

VPO-2 NOTE

THIS PROPERTY FALLS WITHIN THE NORTHWEST ESCARPMENT OVERLAY (VPO-2) BUT IS NOT SUBJECT TO THE HEIGHT RESTRICTIONS SUB-AREA. THIS PROJECT IS IN COMPLIANCE WITH THE OVERLAY REQUIREMENTS BY PROVIDING SCREENING FOR ANY ROOF MOUNTED EQUIPMENT, PROVIDING BUILDING COLORS CONSISTING OF BROWNS AND DULL RED, AND WILL NOT HAVE ANY REFLECTIVE OR MIRRORED GLASS.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

CLEAR SIGHT TRIANGLE NOTE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

SETBACKS:

FRONT 5' MINIMUM
SIDE 5' MINIMUM
BACK 15' MINIMUM

LANDSCAPE BUFFER:

BACK 50' MINIMUM OR 6' OPAQUE WALL

SITE DATA

PROPOSED USAGE: SAFStor Self Storage
LOT AREA: 88,479.07 SF (2.0312) ACRE)
ZONING: MX-L

BUILDING AREA: 105,300 SF

PARKING REQUIRED: 35 SPACES (105,300 SF, 1 SPACE/ 3,000 GFA)
PARKING PROVIDED: 35 SPACES 3--SMALL CAR (9%)

HC PARKING REQUIRED: 2 SPACES
HC PARKING PROVIDED: 2 SPACES
1 SPACE VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED: 2 SPACES
MOTORCYCLE PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

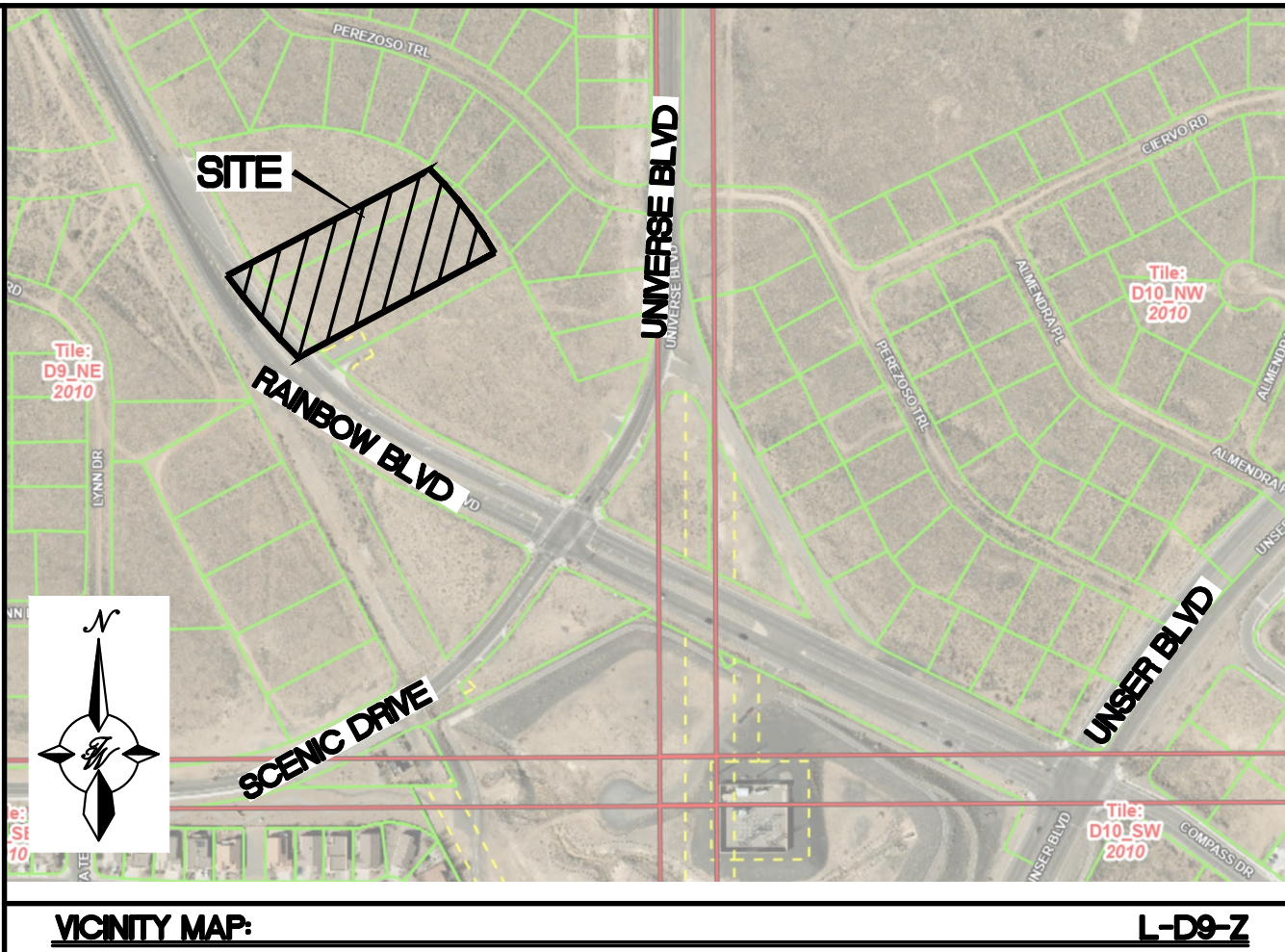
LANDSCAPE AREA REQUIRED: 13,272 SF
LANDSCAPE AREA PROVIDED: 39,161 SF

KEYED NOTES

- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. DET-1)
- 2 6" HEADER CURB (SEE DETAIL SHT. DET-1)
- 3 CONCRETE SIDEWALK AT BUILDING (SEE DETAIL SHT. DET-1)
- 4 DUMPSTER (SEE DETAIL SHT. DET-1)
- 5 BICYCLE RACKS (SEE DETAIL SHT. DET-1)
- 6 CURB HC RAMP (SEE DETAIL SHT. DET-1)
- 7 WHEEL STOP (SEE DETAIL SHT. DET-1)
- 8 MONUMENT SIGN
- 9 STOP SIGN
- 10 STOP BAR
- 11 NOT USED
- 12 NOT USED
- 13 NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP.), (SEE DETAIL SHT. C9)
- 14 UNIDIRECTIONAL ACCESSIBLE (TYP.) RAMP PER COA STD DWG 2443, (SEE DETAIL SHT. C9)
- 15 6' OPAQUE FENCE/WALL

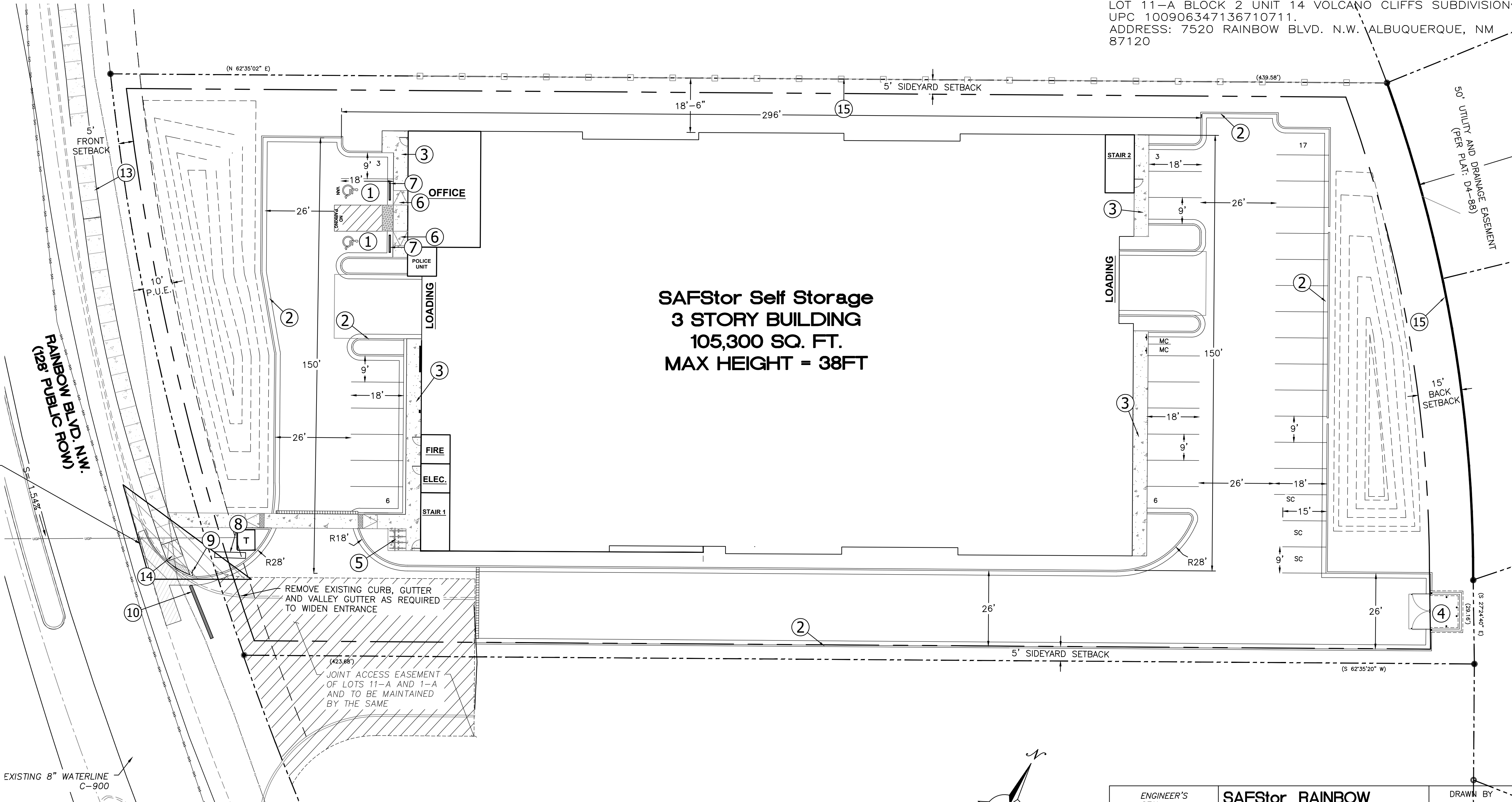
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SITE LIGHTS
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING STORM DRAIN
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING FIBER OPTIC
- TRANSFORMER
- RETAINING WALL



LEGAL DESCRIPTION:

LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION;
UPC 100906347136710711.
ADDRESS: 7520 RAINBOW BLVD. N.W. ALBUQUERQUE, NM 87120



SAFStor Self Storage
3 STORY BUILDING
105,300 SQ. FT.
MAX HEIGHT = 38FT

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE



PROJECT NUMBER: PR-2025-XXX XXX
APPLICATION NUMBER: SI-2025-XXXXX

Is an Infrastructure List required? (X) Yes () No. If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

* Environmental Health, if necessary

ENGINEER'S SEAL	SAFStor RAINBOW ALBUQUERQUE, N.M.	DRAWN BY MR
<div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div> <div> 04/30/2025</div> <div>RONALD R. BOHANNAN P.E. #7868</div>		DATE 04/30/2025
	SITE PLAN	2024032_SP
		<div><div></div><div>TERRA WEST, LLC</div><div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com</div></div>
		JOB # 2024032

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SITE DATA

PROPOSED USAGE: SAFStor Self Storage
LOT AREA: 88,479.07 SF (2.0312) ACRE)
ZONING: MX-L

BUILDING AREA: 105,075 SF

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KEYED NOTES

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ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. D1)
- 2

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- 4

DUMPSTER (SEE DETAIL SHT. D1)
- 5

BICYCLE RACKS (SEE DETAIL SHT. D1)
- 6

CURB HC RAMP (SEE DETAIL SHT. D1)
- 7

WHEEL STOP (SEE DETAIL SHT. D1)

8

MONUMENT SIGN

9

STOP SIGN

10

STOP BAR

11

NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP.), (SEE DETAIL SHT. D1)

12

UNIDIRECTIONAL ACCESSIBLE (TYP.) RAMP PER COA STD DWG 2443, (SEE DETAIL SHT. D1)

13

6' OPAQUE FENCE/WALL

14

PEDESTRIAN ACCESS WALKWAY

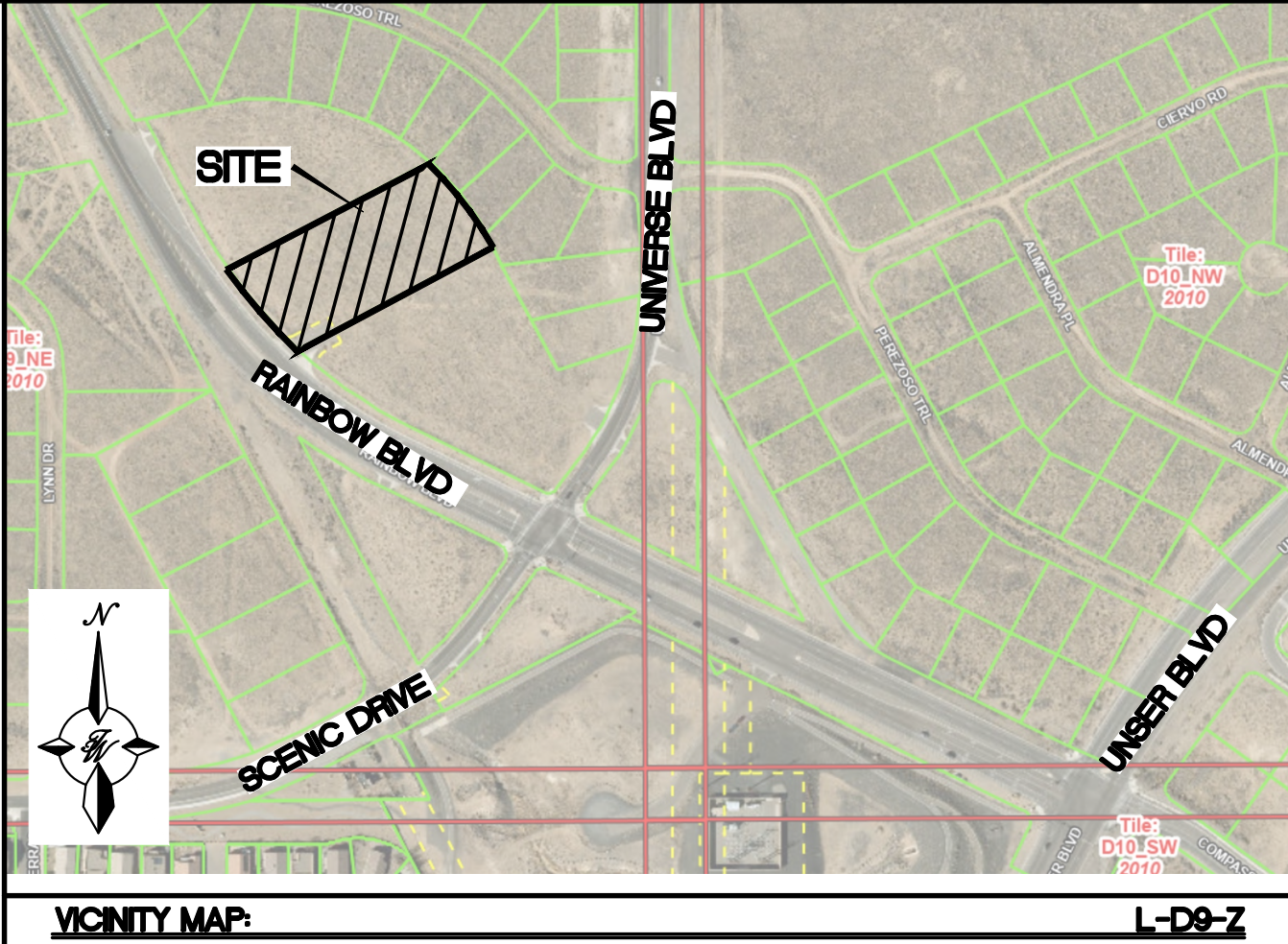
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NEW ASPHALT PAVING

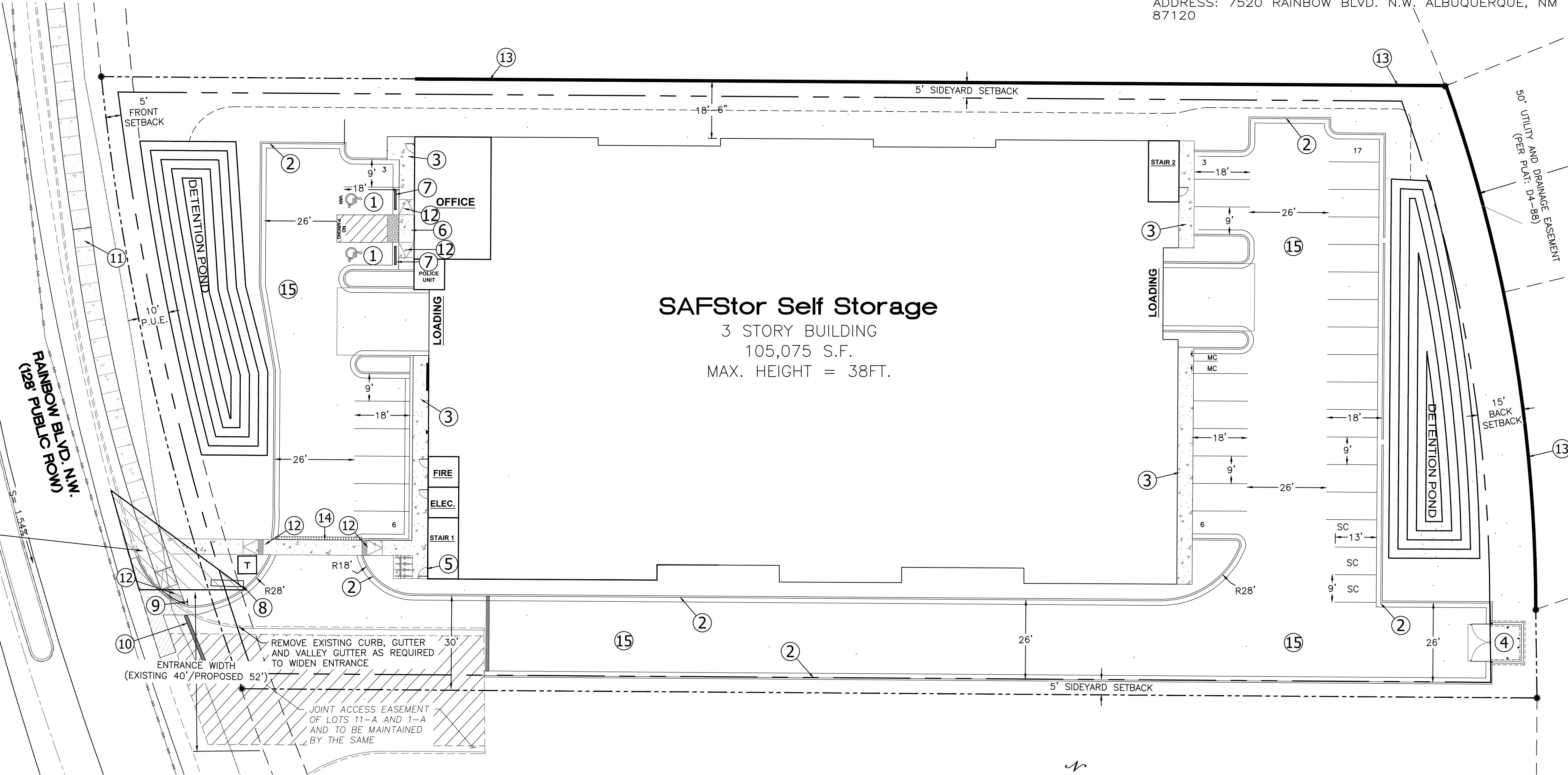
LEGEND

- CURB & GUTTER
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- EXISTING FIBER OPTIC
- T

TRANSFORMER



LEGAL DESCRIPTION:
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UPC 100906347136710711.
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SIDE 5' MINIMUM
BACK 15' MINIMUM

LANDSCAPE BUFFER:

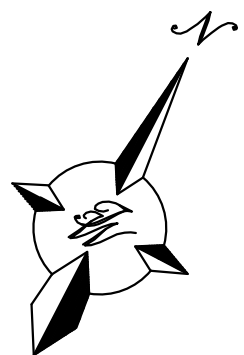
BACK 50' MINIMUM OR 6' OPAQUE WALL

GENERAL NOTES:

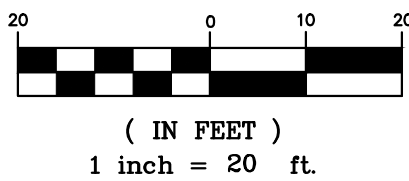
1. ALL BROKEN OR CRACKED CURB AND GUTTER OR VALLEY GUTTER MUST BE REMOVED AND REPLACED.




EXECUTIVE SUMMARY

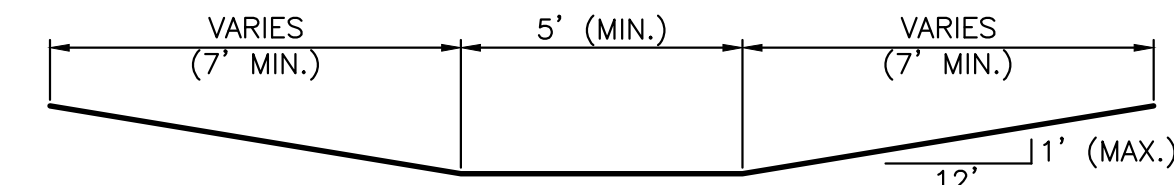
THE SITE IS LOCATED IN THE SOUTHEAST QUADRANT OF RAINBOW BOULEVARD N.W. AND UNIVERSE BOULEVARD N.W. THE IMPROVEMENTS ON THE 2.03 ACRE PROPERTY (ONE TRACT) ARE PROPOSED 105,075 SF BUILDING AND ALL OTHER SITE IMPROVEMENTS. ALL OTHER EXISTING IMPROVEMENTS WILL REMAIN AS IS. ACCESS TO THE SITE IS FROM ONE EXISTING ENTRANCE OFF RAINBOW BOULEVARD N.W.



GRAPHIC SCALE



ENGINEER'S SEAL	SAFstor RAINBOW ALBUQUERQUE, N.M.	DRAWN BY RMG
  10-24-2024		DATE 10/24/2024
	TRAFFIC CIRULATION PLAN	2024032_TCL
	RONALD R. BOHANNAN P.E. #7868	 <i>TERRA WEST, LLC</i> 5571 MIDWAY PARK PLACE, NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com
		JOB # 2024032

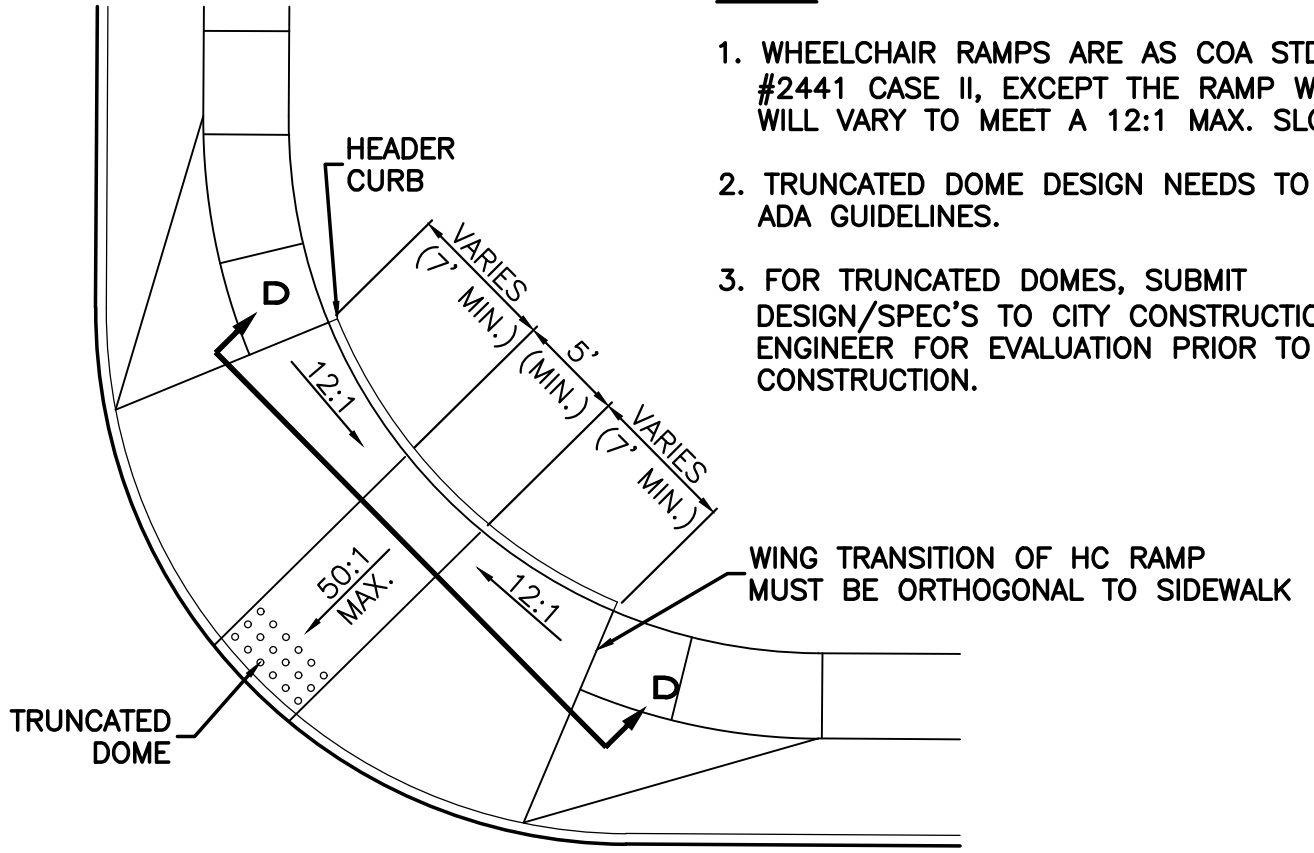


SECTION D-D

NTS

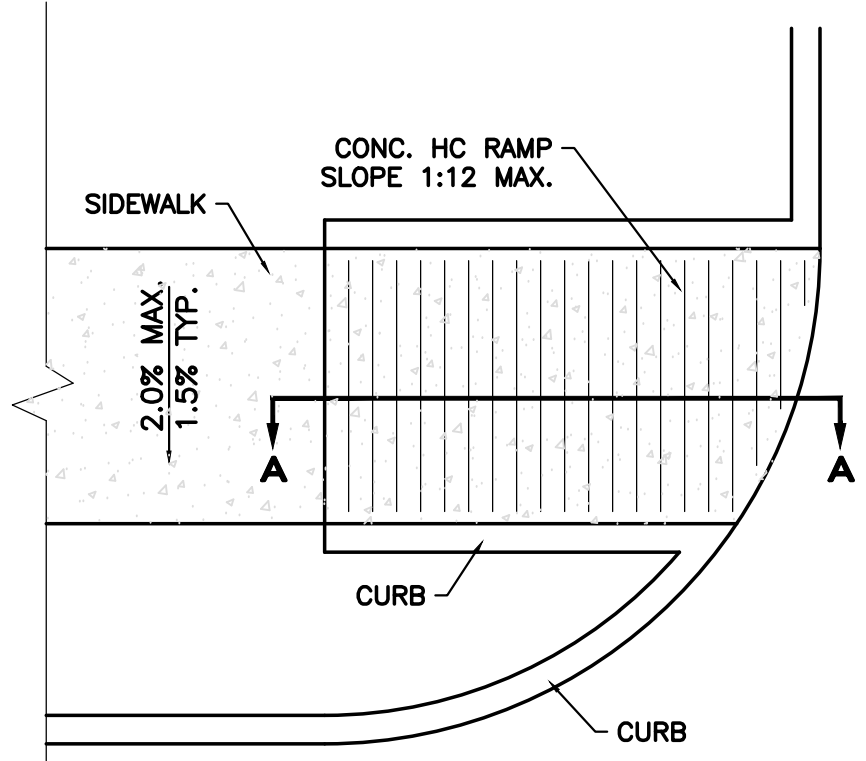
NOTES:

1. WHEELCHAIR RAMPS ARE AS COA STD DWG #2441 CASE II, EXCEPT THE RAMP WIDTH WILL VARY TO MEET A 12:1 MAX. SLOPE.
2. TRUNCATED DOME DESIGN NEEDS TO FOLLOW ADA GUIDELINES.
3. FOR TRUNCATED DOMES, SUBMIT DESIGN/SPEC'S TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.



WHEELCHAIR RAMP DETAIL (TYP.)

NTS

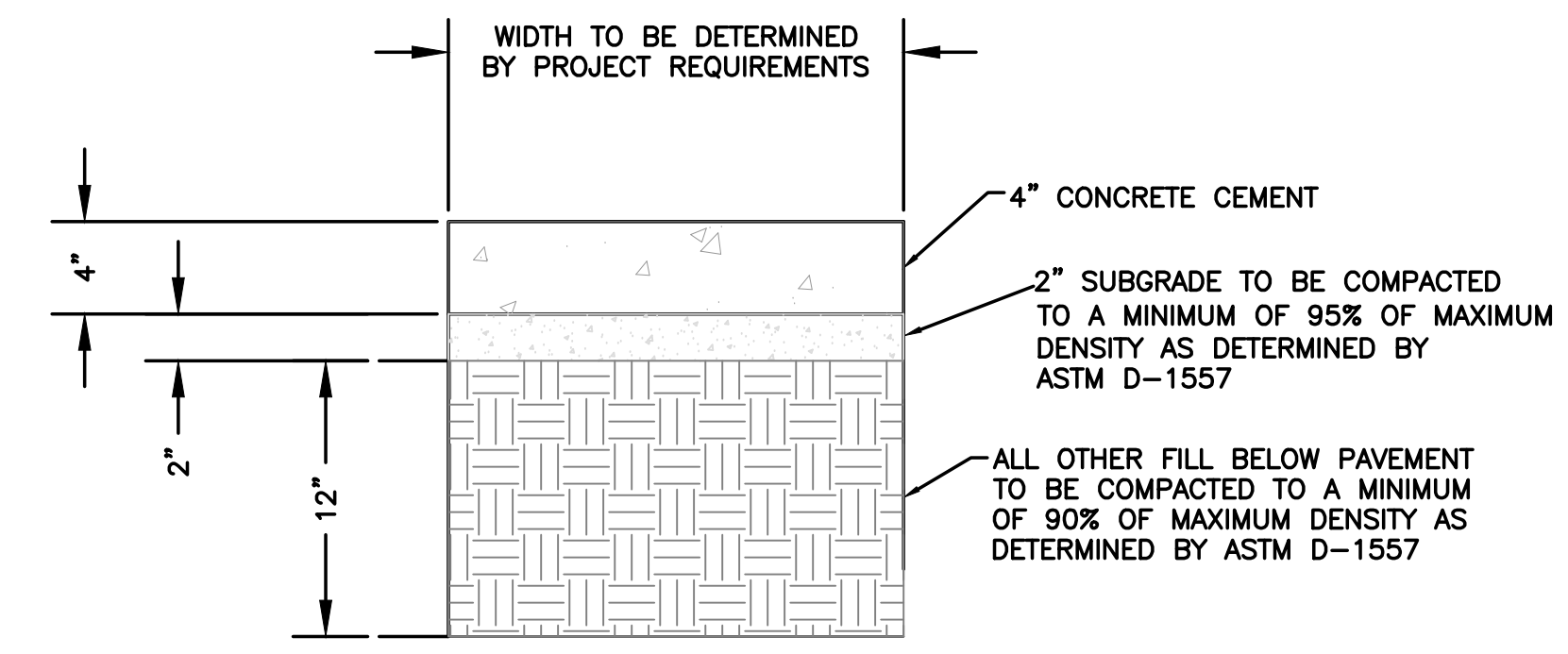


PLAN

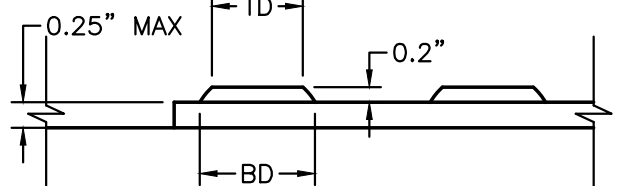
SECTION A-A

UNIDIRECTIONAL HC RAMP

SCALE: NTS

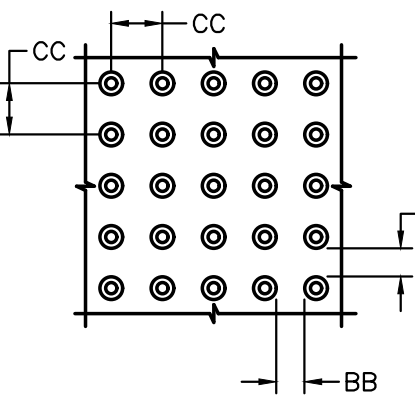


CONCRETE SIDEWALK SECTION



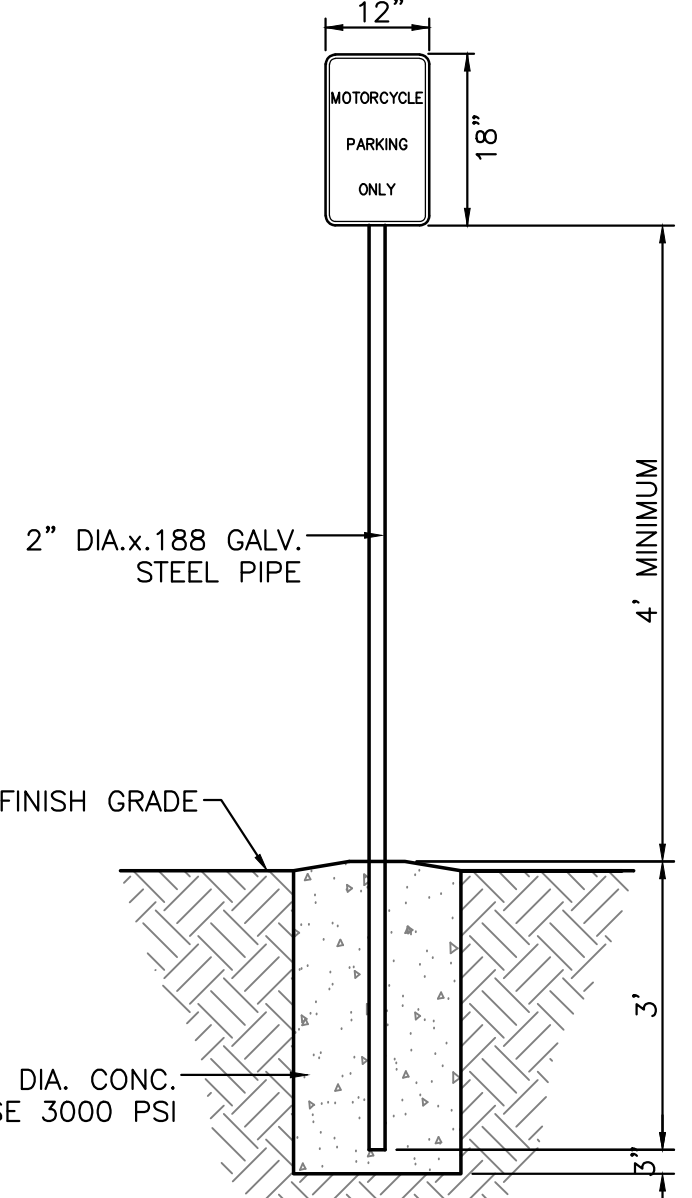
DOMES SECTION

BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



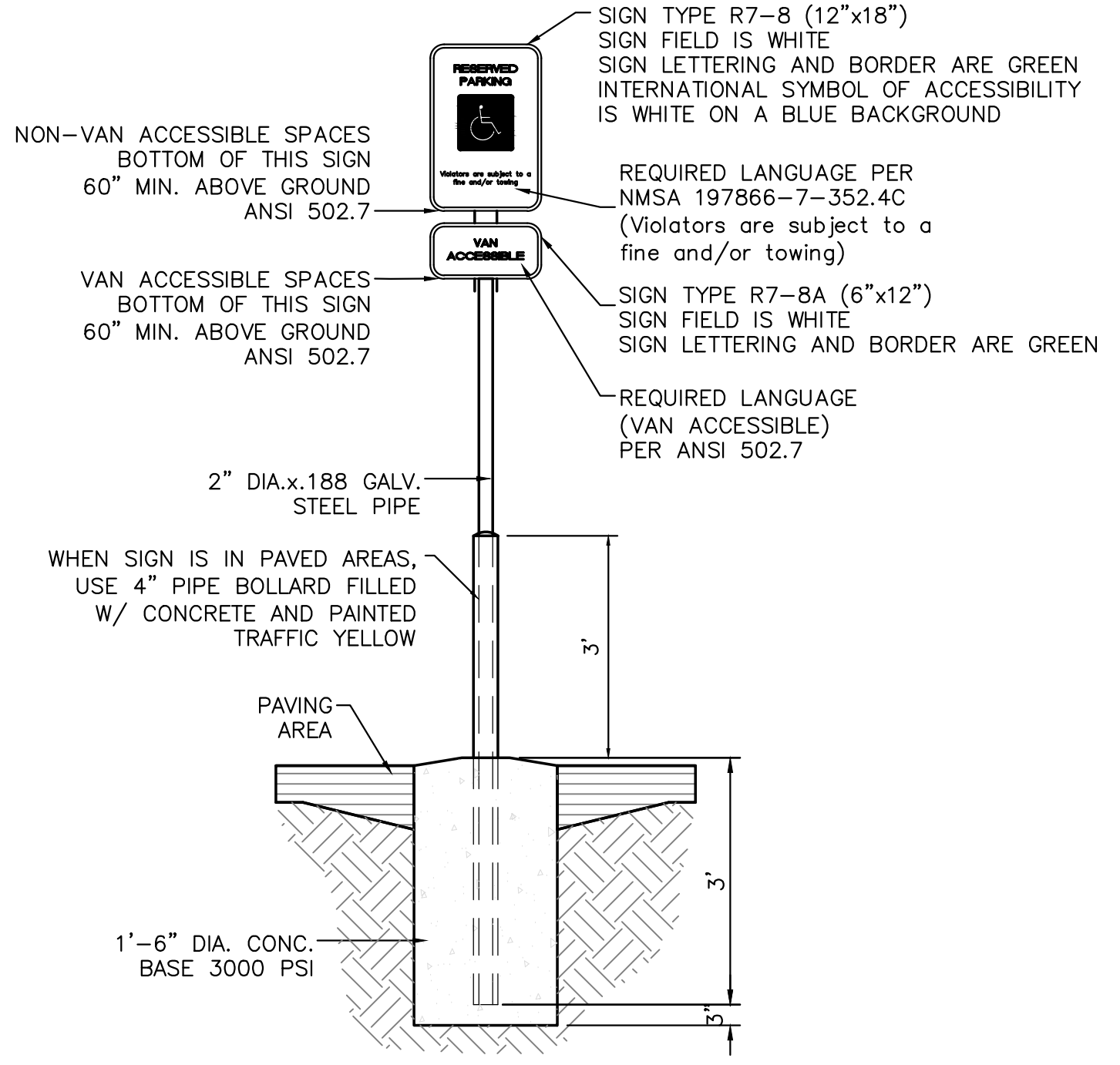
DOMES SPACING

CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



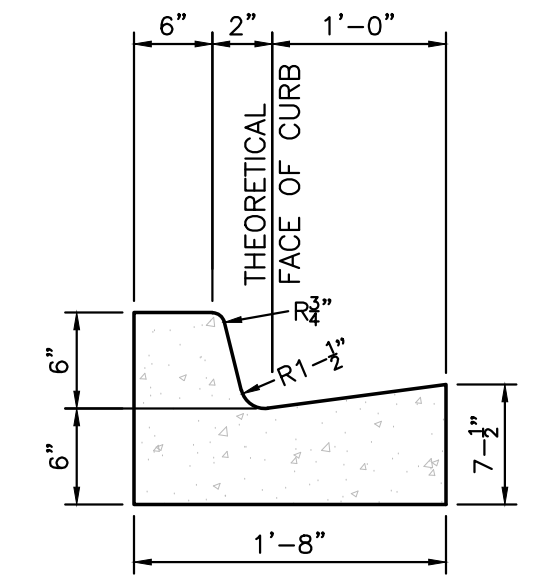
MOTORCYCLE PARKING SIGN

NTS



ACCESSIBLE PARKING SIGN

NTS

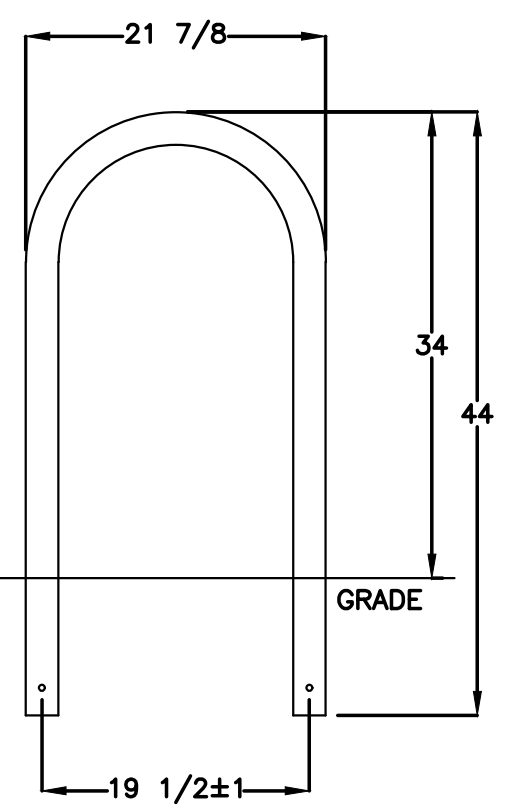


CURB GENERAL NOTES:

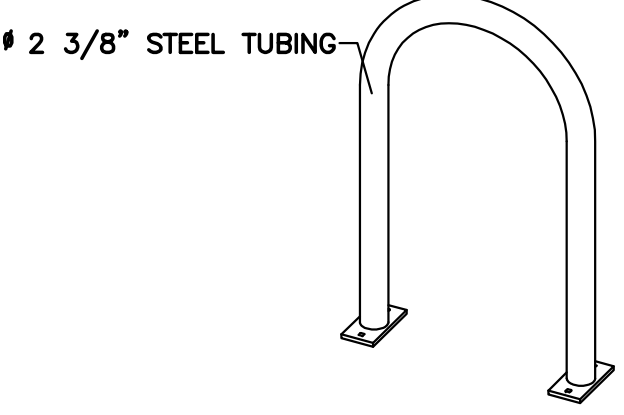
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADUIS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

6" PRIVATE CURB & GUTTER

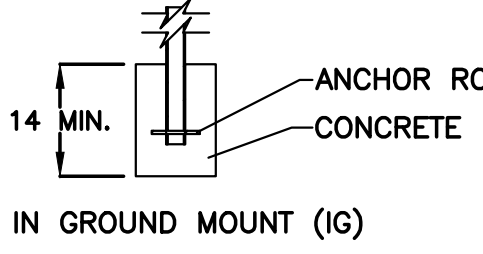
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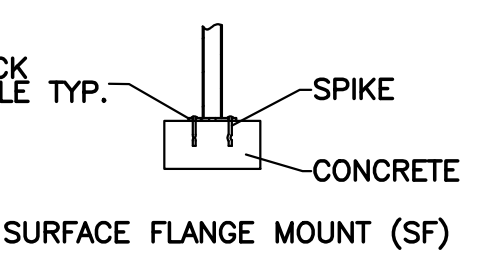
MADRIX DIVISION GRABER MANUFACTURING, INC. 1080 UNEX DRIVE WAUNAKEE, WI 53597 P(800) 448-7931, P(608) 849-1080, F(608) 849-1081 WWW.MADRIX.COM, E-MAIL: SALES@MADRIX.COM



CHECK DESIRED MOUNT



IN GROUND MOUNT (IG)



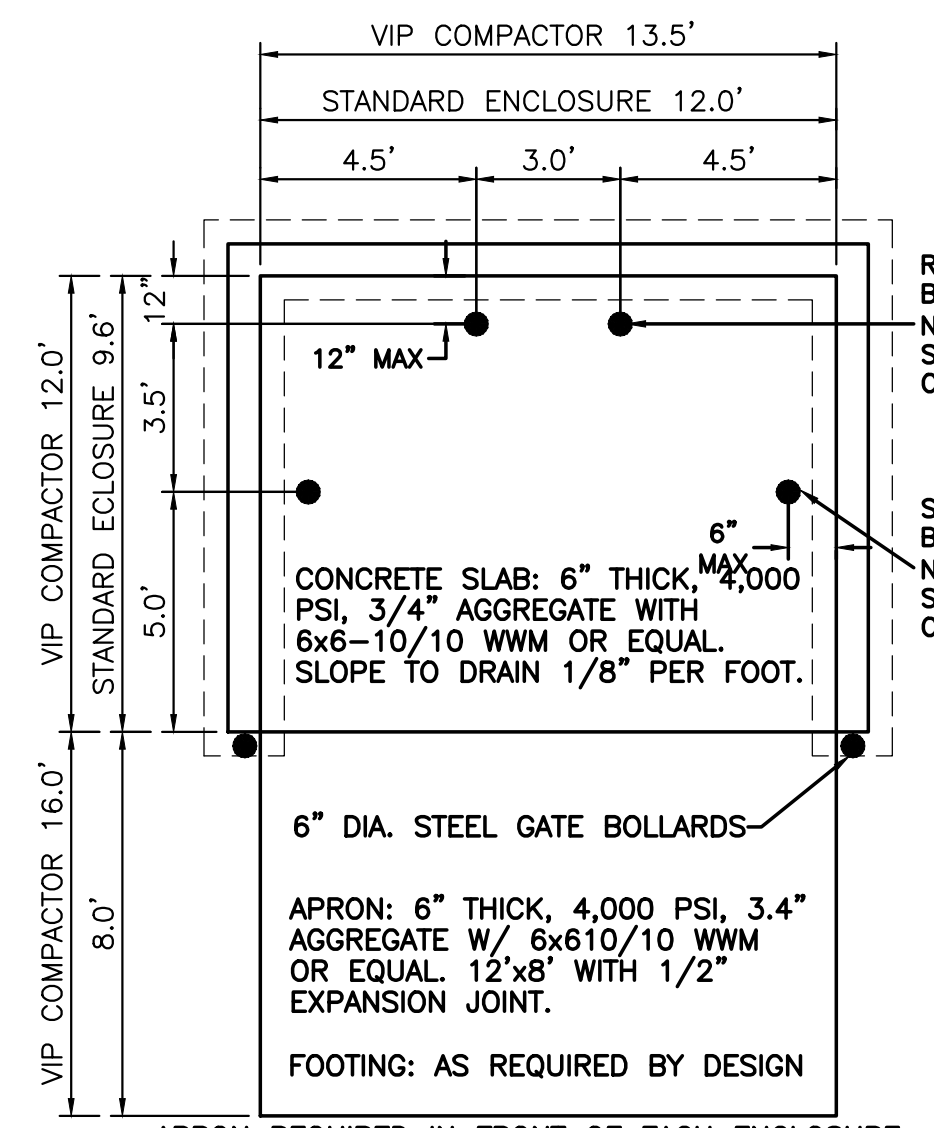
SURFACE FLANGE MOUNT (SF)

PRODUCT: U238-IG(SF) DESCRIPTION: 'U' BIKE RACK 2 BIKE, SURFACE OR IN GROUND MOUNT DATE: 10-4-18 ENG: SMC

NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR (FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

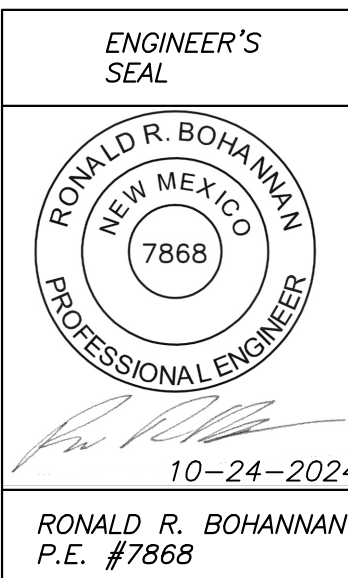
U-BIKE RACK



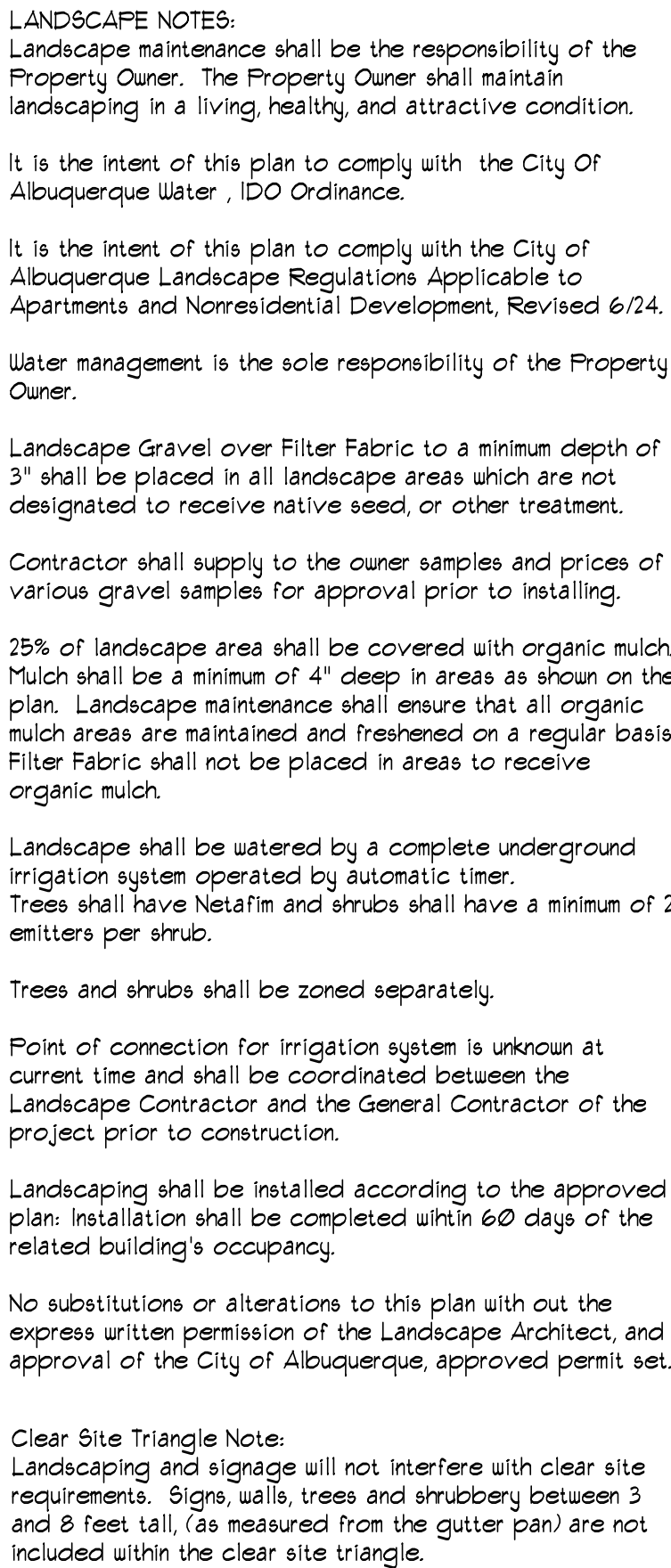
NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

DUMPSTER ENCLOSURE DETAIL












NTS



SAFStor RAINBOW ALBUQUERQUE, N.M.	DRAWN BY RMG
	DATE 10/24/2024
CONSTRUCTION DETAILS	2024032_DET
	SHEET # DET-1
 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2024032



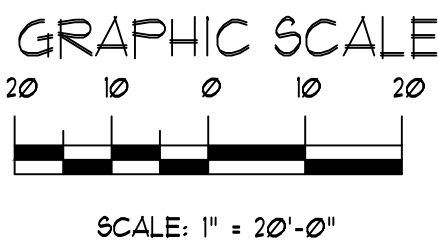
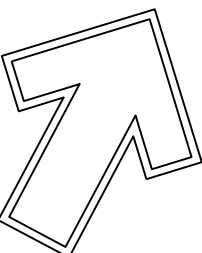
SYMBOL	SIZE	COMMON / BOTANICAL NAME	QTY	DIMS	COVERAGE	TOTAL COVERAGE
TREES						
	4'-6'	BLUE ARROW JUNIPER JUNIPERUS SCOPULORUM 'BLUE ARROW'	3	12'x4'	13	39
	2" CAL	EMORY OAK QUERCUS EMORYI	6	35'x35'	961	5766
	2" CAL	GAMBEL OAK QUERCUS GAMBELII	1	25'x25'	490	3430
	2" CAL	PAUL'S SCARLET ENGLISH HAWTHORN CRATAEGUS LAEVIGATA 'PAUL'S SCARLET'	5	20'x20'	314	1570
	4'-6'	PINYON PINE PINUS EDULIS	2	30'x20'	314	628
Total Trees			23			11433

	5 GAL	APACHE PLUME FALLUGIA PARADOXA	33	6'x5'	20	660
	5 GAL	BLUE MIST BLUEBEARD CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	12	3'x3'	7	84
	5 GAL	BUFFALO JUNIPER JUNIFERUS SABINA 'BUFFALO'	35	1'x8'	50	1750
	5 GAL	CHAMISA ERICAMERIA NAUSEOSA NAUSEOSA	19	5'x5'	20	380
	5 GAL	FERNBUSH CHAMAEBATIARIA MILLEFOLIUM	10	5'x6'	28	280
	5 GAL	GRO-LOW FRAGRANT SUMAC RHUS AROMATICA 'GRO-LOW'	6	3'x8'	50	300
	5 GAL	INDIAN Hawthorn RHAPHIOLEPIS INDICA	13	3'x5'	20	260
	5 GAL	PALM YUCCA YUCCA FAXONIANA	2	15'x6'	28	56
	5 GAL	RED YUCCA HESPERALOE PARVIFLORA	16	3'x3'	7	112
	5 GAL	WINTERGREEN BARBERRY BERBERIS JULIANAE	14	5'x5'	20	280
	5 GAL	YELLOW BIRD OF PARADISE CAESALPINIA GILLIESII	18	10'x10'	79	1422
Total Shrubs			178			5584

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	88,419
TOTAL BUILDING AREA (sf)	-34,911
TOTAL NET-LOT AREA (sf)	53,502
LANDSCAPE REQUIREMENT	X0.15
TOTAL LANDSCAPE REQUIRED (15%)	8,025
TOTAL ON-SITE LANDSCAPE PROVIDED	22,612
TREE CANOPIES AND GROUND-LEVEL PLANTS REQUIRED (15%/11,004)	11,004
TREE CANOPIES AND GROUND-LEVEL PLANTS PROVIDED	13,011
GROUND-LEVEL PLANTS REQUIRED	4,251
(75% of Required Vegetation Coverage)	
GROUND-LEVEL PLANTS PROVIDED	6,745

Organic Mulch (refer to IDO sheet)		
Note, Each Tree, min, 5' rad. 185	23 Trees x 185 sf =	1,206
See Tree Detail, a 5' radius of wood mulch is required around each tree w/out Filter Fabric		
Note, Each Shrub, min, 3' rad. 283	178 Shrubs x 283 sf =	5,037
Total Mulch Provided (area sf)		6,243
Total Mulch Required (area sf)		4,251

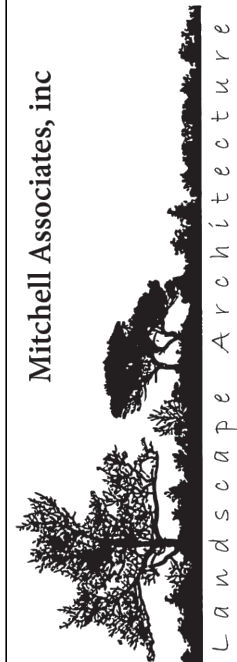


7520 RAINBOW BLVD. N.W.
ALBUQUERQUE, NM 87120

Landscape Plan

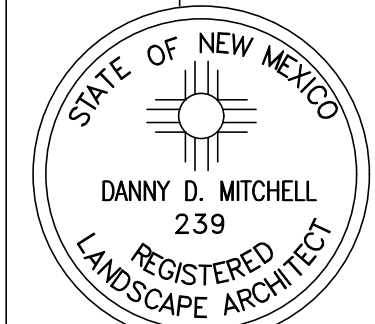
			REVISIONS
Designed By:		Date:	Comment
Drawn By:			
Approved By:	O. Mitchell		
Date:	2/10/2025		
NEW MEXICO ONE CALL STATEWIDE - 811 OR 1-800-321-ALERT (2537) www.nmonecall.org Call two working days before you dig.			
		File ID:	

Mitchell Associates, inc



Seal:

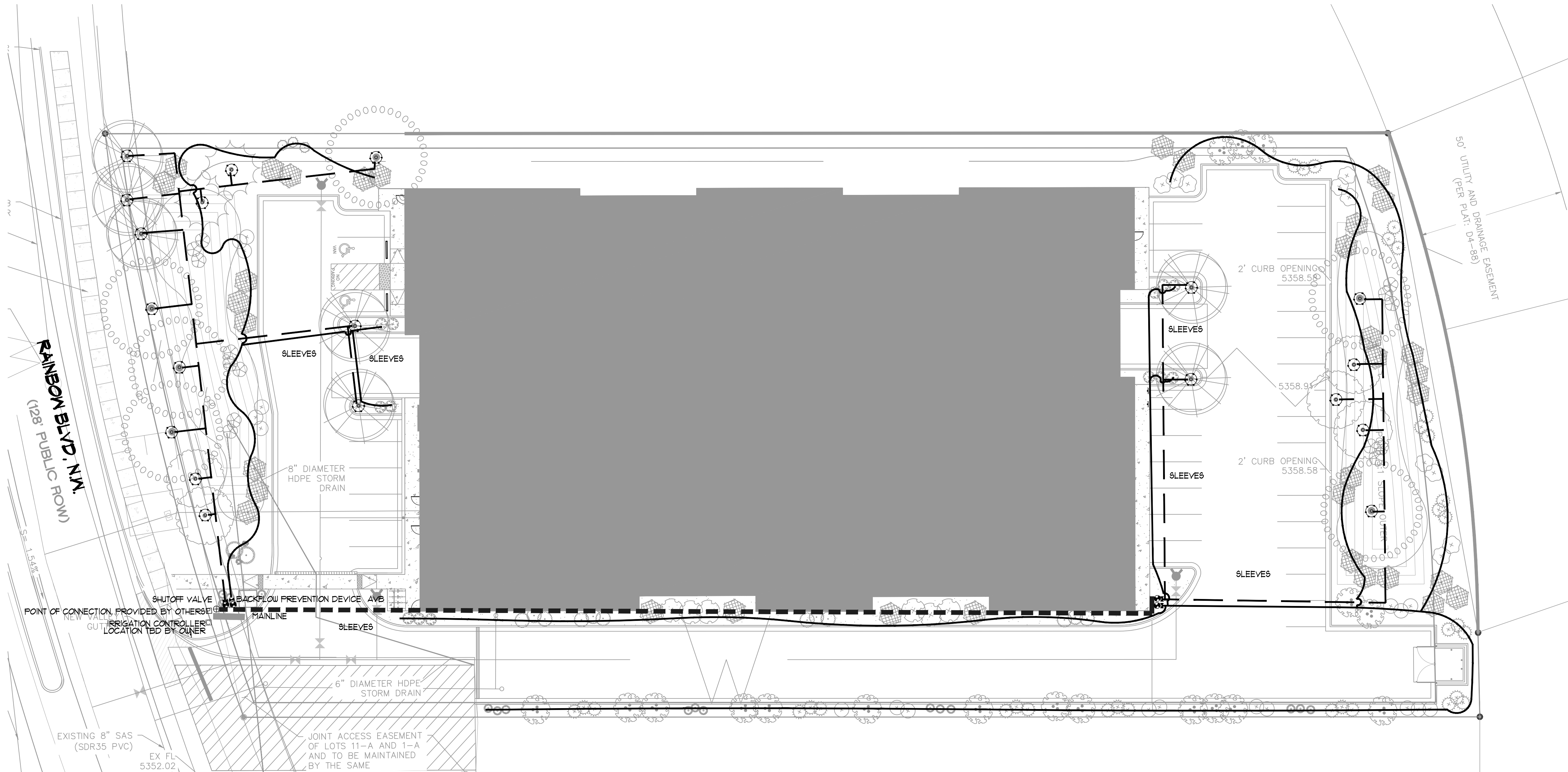
Landscape Architect



Feb, 11, 2025

Project NO: 2024-046

DRAWING NO: **LS-10'**



IRRIGATION LEGEND

COMPONENT	MANUFACTURER	SIZE / NOTES
POINT OF CONNECTION, PROVIDED BY OTHERS	SEE CIVIL PLANS	1"
IRRIGATION CONTROLLER	HUNTER	As Required
BACKFLOW PREVENTION DEVICE	FEBCO (OR EQUAL)	1" Cover, Provide Freeze Protection
MASTERYALVE ASSEMBLY	HUNTER	1"
MAINLINE	Sch 40 PVC	1"
ELECTRIC ZONE VALVE	HUNTER	1" with Pressure Regulation and Y Filter
SLEEVES	Class 200 PVC	2 SIZES LARGER THAN PIPE TO BE SLEEVED.
Drip Line, Tree Netatm Rings	Class 200 PVC	1"
Drip Line, Shrub Drip Emittor Line	Polyline	3/4"- 1"
Tree Drip Emittor	RAINBIRD	SEE DETAIL

Size Equipment as Required for Flow Rate

IRRIGATION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
- THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT AFFROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS, CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- ALL IRRIGATION SLEEVEING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVEING DETAIL.
- SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNER. BACKFLOW PREVENTOR TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER.

IRRIGATION NOTES:
Irrigation shall be a complete underground system.

Trees and shrubs shall be on separate valves.

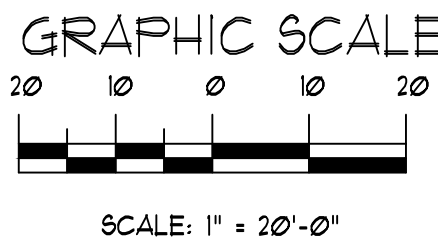
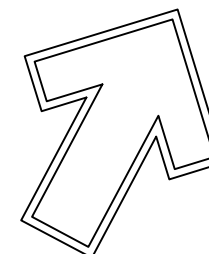
Point of connection for irrigation system shall be as indicated on the Utility Plan, Civil drawings. Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.

Irrigation will be operated by smart irrigation system automatic controller, capable of multi-programming ability.

Location of controller to be field determined and power source for controller to be provided by the owner.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source for irrigation system shall be the responsibility of the Property Owner.

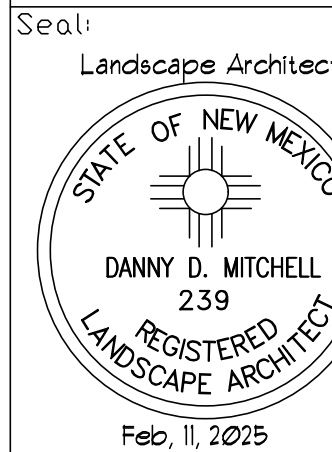
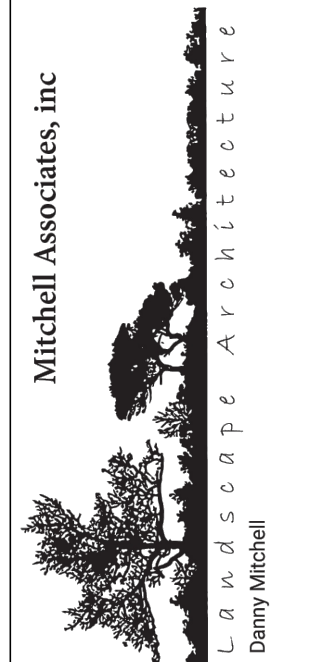


DESIGNED BY:	REVISIONS
Drawn By:	Date:
Approved By:	Date:
Date:	2/11/2025
NEW MEXICO ONE CALL	
1-800-521-ALERT (2537)	
www.nmonecall.org	
Call two working days before you dig.	
File ID:	

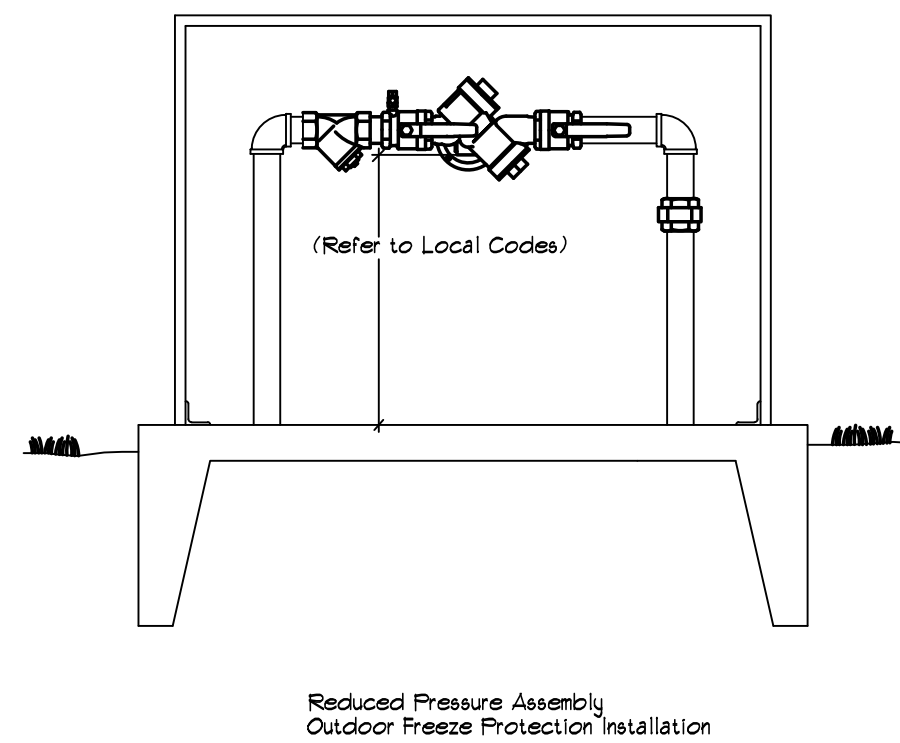
SAFstor

Irrigation Plan

7520 RAINBOW BLVD. N.W.
ALBUQUERQUE, NM 87120

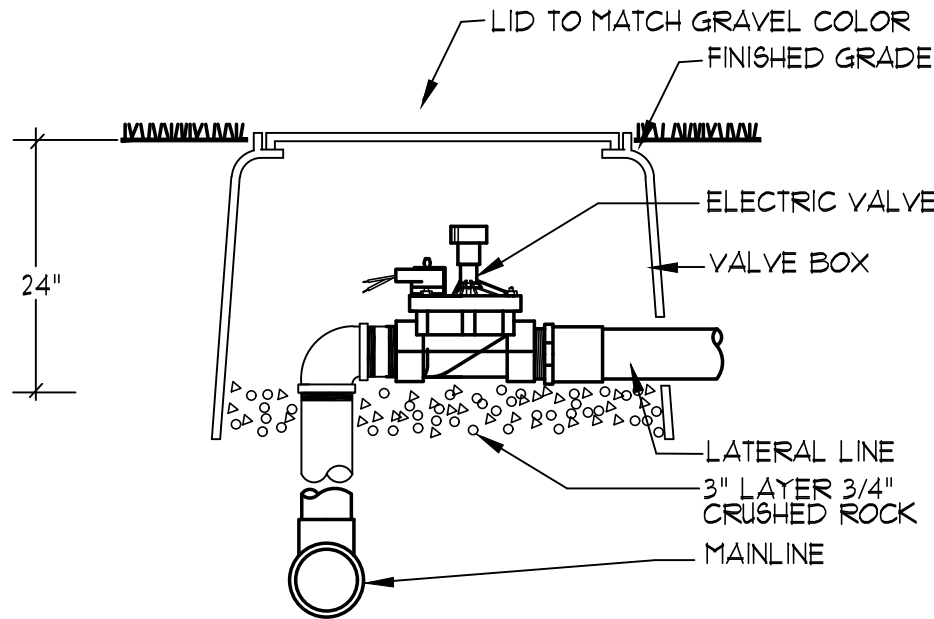


Project NO: 2024-046
DRAWING NO: **LS-102**



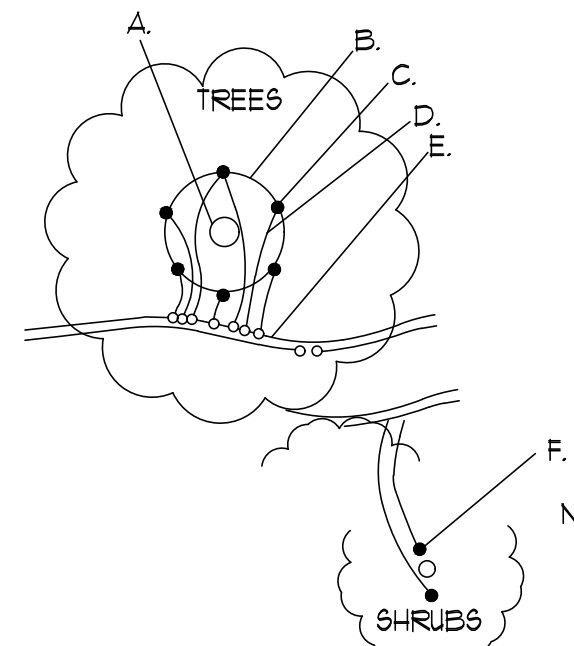
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N.T.S.



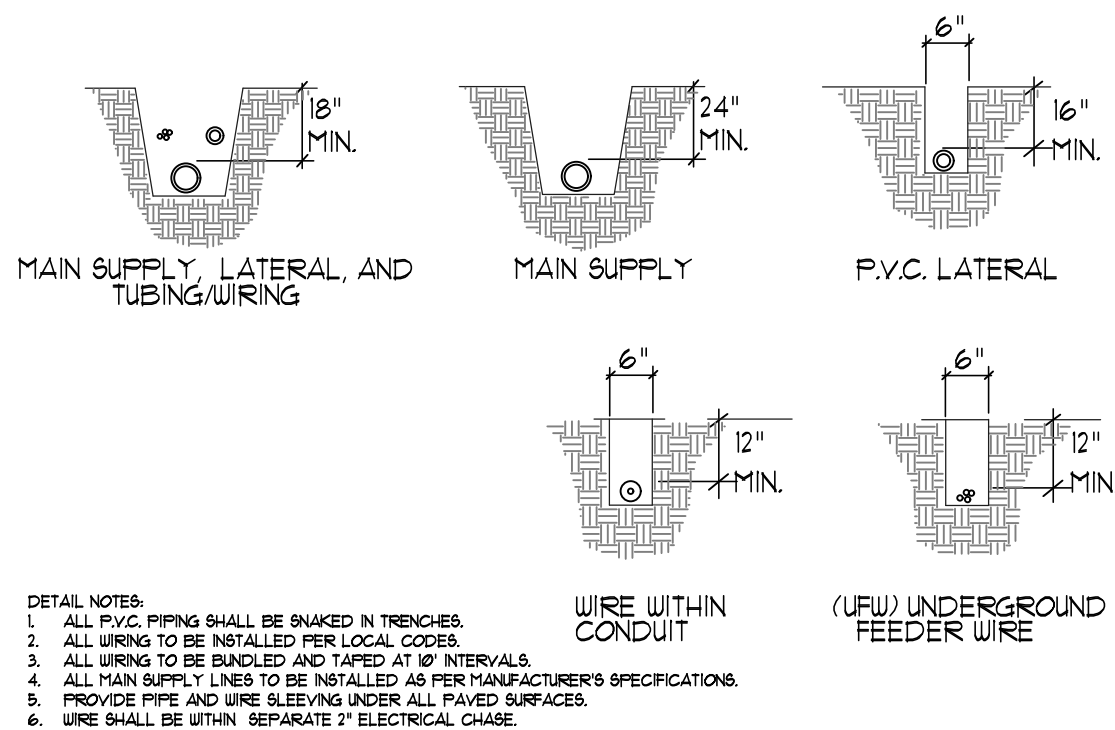
ELECTRIC VALVE ASSEMBLY

N.T.S.



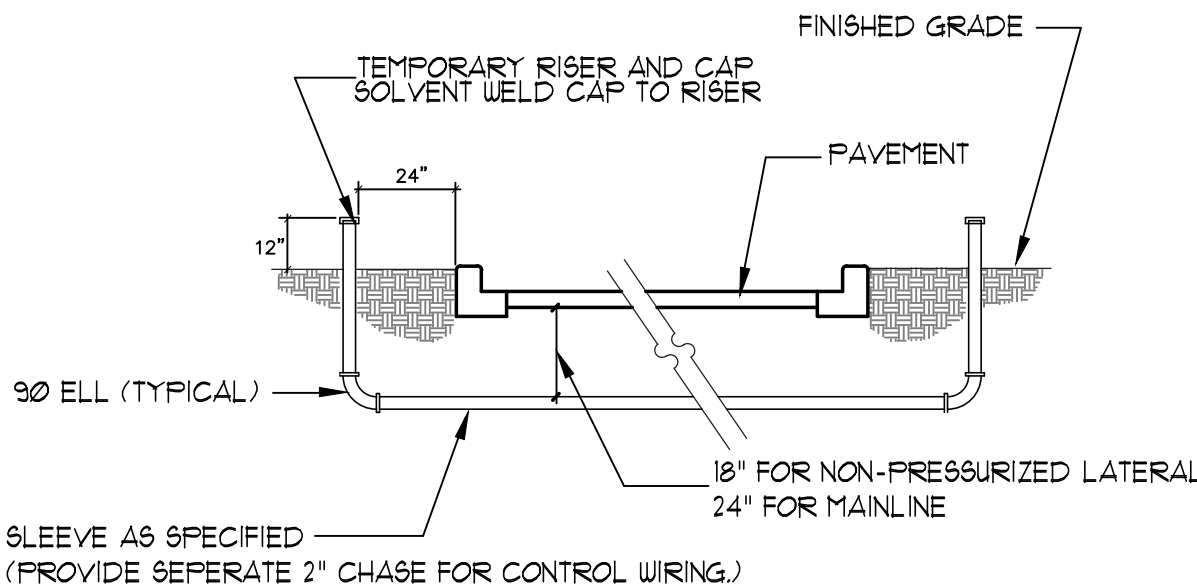
EMITTER PLACEMENT DETAIL

N.T.S.



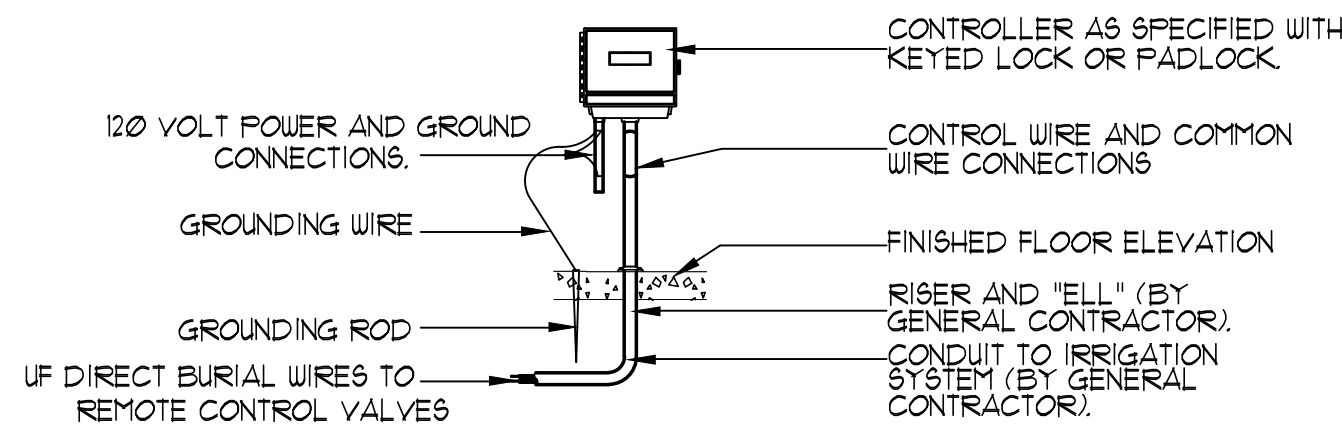
TRENCHING DETAIL

N.T.S.



SLEEVE INSTALLATION DETAIL

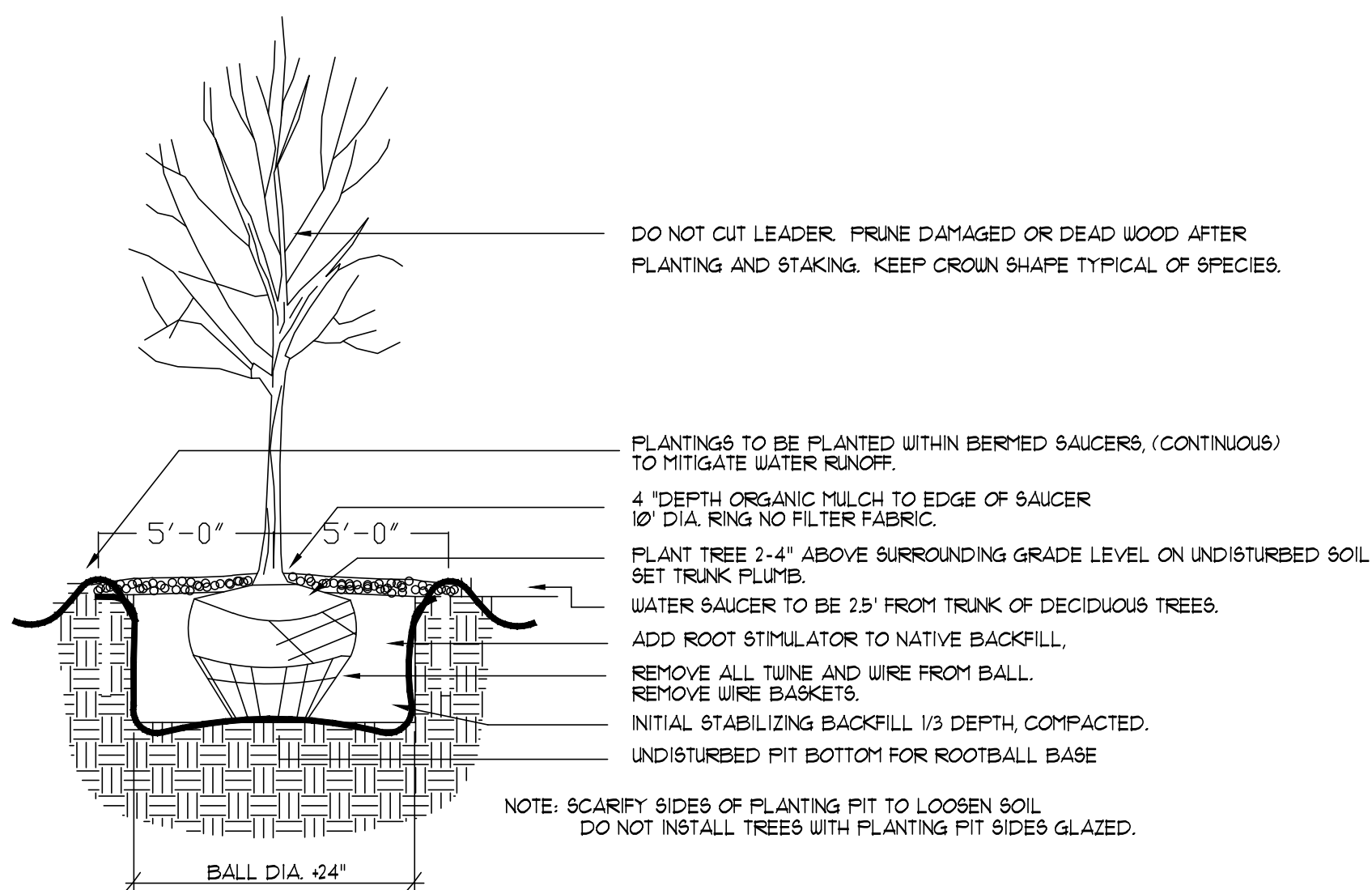
N.T.S.



- DETAIL NOTES:
1. ELECTRICAL POWER TO BE SUPPLIED BY OTHERS.
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
 3. SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER.
 4. CONTROLLER TO BE MOUNTED APPROXIMATELY 5'-0\"/>

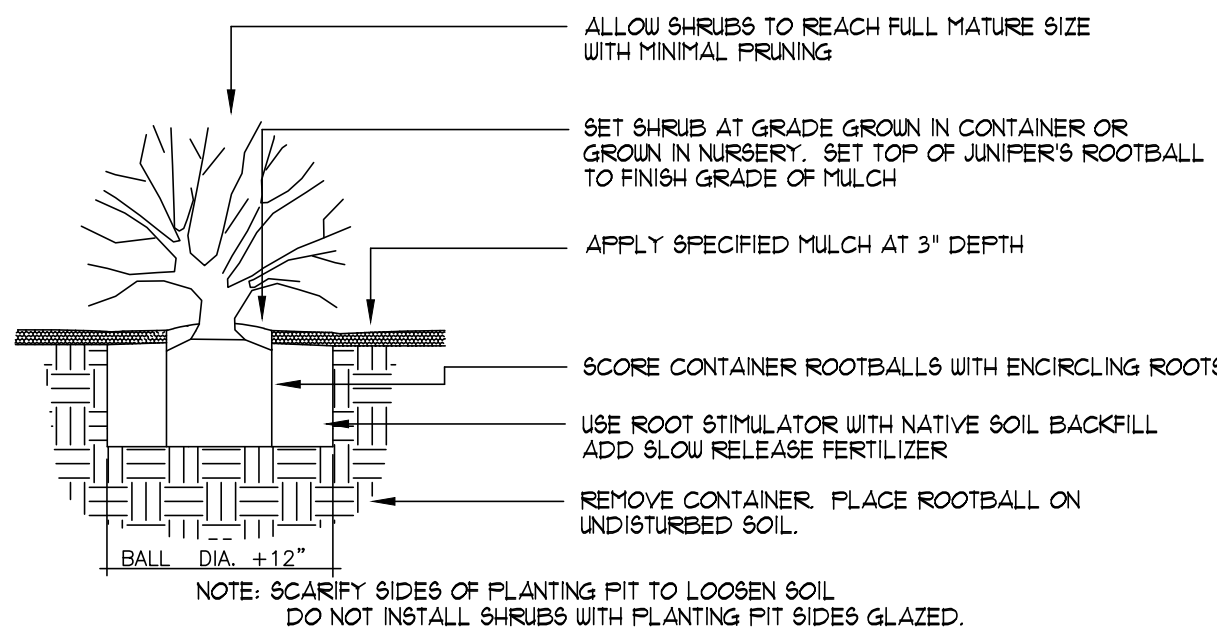
CONTROLLER DETAIL

N.T.S.



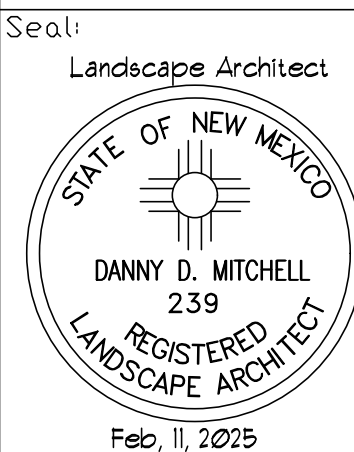
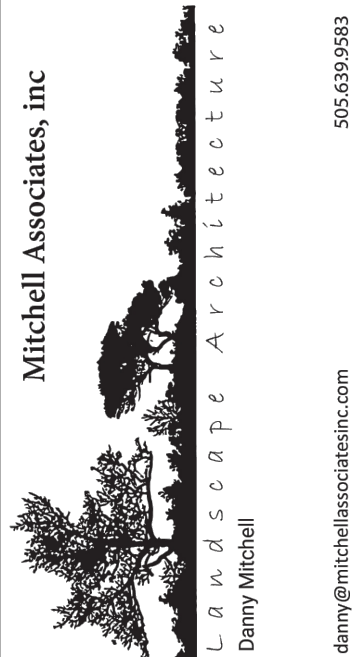
TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.



City of Albuquerque Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided for Reference

PURPOSE

This Section 14-16-5-6 regulates landscaping to ensure visually attractive, sustainable desert landscapes that aid in the creation of a quality public realm. The City recognizes landscape as a visual component to quality environments that enhance Albuquerque's overall appearance and provide other public benefit through:

- 5-6(A)(1) Providing visual relief from urbanization.
- 5-6(A)(2) Establishing a consistent, attractive streetscape that generates a sense of continuity and a strong, positive city image.
- 5-6(A)(3) Improving the aesthetic appearance of commercial, industrial, and multi-family residential development to protect and enhance public and private investments and property values.
- 5-6(A)(4) Ensuring the use of native and/or adapted, low water-use, or xeric species and regionally appropriate, sustainable design and maintenance techniques to conserve water resources.
- 5-6(A)(5) Contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscape should be designed to retain soil moisture, prevent erosion, encourage the growth of abutting plantings, and mitigate urban heat-island effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and glare.
- 5-6(A)(6) Providing screening of some types of facilities, structures, and equipment.
- 5-6(A)(7) Providing shade and comfort for pedestrians and visually narrowing streets, which has been shown to reduce vehicle speeding and encourage walking.

5-6(B). APPLICABILITY

5-6(B)(1) The provisions of this Section 14-16-5-6 shall apply to any of the following, unless specified otherwise this IDO:

- 5-6(B)(1)(a) Construction of a new building containing multi-family, mixed-use, or non-residential development or an accessory parking structure.
- 5-6(B)(1)(b) Construction of a new parking lot containing 25 or more spaces, or expansion of an existing parking lot by 25 spaces or more.
- 5-6(B)(1)(c) Expansion of the gross floor area of an existing building containing multi-family, mixed-use, or non-residential development by 2500 square feet, or more, or 25 percent, or more, whichever is less.
- 5-6(B)(1)(d) Renovation or redevelopment of an existing building containing multi-family, mixed-use, or non-residential development, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, indicated by building permits, is \$500,000 or more.
- 5-6(B)(2) In the case of walls provided for buffering or screening requirements with conflicting standards in this Section 14-16-5-6, Section 14-16-5-5 (Parking and

Loading), and Section 14-16-5-9 (Neighborhood Edges), the highest specified unit height allowance prevails.

5-6(B)(3) Requirements for walls provided to meet buffering and screening requirements prevail over minimum wall height regulations in Section 14-16-5-7 (Walls and Fences), but shall be subject to any other applicable material and design requirements in Subsection 14-16-5-7(E).

5-6(C). GENERAL LANDSCAPING STANDARDS

The following standards apply to all landscaping, screening, or buffering required by this Section 14-16-5-6:

5-6(C)(1) Landscape Plan Required

A landscape plan with designed landscape areas shall be submitted as a part of all development applications where landscaping, buffering, or screening is required, unless the relevant decision-making body determines that compliance with the provisions of this Section 14-16-5-6 can be demonstrated without the use of a landscape plan. A landscape plan may be combined with other required application materials if compliance with this Section 14-16-5-6 can be demonstrated without the use of such materials. Landscaping shall be maintained pursuant to the requirements of Subsection 14-16-5-13(B)(6).

5-6(C)(2) Minimum Landscape Area

5-6(C)(2)(a) Except as noted in Subsection (b) below, a minimum of 75 percent of the lot area of each development shall contain landscaping.

5-6(C)(2)(b) In DT-UC-MF-Rt areas, a minimum of 10 percent of the net lot area of each development shall contain landscaping. In these areas, landscaping required to meet this requirement need not be at ground level. (See figure below.)

5-6(C)(2)(c) The native resiliant spread of trees and shrubs will be used to calculate required vegetative coverage as follows:

1. Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscape area as measured by canopy width or the area beneath the drip-line of the mature tree.
2. size of the actual vegetation. Of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the mature size of the actual vegetation. (See figure below.)

5-6(C)(2)(d) See also Subsections 14-16-5-6(D) (Street Frontage Landscaping), 14-16-5-6(E) (Edge Buffer Landscaping), and 14-16-5-6(F) (Parking Lot Landscaping) for additional landscaping requirements.

5-6(C)(3) Overlapping Requirements

5-6(C)(3)(a) If areas required to be landscaped by 2 or more provisions of this Section 14-16-5-6 overlap each other, the provision requiring the greater amount of landscaping shall apply, and landscaping provided that meets the greater requirement shall count toward fulfilling the overlapping requirements.

1. See Subsection 14-16-5-6(C)(2) (Existing Vegetation Credit).

2. See Subsection 14-16-5-6(C)(3) (Stormwater Management Features).
3. See Subsection 14-16-5-6(D) (Street Frontage Landscaping).
4. See Subsection 14-16-5-6(E) (Edge Buffer Landscaping).
5. See Subsection 14-16-5-6(F) (Parking Lot Landscaping).

5-6(C)(3)(b) Landscaped areas may count toward satisfying usable open space requirements specified for Residential zone districts in Table 5-1-1 and for Mixed-use zone districts in Table 5-1-2.

5-6(C)(3)(c) Gardens and community gardens provided may count toward satisfying the requirements of Subsection 14-16-5-6(C)(2) (Minimum Landscape Area).

5-6(C)(3)(d) Any landscaping provided to meet requirements in Subsection 14-16-5-21 (Major Arroyo Standards) may count toward any required landscaping in this Section 14-16-5-6 but shall be subject to Subsection 14-16-5-6(C) (General Landscaping Standards).

5-6(C)(3)(e) Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-16-5-11(E)(3) (Outdoor Seating and Gathering Areas) may count toward up to 1/3 of required landscaping in Section 14-16-5-6 but shall be subject to standards in Subsection 14-16-5-6(C) (General Landscaping Standards).

5-6(C)(4) Required Plant Materials and Site Amenities

5-6(C)(4)(a) A minimum of 5 species must be used in the landscaped area.

5-6(C)(4)(b) Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on the vegetative electric facilities.

5-6(C)(4)(c) All screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crews and public during maintenance and repair.

5-6(C)(4)(d) If overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.

5-6(C)(4)(e) All screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crews and public during maintenance and repair.

5-6(C)(4)(f) Trees shall not be planted near existing or proposed street light poles.

5-6(C)(4)(g) Standards in the DPM may apply to tree planting in or near other utility easements, such as gas lines.

5-6(C)(5) Parking on Landscaped Areas Prohibited

Parking of automobiles, trucks, trailers, boats, recreational vehicles, or other motor vehicles is prohibited on any required landscape or buffer area.

5-6(C)(6) Existing Vegetation Credit

5-6(C)(6)(a) If existing non-prohibited vegetation meets the location requirements and intent of landscaping, buffering, or screening required by this Section 14-16-5-6, that existing vegetation may be credited toward any landscaping, buffering, or screening requirements in this Section 14-16-5-6.

5-6(C)(6)(b) All existing vegetation preserved and used for credit against the requirements for new vegetation shall be protected during construction by a fence erected one foot beyond the drip line of the vegetation.

5-6(C)(6)(c) Trees may be credited only 1 time toward any one buffer, screen, or other landscape requirement.

5-6(C)(6)(d) Trees shall be credited in accordance with Table 5-6-2.

least 3 feet in any direction from any impermeable hard surface. (A buffer using organic mulch can be used when planting cool season grass adjacent to impermeable surface.)

5-6(C)(4)(e) Landscaping abutting arroyos shall consist of native plants that are included on the Official Albuquerque Plant Palette.

5-6(C)(4)(f) Artificial turf/grass shall not be counted as living vegetative material or to meet the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards).

5-6(C)(4)(g) All vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6-6-2 of ROA 1994 (Police Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.

5-6(C)(4)(h) All required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ANSI) of the American Nursery and Landscape Association.

5-6(C)(4)(i) Shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or, where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided.

5-6(C)(4)(j) In DT-UC-MF areas, landscaped areas other than street frontage shall include pedestrian furniture, pedestrian amenities, or trash receptacles to encourage pedestrian use.

5-6(C)(4)(k) See also Subsection 14-16-5-6(D) (Street Frontage Landscaping) for additional landscaping requirements.

5-6(C)(5) Soil Condition and Planting Beds

5-6(C)(5)(a) All vegetated material required by this Section 14-16-5-6 shall be planted in uncompacted soil.

5-6(C)(5)(b) If used, weed barriers shall be permeable to optimize stormwater infiltration and prevent erosion.

5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area, or 50 percent in DT-UC-MF areas.

5-6(C)(5)(d) A minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended.

5-6(C)(5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited.

5-6(C)(5)(f) All landscaped areas shall be protected from vehicular encroachment by curbs or wheel stops located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated areas, and stormwater infiltration areas.

5-6(C)(6) Minimum Plant Sizes at Installation

All vegetation required by this Section 14-16-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO.

Table 5-6-1: Minimum Plant Sizes	
Plant Material Type (ANSI types)	Minimum size
Deciduous Accent Trees	1.5 in. caliper or 1 in. above grade or 6 ft. in height
Evergreen Tree	6 ft. in height
Multi-trunk Tree	Minimum 2 trunks with a combined caliper of 2 in.
Shrubs	1 gallon container size
Ground cover and turf	Adequate to meet minimum ground cover with 1/3 growing season after planting

5-6(C)(7) Plant Material Spacing

5-6(C)(7)(a) vegetation required by this Section 14-16-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections.

5-6(C)(7)(b) Where tree planting requirements are based on the length of the street frontage areas occupied by driveways and drive aisles shall be determined when calculating the number of trees required to be planted and all trees that would otherwise be required in driveways or drive aisles shall be planted in other landscaped front yard areas.

5-6(C)(7)(c) The Planning Director may authorize adjustments to any spacing requirements when required to meet the needs of the City or to avoid obstructions, provided that the total amount of required landscape is not reduced.

5-6(C)(8) Protecting Clear Sight Triangle

The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

5-6(C)(9) Planting in or over the Public Right-of-way

5-6(C)(9)(a) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repair, or liability for all the landscaping placed in or over the public right-of-way.

5-6(C)(9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8 foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 3 foot clearance over the street surface.

5-6(C)(9)(c) Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip Irrigation systems and artificial irrigation turf shall not be allowed within the public right-of-way.

5-6(C)(10) Planting near Utilities

5-6(C)(10)(a) Trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced.

5-6(C)(10)(b) Trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line.

5-6(C)(10)(c) Trees or shrubs planted within utility easements shall comply with the standards of the utility provider to minimize effects on facilities maintenance and repair.

5-6(C)(10)(d) If overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.

5-6(C)(10)(e) All screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crews and public during maintenance and repair.

5-6(C)(10)(f) Trees shall not be planted near existing or proposed street light poles.

5-6(C)(10)(g) Standards in the DPM may apply to tree planting in or near other utility easements, such as gas lines.

5-6(C)(11) Parking on Landscaped Areas Prohibited

Parking of automobiles, trucks, trailers, boats, recreational vehicles, or other motor vehicles is prohibited on any required landscape or buffer area.

5-6(C)(12) Existing Vegetation Credit

5-6(C)(12)(a) If existing non-prohibited vegetation meets the location requirements and intent of landscaping, buffering, or screening required by this Section 14-16-5-6, that existing vegetation may be credited toward any landscaping, buffering, or screening requirements in this Section 14-16-5-6.

5-6(C)(12)(b) All existing vegetation preserved and used for credit against the requirements for new vegetation shall be protected during construction by a fence erected one foot beyond the drip line of the vegetation.

5-6(C)(12)(c) Trees may be credited only 1 time toward any one buffer, screen, or other landscape requirement.

5-6(C)(12)(d) Trees shall be credited in accordance with Table 5-6-2.

Table 5-6-2: Credits for Preserving Trees	
Diameter at Breast Height (in.)	Number of Trees Credited
>25	8
>13 and <25	6
>8 and <13	4
>4 and <8	2
<4	1

[1] Prohibited trees are those that do not appear on the Official Albuquerque Plant Palette and may appear on the City or State list of prohibited or invasive species.

5-6(C)(13) Stormwater Management Features

5-6(C)(13)(a) Required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation.

5-6(C)(13)(b) Required landscape and buffer areas shall be designed pursuant to the DPM and the City Standard Specifications for Public Works Construction.

5-6(C)(13)(c) In the R-ML, R-MH, Mixed-use, and NR-SU zone districts, and on lots containing multi-family dwellings or non-residential development in the R-A, R-1, R-1C, and R-1 zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collection areas that are located in landscape areas and that meet all applicable standards in the DPM.

5-6(C)(13)(d) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear lot and buffer or in a parking lot, shall be counted toward required landscaping and buffering in those areas, provided that the area includes vegetation required by this Section 14-16-5-6.

5-6(C)(13)(e) Where pedestrian walkways and multi-use trails cross required landscape areas, permeable paving may be used and may count toward satisfying the requirements of Subsection 14-16-5-6(C)(2) (Minimum Landscape Area).

5-6(C)(14) Irrigation Systems

5-6(C)(14)(a) Irrigation systems shall comply with Section 8 of the ABCWA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).

5-6(C)(14)(b) All irrigation systems shall be designed to minimize the use of water.

5-6(C)(14)(c) All non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.

5-6(C)(14)(d) The irrigation system shall not spray or irrigate impervious surfaces including sidewalks, driveways, drive aisles, streets, and parking and loading areas.

5-6(C)(15) Installation

5-6(C)(15)(a) All landscaping material used to meet the requirements of this Section 14-16-5-6 shall be installed in accordance with the planting procedures established by the American Nursery and Landscape Association.

5-6(C)(15)(b) All required landscaping, street trees, screening, and buffering shall be installed prior to the issuance of a final certificate of occupancy. If there is more than one primary building on the site, the landscaping, screening, and buffering required to each building

shall be installed prior to the issuance of a final certificate of occupancy.

5-6(C)(15)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation, doubling private properties are the property of the City and that a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of plant material that has been approved by the applicable public utility as part of a plan for landscaping, screening, or buffering, or the installation of a public right-of-way shall be the responsibility of such public utility. If a public utility disturbs landscaping, screening, or buffering in a public right-of-way, private way, or easement, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If the plant materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials.

5-6(C)(16) Property owners acknowledge that approved landscaping and trees installed and maintained in a public right-of-way, private way, or easement, doubling private properties are the property of the City and that the City reserves the right to remove them if necessary for a transportation project without compensation, but at no cost to the property owner. Landscaping installed in an abutting public right-of-way, private way, or easement by property owners and later removed by the City shall not impact previously approved net lot area calculations for required landscaping.

5-6(C)(16) Alternative Landscape Plans

The Planning Director may approve alternative landscape plans that do not meet the specific requirements stated in this Section 14-16-5-6 if the Planning Director determines that the alternatives meet all of the following criteria:

5-6(C)(16)(a) Are consistent with the purposes of this Section 14-16-5-6.

5-6(C)(16)(b) Do not include invasive vegetation included in a City or State list of prohibited or invasive species or listed as a noxious weed in the City's Weed Identification Handbook.

5-6(C)(16)(c) Do not include a reduction of tree planting requirements.

5-6(C)(16)(d) Provide equal or superior buffering or adjacent properties from anticipated impacts of the proposed development.

5-6(C)(16)(e) Provide equal or superior visual appearance of the property when viewed from the street.

5-6(C)(16)(f) Provide equal or superior carbon dioxide absorption and heat island reductions.

5-6(D) STREET FRONTAGE LANDSCAPING

5-6(D)(1) Required Street Trees

5-6(D)(1)(a) All development shall comply with Part 6-6-2 of ROA 1994 (Street Trees) and any standards developed by the Parks and Recreation Department or other City department to implement that Ordinance. Trees are generally required along street frontages every 25 feet on center unless specified otherwise in Part 6-6-2 of ROA 1994 (Street Trees). Along street frontages where street trees are required, trees that are planted within 20 feet of the back of curb of the abutting street may fulfill this requirement.

5-6(D)(1)(b) Only trees selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(D) (Street Frontage Landscaping), except that existing trees that are 6 in. caliper or larger may count toward street tree requirements, regardless of whether they appear on one of those lists.

5-6(D)(1)(c) Planting areas necessary for trees in the street frontage shall meet the minimum size requirements in Table 5-6-3 unless specified otherwise in this IDO. Tree grades may be used in constrained locations to meet the minimum size requirements for planting, to allow the required planting areas to have a suitable surface.

Table 5-6-3: Minimum Planting Area by Tree Height at Maturity	
Tree Height at Maturity (ft.)	Minimum Planting Area (ft.)
0-20	4 x 4
20-30	6 x 6
>30	8 x 8

5-6(D)(2) Additional Frontage Landscaping

5-6(D)(2)(a) General For buildings with a footprint of more than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(b) Downtown, Urban Centers, and Main Street and Premium Transit Areas Fifty (50) percent of any front setback area not used for pedestrian access to the building or improved with pedestrian furniture and amenities shall be landscaped, and no part of the front setback area surface shall be asphalt.

5-6(E) EDGE BUFFER LANDSCAPING

5-6(E)(1) General Requirements

5-6(E)(1)(a) Landscaped edge buffers and/or edge buffer walls are required between properties to mitigate the impacts of significant differences in property use, size, or scale through standards specified in Subsections (2) through (5) below.

5-6(E)(1)(b) A landscaped edge buffer is required and a wall is required or will be provided, the wall shall be provided on the property line between the two properties unless specified otherwise in this IDO.

5-6(E)(1)(c) Required edge buffering is not required to be installed along any portion of the lot line covered by an access easement between adjacent lots but an equivalent amount of landscaping shall be installed on remaining portions of the side or rear lot line, as applicable.

5-6(E)(1)(d) For the purposes of this Subsection 14-16-5-6(E), "industrial development" refers to the zone districts and uses indicated in Subsection 14-16-5-6(E)(4)(a) (Industrial Development Adjacent to Non-Industrial Development).

5-6(E)(1)(e) Additional buffering may be required for specific uses, pursuant to any use-specific Standards for those uses in Section 14-16-4-3 or Neighborhood Edge Standards in Section 14-16-5-3.

Table 5-6-4: Edge Buffer – Development Area Summary ⁽¹⁾	
Development Type	Specific Standards
Industrial	14-16-5-6(E)(4)
Non-industrial development	14-16-5-6(E)(4)
Multi-family	14-16-5-6(E)(4)
Mixed-use or other non-residential	14-16-5-6(E)(4)
Multi-family, mixed-use, or other non-residential	14-16-5-6(E)(4)

[1] See Subsections 14-16-5-6(E)(4)(a), 14-16-5-6(E)(4)(b), and 14-16-5-6(E)(4)(c) for complete edge buffer standards.

5-6(E)(2) Development Next to Low-Density Residential Zone Districts

Where multi-family, mixed-use, or non-residential development other than industrial development occurs on a lot abutting or across an alley from a lot containing low-density residential development in an R-A, R-1, R-MC, R-1, or R-ML zone district, a buffer shall be provided along the lot line, as specified in Table 5-6-4 and for the relevant area below.

5-6(E)(2)(a) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If no wall is provided or exists, 1 tree at least 6 feet tall at the time of planting and at least 25 feet tall at maturity and 3 shrubs shall be provided for every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts.

5-6(E)(2)(b) Downtown, Urban Centers, and Main Street and Premium Transit Areas

1. A landscaped edge buffer area at least 6 feet wide shall be provided. For buildings over 30 feet in height, the edge buffer area shall be at least 10 feet wide.
2. An opaque wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and all of the following requirements shall be met:
 - a. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
 - b. The side facing the low-density residential development shall be at least as finished in appearance as the side facing the multi-family, mixed-use, or non-residential development.
 - c. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(c) Development Next to a Multi-Family Residential Zone District

Where mixed-use or non-residential development occurs other than industrial development occurs on any lot abutting or across an alley from a lot in the R-ML or R-MH zone districts with townhouse development or multi-family residential development, a buffer shall be provided along the lot line, as specified in Table 5-6-4 and for the relevant area below.

5-6(E)(2)(d) General

An edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(e) Industrial Development Adjacent to Non-Industrial Development

5-6(E)(2)(f) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(g) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(h) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(i) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(j) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(k) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(l) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(m) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(n) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(o) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(p) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(q) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(r) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(s) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(t) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(u) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(v) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(w) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(x) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(y) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(z) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties:

1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

- a. If the wall is located on the property line, 1 tree at least 8 feet

LEGEND

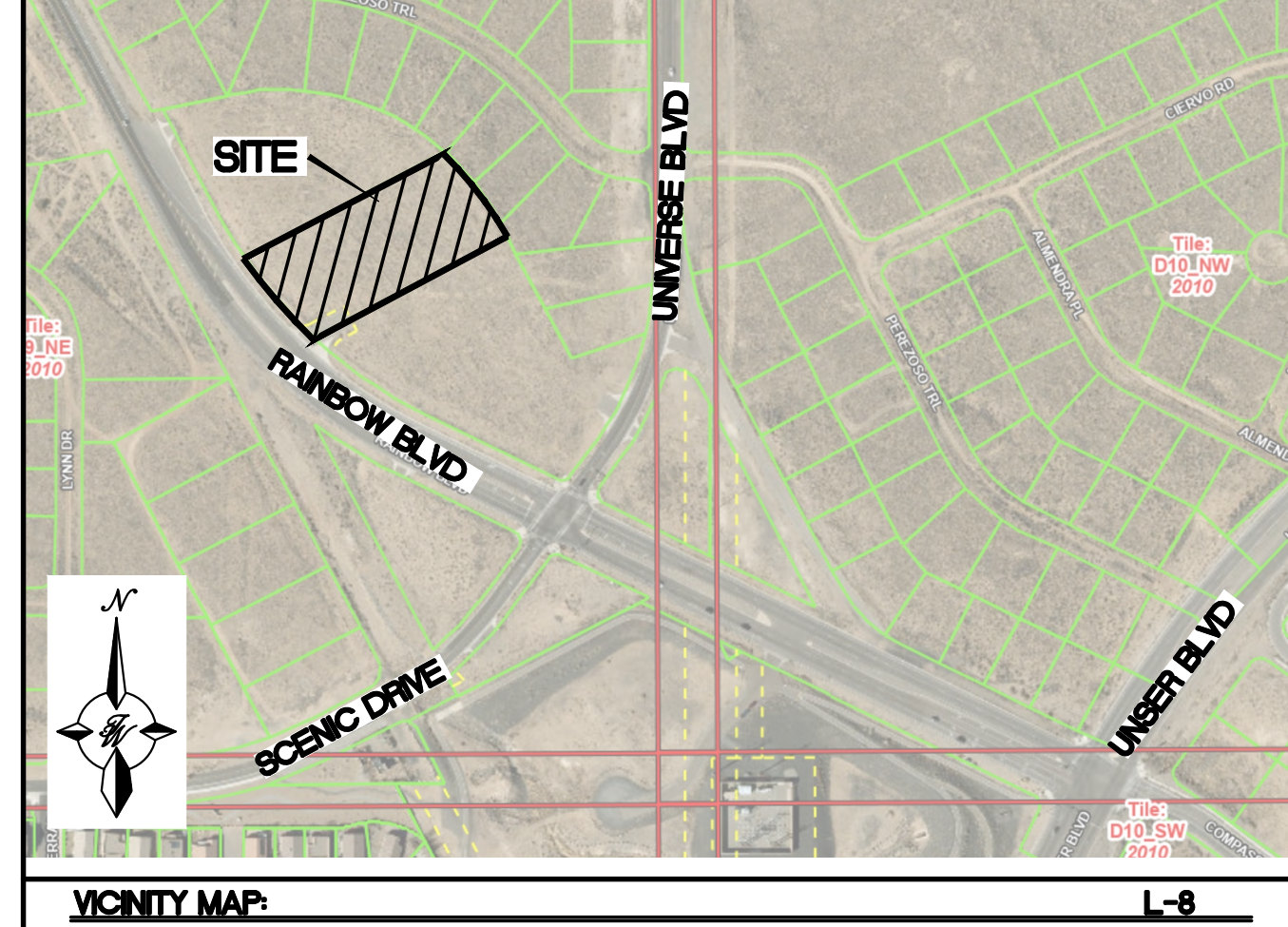
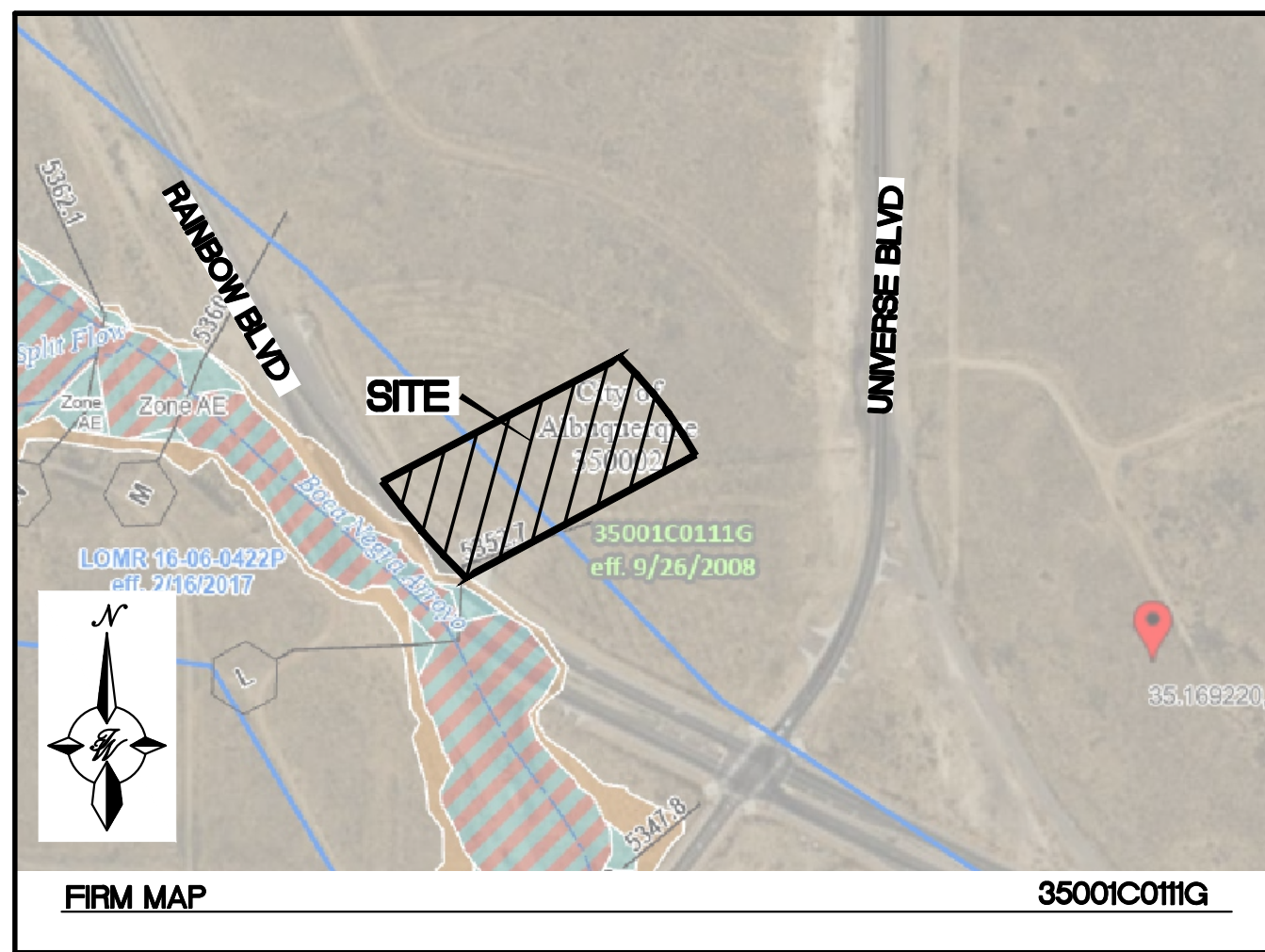
- ===== CURB & GUTTER
----- BOUNDARY LINE
===== RIGHT-OF-WAY
===== BUILDING
===== SIDEWALK
-----5010----- CONTOUR MAJOR
-----5011----- CONTOUR MINOR
x 5048.25 SPOT ELEVATION
----- FLOW ARROW
----- EXISTING CURB & GUTTER
----- EXISTING BOUNDARY LINE
-----5010----- EXISTING CONTOUR MAJOR
----- EXISTING CONTOUR MINOR

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

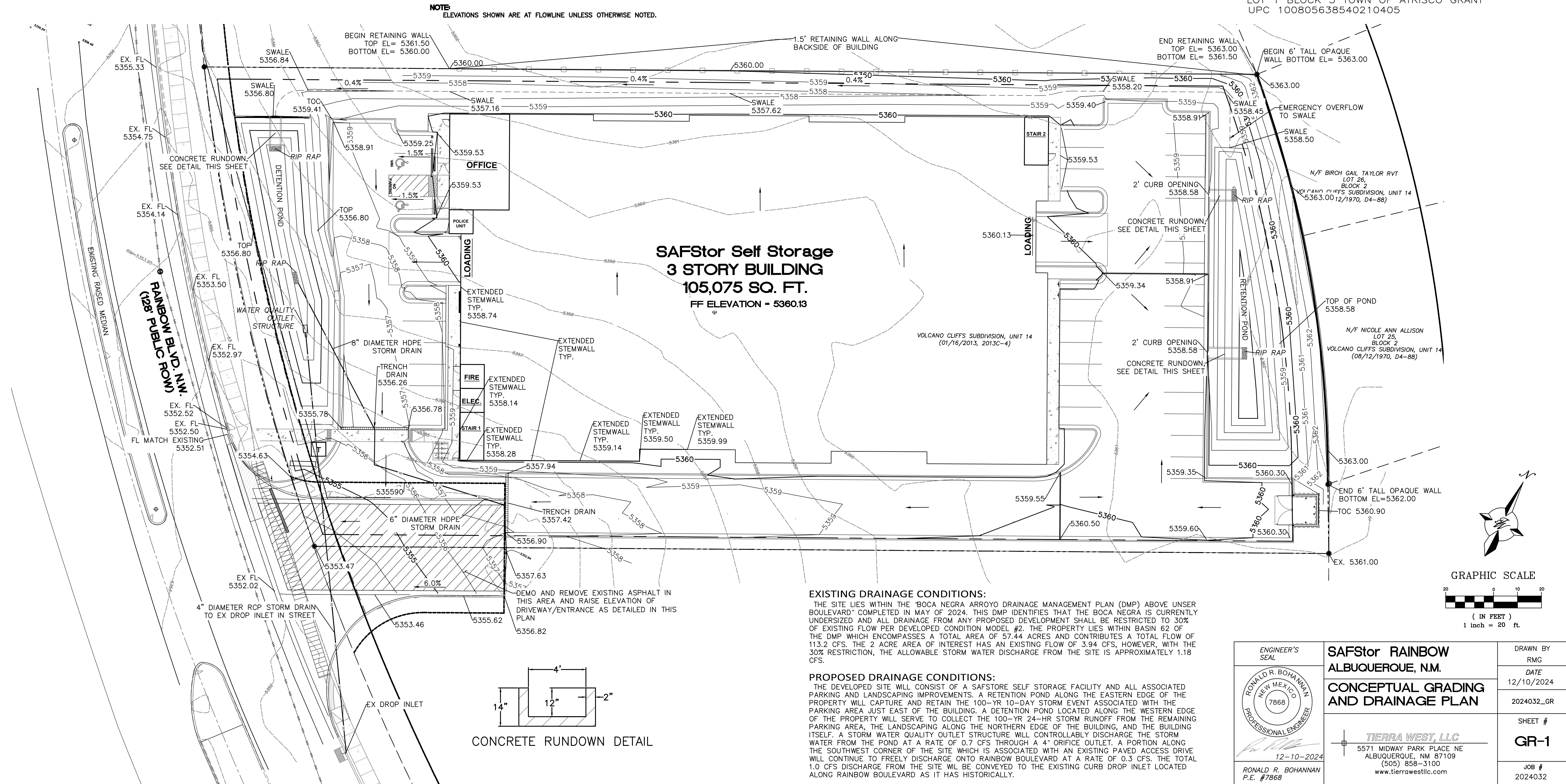
EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR $\frac{3}{4}$ " GRAVEL.



LEGAL DESCRIPTION:

LOT 1 BLOCK 3 TOWN OF ATRISCO GRANT
UPC 100805638540210405



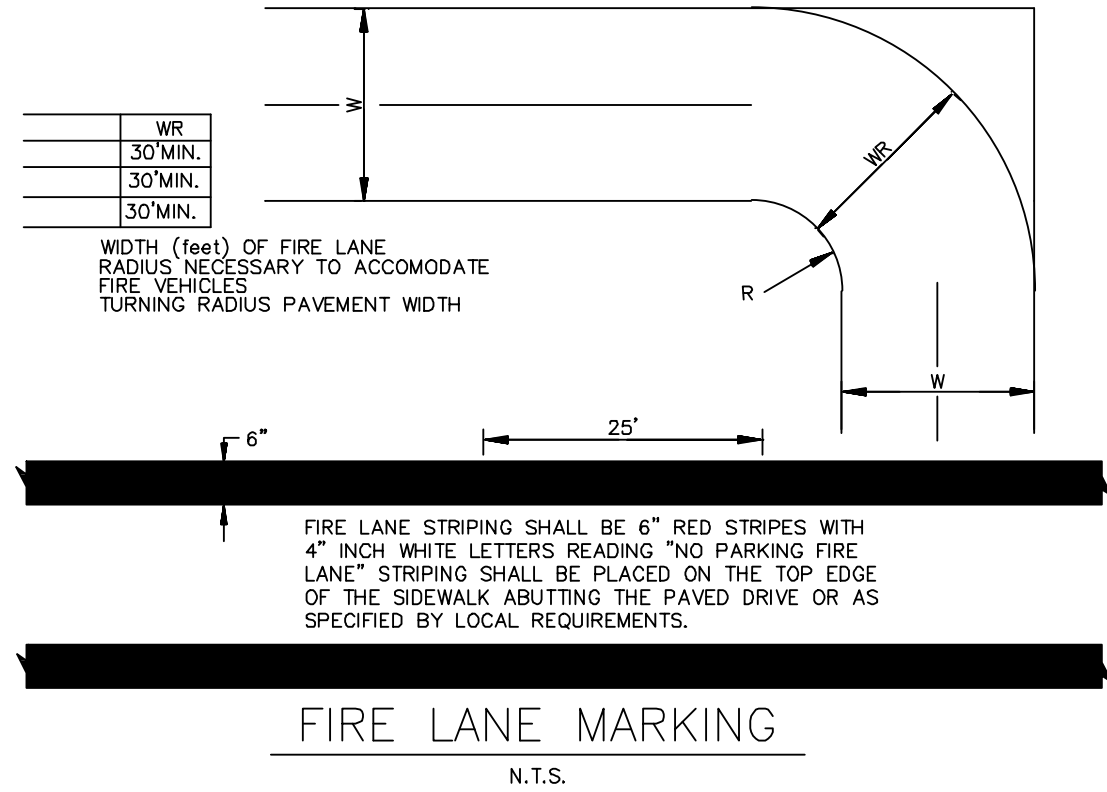
	ENGINEER'S SEAL	SAFStor RAINBOW ALBUQUERQUE, N.M.	DRAWN BY RMG
		CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 12/10/2024
			2024032_GR
			SHEET # GR-1
RONALD R. BOHANNAN P.E. #7868		TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	
		JOB # 2024032	

SAFStor
7520 RAINBOW BLVD. N.W.
ALBUQUERQUE, NM

MIXED USE-LOW INTENSITY MX-L
OCCUPANCY TYPE: STORAGE (GROUP S1)

LOT AREA: 88,479 SF (2.0312 ACRES)
BUILDING AREA: 105,000 SF
3 STORY HIGH BUILDING
CONSTRUCTION TYPE: II-B

BUILDING IS FULLY SPRINKLERED
FIRE SEPARATION = 2-HOUR RATING
MAX BUILDING HEIGHT 38'-0"
FIRE-FLOW = 3375GPM (6750GPM WITH 50% REDUCTION)
FH's REQUIRED=3
FH'S PROVIDED=3



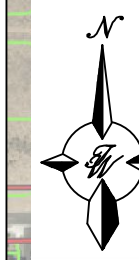
KEYED NOTES

- 1 PIV
- 2 BUILDING ADDRESS
- 3 KNOX BOX
- 4 FDC
- 5 WATERLINE CONNECTION PER COA STD DWG. 2301
- 6 8" PUBLIC GATE VALVE
- 7 8" PRIVATE GATE VALVE
- 8 6" PRIVATE GATE VALVE
- 9 NEW PRIVATE FIRE HYDRANT AND VALVE
- 10 2" WATER METER AND SERVICE LINE CONNECTION PER COA STD DWG. 2363



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: ER 24-021652
APPROVED DATE: 10/24/24
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 3375 GPM, 3 HYDRANTS, 11-6

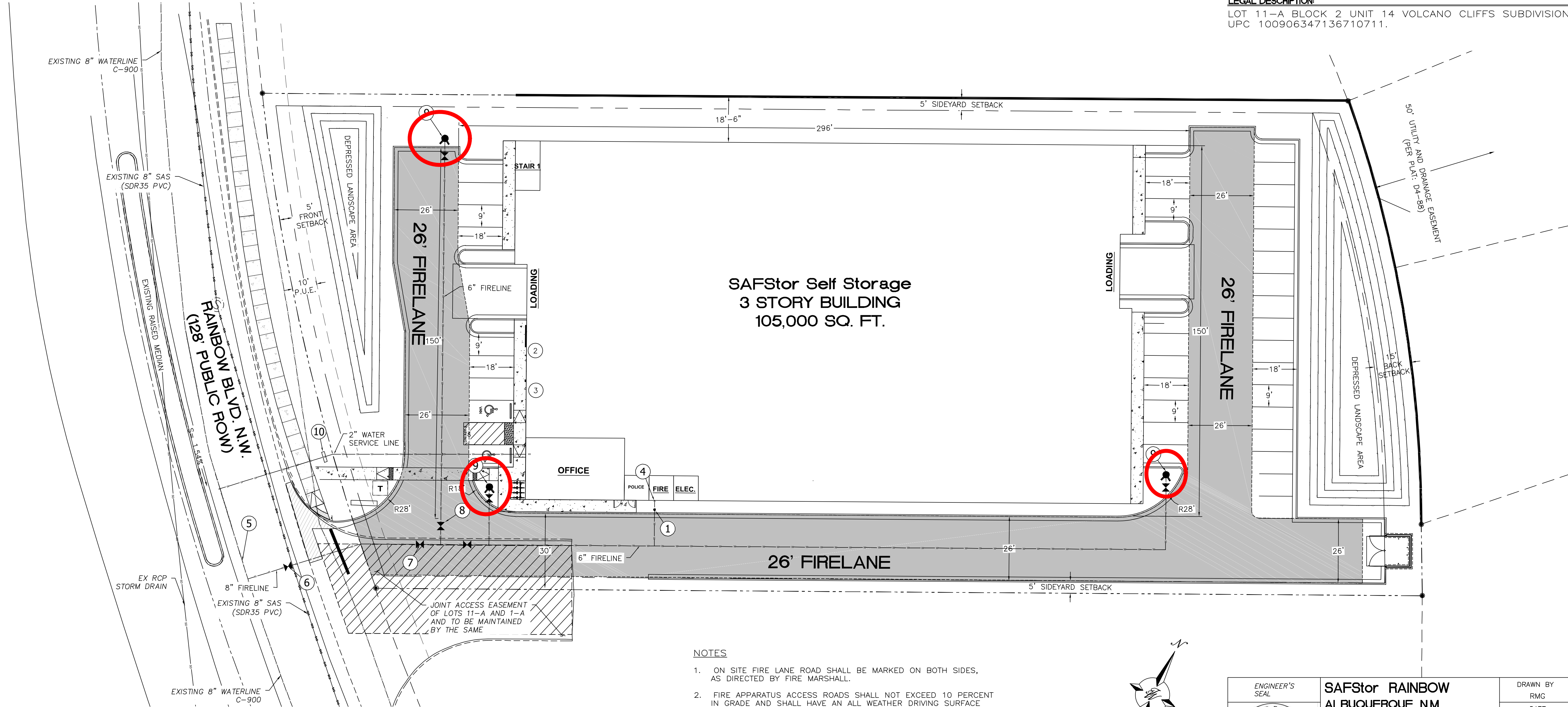


VICINITY MAP:

L-D9-Z

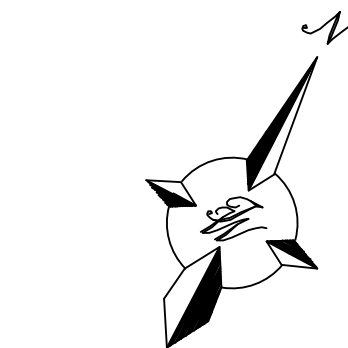
LEGAL DESCRIPTION:

LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION
UPC 100906347136710711.

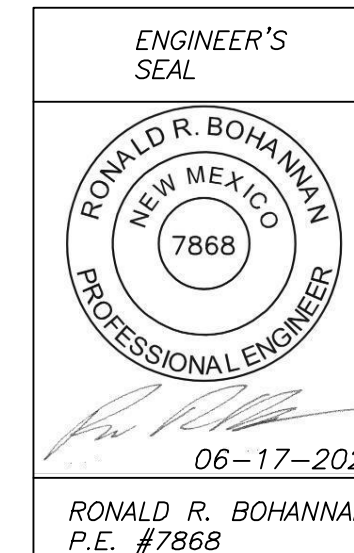


NOTES

1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
3. KNOX KEY SWITCH SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED. ONE IS TO BE PROVIDED FOR ALL ELECTRIC GATES AND ALL BUILDINGS.
4. KNOX KEY SWITCH REQUIRED FOR ALL ELECTRIC GATES AND ALL BUILDINGS.
5. BUILDINGS WILL REQUIRE VERTICAL AND HORIZONTAL FIRE SEPARATION BETWEEN EACH DWELLING UNIT WITH A FIRE-RESISTANCE RATING NO LESS THAN 2 HOURS PER 707.3.10 OF THE IBC.



1 inch = 20 ft.



SAFStor RAINBOW
ALBUQUERQUE, N.M.

FIRE 1
PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY

RMG

DATE

06/17/2024

2024032_F1

SHEET #

F-1

JOB #

2024032

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
- ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

- PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
- SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

NOTES:

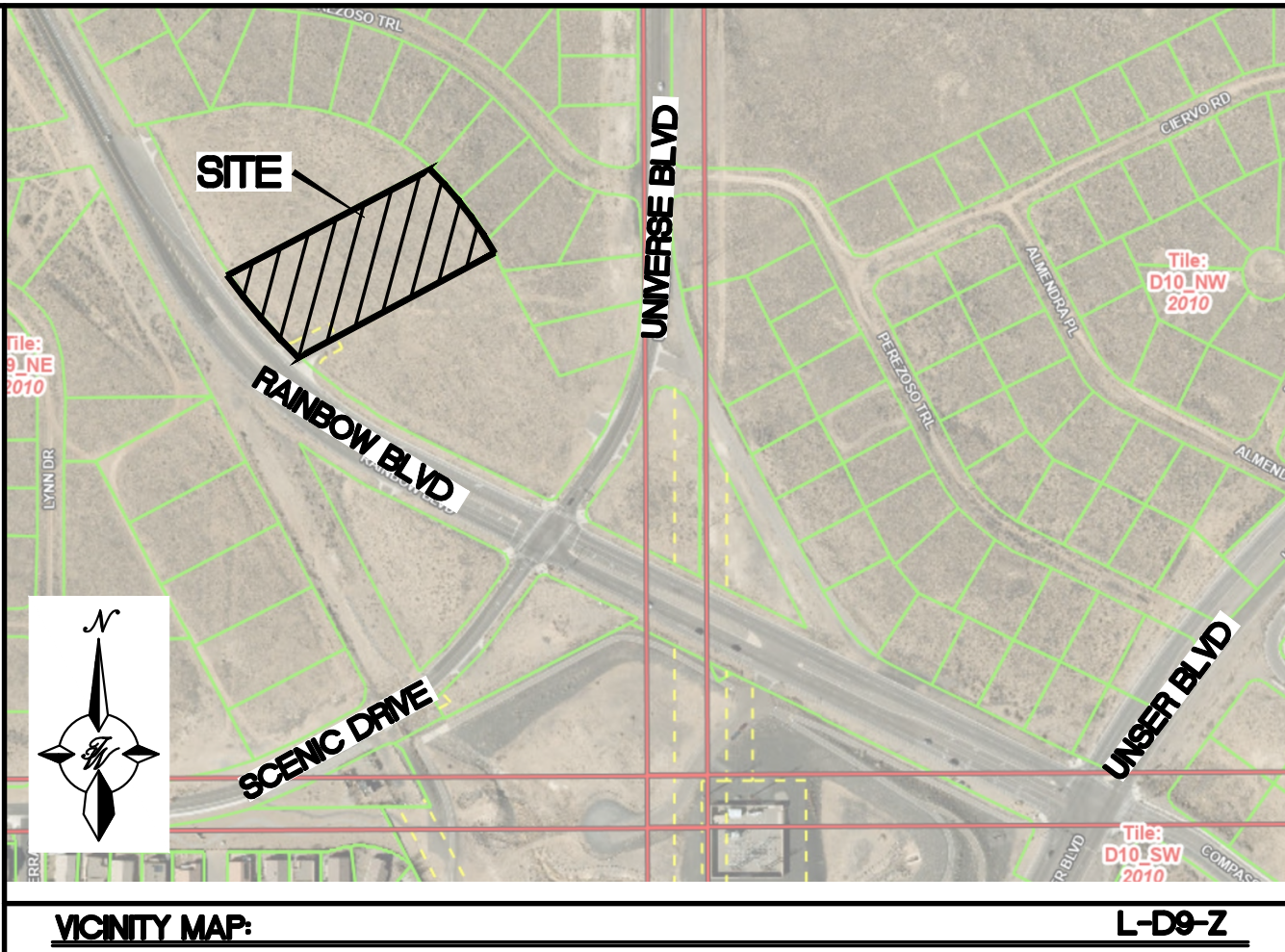
- ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PRIVATE.
- THE PRIVATE FIRE HYDRANTS, INDICATED IN THE UTILITY PLAN, SHALL BE PAINTED SAFETY ORANGE.

KEYED NOTES

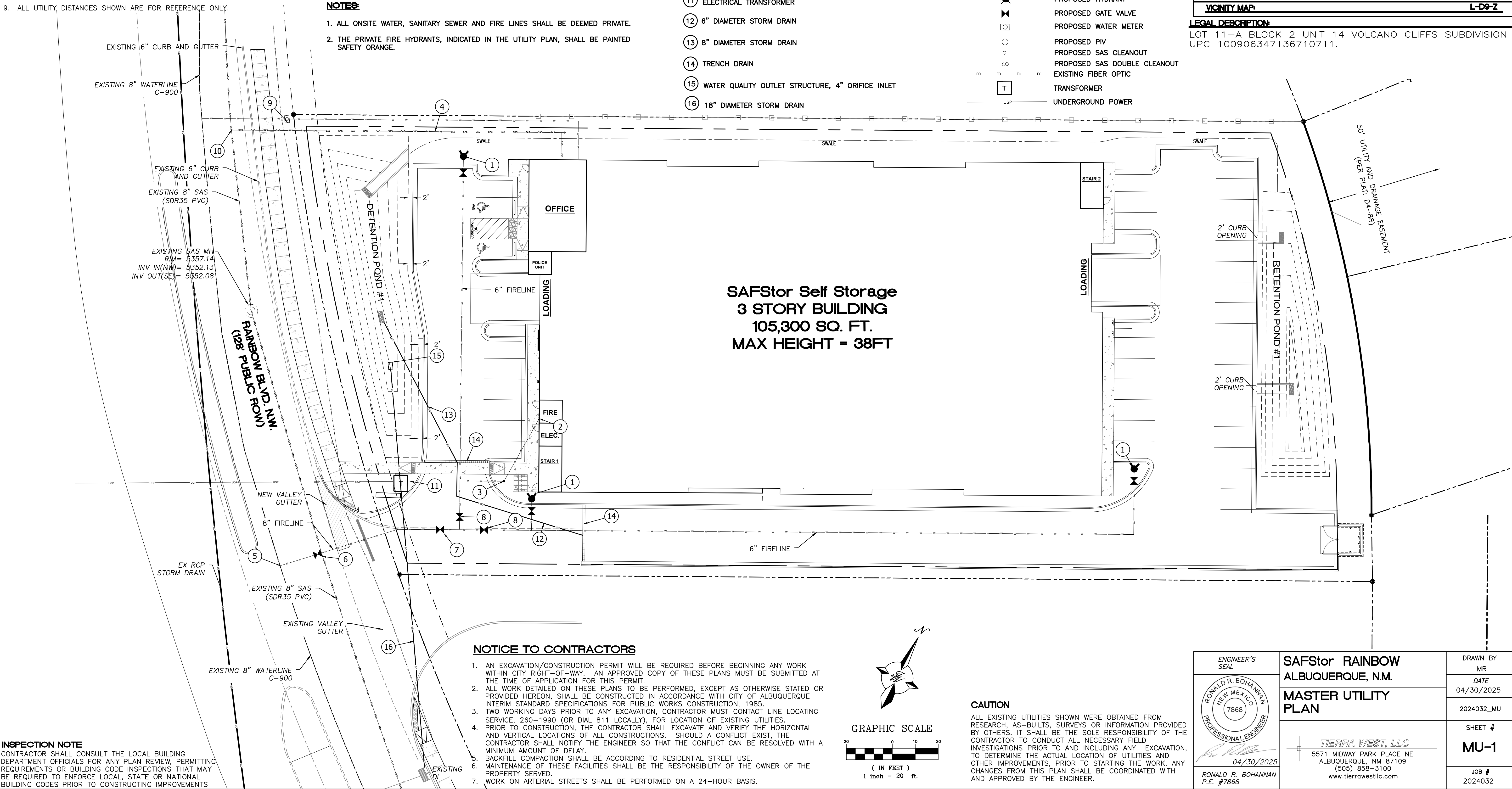
- NEW PRIVATE FIRE HYDRANT AND VALVE PER COA STD DWG 2340
- FDC (FIRE DEPARTMENT CONNECTION)
- PV (POST INDICATOR VALVE)
- 4" SAS SERVICE LINE
- WATERLINE CONNECTION PER COA STD DWG 2301
- 8" PUBLIC GATE VALVE, VALVE BOX, AND RING/COVER PER COA STD DWG'S 2326, 2328, AND 2329.
- 8" PRIVATE GATE VALVE, VALVE BOX, AND RING/COVER PER COA STD. DWG'S 2326, 2328, AND 2329.
- 6" PRIVATE GATE VALVE, VALVE BOX, AND RING/COVER PER COA STD. DWG'S 2326, 2328, AND 2329.
- 2" WATER METER AND SERVICE LINE CONNECTION PER COA STD DWG 2363
- SAS SERVICE LINE CONNECTION PER COA STD DWG 2125
- ELECTRICAL TRANSFORMER
- 6" DIAMETER STORM DRAIN
- 8" DIAMETER STORM DRAIN
- TRENCH DRAIN
- WATER QUALITY OUTLET STRUCTURE, 4" ORIFICE INLET
- 18" DIAMETER STORM DRAIN

LEGEND

- | | |
|--|--|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | BUILDING |
| | SIDEWALK |
| | SITE LIGHTS |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING SIDEWALK |
| | 36" SD STORM SEWER LINE |
| | SAS SAS SAS PROPOSED SANITARY SEWER LINE |
| | EX. 8" SAS EXISTING SANITARY SEWER LINE |
| | EXISTING PVC WATERLINE |
| | PROPOSED HYDRANT |
| | PROPOSED GATE VALVE |
| | PROPOSED WATER METER |
| | PROPOSED PIV |
| | PROPOSED SAS CLEANOUT |
| | PROPOSED SAS DOUBLE CLEANOUT |
| | EXISTING FIBER OPTIC |
| | TRANSFORMER |
| | UGP UNDERGROUND POWER |



LEGAL DESCRIPTION:
LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION
UPC 100906347136710711.

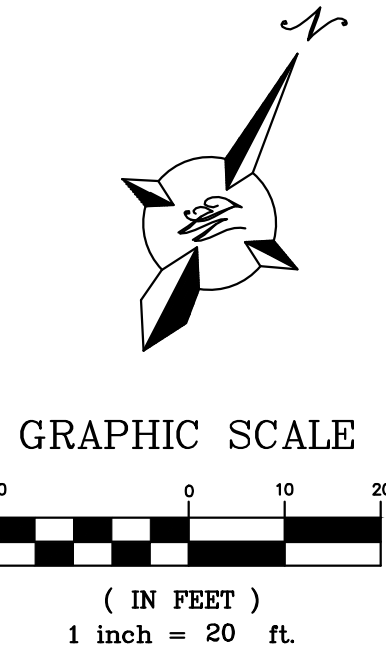


INSPECTION NOTE

CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

NOTICE TO CONTRACTORS

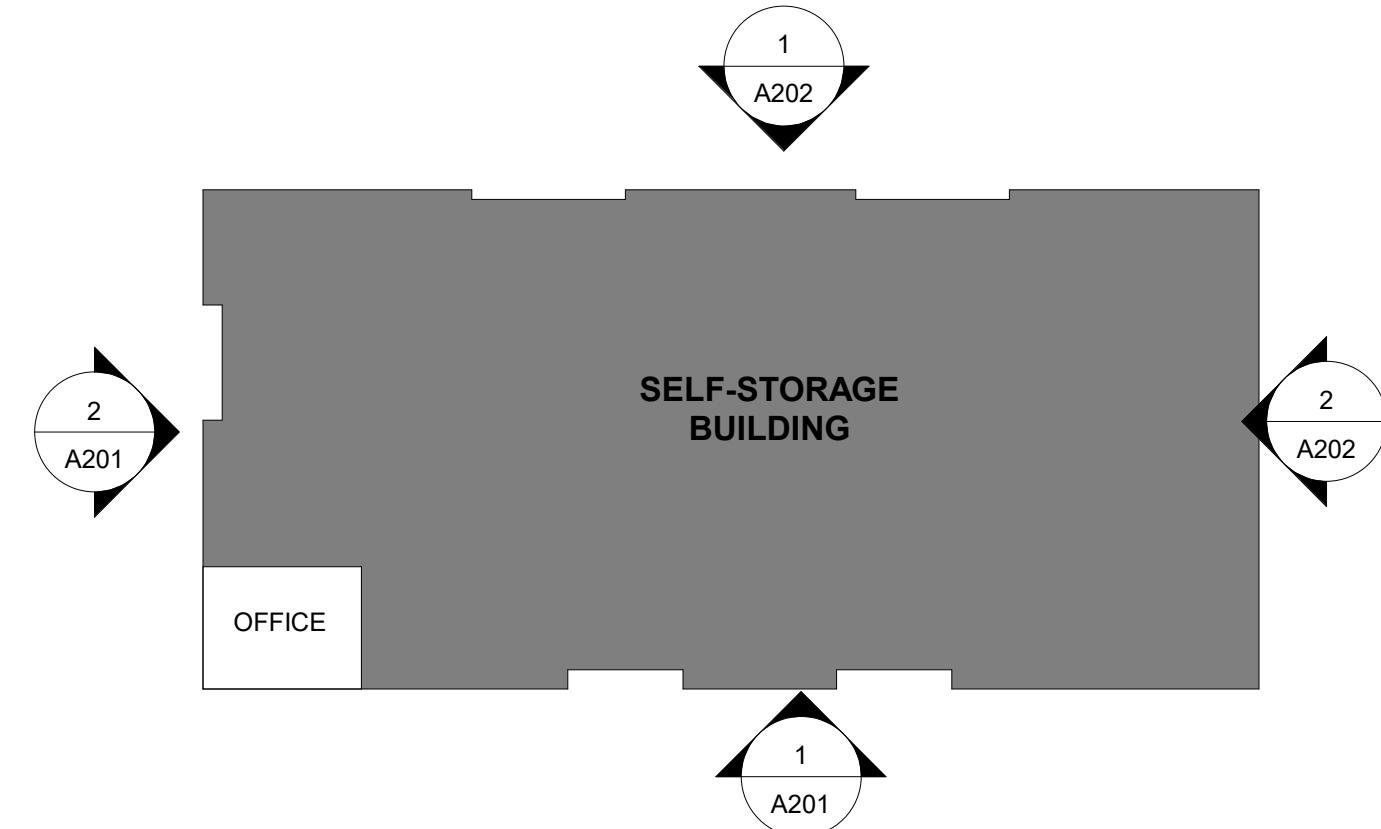
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



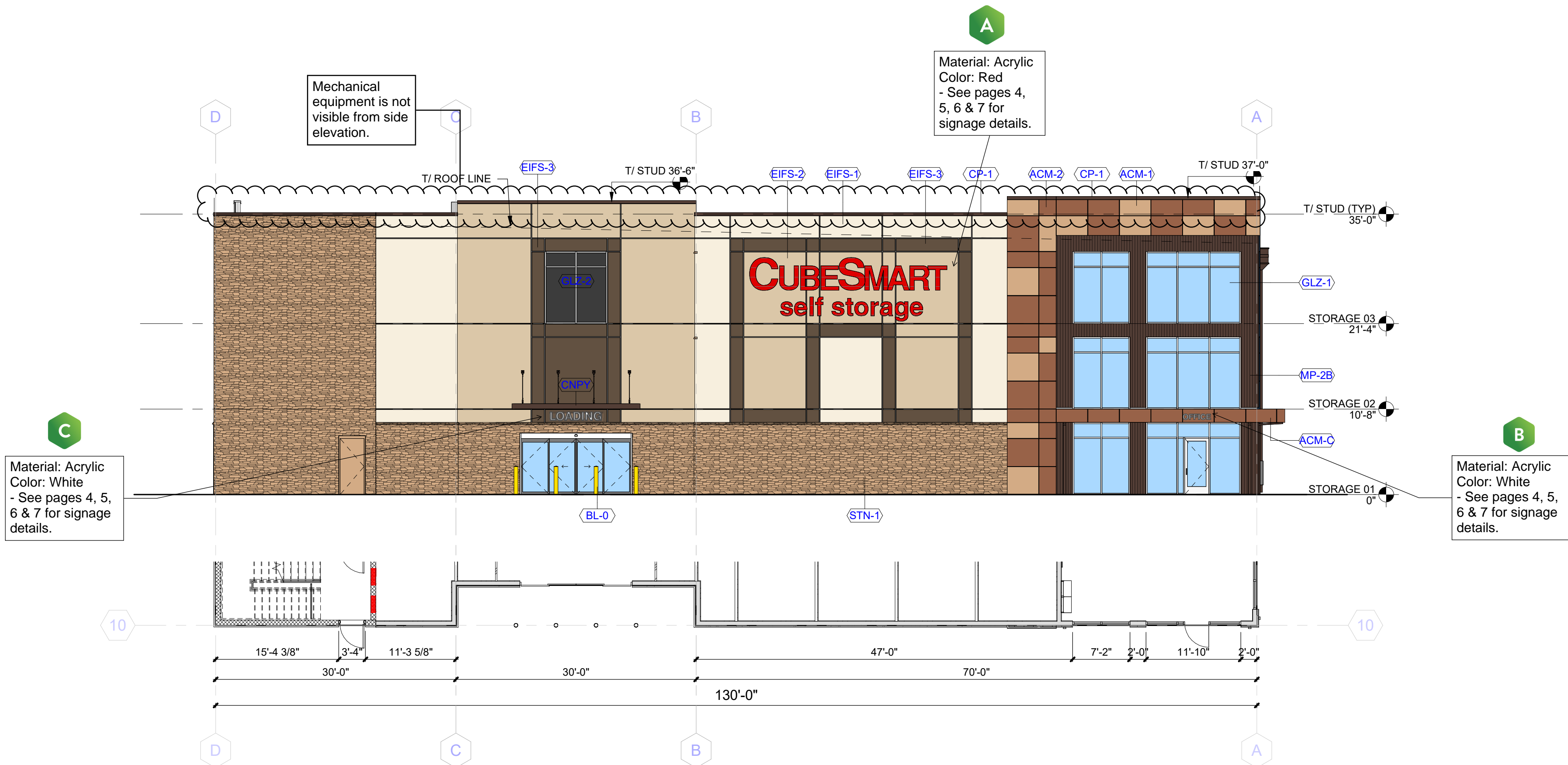
CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

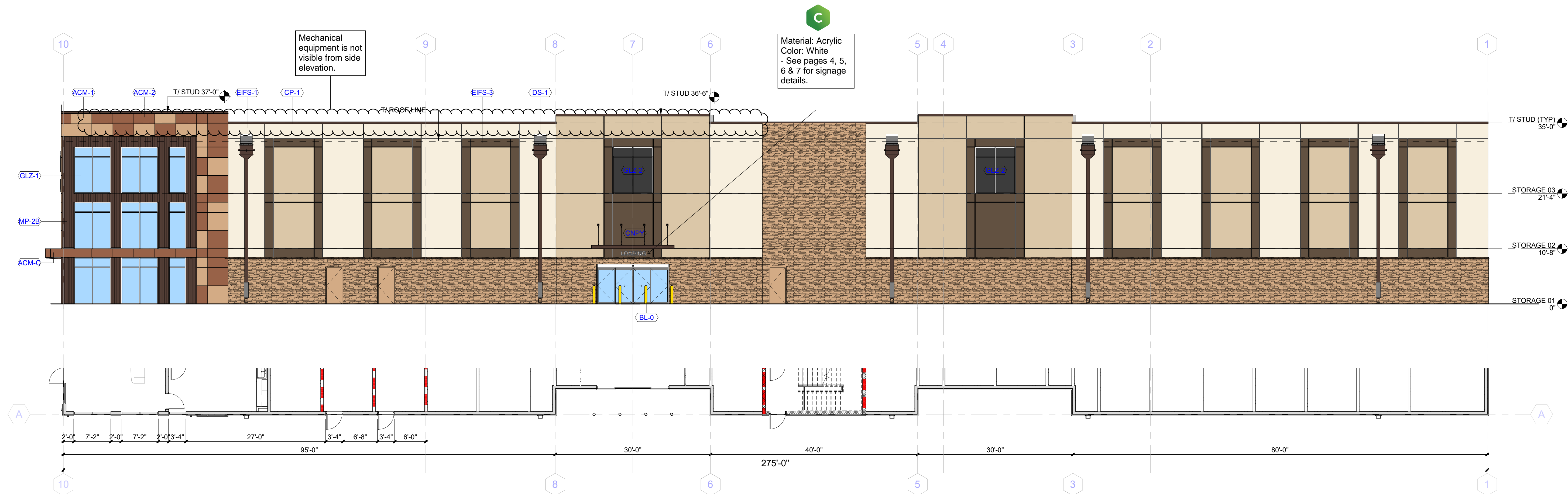
	ENGINEER'S SEAL	SAFStor RAINBOW ALBUQUERQUE, N.M.	DRAWN BY MR
		MASTER UTILITY PLAN	DATE 04/30/2025
			2024032_MU
			SHEET # MU-1
			JOB # 2024032



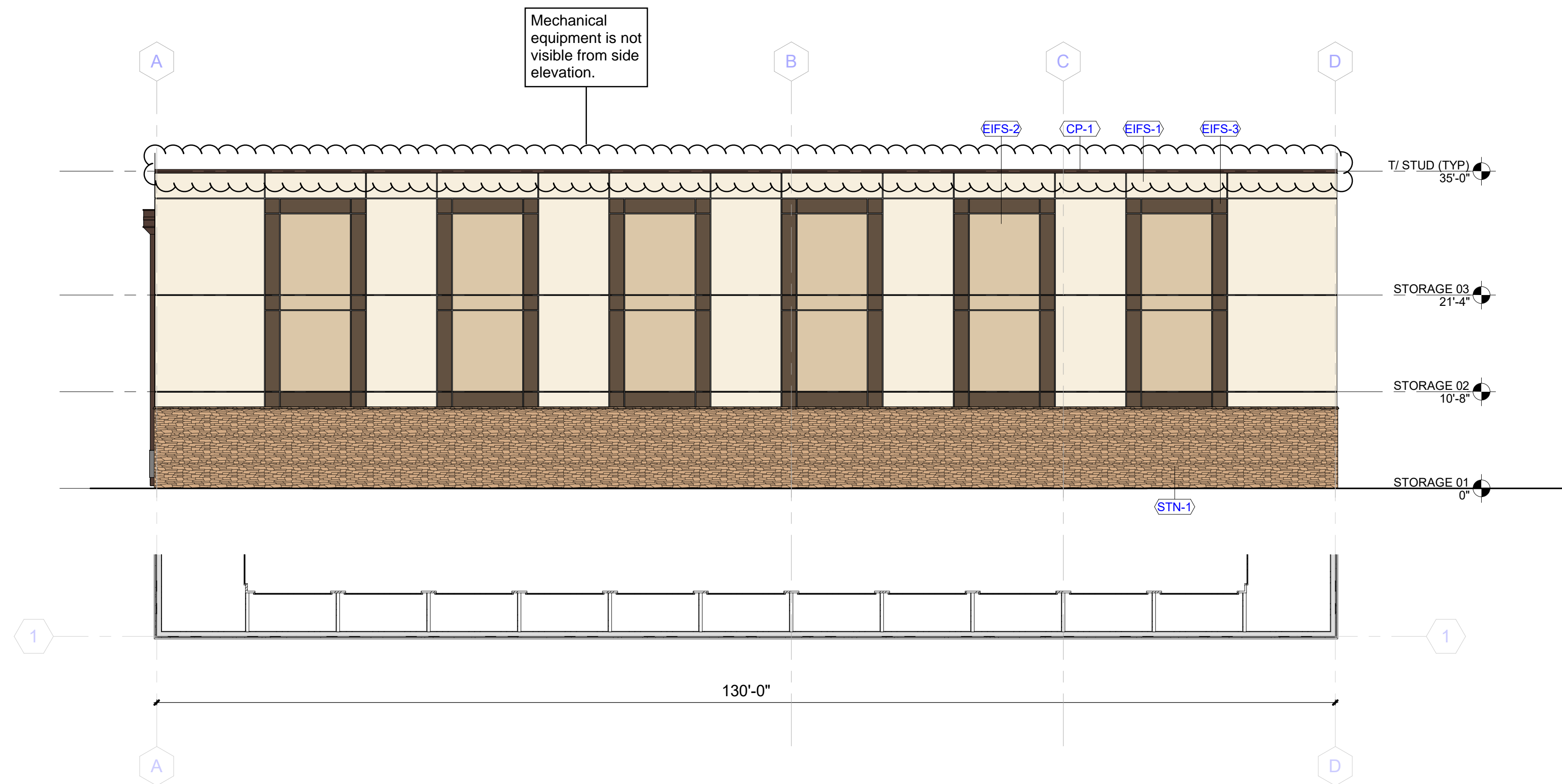
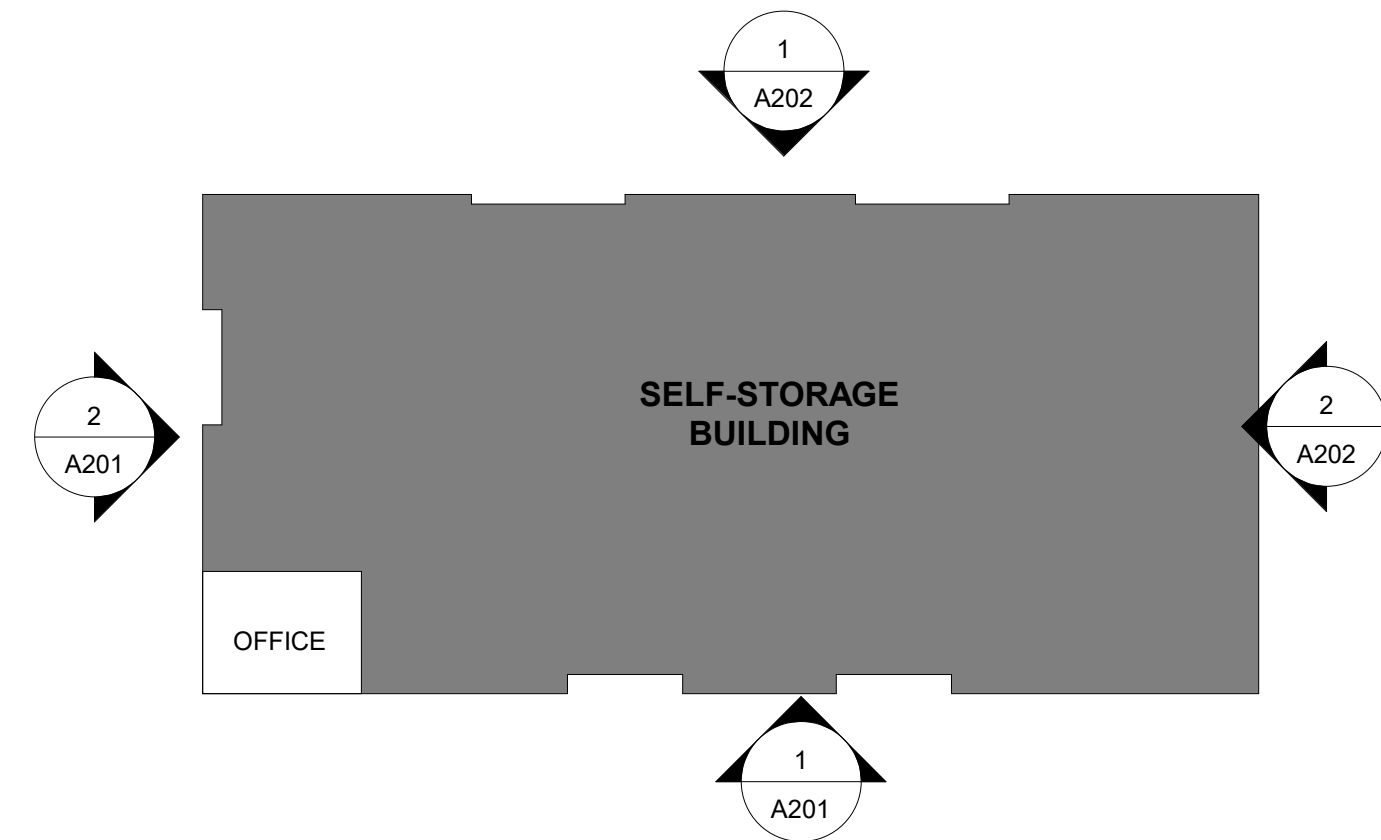
KEYNOTE LEGEND	
Key Value	Keynote Text
ACM-1	ACM SYSTEM - ALPOLIC LAB BEIGE
ACM-2	ACM SYSTEM - ALPOLIC TRM TERRACOTA
ACM-G	ACM CANOPY - ALPOLIC TRM TERRACOTA
BL-0	6" BOLLARD - SAFETY YELLOW COLOR
CNPY	PRE-FABRICATED ROD HUNG CANOPY - MATCH DARK EIFS COLOR
CP-1	ROOF COPING - MATCH DARK EIFS COLOR
DS-1	DOWNSPOUT - TO MATCH DARK BROWN COLOR
EIFS-1	EIFS - FINE TEXTURE - LIGHT - SW 7105 PAPERWHITE
EIFS-2	EIFS - FINE TEXTURE - MEDIUM - SW 6120 BELIEVABLE BUFF
EIFS-3	EIFS - MEDIUM TEXTURE - DARK - SW 6153 PROTEGE BRONZE
GLZ-1	GLAZING CLEAR/TINTED
GLZ-2	GLAZING SPANDREL
MP-2B	CORRUGATED METAL PANEL - VERTICAL NARROW - KOKO BROWN
STN-1	THIN MANUFACTURED MASONRY VENEER - STONE - MEDIUM BROWN - TBD



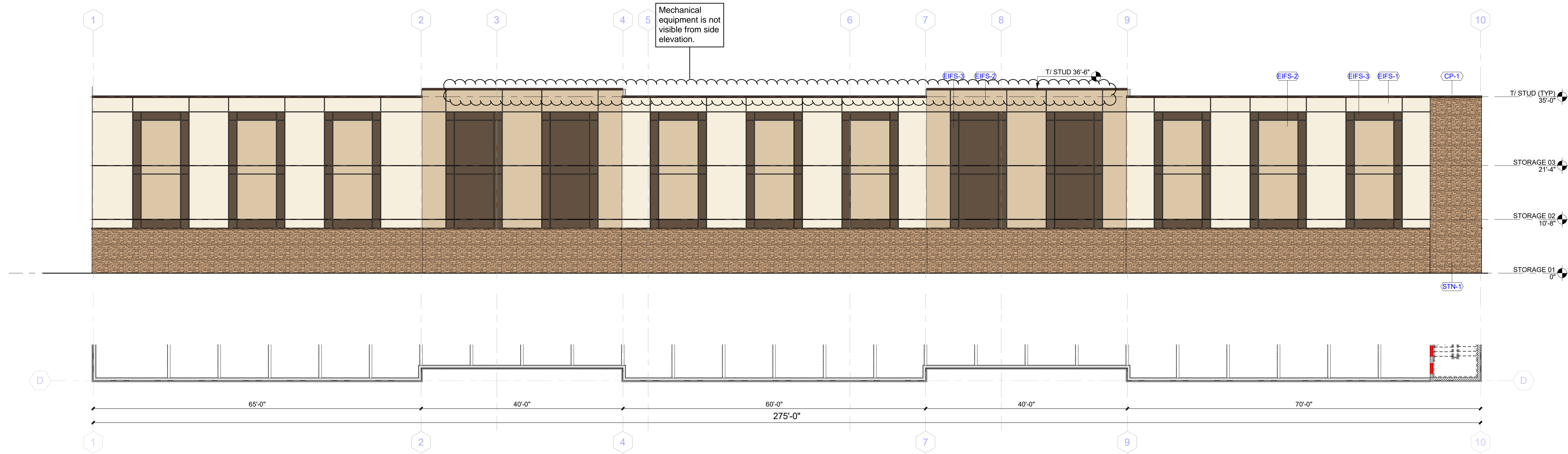
2
A201
EXTERIOR ELEVATION & PROFILE PLAN - WEST
SCALE: 1" = 10'-0"



1
A201
EXTERIOR ELEVATION & PROFILE PLAN - SOUTH
SCALE: 1" = 10'-0"



2
A202
EXTERIOR ELEVATION & PROFILE PLAN - EAST
SCALE: 1" = 10'-0"



1
A202
EXTERIOR ELEVATION & PROFILE PLAN - NORTH
SCALE: 1" = 10'-0"

KEYNOTE LEGEND	
Key Value	Keynote Text
CP-1	ROOF COPING - MATCH DARK EIFS COLOR
EIFS-1	EIFS - FINE TEXTURE - LIGHT - SW 7105 PAPERWHITE
EIFS-2	EIFS - FINE TEXTURE - MEDIUM - SW 6120 BELIEVABLE BUFF
EIFS-3	EIFS - MEDIUM TEXTURE - DARK - SW 6153 PROTEGE BRONZE
STN-1	THIN MANUFACTURED MASONRY VENEER - STONE - MEDIUM BROWN - TBD



EZZI SIGNS
EST. 2005

16611 West Little York Rd
Houston, Texas 77084
EZZISIGNS.COM
713-232-0771

PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

LANDLORD:



UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

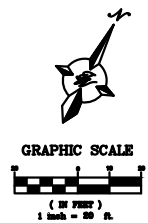
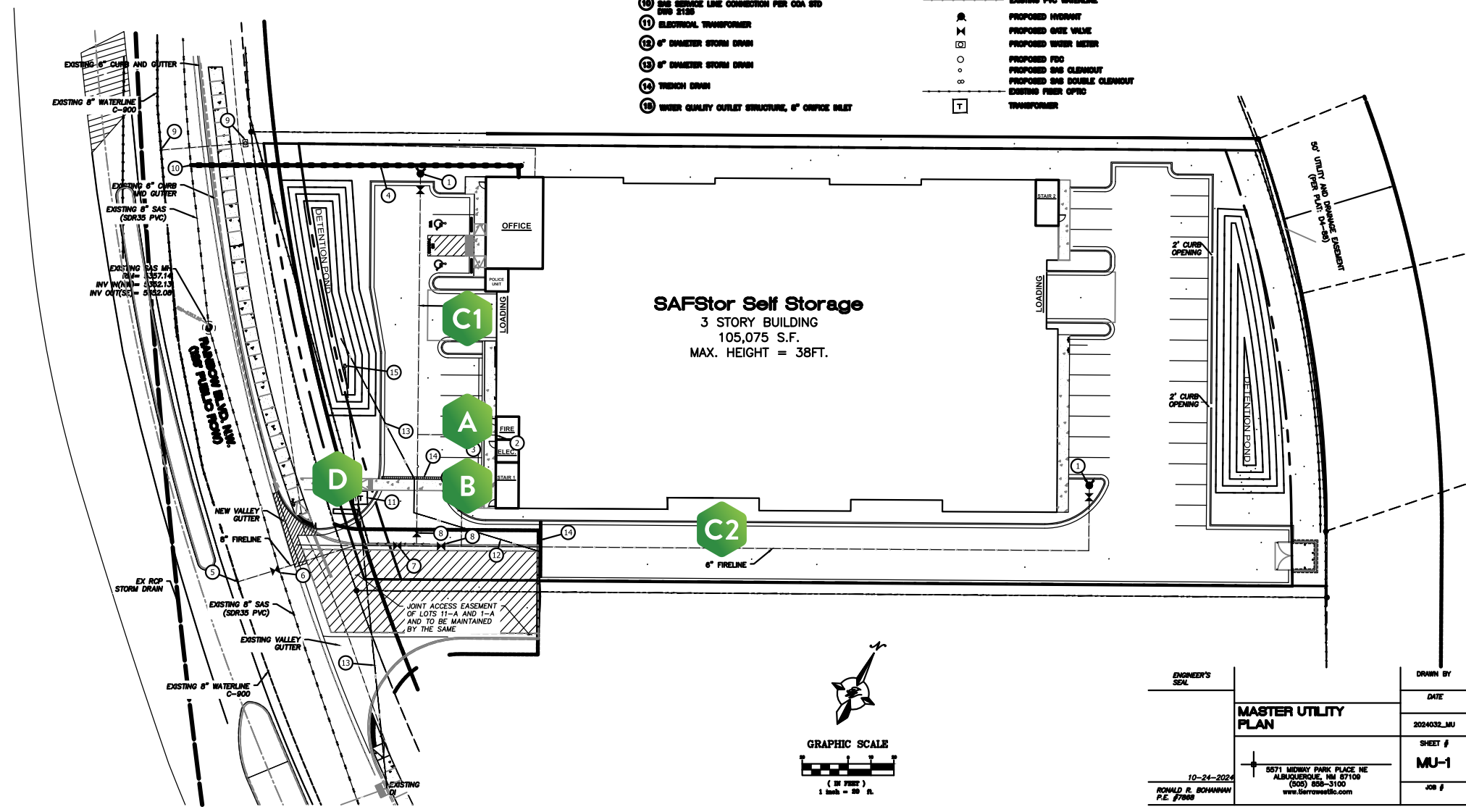
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KEYED NOTES

- NEW FIRELINE FIRE HYDRANT AND VALVE PER COA STD DWG 2340
- FDC (FIRE DEPARTMENT CONNECTION)
- PV (POST INDICATOR VALVE)
- 4" GAS SERVICE LINE
- WATERLINE CONNECTION PER COA STD DWG 2301
- 6" PUBLIC GAS VALVE, VALVE BOX, AND RING/COVER PER COA STD DWG'S 2304, 2305, AND 2306
- 6" PRIVATE GAS VALVE, VALVE BOX, AND RING/COVER PER COA STD DWG'S 2304, 2305, AND 2306
- 6" PRIVATE GAS VALVE, VALVE BOX, AND RING/COVER PER COA STD DWG'S 2304, 2305, AND 2306
- 2" WATER METER AND SERVICE LINE CONNECTION PER COA STD DWG 2303
- 4" GAS SERVICE LINE CONNECTION PER COA STD DWG 2125
- ELECTRICAL TRANSFORMER
- 6" DIAMETER STORM DRAIN
- 6" DIAMETER STORM DRAIN
- TRENCH DRAIN
- WATER QUALITY OUTLET STRUCTURE, 6" OFFICE DILET

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SEWERLINE
- SITE LIGHTS
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SEWERLINE
- STORM SEWER LINE
- PROPOSED SEWERLINE
- PROPOSED WATERLINE
- EXISTING SANITARY SEWER LINE
- EXISTING PVD WATERLINE
- PROPOSED HYDRANT
- PROPOSED GAS VALVE
- PROPOSED WATER METER
- PROPOSED FDC
- PROPOSED GAS CLEANOUT
- PROPOSED GAS DOUBLE CLEANOUT
- EXISTING FDC
- TRANSFORMER



ENGINEER'S SEAL	DRAWN BY	
	DATE	
MASTER UTILITY PLAN	2024032_MU	
	SHEET #	MU-1
10-24-2024 RONALD R. BOHANNAN P.E. #7868	0571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87106 (505) 558-5100 www.sevenyearwarranty.com	JOB #



SCOPE OF WORK

1. FABRICATE AND INSTALL -
NEW CHANNEL LETTER SET

Survey Required



QTY : 1
SET

SIGN SQFT: 185.6 FT



EZZI SIGNS
EST. 2005

16611 West Little York Rd
Houston, Texas 77084
EZZISIGNS.COM
713-232-0771

PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

LANDLORD:



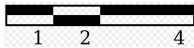
UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

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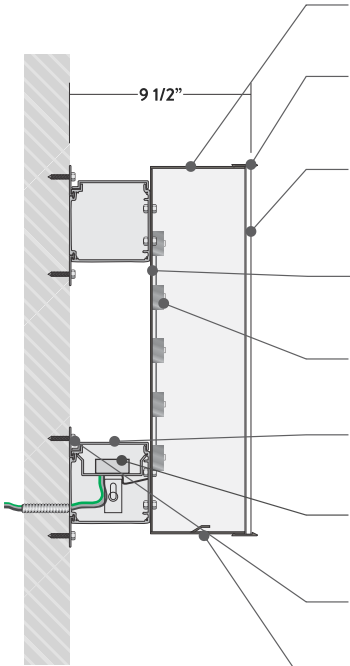
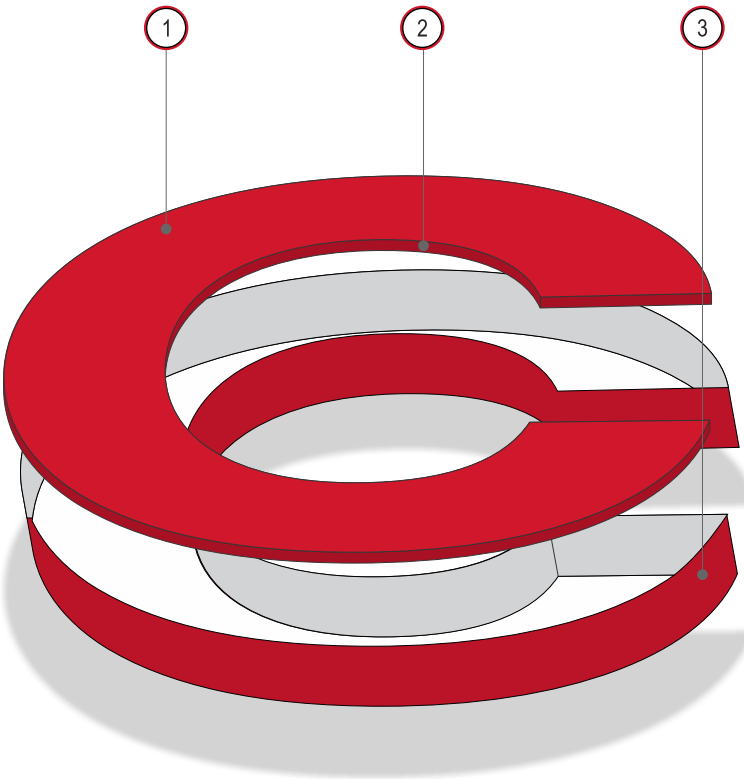


DESIGN

SCALE: 1/4" = 1' - 0"



- ① **3/16" 2793 RED**
ACRYLIC/POLYCARBONATE
- ② **RED**
TRIMCAP
- ③ **RED**
SATIN FINISH



- RETURNS:** 5" DEEP .040" ALUMINUM
COLOR: RED
- TRIM:** 1" JEWELITE
COLOR: RED
- FACES:** 2793 3/16" RED ACRYLIC/POLYCARBONATE
(MATERIAL VARIES PER SIGN SIZES)
VINYL: NONE
- BACKS:** .125" ALUMINUM
STOCK WHITE
- INTERIOR ILLUMINATION:**
RED - PRINCIPAL QWIK MOD 2 6500 K
- RACEWAY:** ALUMINUM - 4 1/2" X 7"
PAINTED: **PTM WALL**
- POWER SUPPLIES:** HOUSED INSIDE RACEWAY
DISCONNECT SWITCH (NEC 600-5) & PHOTOCCELL K400 SERIES
- MOUNTING:** MINIMUM 3/8" X 5" FASTENERS
FLUSH MOUNTED (NON-CORROSIVE/GALVANIZED)
- 1/4" WEEP HOLES, 2 PER LETTER, WITH LIGHT BAFFLES**
- 120V** T100 SERIES ELECTROMECHANICAL TIME SWITCHES
INSTALLED BY CLIENTS ELECTRICIAN BY BREAKER BOX

COLOR SCHEDULE

SCALE: NTS

CROSS SECTION

SCALE: NTS

SCOPE OF WORK

- 1. REMOVE & DISPOSE - EXISTING SIGNAGE
- 2. FABRICATE AND INSTALL - FCO LETTERS

Survey Required



QTY : 1



EZZI SIGNS

EST. 2005

16611 West Little York Rd
Houston, Texas 77084

EZZISIGNS.COM
713-232-0771

PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

LANDLORD:



SEVEN
YEAR WARRANTY

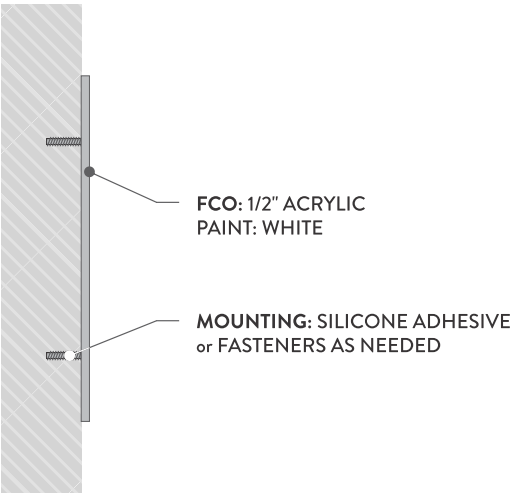
UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

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DESIGN

SCALE: 1" = 1' - 0"



CROSS SECTION

SCALE: NTS



SCOPE OF WORK

- 1. REMOVE & DISPOSE - EXISTING SIGNAGE
- 2. FABRICATE AND INSTALL - FCO LETTERS

Survey Required



QTY : 2



EZZI SIGNS

EST. 2005

16611 West Little York Rd
Houston, Texas 77084

EZZISIGNS.COM
713-232-0771

PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

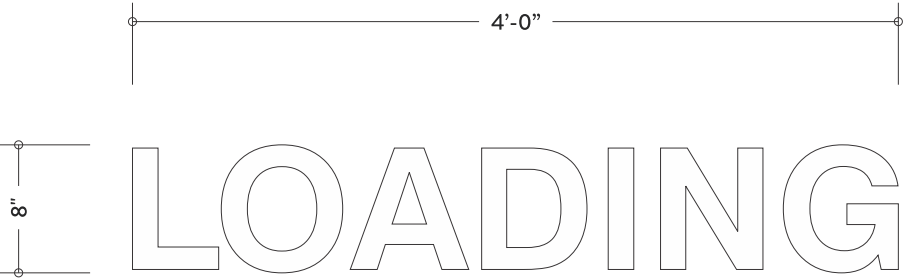
LANDLORD:



SEVEN
YEAR WARRANTY

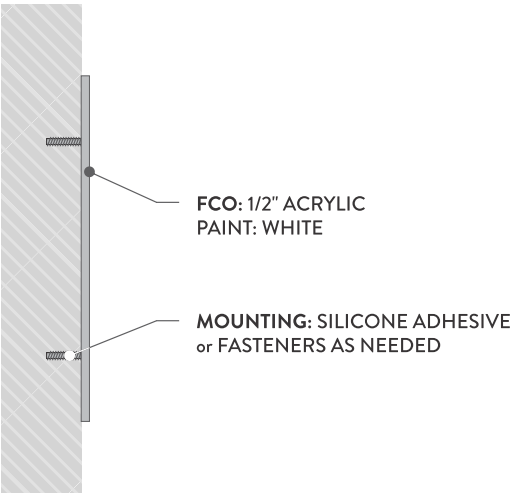
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DESIGN

SCALE: 1" = 1' - 0"



CROSS SECTION
SCALE: NTS



SCOPE OF WORK
1. FABRICATE AND INSTALL - ILLUMINATED,
D/F MONUMENT SIGN

Survey Required



QTY : 1



16611 West Little York Rd
Houston, Texas 77084
EZZISIGNS.COM
713-232-0771

PROJECT:
CUBESMART #

ADDRESS:
SAFSTOR RAINBOW -
ALBUQUERQUE, NM.

DATE: 04/22/25

PROJECT NUMBER:
ES15879

DESIGNER:
MAURICIO

REVISIONS
R1:

R2:

R3:

APPROVALS / DATE

CLIENT:

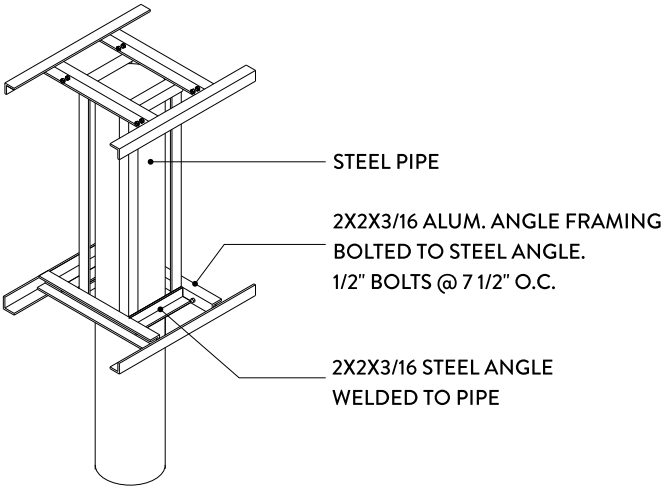
LANDLORD:



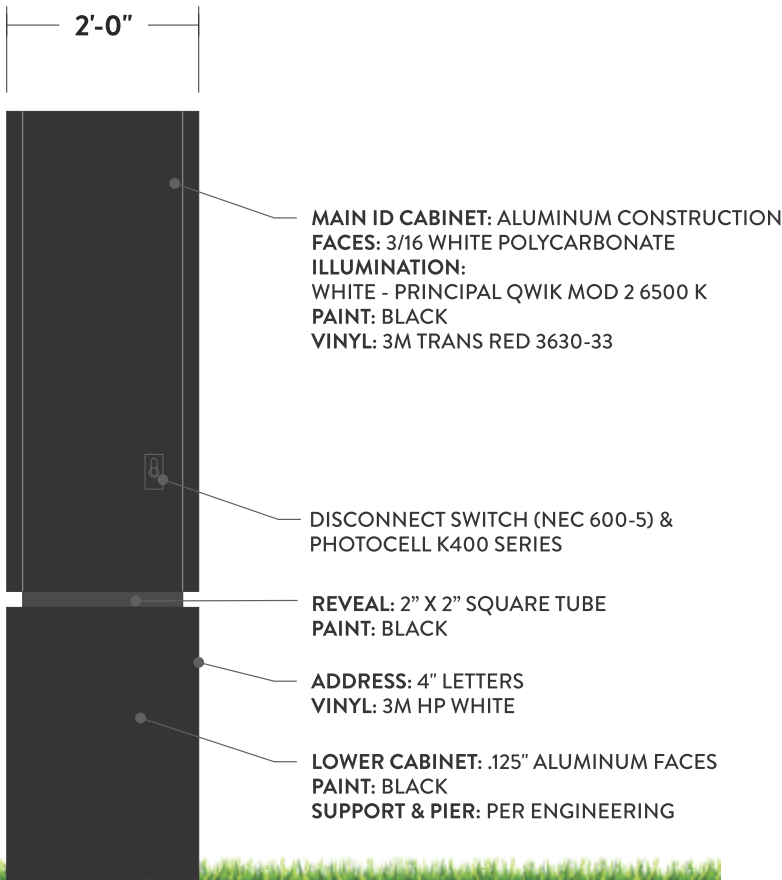
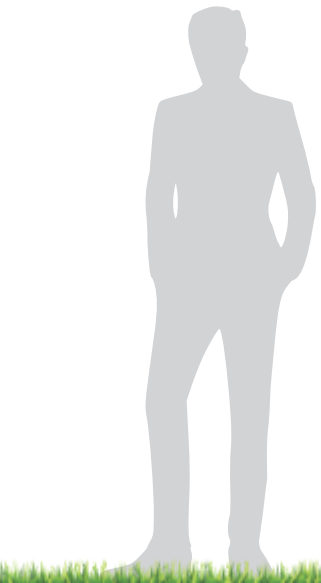
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SADDLE DETAIL



TYPICAL ATTACHMENT DETAIL
SCALE: NTS



SIGN DESIGN
SCALE: 1/2" = 1'-0"

SIGN DESIGN - END VIEW
SCALE: 1/2" = 1'-0"



CAUTION:
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SITE DATA

PROPOSED USAGE: SAFStor Self Storage
LOT AREA: 88,479.07 SF (2.0312) ACRE)
ZONING: MX-L

BUILDING AREA: 105,075 SF

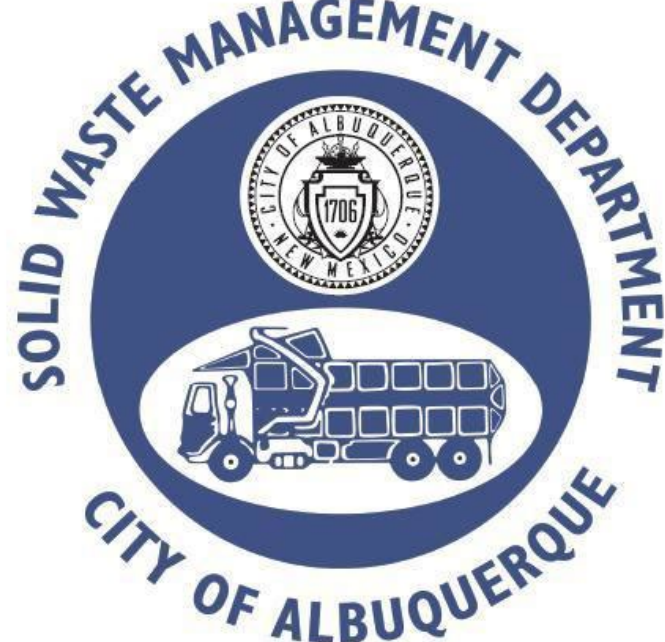
PARKING REQUIRED: 35 SPACES (105,075 SF, 1 SPACE/ 3,000 GFA)
PARKING PROVIDED: 35 SPACES 3--SMALL CAR (9%)

HC PARKING REQUIRED: 2 SPACES
HC PARKING PROVIDED: 2 SPACES
1 SPACE VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED: 2 SPACES
MOTORCYCLE PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

LANDSCAPE AREA REQUIRED: 13,272 SF
LANDSCAPE AREA PROVIDED: 39,161 SF



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up between the hours of 5AM and 8PM.
Reviewer: Adrian Maney
Date: 1-21-25 -will be on a hazard service 2 man crew due to location of new proposed refuse enclosure.

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

SETBACKS:
FRONT 5' MINIMUM
SIDE 5' MINIMUM
BACK 15' MINIMUM

LANDSCAPE BUFFER:
BACK 50' MINIMUM OR 6' OPAQUE WALL

GENERAL NOTES:
1. ALL BROKEN OR CRACKED CURB AND GUTTER OR VALLEY GUTTER MUST BE REMOVED AND REPLACED.

EXECUTIVE SUMMARY
THE SITE IS LOCATED IN THE SOUTHEAST QUADRANT OF RAINBOW BOULEVARD N.W. AND UNIVERSE BOULEVARD N.W. THE IMPROVEMENTS ON THE 2.03 ACRE PROPERTY (ONE TRACT) ARE PROPOSED 105,075 SF BUILDING AND ALL OTHER SITE IMPROVEMENTS. ALL OTHER EXISTING IMPROVEMENTS WILL REMAIN AS IS. ACCESS TO THE SITE IS FROM ONE EXISTING ENTRANCE OFF RAINBOW BOULEVARD N.W.

KEYED NOTES

- 1

ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. D1)
- 2

6" HEADER CURB (SEE DETAIL SHT. D1)
- 3

CONCRETE SIDEWALK AT BUILDING (SEE DETAIL SHT. D1)
- 4

DUMPSTER (SEE DETAIL SHT. D1)
- 5

BICYCLE RACKS (SEE DETAIL SHT. D1)
- 6

CURB HC RAMP (SEE DETAIL SHT. D1)
- 7

WHEEL STOP (SEE DETAIL SHT. D1)

8

MONUMENT SIGN

9

STOP SIGN

10

STOP BAR

11

NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP.), (SEE DETAIL SHT. D1)

12

UNIDIRECTIONAL ACCESSIBLE (TYP.) RAMP PER COA STD DWG 2443, (SEE DETAIL SHT. D1)

13

6' OPAQUE FENCE/WALL

14

PEDESTRIAN ACCESS WALKWAY

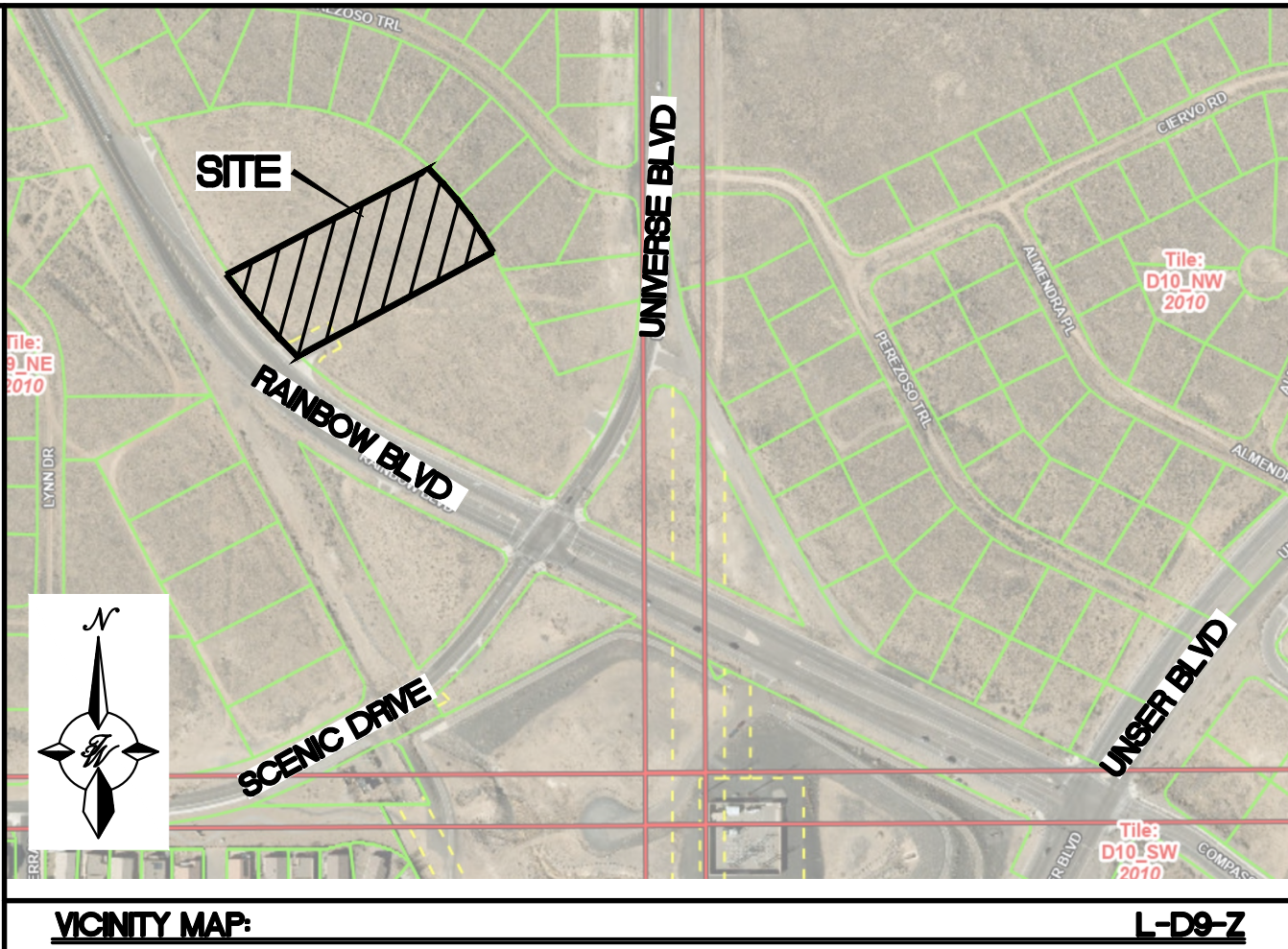
15

NEW ASPHALT PAVING

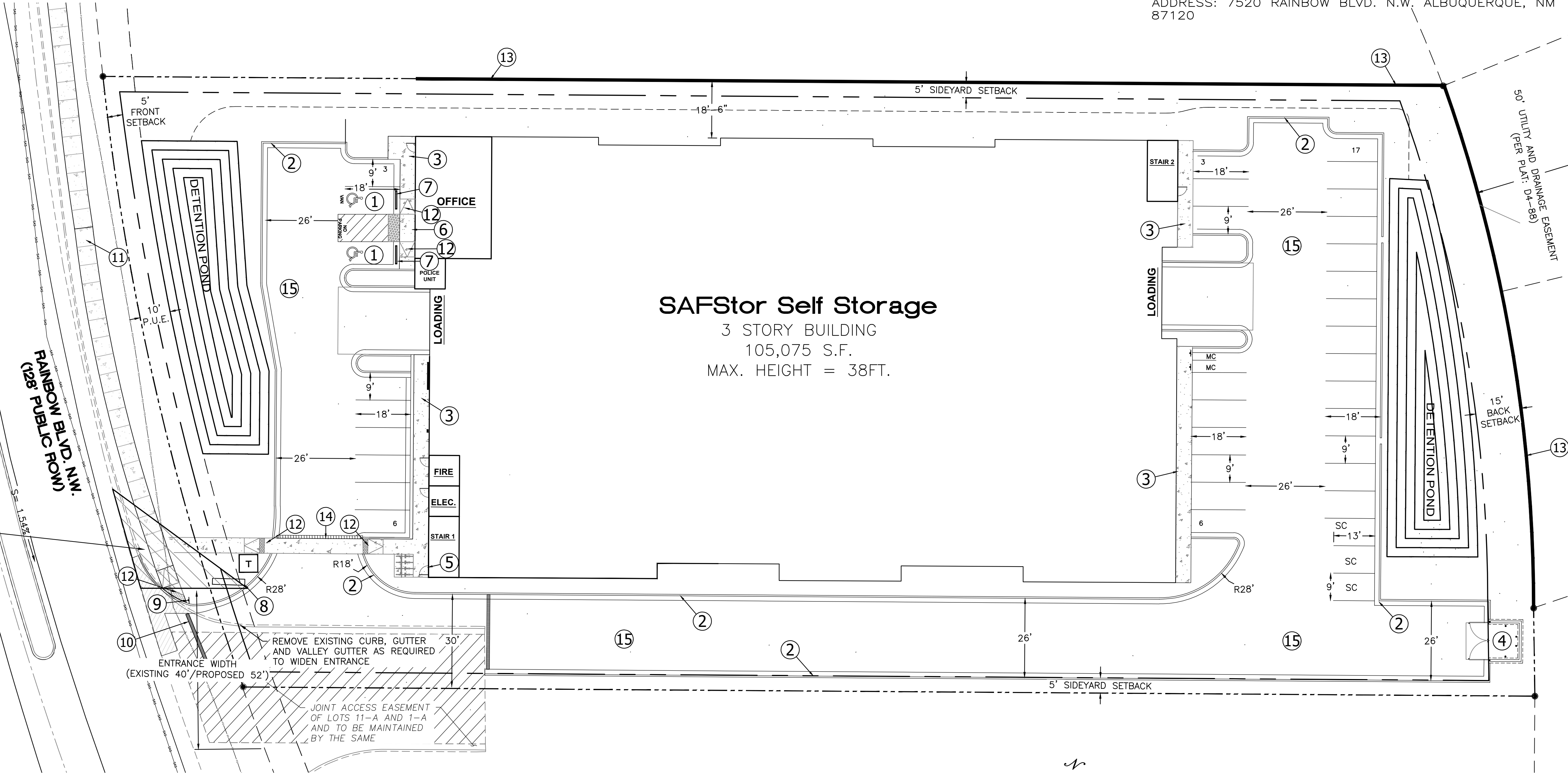
LEGEND



- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SITE LIGHTS
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING STORM DRAIN
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING FIBER OPTIC
- T

TRANSFORMER



LEGAL DESCRIPTION:
LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION
UPC 100906347136710711.
ADDRESS: 7520 RAINBOW BLVD. N.W. ALBUQUERQUE, NM 87120



ENGINEER'S SEAL	SAFstor RAINBOW ALBUQUERQUE, N.M.	DRAWN BY RMG
<div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div> <div></div> <div>10-24-2024</div> <div>RONALD R. BOHANNAN P.E. #7868</div>		DATE 10/24/2024
	TRAFFIC CIRULATION PLAN	2024032_TCL
	<div></div> <div>TERRA WEST, LLC</div> <div>5571 MIDWAY PARK PLACE, NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div>	SHEET # TCL-1
		JOB # 2024032

