer & Helen Laura (Tierra West LLC - Sergio Lozoya) request a Conditional Use to allow for Self-Storage in a MX-L for Lot 11-A, Block 2, Volcano Cliffs Unit 14, located at 7520 Rainbow Blvd NW, zoned MX-L [Section 14-16-4-3(D)(29) ref 14-16-6-6(A)]	Special Exception No:	VA-2024-00214
	Project No:	PR-2024-010691
	Hearing Date:	09-17-24
	Closing of Public Record:	09-17-24
	Date of Decision:	10-02-24

On the 17th day of September, 2024, Gregory Speer & Helen Laura (Tierra West LLC - Sergio Lozoya) (“Applicant”) appeared before the Zoning Hearing Examiner (“ZHE”) requesting a conditional use to allow for Self-Storage in a MX-L zone (“Application”) upon the real property located at 7520 Rainbow Blvd NW (“Subject Property”). Below are the ZHE’s finding of fact and decision:

FINDINGS:

1. Applicant is requesting a conditional use to allow for Self-Storage in a MX-L zone.
2. The ZHE finds that the Applicant has authority to pursue this Application.
3. Applicant has duly authorized Agent to act on Applicant’s behalf regarding the Application.
4. All property owners within 100 feet and affected neighborhood association(s) were notified.
5. The ZHE finds that the proper “Notice of Hearing” signage was posted for the required time period as required by Section 14-16-6-4(K)(3).
6. The City of Albuquerque Code of Ordinances Integrated Development Ordinance (“IDO”) Section 14-16-6-6(A)(3) (Review and Decision Criteria– Conditional Use) reads: “*An application for a Conditional Use Approval shall be approved if it meets all of the following criteria:*
 - (a) *It is consistent with the ABC Comp. Plan, as amended;*
 - (b) *It complies with all applicable provisions of this IDO, including, but not limited to any Use-specific Standards applicable to the use in Section 14-16-4-3; the DPM; other adopted City regulations; and any conditions specifically applied to development of the property in any prior permit or approval affecting the property, or there is a condition of approval that any Variances or Waivers needed to comply with any of these provisions must be approved or the Conditional Use Approval will be invalidated pursuant to Subsection (2)(c)2 above.*
 - (c) *It will not create significant adverse impacts on adjacent properties, the surrounding neighborhood, or the larger community;*
 - (d) *It will not create material adverse impacts on other land in the surrounding area, through increases in traffic congestion, parking congestion, noise, or vibration without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts;*

(e) On a project site with existing uses, it will not increase non-residential activity within 300 feet of a lot in any Residential zone district between the hours of 10:00 pm and 6:00 am;

(f) It will not negatively impact pedestrian or transit connectivity without appropriate mitigation.”

7. Applicant bears the burden of providing a sound justification for the requested decision, based on substantial evidence, pursuant to IDO Section 14-16-6-4(E)(3).
8. Applicant bears the burden of showing compliance with required standards through analysis, illustrations, or other exhibits as necessary, pursuant to IDO Section 14-16-6-4(E)(4).
9. Applicant appeared and gave evidence in support of the application.
10. Applicant has met the burden of providing evidence that established that the requested Conditional Use Approval is consistent with the ABC Comp. Plan, as amended. Specifically, Applicant stated that the proposed use is consistent with the Comp Plan, including, without limitation, Policies 4.1.2, 5.2.1, and 5.4.2, and Goals 5.2 and 5.6.
11. Applicant has met the burden of providing evidence that establishes that the requested Conditional Use approval complies with all applicable provisions of the IDO, including, but not limited to any Use-specific Standards applicable to the use in Section 14-16-4-3; the DPM; other adopted City regulations; and any conditions specifically applied to development of the property in any prior permit or approval affecting the property. Applicant established that the Subject Property would be developed in accordance with all IDO and other requirements.
12. Applicant has met the burden of providing evidence that establishes that the requested Conditional Use approval will not create significant adverse impacts on adjacent properties, the surrounding neighborhood, or the larger community. Applicant testified that the proposed use of the Subject Property is not a “high traffic generator” and would result in no significant adverse impact.
 - a. The owner of the property adjacent to the Subject Property to the north expressed concerns regarding setback and visual impact. The Applicant agreed to increase the setback, provide an opaque fence, and install buffer landscaping.
 - b. A neighbor across the street raised concerns regarding potential negative impact to his views of the Sandia Mountains. However, the proposed development is within all height requirements on the site and no variance to height is requested. Further, Applicant is orienting the proposed building to minimize visual impact on the Sandias, and the property potentially impacted is buffered by setbacks on that owner’s property and the Subject property, as well as the public street right of way between the two properties.
13. Applicant has met the burden of providing evidence that establishes that the requested Conditional Use approval will not create material adverse impacts on other land in the surrounding area, through increases in traffic congestion, parking congestion noise, or vibration without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts. Specifically, Applicant stated that no such negative impacts would result.

DECISION:

APPROVAL of a conditional use to allow for Self-Storage in a MX-L zone.

APPEAL:

If you wish to appeal this decision, you must do so by October 17, 2024 pursuant to Section 14-16-6-4(V), of the Integrated Development Ordinance, you must demonstrate that you have legal standing to file an appeal as defined.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed, or utilized.

A handwritten signature in blue ink, appearing to read "Robert Lucero".

Robert Lucero, Esq.
Zoning Hearing Examiner

cc:

ZHE File
Zoning Enforcement
Sergio Lozoya, SLozoya@tierrawestllc.com, 5571 Midway
Park Place, 87109
Becky Krebs, 4 Juniper Hill Rd, 87122
Cody Trujillo, 9316 Chase Ranch Place, 87121

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

7520 Rainbow BLVD N.W. Albuquerque NM**Legal Description & Location:** **Lt 11-A blk 2 plat of lots 10-A, 11-A, 19-A thru 22-A block 2 unit 14 Volcano Cliffs Subdivision****Request Description:** **DFT Site Plan for building permit.**☐ **Hydrology:**

• Sensitive Lands Analysis (5-2(C))	_____ Approved	_____ NA
• Grading and Drainage Plan	_____ Approved	_____ NA
• AMAFCA	_____ Approved	_____ NA
• Bernalillo County	_____ Approved	_____ NA
• NMDOT	_____ Approved	_____ NA
• MRGCD	_____ Approved	_____ NA

Hydrology Department_____
Date☐ **Transportation:**

• Traffic Circulations Layout (TCL)	X _____ Approved	_____ NA
• Traffic Impact Study (TIS)	_____ Approved	X _____ NA
• Neighborhood Impact Analysis (NIA)	_____ Approved	X _____ NA
• Bernalillo County	_____ Approved	X _____ NA
• MRCOG	_____ Approved	X _____ NA
• NMDOT	_____ Approved	X _____ NA
• MRGCD	_____ Approved	X _____ NA

Ernest Armijo_____
Transportation Department

4/4/2025

Date☐ **Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Request for Availability submitted? X Yes No NA
- Availability Statement/Serviceability Letter Number 241017
- Note: Commitment for service is required prior to application approval.

ABCWUA_____
Date

<input type="checkbox"/> Infrastructure Improvements Agreement (IIA*)	_____ Approved	_____ NA
<input type="checkbox"/> Solid Waste Department Signature on the Plan	_____ Approved	_____ NA
<input type="checkbox"/> Fire Marshall Signature on the Plan	_____ Approved	_____ NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

7520 Rainbow BLVD N.W. Albuquerque NM**Legal Description & Location:** **Lt 11-A blk 2 plat of lots 10-A, 11-A, 19-A thru 22-A block 2 unit 14 Volcano Cliffs Subdivision****Request Description:** **DFT Site Plan for building permit.**☐ **Hydrology:**

- | | | | |
|-------------------------------------|----------------|----------------|----------|
| • Sensitive Lands Analysis (5-2(C)) | _____ Approved | _____ X | _____ NA |
| • Grading and Drainage Plan | _____ X | _____ Approved | _____ NA |
| • AMAFCA | _____ Approved | _____ X | _____ NA |
| • Bernalillo County | _____ Approved | _____ X | _____ NA |
| • NMDOT | _____ Approved | _____ X | _____ NA |
| • MRGCD | _____ Approved | _____ X | _____ NA |



Hydrology Department

4/24/2025

Date

☐ **Transportation:**


- | | | |
|--------------------------------------|----------------|----------|
| • Traffic Circulations Layout (TCL) | _____ Approved | _____ NA |
| • Traffic Impact Study (TIS) | _____ Approved | _____ NA |
| • Neighborhood Impact Analysis (NIA) | _____ Approved | _____ NA |
| • Bernalillo County | _____ Approved | _____ NA |
| • MRCOG | _____ Approved | _____ NA |
| • NMDOT | _____ Approved | _____ NA |
| • MRGCD | _____ Approved | _____ NA |

Transportation Department

Date

☐ **Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Request for Availability submitted? X Yes No NA
- Availability Statement/Serviceability Letter Number 241017
- Note: Commitment for service is required prior to application approval.



ABCWUA

04/14/2025

Date

- | | | |
|-----------------------------------------------------------------------|----------------|----------|
| <input type="checkbox"/> Infrastructure Improvements Agreement (IIA*) | _____ Approved | _____ NA |
| <input type="checkbox"/> Solid Waste Department Signature on the Plan | _____ Approved | _____ NA |
| <input type="checkbox"/> Fire Marshall Signature on the Plan | _____ Approved | _____ NA |

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: **04-24-25**
Date Site Plan Approved: _____
Date Preliminary Plat Approved: **---**
Date Preliminary Plat Expires: **---**
DFT Project No.: _____
DFT Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST

SAFSTORE SELF STORAGE FACILITY
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN
Lot 11-A BLOCK 2 PLAT OF LOTS 10-A, 11-A, 19-A THRU 22-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
DRC #	DRC #								
		18"	Storm Drain	RAINBOW BLVD	PRIVATE POND	EX DI IN RAINBOW BLVD	/	/	/
		6'	6' Wide Sidewalk along frontage	RAINBOW BLVD	Northern Property Boundary	200' to Southern Property Boundary	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	Engineer's Certification for Grading & Drainage is required for release of Financial Guarantee					<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>						<input type="text"/>	<input type="text"/>	<input type="text"/>
Approval of Creditable Items:							Approval of Creditable Items:		
							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Ron Bohannon, PE

NAME (print)

TIERRA WEST LLC

FIRM

SIGNATURE - date

PLANNING- date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

HYDROLOGY-date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

May 2, 2025

Development Facilitation Team
Plaza Del Sol Building
600 2nd NW
Albuquerque, NM 87102

**RE: DFT – SITE PLAN ADMINISTRATIVE
SELF STORAGE FACILITY AT 7520 RAINBOW BLVD NW
LT 11-A BLK 2 PLAT OF LTS 10-A, 11-A, 19-A THRU 22-A BLK 2 UNIT 14 VOLCANO CLIFFS
SUBD CONT 2.0312 AC
IDO ZONE ATLAS PAGE D-09-Z**

Development Facilitation Team,

Tierra West LLC is seeking DFT – Site Plan Administrative review and approval for a Self-Storage facility located at 7520 Rainbow Blvd NW, legally described as Lt 11-A Blk 2 Plat of Lts 10-A, 11-A, 19-A Thru 22-A Blk 2 Unit 14 Volcano Cliffs Subd Cont. 2.0312 acres (“subject site”).

Planning Context

The subject site is zoned Mixed-Use – Light Intensity (see figure 1) and is currently vacant. There are parcels zoned Residential – Multi-Family Low Density to the north, MX-L and R-ML to the east, and R-1 to the south and west.

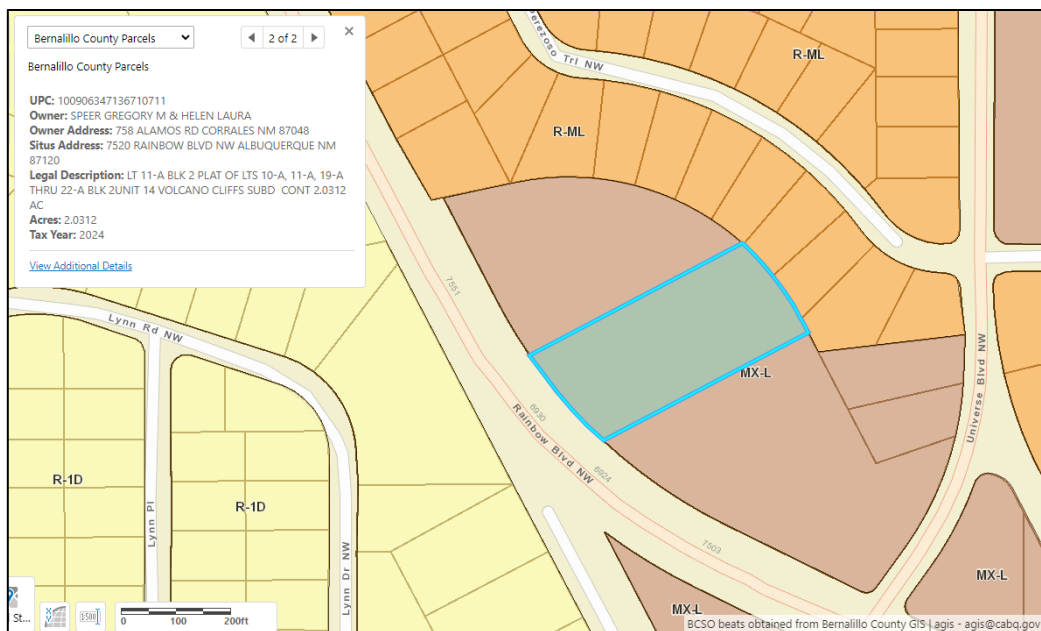


Figure 1 - Zoning

There are no existing land uses abutting the site, as this area remains vacant.



Figure 2 - Aerial

The subject site is within the CPO-12 Volcano Mesa, although per IDO Subsection 14-16-3-4(N)(1), these regulations apply only to residential development. The subject site is not within the Northwest Mesa Escarpment – VPO -2 Height Restriction Sub-Area.

ZHE Requests

Tierra West requested a Conditional Use Permit which was heard on September 9th, 2024, and approved by the Zoning Hearing Examiner on October 2nd, 2024. The Conditional Use Permit was required as Self-Storage is allowed as a conditional use in the Mixed Use – Light Intensity zone district.

The ZHE Case numbers are PR-2024-010691/ VA-2024-00214. The notice of decision is included in this submittal.

6-5(G)(3) Review and Decision Criteria

An application for Site Plan – Administrative shall be approved if it meets all of the following criteria:

6-5(G)(3)(a) The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

This request complies with all applicable standards in the IDO, DPM, and other City Regulations, and will abide by the Conditional Use Permit PR-2024-010691/ VA-2024-00214 affecting the property. We also met with the neighboring property owner throughout the ZHE Conditional

Use application/approval process. These meetings led to revisions increasing the setback, landscaped area within the setback, along with associated screening.

6-5(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and/or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.

The applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and/or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity. Included in this submittal is the Infrastructure list, detailing storm drain and sidewalk improvements.

6-5(G)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.

The subject site is not within an approved Master Development Plan and meets IDO standards applicable to the Mixed Use – Light Intensity zone district the subject property is in.

6-5(G)(3)(d) If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

The subject site is not within an approved Framework Plan; however, the Site Plan meets applicable IDO standards regarding the Mixed-Use development type including IDO section 5-6(E)(2) Development Next to Low-density Residential Zone Districts.

If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,



Donna Sandoval
Planner

JN: 2024032
AT/VC/RRB/DS

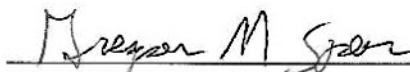
Agent Authorization Form

July 13, 2023

Zoning Hearing Examiner
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: All ZHE Submittals
7520 Rainbow Boulevard NW, in Albuquerque, Bernalillo County, New Mexico (tax
parcel ID 1-009-063-471367-1-07-11)
Zone Atlas Page: L-D9-Z

In connection with the request for a conditional use permit for a self-storage facility, we, Gregory M. Speer and Helen Laura Speer, as the owners of the real property described as on Exhibit A attached hereto, containing 2.0311 AC, do hereby authorize to act as our agent, **Tierra West, LLC**, to execute any and all documents necessary to affect the application approval requested to the Zoning Hearing Examiner, and to appear on our behalf before any administrative or legislative body in the county of Bernalillo considering this application and to act in all respects as our agent in matters pertaining to the application.


GREGORY M. SPEER
Date: 7/16/24

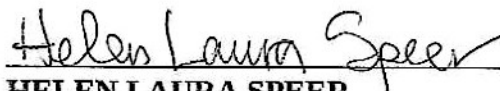

HELEN LAURA SPEER
Date: 7.16.24

Exhibit A

[Legal Description]

Lot Numbered Eleven-A (11-A), Block Two (2), as shown on the Plat of Tract 2, Boca Negra Detention Dam and Lots 10-A, 11-A, 19-A through 22-A, Block 2, Unit 14, Volcano Cliffs Subdivision and Lots 1-A through 3-A, Block 2, Unit 25, Volcano Cliffs Subdivision, filed January 16, 2013, as Plat Book 2013C, folio 0004, in the records of Bernalillo County, New Mexico.

May 6, 2025

Development Facilitation Team
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: ALL DFT SUBMITTALS
7520 RAINBOW BLVD NW, ALBUQUERQUE, NM (TAX PARCEL ID 1-009-063-471367-1-07-11)
LEGALLY DESCRIBED AS LOT NUMBERED ELEVEN-A (11-A), BLOCK TWO (2), AS SHOWN ON THE PLAT OF TRACT 2, BOCA NEGRA DETENTION DAM AND LOTS 10-A, 11-A, 19-A THROUGH 22-A, BLOCK 2, UNIT 14, VOLCANO CLIFFS SUBDIVISION AND LOTS 1-A THROUGH 3-A, BLOCK 2, UNIT 25, VOLCANO CLIFFS SUBDIVISION, FILED JANUARY 16, 2013, AS PLAT BOOK 2013C, FOLIO 0004, IN THE RECORDS OF BERNALILLO COUNTY, NEW MEXICO.**

Dear Development Facilitation Team,

In connection with the request for a Site Plan – Administrative (the “Request for Site Plan – Administrative”) review for a self-storage facility, we, Gregory M. Speer and Helen Laura Speer, as the owners of the real property described above, containing 2.0311 AC, do hereby authorize Tierra West, LLC, to act as our agent, to execute any and all documents necessary to affect the Request for Site Plan – Administrative to the Development Facilitation Team, and to appear on our behalf before any administrative or legislative body in the County of Bernalillo considering this Request for Site Plan – Administrative, and to act in all respects as our agent in matters pertaining to the Request for Site Plan – Administrative.

Signed by:



521E0F1482364ED...

GREGORY M. SPEER

Date: 5/6/2025 | 10:20 AM PDT

Signed by:



521E0F1482364ED...

HELEN LAURA SPEER

Date: 5/6/2025 | 10:20 AM PDT

VPO-2 NOTE

THIS PROPERTY FALLS WITHIN THE NORTHWEST ESCARPMENT OVERLAY (VPO-2) BUT IS NOT SUBJECT TO THE HEIGHT RESTRICTIONS SUB-AREA. THIS PROJECT IS IN COMPLIANCE WITH THE OVERLAY REQUIREMENTS BY PROVIDING SCREENING FOR ANY ROOF MOUNTED EQUIPMENT, PROVIDING BUILDING COLORS CONSISTING OF BROWNS AND DULL RED, AND WILL NOT HAVE ANY REFLECTIVE OR MIRRORED GLASS.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

CLEAR SIGHT TRIANGLE NOTE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

SETBACKS:

FRONT 5' MINIMUM
SIDE 5' MINIMUM
BACK 15' MINIMUM

LANDSCAPE BUFFER:

BACK 50' MINIMUM OR 6' OPAQUE WALL

SITE DATA

PROPOSED USAGE: SAFStor Self Storage
LOT AREA: 88,479.07 SF (2.0312) ACRE)
ZONING: MX-L

BUILDING AREA: 105,300 SF

PARKING REQUIRED: 35 SPACES (105,300 SF, 1 SPACE/ 3,000 GFA)
PARKING PROVIDED: 35 SPACES 3--SMALL CAR (9%)

HC PARKING REQUIRED: 2 SPACES
HC PARKING PROVIDED: 2 SPACES
1 SPACE VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED: 2 SPACES
MOTORCYCLE PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

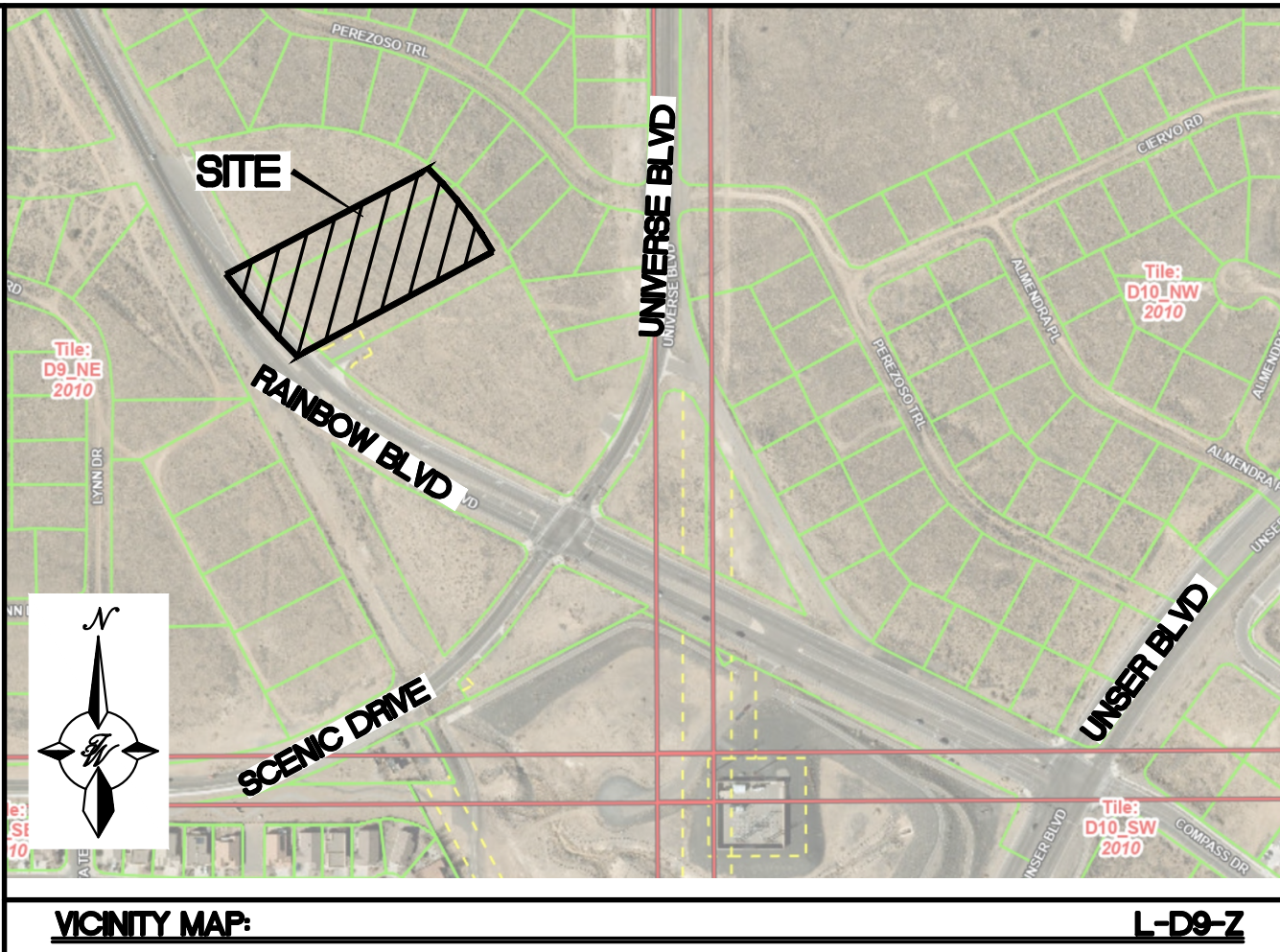
LANDSCAPE AREA REQUIRED: 13,272 SF
LANDSCAPE AREA PROVIDED: 39,161 SF

KEYED NOTES

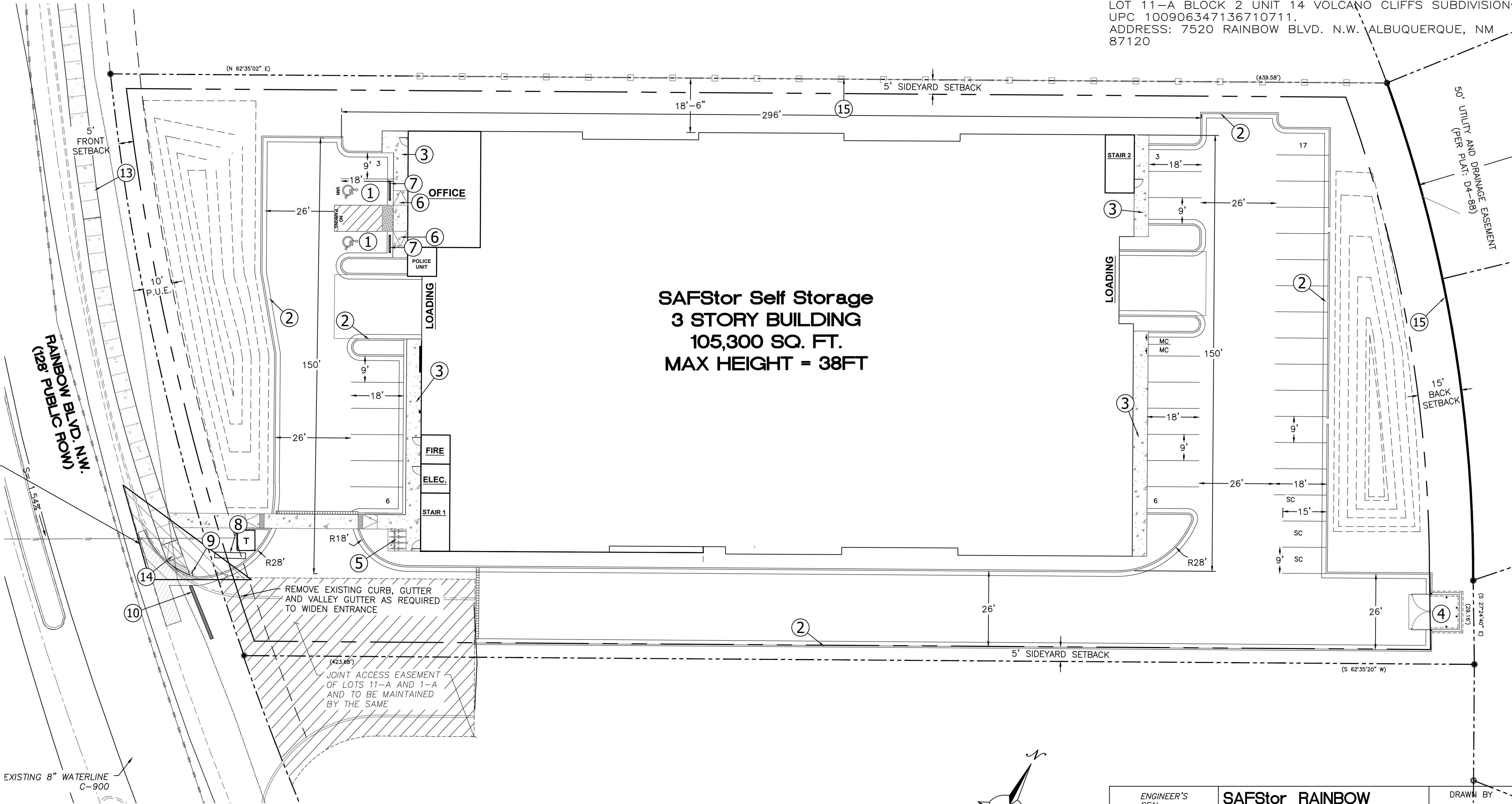
- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. DET-1)
- 2 6" HEADER CURB (SEE DETAIL SHT. DET-1)
- 3 CONCRETE SIDEWALK AT BUILDING (SEE DETAIL SHT. DET-1)
- 4 DUMPSTER (SEE DETAIL SHT. DET-1)
- 5 BICYCLE RACKS (SEE DETAIL SHT. DET-1)
- 6 CURB HC RAMP (SEE DETAIL SHT. DET-1)
- 7 WHEEL STOP (SEE DETAIL SHT. DET-1)
- 8 MONUMENT SIGN
- 9 STOP SIGN
- 10 STOP BAR
- 11 NOT USED
- 12 NOT USED
- 13 NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP.), (SEE DETAIL SHT. C9)
- 14 UNIDIRECTIONAL ACCESSIBLE (TYP.) RAMP PER COA STD DWG 2443, (SEE DETAIL SHT. C9)
- 15 6' OPAQUE FENCE/WALL

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SITE LIGHTS
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING STORM DRAIN
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING FIBER OPTIC
- TRANSFORMER
- RETAINING WALL



VICINITY MAP:
LEGAL DESCRIPTION:
LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION;
UPC 100906347136710711.
ADDRESS: 7520 RAINBOW BLVD. N.W. ALBUQUERQUE, NM 87120



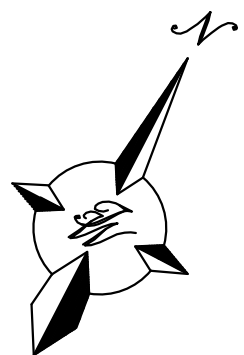
PROJECT NUMBER: PR-2025-XXX XXX
APPLICATION NUMBER: SI-2025-XXXXX

Is an Infrastructure List required? (X) Yes () No. If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

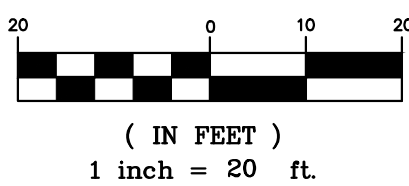
DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

* Environmental Health, if necessary



GRAPHIC SCALE



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	SAFStor RAINBOW ALBUQUERQUE, N.M.	DRAWN BY MR
	SITE PLAN	DATE 04/30/2025
	 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2024032_SP
		SHEET # SP-1 JOB # 2024032

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

SITE DATA

PROPOSED USAGE: SAFStor Self Storage
LOT AREA: 88,479.07 SF (2.0312) ACRE)
ZONING: MX-L

BUILDING AREA: 105,075 SF

PARKING REQUIRED: 35 SPACES (105,075 SF, 1 SPACE/ 3,000 GFA)
PARKING PROVIDED: 35 SPACES 3--SMALL CAR (9%)

HC PARKING REQUIRED: 2 SPACES
HC PARKING PROVIDED: 2 SPACES
1 SPACE VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED: 2 SPACES
MOTORCYCLE PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

LANDSCAPE AREA REQUIRED: 13,272 SF
LANDSCAPE AREA PROVIDED: 39,161 SF

KEYED NOTES

- 1

ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. D1)
- 2

6" HEADER CURB (SEE DETAIL SHT. D1)
- 3

CONCRETE SIDEWALK AT BUILDING (SEE DETAIL SHT. D1)
- 4

DUMPSTER (SEE DETAIL SHT. D1)
- 5

BICYCLE RACKS (SEE DETAIL SHT. D1)
- 6

CURB HC RAMP (SEE DETAIL SHT. D1)
- 7

WHEEL STOP (SEE DETAIL SHT. D1)

8

MONUMENT SIGN

9

STOP SIGN

10

STOP BAR

11

NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP.), (SEE DETAIL SHT. D1)

12

UNIDIRECTIONAL ACCESSIBLE (TYP.) RAMP PER COA STD DWG 2443, (SEE DETAIL SHT. D1)

13

6' OPAQUE FENCE/WALL

14

PEDESTRIAN ACCESS WALKWAY

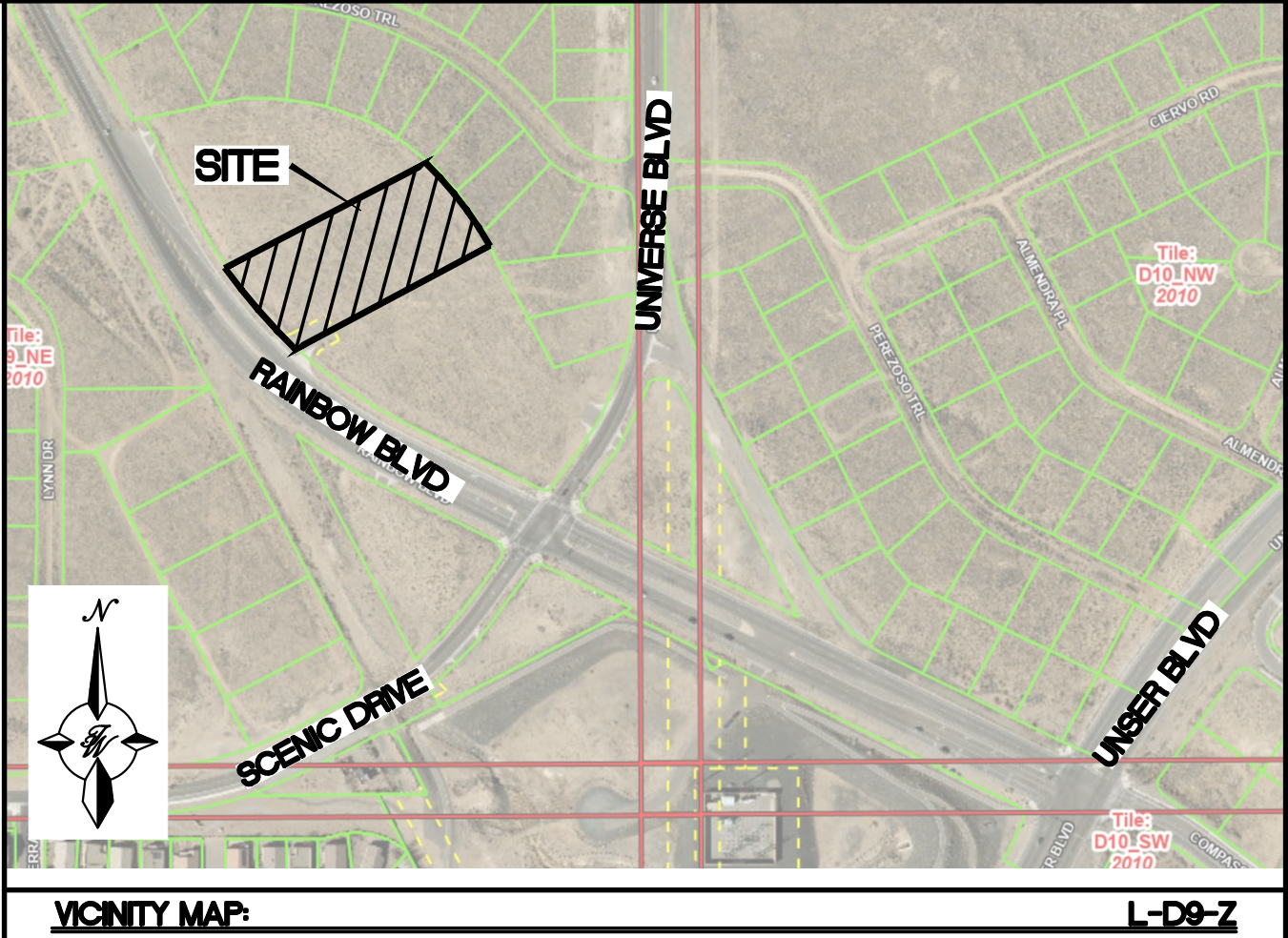
15

NEW ASPHALT PAVING

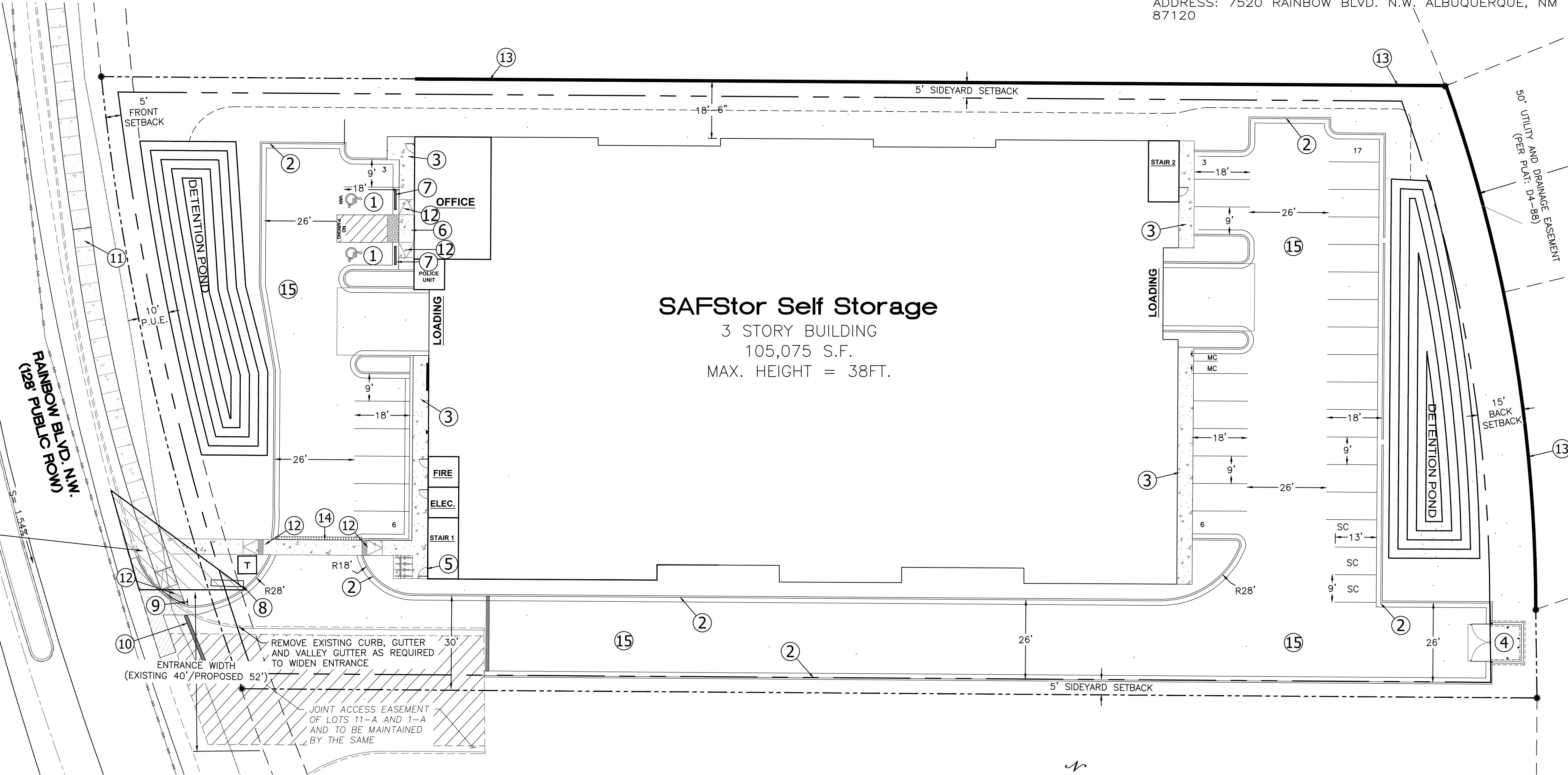
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SITE LIGHTS
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING STORM DRAIN
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING FIBER OPTIC
- T

TRANSFORMER



LEGAL DESCRIPTION:
LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION
UPC 100906347136710711.
ADDRESS: 7520 RAINBOW BLVD. N.W. ALBUQUERQUE, NM 87120



LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

SETBACKS:

FRONT 5' MINIMUM
SIDE 5' MINIMUM
BACK 15' MINIMUM

LANDSCAPE BUFFER:

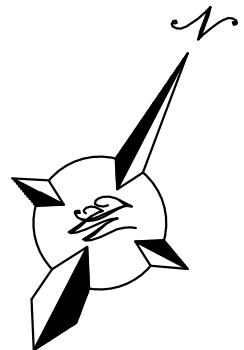
BACK 50' MINIMUM OR 6' OPAQUE WALL

GENERAL NOTES:

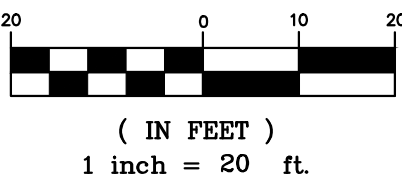
1. ALL BROKEN OR CRACKED CURB AND GUTTER OR VALLEY GUTTER MUST BE REMOVED AND REPLACED.




EXECUTIVE SUMMARY

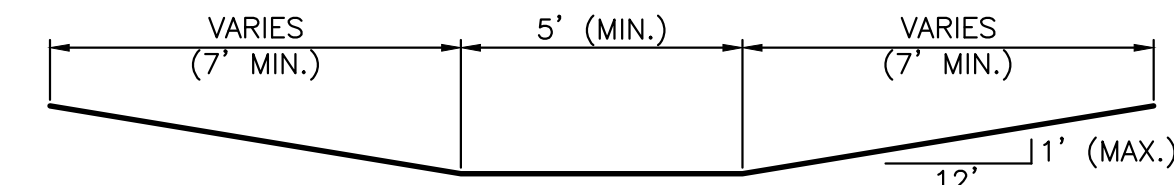
THE SITE IS LOCATED IN THE SOUTHEAST QUADRANT OF RAINBOW BOULEVARD N.W. AND UNIVERSE BOULEVARD N.W. THE IMPROVEMENTS ON THE 2.03 ACRE PROPERTY (ONE TRACT) ARE PROPOSED 105,075 SF BUILDING AND ALL OTHER SITE IMPROVEMENTS. ALL OTHER EXISTING IMPROVEMENTS WILL REMAIN AS IS. ACCESS TO THE SITE IS FROM ONE EXISTING ENTRANCE OFF RAINBOW BOULEVARD N.W.



GRAPHIC SCALE



ENGINEER'S SEAL	SAFStor RAINBOW ALBUQUERQUE, N.M.	DRAWN BY RMG
  10-24-2024		DATE 10/24/2024
	TRAFFIC CIRULATION PLAN	2024032_TCL
	RONALD R. BOHANNAN P.E. #7868	 <i>TERRA WEST, LLC</i> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com
		JOB # 2024032

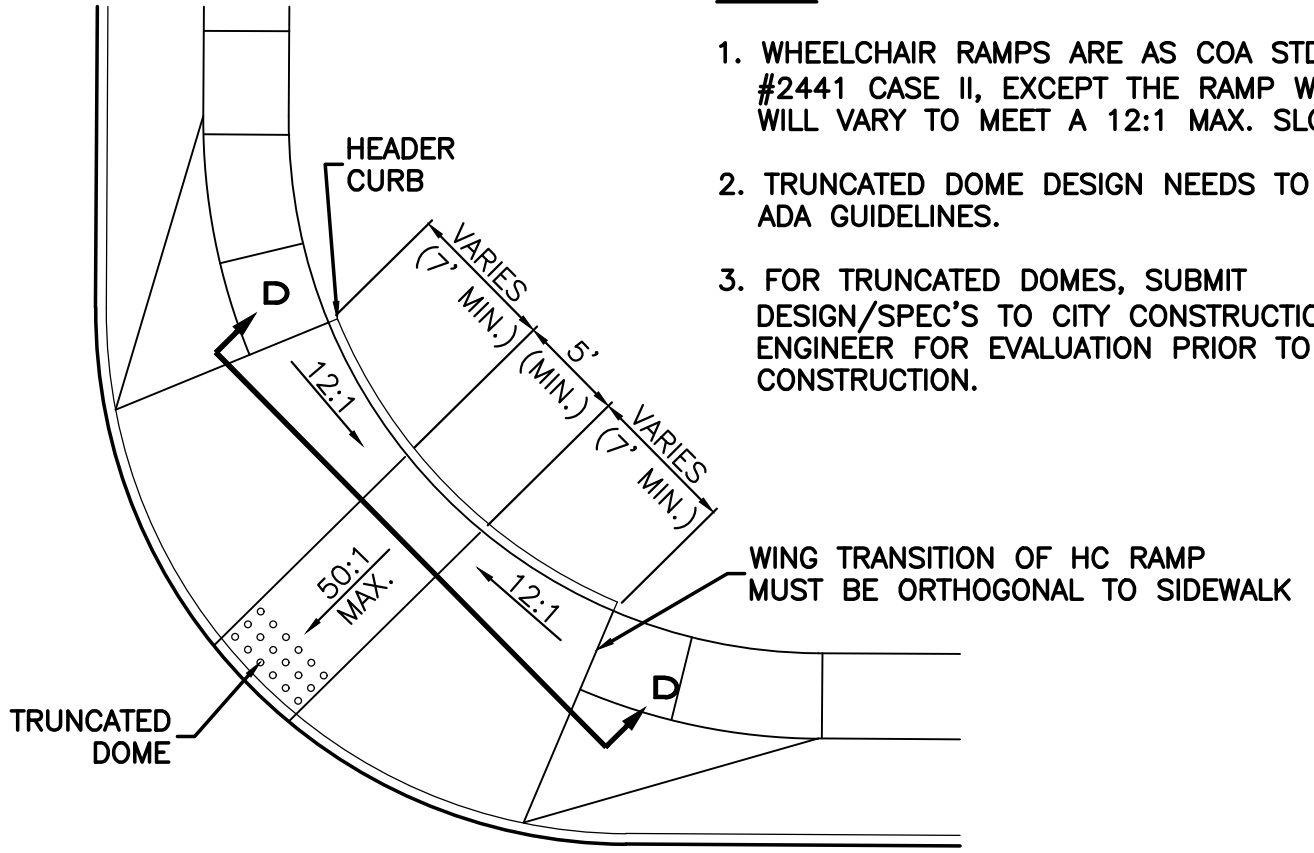


SECTION D-D

NTS

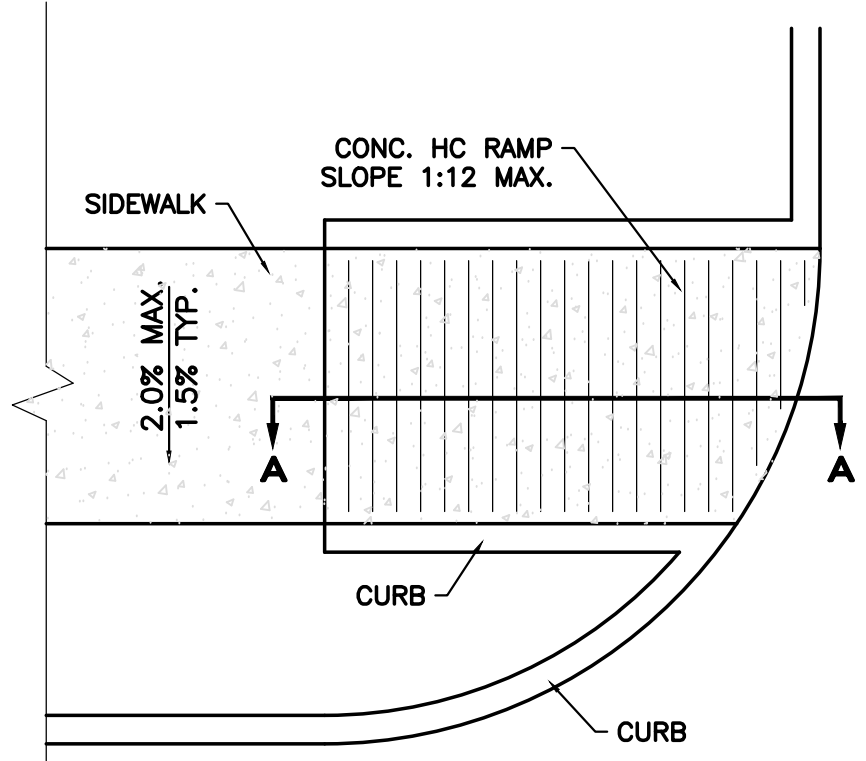
NOTES:

1. WHEELCHAIR RAMPS ARE AS COA STD DWG #2441 CASE II, EXCEPT THE RAMP WIDTH WILL VARY TO MEET A 12:1 MAX. SLOPE.
2. TRUNCATED DOME DESIGN NEEDS TO FOLLOW ADA GUIDELINES.
3. FOR TRUNCATED DOMES, SUBMIT DESIGN/SPEC'S TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.

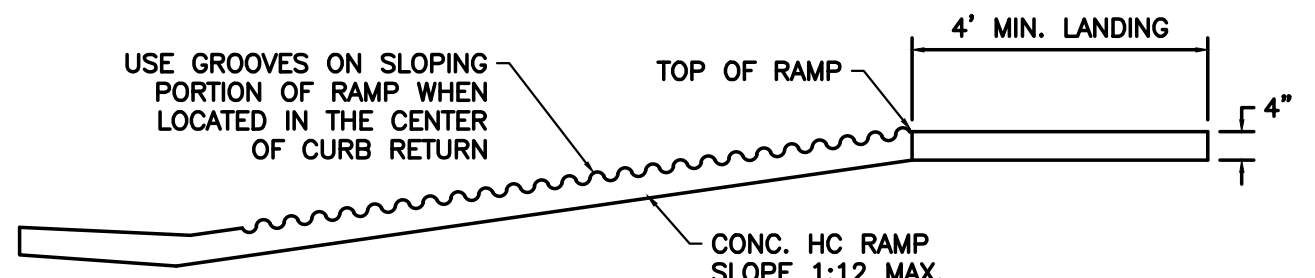


WHEELCHAIR RAMP DETAIL (TYP.)

NTS



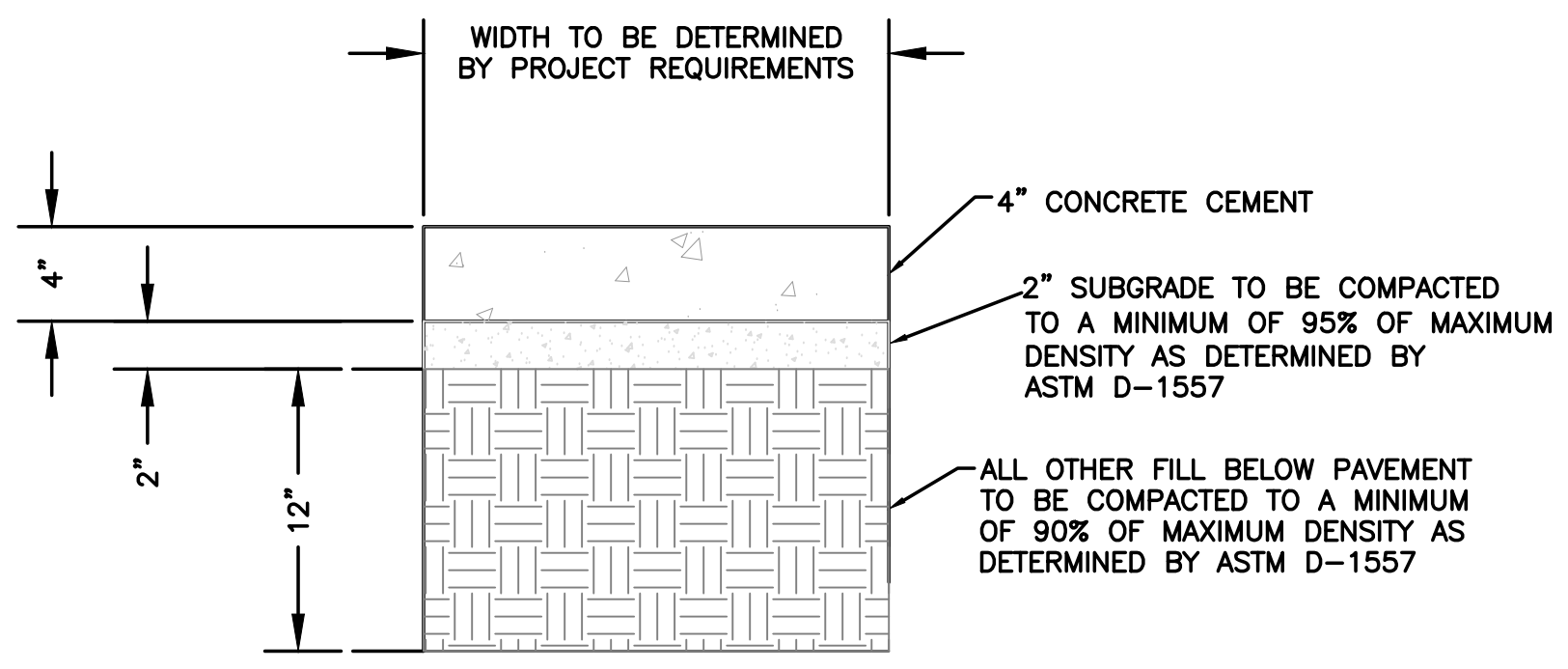
PLAN



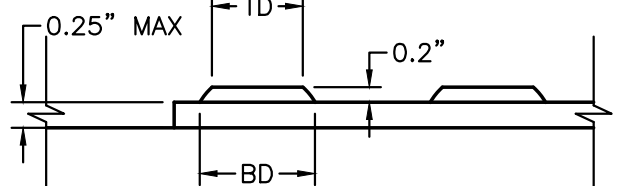
SECTION A-A

UNIDIRECTIONAL HC RAMP

SCALE: NTS

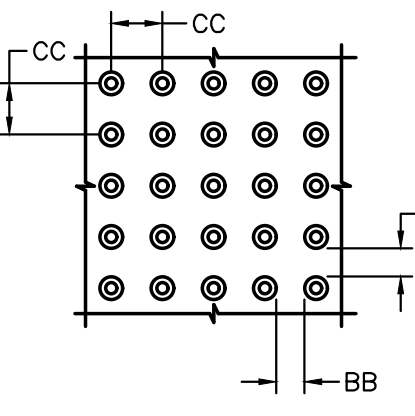


CONCRETE SIDEWALK SECTION



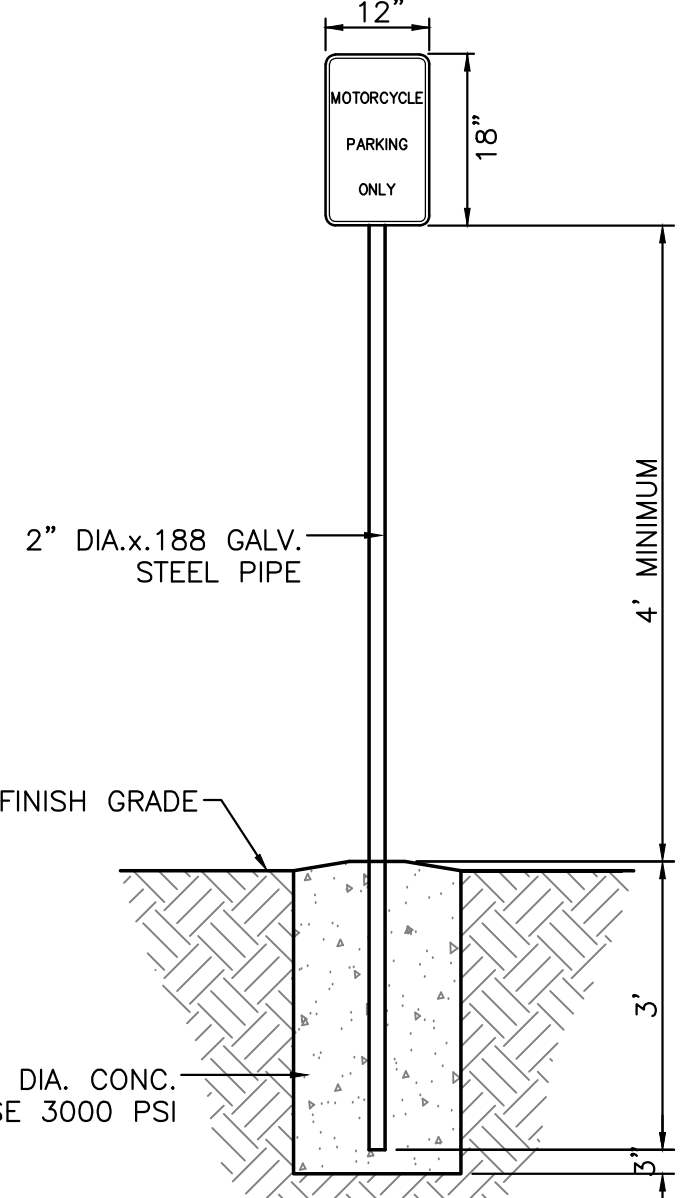
DOMES SECTION

BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



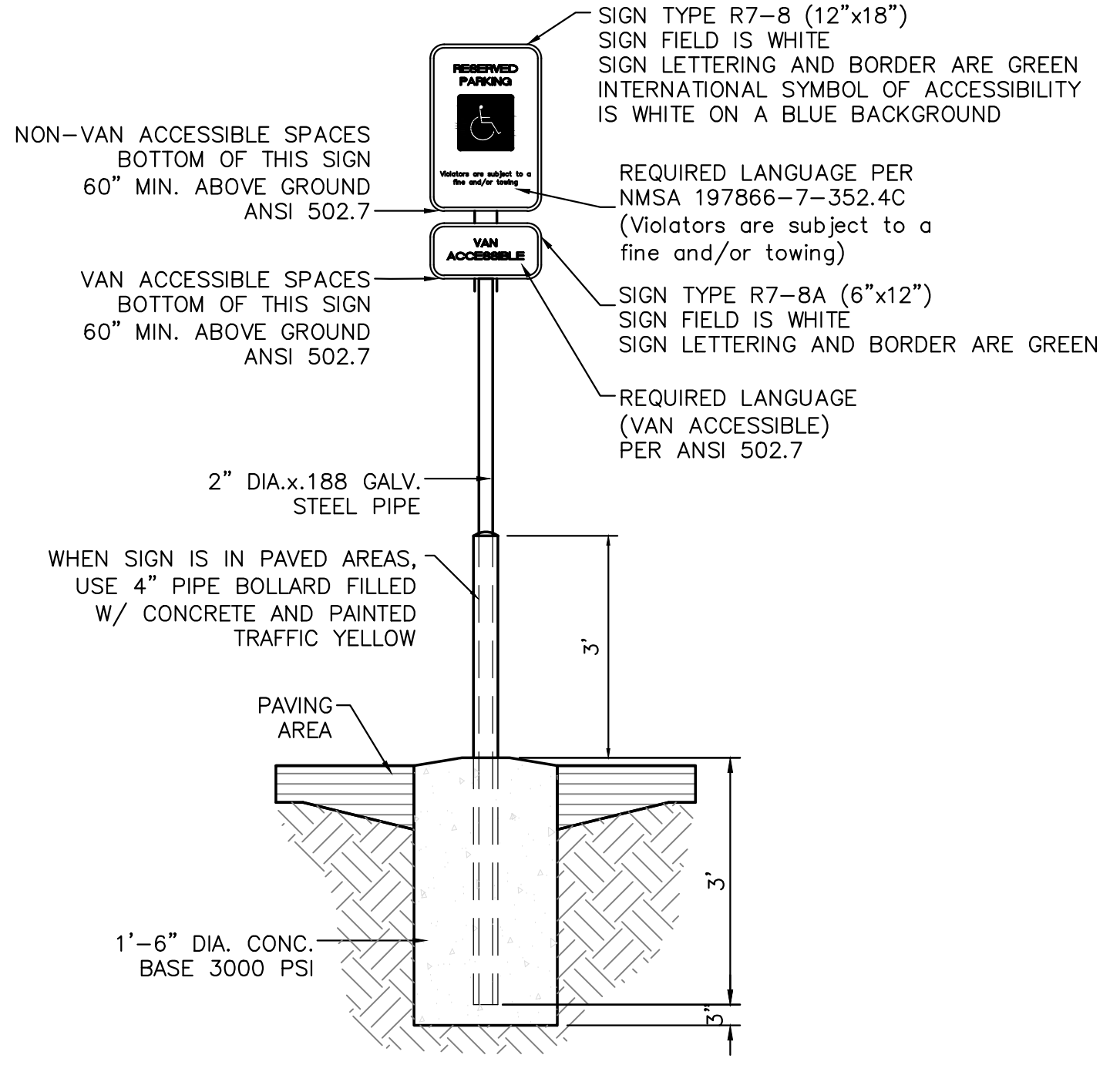
DOMES SPACING

CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



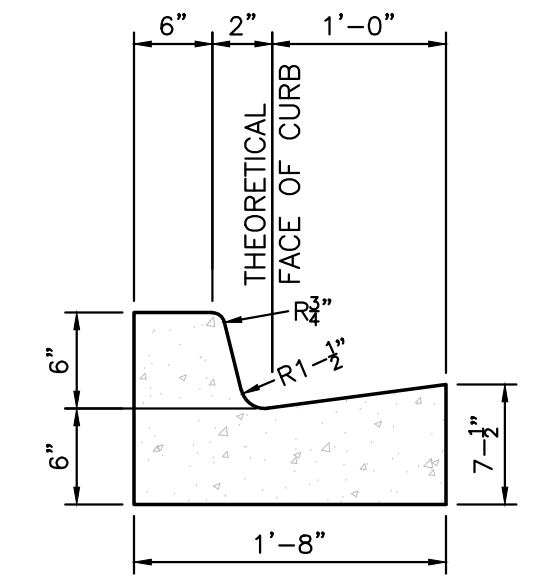
MOTORCYCLE PARKING SIGN

NTS



ACCESSIBLE PARKING SIGN

NTS

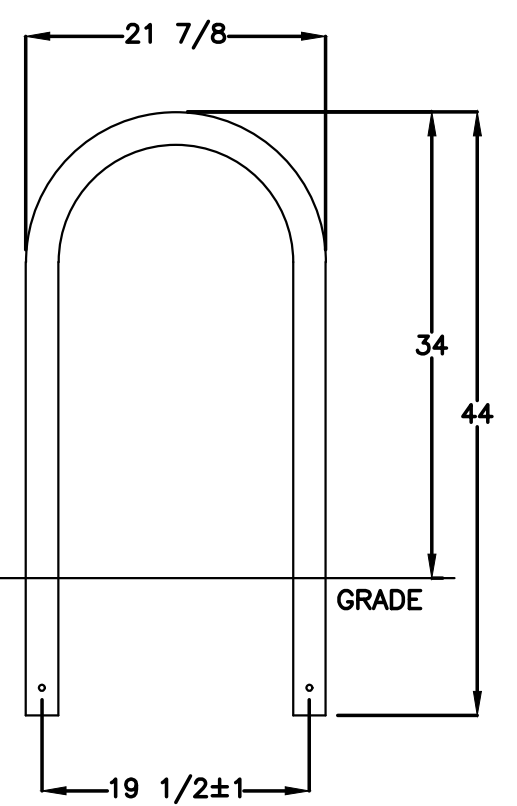


CURB GENERAL NOTES:

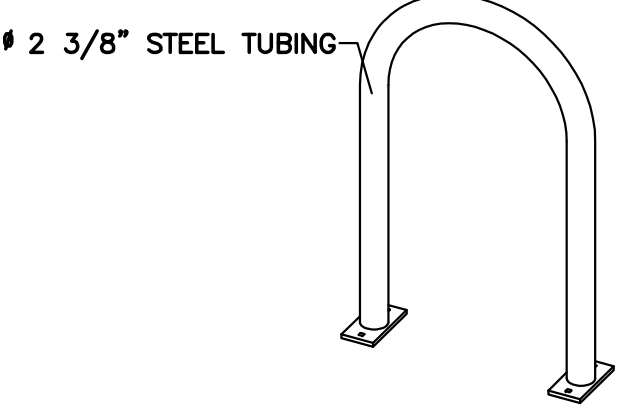
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADUIS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

6" PRIVATE CURB & GUTTER

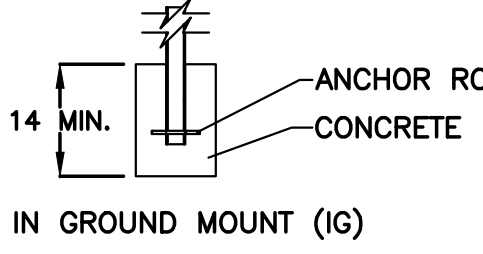
NTS



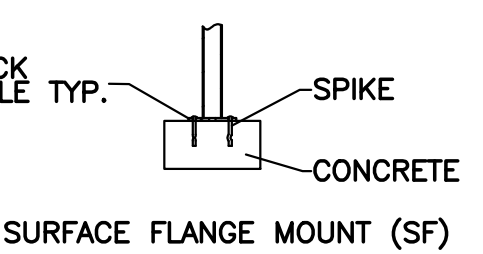
MADRIX DIVISION GRABER MANUFACTURING, INC. 1080 UNEX DRIVE WAUNAKEE, WI 53597 P(800) 448-7931, P(608) 849-1080, F(608) 849-1081 WWW.MADRIX.COM, E-MAIL: SALES@MADRIX.COM



CHECK DESIRED MOUNT



IN GROUND MOUNT (IG)



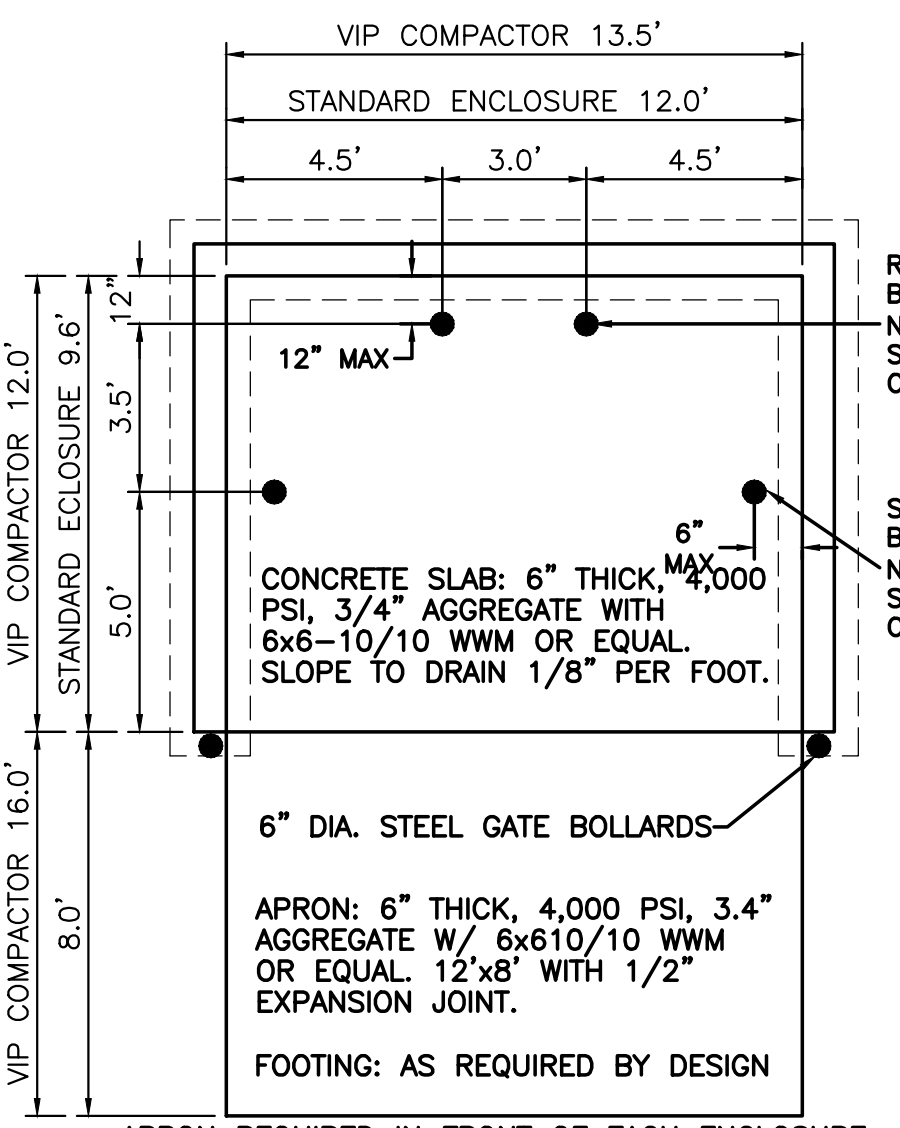
SURFACE FLANGE MOUNT (SF)

PRODUCT: U238-IG(SF) DESCRIPTION: 'U' BIKE RACK 2 BIKE, SURFACE OR IN GROUND MOUNT DATE: 10-4-18 ENG: SMC

NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR (FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

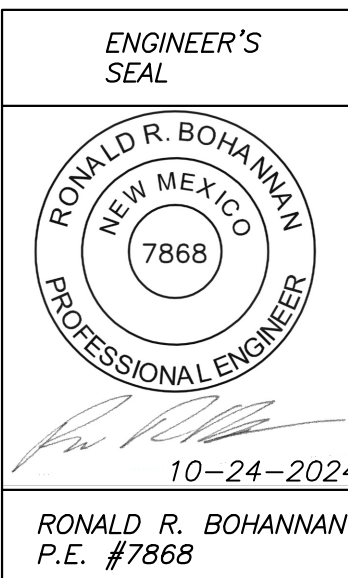
U-BIKE RACK



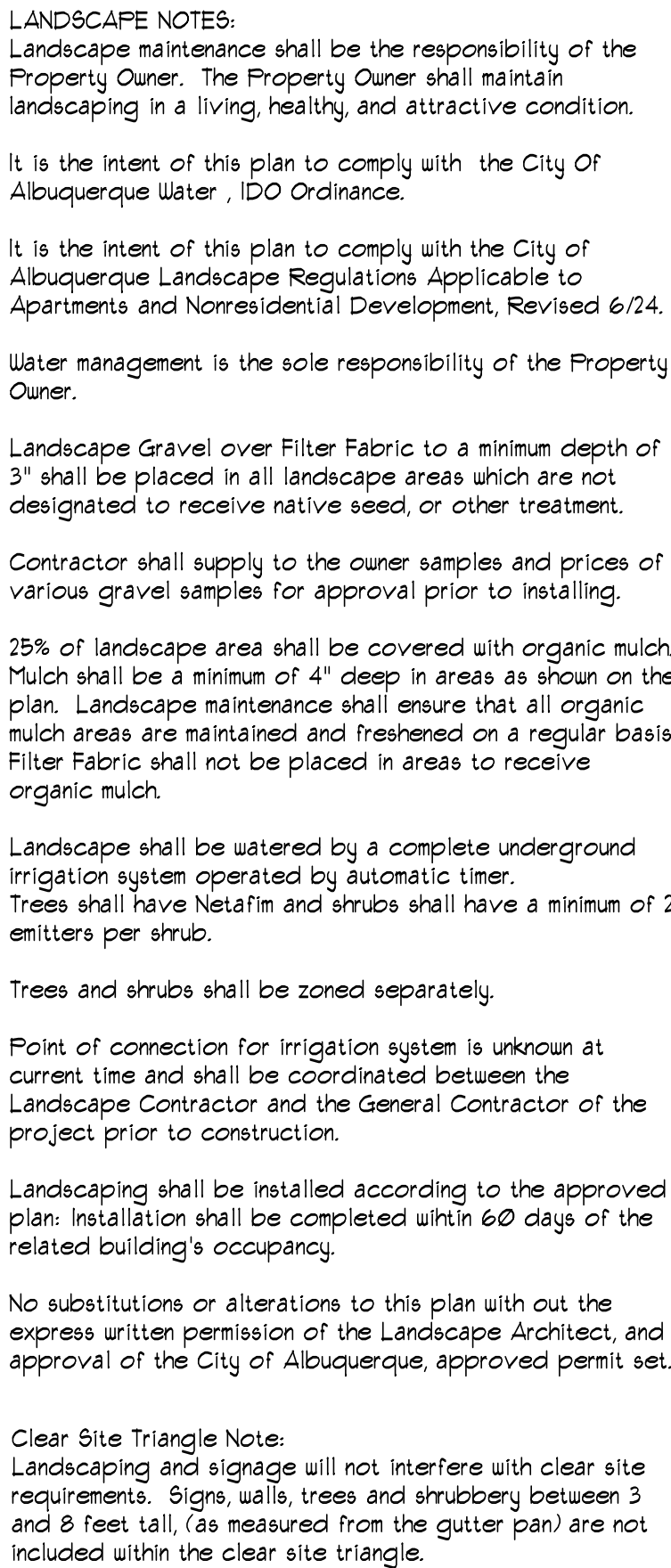
NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

DUMPSTER ENCLOSURE DETAIL












NTS



SAFStor RAINBOW ALBUQUERQUE, N.M.	DRAWN BY RMG
	DATE 10/24/2024
CONSTRUCTION DETAILS	2024032_DET
	SHEET # DET-1
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2024032



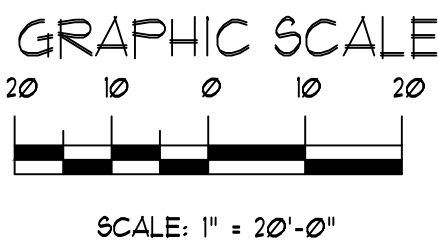
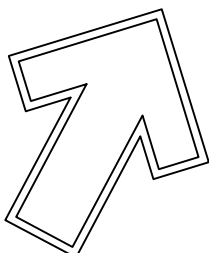
SYMBOL	SIZE	COMMON / BOTANICAL NAME	QTY	DIMS	COVERAGE	TOTAL COVERAGE
TREES						
	4'-6'	BLUE ARROW JUNIPER JUNIPERUS SCOPULORUM 'BLUE ARROW'	3	12'x4'	13	39
	2" CAL	EMORY OAK QUERCUS EMORYI	6	35'x35'	961	5766
	2" CAL	GAMBEL OAK QUERCUS GAMBELII	1	25'x25'	490	3430
	2" CAL	PAUL'S SCARLET ENGLISH HAWTHORN CRATAEGUS LAEVIGATA 'PAUL'S SCARLET'	5	20'x20'	314	1570
	4'-6'	PINYON PINE PINUS EDULIS	2	30'x20'	314	628
Total Trees			23			11433

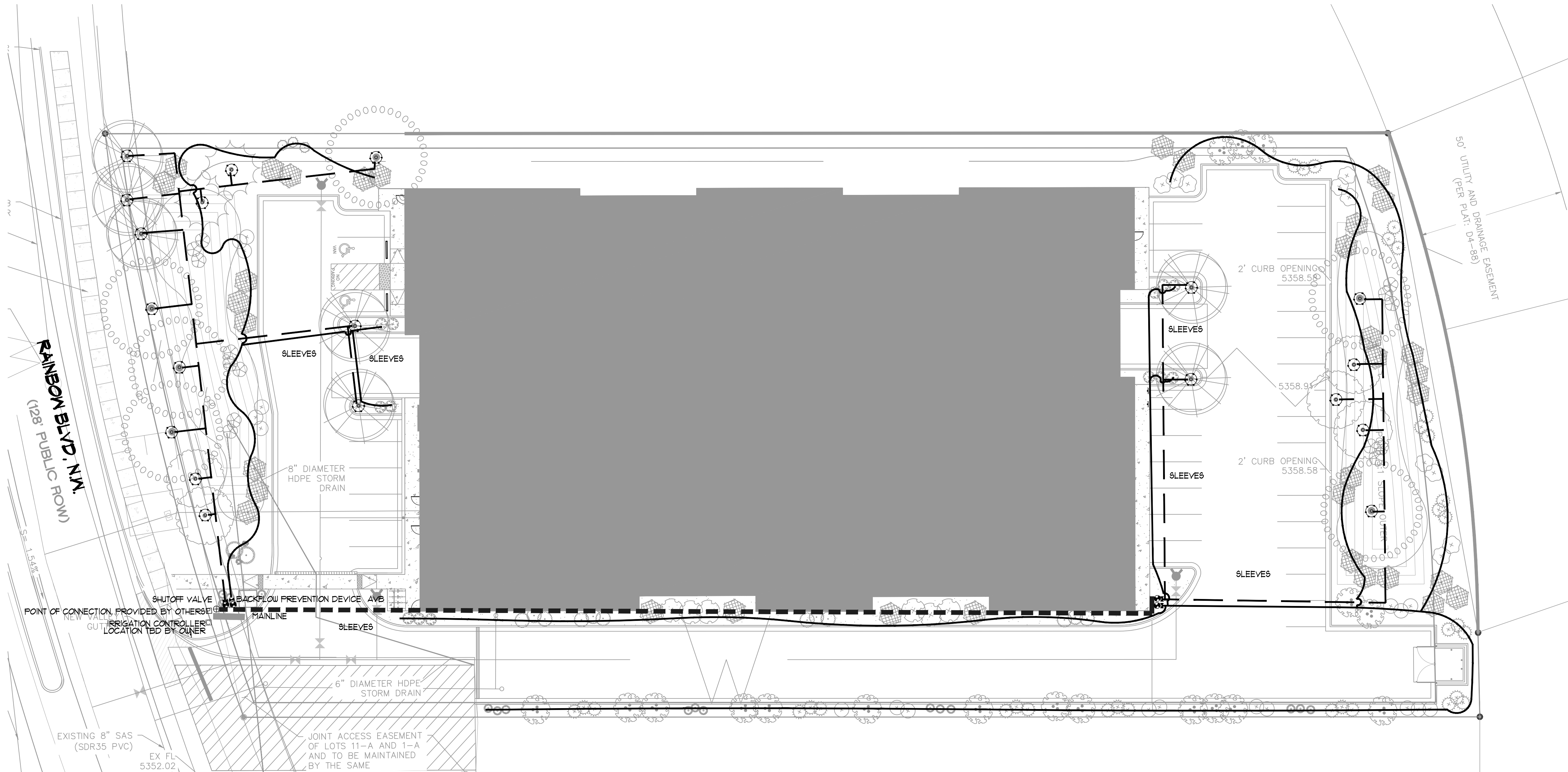
	5 GAL	APACHE PLUME FALLUGIA PARADOXA	33	6'x5'	20	660
	5 GAL	BLUE MIST BLUEBEARD CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	12	3'x3'	7	84
	5 GAL	BUFFALO JUNIPER JUNIFERUS SABINA 'BUFFALO'	35	1'x8'	50	1750
	5 GAL	CHAMISA ERICAMERIA NAUSEOSA NAUSEOSA	19	5'x5'	20	380
	5 GAL	FERNBUSH CHAMAEBATIARIA MILLEFOLIUM	10	5'x6'	28	280
	5 GAL	GRO-LOW FRAGRANT SUMAC RHUS AROMATICA 'GRO-LOW'	6	3'x8'	50	300
	5 GAL	INDIAN Hawthorn RHAPHIOLEPIS INDICA	13	3'x5'	20	260
	5 GAL	PALM YUCCA YUCCA FAXONIANA	2	15'x6'	28	56
	5 GAL	RED YUCCA HESPERALOE PARVIFLORA	16	3'x3'	7	112
	5 GAL	WINTERGREEN BARBERRY BERBERIS JULIANAE	14	5'x5'	20	280
	5 GAL	YELLOW BIRD OF PARADISE CAESALPINIA GILLIESII	18	10'x10'	79	1422
Total Shrubs			178			5584

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	88,419
TOTAL BUILDING AREA (sf)	-34,911
TOTAL NET-LOT AREA (sf)	53,502
LANDSCAPE REQUIREMENT	X0.15
TOTAL LANDSCAPE REQUIRED (15%)	8,025
TOTAL ON-SITE LANDSCAPE PROVIDED	22,612
TREE CANOPIES AND GROUND-LEVEL PLANTS REQUIRED (15%/11,004)	11,004
TREE CANOPIES AND GROUND-LEVEL PLANTS PROVIDED	13,011
GROUND-LEVEL PLANTS REQUIRED	4,251
(75% of Required Vegetation Coverage)	
GROUND-LEVEL PLANTS PROVIDED	6,745

Organic Mulch (refer to IDO sheet)		
Note, Each Tree, min, 5' rad. 185	23 Trees x 185 sf =	1,206
See Tree Detail, a 5' radius of wood mulch is required around each tree w/out Filter Fabric		
Note, Each Shrub, min, 3' rad. 283	178 Shrubs x 283 sf =	5,037
Total Mulch Provided (area sf)		6,243
Total Mulch Required (area sf)		4,251





IRRIGATION LEGEND

COMPONENT	MANUFACTURER	SIZE / NOTES
POINT OF CONNECTION, PROVIDED BY OTHERS	SEE CIVIL PLANS	1"
IRRIGATION CONTROLLER	HUNTER	As Required
BACKFLOW PREVENTION DEVICE	FEBCO (OR EQUAL)	1" Cover, Provide Freeze Protection
MASTERY VALVE ASSEMBLY	HUNTER	1"
MAINLINE	Sch 40 PVC	1"
ELECTRIC ZONE VALVE	HUNTER	1" with Pressure Regulation and Y Filter
SLEEVES	Class 200 PVC	2 SIZES LARGER THAN PIPE TO BE SLEEVED.
Drip Line, Tree Netatm Rings	Class 200 PVC	1"
Drip Line, Shrub Drip Emittor Line	Polyline	3/4"- 1"
Tree Drip Emittor	RAINBIRD	SEE DETAIL

Size Equipment as Required for Flow Rate

IRRIGATION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
- THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT AFFROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS, CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- ALL IRRIGATION SLEEVEING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVEING DETAIL.
- SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNER. BACKFLOW PREVENTOR TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER.

IRRIGATION NOTES:
Irrigation shall be a complete underground system.

Trees and shrubs shall be on separate valves.

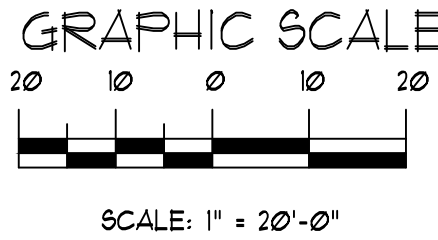
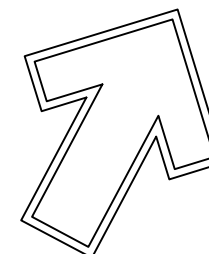
Point of connection for irrigation system shall be as indicated on the Utility Plan, Civil drawings. Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.

Irrigation will be operated by smart irrigation system automatic controller, capable of multi-programming ability.

Location of controller to be field determined and power source for controller to be provided by the owner.

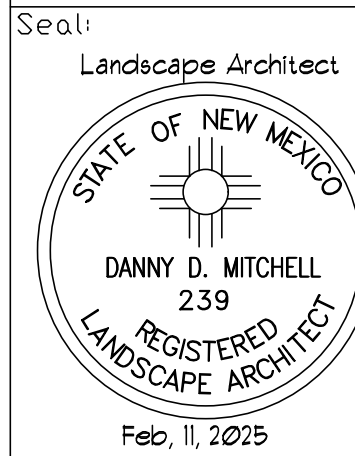
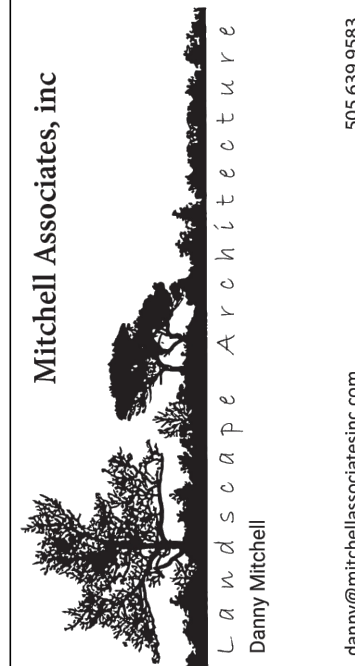
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source for irrigation system shall be the responsibility of the Property Owner.



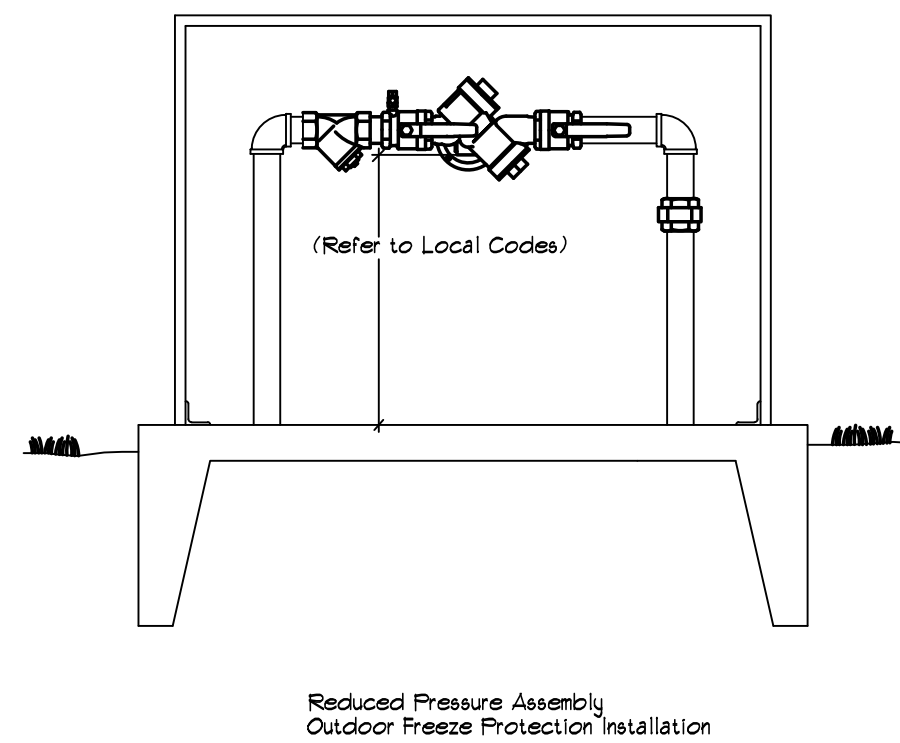
SAFstor

7520 RAINBOW BLVD. N.W. ALBUQUERQUE, NM 87120



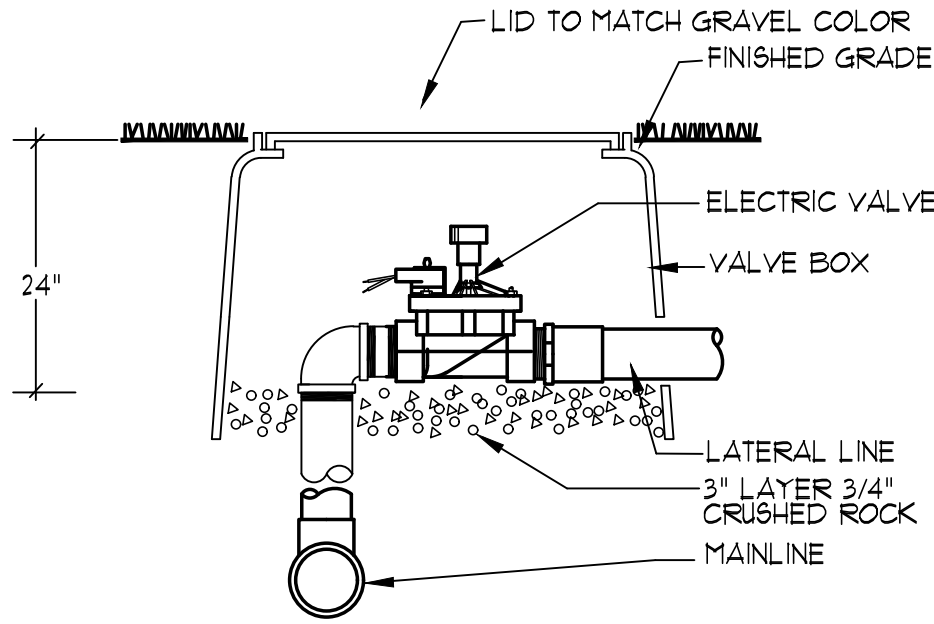
Project NO: 2024-046
DRAWING NO: **LS-102**

DESIGNED BY:	REVISIONS
Drawn By:	Date:
Approved By:	Date:
Date:	Comment
NEW MEXICO ONE CALL	
1-800-521-ALERT (2537)	
www.rmonecall.org	
Call two working days before you dig.	
File ID:	



RPA, HOTBOX TYP.

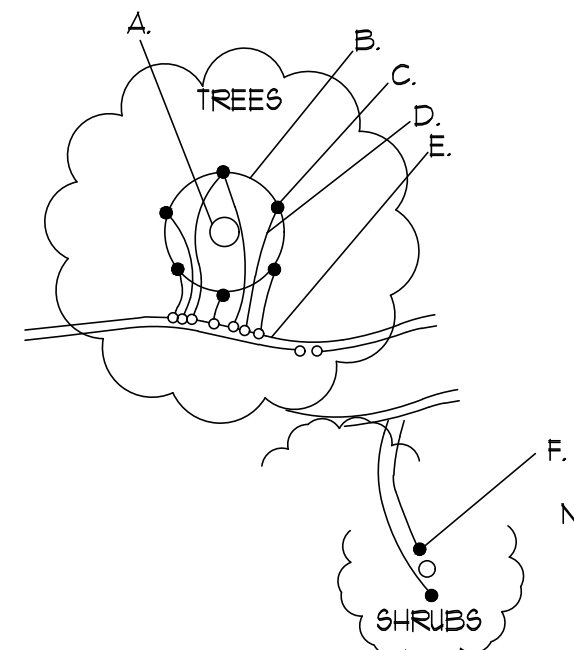
N.T.S.



ELECTRIC VALVE ASSEMBLY

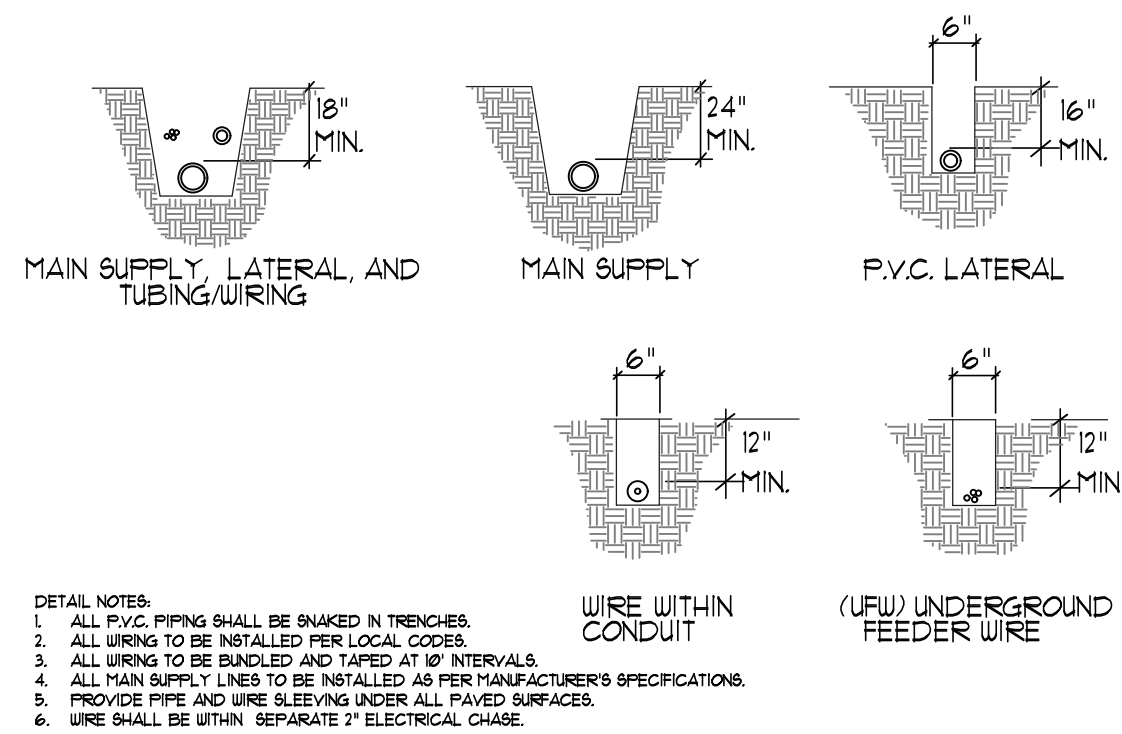
N.T.S.

NOTE: ALL IRRIGATION COMPONENTS WILL USE RECLAIMED WATER WHEN IT BECOMES AVAILABLE TO MESA DEL SOL



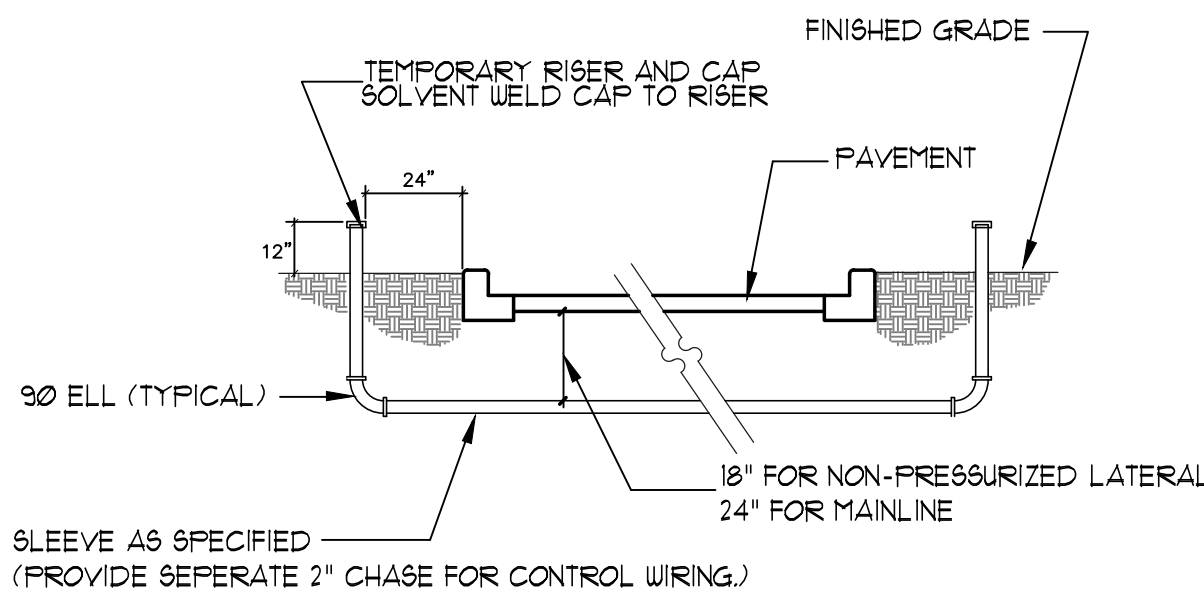
EMITTER PLACEMENT DETAIL

N.T.S.



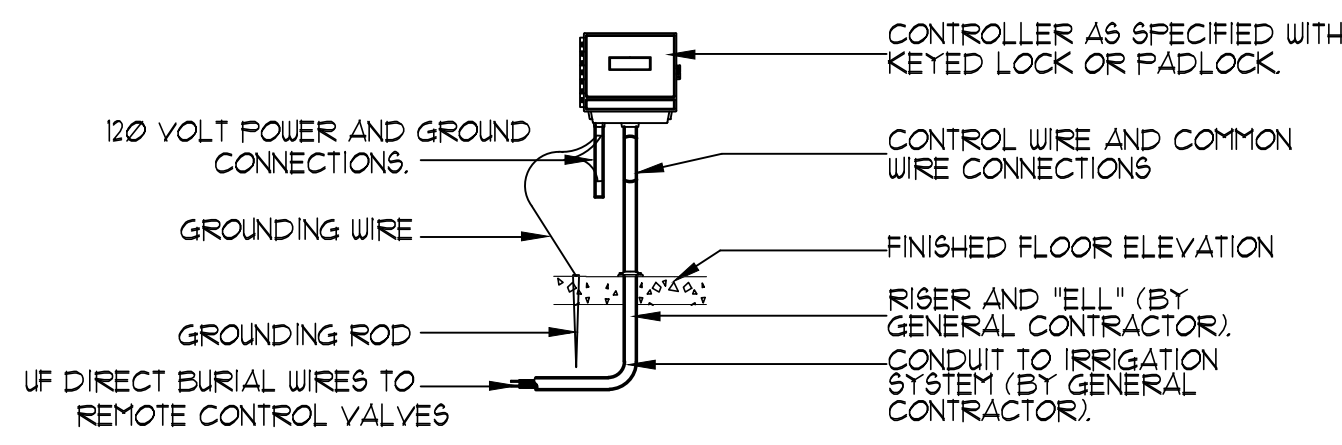
TRENCHING DETAIL

N.T.S.



SLEEVE INSTALLATION DETAIL

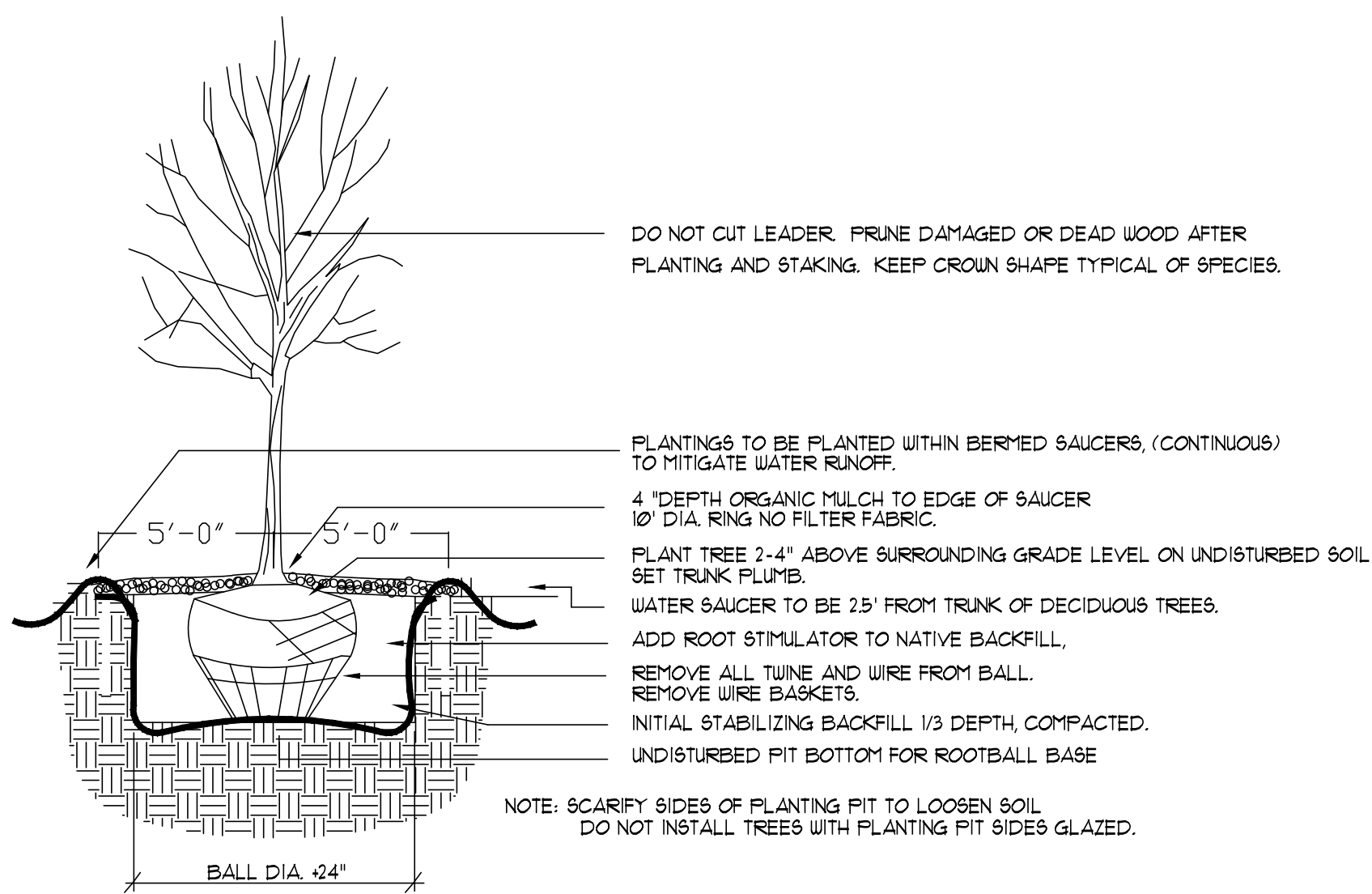
N.T.S.



- DETAIL NOTES:
1. ELECTRICAL POWER TO BE SUPPLIED BY OTHERS.
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
 3. SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER.
 4. CONTROLLER TO BE MOUNTED APPROXIMATELY 5'-0\"/>

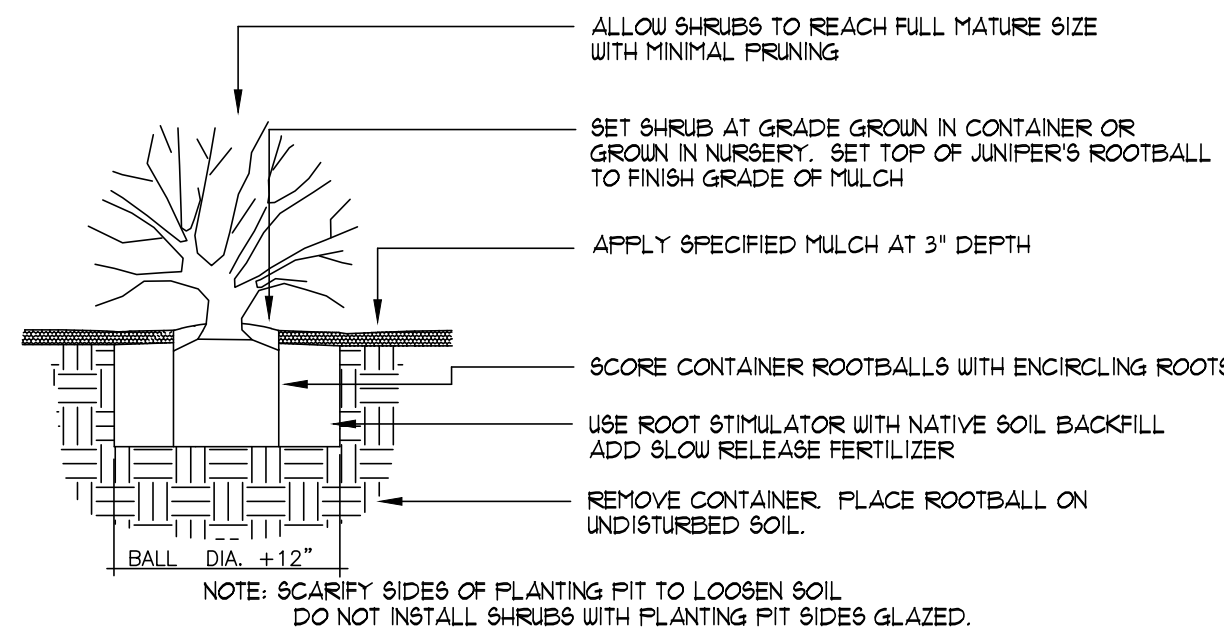
CONTROLLER DETAIL

N.T.S.



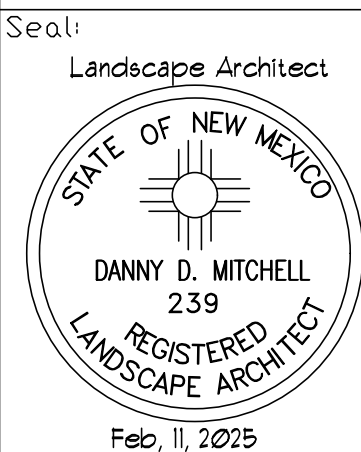
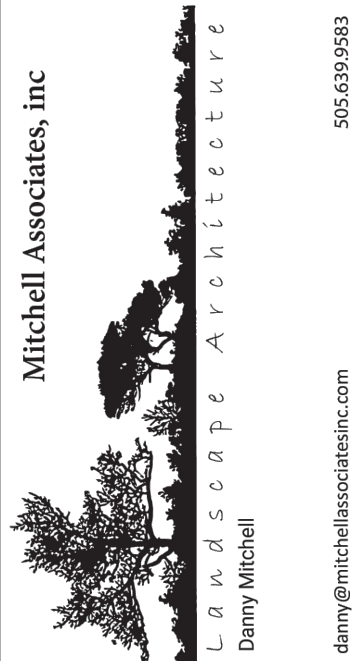
TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.



City of Albuquerque Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided for Reference

PURPOSE

This Section 14-16-5-6 regulates landscaping to ensure visually attractive, sustainable desert landscapes that aid in the creation of a quality public realm. The City recognizes landscape as a visual component to quality environments that enhance Albuquerque's overall appearance and provide other public benefit through:

- 5-6(A)(1) Providing visual relief from urbanization.
- 5-6(A)(2) Establishing a consistent, attractive streetscape that generates a sense of continuity and a strong, positive city image.
- 5-6(A)(3) Improving the aesthetic appearance of commercial, industrial, and multi-family residential development to protect and enhance public and private investments and property values.
- 5-6(A)(4) Ensuring the use of native and/or adapted, low water-use, or xeric species and regionally appropriate sustainable design and maintenance techniques to conserve water resources.
- 5-6(A)(5) Contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscape should be designed to retain soil moisture, prevent erosion, encourage the growth of abutting plantings, and mitigate urban heat-island effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and glare.
- 5-6(A)(6) Providing screening of some types of facilities, structures, and equipment.
- 5-6(A)(7) Providing shade and comfort for pedestrians and visually narrowing streets, which has been shown to reduce vehicle speeding and encourage walking.

5-6(B). APPLICABILITY

5-6(B)(1) The provisions of this Section 14-16-5-6 shall apply to any of the following, unless specified otherwise this IDO:

- 5-6(B)(1)(a) Construction of a new building containing multi-family, mixed-use, or non-residential development or an accessory parking structure.
- 5-6(B)(1)(b) Construction of a new parking lot containing 25 or more spaces, or expansion of an existing parking lot by 25 spaces or more.
- 5-6(B)(1)(c) Expansion of the gross floor area of an existing building containing multi-family, mixed-use, or non-residential development by 2500 square feet, or more, or 25 percent, or more, whichever is less.
- 5-6(B)(1)(d) Renovation or redevelopment of an existing building containing multi-family, mixed-use, or non-residential development, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, indicated by building permits, is \$500,000 or more.
- 5-6(B)(2) In the case of walls provided for buffering or screening requirements with conflicting standards in this Section 14-16-5-6, Section 14-16-5-5 (Parking and

Loading), and Section 14-16-5-9 (Neighborhood Edges), the highest specified unit height allowance prevails.

5-6(B)(3) Requirements for walls provided to meet buffering and screening requirements prevail over minimum wall height regulations in Section 14-16-5-7 (Walls and Fences), but shall be subject to any other applicable material and design requirements in Subsection 14-16-5-7(E).

5-6(C). GENERAL LANDSCAPING STANDARDS

The following standards apply to all landscaping, screening, or buffering required by this Section 14-16-5-6:

5-6(C)(1) Landscape Plan Required

A landscape plan with designed landscape areas shall be submitted as a part of all development applications where landscaping, buffering, or screening is required, unless the relevant decision-making body determines that compliance with the provisions of this Section 14-16-5-6 can be demonstrated without the use of a landscape plan. A landscape plan may be combined with other required application materials if compliance with this Section 14-16-5-6 can be demonstrated without the use of such materials. Landscaping shall be maintained pursuant to the requirements of Subsection 14-16-5-13(B)(6).

5-6(C)(2) Minimum Landscape Area

5-6(C)(2)(a) Except as noted in Subsection (b) below, a minimum of 75 percent of the total landscape area as measured by canopy width or the area beneath the drip-line of the mature

- size of the actual vegetation. Of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the mature size of the actual vegetation. (See figure below).

5-6(C)(2)(c) The mature natural spread of trees and shrubs will be used to calculate required vegetative coverage as follows:

- Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscape area as measured by canopy width or the area beneath the drip-line of the mature
- size of the actual vegetation. Of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the mature size of the actual vegetation. (See figure below).

5-6(C)(2)(d) See also Subsections 14-16-5-6(D) (Street Frontage Landscaping), 14-16-5-6(E) (Edge Buffer Landscaping), and 14-16-5-6(F) (Parking Lot Landscaping) for additional landscaping requirements.

5-6(C)(3) Overlapping Requirements

5-6(C)(3)(a) If areas required to be landscaped by 2 or more provisions of this Section 14-16-5-6 overlap each other, the provision requiring the greater amount of landscaping shall apply, and landscaping provided that meets the greater requirement shall count toward fulfilling the overlapping requirements.

1. See Subsection 14-16-5-6(C)(2) (Existing Vegetation Credit).

- See Subsection 14-16-5-6(C)(3) (Stormwater Management Features).
 - See Subsection 14-16-5-6(D) (Street Frontage Landscaping).
 - See Subsection 14-16-5-6(E) (Edge Buffer Landscaping).
 - See Subsection 14-16-5-6(F) (Parking Lot Landscaping).
- 5-6(C)(3)(b) Landscaped areas may count toward satisfying usable open space requirements specified for Residential zone districts in Table 5-1-1 and for Mixed-use zone districts in Table 5-1-2.
- 5-6(C)(3)(c) Gardens and community gardens provided may count toward satisfying the requirements of Subsection 14-16-5-6(C)(2) (Minimum Landscape Area).
- 5-6(C)(3)(d) Any landscaping provided to meet requirements in Subsection 14-16-5-20 (Major Arroyo Standards) may count toward any required landscaping in this Section 14-16-5-6 but shall be subject to Subsection 14-16-5-6(C) (General Landscaping Standards).
- 5-6(C)(3)(e) Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-16-5-11(E)(3) (Outdoor Seating and Gathering Areas) may count toward up to 1/3 of required landscaping in Section 14-16-5-6 but shall be subject to standards in Subsection 14-16-5-6(C) (General Landscaping Standards).
- 5-6(C)(4) Required Plant Materials and Site Amenities
- 5-6(C)(4)(a) A minimum of 5 species must be used in the landscaped area.
- 5-6(C)(4)(b) Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards), except that, upon presentation of evidence, the relevant decision-making body may authorize alternative species or cultivars that meet all of the following requirements:
- Meet the intended purpose of that type of landscaping.
 - Are not hazardous.
 - Are not identified as invasive on a City or State plant list.
 - Are not listed in the City of Albuquerque Identification Handbook.
 - Are equally hardy to the New Mexico climate.
- 5-6(C)(4)(c) Installation of any trees, shrubs, or other vegetation included in a State list of prohibited or invasive species or listed as noxious weeds in the City of Albuquerque Identification Handbook is prohibited.
- 5-6(C)(4)(d) No more than 10 percent of required landscape areas shall be cool season grass species. Irrigated cool season grass shall not be planted on slopes exceeding 14 percent or planted in narrow or irregularly shaped areas 10 feet or less in any dimension in order to avoid water waste. Any cool season grass shall be installed at

least 3 feet in any direction from any impermeable hard surface. (A buffer using organic mulch can be used when planting cool season grass adjacent to impermeable surface).

5-6(C)(4)(e) Landscaping abutting arroyos shall consist of native plants that are included on the Official Albuquerque Plant Palette.

5-6(C)(4)(f) Artificial turfgrass shall not be counted as living vegetative material or to meet the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards).

5-6(C)(4)(g) All vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6-6-2 of ROA 1994 (Police Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.

5-6(C)(4)(h) All required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ANSI) of the American Nursery and Landscape Association.

5-6(C)(4)(i) Shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or, where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided.

5-6(C)(4)(j) In DT-UC-MB areas, landscaped areas other than street frontage shall include pedestrian furniture, pedestrian amenities, or trash receptacles to encourage pedestrian use.

5-6(C)(4)(k) See also Subsection 14-16-5-6(D) (Street Frontage Landscaping) for additional landscaping requirements.

5-6(C)(5) Soil Condition and Planting Beds

5-6(C)(5)(a) All vegetated material required by this Section 14-16-5-6 shall be planted in uncompacted soil.

5-6(C)(5)(b) If used, weed barriers shall be permeable to optimize stormwater infiltration and prevent erosion.

5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area, or 50 percent in DT-UC-MB areas.

5-6(C)(5)(d) A minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended.

5-6(C)(5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited.

5-6(C)(5)(f) All landscaped areas shall be protected from vehicular encroachment by curbs or wheel stops located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated areas, and stormwater infiltration areas.

5-6(C)(6) Minimum Plant Sizes at Installation

All vegetation required by this Section 14-16-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO.

Table 5-6-1: Minimum Plant Sizes	
Plant Material Type (ANSI Types)	Minimum size
Deciduous Accent Trees	1.5 in. caliper or 1 in. above grade or 6 ft. in height
Evergreen Tree	6 ft. in height
Multi-trunk Tree	Minimum 2 trunks with a combined caliper of 2 in.
Shrubs	3 gallon container size
Ground cover and turf	Adequate to meet minimum ground cover with 1/3 growing season after planting

5-6(C)(7) Plant Material Spacing

5-6(C)(7)(a) Vegetation required by this Section 14-16-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections.

5-6(C)(7)(b) Where tree planting requirements are based on the length of the street frontage areas occupied by driveways and drive aisles shall be determined when calculating the number of trees required to be planted and all trees that would otherwise be required in driveways or drive aisles shall be planted in other landscaped front yard areas.

5-6(C)(7)(c) The Planning Director may authorize adjustments to any spacing requirements when required to meet the needs of the City or State list of prohibited or invasive species or listed as a noxious weed in the City of Albuquerque Identification Handbook.

5-6(C)(7)(d) Obstructions, provided that the total amount of required landscape is not reduced.

5-6(C)(8) Protecting Clear Sight Triangle

The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

5-6(C)(9) Planting in or over the Public Right-of-Way

5-6(C)(9)(a) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repair, or liability for all the landscaping placed in or over the public right-of-way.

5-6(C)(9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8 foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 5 foot clearance over the street surface.

5-6(C)(9)(c) Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip Irrigation systems and artificial turf shall not be allowed within the public right-of-way.

5-6(C)(10) Planting near Utilities

5-6(C)(10)(a) Trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced.

5-6(C)(10)(b) Trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line.

5-6(C)(10)(c) Trees or shrubs planted within utility easements shall comply with the standards of the utility provider to minimize effects on facilities maintenance and repair.

5-6(C)(10)(d) If overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.

5-6(C)(10)(e) All screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crews and public during maintenance and repair.

5-6(C)(10)(f) Trees shall not be planted near existing or proposed street light poles.

5-6(C)(10)(g) Standards in the DPM may apply to tree planting in or near other utility easements, such as gas lines.

5-6(C)(11) Parking on Landscaped Areas Prohibited

Parking of automobiles, trucks, trailers, boats, recreational vehicles, or other motor vehicles is prohibited on any required landscape or buffer area.

5-6(C)(12) Existing Vegetation Credit

5-6(C)(12)(a) If existing non-prohibited vegetation meets the location requirements and intent of landscaping, buffering, or screening required by this Section 14-16-5-6, that existing vegetation may be credited toward any required landscaping or screening in this Section 14-16-5-6.

5-6(C)(12)(b) All existing vegetation preserved and used for credit against the requirements for new vegetation shall be protected during construction by a fence erected one foot beyond the drip line of the vegetation.

5-6(C)(12)(c) Trees may be credited only 1 time toward any one buffer, screen, or other landscape requirement.

5-6(C)(12)(d) Trees shall be credited in accordance with Table 5-6-2.

Table 5-6-2: Credits for Preserving Trees	
Diameter at Breast Height (in.)	Number of Trees Credited
>25	8
>13 and <25	6
>8 and <13	4
>4 and <8	2
<4	1

1) Prohibited trees are those that do not appear on the Official Albuquerque Plant Palette and may appear on the City or State list of prohibited or invasive species.

5-6(C)(13) Stormwater Management Features

5-6(C)(13)(a) Required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation.

5-6(C)(13)(b) Required landscape and buffer areas shall be designed pursuant to the DPM and the City Standard Specifications for Public Works Construction.

5-6(C)(13)(c) In the R-ML, R-MH, Mixed-use, and NR-SU zone districts, and on lots containing multi-family dwellings or non-residential development in the R-A, R-1, R-1C, and R-1 zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collection areas that are located in landscape areas and that meet all applicable standards in the DPM.

5-6(C)(13)(d) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard or buffer or in a parking lot, shall be counted toward required landscaping and buffering in those areas, provided that the area includes vegetation required by this Section 14-16-5-6.

5-6(C)(13)(e) Where pedestrian walkways and multi-use trails cross required landscape areas, permeable paving may be used and may count toward satisfying the requirements of Subsection 14-16-5-6(C)(2) (Minimum Landscape Area).

5-6(C)(14) Irrigation Systems

5-6(C)(14)(a) Irrigation systems shall comply with Section 8 of the ABCWA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).

5-6(C)(14)(b) All irrigation systems shall be designed to minimize the use of water.

5-6(C)(14)(c) All non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.

5-6(C)(14)(d) The irrigation system shall not spray or irrigate impervious surfaces including sidewalks, driveways, drive aisles, streets, and parking and loading areas.

5-6(C)(15) Installation

5-6(C)(15)(a) All landscaping material used to meet the requirements of this Section 14-16-5-6 shall be installed in accordance with the planting procedures established by the American Nursery and Landscape Association.

5-6(C)(15)(b) All required landscaping, street trees, screening, and buffering shall be installed prior to the issuance of a final certificate of occupancy. If there is more than one primary building on the site, the landscaping, screening, and buffering required to each building

shall be installed prior to the issuance of a final certificate of occupancy.

5-6(C)(15)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation, doubling private properties are the property of the City and that a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of plant material that has been approved by the applicable public utility as part of a plan for landscaping, screening, or buffering, or the installation of a public right-of-way shall be the responsibility of such public utility. If a public utility disturbs landscaping, screening, or buffering in a public right-of-way, private way, or easement, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If the plant materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials.

5-6(C)(16) Property owners acknowledge that approved landscaping and trees installed and maintained in a public right-of-way, private way, or easement, doubling private properties are the property of the City and that the City reserves the right to remove them if necessary for a transportation project without compensation, but at no cost to the property owner. Landscaping installed in an abutting public right-of-way, private way, or easement by property owners and later removed by the City shall not impact previously approved net lot area calculations for required landscaping.

5-6(C)(16) Alternative Landscape Plans

The Planning Director may approve alternative landscape plans that do not meet the specific requirements stated in this Section 14-16-5-6 if the Planning Director determines that the alternatives meet all of the following criteria:

5-6(C)(16)(a) Are consistent with the purposes of this Section 14-16-5-6.

5-6(C)(16)(b) Do not include invasive vegetation included in a City or State list of prohibited or invasive species or listed as a noxious weed in the City of Albuquerque Identification Handbook.

5-6(C)(16)(c) Do not include a reduction of tree planting requirements.

5-6(C)(16)(d) Provide equal or superior buffering or adjacent properties from anticipated impacts of the proposed development.

5-6(C)(16)(e) Provide equal or superior visual appearance of the property when viewed from the street.

5-6(C)(16)(f) Provide equal or superior carbon dioxide absorption and heat island reductions.

5-6(D) STREET FRONTAGE LANDSCAPING

5-6(D)(1) Required Street Trees

5-6(D)(1)(a) All development shall comply with Part 6-6-2 of ROA 1994 (Street Trees) and any standards developed by the Parks and Recreation Department or other City department to implement that Ordinance. Trees are generally required along street frontages every 25 feet on center unless specified otherwise in Part 6-6-2 of ROA 1994 (Street Trees). Along street frontages where street trees are required, trees that are planted within 20 feet of the back of curb of the abutting street may fulfill this requirement.

5-6(D)(1)(b) Only trees selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(D) (Street Frontage Landscaping), except that existing trees that are not caliper or less may count toward street tree requirements, regardless of whether they appear on one of those lists.

5-6(D)(1)(c) Planting areas necessary for trees in the street frontage shall meet the minimum size requirements in Table 5-6-3 unless specified otherwise in this IDO. Tree grades may be used in constrained locations to meet the minimum size requirements, provided that the required planting areas to have a suitable surface.

Table 5-6-3: Minimum Planting Area by Tree Height at Maturity	
Tree Height at Maturity (ft.)	Minimum Planting Area (ft.)
0-20	4 x 4
20-30	6 x 6
>30	8 x 8

5-6(D)(2) Additional Frontage Landscaping

5-6(D)(2)(a) General For buildings with a footprint of more than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(b) Downtown, Urban Centers, and Main Street and Premium Transit Areas Fifty (50) percent of any front setback area not used for pedestrian access to the building or improved with pedestrian furniture and amenities shall be landscaped, and no part of the front setback area surface shall be asphalt.

5-6(E) EDGE BUFFER LANDSCAPING

5-6(E)(1) General Requirements

5-6(E)(1)(a) Landscaped edge buffers and/or edge buffer walls are required between properties to mitigate the impacts of significant differences in property use, size, or scale through standards specified in Subsections (2) through (5) below.

5-6(E)(1)(b) A landscaped edge buffer is required and a wall is required or will be provided, the wall shall be provided on the property line between the two properties unless specified otherwise in this IDO.

5-6(E)(1)(c) Required edge buffering is not required to be installed along any portion of the lot line covered by an access easement between adjacent lots but an equivalent amount of landscaping shall be installed on remaining portions of the side or rear lot line, as applicable.

5-6(E)(1)(d) For the purposes of this Subsection 14-16-5-6(E), "industrial development" refers to the zone districts and uses indicated in Subsection 14-16-5-6(E)(4)(a) (Industrial Development Adjacent to Non-Industrial Development).

5-6(E)(1)(e) Additional buffering may be required for specific uses, pursuant to any use-specific Standards for those uses in Section 14-16-4-3 or Neighborhood Edge Standards in Section 14-16-5-3.

Table 5-6-4: Edge Buffer – Development Area Summary ⁽¹⁾	
Development Type	Specific Standards
Industrial	14-16-5-6(E)(4)
Non-industrial development	14-16-5-6(E)(4)
Multi-family	14-16-5-6(E)(4)
Mixed-use or other non-residential	14-16-5-6(E)(4)
Multi-family, mixed-use, or other non-residential	14-16-5-6(E)(4)

1) See Subsections 14-16-5-6(E)(4)(a), 14-16-5-6(E)(4)(b), and 14-16-5-6(E)(4)(c) for complete edge buffer standards.

5-6(E)(2) Development Next to Low-Density Residential Zone Districts

Where multi-family, mixed-use, or non-residential development other than industrial development occurs on a lot abutting or across an alley from a lot containing low-density residential development in an R-A, R-1, R-MC, R-1, or R-ML zone district, a buffer shall be provided along the lot line, as specified in Table 5-6-4 and for the relevant area below.

5-6(E)(2)(a) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

- If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
- If no wall is provided or exists, 1 tree at least 6 feet tall at the time of planting and at least 25 feet tall at maturity and 3 shrubs shall be provided for every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts.

5-6(E)(2)(b) Downtown, Urban Centers, and Main Street and Premium Transit Areas

1. A landscaped edge buffer area at least 6 feet wide shall be provided. For buildings over 30 feet in height, the edge buffer area shall be at least 10 feet wide.

2. An opaque wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and all of the following requirements shall be met:

- One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
- The side facing the low-density residential development shall be at least as finished in appearance as the side facing the multi-family, mixed-use, or non-residential development.
- If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(c) Development Next to a Multi-Family Residential Zone District

Where mixed-use or non-residential development other than industrial development occurs on any lot abutting or across an alley from a lot in the R-ML or R-1H zone districts with townhouse development or multi-family residential development, a buffer shall be provided along the lot line, as specified in Table 5-6-4 and for the relevant area below.

5-6(E)(2)(d) General

An edge buffer area shall be provided on the subject property along the property line between the two properties:

- If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
- If no wall is provided or exists, 1 tree at least 6 feet tall at the time of planting and at least 25 feet tall at maturity and 3 shrubs shall be provided for every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts.

5-6(E)(2)(e) Downtown, Urban Centers, and Main Street and Premium Transit Areas

1. An opaque wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and both of the following requirements shall be met:

- One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
- The side facing the multi-family development shall be at least as finished in appearance as the side facing the multi-family, mixed-use, or non-residential development.
- If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(f) Industrial Development Adjacent to Non-Industrial Development

5-6(E)(2)(f)(a) Applicability

An edge buffer shall be provided as specified in Table 5-6-4 and for the relevant areas in Subsections (b) and (c) below in all of the following locations:

- Where a lot with industrial zoning or development is adjacent to a lot with non-industrial zoning or development, including but not limited to both of the following locations:
 - Where any development in an NR-UL or NR-CH zone district is adjacent to any lot that is not in an NR-UL or NR-CH zone district.
 - Where light manufacturing, heavy manufacturing, special manufacturing, natural resource extraction non-linear portions of an electric utility, drainage facility, or other major utility or any primary use in the Waste and Recycling category in Table 4-2-1 is developed on a lot abutting a vacant lot or a lot with a use other than one of these specified uses.
- Where multi-family residential development is adjacent to a lot with industrial development.

5-6(E)(2)(f)(b) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two adjacent properties. For drainage facilities, a landscaped edge buffer area at least 15 feet wide shall be provided on the subject property along the property line between the two adjacent properties, unless a wall or edge buffer area is approved by the City Engineer as necessary on a particular lot.

- If a wall at least 3 feet in height is provided or exists along the landscaped edge buffer area, 1 of the following requirements shall be met:

- If the wall is located on the property line, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
 - Where the edge buffer area is across the street from the lot with non-industrial zoning or development, the wall may be set back from the property line if both of the following requirements are met:
 - Landscaping that meets the requirements in Subsection 2. below shall be provided between the wall and the street.
 - The landscaping shall be maintained by the owner of the subject property.
 - One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
 - The side of the wall facing the non-industrial development shall be at least as finished in appearance as the side facing the industrial use.
 - If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(f) if it meets, or is improved to meet, the height and design standards above.
- 5-6(E)(3) Area of Change or New Lot Area of Consistency Where a premises partially or completely in an Area of Change is abutting or across an alley from a premises partially or completely in an Area of Consistency (per City Development Plan in the ABC Comp Plan, as amended), the following standards shall apply on the lot(s) adjacent to the premises partially or completely in an Area of Change is abutting or across the proposed land on that lot, or premises, unless specified otherwise in this IDO.

Table 5-6-5: Edge Buffer – Development Area Summary ⁽¹⁾	
Lot in Area of Change Next to	Specific Standards
Area of Consistency in R-A, R-1, R-MC, or R-1H	14-16-5-6(E)(3)
Area of Consistency in R-MC, or R-1H	14-16-5-6(E)(3)
Area of Consistency in NR-UL, NR-SU, or NR-PO	14-16-5-6(E)(3)

1) See Subsections 14-16-5-6(E)(3)(a), 14-16-5-6(E)(3)(b), and 14-16-5-6(E)(3)(c) for complete edge buffer standards.

5-6(E)(3)(a) If the lot in the Area of Consistency is in an R-A, R-1, R-MC, or R-1 zone district, the requirements of Subsections 14-16-5-6(E)(1) and 14-16-5-6(E)(2) shall apply.

5-6(E)(3)(b) If the lot in the Area of Consistency is in an R-ML or R-1H zone district, the requirements of Subsections 14-16-5-6(E)(1) and 14-16-5-6(E)(3) shall apply.

5-6(E)(3)(c) If the lot in the Area of Consistency is in any Mixed-use, NR-C, or NR-PO zone district, the requirements of Subsections 14-16-5-6(E)(1) and 14-16-5-6(E)(4) shall apply.

5-6(F) PARKING LOT LANDSCAPING

5-6(F)(1) Parking Lot Edges

5-6(F)(1)(a) Landscape buffer areas are required to separate off-street parking and circulation areas from front, side, and rear boundaries of premises:

5-6(F)(1)(b) Where a parking lot is abutting an R-A, R-1, R-MC, or R-1 zone district, provisions related to parking area in Subsection 14-16-5-3(D) (Parking, Drive-through Or Drive-up Facilities, and Loading) shall apply.

5-6(F)(1)(c) Where development is coordinated on 2 or more abutting sites, or where multiple parking areas are located on a single lot, or on planned development areas controlled by Site Plans, these requirements shall be based on the entire development area unless otherwise approved by the decision-making body.

5-6(F)(1)(d) Landscape buffers may be crossed by drive aisles connecting to abutting lots.

5-6(F)(1)(e) No parking is allowed within a required landscape buffer area.

5-6(F)(1)(f) Landscaping approved within the abutting public right-of-way or private way may be counted toward this requirement if there is no existing or planned public sidewalk between such landscape and the premises, but in no shall be the width of the on-site landscape buffer be less than 5 feet.

5-6(F)(1)(g) The landscape area may be reduced by up to 25 percent if the surface of the parking or vehicle circulation area is of a permeable material with approval from the Planning Director.

5-6(F)(1)(h) Where walls are required, they shall integrate with building materials and colors.

5-6(F)(1)(i) Landscaping areas are required in the following locations, with minimum widths and design requirements as specified below:

- Front Lot Edge

- Any parking lot located within 30 feet of the front lot line shall be screened from the street either by a masonry wall constructed of a material similar in texture, appearance, and color to the street-facing facade of the primary building (but excluding exposed CMU block), at least 3 feet in height, or by a landscape buffer at least 10 feet in width with a continuous line of evergreen shrubbery 3 feet in height, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.
- Downtown, Urban Centers, and Main Street and Premium Transit Areas
- Any parking lot located within 30 feet of the front lot line shall be screened from the street by a masonry wall as described in Subsection a above. Openings in the masonry wall no more than 4 feet wide to allow passage of bicycles and pedestrians from the street into the parking lot are allowed.
- Side and Rear Lot Edges Where no side or rear lot line buffer is required by Subsection 14-16-5-6(E) above, the following standards apply where the side or rear lot line abuts a public street:
- General
- Any parking lot located within 20 feet of a side or rear lot line shall be screened by a landscape area at least 6 feet wide consisting of at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.
- Where a lot with industrial zoning or development is adjacent to a lot with non-industrial zoning or development, including but not limited to both of the following locations:
 - Where any development in an NR-UL or NR-CH zone district is adjacent to any lot that is not in an NR-UL or NR-CH zone district.
 - Where light manufacturing, heavy manufacturing, special manufacturing, natural resource extraction non-linear portions of an electric utility, drainage facility, or other major utility or any primary use in the Waste and Recycling category in Table 4-2-1 is developed on a lot abutting a vacant lot or a lot with a use other than one of these specified uses.
 - Where multi-family residential development is adjacent to a lot with industrial development.
- 5-6(F)(2)(c) Tree Requirements
- One (1) tree is required per 10 parking spaces.
 - No parking spaces may be more than 100 feet in any direction from a tree trunk.
 - At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.

5-6(F)(2)(d) Location and Dimension of Landscaped Areas

1. The minimum size of tree planters within off-street parking areas shall be 60 inches wide by 6 feet deep. The requirement may be reduced to 36 inches wide by 6 feet deep if the surface of a parking or vehicle circulation area abutting the tree planter is of a permeable material and, combined with the tree planter area, meets the 60 square foot per tree requirement.

- In parking areas of 100 spaces or more, the ends of parking aisles shall be defined as landscaped islands no narrower than 8 feet in any dimension.

5-6(F)(3) Abutting Arroyos or Major Public Open Space

Where a parking lot is located abutting a major arroyo or any Major Public Open Space, screening shall be provided via 1 of the following options:

5-6(F)(3)(a) Walls or fencing a minimum of 6 feet high fencing requires landscaping with evergreen shrubs or vines to form a screen at least 75 percent opaque.

5-6(F)(3)(b) Shrubs and trees sufficient to act as a screen at least 4 feet high and at least 75 percent opaque.

5-6(G) SCREENING OF MECHANICAL EQUIPMENT AND SUPPORT AREAS

Site areas listed below shall comply with the following standards. In any case where a decorative wall or fence is required or installed, chain link fencing (with or without slats) shall not satisfy the requirement.

5-6(G)(1) Roof-mounted Mechanical Equipment

5-6(G)(1)(a) No screening is required for rooftop solar energy equipment.

5-6(G)(1)(b) In any R-ML, R-MH, Mixed-use, NR-C, NR-BP, NR-SU, or NR-PO zone district, roof-mounted mechanical equipment shall be screened by a parapet wall or similar feature that is an integral part of the building's architectural design. The parapet wall or similar feature shall be sufficient to screen the mechanical equipment from all sides when viewed from 5 feet above ground level at any property line abutting a City park or trail, Major Public Open Space, major arroyo, or public street classified as a collector, arterial, or interstate highway.

5-6(G)(2) Ground-mounted Mechanical Equipment

5-6(G)(2)(a) R-ML, R-MH, and Mixed-use Zone Districts Outdoor ground-mounted mechanical equipment shall be located where it is not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties to the maximum extent practicable.

5-6(G)(2)(b) NR-C, NR-BP, NR-SU, and NR-PO Zone Districts Outdoor ground-mounted mechanical equipment shall be located where it is not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties with low-density residential development to the maximum extent practicable.

5-6(G)(2)(c) Screening

Where it is not practicable to locate ground-mounted mechanical equipment pursuant to Subsections (a) and (b) above, such equipment shall be screened from view by an opaque decorative wall or fence or a vegetative screen. The wall or fence shall be of a height equal to or greater than the height of the mechanical equipment being screened and shall incorporate at least 1 of the primary materials and colors of the nearest wall of the primary building (but excluding exposed CMU block).

5-6(G)(2)(d) Where a vegetative screen shall be planted along the full length of the equipment to be screened and shall be of a height equal to or greater than the height of the equipment to be screened at the time of planting.

- No screening of ground-mounted solar energy equipment that would reduce the efficiency or effectiveness of the solar energy equipment is required.

5-6(G)(2)(d) Safety Exemption Notwithstanding Subsections (a), (b), and (c) above, screening is not required if it would violate any State or federal safety rules.

5-6(G)(3) Loading, Service, and Refuse Areas

5-6(G)(3)(a) Covering Waste Containers

All waste containers and dumpsters shall be in a roofed enclosure or be equipped with and use a lid covering and shall be designed so that stormwater runoff does not reach storm drain inlets.

5-6(G)(3)(b) Development Abutting Low-Density Residential Where a lot is abutting low-density residential development or lots zoned R-1, R-MC, or R-1, the owner of the lot shall be responsible for providing and installing any required setback or landscape buffer area that is contiguous with the low-density residential development.

5-6(G)(3)(c) R-ML, R-MH, and Mixed-use Zone Districts Outdoor loading, service, and refuse areas shall be integrated into the building design, or shall be located where they are not visible from streets, City parks or trails, Major Public Open Space

LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - RIGHT-OF-WAY
— BUILDING
- - - SIDEWALK
— 5010 — CONTOUR MAJOR
— 5011 — CONTOUR MINOR
x 5048.25 SPOT ELEVATION
— FLOW ARROW
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - 5010 — EXISTING CONTOUR MAJOR
- - - EXISTING CONTOUR MINOR

NOTICE TO CONTRACTORS

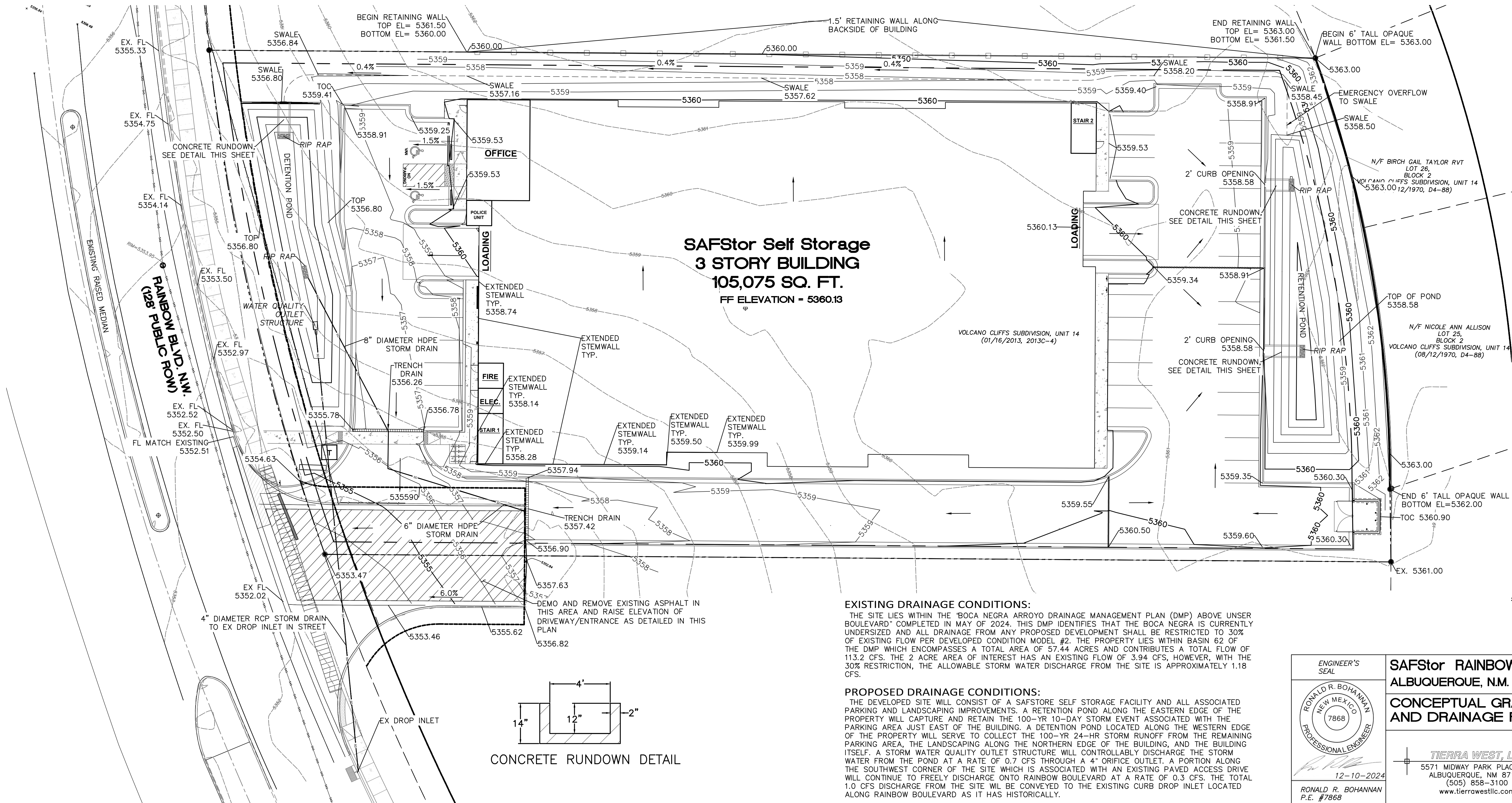
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR $\frac{3}{4}$ " GRAVEL.

NOTE:

ELEVATIONS SHOWN ARE AT FLOWLINE UNLESS OTHERWISE NOTED.

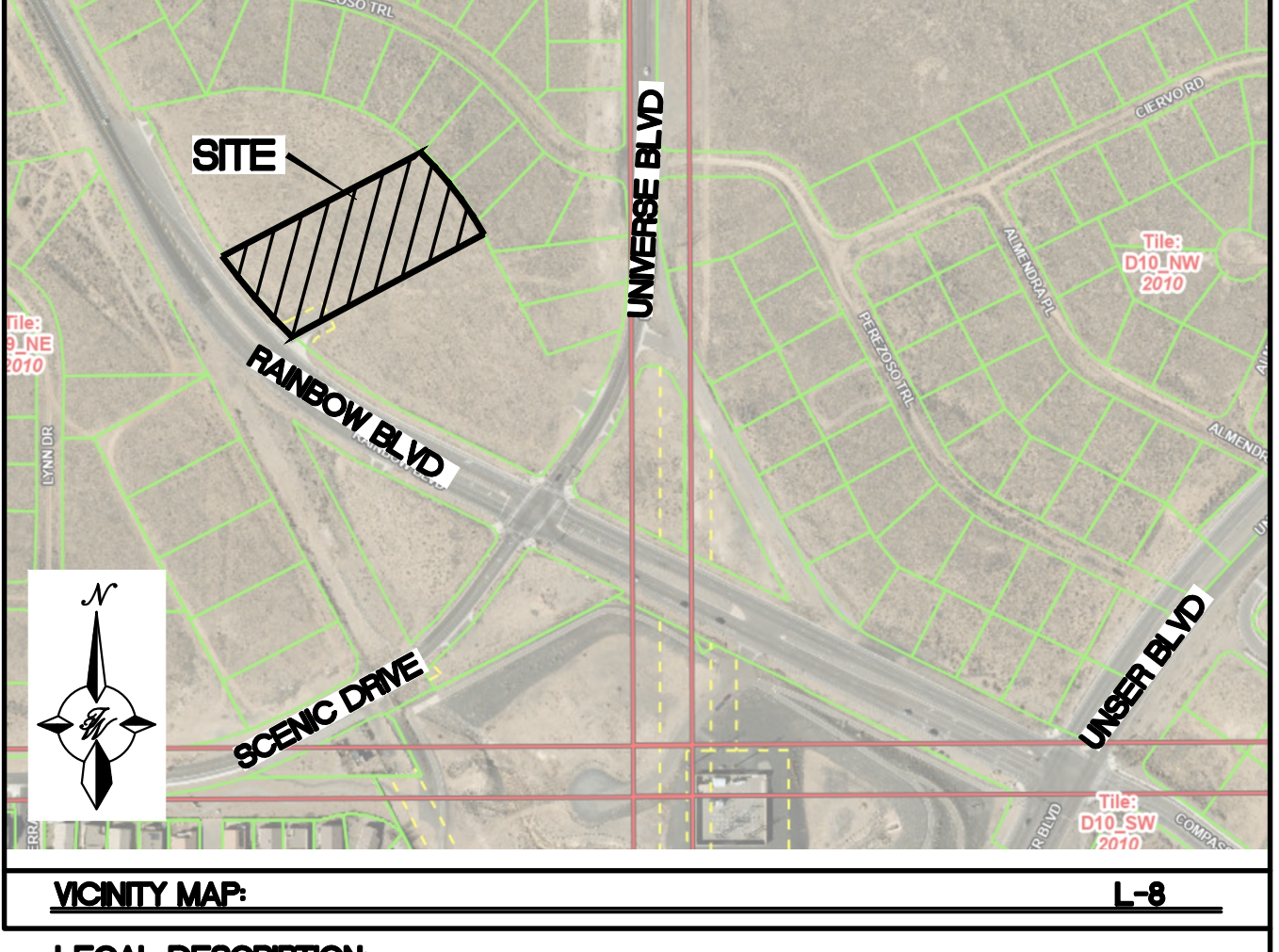
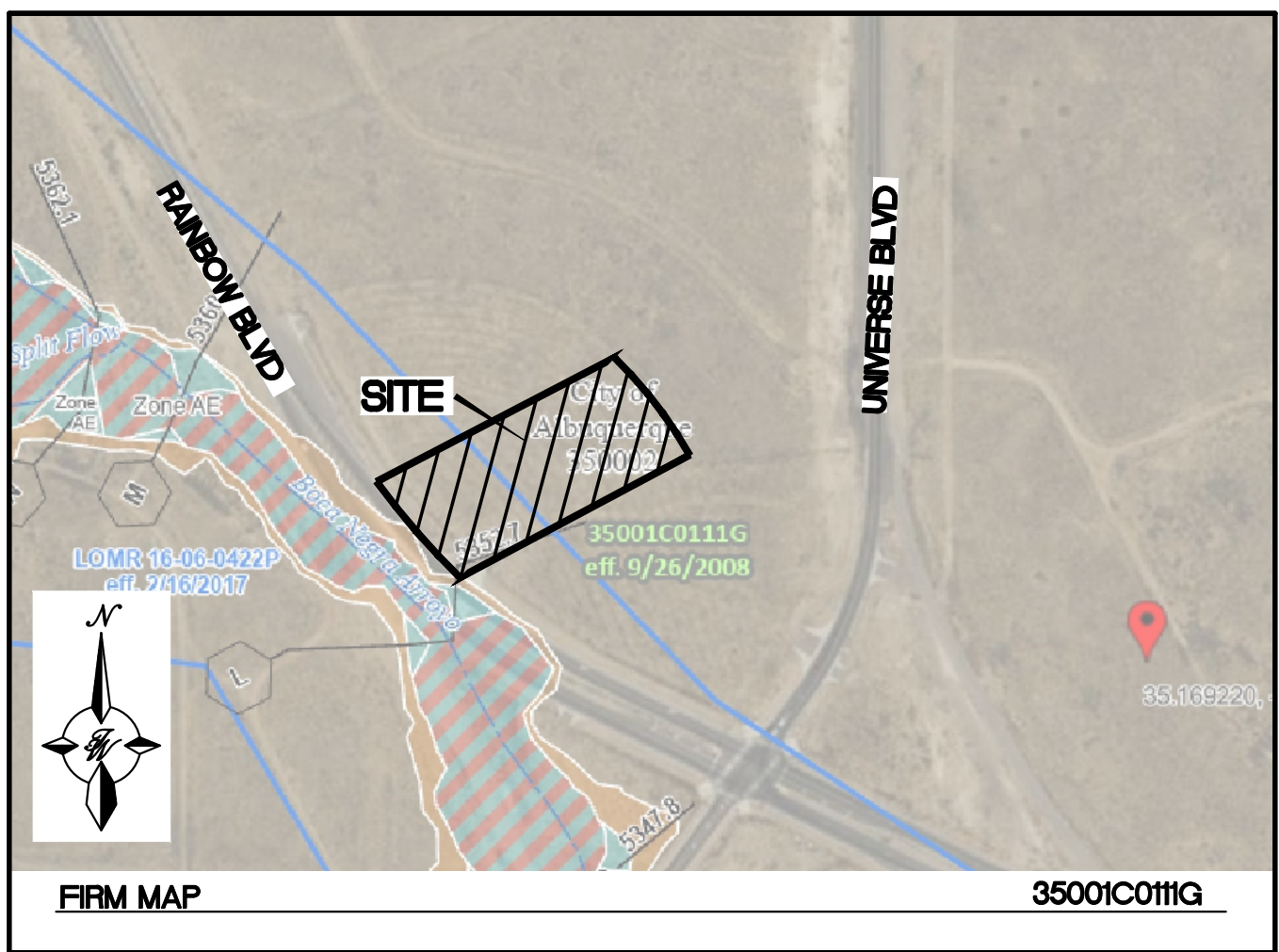


EXISTING DRAINAGE CONDITIONS:

THE SITE LIES WITHIN THE 'BOCA NEGRA ARROYO DRAINAGE MANAGEMENT PLAN (DMP) ABOVE UNSER BOULEVARD' COMPLETED IN MAY OF 2024. THIS DMP IDENTIFIES THAT THE BOCA NEGRA IS CURRENTLY UNDERSIZED AND ALL DRAINAGE FROM ANY PROPOSED DEVELOPMENT SHALL BE RESTRICTED TO 30% OF EXISTING FLOW PER DEVELOPED CONDITION MODEL #2. THE PROPERTY LIES WITHIN BASIN 62 OF THE DMP WHICH ENCOMPASSES A TOTAL AREA OF 57.44 ACRES AND CONTRIBUTES A TOTAL FLOW OF 113.2 CFS. THE 2 ACRE AREA OF INTEREST HAS AN EXISTING FLOW OF 3.94 CFS, HOWEVER, WITH THE 30% RESTRICTION, THE ALLOWABLE STORM WATER DISCHARGE FROM THE SITE IS APPROXIMATELY 1.18 CFS.

PROPOSED DRAINAGE CONDITIONS:

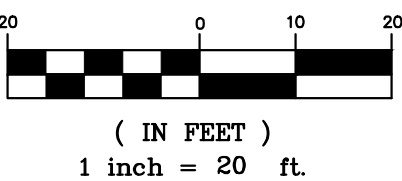
THE DEVELOPED SITE WILL CONSIST OF A SAFSTORE SELF STORAGE FACILITY AND ALL ASSOCIATED PARKING AND LANDSCAPING IMPROVEMENTS. A RETENTION POND ALONG THE EASTERN EDGE OF THE PROPERTY WILL CAPTURE AND RETAIN THE 100-YR 10-DAY STORM EVENT ASSOCIATED WITH THE PARKING AREA JUST EAST OF THE BUILDING. A DETENTION POND LOCATED ALONG THE WESTERN EDGE OF THE PROPERTY WILL SERVE TO COLLECT THE 100-YR 24-HR STORM RUNOFF FROM THE REMAINING PARKING AREA. THE LANDSCAPING ALONG THE NORTHERN EDGE OF THE BUILDING, AND THE BUILDING ITSELF, A STORM WATER QUALITY OUTLET STRUCTURE WILL CONTROLLABLY DISCHARGE THE STORM WATER FROM THE POND AT A RATE OF 0.7 CFS THROUGH A 4" ORIFICE OUTLET. A PORTION ALONG THE SOUTHWEST CORNER OF THE SITE WHICH IS ASSOCIATED WITH AN EXISTING PAVED ACCESS DRIVE WILL CONTINUE TO FREELY DISCHARGE ONTO RAINBOW BOULEVARD AT A RATE OF 0.3 CFS. THE TOTAL 1.0 CFS DISCHARGE FROM THE SITE WL BE CONVEYED TO THE EXISTING CURB DROP INLET LOCATED ALONG RAINBOW BOULEVARD AS IT HAS HISTORICALLY.



LEGAL DESCRIPTION:

LOT 1 BLOCK 3 TOWN OF ATRISCO GRANT
UPC 100805638540210405

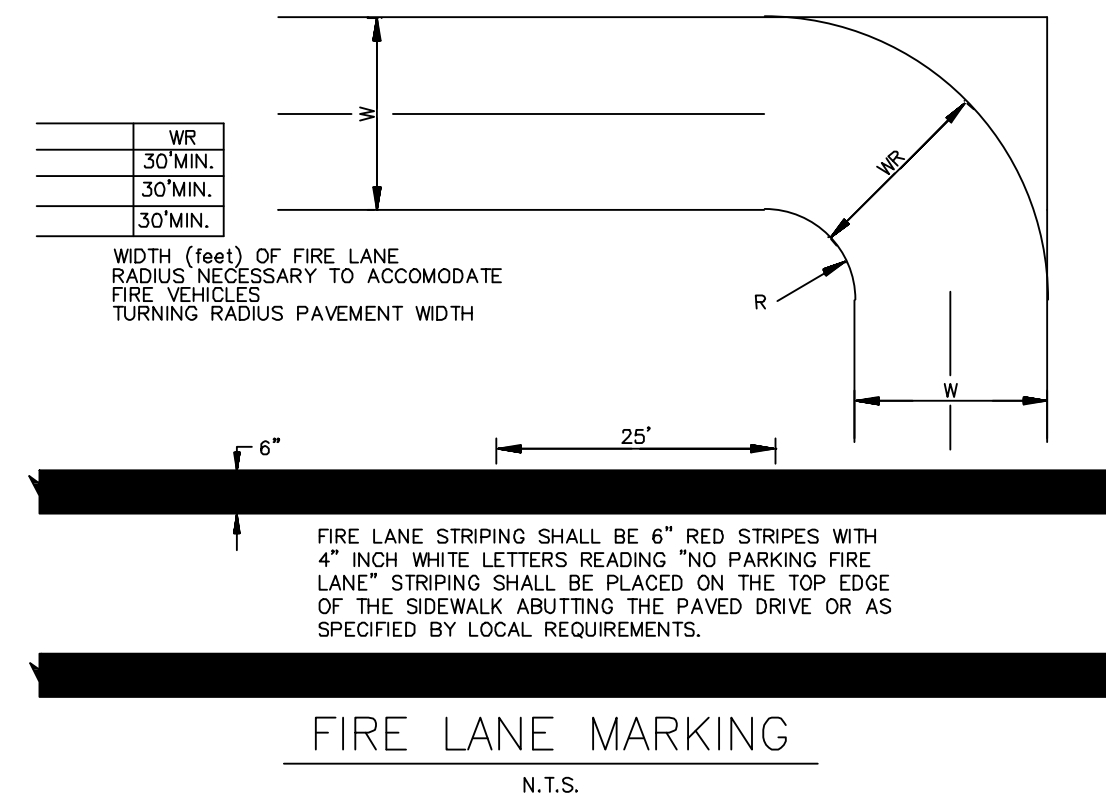
GRAPHIC SCALE



	SAFStor RAINBOW ALBUQUERQUE, N.M.		DRAWN BY RMG
	CONCEPTUAL GRADING AND DRAINAGE PLAN		DATE 12/10/2024
	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		2024032_GR
			SHEET # GR-1 JOB # 2024032

MIXED USE—LOW INTENSITY MX-L
OCCUPANCY TYPE: STORAGE (GROUP S1)

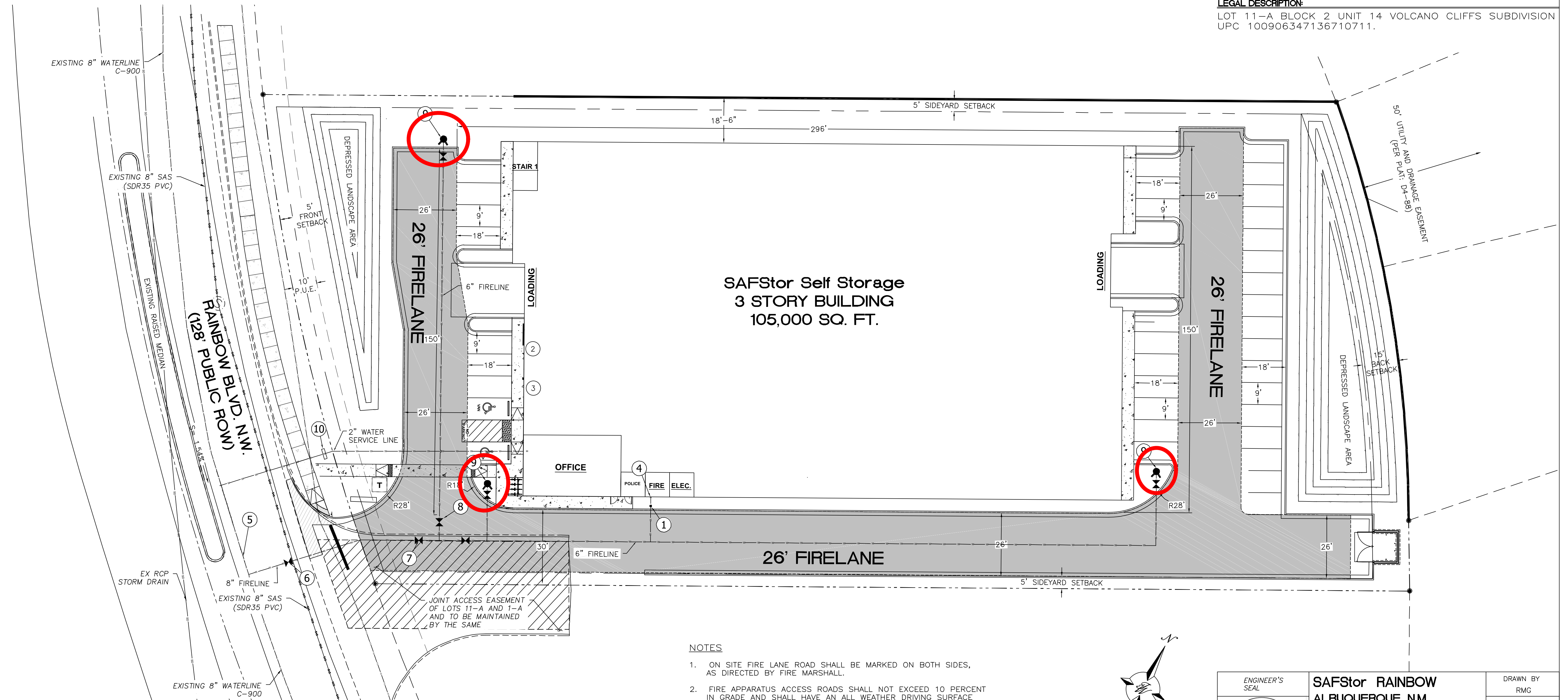
BUILDING IS FULLY SPRINKLERED
FIRE SEPARATION = 2-HOUR RATING
MAX BUILDING HEIGHT 38'-0"
FIRE-FLOW = 3375GPM (6750GPM WITH 50%
REDUCTION)
FH'S REQUIRED=3
FH'S PROVIDED=3



- 1 PIV
- 2 BUILDING ADDRESS
- 3 KNOX BOX
- 4 FDC
- 5 WATERLINE CONNECTION PER COA STD DWG. 2301
- 6 8" PUBLIC GATE VALVE
- 7 8" PRIVATE GATE VALVE
- 8 6" PRIVATE GATE VALVE
- 9 NEW PRIVATE FIRE HYDRANT AND VALVE
- 10 2" WATER METER AND SERVICE LINE CONNECTION PER COA STD DWG. 2363

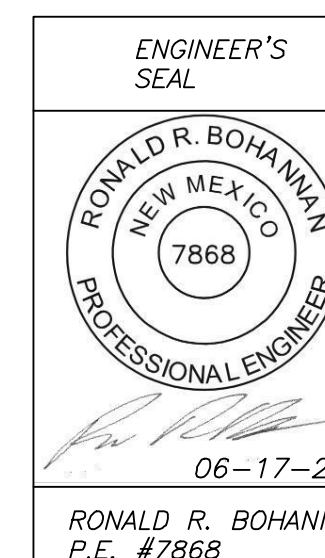
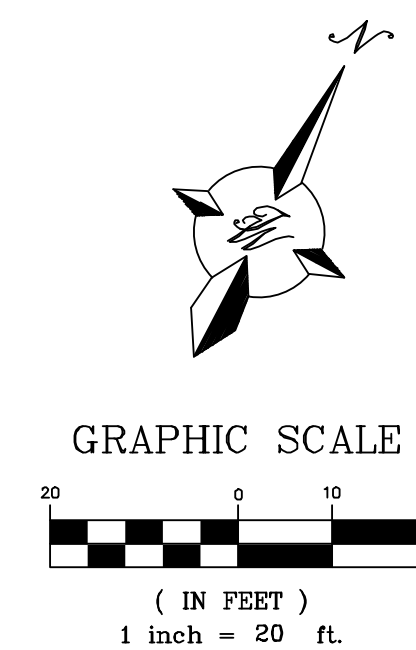


LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION
UPC 100906347136710711.



ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHAL.
2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
3. KNOX KEY SWITCH SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED. ONE IS TO BE PROVIDED FOR ALL ELECTRIC GATES AND ALL BUILDINGS.
4. KNOX KEY SWITCH REQUIRED FOR ALL ELECTRIC GATES AND ALL BUILDINGS.
5. BUILDINGS WILL REQUIRE VERTICAL AND HORIZONTAL FIRE SEPARATION BETWEEN EACH DWELLING UNIT WITH A FIRE-RESISTANCE RATING NO LESS THAN 2 HOURS PER 707.3.10 OF THE IBC.



24
W

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

SHEET #
F-1

JOB #
2024032

GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
- ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

- PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
- SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

NOTES:

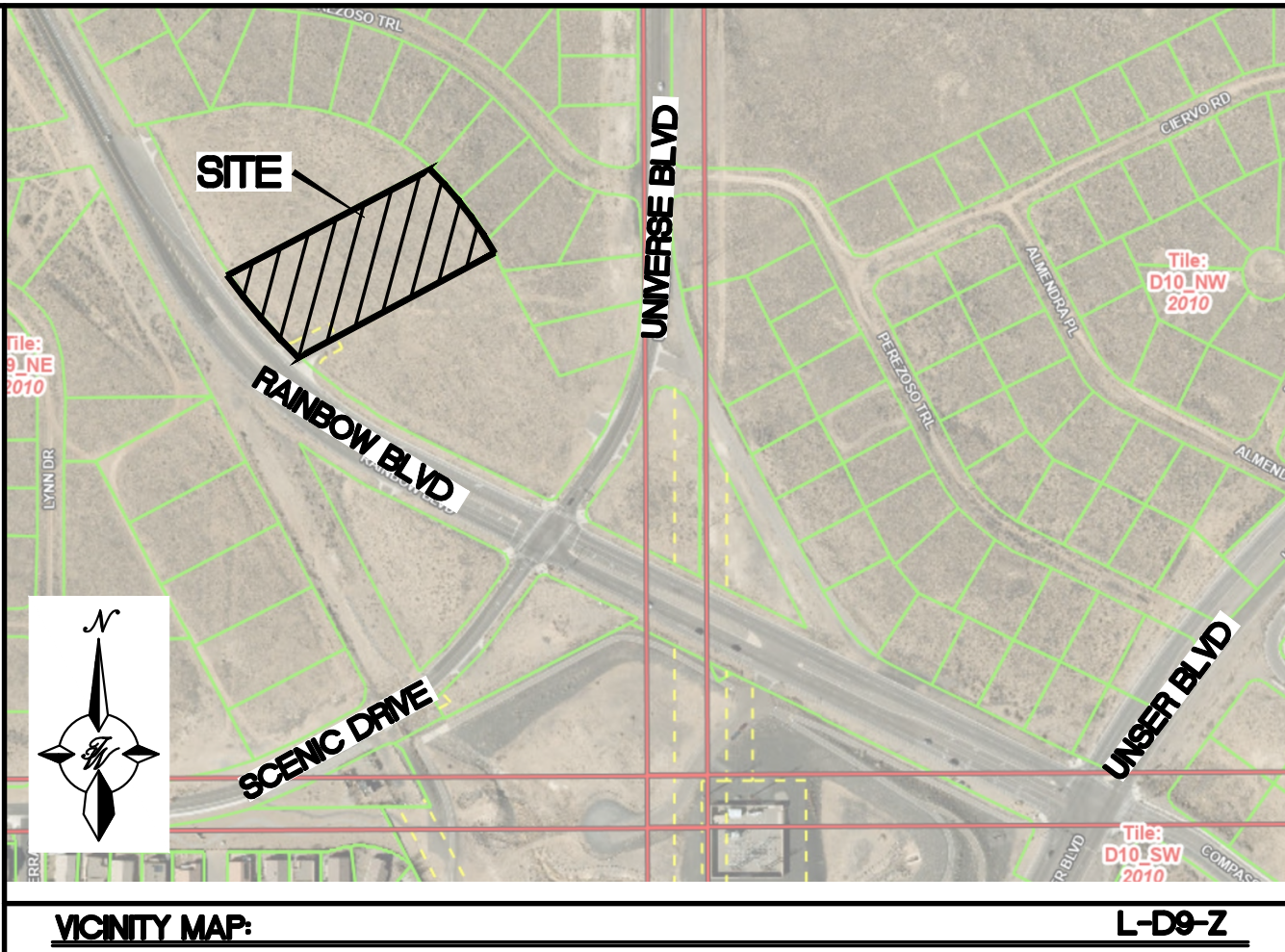
- ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PRIVATE.
- THE PRIVATE FIRE HYDRANTS, INDICATED IN THE UTILITY PLAN, SHALL BE PAINTED SAFETY ORANGE.

KEYED NOTES

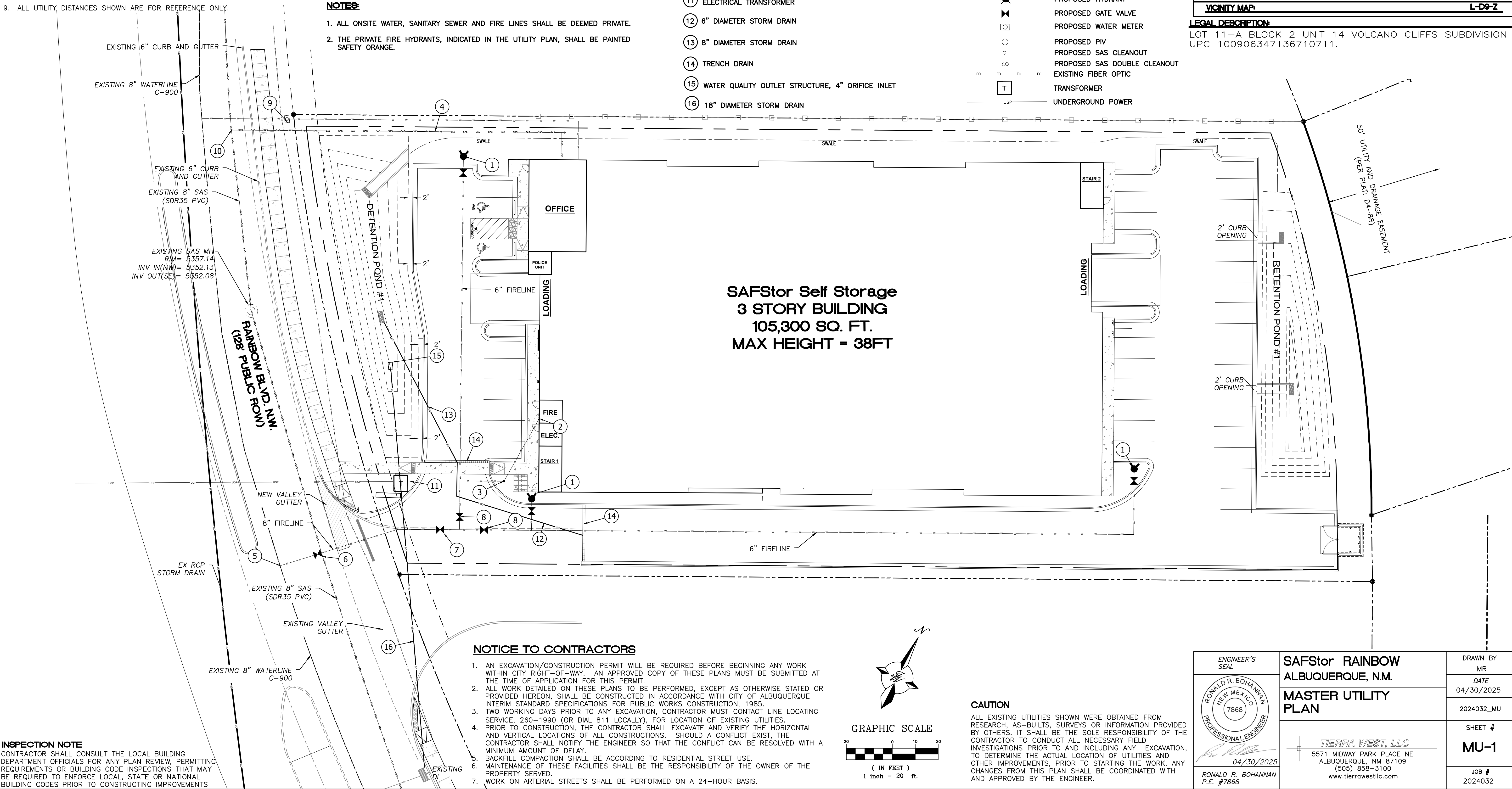
- NEW PRIVATE FIRE HYDRANT AND VALVE PER COA STD DWG 2340
- FDC (FIRE DEPARTMENT CONNECTION)
- PV (POST INDICATOR VALVE)
- 4" SAS SERVICE LINE
- WATERLINE CONNECTION PER COA STD DWG 2301
- 8" PUBLIC GATE VALVE, VALVE BOX, AND RING/COVER PER COA STD DWG'S 2326, 2328, AND 2329.
- 8" PRIVATE GATE VALVE, VALVE BOX, AND RING/COVER PER COA STD. DWG'S 2326, 2328, AND 2329.
- 6" PRIVATE GATE VALVE, VALVE BOX, AND RING/COVER PER COA STD. DWG'S 2326, 2328, AND 2329.
- 2" WATER METER AND SERVICE LINE CONNECTION PER COA STD DWG 2363
- SAS SERVICE LINE CONNECTION PER COA STD DWG 2125
- ELECTRICAL TRANSFORMER
- 6" DIAMETER STORM DRAIN
- 8" DIAMETER STORM DRAIN
- TRENCH DRAIN
- WATER QUALITY OUTLET STRUCTURE, 4" ORIFICE INLET
- 18" DIAMETER STORM DRAIN

LEGEND

- | | |
|--|------------------------------|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | BUILDING |
| | SIDEWALK |
| | SITE LIGHTS |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING SIDEWALK |
| | 36" SD |
| | SAS |
| | SAS |
| | SAS |
| | PROPOSED SANITARY SEWER LINE |
| | EX. 8" SAS |
| | EXISTING SANITARY SEWER LINE |
| | EXISTING PVC WATERLINE |
| | PROPOSED HYDRANT |
| | PROPOSED GATE VALVE |
| | PROPOSED WATER METER |
| | PROPOSED PIV |
| | PROPOSED SAS CLEANOUT |
| | PROPOSED SAS DOUBLE CLEANOUT |
| | EXISTING FIBER OPTIC |
| | TRANSFORMER |
| | UGP |
| | UNDERGROUND POWER |



LEGAL DESCRIPTION:
LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION
UPC 100906347136710711.



INSPECTION NOTE

CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

NOTICE TO CONTRACTORS

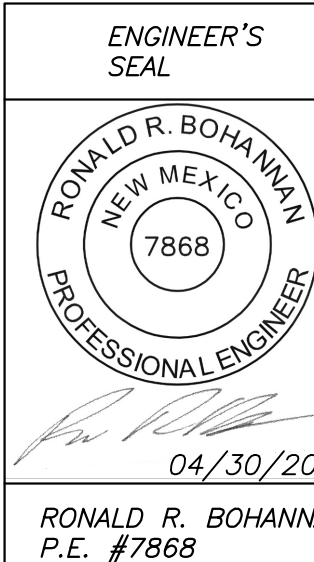
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GRAPHIC SCALE



CAUTION

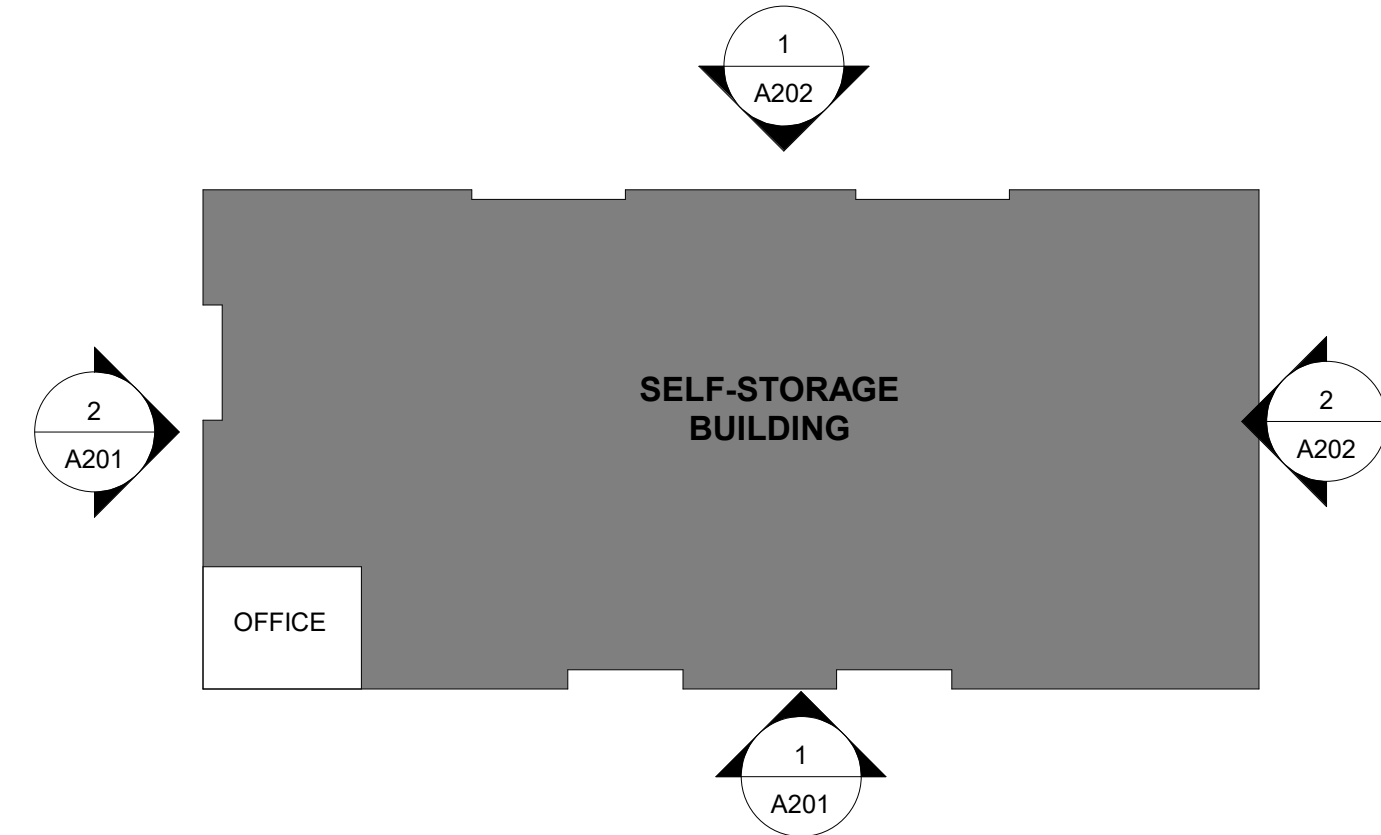
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



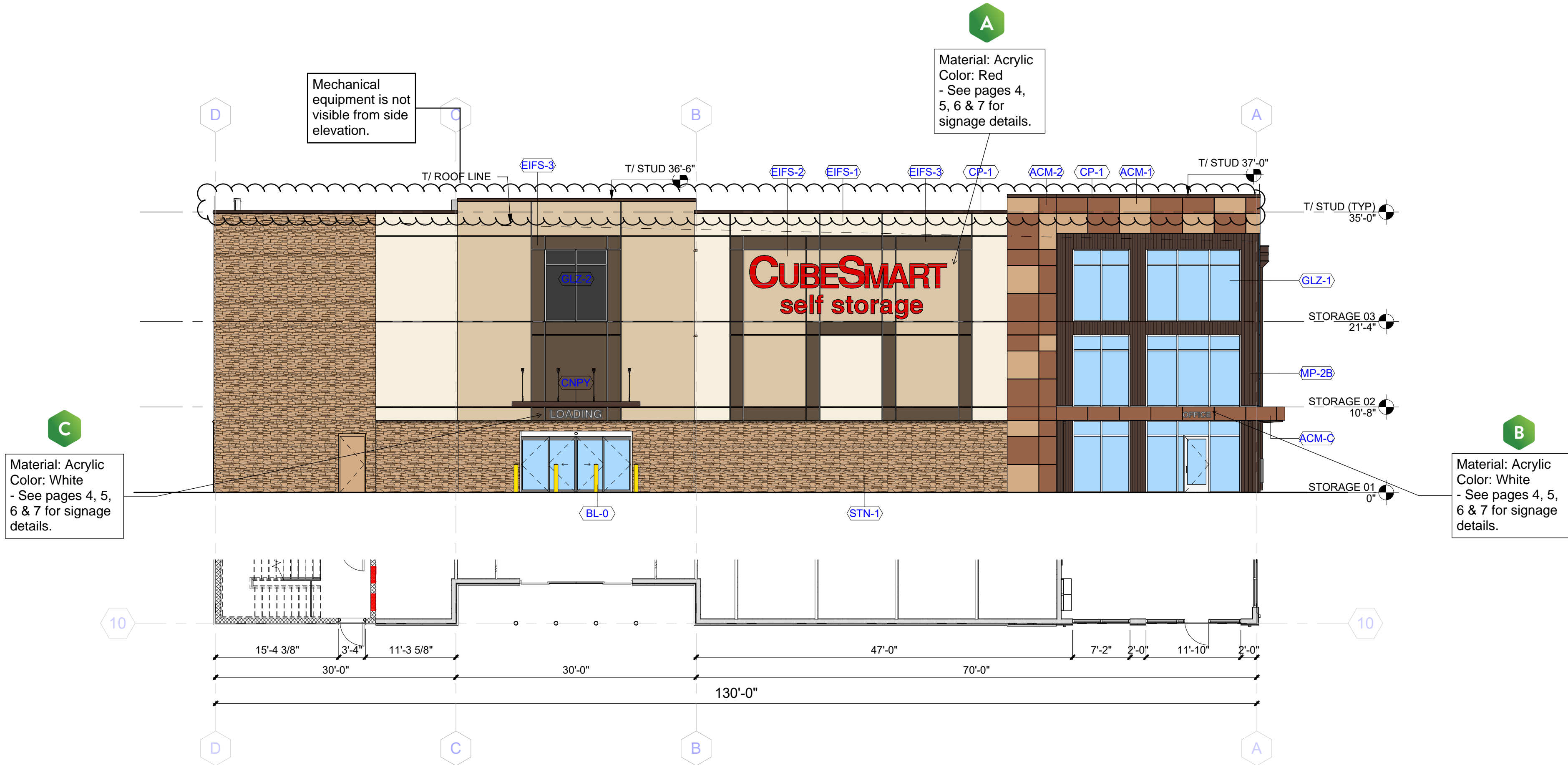
SAFStor RAINBOW
ALBUQUERQUE, N.M.
MASTER UTILITY
PLAN

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrowestllc.com

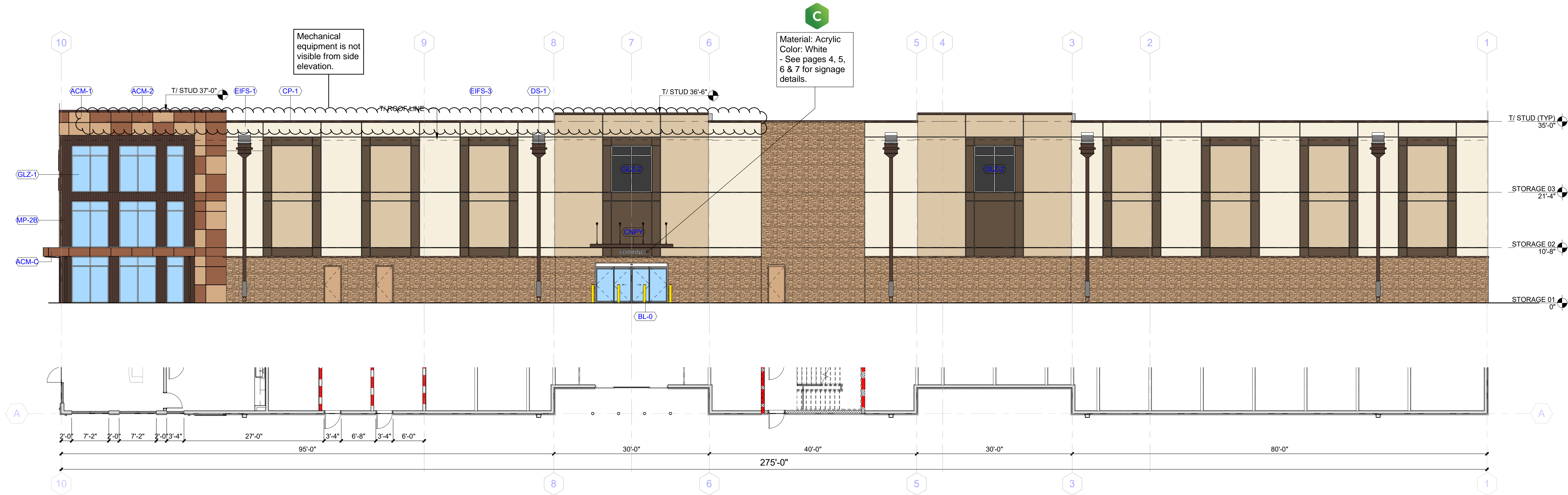
DRAWN BY
MR
DATE
04/30/2025
2024032_MU
SHEET #
MU-1
JOB #
2024032



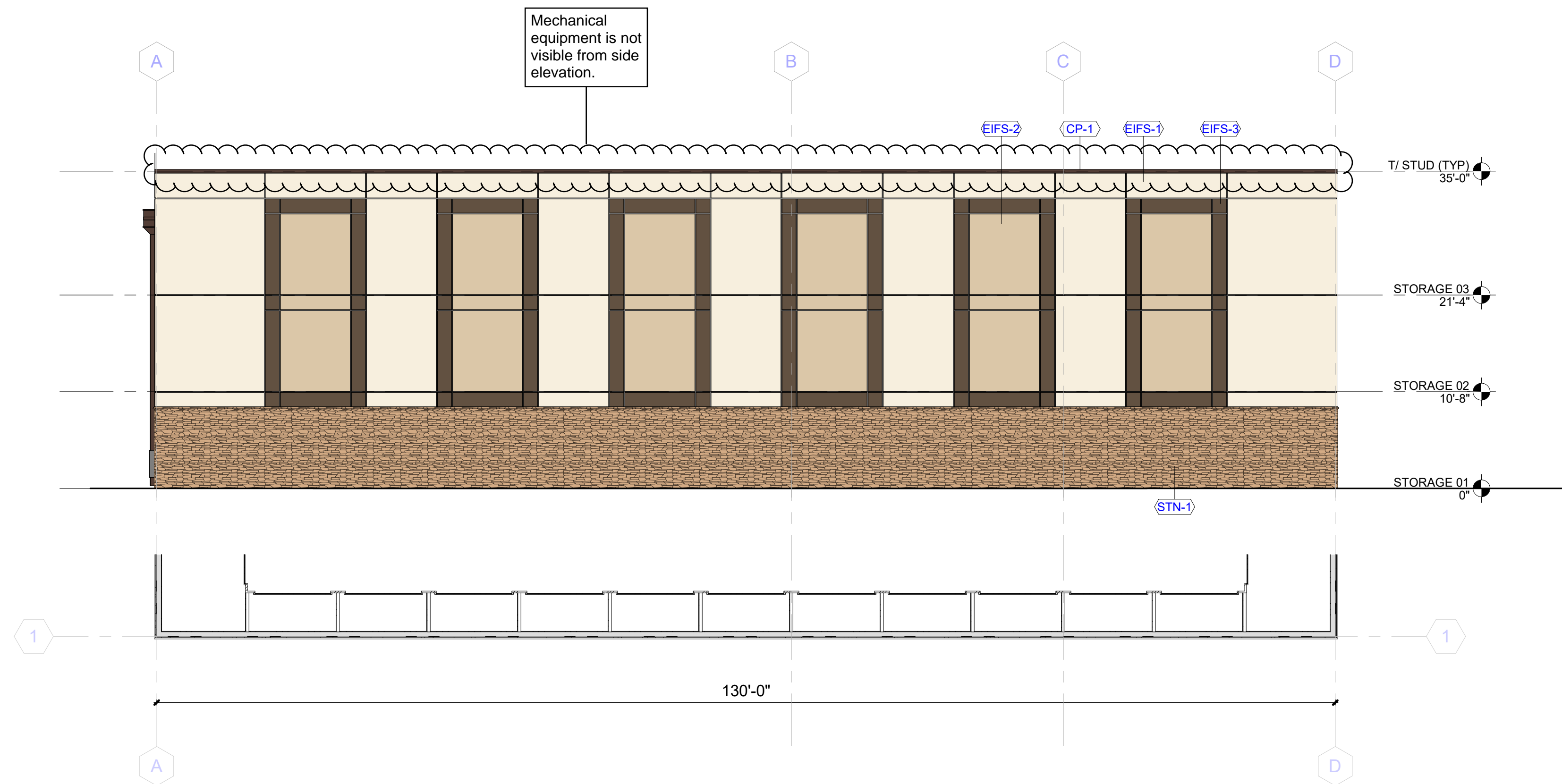
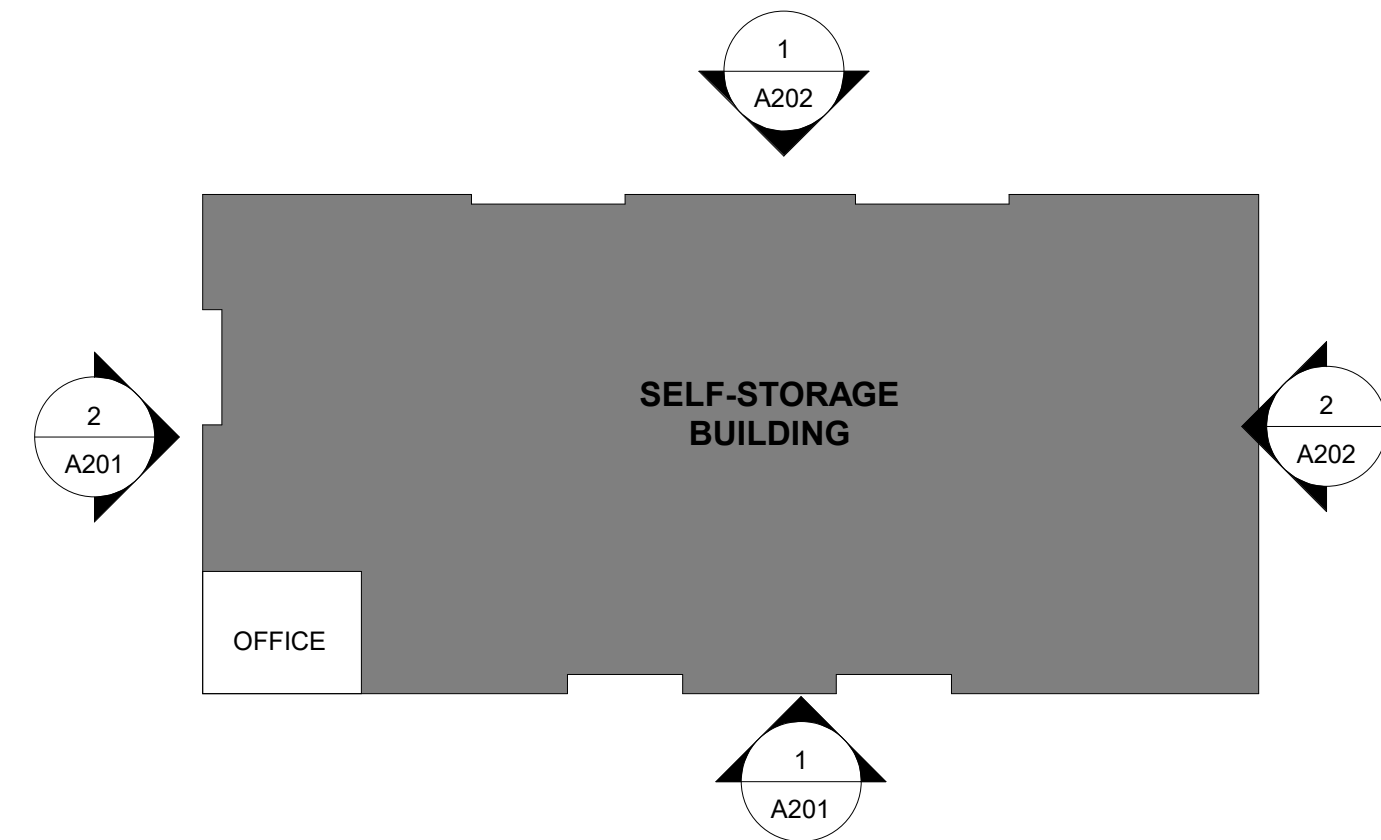
KEYNOTE LEGEND	
Key Value	Keynote Text
ACM-1	ACM SYSTEM - ALPOLIC LAB BEIGE
ACM-2	ACM SYSTEM - ALPOLIC TRM TERRACOTA
ACM-G	ACM CANOPY - ALPOLIC TRM TERRACOTA
BL-0	6" BOLLARD - SAFETY YELLOW COLOR
CNPY	PRE-FABRICATED ROD HUNG CANOPY - MATCH DARK EIFS COLOR
CP-1	ROOF COPING - MATCH DARK EIFS COLOR
DS-1	DOWNSPOUT - TO MATCH DARK BROWN COLOR
EIFS-1	EIFS - FINE TEXTURE - LIGHT - SW 7105 PAPERWHITE
EIFS-2	EIFS - FINE TEXTURE - MEDIUM - SW 6120 BELIEVABLE BUFF
EIFS-3	EIFS - MEDIUM TEXTURE - DARK - SW 6153 PROTEGE BRONZE
GLZ-1	GLAZING CLEAR/TINTED
GLZ-2	GLAZING SPANDREL
MP-2B	CORRUGATED METAL PANEL - VERTICAL NARROW - KOKO BROWN
STN-1	THIN MANUFACTURED MASONRY VENEER - STONE - MEDIUM BROWN - TBD



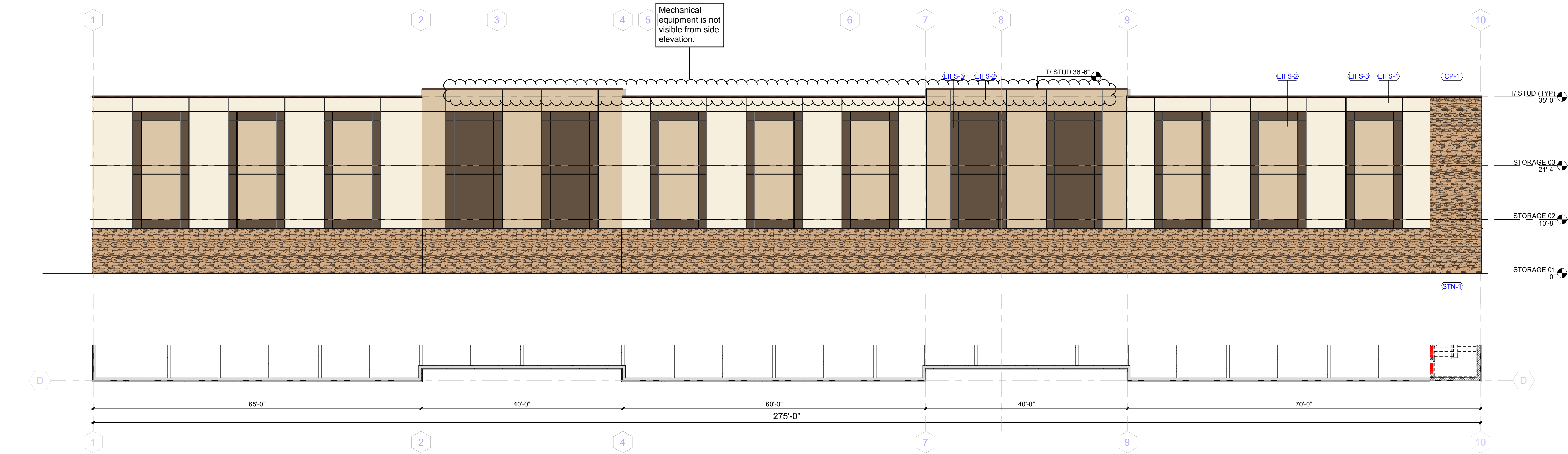
2
A201
EXTERIOR ELEVATION & PROFILE PLAN - WEST
SCALE: 1" = 10'-0"



1
A201
EXTERIOR ELEVATION & PROFILE PLAN - SOUTH
SCALE: 1" = 10'-0"



2
A202
EXTERIOR ELEVATION & PROFILE PLAN - EAST
SCALE: 1" = 10'-0"



1
A202
EXTERIOR ELEVATION & PROFILE PLAN - NORTH
SCALE: 1" = 10'-0"

KEYNOTE LEGEND	
Key Value	Keynote Text
CP-1	ROOF COPING - MATCH DARK EIFS COLOR
EIFS-1	EIFS - FINE TEXTURE - LIGHT - SW 7105 PAPERWHITE
EIFS-2	EIFS - FINE TEXTURE - MEDIUM - SW 6120 BELIEVABLE BUFF
EIFS-3	EIFS - MEDIUM TEXTURE - DARK - SW 6153 PROTEGE BRONZE
STN-1	THIN MANUFACTURED MASONRY VENEER - STONE - MEDIUM BROWN - TBD

SUBMITTALS / REVISIONS:		
NO.	DATE	DESCRIPTION
	2024.08.09	25% PROGRESS

PROJECT NO.:
DS364-24

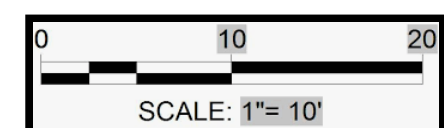
DRAWN BY:
MC

SHEET TITLE:
EXTERIOR ELEVATIONS

These drawings are the property of the registered Designer/ Engineer and may not be copied, reproduced or used without their written permission.

SHEET NUMBER:

A202





EZZI SIGNS
EST. 2005

16611 West Little York Rd
Houston, Texas 77084
EZZISIGNS.COM
713-232-0771

PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

LANDLORD:



UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

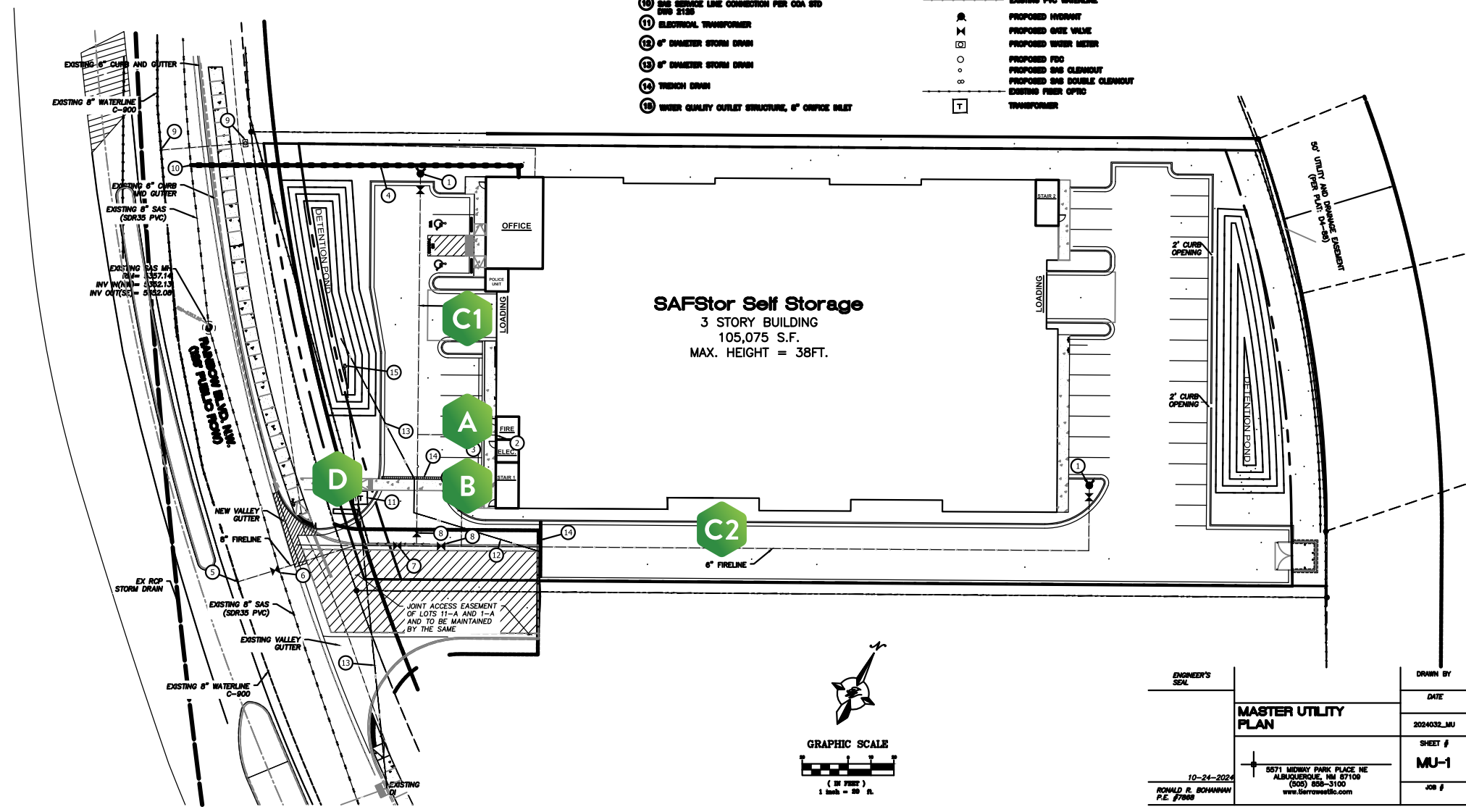
All conceptual renderings are property of Ezzi Signs. Any reproduction, exhibition or use of this drawing is strictly prohibited
©2025. All rights reserved.

KEYED NOTES

- NEW FIRELINE FIRE HYDRANT AND VALVE PER COA STD DWG 2340
- FPO (FIRE DEPARTMENT CONNECTION)
- PIV (POST INDICATOR VALVE)
- 4" GAS SERVICE LINE
- WATERLINE CONNECTION PER COA STD DWG 2301
- 6" PUBLIC GAS VALVE, VALVE BOX, AND RING/COVER PER COA STD DWG'S 2304, 2305, AND 2306
- 6" PRIVATE GAS VALVE, VALVE BOX, AND RING/COVER PER COA STD DWG'S 2304, 2305, AND 2306
- 6" PRIVATE GAS VALVE, VALVE BOX, AND RING/COVER PER COA STD DWG'S 2304, 2305, AND 2306
- 2" WATER METER AND SERVICE LINE CONNECTION PER COA STD DWG 2303
- 4" GAS SERVICE LINE CONNECTION PER COA STD DWG 2125
- ELECTRICAL TRANSFORMER
- 6" DIAMETER STORM DRAIN
- 6" DIAMETER STORM DRAIN
- TRENCH DRAIN
- WATER QUALITY OUTLET STRUCTURE, 6" OFFICE DILET

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SEWERLINE
- SITE LIGHTS
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SEWERLINE
- STORM SEWER LINE
- PROPOSED SEWERLINE
- PROPOSED WATERLINE
- EXISTING SANITARY SEWER LINE
- EXISTING PVO WATERLINE
- PROPOSED HYDRANT
- PROPOSED GAS VALVE
- PROPOSED WATER METER
- PROPOSED FPO
- PROPOSED GAS CLEANOUT
- PROPOSED GAS DOUBLE CLEANOUT
- EXISTING FIBER OPTIC
- TRANSFORMER



ENGINEER'S SEAL	MASTER UTILITY PLAN	DRAWN BY
10-24-2024	0571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87106 (505) 558-5100 www.sevenyearwarranty.com	DATE
RONALD R. BOHANNAN P.E. #7868		2024032_MU
		SHEET #
		MU-1
		JOB #



SCOPE OF WORK

1. FABRICATE AND INSTALL -
NEW CHANNEL LETTER SET

Survey Required



QTY : 1
SET

SIGN SQFT: 185.6 FT



EZZI SIGNS
EST. 2005

16611 West Little York Rd
Houston, Texas 77084
EZZISIGNS.COM
713-232-0771

PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

LANDLORD:



UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

All conceptual renderings are property of Ezzi Signs. Any reproduction, exhibition or use of this drawing is strictly prohibited
©2025. All rights reserved.

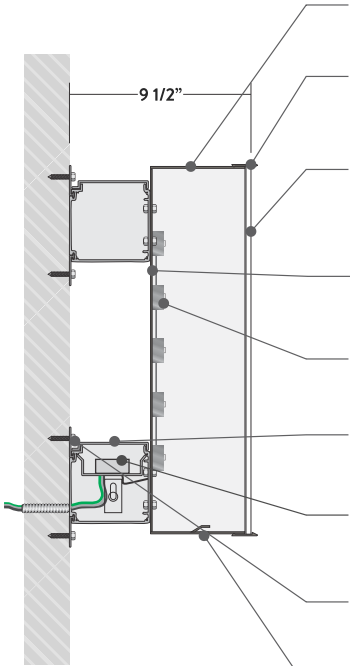
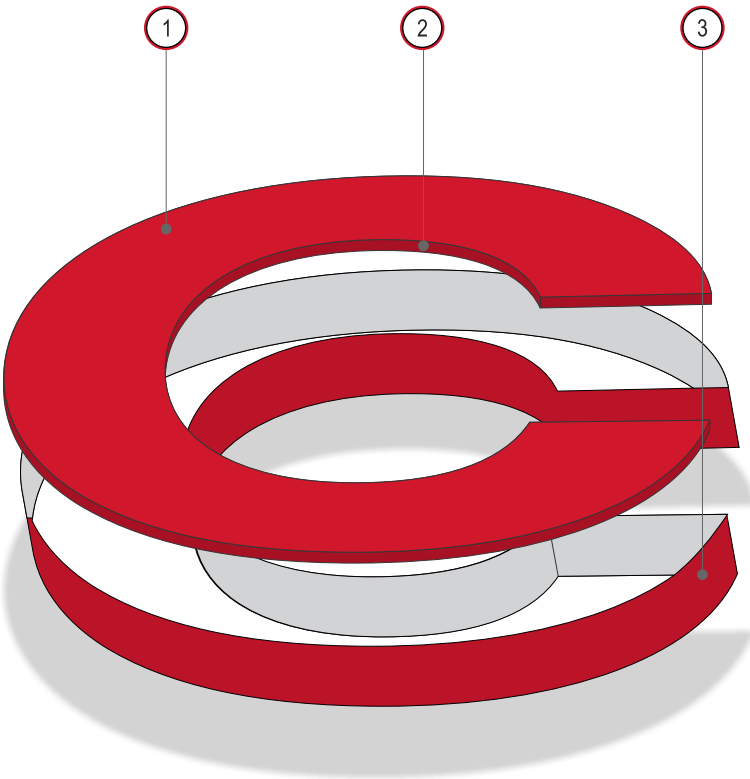


DESIGN

SCALE: 1/4" = 1' - 0"



- ① 3/16" 2793 RED
ACRYLIC/POLYCARBONATE
- ② RED
TRIMCAP
- ③ RED
SATIN FINISH



- RETURNS: 5" DEEP .040" ALUMINUM
COLOR: RED
- TRIM: 1" JEWELITE
COLOR: RED
- FACES: 2793 3/16" RED ACRYLIC/POLYCARBONATE
(MATERIAL VARIES PER SIGN SIZES)
VINYL: NONE
- BACKS: .125" ALUMINUM
STOCK WHITE
- INTERIOR ILLUMINATION:
RED - PRINCIPAL QWIK MOD 2 6500 K
- RACEWAY: ALUMINUM - 4 1/2" X 7"
PAINTED: PTM WALL
- POWER SUPPLIES: HOUSED INSIDE RACEWAY
DISCONNECT SWITCH (NEC 600-5) & PHOTOCELL K400 SERIES
- MOUNTING: MINIMUM 3/8" X 5" FASTENERS
FLUSH MOUNTED (NON-CORROSIVE/GALVANIZED)
- 1/4" WEEP HOLES, 2 PER LETTER, WITH LIGHT BAFFLES
- 120V T100 SERIES ELECTROMECHANICAL TIME SWITCHES
INSTALLED BY CLIENTS ELECTRICIAN BY BREAKER BOX

COLOR SCHEDULE
SCALE: NTS

CROSS SECTION
SCALE: NTS

SCOPE OF WORK

- 1. REMOVE & DISPOSE - EXISTING SIGNAGE
- 2. FABRICATE AND INSTALL - FCO LETTERS

Survey Required



QTY : 1



EZZI SIGNS

EST. 2005

16611 West Little York Rd
Houston, Texas 77084

EZZISIGNS.COM
713-232-0771

PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

LANDLORD:



SEVEN
YEAR WARRANTY

UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

All conceptual renderings are property of Ezzi Signs. Any reproduction, exhibition or use of this drawing is strictly prohibited
©2025. All rights reserved.



DESIGN

SCALE: 1" = 1' - 0"



FCO: 1/2" ACRYLIC
PAINT: WHITE

MOUNTING: SILICONE ADHESIVE
or FASTENERS AS NEEDED

CROSS SECTION

SCALE: NTS



SCOPE OF WORK

- 1. REMOVE & DISPOSE - EXISTING SIGNAGE
- 2. FABRICATE AND INSTALL - FCO LETTERS

Survey Required



QTY : 2



EZZI SIGNS

EST. 2005

16611 West Little York Rd
Houston, Texas 77084

EZZISIGNS.COM
713-232-0771

PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

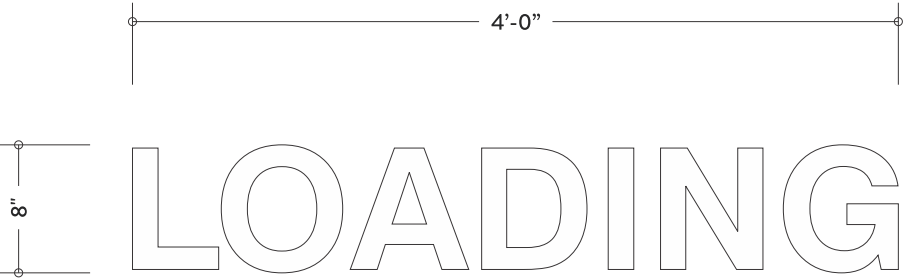
LANDLORD:



SEVEN
YEAR WARRANTY

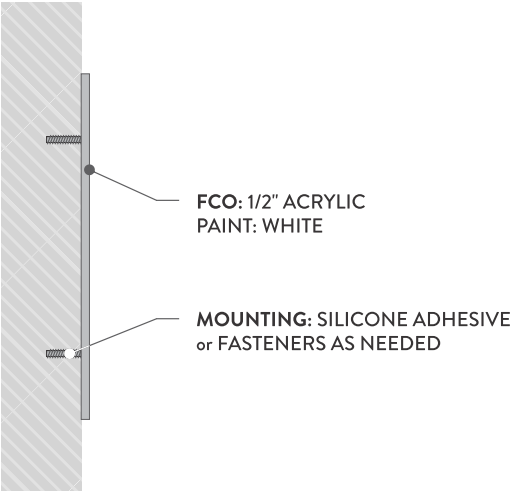
UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

All conceptual renderings are property of Ezzi Signs. Any reproduction, exhibition or use of this drawing is strictly prohibited
©2025. All rights reserved.



DESIGN

SCALE: 1" = 1' - 0"



CROSS SECTION
SCALE: NTS



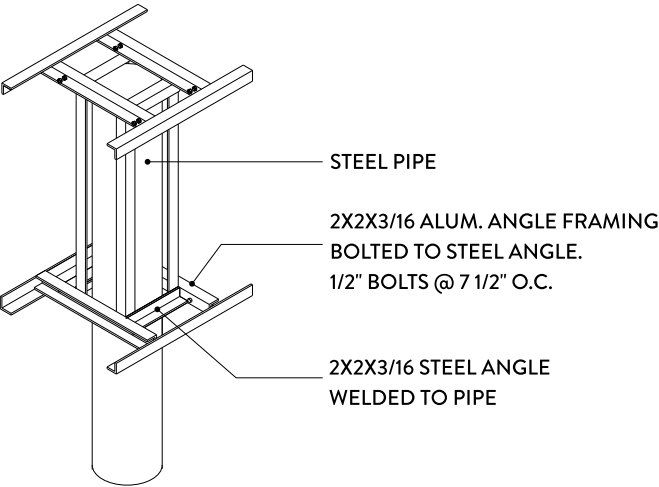
SCOPE OF WORK
1. FABRICATE AND INSTALL - ILLUMINATED,
D/F MONUMENT SIGN

Survey Required

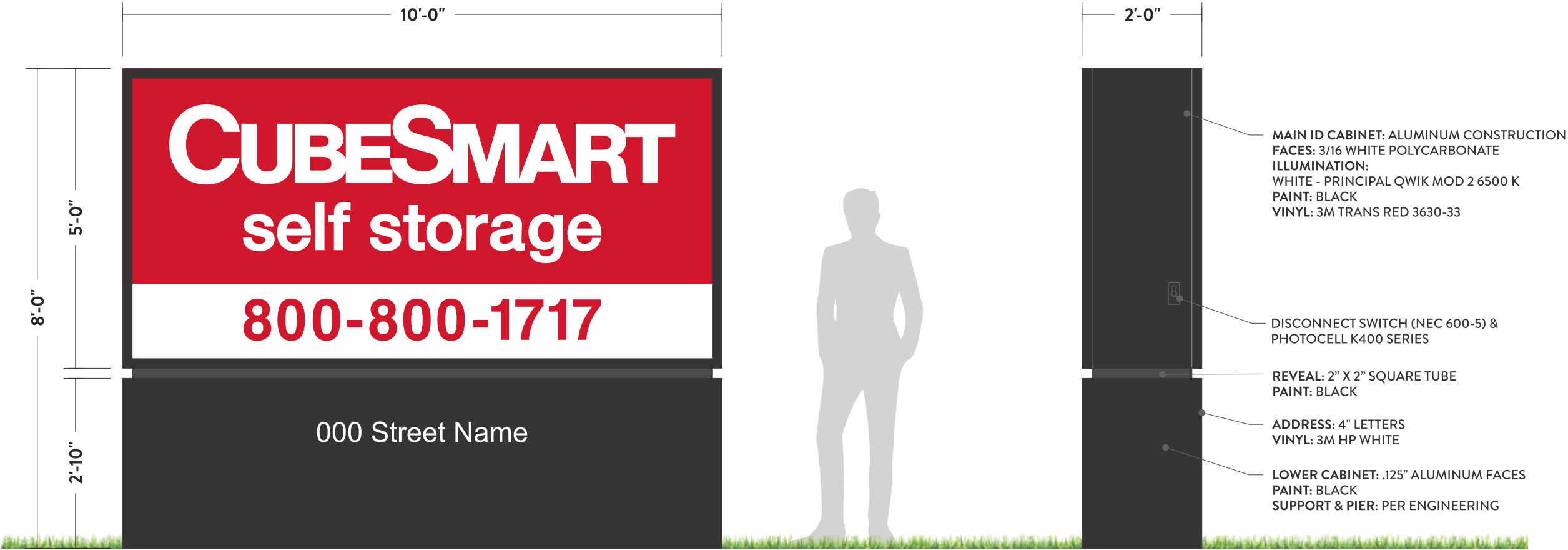


QTY : 1

SADDLE DETAIL



TYPICAL ATTACHMENT DETAIL
SCALE: NTS



SIGN DESIGN
SCALE: 1/2" = 1'-0"

SIGN DESIGN - END VIEW
SCALE: 1/2" = 1'-0"



PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

LANDLORD:



UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

All conceptual renderings are property of Ezzi Signs. Any reproduction, exhibition or use of this drawing is strictly prohibited
©2025. All rights reserved.

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

SITE DATA

PROPOSED USAGE: SAFStor Self Storage
LOT AREA: 88,479.07 SF (2.0312) ACRE)
ZONING: MX-L

BUILDING AREA: 105,075 SF

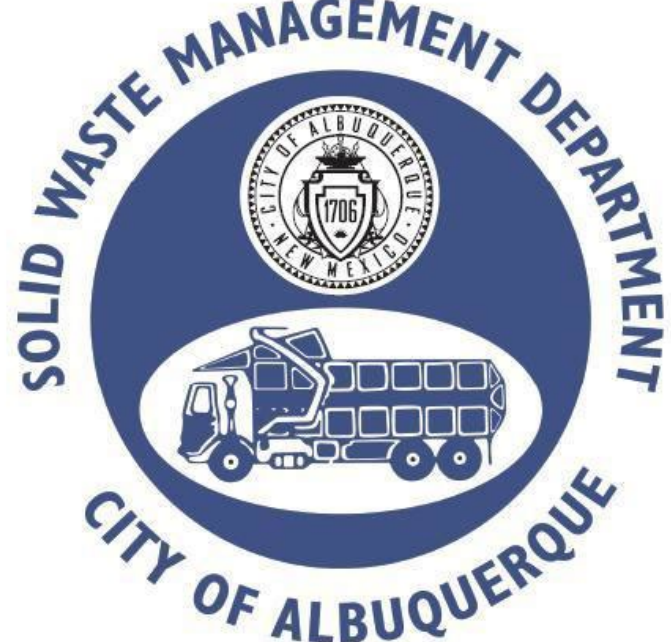
PARKING REQUIRED: 35 SPACES (105,075 SF, 1 SPACE/ 3,000 GFA)
PARKING PROVIDED: 35 SPACES 3--SMALL CAR (9%)

HC PARKING REQUIRED: 2 SPACES
HC PARKING PROVIDED: 2 SPACES
1 SPACE VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED: 2 SPACES
MOTORCYCLE PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

LANDSCAPE AREA REQUIRED: 13,272 SF
LANDSCAPE AREA PROVIDED: 39,161 SF



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up between the hours of 5AM and 8PM.
Reviewer: Adrian Maney
Date: 1-21-25 -will be on a hazard service 2 man crew due to location of new proposed refuse enclosure.

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

SETBACKS:
FRONT 5' MINIMUM
SIDE 5' MINIMUM
BACK 15' MINIMUM

LANDSCAPE BUFFER:
BACK 50' MINIMUM OR 6' OPAQUE WALL

GENERAL NOTES:
1. ALL BROKEN OR CRACKED CURB AND GUTTER OR VALLEY GUTTER MUST BE REMOVED AND REPLACED.

EXECUTIVE SUMMARY
THE SITE IS LOCATED IN THE SOUTHEAST QUADRANT OF RAINBOW BOULEVARD N.W. AND UNIVERSE BOULEVARD N.W. THE IMPROVEMENTS ON THE 2.03 ACRE PROPERTY (ONE TRACT) ARE PROPOSED 105,075 SF BUILDING AND ALL OTHER SITE IMPROVEMENTS. ALL OTHER EXISTING IMPROVEMENTS WILL REMAIN AS IS. ACCESS TO THE SITE IS FROM ONE EXISTING ENTRANCE OFF RAINBOW BOULEVARD N.W.

KEYED NOTES

- 1

ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. D1)
- 2

6" HEADER CURB (SEE DETAIL SHT. D1)
- 3

CONCRETE SIDEWALK AT BUILDING (SEE DETAIL SHT. D1)
- 4

DUMPSTER (SEE DETAIL SHT. D1)
- 5

BICYCLE RACKS (SEE DETAIL SHT. D1)
- 6

CURB HC RAMP (SEE DETAIL SHT. D1)
- 7

WHEEL STOP (SEE DETAIL SHT. D1)

8

MONUMENT SIGN

9

STOP SIGN

10

STOP BAR

11

NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP.), (SEE DETAIL SHT. D1)

12

UNIDIRECTIONAL ACCESSIBLE (TYP.) RAMP PER COA STD DWG 2443, (SEE DETAIL SHT. D1)

13

6' OPAQUE FENCE/WALL

14

PEDESTRIAN ACCESS WALKWAY

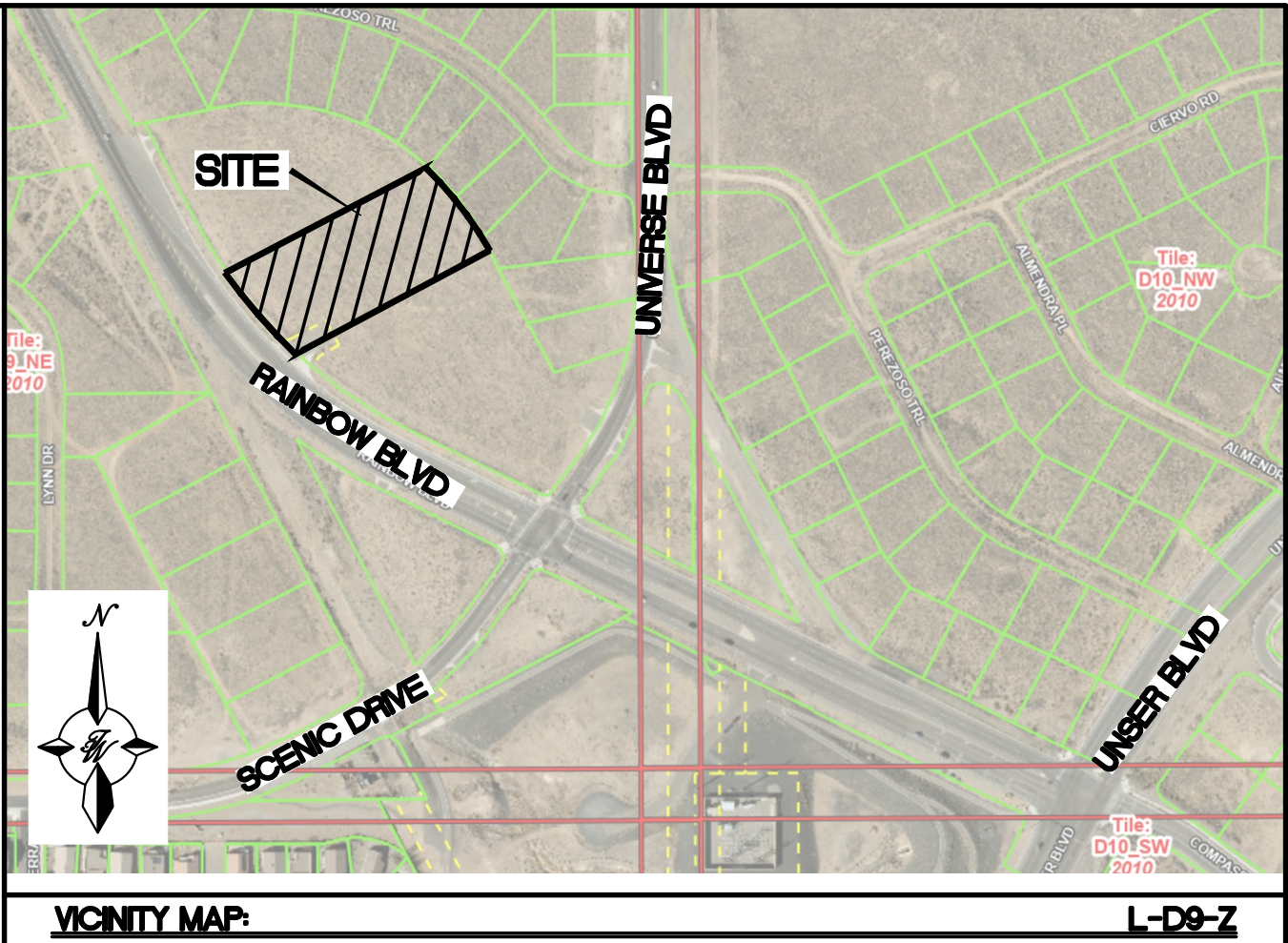
15

NEW ASPHALT PAVING

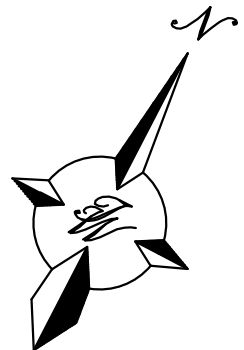
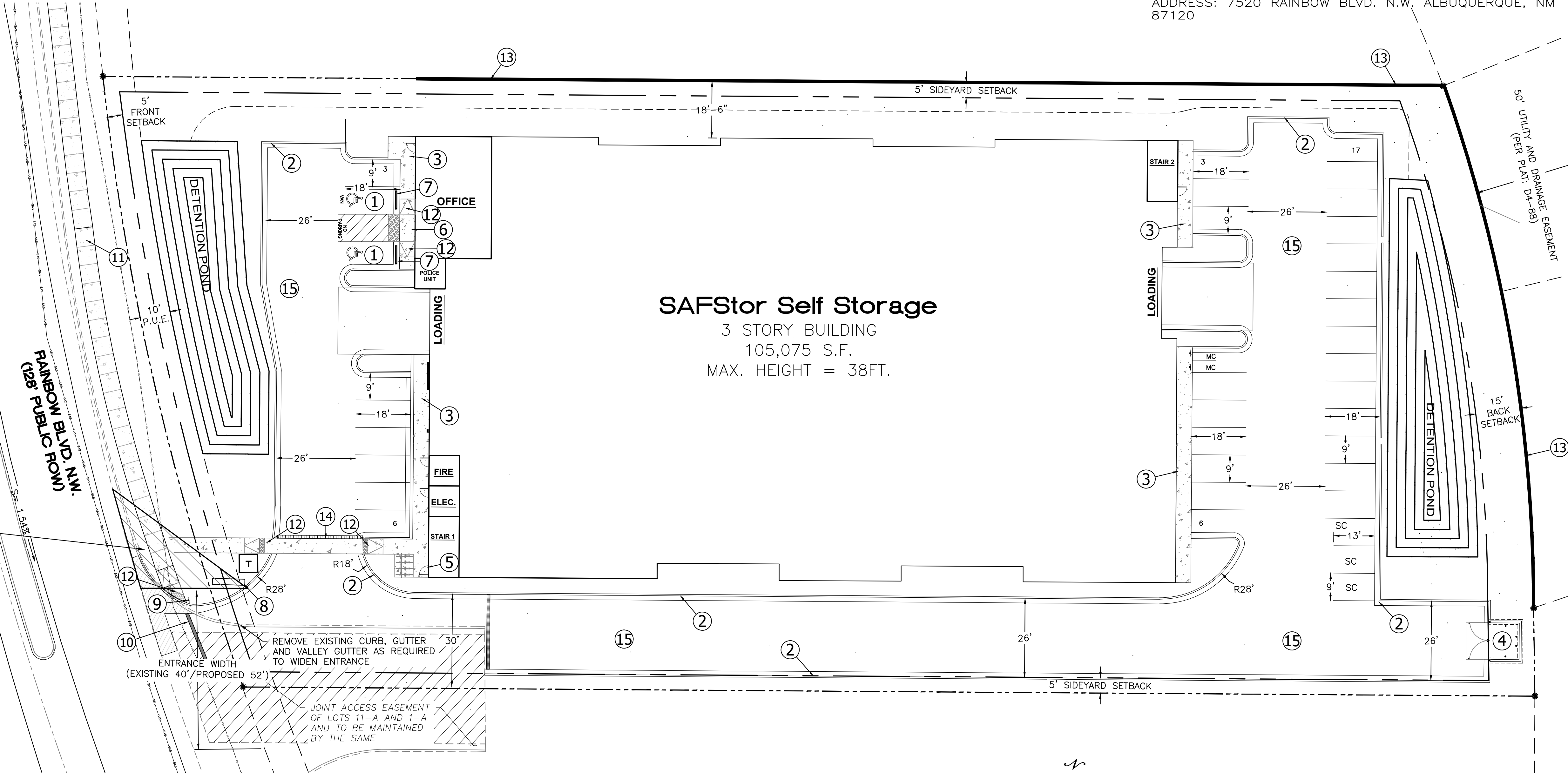
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SITE LIGHTS
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING STORM DRAIN
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING FIBER OPTIC
- T



TRANSFORMER

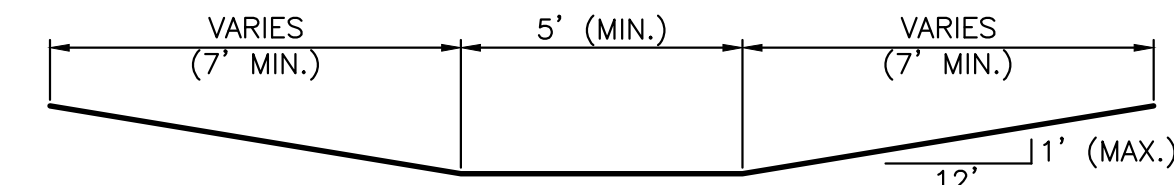


LEGAL DESCRIPTION:
LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION
UPC 100906347136710711.
ADDRESS: 7520 RAINBOW BLVD. N.W. ALBUQUERQUE, NM 87120



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

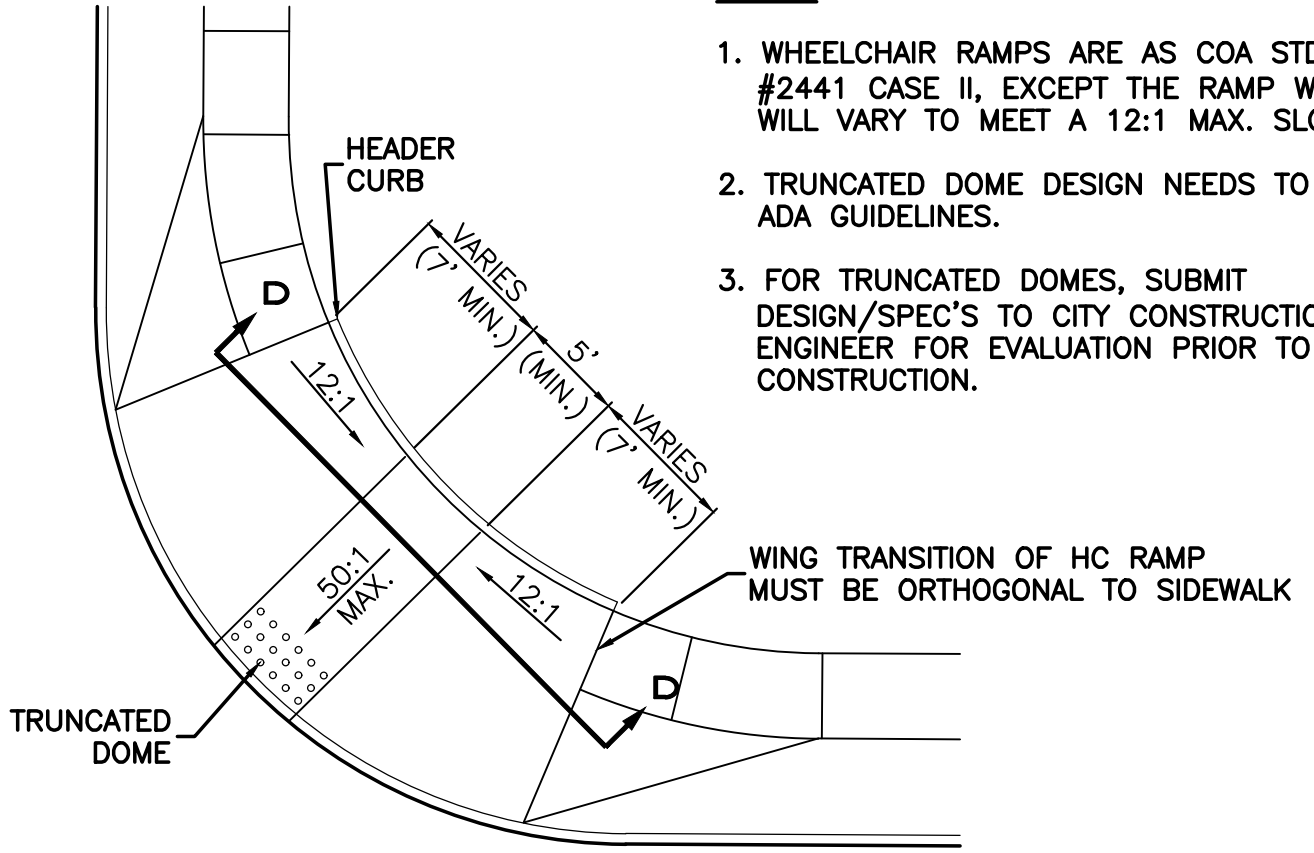
ENGINEER'S SEAL	SAFStor RAINBOW ALBUQUERQUE, N.M.	DRAWN BY RMG	
		DATE 10/24/2024	
		TRAFFIC CIRULATION PLAN	2024032_TCL
		 <i>TERRA WEST, LLC</i>	SHEET # TCL-1
		5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2024032
RONALD R. BOHANNAN P.E. #7868			



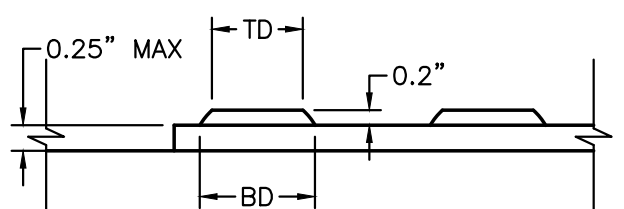
SECTION D-D
NTS

NOTES:

1. WHEELCHAIR RAMPS ARE AS COA STD DWG #2441 CASE II, EXCEPT THE RAMP WIDTH WILL VARY TO MEET A 12:1 MAX. SLOPE.
2. TRUNCATED DOME DESIGN NEEDS TO FOLLOW ADA GUIDELINES.
3. FOR TRUNCATED DOMES, SUBMIT DESIGN/SPEC'S TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.

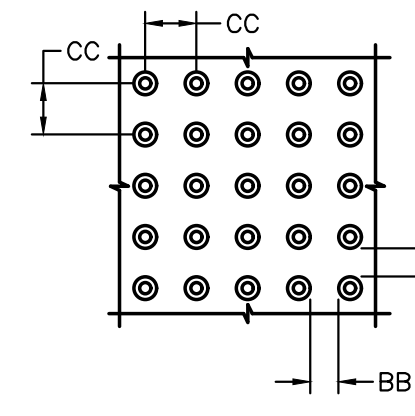


WHEELCHAIR RAMP DETAIL (TYP.)
NTS



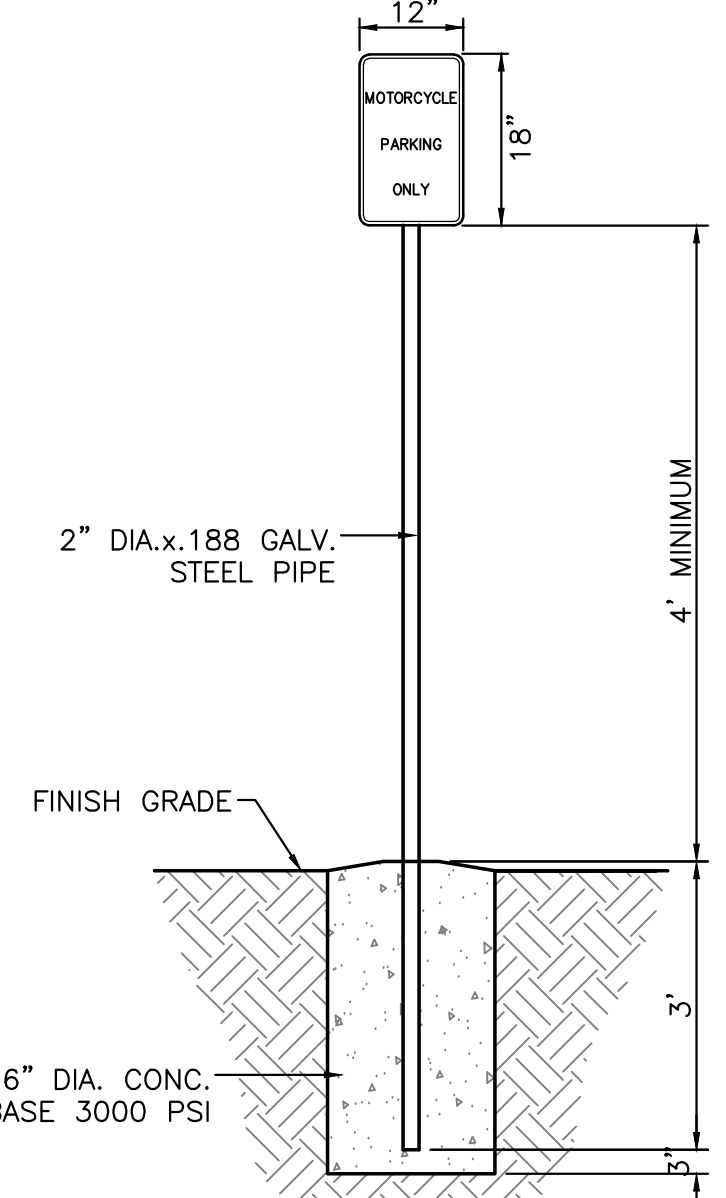
DOME SECTION

BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

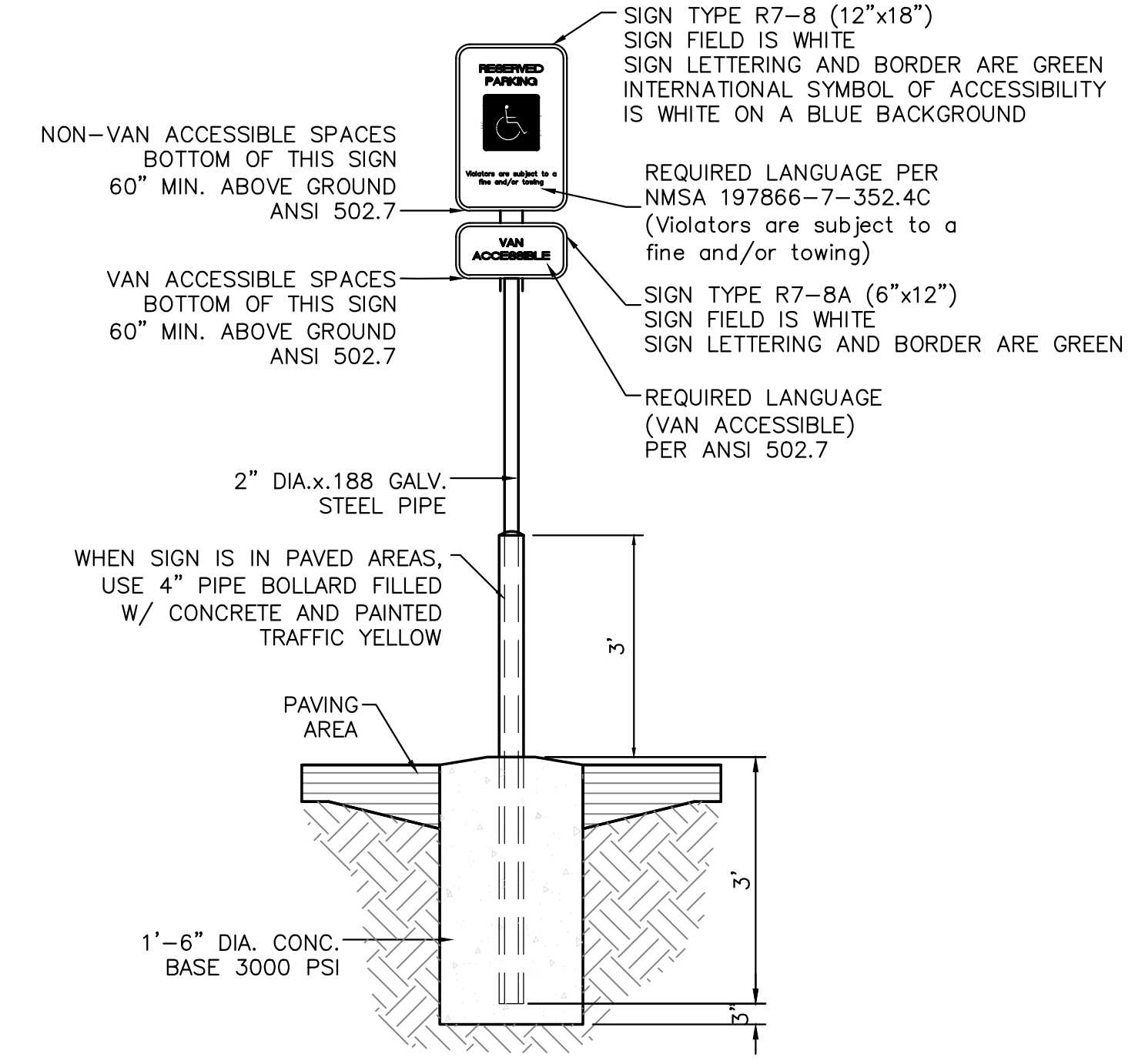


DOME SPACING

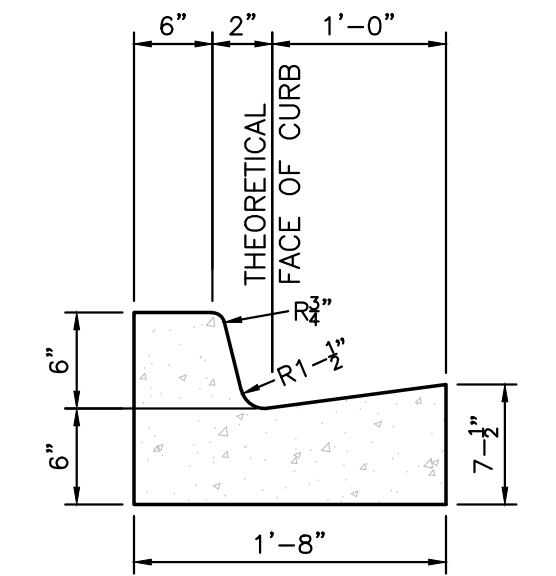
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



MOTORCYCLE PARKING SIGN
NTS



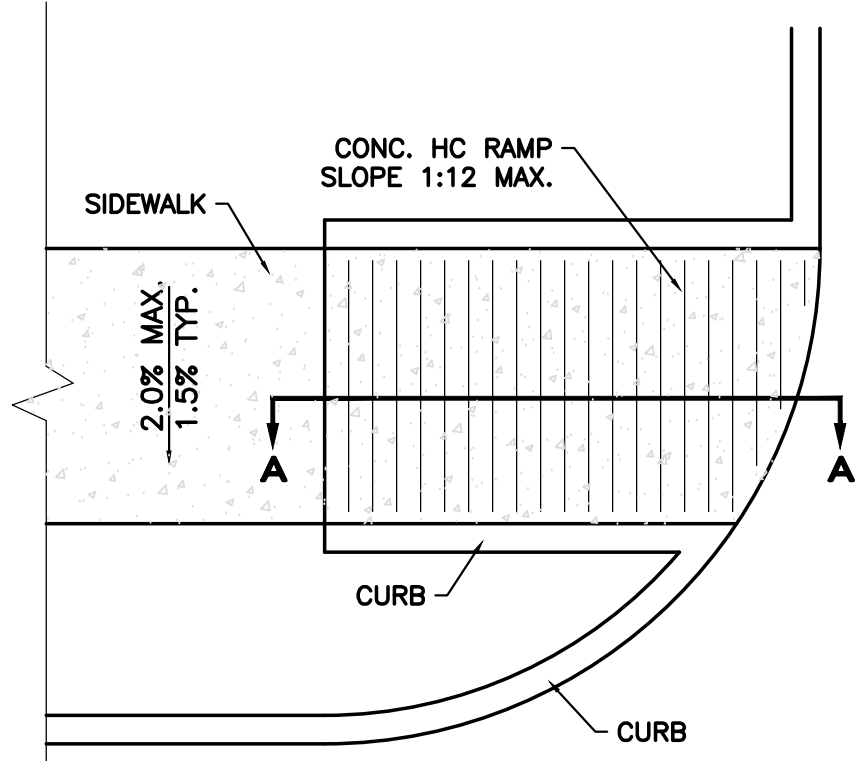
ACCESSIBLE PARKING SIGN
NTS



CURB GENERAL NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADUIS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

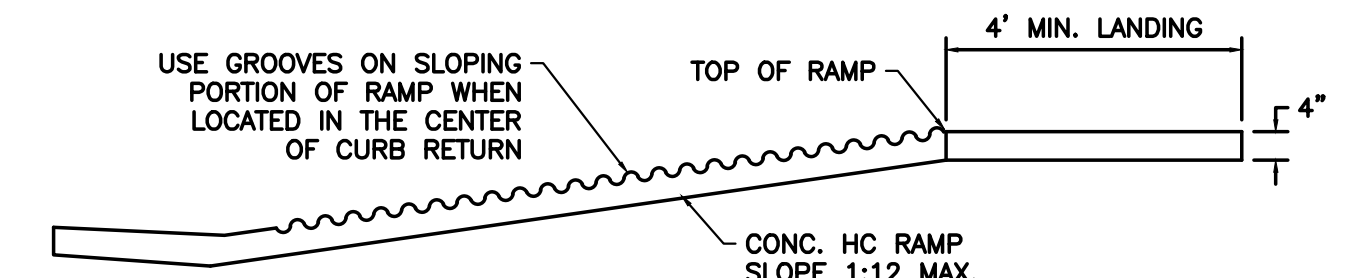
6" PRIVATE CURB & GUTTER
NTS



PLAN

NOTES:

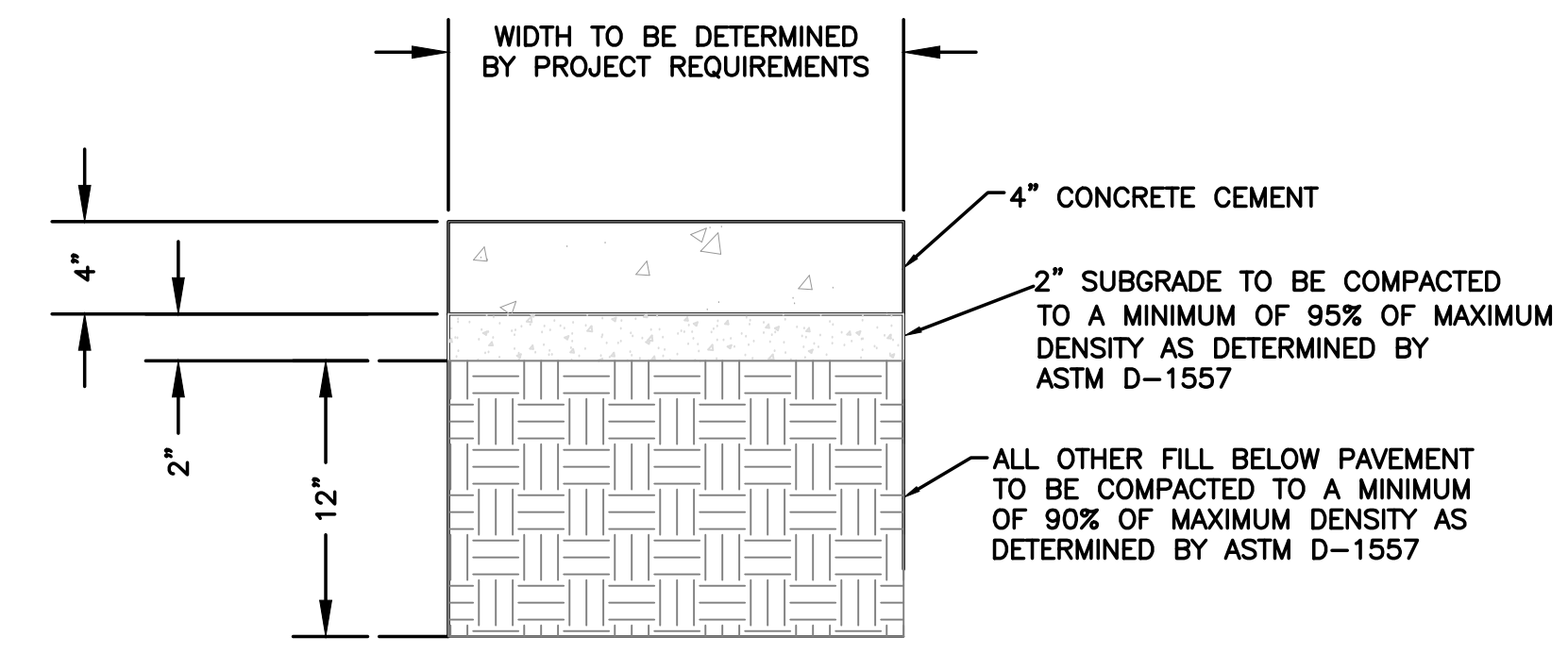
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.



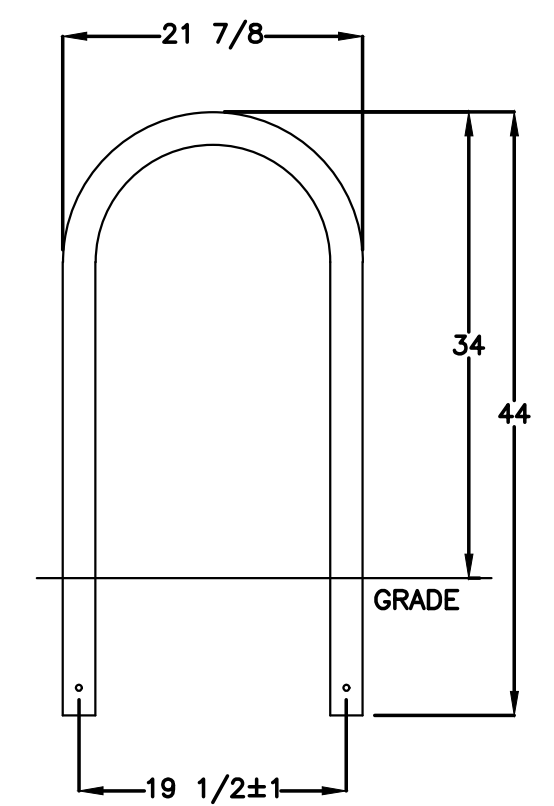
SECTION A-A

UNIDIRECTIONAL HC RAMP

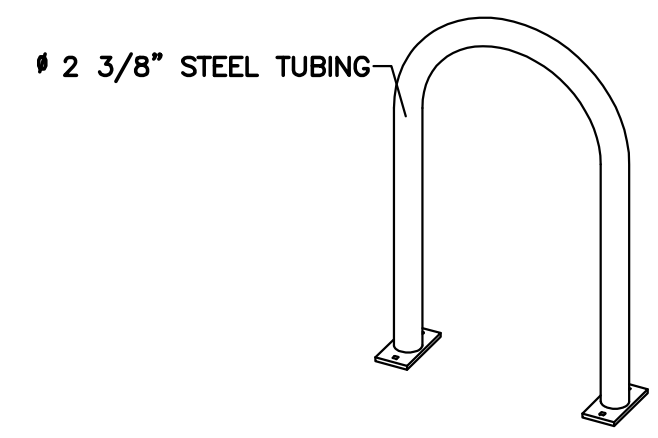
SCALE: NTS



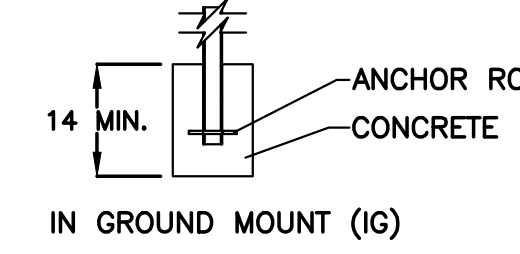
CONCRETE SIDEWALK SECTION



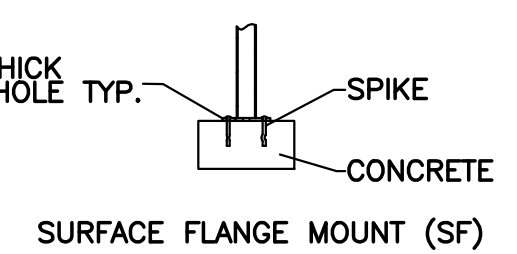
MADRIX DIVISION GRABER MANUFACTURING, INC. 1080 UNEX DRIVE WAUNAKEE, WI 53597 P(800) 448-7931, P(608) 849-1080, F(608) 849-1081 WWW.MADRIX.COM, E-MAIL: SALES@MADRIX.COM



CHECK DESIRED MOUNT



IN GROUND MOUNT (IG)



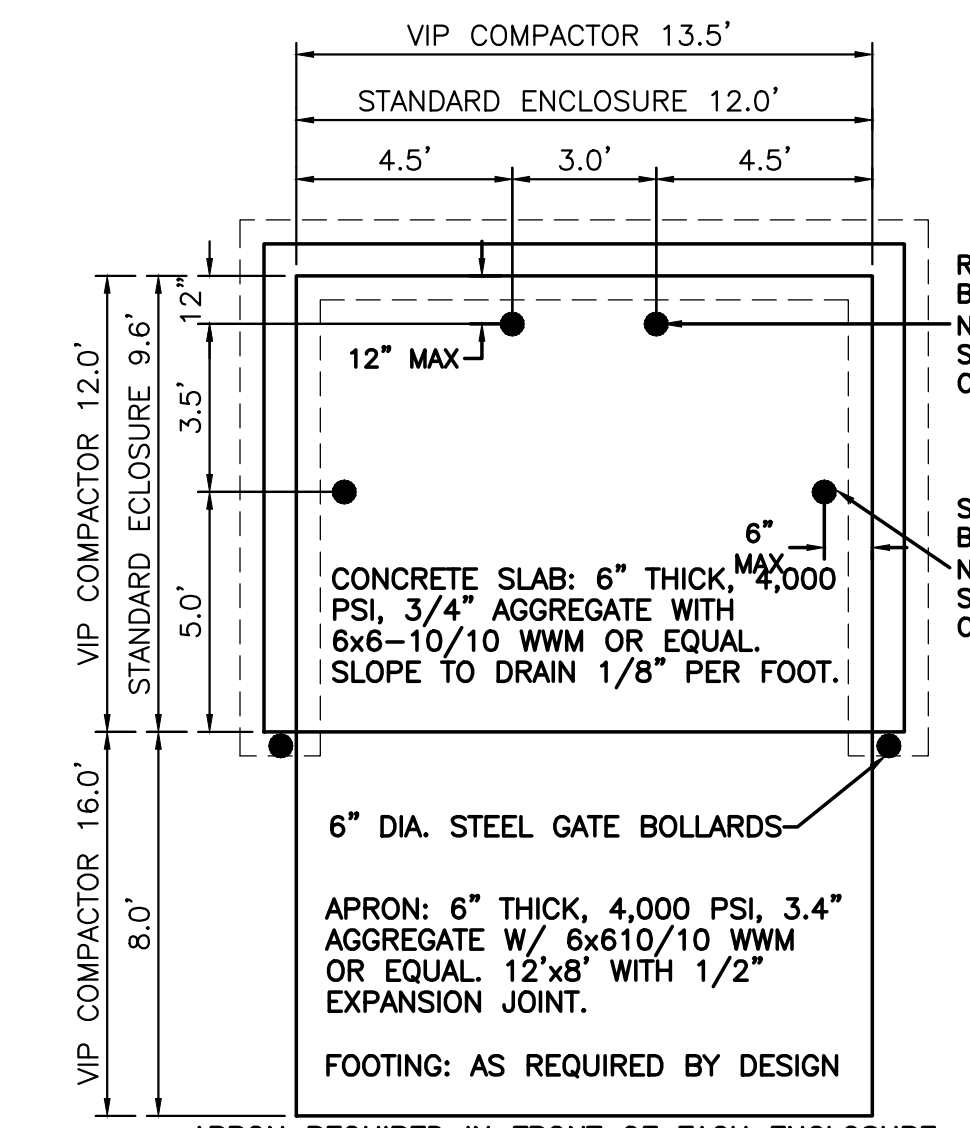
SURFACE FLANGE MOUNT (SF)

PRODUCT: U238-IG(SF) DESCRIPTION: 'U' BIKE RACK 2 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 10-4-18 ENG: SMC

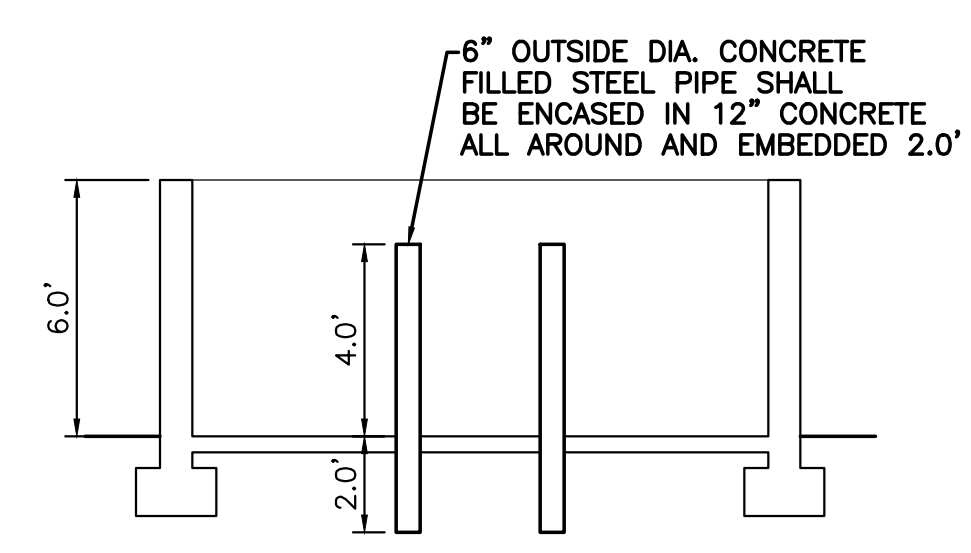
NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR (FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

U-BIKE RACK



APRON REQUIRED IN FRONT OF EACH ENCLOSURE. (6\"/>



NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

DUMPSTER ENCLOSURE DETAIL
NTS

ENGINEER'S SEAL
RONALD R. BOHANNAN
NEW MEXICO
7868
10-24-2024
RONALD R. BOHANNAN
P.E. #7868

SAFStor RAINBOW ALBUQUERQUE, N.M.	DRAWN BY RMG
	DATE 10/24/2024
CONSTRUCTION DETAILS	2024032_DET
	SHEET # DET-1
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2024032

From: [Office of Neighborhood Coordination](#)
To: [Donna Sandoval](#)
Subject: 7520 Rainbow BLVD N.W. Public Notice Inquiry Sheet Submission
Date: Thursday, April 10, 2025 9:43:46 AM
Attachments: [image001.png](#)
[4 - IDOZoneAtlasPage D-09-Z.pdf](#)

Dear Applicant:

As of April 10, 2025 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Thursday, April 10, 2025 9:13 AM

To: Office of Neighborhood Coordination <dsandoval@tierrawestllc.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Administrative Decision

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Donna Sandoval

Telephone Number

5058583100

Email Address

dsandoval@tierrawestllc.com

Company Name

Tierra West LLC

Company Address

5571 Midway Park PL NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

Lt 11-A blk 2 plat of lots 10-A, 11-A, 19-A thru 22-A block 2 unit 14 Volcano Cliffs Subdivision

Physical address of subject site:

7520 Rainbow BLVD N.W. Albuquerque NM

Subject site cross streets:

Between Rainbow Blvd & Universe Blvd

Other subject site identifiers:

This site is located on the following zone atlas page:

D-09--Z

Captcha

x

From: [Flores, Suzanna A.](#)
To: [Donna Sandoval](#)
Subject: [#2024032] 7520 Rainbow BLVD N.W._Public Notice Inquiry Sheet Submission
Date: Friday, May 2, 2025 1:20:41 PM
Attachments: [image001.png](#)
[4 - IDOZoneAtlasPage D-09-Z.pdf](#)

Dear Applicant:

As of May 2, 2025 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Friday, May 2, 2025 12:38 PM

To: Office of Neighborhood Coordination <dsandoval@tierrawestllc.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

This Message Is From an External Sender
This message came from outside your organization.

[Report Suspicious](#)

Public Notice Inquiry For:

Administrative Decision

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Donna Sandoval

Telephone Number

5058583100

Email Address

dsandoval@tierrawestllc.com

Company Name

Tierra West, LLC

Company Address

5571 Midway Park Place NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

Lt 11-A blk 2 plat of lots 10-A, 11-A, 19-A thru 22-A block 2 unit 14 Volcano Cliffs Subdivision

Physical address of subject site:

7520 Rainbow BLVD N.W. Albuquerque NM

Subject site cross streets:

Between Rainbow Blvd & Universe Blvd

Other subject site identifiers:

This site is located on the following zone atlas page:

D-09--Z

Captcha

x

April 14, 2025

Mr. Jay Rodenbeck
City of Albuquerque – DRB Chair
600 2nd Street NW
Albuquerque NM 87102

**RE: SAFESTOR SELF STORAGE
LOT 11-A BLOCK 2 PLAT OF LOTS 10-A, 11-A, 19-A THRU 22-A BLOCK 2 UNIT 14
VOLCANO CLIFFS SUBDIVISION
SENSITIVE LANDS ANALYSIS**

Dear Mr. Rodenbeck:

Tierra West, LLC has performed a Sensitive Lands Analysis Report as required under the Integrated Development Ordinance (IDO) Section 5-2(C) for new development of land, documenting the following:

Item:	Presence:	Commentary:
Floodplains and Flood Hazard	None	See attached Firmette showing no flood plain present
Steep Slopes	None	See attached conceptual grading and drainage plan with topographic survey. No steep slopes exist on site.
Unstable Soils	None	Based on the geotech reports prepared for this site prepared by ATLAS (dated 6-09-2024), existing on site soils should be suitable for engineered fills.
Wetlands (Constant supply of water)	None	See attached Firmette showing no flood plain present. Attached conceptual grading and drainage plan anticipates two drainage ponds on site to attenuate runoff prior to it exiting the site to Rainbow Blvd.
Arroyo	None	See attached ALTA/NSPS survey. No arroyos present
Irrigation Facilities (acequias)	None	See attached ALTA/NSPS survey. No irrigation facilities identified.
Escarpment	None	See attached grading and drainage plan with topographic survey. No areas of escarpment identified.
Rock outcroppings	None	No rock outcroppings were observed in onsite investigation or noted in geotechnical report prepared for this site by ATLAS (dated 6-09-2024).
Large stands of mature trees	None	No existing mature trees noted on site.
Archeological sites	None	No archaeological issues have been uncovered from onsite investigation or records research of the site.



SW existing shared access drive looking
NE



SE undeveloped lot corner looking West



NW undeveloped lot corner looking East



NE undeveloped lot corner looking South

In conclusion, none of the above features have been determined to be present on this site. Various attached documents along with the above photos of the site support our findings of no onsite sensitive land issues.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Ron R. Bohannon".

Ronald R. Bohannon, P.E

JN: 2024032
RRB/at

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

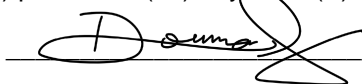
4. TIME

Signs must be posted from May 6th, 2025 To May 26th, 2025

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



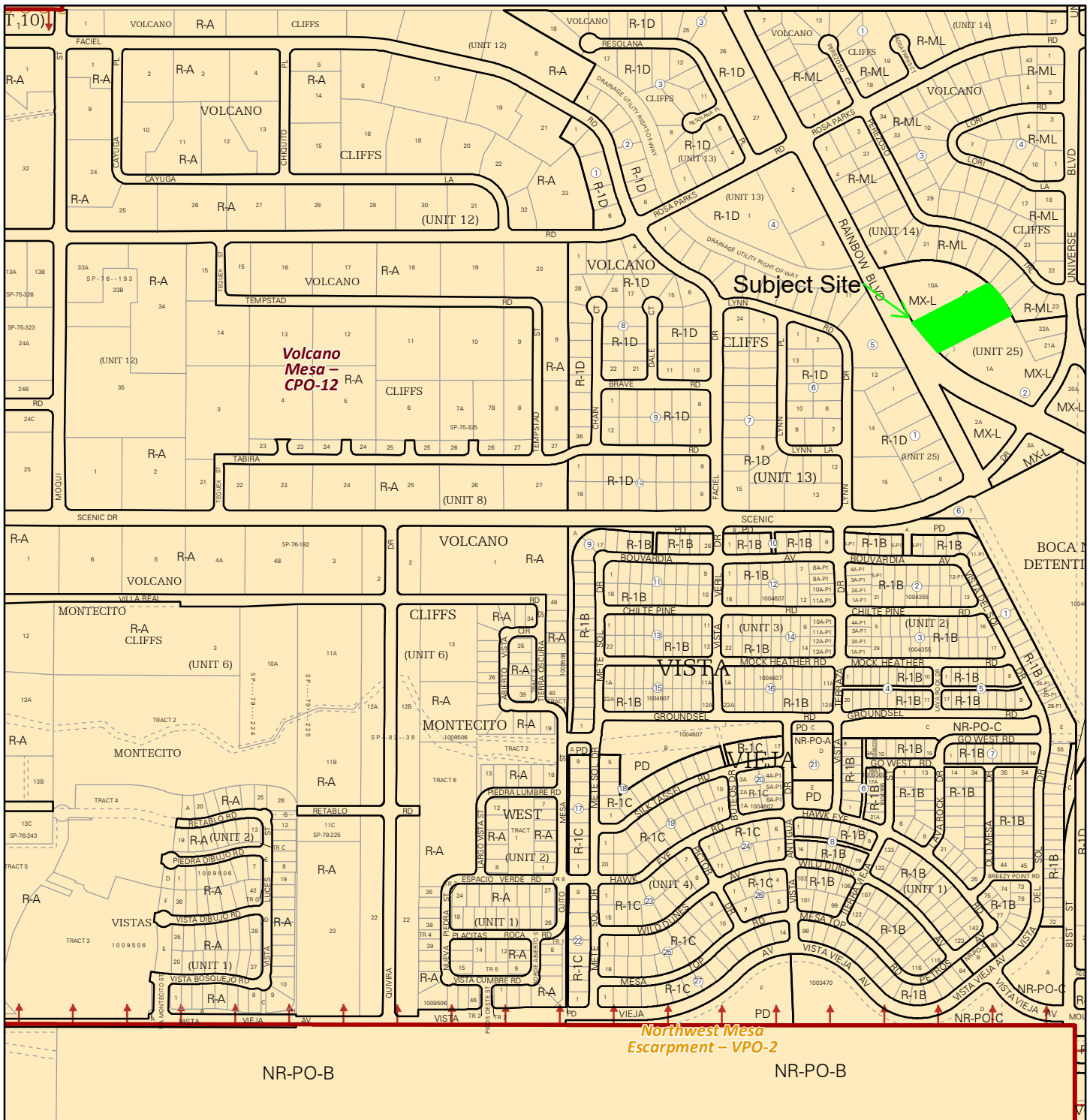
(Applicant or Agent)

May 5, 2025

(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

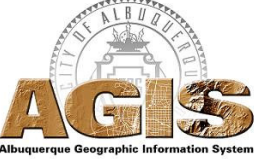
PROJECT NUMBER: PR-2024-010691



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

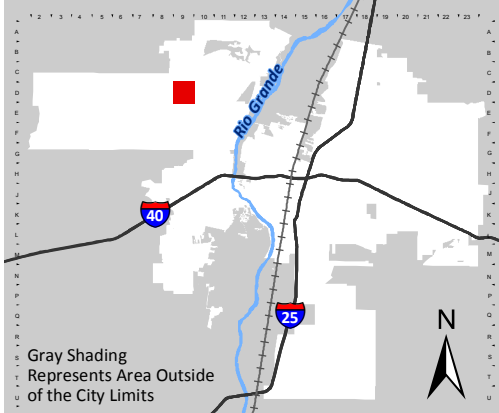
IDO Zone Atlas

May 2018



IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet