



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

BRIEF DESCRIPTION OF REQUEST

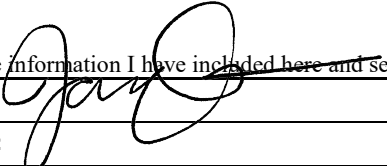
APPLICATION INFORMATION		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: Lots 1 through 10 & 27 through 34 and South 50 feet of Lots 35 and 36 Block 6 East Central BU 11701 Central Avenue NE

Request Description: _____ DFT review of EPC approved Site Plan for City Fire Station 12

Hydrology:

- Sensitive Lands Analysis (5-2(C))
Grading and Drainage Plan
AMAFCA
Bernalillo County
NMDOT
MRGCD

Renée C. Brissette
Hydrology Department

07/26/24
Date

Transportation:

- Traffic Circulations Layout (TCL)
Traffic Impact Study (TIS)
Neighborhood Impact Analysis (NIA)
Bernalillo County
MRCOG
NMDOT
MRGCD

Ernest Arroyo
Transportation Department

7/26/2024
Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? Yes No NA
Availability Statement/Serviceability Letter Number
Note: Commitment for service is required prior to application approval.

ABCWUA

Date

- Infrastructure Improvements Agreement (IIA*)
Solid Waste Department Signature on the Plan
Fire Marshall Signature on the Plan

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: FIRE STATION #12- LOCATED AT 11701 CENTRAL AVE NE
LEGAL: Lots 1 through 10 & 27 through 34 and south 50 feet of lots 35 and 36 Block 6 East Central BU

Request Description: _____

Hydrology:

- Sensitive Lands Analysis (5-2(C)) _____ Approved _____ NA
- Grading and Drainage Plan _____ Approved _____ NA
- AMAFCA _____ Approved _____ NA
- Bernalillo County _____ Approved _____ NA
- NMDOT _____ Approved _____ NA
- MRGCD _____ Approved _____ NA

Hydrology Department

Date

Transportation:

- Traffic Circulations Layout (TCL) _____ Approved _____ NA
- Traffic Impact Study (TIS) _____ Approved _____ NA
- Neighborhood Impact Analysis (NIA) _____ Approved _____ NA
- Bernalillo County _____ Approved _____ NA
- MRCOG _____ Approved _____ NA
- NMDOT _____ Approved _____ NA
- MRGCD _____ Approved _____ NA

Transportation Department

Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? X Yes No NA
- Availability Statement/Serviceability Letter Number 240712
- Note: Commitment for service is required prior to application approval.

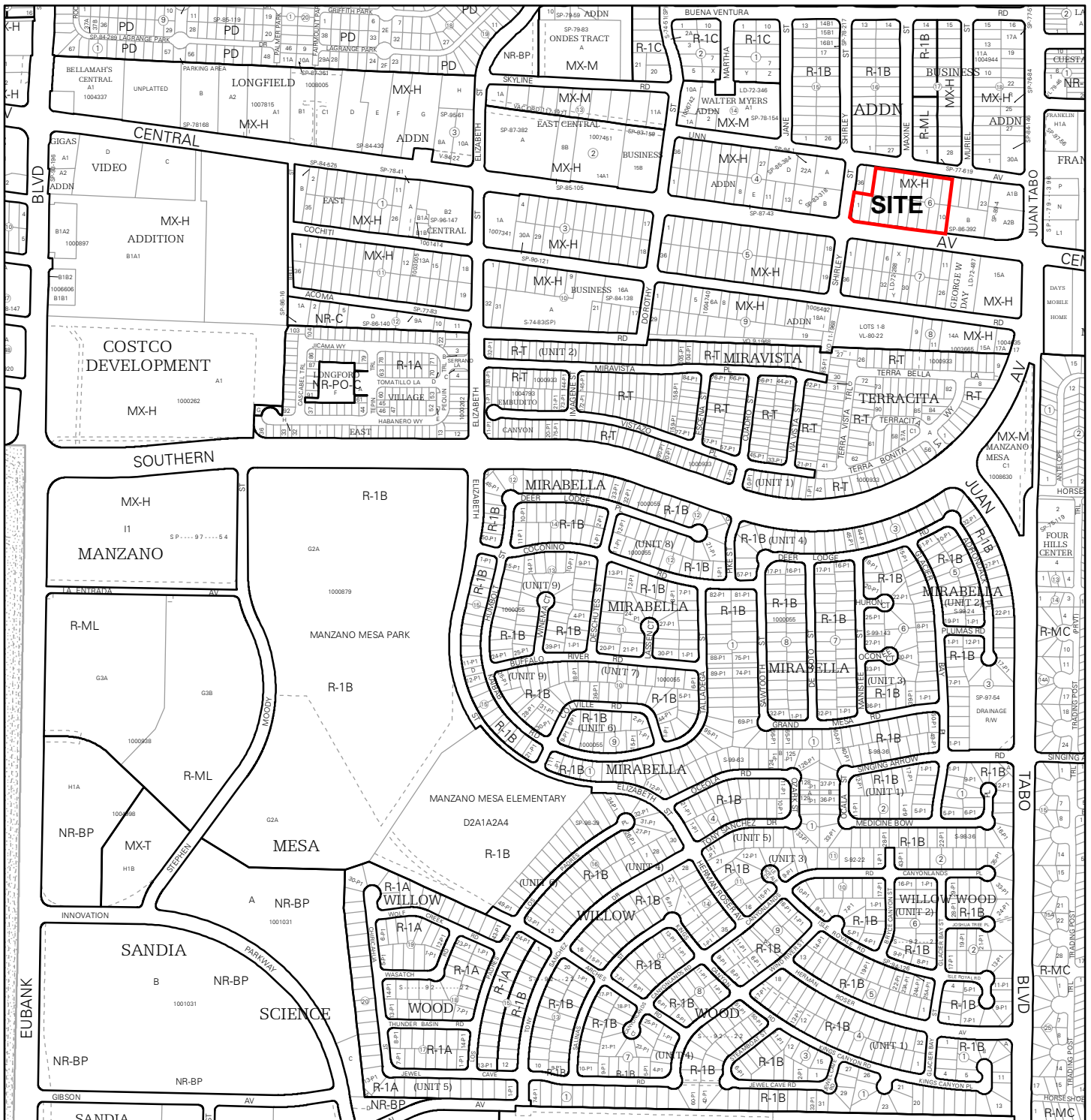


ABCWUA

07/24/2024
Date

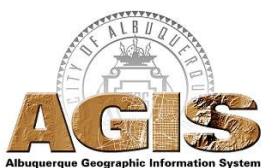
- Infrastructure Improvements Agreement (IIA*) _____ Approved _____ NA
- Solid Waste Department Signature on the Plan _____ Approved _____ NA
- Fire Marshall Signature on the Plan _____ Approved _____ NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

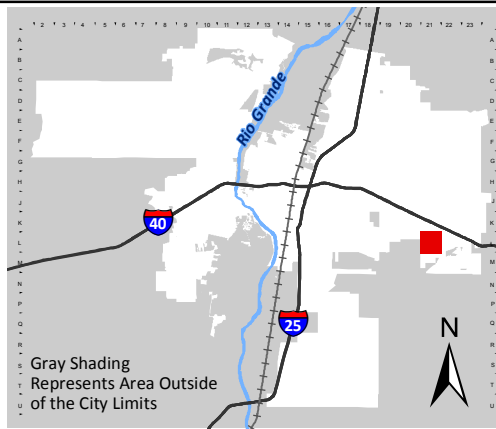


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

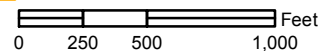


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
L-21-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



SITE DATA

LEGAL DESCRIPTION:
 LOTS (1) THROUGH (10), INCLUSIVE, LOTS (27) THROUGH (34)
 INCLUSIVE, AND THE SOUTHERLY 50 FEET OF LOTS (35) AND (36) IN
 BLOCK NUMBERED (6) OF EAST CENTRAL BUSINESS ADDITION
 CONTAINING 3.214 ACRES (140,000 SF)
 UPC: 102105644648011001
 ZONE ATLAS PAGE: L-21-Z
 EXISTING ZONING: MX-H
 PROPOSED ZONING: NR-SU
 PROPOSED LAND USE: FIRE STATION
 PEDESTRIAN AND VEHICLE ACCESS: PRIMARY VEHICULAR AND
 PEDESTRIAN ACCESS IS FROM CENTRAL AVENUE. WITH
 PEDESTRIAN CONNECTIONS FROM THE SIDEWALK TO THE
 BUILDING.
 BUS ROUTES: ROUTE 66/777 ALONG CENTRAL, WITH A PEAK
 FREQUENCY OF 15 MINUTES

PARKING REQUIREMENTS

PARKING CALCULATIONS:
 PER IDO TABLE 5-5-1 MINIMUM OFF STREET PARKING REQUIREMENTS:
 • FIRE STATION OR POLICE STATION: 2 SPACES/ 1,000 SQ. FT.
 GFA
 TOTAL REQUIRED:
 FIRE STATION #12- 12,509 SF (12,509/1000)*2 = 25 SPACES
 TOTAL PROVIDED:
 40 SPACES TOTAL ON SITE, OF WHICH 2 ARE HC ACCESSIBLE
 PER 5-5(D)(1):
 REQUIRED/ PROVIDED: 1/4
 PER TABLE 5-5-5 MINIMUM BICYCLE PARKING REQUIREMENTS:
 3 SPACES OR 10% OF REQUIRED OFF STREET PARKING SPACES
 WHICHEVER IS GREATER IS REQUIRED.
 BICYCLE SPACES
 REQUIRED/ PROVIDED: 3/6

PROJECT NUMBER: _____
 Application Number: _____
 This plan is consistent with the specific Site Development Plan approved
 by the Environmental Planning Commission (EPC) dated _____
 and the Findings and Conditions in the Official Notification of
 Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of
 approved DRC plans with a work order is required for any construction
 within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

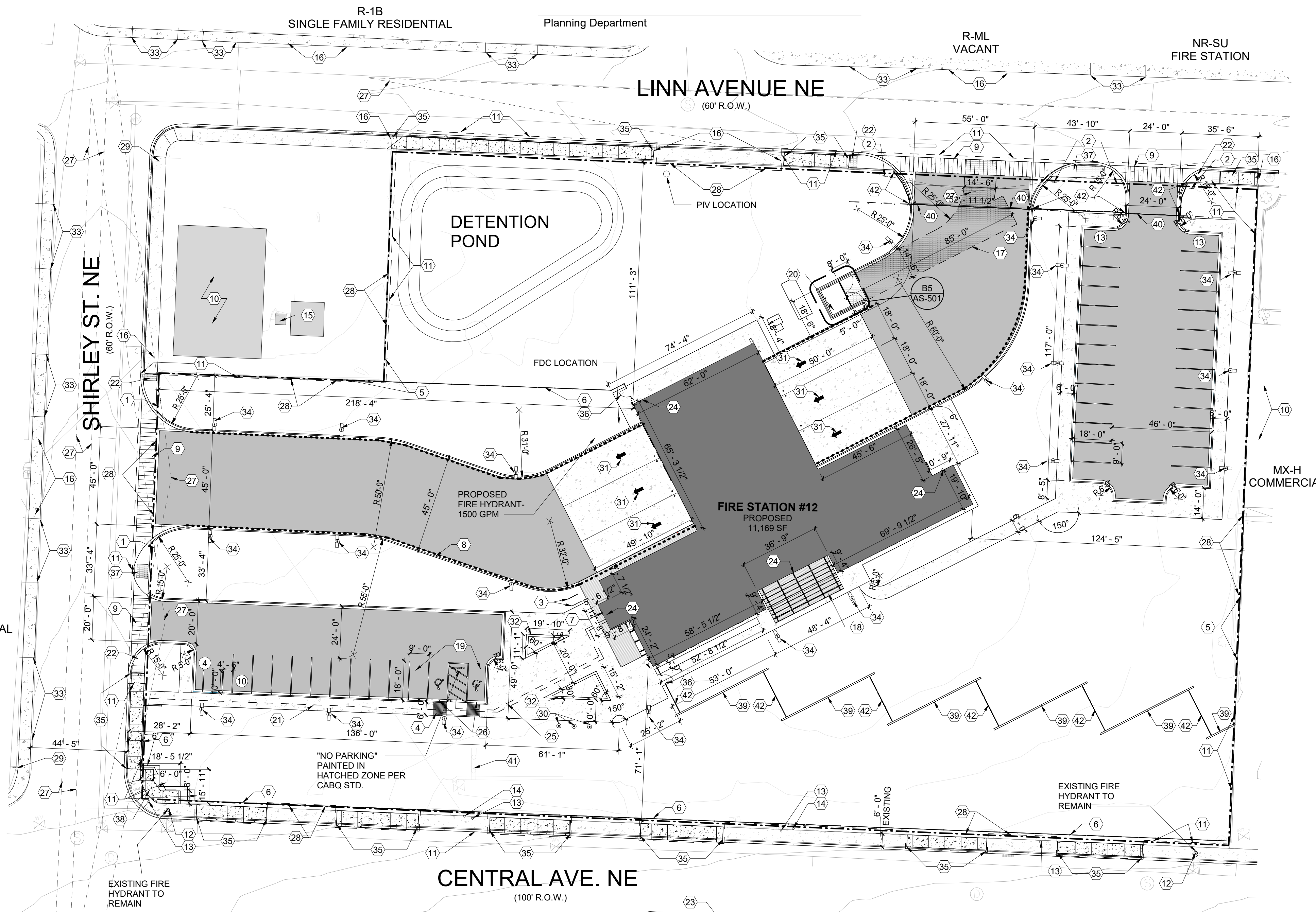
- Traffic Engineering, Transportation Division
- ABCWUA
- Parks and Recreation Department
- Hydrology
- Code Enforcement
- *Environmental Health Department (conditional)
- Solid Waste Management
- Planning Department

VICINITY MAP



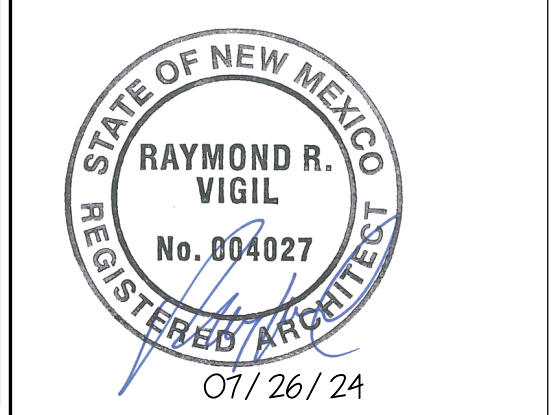
SHEET KEYNOTES	
1	NEW CABO STANDARD "DO NOT ENTER" SIGN
2	NEW STANDARD "OFFICIAL VEHICLES ONLY BEYOND THIS POINT" SIGN
3	NEW BICYCLE RACK SEE B3/AS-501
4	ACCESSIBLE SIDEWALK RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 SEE A1/AS-503
5	EXISTING SITE FENCE TO REMAIN
6	PROPOSED 6' HIGH DECORATIVE SITE FENCE - SEE A2/AS-501
7	PROPOSED ENTRY DOOR
8	6" CURB AND GUTTER PER CABQ STD DETAIL TYP. SEE CIVIL
9	CROSSWALK STRIPES- INTEGRALLY COLORED CONCRETE- CAST FLUSH W/ ADJACENT- COLOR TO BE GOLD YELLOW INTEGRAL CONCRETE- 2'X6' STRIPES EA. AT 2' APART TO EXTENTS SHOWN
10	EXISTING BUILDING TO REMAIN- NO WORK THIS AREA
11	WORK EXTENTS LINE
12	EXISTING FIRE HYDRANT TO REMAIN
13	EXISTING STREET LIGHT TO REMAIN
14	EXISTING POWER POLE TO REMAIN
15	EXISTING CELL TOWER TO REMAIN- NO WORK THIS AREA
16	EXISTING SIDEWALK TO REMAIN
17	PROPOSED REFUSE VEHICLE TURNAROUND
18	COVERED PATIO WITH LOOSE FURNITURE. 597 SF
19	HANDICAP PARKING PER CABQ STANDARD
20	REFUSE ENCLOSURE COMPLIANT WITH CABQ STANDARDS SEE DETAIL B5/AS-501 + C3/AS-501
21	ADA ACCESS PATH (240 FT TOTAL PATH LENGTH FROM ROW)
22	ACCESSIBLE DRIVEPAD RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD. DETAIL 2443 DETAIL C
23	EXISTING MEDIAN TO REMAIN- NO WORK THIS PERMIT
24	PROPOSED EXIT DOOR LOCATION
25	ADA ACCESS PATH (100 FT PATH FROM ADA PARKING)
26	ADA HANDICAP PARKING WITH CABQ STD LANGUAGE SIGN SEE A2/AS-502
27	CLEAR SIGHT TRIANGLE PER CABQ DPM 7.4.94
28	SITE PROPERTY BOUNDARY LINE
29	EXISTING STOP SIGN TO REMAIN
30	NEW 30' FLAGPOLE TYP. OF 3 SEE C3/AS-502
31	PAVEMENT DIRECTION MARKERS SEE A4/AS-503
32	RAISED PLANTER SEE D1/AS-501
33	EXTENTS OF EXISTING DRIVEWAY FRONTING SITE (NOT IN SCOPE)
34	NEW LIGHT 16' POLE (NIGHT SKY COMPLIANT) SEE B2/AS-501
35	NEW CURB AND SIDEWALK INFILL TO MATCH EXISTING
36	STEEL GATE
37	INSTALL TRUNCATED MATS AT THIS LOCATION AS SHOWN; HOLD SIDEWALK FLUSH W/ ADJACENT VALLEY GUTTERS
38	NEW 6' WIDE SIDEWALK FOR CONTINUOUS ACCESSIBLE PATH
39	PROPOSED 8' HIGH CMU SITE FENCE SEE C4/AS-503
40	NEW GATE INSTALLATION - CONTRACTOR TO PROVIDE ELECTRIC OPERATOR WITH MAGNETIC INDUCTION LOOP IN PAVEMENT ON SECURE SIDE AND A PEDESTAL KEYPAD ON UNSECURED SIDE COORDINATE POWER CONDUITS AND ANY COMMUNICATION REQUIREMENTS FULLY WITH OPERATOR UNIT MFR. - SEE AS-504
41	EXISTING SIGN TO REMAIN AND TO BE RE-USED
42	PROPOSED 6' HIGH RIBBED SITE FENCE - SEE A1/AS-501

GENERAL SHEET NOTES	
1.	ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
2.	LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE LINE OF SIGHT AREA.
3.	ALL INTERNAL SIDEWALKS SHALL BE 5 FEET IN WIDTH UNLESS OTHERWISE NOTED.
4.	ONSITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE OR AS PER PNM STANDARD REQUIREMENTS.
5.	TRANSIT ROUTES: ROUTE 66 AND ROUTE 777 ON CENTRAL AVENUE.



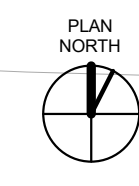
LEGEND	
	PROPOSED LIGHT POLE
	PROPOSED BUILDING
	EXISTING BUILDING
	PAVED ASPHALT
	PAVED CONCRETE
	LANDSCAPE AREA
	STEEL ORNAMENTAL FENCE
	STEEL GATE

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STACKED BY	DATE
ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
REVISIONS BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	



SEAL	
NO.	DATE
REMARKS	BY
95% CONSTRUCTION DOCUMENTS NOT FOR CONSTRUCTION	
Designed By:	DATE
Drawn By:	DATE
Checked By:	DATE

A1 OVERALL SITE PLAN
 Scale: 1" = 30'-0"



CITY OF ALBUQUERQUE
 CAPITAL IMPLEMENTATION PROGRAM
FIRE STATION 12
 11701 Central Ave NE Albuquerque, NM 87123

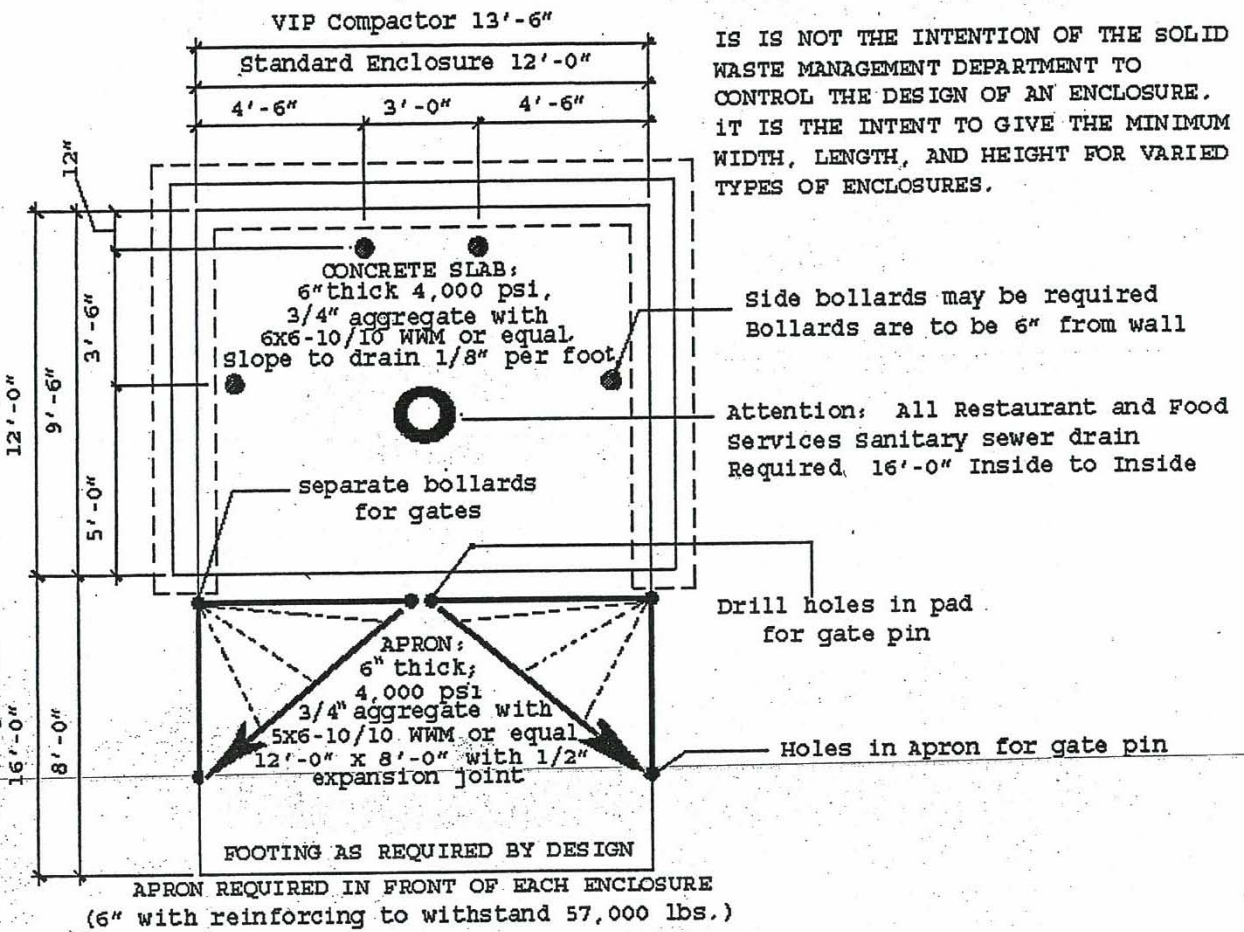
Drawing Title	SITE PLAN - EPC	
Design Review Committee	City Engineer Approval	Mo./Day/Yr. Mo./Day/Yr.
Issue Date:	City Project No.	Sheet
JULY 2024	636793	DFT-AS-101

SITE DATA

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PARKING REQUIREMENTS

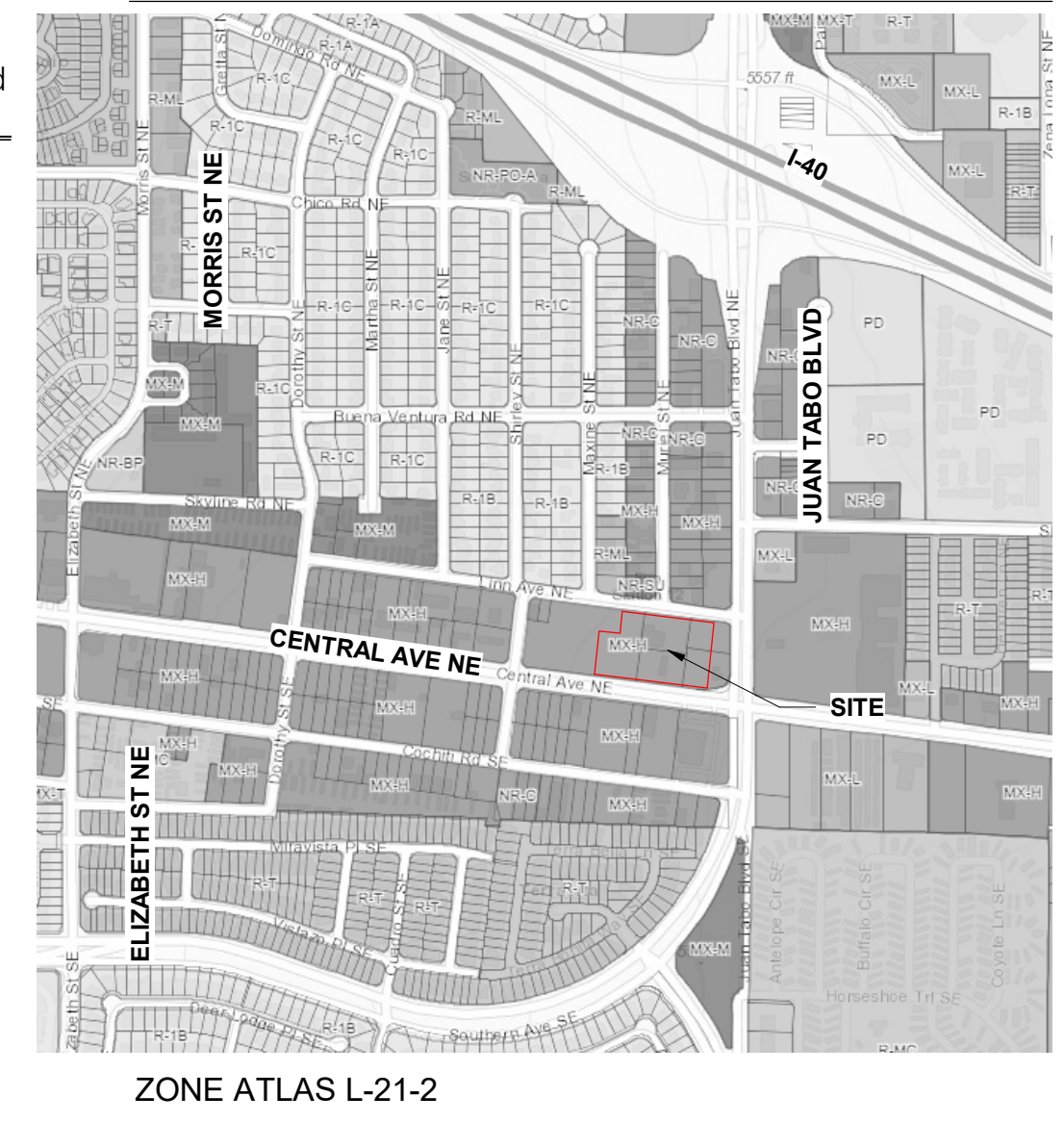
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 FIRE STATION #12- 11,169 SF (11,169/1000)*2 = 23 SPACES
 TOTAL PROVIDED:
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IS NOT THE INTENTION OF THE SOLID WASTE MANAGEMENT DEPARTMENT TO CONTROL THE DESIGN OF AN ENCLOSURE. IT IS THE INTENT TO GIVE THE MINIMUM WIDTH, LENGTH, AND HEIGHT FOR VARIOUS TYPES OF ENCLOSURES.
 Side bollards may be required bollards are to be 6" from wall
 attention: All Restaurant and Food services sanitary sewer drain required 16'-0" inside to inside
 Drill holes in pad for gate pin
 Holes in apron for gate pin

PROJECT NUMBER: _____
 Application Number: _____
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.
 Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
DFT SITE DEVELOPMENT PLAN APPROVAL:
 Traffic Engineering, Transportation Division
 ABCWUA
 Parks and Recreation Department
 Hydrology
 Code Enforcement
 *Environmental Health Department (conditional)
 Herman Gallegos *Herman Gallegos* 07-12-24
 Solid Waste Management
 Planning Department

VICINITY MAP



- ### GENERAL SHEET NOTES
- ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
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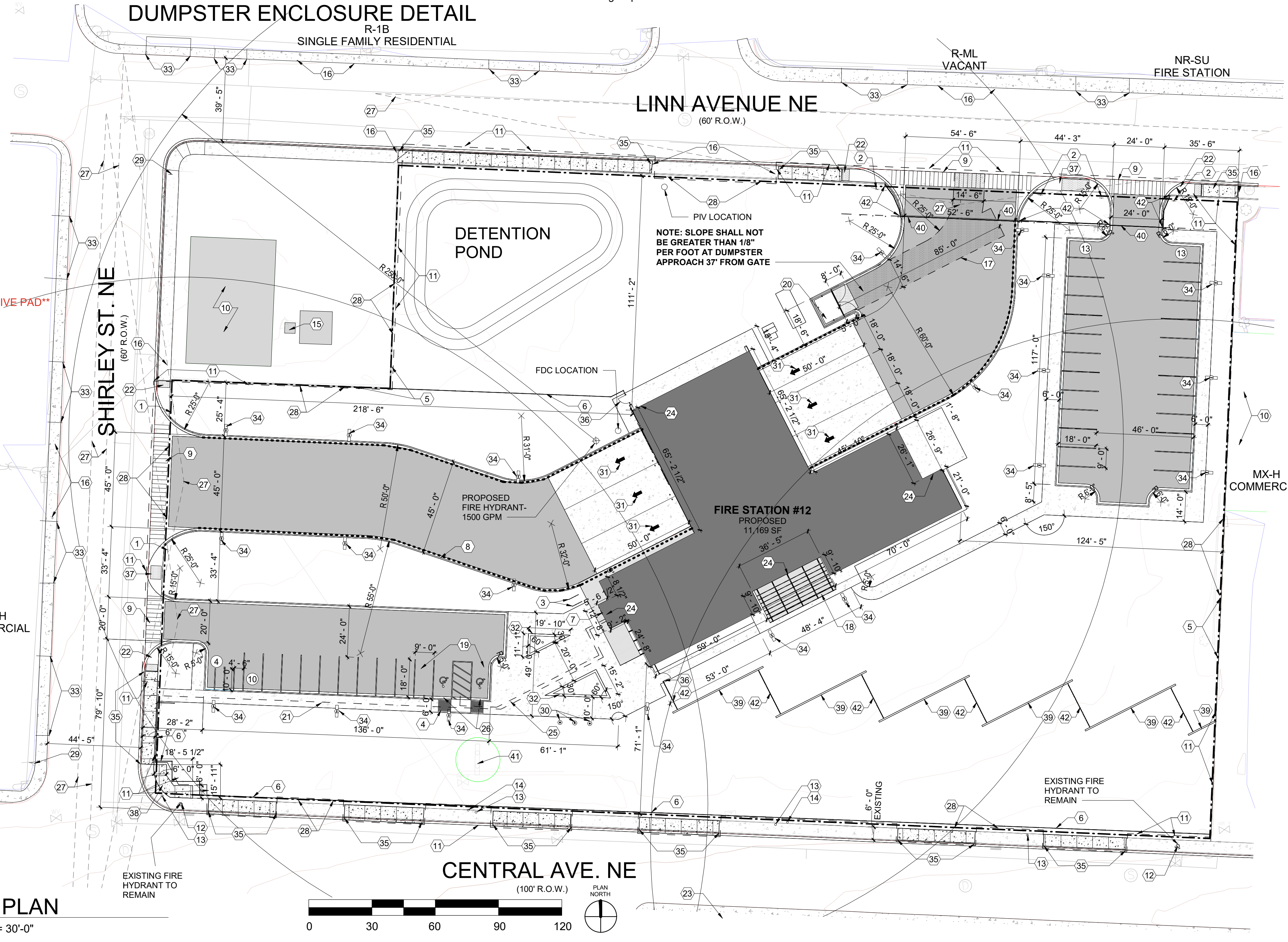
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 - PROPOSED ENTRY DOOR
 - 6" CURB AND GUTTER PER CABQ STD DETAIL TYP. SEE CIVIL
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 - HANDICAP PARKING PER CABQ STANDARD
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 - ADA ACCESS PATH (100 FT PATH FROM ADA PARKING)
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 - CLEAR SIGHT TRIANGLE PER CABQ DPM 7.4.94
 - SITE PROPERTY BOUNDARY LINE
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 - NEW 30' FLAGPOLE TYP. OF 3 SEE C3/AS-502
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 - RAISED PLANTER SEE D1/AS-501
 - EXTENTS OF EXISTING DRIVEWAY FRONTING SITE (NOT IN SCOPE)
 - NEW LIGHT 16' POLE (NIGHT SKY COMPLIANT) SEE B2/AS-501
 - NEW CURB AND SIDEWALK INFILL TO MATCH EXISTING
 - STEEL GATE
 - INSTALL TRUNCATED MATS AT THIS LOCATION AS SHOWN; HOLD SIDEWALK FLUSH W/ ADJACENT VALLEY GUTTERS
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CITY OF ABLUQUERQUE STD DUMPSTER ENCLOSURE DETAIL R-1B SINGLE FAMILY RESIDENTIAL



Approved for access by the Solid Waste Department.
 All containers must be made accessible for pick up between the hours of 5AM and 8PM.
 Reviewer: *Herman Gallegos*
 Date: 07-12-24

- **GATE ACCESS CODE**
- **HAZARD ROUTE**
- **GATES OPEN THE WIDTH OF THE DRIVE-PAD**



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	DATE	DATE	NO.	DATE	NO.	DATE

NO.	DATE	REMARKS	BY	DATE

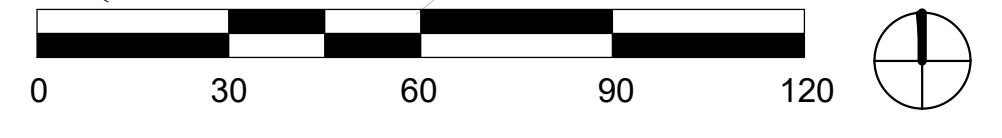


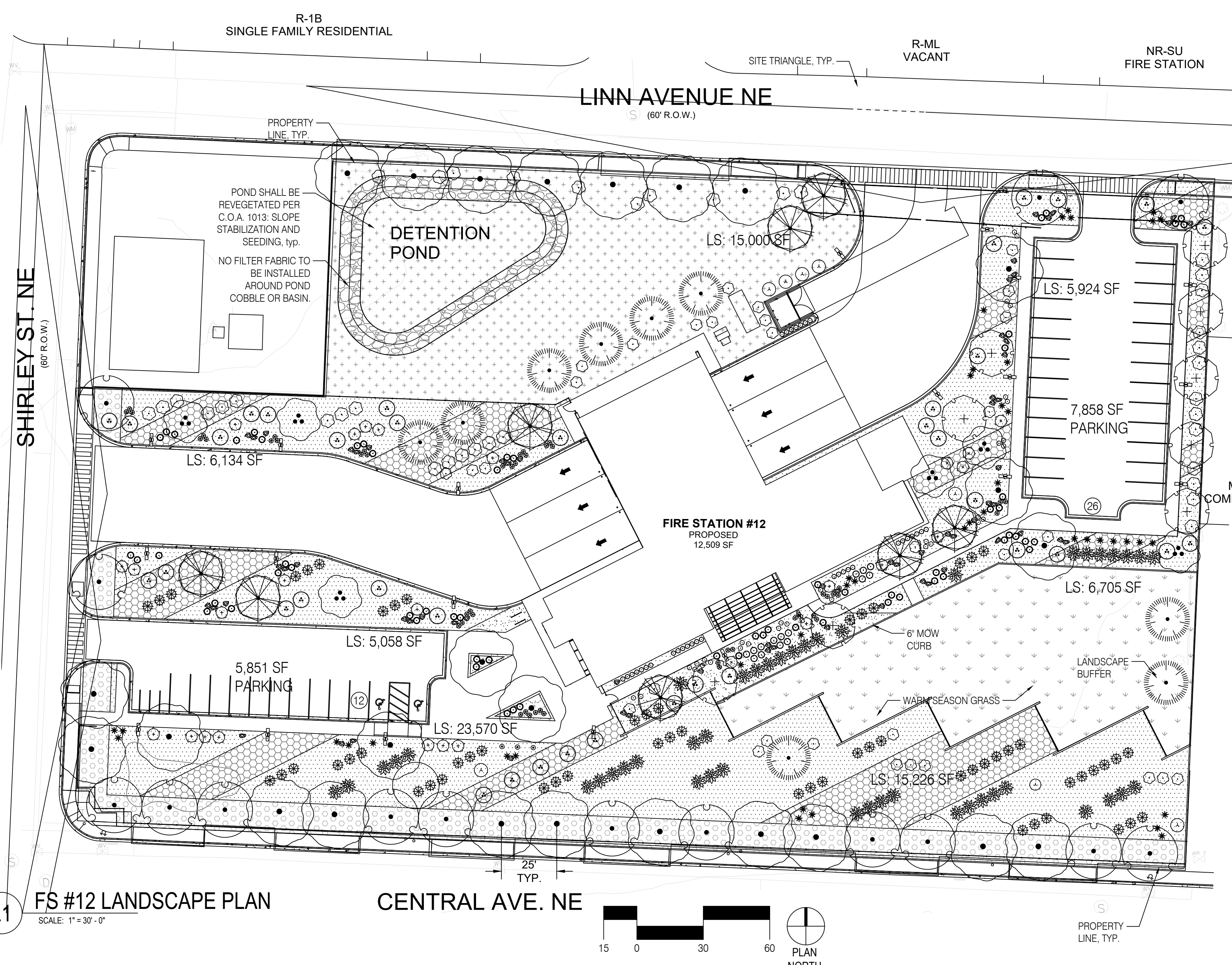
CITY OF ALBUQUERQUE
 CAPITAL IMPLEMENTATION PROGRAM
FIRE STATION 12
 11701 Central Ave NE Albuquerque, NM 87123

SITE PLAN - SOLID WASTE

Drawing Title	City Engineer Approval		Mo./Day/Yr.	Mo./Day/Yr.
Design Review Committee				
Issue Date:	City Project No.	Sheet		
JULY 2024	636793	AS-100S		

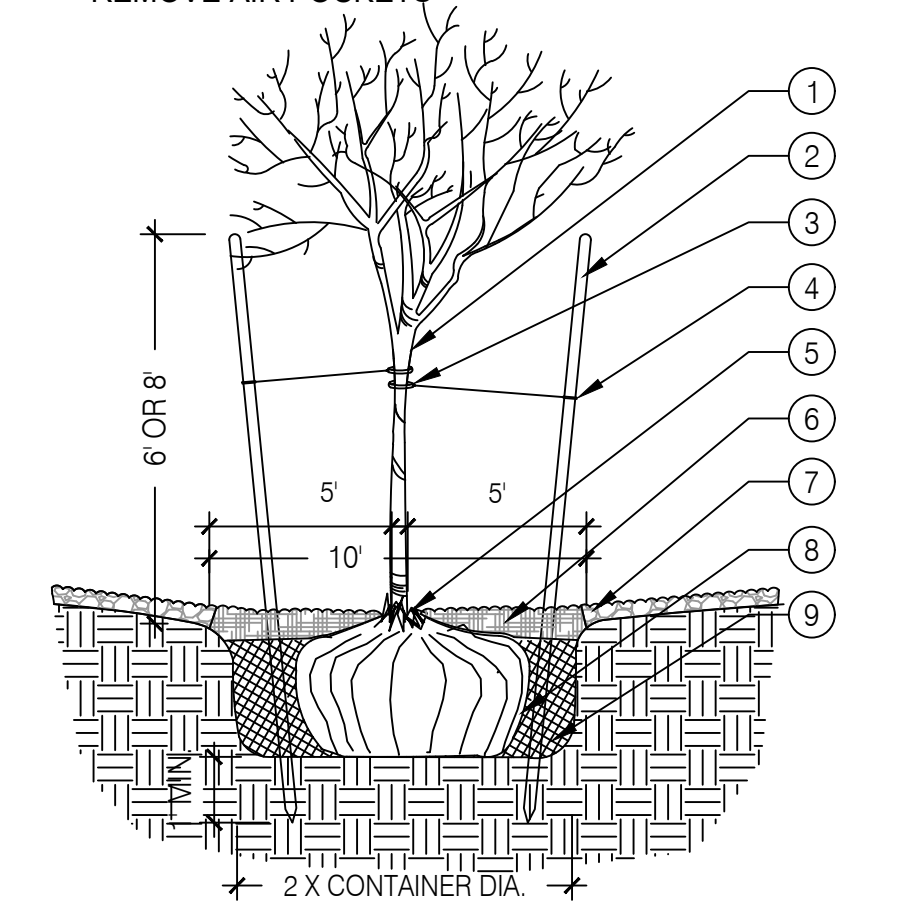
A1 SITE PLAN
 Scale: 1" = 30'-0"





PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE	WATER USE
TREES					
(Symbol)	21	Acer negundo 'Sensation' Sensation Box Elder	2.5" Cal.	35' x 25' Multi-trunk	MEDIUM
(Symbol)	8	Chilopsis linearis Desert Willow	2.5" Cal. B&B	20' x 25'	MEDIUM
(Symbol)	9	Pinus nigra Austrian Pine	6" HT. B&B	35' x 25'	MEDIUM
(Symbol)	29	Pistacia chinensis Chinese Pistache	2.5" Cal. B&B	40' x 30'	MEDIUM
(Symbol)	9	Vitex agnus-castus Chaste Tree	24" Box	20' ht. x 20' spd.	MEDIUM
SHRUBS					
(Symbol)	60	Dasylirocn texanum Texas Sotol (FEMALE ONLY)	5 gal.	5'-6" ht. x 2'-4" spd.	LOW
(Symbol)	6	Forestiera neomexicana NM Olive	15 gal.	15' ht. x 15' spd.	MEDIUM
(Symbol)	37	Juniperus horizontalis 'Blue Chip' Blue Chip Creeping Juniper	5 gal.	1' ht. x 7' spd.	LOW
(Symbol)	31	Nepeta x faassenii 'Select Blue' Select Blue Catmint	5 gal.	2' ht. x 2' spd.	LOW
(Symbol)	15	Potentilla fruticosa Shrubby Cinquefoil	5 gal.	3' ht. x 3' spd.	MEDIUM
(Symbol)	69	Rhus trilobata 'Autumn Amber' Autumn Amber Sumac	5 gal.	2' ht. x 6' spd.	LOW
GRASSES					
(Symbol)	63	Bouteloua gracilis 'Blonde Ambition' Blonde Ambition Blue Grama	1 gal.	3' ht. x 3' spd.	LOW
(Symbol)	33	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass	1 gal.	2.5' ht. x 2' spd.	MEDIUM
PERENNIALS					
(Symbol)	26	Mirabilis multiflora Colorado Four O'Clock	5 gal.	2' ht. x 5' spd.	LOW
(Symbol)	48	Teucrium aronianum Creeping Germander	1 gal.	1' ht. x 2' spd.	LOW
SUCCULENTS					
(Symbol)	45	Agave americana Century Plant	3 gal.	6' ht. x 6' spd.	LOW
(Symbol)	42	Hesperaloe parviflora 'Straight Up Red' Straight Up Red Yucca	5 gal.	5' ht. x 3' spd.	LOW
(Symbol)	8	Opuntia engelmannii Engelmann's Prickly Pear	5 gal.	5' ht. x 8' spd.	RW
MULCHES AND BOULDERS					
(Symbol)	66	MOSS ROCK BOULDERS (27 CF MIN)			
(Symbol)	10,469 SF	2"-6" GREY ROUND COBBLE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
(Symbol)	29,828 SF	7/8" PUEBLO ROSE ROCK MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
(Symbol)	2,710 SF	4"-6" COYOTE MIST COBBLE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
(Symbol)	8,047 SF	2"-4" ROSE GOLD COBBLE (4" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
(Symbol)	2,179 SF	"SANTA FE BROWN" CRUSHER FINES (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
(Symbol)	18,593 SF	RE-VEGETATIVE SEEDING: 'GRAVEL UPLANDS': SEE C.O.A 1013 NOT IRRIGATED			
(Symbol)	11,471 SF	BUFFALO AND BLUE GRAMA, WARM SEASON GRASS SPREAD AT A RATE OF 2LBS PURE LIVE SEED PER 1000 SF. (SPRAY TO SPRAY IRRIGATION)			



1 TREE PLANTING SCALE: N.T.S.

GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING. PURSUANT TO IDO 5-6(C)(14)(C) IRRIGATION SHALL ADHERE TO CABO SPECIFICATIONS SECTION 1000.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING
SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

SHREDDED ORGANIC MULCH AT TREES
SHREDDED ORGANIC MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 5" DIAMETER CIRCLE.

IDO STANDARDS

THE FOLLOWING REGULATIONS SHALL WARRANT THE RELOCATION OF PLANT MATERIAL IF FIELD CONDITIONS WARRANT.

CLEARANCE
PER 5-6(C)(7)(A), VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.

PER 5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.

PER 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.

PER 5-6(C)(10)(A) TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS.

PER 5-6(C)(10)(B) TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.

PER 5-6(C)(10)(E) ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS MUST ALLOW 10 FEET OF CLEARANCE FOR ACCESS AND TO ENSURE THE SAFETY OF THE WORK CREWS AND PUBLIC DURING MAINTENANCE AND REPAIR.

PER 5-6(C)(10)(F) TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.

LANDSCAPE CALCULATIONS (5-6-C)

LANDSCAPE AREA COVERAGE IDO 5-6(C)(2)	
TOTAL SITE AREA (3,214 AC.)	140,000 SF
DEVELOPED AREA:	-12,509 SF
BUILDING AREA:	127,491 SF
NET AREA	19,124 SF (15%) / 83,469 SF (23%)
REQUIRED / PROVIDED LANDSCAPE	[COMPLIANT]
COVERAGE IDO 5-6(C)(2)(c)	
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPE AREA. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.	
REQUIRED/PROVIDED LIVE VEGETATIVE COVERAGE	62,602 SF (75%) / 74,224 (89%)
REQUIRED/PROVIDED GROUND-LEVEL COVERAGE	15,650 SF (25%) / 38,762 (52%)
+RE-VEG	[COMPLIANT]
PARKING LOT TREES 5-6(F)(2)	
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES AND NO PARKING SPACE MAY BE MORE THAN 100FT FROM A TREE TRUNK.	
PARKING LOT SPACES PROVIDED	38
REQUIRED/PROVIDED PARKING LOT TREES:	4 / 4
	[COMPLIANT]
PARKING LOT AREA	
AT LEAST 10% OF THE PARKING LOT AREA CONTAINING 50 OR FEWER SPACES SHALL BE LANDSCAPED.	
TOTAL PARKING LOT AREA:	13,709 SF
REQUIRED/PROVIDED LANDSCAPE AREA:	1,371 SF (10%) / (10%) 1,371
	[COMPLIANT]
'WARM SEASON' NATIVE GRASSES ARE PROVIDED	
ANY PARKING LOT LOCATED WITHIN 20 FEET OF THE SIDE OR REAR LOT LINE SHALL BE SCREENED BY A LANDSCAPE STRIP AT LEAST 6 FEET WIDE CONTAINING AT LEAST 2 TREES AND 6 SHRUBS PER 25 FEET OF THE PARKING EDGE. (PARKING LOTS ARE NOT WITHIN 20')	[COMPLIANT]

STREET TREES IDO5-6 (E) (2)
STREET TREE REQUIREMENTS ARE BASED UPON AN AVERAGE SPACING OF 25' O.C. (CENTRAL AVENUE SE); STREET FRONTAGE- 476'
REQUIRED/PROVIDED STREET TREES = 19/19 [COMPLIANT]

LANDSCAPE SHALL APPLY PURSUANT TO IDO 5-6 LANDSCAPE BUFFERING AND SCREENING.

GRAVEL MULCH COVERAGE
LANDSCAPE SHALL APPLY PURSUANT TO 5-6(C)(5)(C) THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA

REQUIRED: 62,602 SF (no more than 75%)
PROVIDED: 49,656 SF. LESS THAN MAXIMUM SF [COMPLIANT]

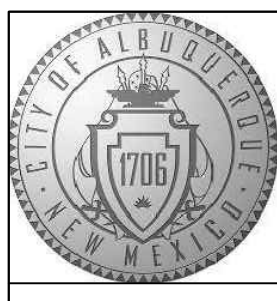
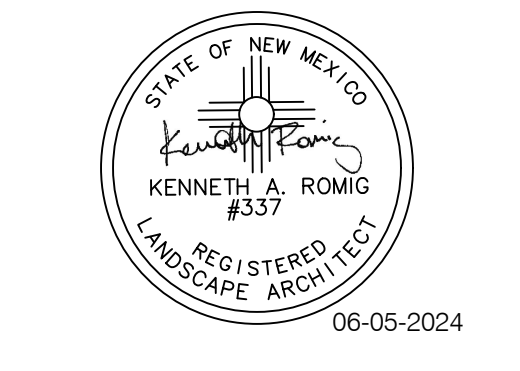
ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
INSPECTOR'S FIELD CHECK BY	DATE
FIELD VERIFICATION BY	DATE
DRAWING BY	DATE
CHECKED BY	DATE
MICRO-FILM INFORMATION	
NO.	DATE

BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	DATE

DESIGNED BY: AM	DATE: 6/5/24		
DRAWN BY: AM	DATE: 6/5/24		
CHECKED BY: KR	DATE: 6/5/24		
NO.	DATE	REMARKS	BY



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CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM

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11701 CENTRAL AVE
ALBUQUERQUE, NM 87123

Drawing Title: **LANDSCAPE PLAN DFT**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		00/00/2023	

Issue Date: **JUNE 5, 2024**

City Project No. **XXXXX XX#XX**

Sheet **LS-101**

DRAINAGE REPORT

SITE LOCATION

The existing site is an approximate 3.21-acre piece of land located at the corner of Linn Avenue and Shirley Street, North of Central in Albuquerque, New Mexico. The site can be accessed via Central Ave. (see vicinity map this sheet).

EXISTING CONDITIONS

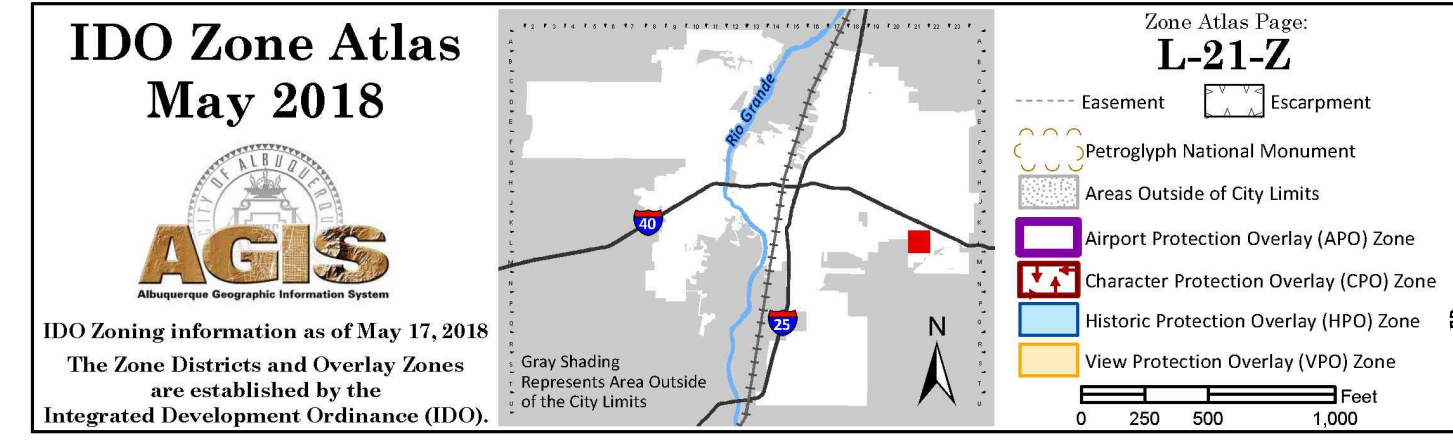
The existing site is estimated at 3.21 acres and is currently an undeveloped parcel of land. It is relatively flat with a mild slope from east to west and does not lie within a 100-year FEMA floodplain.

PROPOSED CONDITIONS

The proposed project will consist of a new fire station building, a new driveway entrance from Linn Ave and Shirley Street, and parking lot areas on the southwest and east side of the site. The site will also have several landscape areas and a water harvesting feature on the west side of the property. Runoff from the building will be routed to the water harvest area via a new storm drain system. Flows from other areas that are not able to be captured by the water harvest pond will discharge to Linn Ave on the North and Shirley Street on the west side.

CONCLUSIONS

When fully developed as indicated on the grading and drainage plan, runoff from the site will discharge to a water harvest feature on the west side of the site. Other areas will discharge north to Linn Avenue and west to Shirley Street.



VICINITY MAP

ZONE ATLAS MAP L-21-Z

HYDROLOGY CALCULATIONS

Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B	C	D				
Existing Conditions									
Site	3.21	2.88	0.00	0.00	0.33	0.99	0.265	0.285	8.07
Total	3.21								8.07
Proposed Conditions									
Site	3.21	0.00	0.00	1.87	1.34	1.95	0.522	0.606	14.01
Total	3.21								14.01

WATER HARVEST AREA

WHA #1					WHA #2				
Pond Rating Table					Pond Rating Table				
Side Slope					Side Slope				
Elev. (ft)	Area (sq ft)	Volume (cf)	Cum Volume (cf)		Elev. (ft)	Area (sq ft)	Volume (cf)	Cum Volume (cf)	
23	2593	0	0		25	795	0	0	
24	4870	3731.500	3731.500		26	1310	1052.482	1052.482	
25	6303	5586.500	9318.000		27	1865	1587.482	2639.963	

STORM WATER QUALITY CALCULATIONS

SWQV = (0.42"/12 * 58,370 SF) = 2043 CUBIC FEET

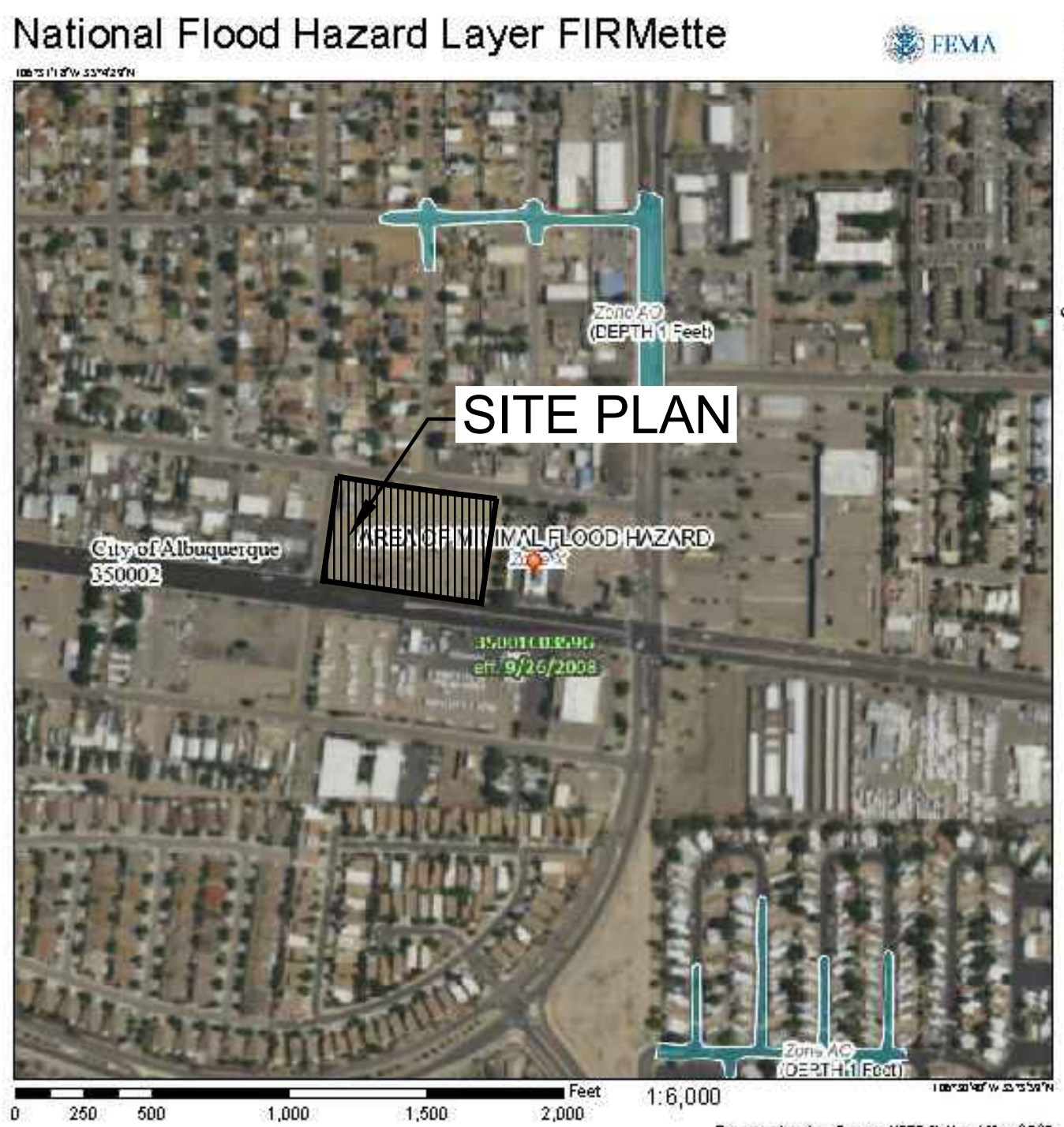
City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 07/10/2024
 BY: [Signature]
 HydroTrans # L21D036

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

City of Albuquerque Electronic Stamp

GENERAL NOTES:

- EXISTING TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY PRECISION SURVEYS, INC., ALBUQUERQUE, NEW MEXICO JANUARY, 2024. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- PROJECT BENCHMARK ACS 4-L22 IS A CITY OF ALBUQUERQUE SURVEY CONTROL 3 1/4 ALUMINUM DISC SET FLUSH WITH THE TOP OF THE CURB AND IS STAMPED "4-L22 1986/92" ELEVATION = 5,586.425 FEET (NAVD 1988 VERTICAL DATUM).
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%, ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2019 EDITION OF THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (GRAY BOOK). ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN PUBLIC WORKS ASSOCIATION, NEW MEXICO CHAPTER, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.
- THE CONTRACTOR SHALL SUBMIT A SEED MIX DESIGN TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO STARTING THE SEEDING ON THE PROJECT. THE SEED MIX DESIGN SHALL BE A SEED MIX RECOMMENDED BY NRCS FIELD OFFICE REPRESENTATIVE APPROPRIATE FOR PROJECT LOCATION.



FLOOD ZONE MAP

FLOOD ZONE MAP: 35001C0359G

NO.	DATE	AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL
		CONTRACTOR	DATE	WORKED BY	DATE	NO.	DATE	

50% CDs NOT FOR CONSTRUCTION

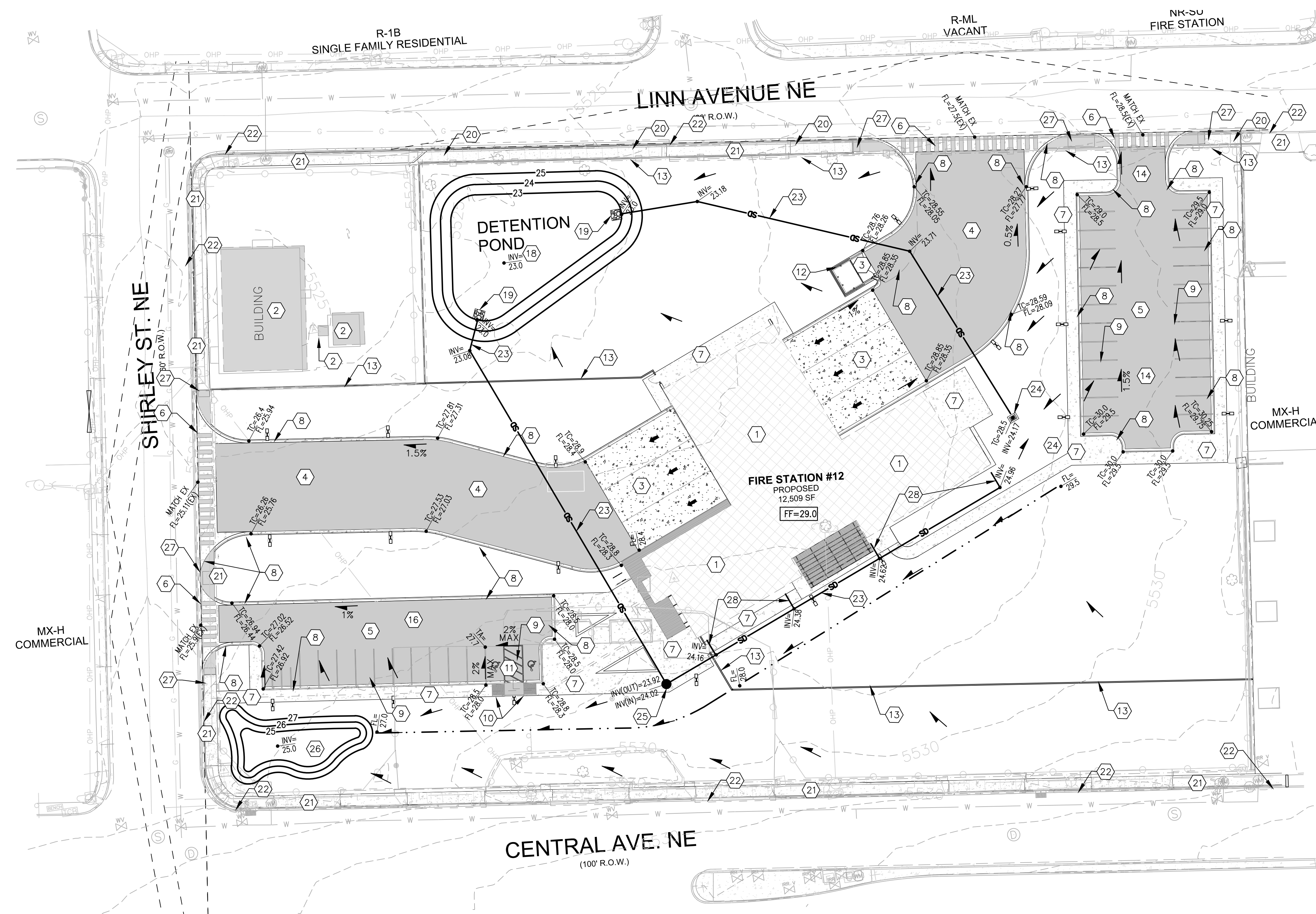
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CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 12
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Drawing Title		HYDROLOGY PLAN	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		7/10/18	
Issue Date:	City Project No.	Last Design Update	
JUNE, 2024		Sheet	
		CG-101	

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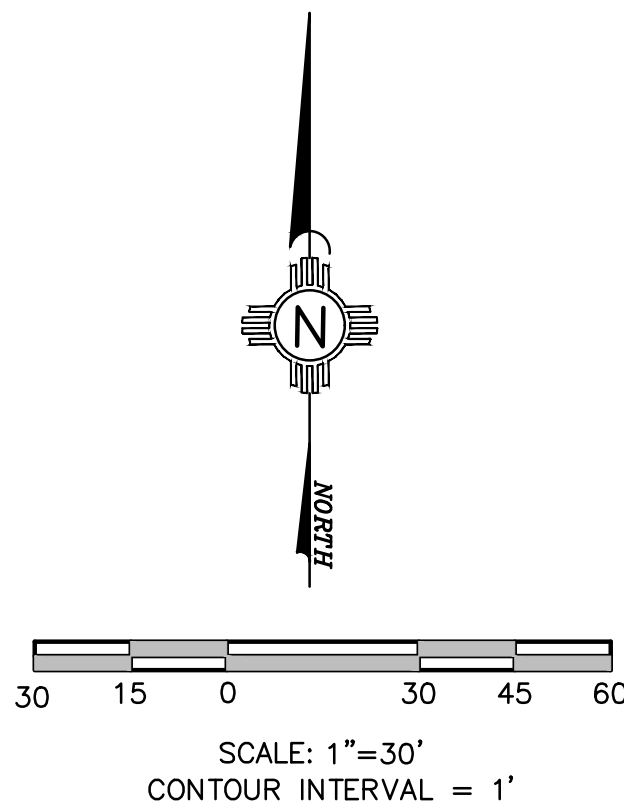
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City of Albuquerque Electronic Stamp

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORKED BY	DATE
INSPECTED BY	DATE
FIELD ACCEPTANCE BY	DATE
FINANCE BY	DATE
RECORDED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

- LEGEND:**
- 38.00 FL PROPOSED SPOT ELEVATIONS (FLOW LINE)
 - MATCH (95.19) MATCH EXISTING ELEVATIONS
 - FL TOP OF CONCRETE
 - INV FLOW LINE, CURB
 - FG INVERT
 - TBC FINISH GRADE
 - TC TOP OF BASE COURSE
 - TG TOP OF CURB
 - TA TOP OF GRATE
 - FV TOP OF ASPHALT
 - FIELD VERIFY
 - FLOW ARROW
 - ⋈ GRADE BREAK-HIGH POINT
 - PROPOSED STORM DRAIN MANHOLE
 - SWALE
 - SD STORM DRAIN LINE
 - 5895 PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - 5895 EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - ▲ TOP OF CUT SLOPE
 - ▭ PROPOSED BUILDING
 - ▨ HEAVY DUTY CONCRETE PAVING
 - ▩ HEAVY DUTY ASPHALT PAVING
 - ▤ PROPOSED CONCRETE FLATWORK/SIDEWALK

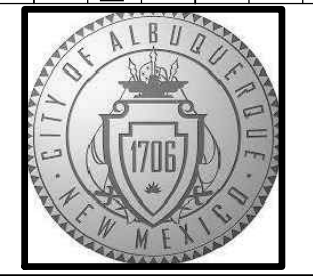


KEYED NOTES:

- | | |
|--|--|
| 1 NEW BUILDING SEE ARCHITECTURAL PLANS. | 16 NEW VISITOR PARKING, (12 SPACES - 2 ADA)(4 MOTORCYCLE) 18-TOTAL |
| 2 EXISTING BUILDING TO REMAIN. | 17 NOT USED. |
| 3 NEW HEAVY DUTY CONCRETE PAVING. SEE DETAIL SHEET C-501. | 18 NEW WATER HARVEST AREA #1 INV=23.0, SEE DETAIL SHEET C-501. |
| 4 NEW HEAVY DUTY ASPHALT PAVING. SEE DETAIL SHEET C-501. | 19 NEW 5'x5' RIP RAP PAD, SEE DETAIL SHEET C-503. |
| 5 NEW LIGHT DUTY ASPHALT PARKING. SEE DETAIL SHEET C-501. | 20 NEW SIDEWALK PER COA STD DWG #2430. |
| 6 NEW CONCRETE VALLEY GUTTER WITH FILLETS, PER COA STD DWG #2420. | 21 EXISTING SIDEWALK TO REMAIN. |
| 7 NEW CONCRETE FLAT WORK, SEE ARCHITECTURAL PLANS FOR DETAILS. | 22 EXISTING CURB AND GUTTER TO REMAIN. |
| 8 NEW CONCRETE CURB AND GUTTER. PER COA STD DWG #2415A. | 23 NEW 12" STORM DRAIN LINE @ 0.5% SLOPE. |
| 9 NEW PARKING STRIPES AND ADA MARKINGS, SEE ARCHITECTURAL PLANS FOR DETAILS. | 24 NEW TYPE D INLET. PER COA STD DWG #2206. INV=24.17, TG=28.5 |
| 10 NEW ADA RAMPS, SEE ARCHITECTURAL PLANS FOR DETAILS. | 25 NEW STORM DRAIN MANHOLE, RIM=28.4. |
| 11 NEW ADA PARKING SIGN, SEE ARCHITECTURAL PLANS FOR DETAILS. | 26 NEW WATER HARVEST AREA #2, PER DETAIL SHEET C-501. INV=25.0 |
| 12 NEW TRASH INCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS. | 27 NEW ADA RAMP PER COA STD DWG #2443. |
| 13 NEW SITE WALL, SEE ARCHITECTURAL PLANS FOR DETAILS. | 28 NEW 6" STORM DRAIN LINE @ 2% SLOPE. |
| 14 NEW FIRE FIGHTER PARKING, (26 SPACES) | |

MEC MILLER ENGINEERING CONSULTANTS
 Engineers • Planners
 3500 COMANCHE, NE
 BUILDING #
 ALBUQUERQUE, NM 87107
 (505)888-7500
 (505)888-3800 (FAX)
 WWW.MECNM.COM

50% CDS
 NOT FOR
 CONSTRUCTION



CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 12
 11714 LINN AVE. N.E.
 ALBUQUERQUE, NM 87123

Drawing Title
CONCEPTUAL GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr. 7/10/18	Mo./Day/Yr.
Issue Date: JUNE, 2024	City Project No.	Last Design Update	
		Sheet	

C-101

T:\Clients\VIGIL & ASSOCIATES\CABQ FIRE STATION #12\CAD\Sheets\C-101 GRADING & DRAINAGE PLAN.dwg, C-101_LG & D PLAN, 6/13/2024, 10:43:44 AM

PROJECT NO.: 636793

D

C

B

A

1

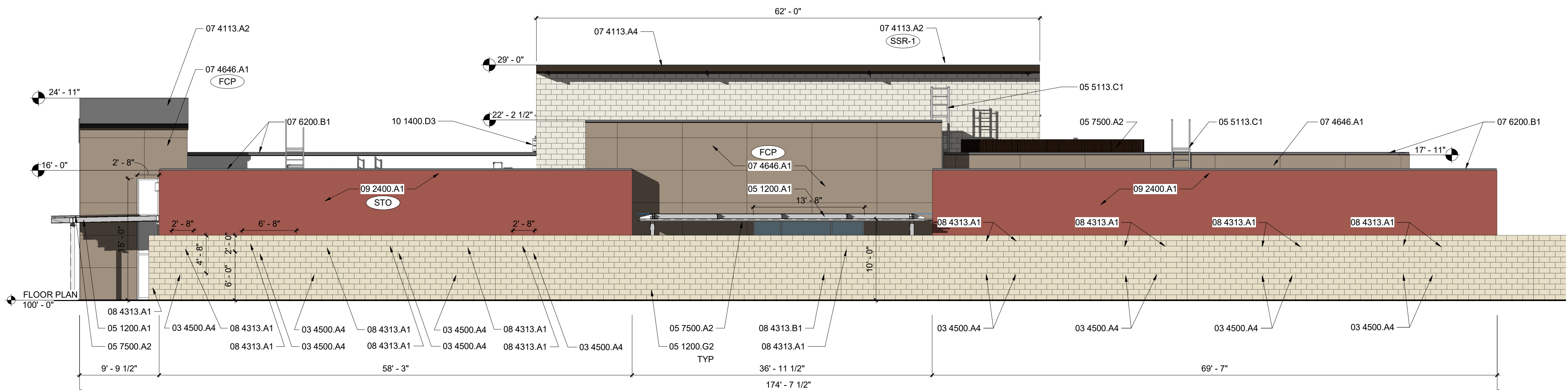
2

3

4

5

City of Albuquerque Electronic Stamp



C1 SOUTHEAST ELEVATION
Scale: 1/8" = 1'-0"

GENERAL SHEET NOTES

A. ALL EXTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES, DOORS, AND EXPOSED STEEL BEAMS AND COLUMNS AND DOOR STOPS SHALL BE PAINTED.

B. REFER COLOR & MATERIAL SCHEDULE FOR STUCCO AND CMU COLORS.

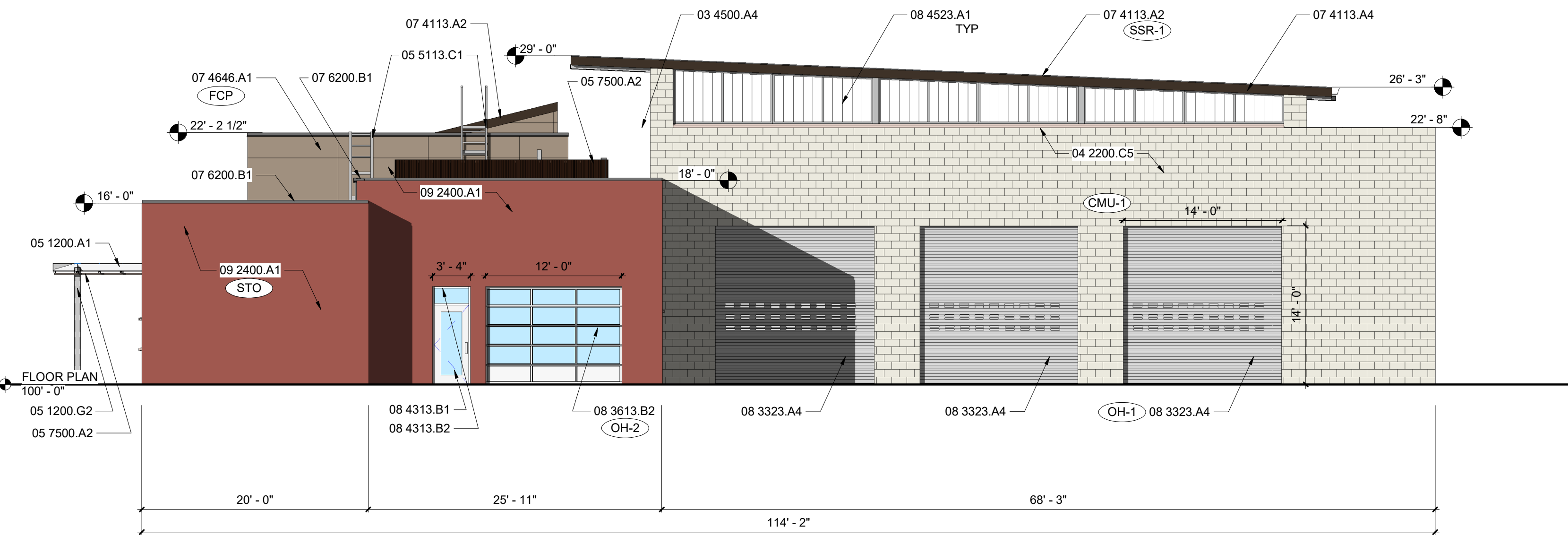
C. REFER CIVIL SHEETS FOR LOCATIONS OF DOWNSPOUTS THAT WILL BE CONNECTED TO STORM DRAIN SYSTEM.

REFERENCE KEYNOTES

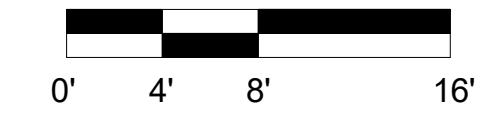
03 4500.A4	PRECAST ARCHITECTURAL CONCRETE SILL
04 2200.C5	12" BURNISHED FACE CMU
04 2200.D2	4" CMU VENEER - BURNISHED FACE
05 1200.A1	W SHAPE STEEL MEMBER - REFER STRUCTURAL
05 1200.G2	TUBE STEEL COLUMN - REFER STRUCTURAL
05 5113.C1	STEEL ROOF ACCESS LADDER - PAINT
05 7500.A2	
07 4113.A2	PRE-FINISHED STANDING SEAM METAL ROOF PANEL
07 4113.A4	PRE-FINISHED METAL SOFFIT SYSTEM BY STANDING SEAM METAL ROOF MANUFACTURER
07 4646.A1	FIBER-CEMENT SIDING
07 6200.B1	COPING
08 3323.A4	OVERHEAD COILING DOOR - ELECTRIC MOTOR OPERATED
08 3613.B2	ALUMINUM & GLASS SECTIONAL DOOR
08 4313.A1	ALUMINUM FRAMED STORFRONT
08 4313.B1	GLAZED ALUMINUM DOOR
08 4313.B2	ALUMINUM STORFRONT DOOR FRAME
08 4523.A1	FIBERGLASS SANDWICH PANEL SYSTEM
09 2400.A1	7/8" ELASTOMERIC SYNTHETIC STUCCO SYSTEM - STO-01
10 1400.D3	BUILDING IDENTIFICATION LETTERS - 12" HIGH

COLOR AND MATERIAL SCHEDULE - ELEVATIONS

CODE	MATERIAL	STYLE	COLOR
EXTERIOR FINISHES			
CMU-1	BURNISHED - CMU	BURNISHED BLOCK	SEASHORE (LIGHT GREY)
CMU-2	CMU	SMOOTH	SEASHORE (LIGHT GREY)
STO	STUCCO 01	SAND STUCCO FINISH	BOLD BRICK - SW 6327 (RED)
FCP	FIBER CEMENT PANEL	SMOOTH	MOTH WING - SW 9174 (NEUTRAL TAN)
PC-1	METAL WALL COPING CAP	METAL	BURNISHED SLATE (CHARCOAL GREY)
SSR-1	STANDING SEAM METAL ROOF	RAWHIDE	BURNISHED SLATE (CHARCOAL GREY)
STEEL-1	SUNSHADE STRUCTURAL STEEL	MATTE	CASHMERE - DEC758 (LIGHT TAN)
AL-1	ALUMINUM FRAMED OPENINGS	EXTERIOR: TRIFAB VG451T INTERIOR: TRIFAB 450	CLEAR ANODIZED ALUMINUM (SILVER)
OH1	HIGH SPEED OVERHEAD DOOR	MODEL #: EPI 300	RAL 7012 - BASALT GREY (DARK GREY)
OH2	OVERHEAD SECTIONAL DOOR	MODEL #: 904U	CLEAR ANODIZED ALUMINUM (SILVER)
HM-D	HOLLOW METAL DOORS AND FRAMES	MATTE	GRAY WOLF - DE6354 (FLAT GREY)



A1 NORTHEAST ELEVATION
Scale: 1/8" = 1'-0"



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE
WORK STACKED BY	DATE				
ACCEPTANCE BY	DATE				
FIELD VERIFICATION BY	DATE				
REVISIONS BY	DATE				
CORRECTED BY	DATE				
RECORDED BY	DATE				
NO.	DATE				



NO.	DATE	REMARKS	BY
1	02.02.2024	Addendum #1	

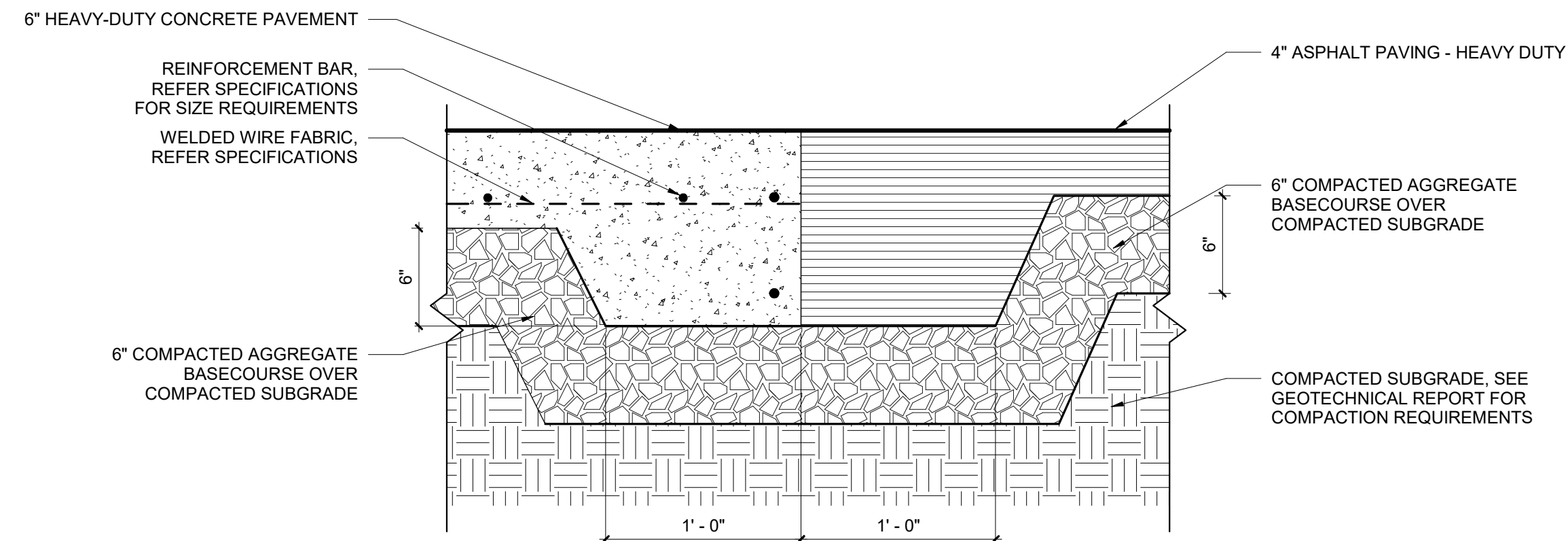
95% CONSTRUCTION DOCUMENTS
NOT FOR CONSTRUCTION

Designed By: _____
Drawn By: _____
Checked By: _____

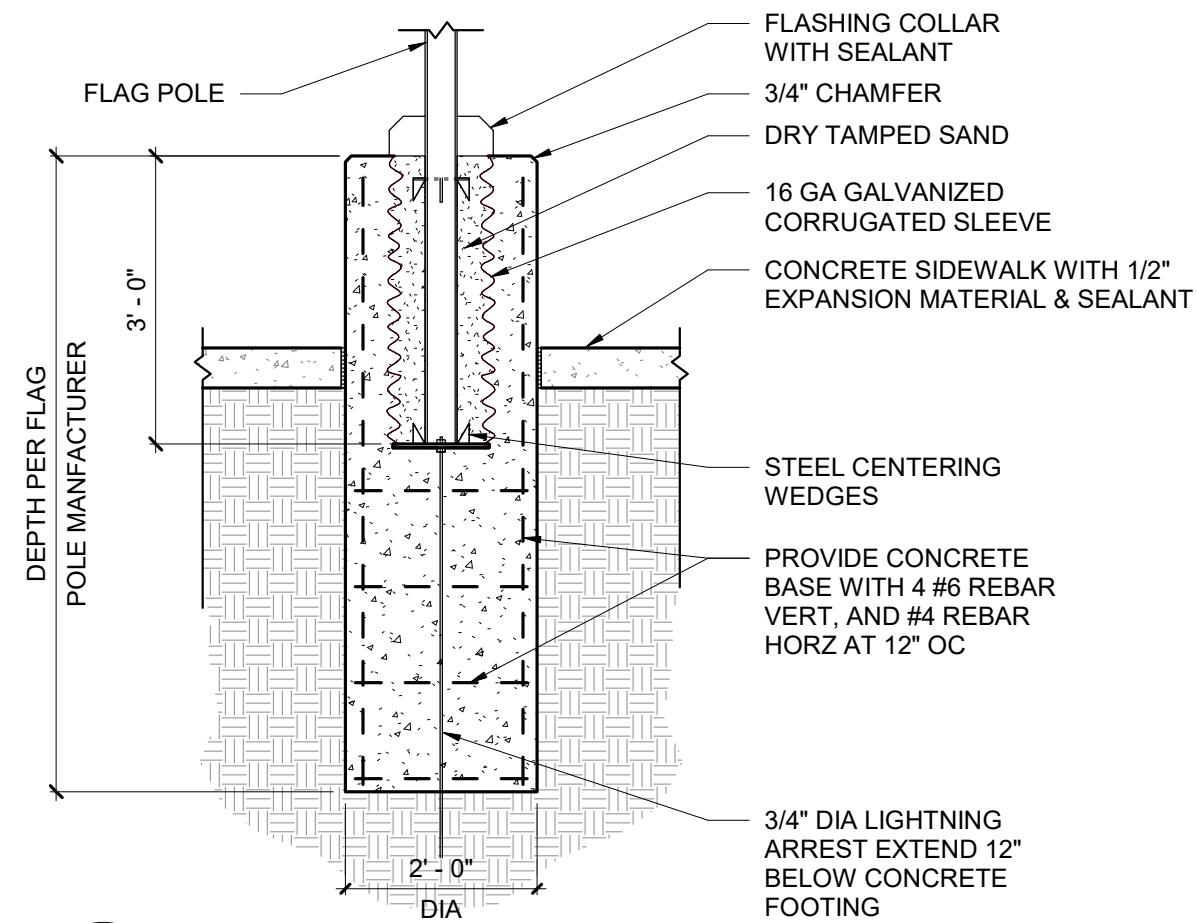


CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
FIRE STATION 12
11701 Central Ave NE Albuquerque, NM 87123

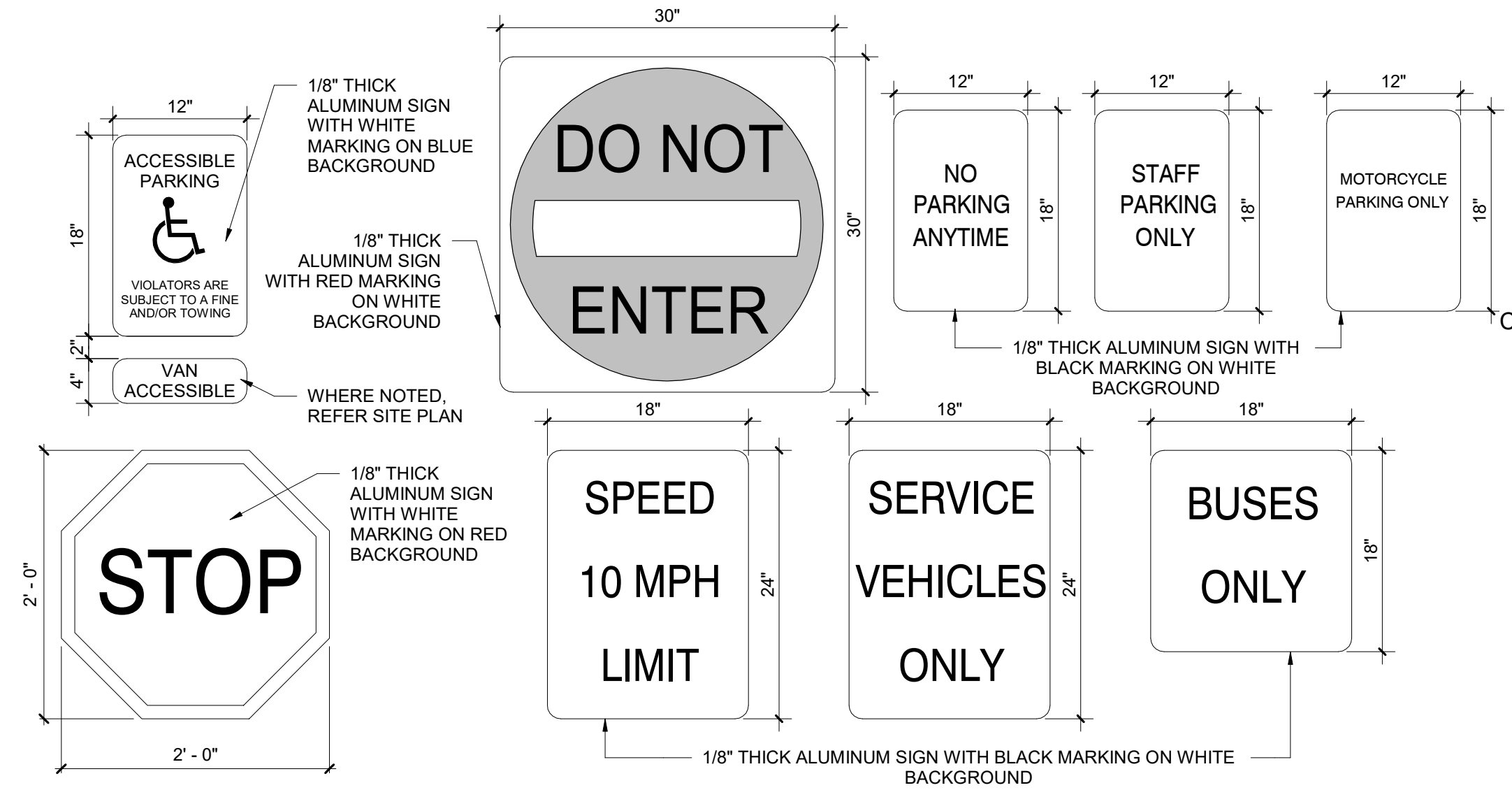
Drawing Title	EXTERIOR ELEVATIONS	
Design Review Committee	City Engineer Approval	
Issue Date:	City Project No.	Sheet
JULY 2024	636793	DFT-A-201



C1 CONCRETE TO ASPHALT TRANSITION
Scale: 1 1/2" = 1'-0"

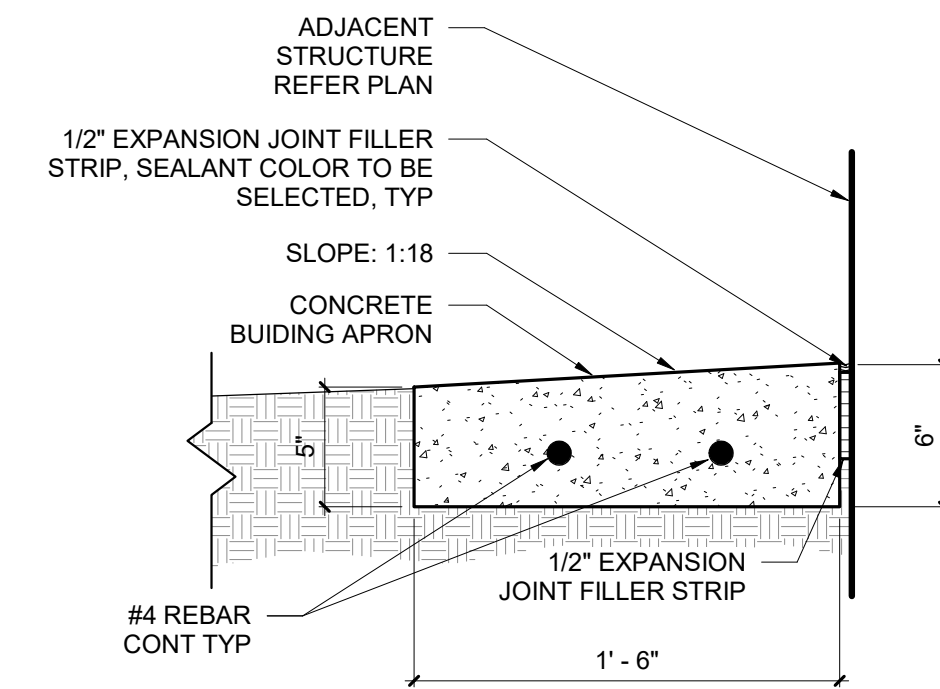


D3 FLAG POLE
Scale: 1/2" = 1'-0"

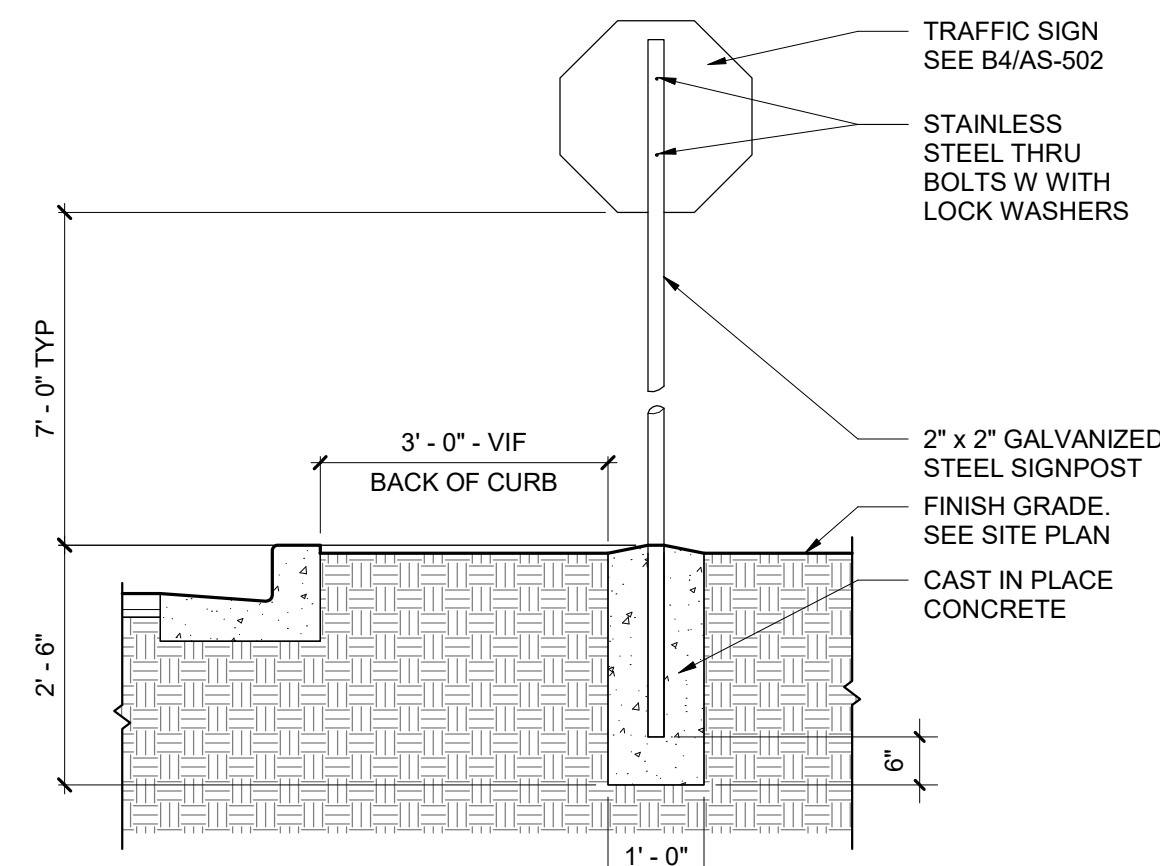


REFER AS-101 FOR LOCATIONS
NOTE: FOR REFERENCE ONLY, UTILIZE INDUSTRY STANDARDS FOR TYPICAL SIZE/COLOR/STYLIZATION

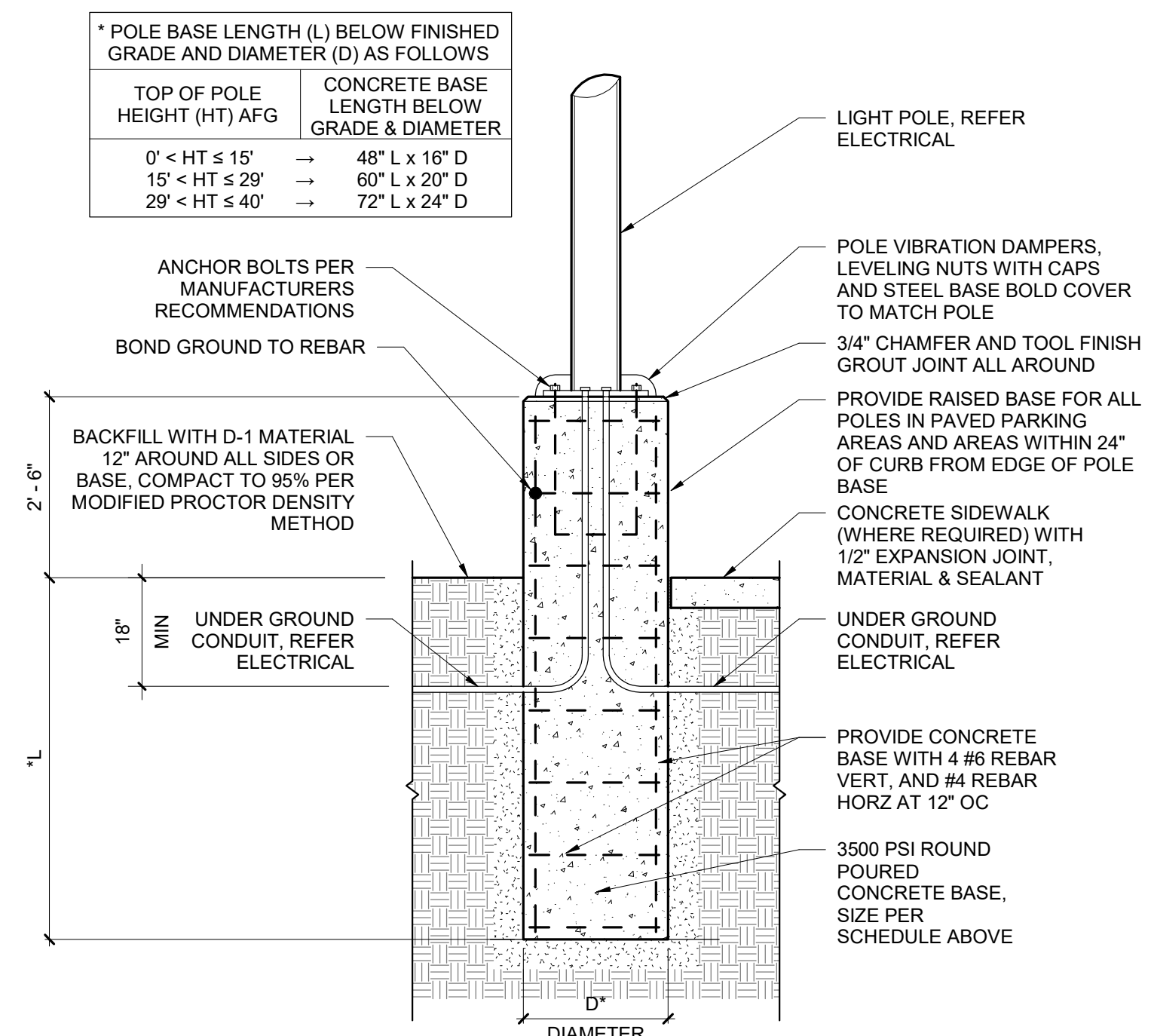
B4 TRAFFIC SIGNS
Scale: 1" = 1'-0"



B5 CONCRETE BUILDING APRON
Scale: 1 1/2" = 1'-0"



A2 STANDARD SIGN
Scale: 1/2" = 1'-0"



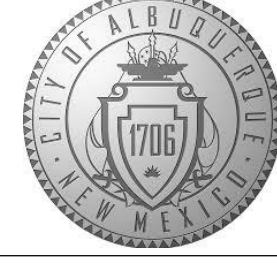
A3 LIGHT POLE BASE
Scale: 1/2" = 1'-0"

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
FIELD ACCEPTANCE BY	DATE
REVISION BY	DATE
CORRECTED BY	DATE
RECORDED BY	DATE
NO.	

BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
NO.	DATE

SEAL	
NO.	DATE
REMARKS	BY
95% CONSTRUCTION DOCUMENTS	
NOT FOR CONSTRUCTION	
Designed By:	DATE
Drawn By:	DATE
Checked By:	DATE



CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM

FIRE STATION 12
11701 Central Ave NE Albuquerque, NM 87123

Drawing Title: **SITE DETAILS - EPC**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Last Design Update			

Issue Date: **JULY 2024** City Project No. **636793** Sheet **DFT-AS-502**

PROJECT NO.: 636793

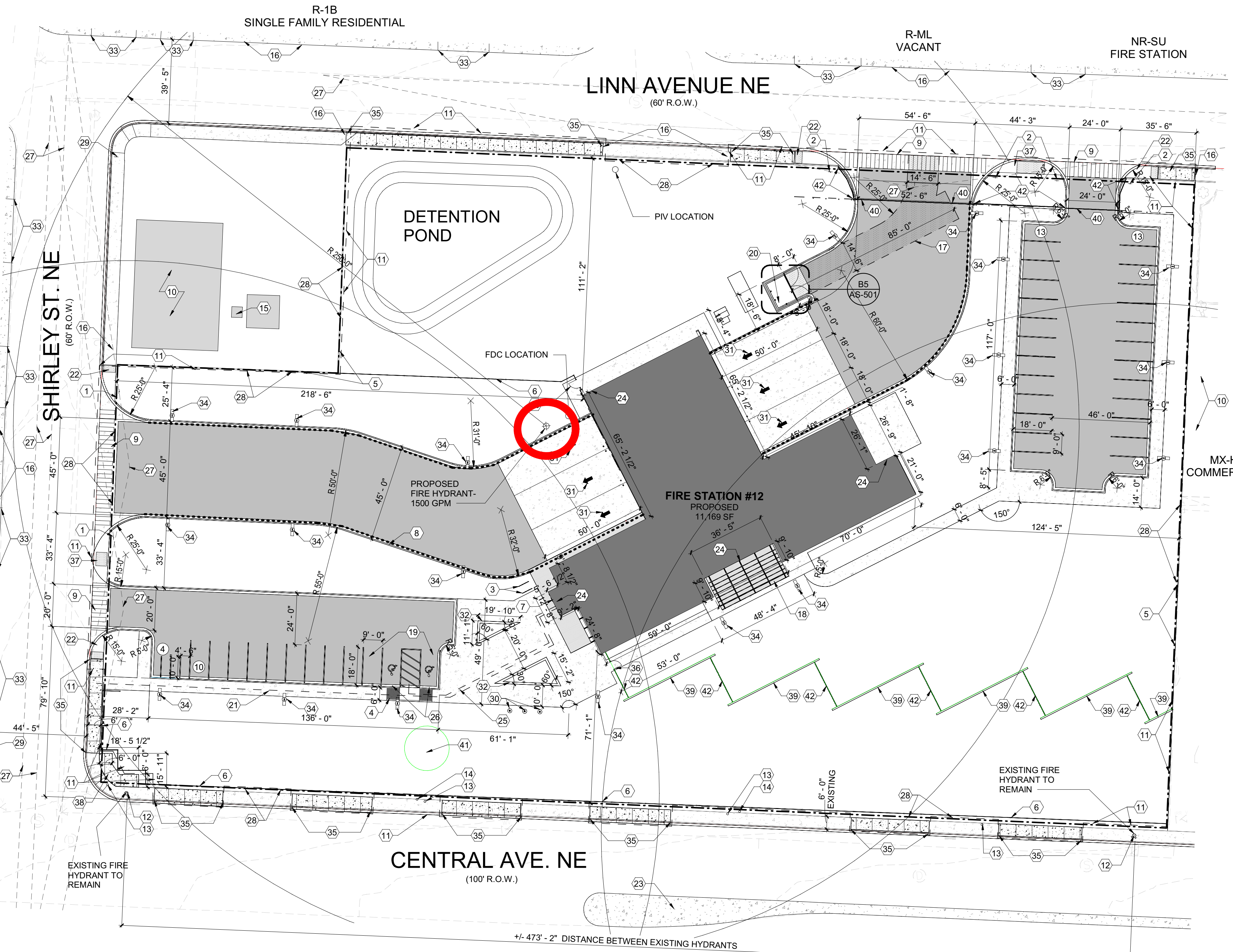
GENERAL FIRE 1 NO.

1. ACCESS AND LOADING: AN APPROVED SHALL BE AN ASPHALT, CONCRETE OR OTHER CAPABLE OF SUPPORTING THE IMPOSED LOAD WEIGHING AT LEAST 75,000 LBS.

2. FIRE APPARATUS ROADS SHALL NOT EXCEED 6" CURB AND GUTTER PER CABQ STD DETAIL TYP. SEE CIVIL

ALBUQUERQUE FIRE MARSHAL'S OFFICE
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP 24-020122
APPROVED DATE: 07/11/24
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.



SHEET KEYNOTES FIRE 1

- NEW CABQ STANDARD "DO NOT ENTER" SIGN
- NEW STANDARD "OFFICIAL VEHICLES ONLY BEYOND THIS POINT" SIGN
- NEW BICYCLE RACK SEE B3/AS-501
- ACCESSIBLE SIDEWALK RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 SEE A1/AS-503
- EXISTING SITE FENCE TO REMAIN
- PROPOSED 6" HIGH DECORATIVE SITE FENCE - SEE A2/AS-501
- PROPOSED ENTRY DOOR
- 6" CURB AND GUTTER PER CABQ STD DETAIL TYP. SEE CIVIL
- CROSSWALK STRIPES - INTEGRALLY COLORED CONCRETE-CAST FLUSH W/ ADJACENT-COLOR TO BE GOLD YELLOW INTEGRAL CONCRETE, 2'X6' STRIPES EA. AT 2' APART TO EXTENTS SHOWN
- EXISTING BUILDING TO REMAIN- NO WORK THIS AREA
- WORK EXTENTS LINE
- EXISTING FIRE HYDRANT TO REMAIN
- EXISTING STREET LIGHT TO REMAIN
- EXISTING POWER POLE TO REMAIN
- EXISTING CELL TOWER TO REMAIN- NO WORK THIS AREA
- EXISTING SIDEWALK TO REMAIN
- PROPOSED REFUSE VEHICLE TURNAROUND
- COVERED PATIO WITH LOOSE FURNITURE, 597 SF
- HANDICAP PARKING PER CABQ STANDARD
- REFUSE ENCLOSURE COMPLIANT WITH CABQ STANDARDS SEE DETAIL B5/AS-501 + C3/AS-501
- ADA ACCESS PATH (240 FT TOTAL PATH LENGTH FROM ROW)
- ADA ACCESS PATH (100 FT PATH FROM ADA PARKING)
- ADA HANDICAP PARKING WITH CABQ STD LANGUAGE SIGN SEE A2/AS-502
- CLEAR SIGHT TRIANGLE PER CABQ DPM 7.4.94
- SITE PROPERTY BOUNDARY LINE
- EXISTING STOP SIGN TO REMAIN
- NEW 30' FLAGPOLE TYP. OF 3 SEE C3/AS-502
- PAVEMENT DIRECTION MARKERS SEE A4/AS-503
- RAISED PLANTER SEE D1/AS-501
- EXTENTS OF EXISTING DRIVEWAY FRONTING SITE (NOT IN SCOPE)
- NEW LIGHT 16' POLE (NIGHT SKY COMPLIANT) SEE B2/AS-501
- NEW CURB AND SIDEWALK INFILL TO MATCH EXISTING
- STEEL GATE
- INSTALL TRUNCATED MATS AT THIS LOCATION AS SHOWN; HOLD SIDEWALK FLUSH W/ ADJACENT VALLEY GUTTERS
- NEW 6" WIDE SIDEWALK FOR CONTINUOUS ACCESSIBLE PATH
- PROPOSED 8" HIGH CMU SITE FENCE SEE C4/AS-503
- NEW GATE INSTALLATION - CONTRACTOR TO PROVIDE ELECTRIC OPERATOR WITH MAGNETIC INDUCTION LOOP IN PAVEMENT ON SECURE SIDE AND A PEDESTAL KEYPAD ON UNSECURED SIDE COORDINATE POWER CONDUITS AND ANY COMMUNICATION REQUIREMENTS FULLY WITH OPERATOR UNIT MFR. - SEE AS-504
- EXISTING SIGN TO REMAIN AND TO BE RE-USED
- PROPOSED 6" HIGH RIBBED SITE FENCE - SEE A1/AS-501

CODE ANALYSIS - FIRE 1

ADDRESS: 11701 Central Ave NE
Albuquerque, NM 87123

APPLICABLE CODES:
2021 INTERNATIONAL BUILDING CODE (2021 IBC)
2021 NEW MEXICO COMMERCIAL BUILDING CODE
2021 NEW MEXICO PLUMBING & MECHANICAL CODE
2020 NEW MEXICO ELECTRICAL CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2015 INTERNATIONAL FIRE CODE
ICC/ANSI A117.1-2010 ACCESSIBILITY STANDARDS

OCCUPANCY CLASSIFICATION - FIRE STATION: MIXED OCCUPANCIES
GROUP R-3 RESIDENCE, CONGREGATE LIVING FACILITY
GROUP A-3 ASSEMBLY
GROUP S-2 STORAGE, LOW HAZARD

ALLOWABLE BUILDING HEIGHT: GROUP A-3, S-2 AND R-3 TYPE IIB SPRINKLERED; (MOST RESTRICTIVE):
75 FT (3 STORY) WHEN SPRINKLERED PER IBC TABLES 504.3 & 504.4

ACTUAL BUILDING HEIGHT: 1 STORY NEW CONSTRUCTION, 36FT

CONSTRUCTION TYPE:
Per IBC table 601
TYPE IIB, NEW CONSTRUCTION

SEISMIC DESIGN CATEGORY: D, REFER STRUCTURAL NOTES

BUILDING AREA:
BUILDING AREA IS THE AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS EXCLUDING VENT SHAFTS AND COURTS (IBC 503).
AS SHOWN: 11,169 SF FIRE STATION
ALLOWABLE TABLE 506.2:
GROUP R-3: UNLIMITED
GROUP S-2: 104,000 SF
GROUP A-3: 38,000 SF

1 HR SEPARATION IS REQUIRED BETWEEN SLEEPING ROOMS AND REST OF SPACE AT FIRE STATION

FIRE-PROTECTION SYSTEM: BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM

MANUAL FIRE ALARM SYSTEM (IBC 907.2.2):
- NOT REQUIRED BUT PROVIDED

PORTABLE FIRE EXTINGUISHERS (IBC & IFC 906):
- 4 REQUIRED (2 PER BUILDOUT) AND 4 PROVIDED

AUTOMATIC FIRE DETECTION SYSTEM (IBC 907.2 & IFC 906):
- PROVIDED

OCCUPANT LOAD:
PER IBC TABLE 1004.1.1
FIRE STATION:
GROUP R-3: (SLEEPING AREAS) 1418 SF / 200 SF = 7 OCC (ACTUAL COUNT IS 11)
GROUP S-2: (APP BAY AND SUPPORT AREAS) 5,688 SF / 300 SF = 19
GROUP A-3:
EXERCISE ROOM AT 1:50- 495 SF / 50 = 10
LIVING AREA AT 1:15 NET- 807 SF / 15 = 54
KITCHEN AT 1:15 NET- 382 SF / 15 = 26
CONFERENCE AT 1:15 NET- 454 SF / 15 = 31

TOTAL A-3: 151
TOTAL OCCUPANTS- FIRE STATION: 151 OCC

NOTE: DASHED LINE DENOTES RED PAINTED FIRE LANE LOCATION EXTENTS.

FIRE FLOW (IFC 2015 APPENDIX B) TABLE B105.1 TYPE IIB SPRINKLERED AT 11,169 SF.

REQUIRED: =PER TABLE B105.1 THIS IS 1/2 OF TABULAR VALUE OF 2250 = 1250 GPM FOR 2 HOURS.

PROVIDED: 1500 GPM FOR 2 HOURS

HYDRANTS: (IFC APPENDIX C) TABLE C102.1:

REQUIRED: 1 FIRE HYDRANT LESS THAN 250' FROM FRONTAGE TO BUILDING

PROVIDED: 1 FIRE HYDRANT ADJACENT TO THE APPARATUS BAY
2 EXISTING HYDRANTS ALONG CENTRAL AVE SPACED APPROX. 400 FT APART

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE
WORK STACKED BY	DATE				
ACCEPTANCE BY	DATE				
FIELD VERIFICATION BY	DATE				
RECORDED BY	DATE				
CHECKED BY	DATE				
NO.	DATE	REMARKS	BY	DATE	DATE



VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.
4477 Irving NW, Suite A
Albuquerque, New Mexico 87114
Ph: 505.890.9300 Fax: 505.890.9301
www.VA-architects.com



CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
FIRE STATION 12
11701 Central Ave NE Albuquerque, NM 87123

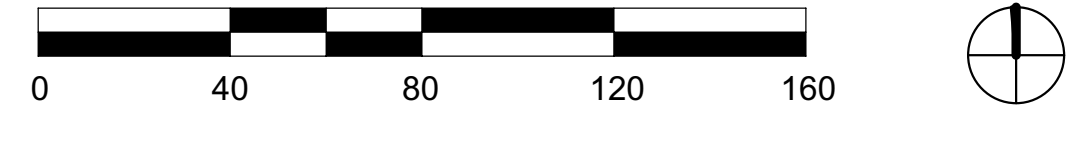
Drawing Title: **FIRE1 SITE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Issue Date:	City Project No.	Sheet	

JULY 2024 636793

FIRE1

A1 OVERALL SITE PLAN
Scale: 1" = 30'-0"



Current DRC _____
 Project Number: _____

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

COA Fire Station #12 11701 Central Ave NE
 PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots 1 through 10 & 27 through 34 and south 50 feet of lots 35 and 36 Block 6 East Central BU
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted: _____
 Date Site Plan Approved: _____
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DRB Project No.: _____
 DRB Application No.: _____

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P. E.	City Cnst Engineer
		6'	PCC Sidewalk	Central Ave	10+00	12+50	/	/	/
		6'	PCC Sidewalk	Shirley St	10+00	11+10	/	/	/
		6'	PCC Sidewalk	Linn Ave	10+00	12+25	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	Private P.E.	City Cnst Engineer
							/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		Approval of Creditable Items:	City User Dept. Signature	Date
							Inspector	City Cnst Engineer			
							/	/	/		
							/	/	/		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA. Street lights per City requirements.

* INCLUDES T, B, & C, FITTINGS, AND VALVES

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER _____ **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Jennifer Turner
NAME (print)

City of Albuquerque, DMD CIP

FIRM

Jad 7-29-24

SIGNATURE - date

DRB CHAIR - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Memorandum

To: Jolene Wolfley, Chair
From: Char Johnson, AICP, Senior Planner
Date: July 29, 2024
Re: Sensitive Lands Analysis – 11701 Central Avenue

The following memo provides an analysis of sensitive lands on the subject property per Section 5-2(C)(2)(a-i) Site Design and Sensitive Lands.

- (a) **Arroyos:** No arroyos are present on the subject property.
- (b) **Floodplains and Special Flood Hazard Areas:** The subject property is located in Flood Zone X, an area determined by FEMA as outside the 500-year flood and protected by levee from 100-year flood occurrence.
- (c) **Irrigation facilities (acequias):** The subject property is not located in the valley area of the City. Therefore, there are not acequias on the property.
- (d) **Large stands of mature trees:** The subject property does not contain any mature trees, as shown in the photograph below.



- (e) **Riparian areas:** The property is not located near the Rio Grande.
- (f) **Rock outcroppings:** The subject property does not contain any rock outcroppings (see photograph above).
- (g) **Significant archaeological sites:** The subject property is a previously developed infill

property with no significant archaeological findings.

- (h) **Steep slopes and escarpments:** The subject property has virtually no slope as shown on the AGIS topographic map below.



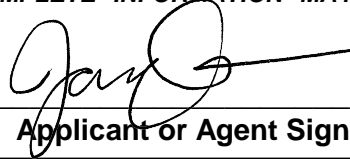
- (i) **Wetlands:** The subject property is not located near any waterways. Therefore, it does not contain any wetlands.

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



July 29, 2024

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- N/A Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- N/A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

CITY OF ALBUQUERQUE

Department of Municipal Development/Interim Director/Jennifer Turner



May 9, 2024
Jonathan Hollinger, Chairman
Environmental Planning Commission
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Dear Mr. Chairman,
This letter authorizes Consensus Planning, Inc. to act as agent for all matters related to the request for Zone Map Amendment and a Site Plan-EPC to the Environmental Planning Commission for the property located 11701 Central Avenue, NE. The property is legally described as *Lots 1 through 10 & 27 through 34 and South 50 feet of Lots 35 and 36 Block 6 East Central BU*. The City is planning to construct a new Fire Station #12 at this location.
Sincerely,

Juan Serna
Construction Project Manager
DMD
jserna@cabq.gov

A handwritten signature in black ink, appearing to be "JS", written over a horizontal line.



July 29, 2024

Jolene Wolfley, Chair
Development Facilitation Team
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

RE: Fire Station 12 - Request for Site Plan-Administrative

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Madam Chair:

The purpose of this letter is to request approval of a Site Plan-Administrative for a new Fire Station 12 on behalf of the City Fire Rescue Department. The subject property is located at the northeast corner of Shirley Street and Central Avenue SE, 3.191 acres in size, and zoned MX-H. The property is legally described as *Lots 1 through 10 & 27 through 34 and south 50 feet of lots 35 and 36 Block 6 East Central BU*.



PROJECT DESCRIPTION

The proposed Fire Station is a 12,509 square foot, single-story building on a 3.214-acre site along Central Avenue, just west of Juan Tabo Boulevard. The building is designed to follow the Albuquerque Fire Department’s prototype, which incorporates common design and operational elements to reduce the development costs for the facility. The current zoning of MX-H was designated with the adoption of the Integrated Development Ordinance in 2018. This project was first submitted to the Environmental Planning Commission for a Zone Map Amendment and Site Plan-EPC, but the City Planning Department asked the Applicant to withdraw the application and submit to the DFT because fire stations are a permissive use under the new IDO.

PRINCIPALS

James K. Strozier, FAICP
Jacqueline Fishman, AICP

ASSOCIATES

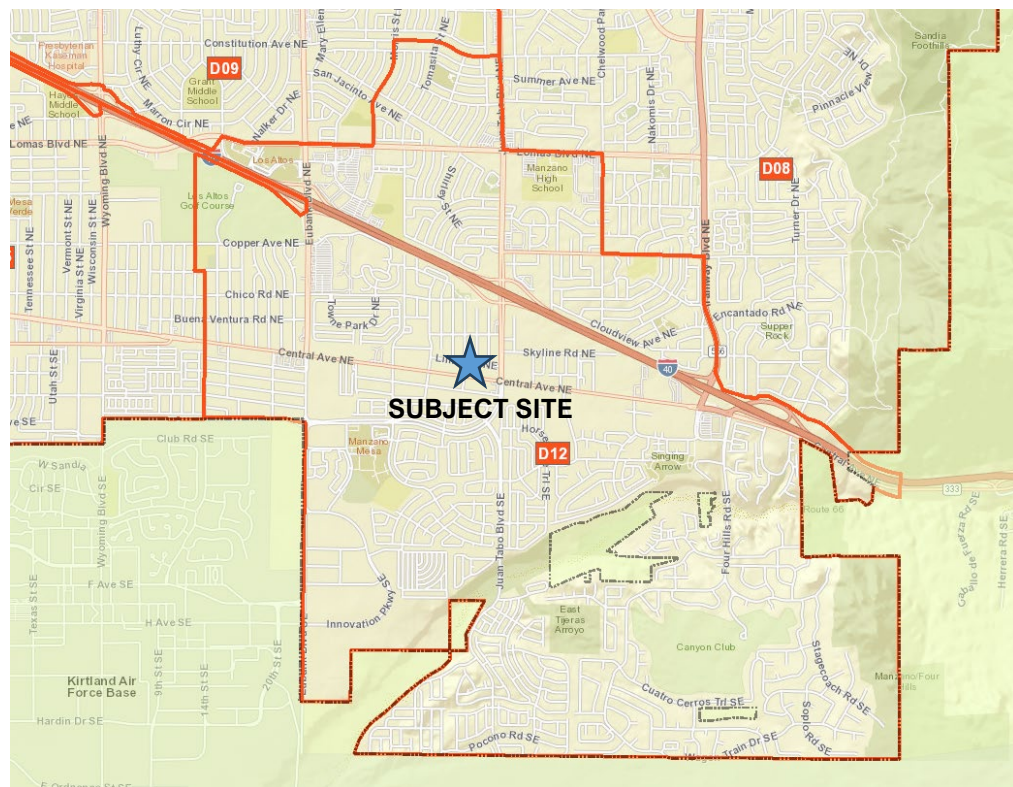
Ken Romig, PLA, ASLA,



BACKGROUND

In 2019, a location analysis for a new Fire Station 12 was completed by Consensus Planning in collaboration with Council Services staff. The existing Fire Station 12 (north of the subject property at 201 Muriel Street) was constructed in the 1950s. Both the current building and site are undersized for fire and rescue operations, and its location along a local street creates delays in emergency response times. The analysis aimed to identify a new location that would allow emergency response personnel to reach the maximum number of residents in the shortest amount of time. Data from various sources, including incident data from Albuquerque Fire and Rescue, traffic and Data Analysis Subzone data from MRCOG, and geographic data from AGIS, was used to assess alternative locations.

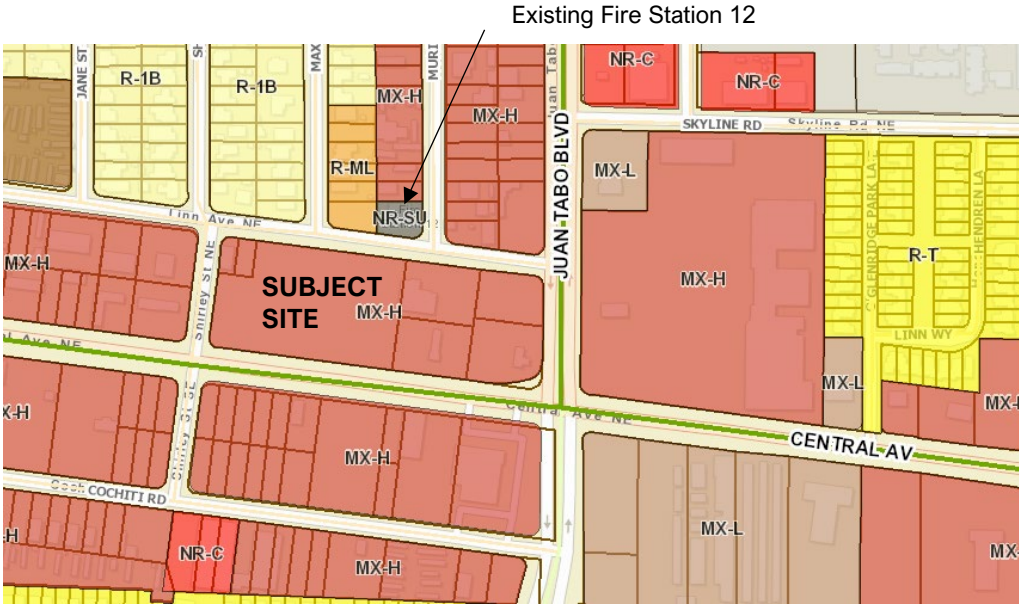
The analysis indicated that a site on Central Avenue, east of the subject property, would be the most advantageous in terms of increasing reachable incidents within a four-minute response time. However, that location was ultimately not available for purchase and the City acquired the subject property as it would provide similar decreased response times to the high-incidence "hot spot" area between Juan Tabo Boulevard and Tramway Boulevard and the southeastern area of the District.



EXISTING CONDITIONS

The subject property is on the north side of Central Avenue (an Urban Principal Arterial), within a designated Major Transit Corridor, within an Area of Change, and within the East Gateway Metropolitan Redevelopment area. It is approximately 410 feet west of Juan Tabo Boulevard (an Urban Principal Arterial). The subject property is and has been vacant for a long time; AGIS aerial photography does not show development on the property starting in 1959 to the present.

The subject property is zoned MX-H. The properties to the north are zoned R-1B, R-ML, and NR-SU containing single-family residential, vacant land, and City Fire Station 12. The properties to the east are zoned MX-H containing commercial retail and services. The properties to the south across Central Avenue are zoned MX-H and contain a variety of commercial services. Property along Juan Tabo Boulevard and Linn Avenue is also zoned MX-H. Abutting the subject property at the southeast corner of Shirley Street and Linn Avenue a small property zoned MX-H containing a metal storage building and a wireless transmission tower.



Surrounding Zoning.

SITE PLAN-ADMINISTRATIVE

The proposed Site Plan-Administrative complies with the criteria in Section 14-16-6-5(G)(3) of the IDO as follows:

6-5(G)(3)(a) The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Applicant’s Response: The proposed Site Plan complies with the IDO and the DPM. The Site Plan, Landscape Plan, and building elevations show sensitivity to surrounding context by proposing a building with a maximum height of 29 feet and an engaging mix of building materials, street trees, and landscaping throughout the project site.

The site layout, and vehicular and bicycle parking complies with the IDO and the DPM. The buildings are set back from the property edges in excess of any minimum required setbacks in the IDO. The existing solid wall along Linn Avenue will remain and will provide separation between this use and the residential area to the north. The proposed development will have a positive impact on the surrounding neighborhoods who will be gaining a community meeting space and an attractively designed modern building on a currently blighted property within the designated East Gateway MR area. This project is an important investment in



this area of Albuquerque and is a positive step towards addressing the City’s need to improve response rates to emergency calls for service.

The Applicant submitted a request for a “determination” from City Transportation regarding the proposed placement of the driveway on Shirley Street and Ernest Armijo determined the placement is acceptable (see attached email from Ernest Armijo dated July 7, 2024). There are no previous approvals or permits that affect development on the subject property.

6-5(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and/or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.

Applicant Response: The City’s current infrastructure has adequate capacity to service the proposed public safety project, including water, sewer, and storm drainage systems; access to the major street network; transit services along Central Avenue and Juan Tabo Boulevard; and planned bike lanes along Juan Tabo Boulevard that will connect to bike lanes and the multi-use trail system south of Cochiti Road. There is an existing 6-foot sidewalk along Central Avenue and stop signs at the intersection with Shirley Street. There are missing sidewalk sections along both Shirley Street and Linn Avenue that will be filled in with this project.

6-5(G)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.

Applicant Response: There is no previously approved Master Development Plan covering the subject property. The project has been designed in compliance with IDO standards applicable to the MX-H zone.

6-5(G)(3)(d) If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

Applicant Response: There is no previously approved Framework Plan covering the subject property.

CONCLUSION

The proposed Site Plan-Administrative will further the City’s goals and policies regarding access to land use, new facilities, public safety services, infill development, efficient development patterns, community facilities, community design, landscape design, Areas of Change, etc. The City has long recognized the need to replace the existing Fire Station 12, which is undersized for fire and rescue operations and its location along a local street creates a delay in emergency response times within the high-incidence "hot spot" area between Juan Tabo Boulevard and Tramway Boulevard and the southeastern area of the District. This project will invest in and enhance the East Gateway area that has long suffered from neglect.



PLANNING

CONSENSUS

On behalf of the City of Albuquerque Fire Rescue, we respectfully request that the DFT approve the request for Site Plan-Administrative. Thank you for your consideration.

Sincerely,

Jacqueline Fishman, AICP
Principal

From: [Armijo, Ernest M.](#)
To: [Jackie Fishman](#)
Cc: [Kevin DeGraauw](#)
Subject: RE: Fire Station 12 Driveway Determination
Date: Tuesday, July 9, 2024 8:56:42 AM

Jackie,
This looks good to me.



ERNEST ARMIJO, P.E., C.F.M.

principal engineer
transportation

o 505.924.3991

e earmijo@cabq.gov

cabq.gov/planning

From: Jackie Fishman <fishman@consensusplanning.com>

Sent: Friday, July 5, 2024 2:58 PM

To: Armijo, Ernest M. <earmijo@cabq.gov>

Cc: Kevin DeGraauw <kevin@va-architects.com>

Subject: Fire Station 12 Driveway Determination

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hi Ernest –

I have expanded on my previous letter requesting your approval of our proposed driveway location for Fire Station 12. As I mentioned at the DFT meeting a few weeks ago, we are proposing to close 6 existing driveways on Central and replace with access from Shirley Street and Linn Avenue. Our peak hour trips are extremely low.

Let me know if this is sufficient or if you need additional information. We are planning to submit to DFT soon.

Thanks, and hope you have a great weekend!

Jacqueline Fishman, AICP
Principal
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102
P: 505.764.9801



July 5, 2024

Landscape Architecture
Urban Design
Planning Services

Ernest Armijo, PE, Principal Engineer
Development Facilitation Team (DFT)
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

RE: Fire Station 12

Dear Mr. Armijo,

This letter is a follow up to the DFT meeting regarding City Fire Station 12, which will be located at 11701 Central Avenue NE. Consensus Planning, on behalf of Albuquerque Fire and Rescue, will be submitting an application to the DFT for approval of a Site Plan-Administrative.

The legal description of the site is *Lots 1 through 10 & 27 through 34 and south 50 feet of lots 35 and 36 block 6 East Central BU*. The site is located at the northeast corner of Central Avenue (an Urban Principal Arterial) and Shirley Street (Local Road), and it abuts Linn Avenue to the north. The Site Plan includes a proposed 12,497-square-foot fire station facility, parking, and landscaping on approximately 3.2 acres.

The Applicant is proposing to close six existing driveways along the property's frontage on Central Avenue and instead provide safer and more efficient access to the site from Shirley Street and Linn Avenue. A small visitor parking lot (12 spaces) will have ingress/egress from Shirley Street and fire trucks exiting the fire station will have egress to Shirley Street only. The driveway to the visitor parking lot is located approximately 83 feet from the north Central Avenue drive lane, short of the DPM's required spacing of 150 feet between site access from a Local Road to a Principal Arterial intersection. The two driveways are separated by 33.4 feet. The replacement of six driveways on Central Avenue with two driveways on Shirley Street and one driveway on Linn Avenue will increase driver, pedestrian, and transit rider safety on Central Avenue.

PRINCIPALS

James K. Strozier, FAICP
Jacqueline Fishman, AICP

ASSOCIATES

Ken Romig, ASLA

There is no anticipated back up on Central Avenue associated with the proposed driveway locations given the low number of trips generated by a fire and rescue station (see attached Traffic Scoping form signed by Curtis Cherne on June 5, 2024). The ITE estimated peak hour trips include 8 trips in the AM peak hour and 6 trips in the PM peak hour, which was determined by Curtis Cherne to not meet the threshold for a traffic study.



The Applicant is requesting approval of the proposed driveway access from Shirley Avenue. Please let me know if you have any questions or need additional information related to this request.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Jacqueline Fishman", with a long horizontal stroke extending to the right.

Jacqueline Fishman, AICP
Principal



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: AFR FIRE STATION #12

Building Permit #: _____ Hydrology File #: L21D036

Zone Atlas Page: L-21-Z DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOTS (1) THROUGH (10), INCLUSIVE, LOTS (27) THROUGH (34) INCLUSIVE, AND THE SOUTHERLY 50 FEET OF LOTS (35) AND (36) IN BLOCK NUMBERED (6) OF EAST CENTRAL BUSINESS ADDITION CONTAINING 3.214 ACRES

Development Street Address: 11701 CENTRAL AVE NE

Applicant: CITY OF ALBUQUERQUE, DEPARTMENT OF MUNICIPAL DEVELOPMENT via CONSENSUS PLANNING Contact: JACKIE FISHMAN

Address: 302 EIGHTH ST NW, ALBUQUERQUE, NM 87102

Phone#: 505-764-9801 Fax#: _____

E-mail: fishman@consensusplanning.com

Development Information

Build out/Implementation Year: 2024 Current/Proposed Zoning: MX-H / NR-SU

Project Type: New: Change of Use: Same Use/Unchanged: Same Use/Increased Activity:

Change of Zoning:

Proposed Use (mark all that apply): Residential: Office: Retail: Mixed-Use:

Describe development and Uses:
NEW 11,987 SF FIRE STATION ON VACANT LOT PREVIOUSLY USED FOR RV SALES.

Days and Hours of Operation (if known): 24 HOURS A DAY/7 DAYS A WEEK (ANTICIPATED)

Facility

Building Size (sq. ft.): 11,987 SF TOTAL

Number of Residential Units: NONE

Number of Commercial Units: NONE

Traffic Considerations

ITE Trip Generation Land Use Code (710)- GENERAL OFFICE BUILDING, UNKNOWN FOR FIRE STATION

Expected Number of Daily Visitors/Patrons (if known):* 8 TOTAL ACROSS FACILITY

Expected Number of Employees (if known):* 12 FIRESTATION EMPLOYEES TOTAL

Expected Number of Delivery Trucks/Buses per Day (if known):* +/- 1 (FEDEX UPS ETC)

Trip Generations during PM/AM Peak Hour (if known):* 12 FOR SHIFT CHANGE AT FIRE STATION (WORST CASE), SO +/-12 TOTAL

Driveway(s) Located on: Street Name NEW PROPOSED: BOTH ON SHIRLEY ST AND LINN AVENUE, CLOSING UP 5 EXISTING DRIVEPADS ALONG CENTRAL AVE

Adjacent Roadway(s) Posted Speed:

Street Name	CENTRAL AVE NE	Posted Speed	40 MPH
Street Name	LINN AVE AND SHIRLEY ST	Posted Speed	30 MPH

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.)*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: CENTRAL- COMMUNITY PRINCIPAL ARTERIAL; SHIRLEY- LOCAL; LINN- LOCAL
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: _____
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): CITY
22,571 (CENTRAL), <5,000 ON SHIRLEY AND LINN

Adjacent Roadway(s) Traffic Volume: (PROPOSED ACCESS POINTS) Volume-to-Capacity Ratio (v/c): _____
(if applicable)

Adjacent Transit Service(s): BUS ROUTE 66, 777 Nearest Transit Stop(s): CENTRAL AND SHIRLEY

Is site within 660 feet of Premium Transit?: YES (RAPID RIDE ROUTE 777- STOP ON CENTRAL AND JUAN TABO JUST EAST OF SITE)

Current/Proposed Bicycle Infrastructure: UNKNOWN BUT EXISTING BIKE PATH ALONG CENTRAL? , NONE PLANNED
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: NONE EXCEPT EXISTING SIDEWALKS ON CENTRAL WILL PRESERVE THESE WITH THIS PROJECT- NO CHANGE.

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No [X]

Thresholds Met? Yes [] No [X]

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: []

Notes:

ITE 575: Fire and Rescue Station
 AM 8 trips
 PM 6 trips

Curtis A Cherno
 TRAFFIC ENGINEER

6-5-24
 DATE

Submittal

The Scoping Form must be submitted as part of a Traffic Circulation Layout submittal, DRB application for site plan approval, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to plndrs@cabq.gov and to the City Traffic Engineer mgrush@cabq.gov. Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) _____

DATE SUBMITTED: _____

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 10, 2024

Verlyn Miller, P.E.
Miller Engineering Consultants, Inc
3500 Comanche NE Bldg. F
Albuquerque, NM 87107

**RE: AFD Fire Station 12
11714 Linn Ave. NE
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: no stamp
Hydrology File: L21D036**

Dear Mr. Miller:

PO Box 1293

Based upon the information provided in your submittal received 06/28/2024, the Conceptual Grading Plan **is preliminary approved** for action by the Development Facilitation Team (DFT).

Albuquerque

PRIOR TO BUILDING PERMIT / WORK ORDER:

NM 87103

1. Please submit the Grading Plan to Hydrology for review and approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage Transportation Information Sheet.

www.cabq.gov

SHEET CG-101

2. Verify the Zone 3 calculations for Ew, V(100-6), V(100-24), and Q(100).

SHEET C-101

3. Please use 1" = 20' for the scale.
4. Please number the ponds and include a label on each with the SWQV and elevation, the 100-year volume and elevation, the peak 100 year inflow and outflow, the spillway crest elevation, the spillway flow depth, and the dam top elevation.
5. Please provide the SWQV calculations for each basin draining to each pond. The stormwater quality ponds need to be sized for the areas draining to them.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3314 or amontoya@cabq.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'Anthony Montoya, Jr.'.

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

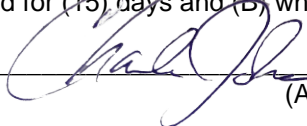
4. TIME

Signs must be posted from July 31, 2024 To August 8, 2024

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



(Applicant or Agent)

July 29, 2024
(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)


PROJECT NUMBER: _____

Fire Station 12 Neighborhood Notification

Charlene Johnson <Johnson@consensusplanning.com>

Mon 7/29/2024 11:29 AM

To: eastgatewaycoalition@gmail.com <eastgatewaycoalition@gmail.com>; JULIE DREIKE <dreikeja@comcast.net>; Sarah Delgado <SASDelgado748@gmail.com>; Meg Beck <123mbeck@gmail.com>; Singing Arrow <abqsana@gmail.com>
Cc: Jackie Fishman <fishman@consensusplanning.com>

 1 attachments (8 MB)

FS 12_CABQ-DFT Neighborhood Packet.pdf;

Dear Neighbors,

This email is intended to provide notification that Consensus Planning has submitted the application to the Development Facilitation Team (DFT) for a Site Plan-Administrative for the new Fire Station 12. The property is located at 11701 Central Avenue SE (see attached Zone Atlas). The site is located southwest of the existing Fire Station 12, which was determined by the City to be undersized and inadequate for providing public safety services.

The Applicant proposes to develop the site for a new modern Fire Station 12, which became a permissive use in the Mixed Use-High (MX-H) zone with the 2024 IDO Amendments. This project was originally slated to be heard by the Environmental Planning Commission (EPC), but was withdrawn due to the changes in the IDO.

The DFT meeting for this project is anticipated to be on **Wednesday, August 7, 2024, starting at 9:00 AM**. Members of the public may join the meeting using the following link:

Join Zoom Meeting: <https://cabq.zoom.us/j/89785314995> Meeting ID: 897 8531 4995
Dial by your location +1 346 248 7799 US (Houston)
Find your local number: <https://cabq.zoom.us/j/89785314995>

If you want to meet about this project or want additional information, please feel free to contact me or Char Johnson at johnson@consensusplanning.com or by phone at (505) 764-9801.

Attached: Application Information Packet including Site Plan

Sincerely,

Charlene Johnson, AICP
Senior Planner
Consensus Planning, Inc.
302 Eighth Street, NW
Albuquerque, NM 87102
Phone: 505 764-9801




**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type: Site Plan-Administrative	
Decision-making Body: Development Facilitation Team (DFT)	
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <small>Type text here</small>
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application: 11701 Central Avenue	
Name of property owner: City of Albuquerque	
Name of applicant: City of Albuquerque Fire and Rescue	
Date, time, and place of public meeting or hearing, if applicable: August 7, 2024 at 9:00 am	
Online meeting via Zoom unless otherwise noted by the DFT.	
Address, phone number, or website for additional information: fishman@consensusplanning.com or johnson@consensusplanning.com	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input checked="" type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) July 29, 2024 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY
Provide a site plan that shows, at a minimum, the following:
<input checked="" type="checkbox"/> a. Location of proposed buildings and landscape areas.
<input checked="" type="checkbox"/> b. Access and circulation for vehicles and pedestrians.
<input checked="" type="checkbox"/> c. Maximum height of any proposed structures, with building elevations.
<input checked="" type="checkbox"/> d. For residential development: Maximum number of proposed dwelling units.
<input checked="" type="checkbox"/> e. For non-residential development:
<input checked="" type="checkbox"/> Total gross floor area of proposed project.
<input checked="" type="checkbox"/> Gross floor area for each proposed use.

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [§14-16-6-4\(K\) Public Notice](#). This notice is being provided to the Neighborhood Representatives on the attached list from the City of Albuquerque’s Office of Neighborhood Coordination.

Project Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Contractor [if other than the property owner] _____
4. Application(s) Type* per IDO [Table 6-1-1](#)
 - Historic Certificate of Appropriateness – Minor
 - Sign Permit
 - Alternative Signage Plan
 - Wall/Fence Permit
 - Site Plan – Administrative

Summary of project/request*:

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 and select option for Development Review Services.

6. Where more information about the project can be found*:

Preferred project contact information:

Name: _____

Email: _____

Phone: _____

[Note: Items with an asterisk (*) are required.]

- Attachments:
 - Neighborhood Association Representative Contact List from the City’s Office of Neighborhood Coordination*
 - Others: _____
- Online website or project page: _____

Project Information Required for Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*¹ _____
2. Project Illustrations, as relevant*²

- Architectural drawings
- Elevations of the proposed building(s)
- Other illustrations of the proposed application

See attachments or the website/project page noted above for the items marked above

3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s)	Variance(s) ³	Waiver(s) ⁴
Explanation*:		

4. **For Site Plan – Administrative Applications only***,

Attach the proposed site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. *
- b. Access and circulation for vehicles and pedestrians. *
- c. Maximum height of any proposed structures, with building elevations. *
- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

¹ Available online here: <http://data.cabq.gov/business/zoneatlas/>

² While not required, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project.

³ Separate notice is required for Variance Applications.

⁴ Separate notice is required for Waiver Applications.

[Note: Items with an asterisk (*) are required.]

Pre-submittal Neighborhood Meeting date, if it occurred: _____

Brief Meeting Summary:

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

Additional Information from IDO Zoning Map⁵:

1. Area of Property [typically in acres] _____
 2. IDO Zone District(s) _____
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
 5. Current Land Use(s) [vacant, if none] _____
-

NOTE: Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice for a Site Plan – Administrative application that proposes more than 100 multi-family dwelling units or more than 50,000 s.f. of nonresidential development. To request a facilitated meeting, contact the Planning Department at devhelp@cabq.gov or 505-924-3860 and select the option for “Development Review Services”.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map:

<https://tinyurl.com/idozoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

Notificación de Acceso Lingüístico.

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaaszil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihgii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

11701 CENTRAL_Neighborhood Meeting Inquiry Sheet Submission

Office of Neighborhood Coordination <onc@cabq.gov>

Fri 7/26/2024 4:30 PM

To:Charlene Johnson <Johnson@consensusplanning.com>

1 attachments (715 KB)

IDOZoneAtlasPage_L-21-Z Highlighted.pdf;

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone
District 9 East Gateway Coalition		Michael	Brasher	eastgatewaycoalition@gmail.com	216 Zena Lona NE	Albuquerque	NM	87123	50538229
District 9 East Gateway Coalition		Julie	Dreike	dreikeja@comcast.net	13917 Indian School Road NE	Albuquerque	NM	87112	50532185
Singing Arrow NA	abqsana@gmail.com	Sarah	Delgado	sasdelgado748@gmail.com	12608 Tomlinson DR SE	Albuquerque	NM	87123	
Singing Arrow NA	abqsana@gmail.com	Meg	Beck	123mbeck@gmail.com	12800 Piru Boulevard SE	Albuquerque	NM	87123	30348920

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Friday, July 26, 2024 12:08 PM

To: Office of Neighborhood Coordination <johnson@consensusplanning.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Development Facilitation Team

Contact Name

Charlene Johnson

Telephone Number

5057649801

Email Address

johnson@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 8th St. NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

LOTS 1 THRU 10 & 27 THRU 34 & S 50FT OF LOTS 35 & 36 BLK 6 EAST CENTRAL BU

Physical address of subject site:

11701 CENTRAL ALBUQUERQUE NM 87123

Subject site cross streets:

Shirley and Central Avenue

Other subject site identifiers:

This site is located on the following zone atlas page:

L-21-Z

Captcha

x

SITE DATA

LEGAL DESCRIPTION:
 LOTS (1) THROUGH (10), INCLUSIVE, LOTS (27) THROUGH (34)
 INCLUSIVE, AND THE SOUTHERLY 50 FEET OF LOTS (35) AND (36) IN
 BLOCK NUMBERED (6) OF EAST CENTRAL BUSINESS ADDITION
 CONTAINING 3.214 ACRES (140,000 SF)
 UPC: 102105644648011001
 ZONE ATLAS PAGE: L-21-Z
 EXISTING ZONING: MX-H
 PROPOSED ZONING: NR-SU
 PROPOSED LAND USE: FIRE STATION
 PEDESTRIAN AND VEHICLE ACCESS: PRIMARY VEHICULAR AND
 PEDESTRIAN ACCESS IS FROM CENTRAL AVENUE. WITH
 PEDESTRIAN CONNECTIONS FROM THE SIDEWALK TO THE
 BUILDING.
 BUS ROUTES: ROUTE 66/777 ALONG CENTRAL, WITH A PEAK
 FREQUENCY OF 15 MINUTES

PARKING REQUIREMENTS

PARKING CALCULATIONS:
 PER IDO TABLE 5-5-1 MINIMUM OFF STREET PARKING REQUIREMENTS:
 • FIRE STATION OR POLICE STATION: 2 SPACES/ 1,000 SQ. FT.
 GFA
 TOTAL REQUIRED:
 FIRE STATION #12- 12,509 SF (12,509/1000)*2 = 25 SPACES
 TOTAL PROVIDED:
 40 SPACES TOTAL ON SITE, OF WHICH 2 ARE HC ACCESSIBLE
 PER 5-5(D)(1):
 REQUIRED/ PROVIDED: 1/4
 PER TABLE 5-5-5 MINIMUM BICYCLE PARKING REQUIREMENTS:
 3 SPACES OR 10% OF REQUIRED OFF STREET PARKING SPACES
 WHICHEVER IS GREATER IS REQUIRED.
 BICYCLE SPACES
 REQUIRED/ PROVIDED: 3/6

PROJECT NUMBER: _____
 Application Number: _____
 This plan is consistent with the specific Site Development Plan approved
 by the Environmental Planning Commission (EPC) dated _____
 and the Findings and Conditions in the Official Notification of
 Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of
 approved DRC plans with a work order is required for any construction
 within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division
ABCWUA
Parks and Recreation Department
Hydrology
Code Enforcement
*Environmental Health Department (conditional)
Solid Waste Management
Planning Department

VICINITY MAP



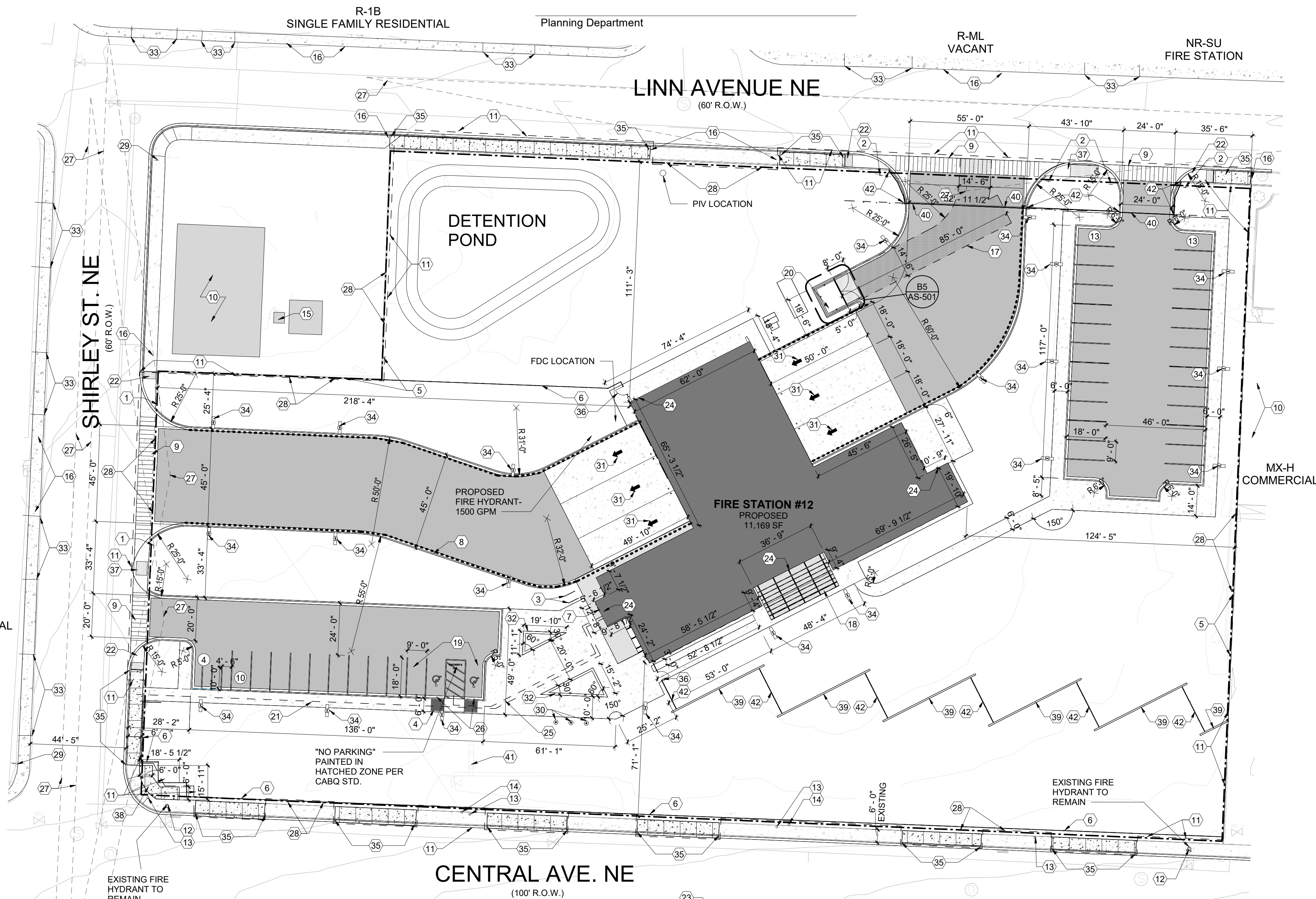
City of Albuquerque Electronic Stamp

SHEET KEYNOTES

1	NEW CABO STANDARD "DO NOT ENTER" SIGN
2	NEW STANDARD "OFFICIAL VEHICLES ONLY BEYOND THIS POINT" SIGN
3	NEW BICYCLE RACK SEE B3/AS-501
4	ACCESSIBLE SIDEWALK RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 SEE A1/AS-503
5	EXISTING SITE FENCE TO REMAIN
6	PROPOSED 6' HIGH DECORATIVE SITE FENCE - SEE A2/AS-501
7	PROPOSED ENTRY DOOR
8	6" CURB AND GUTTER PER CABQ STD DETAIL TYP. SEE CIVIL
9	CROSSWALK STRIPES- INTEGRALLY COLORED CONCRETE- CAST FLUSH W/ ADJACENT- COLOR TO BE GOLD YELLOW INTEGRAL CONCRETE- 2'X6' STRIPES EA. AT 2' APART TO EXTENTS SHOWN
10	EXISTING BUILDING TO REMAIN- NO WORK THIS AREA
11	WORK EXTENTS LINE
12	EXISTING FIRE HYDRANT TO REMAIN
13	EXISTING STREET LIGHT TO REMAIN
14	EXISTING POWER POLE TO REMAIN
15	EXISTING CELL TOWER TO REMAIN- NO WORK THIS AREA
16	EXISTING SIDEWALK TO REMAIN
17	PROPOSED REFUSE VEHICLE TURNAROUND
18	COVERED PATIO WITH LOOSE FURNITURE. 597 SF
19	HANDICAP PARKING PER CABQ STANDARD
20	REFUSE ENCLOSURE COMPLIANT WITH CABQ STANDARDS SEE DETAIL B5/AS-501 + C3/AS-501
21	ADA ACCESS PATH (240 FT TOTAL PATH LENGTH FROM ROW)
22	ACCESSIBLE DRIVEPAD RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD. DETAIL 2443 DETAIL C
23	EXISTING MEDIAN TO REMAIN- NO WORK THIS PERMIT
24	PROPOSED EXIT DOOR LOCATION
25	ADA ACCESS PATH (100 FT PATH FROM ADA PARKING)
26	ADA HANDICAP PARKING WITH CABQ STD LANGUAGE SIGN SEE A2/AS-502
27	CLEAR SIGHT TRIANGLE PER CABQ DPM 7.4.94
28	SITE PROPERTY BOUNDARY LINE
29	EXISTING STOP SIGN TO REMAIN
30	NEW 30' FLAGPOLE TYP. OF 3 SEE C3/AS-502
31	PAVEMENT DIRECTION MARKERS SEE A4/AS-503
32	RAISED PLANTER SEE D1/AS-501
33	EXTENTS OF EXISTING DRIVEWAY FRONTING SITE (NOT IN SCOPE)
34	NEW LIGHT 16' POLE (NIGHT SKY COMPLIANT) SEE B2/AS-501
35	NEW CURB AND SIDEWALK INFILL TO MATCH EXISTING
36	STEEL GATE
37	INSTALL TRUNCATED MATS AT THIS LOCATION AS SHOWN; HOLD SIDEWALK FLUSH W/ ADJACENT VALLEY GUTTERS
38	NEW 6' WIDE SIDEWALK FOR CONTINUOUS ACCESSIBLE PATH
39	PROPOSED 8' HIGH CMU SITE FENCE SEE C4/AS-503
40	NEW GATE INSTALLATION - CONTRACTOR TO PROVIDE ELECTRIC OPERATOR WITH MAGNETIC INDUCTION LOOP IN PAVEMENT ON SECURE SIDE AND A PEDESTAL KEYPAD ON UNSECURED SIDE COORDINATE POWER CONDUITS AND ANY COMMUNICATION REQUIREMENTS FULLY WITH OPERATOR UNIT MFR. - SEE AS-504
41	EXISTING SIGN TO REMAIN AND TO BE RE-USED
42	PROPOSED 6' HIGH RIBBED SITE FENCE - SEE A1/AS-501

GENERAL SHEET NOTES

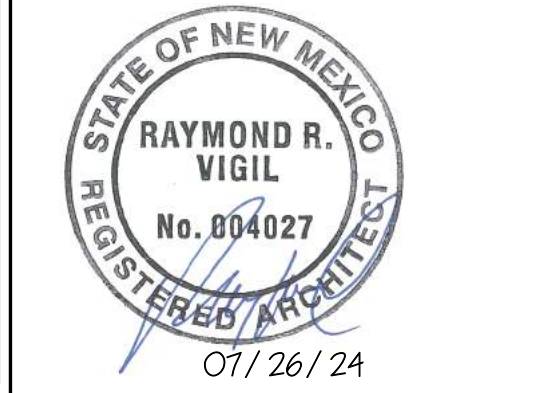
- ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE LINE OF SIGHT AREA.
- ALL INTERNAL SIDEWALKS SHALL BE 5 FEET IN WIDTH UNLESS OTHERWISE NOTED.
- ONSITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE OR AS PER PNM STANDARD REQUIREMENTS.
- TRANSIT ROUTES: ROUTE 66 AND ROUTE 777 ON CENTRAL AVENUE.



LEGEND

	PROPOSED LIGHT POLE
	PROPOSED BUILDING
	EXISTING BUILDING
	PAVED ASPHALT
	PAVED CONCRETE
	LANDSCAPE AREA
	STEEL ORNAMENTAL FENCE
	STEEL GATE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	DATE
WORK STACKED BY	DATE	NO.	DATE	NO.	DATE
ACCEPTANCE BY	DATE	NO.	DATE	NO.	DATE
FIELD VERIFICATION BY	DATE	NO.	DATE	NO.	DATE
REVISIONS BY	DATE	NO.	DATE	NO.	DATE
CORRECTED BY	DATE	NO.	DATE	NO.	DATE
MICRO-FILM INFORMATION	DATE	NO.	DATE	NO.	DATE
RECORDED BY	DATE	NO.	DATE	NO.	DATE
NO.	DATE	NO.	DATE	NO.	DATE



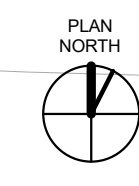
SEAL		REMARKS		BY	
NO.	DATE	NO.	DATE	NO.	DATE
95% CONSTRUCTION DOCUMENTS NOT FOR CONSTRUCTION					
Designed By: _____					
Drawn By: _____					
Checked By: _____					

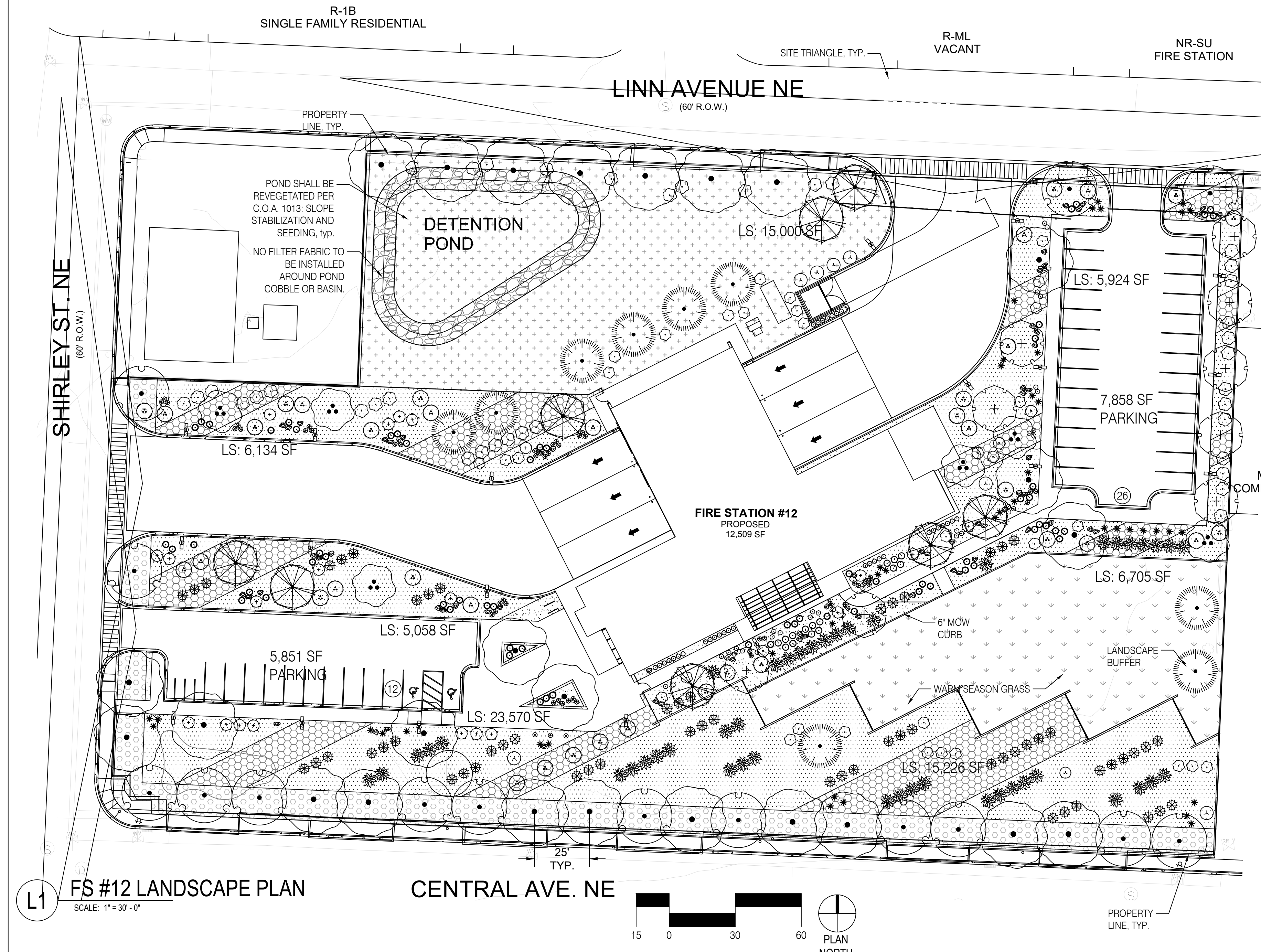


CITY OF ALBUQUERQUE
 CAPITAL IMPLEMENTATION PROGRAM
FIRE STATION 12
 11701 Central Ave NE Albuquerque, NM 87123

Drawing Title	SITE PLAN - EPC	
Design Review Committee	City Engineer Approval	Mo./Day/Yr. _____
Issue Date:	City Project No.	Mo./Day/Yr. _____
JULY 2024	636793	Sheet
		DFT-AS-101

A1 OVERALL SITE PLAN
 Scale: 1" = 30'-0"



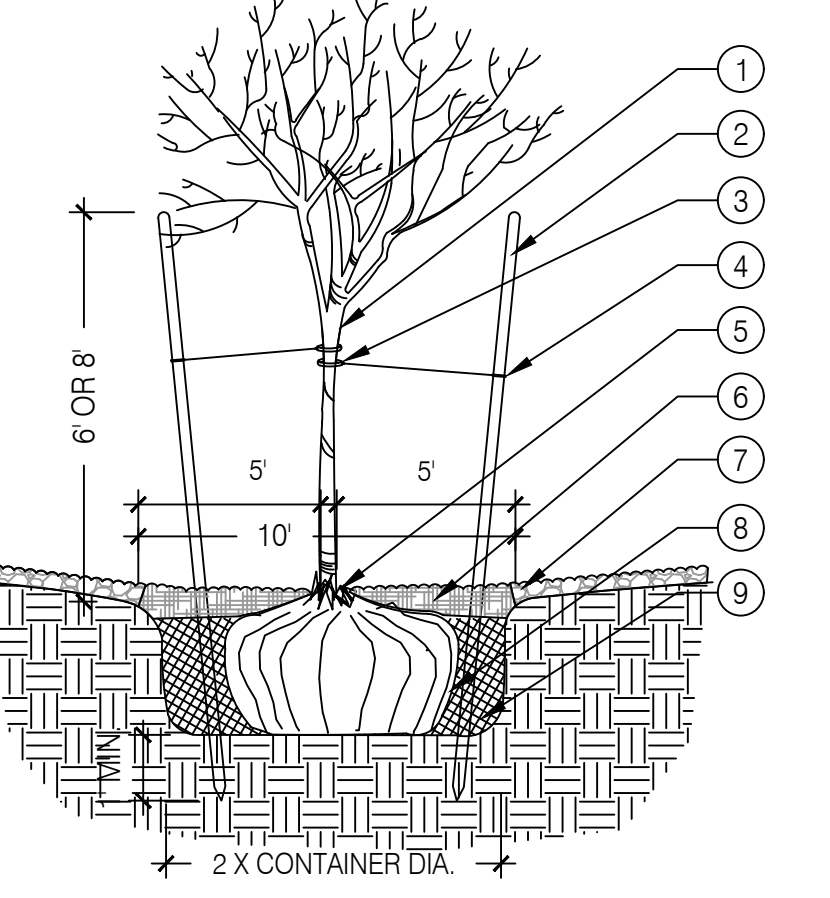


PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE	WATER USE
TREES					
(Symbol)	21	Acer negundo 'Sensation' Sensation Box Elder	2.5" Cal.	35' x 25' Multi-trunk	MEDIUM
(Symbol)	8	Chilopsis linearis Desert Willow	2.5" Cal. B&B	20' x 25'	MEDIUM
(Symbol)	9	Pinus nigra Austrian Pine	6" HT. B&B	35' x 25'	MEDIUM
(Symbol)	29	Pistacia chinensis Chinese Pistache	2.5" Cal. B&B	40' x 30'	MEDIUM
(Symbol)	9	Vitex agnus-castus Chaste Tree	24" Box	20' ht. x 20' spd.	MEDIUM
SHRUBS					
(Symbol)	60	Dasyliroton texanum Texas Sotol (FEMALE ONLY)	5 gal.	5'-6" ht. x 2'-4" spd.	LOW
(Symbol)	6	Forestiera neomexicana NM Olive	15 gal.	15' ht. x 15' spd.	MEDIUM
(Symbol)	37	Juniperus horizontalis 'Blue Chip' Blue Chip Creeping Juniper	5 gal.	1' ht. x 7' spd.	LOW
(Symbol)	31	Nepeta x faassenii 'Select Blue' Select Blue Catmint	5 gal.	2' ht. x 2' spd.	LOW
(Symbol)	15	Potentilla fruticosa Shrubby Cinquefoil	5 gal.	3' ht. x 3' spd.	MEDIUM
(Symbol)	69	Rhus trilobata 'Autumn Amber' Autumn Amber Sumac	5 gal.	2' ht. x 6' spd.	LOW
GRASSES					
(Symbol)	63	Bouteloua gracilis 'Blonde Ambition' Blonde Ambition Blue Grama	1 gal.	3' ht. x 3' spd.	LOW
(Symbol)	33	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass	1 gal.	2.5' ht. x 2' spd.	MEDIUM
PERENNIALS					
(Symbol)	26	Mirabilis multiflora Colorado Four O'Clock	5 gal.	2' ht. x 5' spd.	LOW
(Symbol)	48	Teucrium aronium Creeping Germander	1 gal.	1' ht. x 2' spd.	LOW
SUCCULENTS					
(Symbol)	45	Agave americana Century Plant	3 gal.	6' ht. x 6' spd.	LOW
(Symbol)	42	Hesperaloe parviflora 'Straight Up Red' Straight Up Red Yucca	5 gal.	5' ht. x 3' spd.	LOW
(Symbol)	8	Opuntia engelmannii Engelmann's Prickly Pear	5 gal.	5' ht. x 8' spd.	RW

SYMBOL	QTY	DESCRIPTION
(Symbol)	66	MOSS ROCK BOULDERS (27 CF MIN)
(Symbol)	10,469 SF	2"-6" GREY ROUND COBBLE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
(Symbol)	29,828 SF	7/8" PUEBLO ROSE ROCK MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
(Symbol)	2,710 SF	4"-6" COYOTE MIST COBBLE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
(Symbol)	8,047 SF	2"-4" ROSE GOLD COBBLE (4" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
(Symbol)	2,179 SF	"SANTA FE BROWN" CRUSHER FINES (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
(Symbol)	18,593 SF	RE-VEGETATIVE SEEDING: 'GRAVEL UPLANDS'; SEE C.O.A 1013 NOT IRRIGATED
(Symbol)	11,471 SF	BUFFALO AND BLUE GRAMA, WARM SEASON GRASS SPREAD AT A RATE OF 2LBS PURE LIVE SEED PER 1000 SF. (SPRAY TO SPRAY IRRIGATION)

- STRESS POINT OF TREE
- 8' OR 10' LODGEPOLE STAKES DRIVEN AT ANGLE (8' FOR MULTI OR CANOPY, 10' FOR TALL COLUMNAR)
- 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
- #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
- PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
- WATER RETENTION BASIN - ORGANIC MULCH SHALL BE PROVIDED WITHIN A 5' RADIUS OF NEWLY PLANTED TREES, AT A DEPTH OF 3". THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTUSIVE EDGES
- 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
- ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
- SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS



1 TREE PLANTING SCALE: N.T.S.

GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING. PURSUANT TO IDO 5-6(C)(14)(C) IRRIGATION SHALL ADHERE TO CABO SPECIFICATIONS SECTION 1000.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING
SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

SHREDDED ORGANIC MULCH AT TREES
SHREDDED ORGANIC MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 5" DIAMETER CIRCLE.

IDO STANDARDS

THE FOLLOWING REGULATIONS SHALL WARRANT THE RELOCATION OF PLANT MATERIAL IF FIELD CONDITIONS WARRANT.

CLEARANCE
PER 5-6(C)(7)(A), VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.

PER 5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.

PER 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.

PER 5-6(C)(10)(A) TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS.

PER 5-6(C)(10)(B) TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.

PER 5-6(C)(10)(E) ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS MUST ALLOW 10 FEET OF CLEARANCE FOR ACCESS AND TO ENSURE THE SAFETY OF THE WORK CREWS AND PUBLIC DURING MAINTENANCE AND REPAIR.

PER 5-6(C)(10)(F) TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.

LANDSCAPE CALCULATIONS (5-6-C)

LANDSCAPE AREA COVERAGE IDO 5-6(C)(2)	
TOTAL SITE AREA (3,214 AC.)	140,000 SF
DEVELOPED AREA:	-12,509 SF
BUILDING AREA:	127,491 SF
NET AREA	19,124 SF (15%) / 83,469 SF (23%)
REQUIRED / PROVIDED LANDSCAPE	[COMPLIANT]

COVERAGE IDO 5-6(C)(2)(c)	
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPE AREA. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.	
REQUIRED/PROVIDED LIVE VEGETATIVE COVERAGE	62,602 SF (75%) / 74,224 (89%)
REQUIRED/PROVIDED GROUND-LEVEL COVERAGE	15,650 SF (25%) / 38,762 (52%)
+RE-VEG	[COMPLIANT]

PARKING LOT TREES 5-6(F)(2)	
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES AND NO PARKING SPACE MAY BE MORE THAN 100FT FROM A TREE TRUNK.	
PARKING LOT SPACES PROVIDED	38
REQUIRED/PROVIDED PARKING LOT TREES:	4 / 4
	[COMPLIANT]

PARKING LOT AREA	
AT LEAST 10% OF THE PARKING LOT AREA CONTAINING 50 OR FEWER SPACES SHALL BE LANDSCAPED.	
TOTAL PARKING LOT AREA:	13,709 SF
REQUIRED/PROVIDED LANDSCAPE AREA:	1,371 SF (10%) / (10%) 1,371
	[COMPLIANT]

WARM SEASON NATIVE GRASSES ARE PROVIDED

ANY PARKING LOT LOCATED WITHIN 20 FEET OF THE SIDE OR REAR LOT LINE SHALL BE SCREENED BY A LANDSCAPE STRIP AT LEAST 6 FEET WIDE CONTAINING AT LEAST 2 TREES AND 6 SHRUBS PER 25 FEET OF THE PARKING EDGE. (PARKING LOTS ARE NOT WITHIN 20') [COMPLIANT]

STREET TREES IDO 5-6 (E) (2)
STREET TREE REQUIREMENTS ARE BASED UPON AN AVERAGE SPACING OF 25' O.C. (CENTRAL AVENUE SE); STREET FRONTAGE- 476'

REQUIRED/PROVIDED STREET TREES = 19/19 [COMPLIANT]

LANDSCAPE SHALL APPLY PURSUANT TO IDO 5-6 LANDSCAPE BUFFERING AND SCREENING.

GRAVEL MULCH COVERAGE
LANDSCAPE SHALL APPLY PURSUANT TO 5-6(C)(5)(C) THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA

REQUIRED: 62,602 SF (no more than 75%)
PROVIDED: 49,656 SF. LESS THAN MAXIMUM SF [COMPLIANT]

ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
INSPECTOR'S NAME	DATE
FIELD CHECKED BY	DATE
VERIFICATION BY	DATE
DRAWING BY	DATE
CHECKED BY	DATE
MICRO-FILM INFORMATION	
NO.	DATE

BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	DATE

SEAL	
NO.	DATE
BY	DATE
REMARKS	DATE
DESIGN	DATE
Drawn By: AM	DATE: 6/5/24
Checked By: KR	DATE: 6/5/24

VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.
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CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM

AFR FIRE STATION 12
11701 CENTRAL AVE
ALBUQUERQUE, NM 87123

Drawing Title: **LANDSCAPE PLAN DFT**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		00/00/2023	

Issue Date: **JUNE 5, 2024**

City Project No. **XXXXX XX#XX**

Sheet **LS-101**

DRAINAGE REPORT

SITE LOCATION

The existing site is an approximate 3.21-acre piece of land located at the corner of Linn Avenue and Shirley Street, North of Central in Albuquerque, New Mexico. The site can be accessed via Central Ave. (see vicinity map this sheet).

EXISTING CONDITIONS

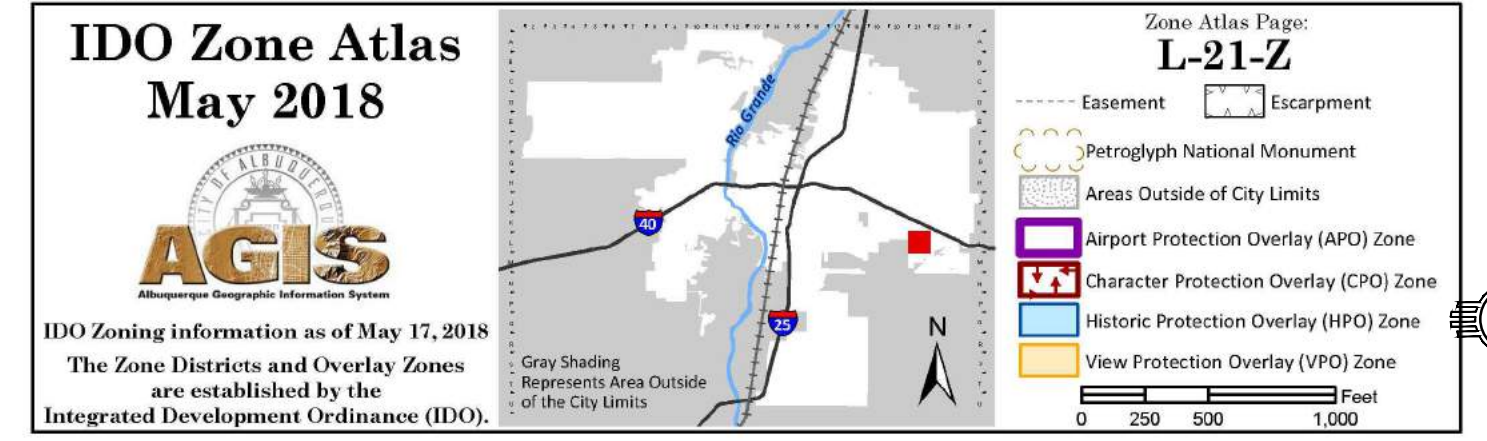
The existing site is estimated at 3.21 acres and is currently an undeveloped parcel of land. It is relatively flat with a mild slope from east to west and does not lie within a 100-year FEMA floodplain.

PROPOSED CONDITIONS

The proposed project will consist of a new fire station building, a new driveway entrance from Linn Ave and Shirley Street, and parking lot areas on the southwest and east side of the site. The site will also have several landscape areas and a water harvesting feature on the west side of the property. Runoff from the building will be routed to the water harvest area via a new storm drain system. Flows from other areas that are not able to be captured by the water harvest pond will discharge to Linn Ave on the North and Shirley Street on the west side.

CONCLUSIONS

When fully developed as indicated on the grading and drainage plan, runoff from the site will discharge to a water harvest feature on the west side of the site. Other areas will discharge north to Linn Avenue and west to Shirley Street.



VICINITY MAP

ZONE ATLAS MAP L-21-Z

HYDROLOGY CALCULATIONS

Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B	C	D				
Existing Conditions									
Site	3.21	2.88	0.00	0.00	0.33	0.99	0.265	0.285	8.07
Total	3.21								8.07
Proposed Conditions									
Site	3.21	0.00	0.00	1.87	1.34	1.95	0.522	0.606	14.01
Total	3.21								14.01

WATER HARVEST AREA

WHA #1					WHA #2				
Pond Rating Table					Pond Rating Table				
Side Slope					Side Slope				
Elev. (ft)	Area (sq ft)	Volume (cf)	Cum Volume (cf)		Elev. (ft)	Area (sq ft)	Volume (cf)	Cum Volume (cf)	
23	2593	0	0		25	795	0	0	
24	4870	3731.500	3731.500		26	1310	1052.482	1052.482	
25	6303	5586.500	9318.000		27	1885	1587.482	2639.963	

STORM WATER QUALITY CALCULATIONS

SWQV = (0.42"/12 * 58,370 SF) = 2043 CUBIC FEET

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 07/10/2024
 BY: [Signature]
 HydroTrans # L21D036

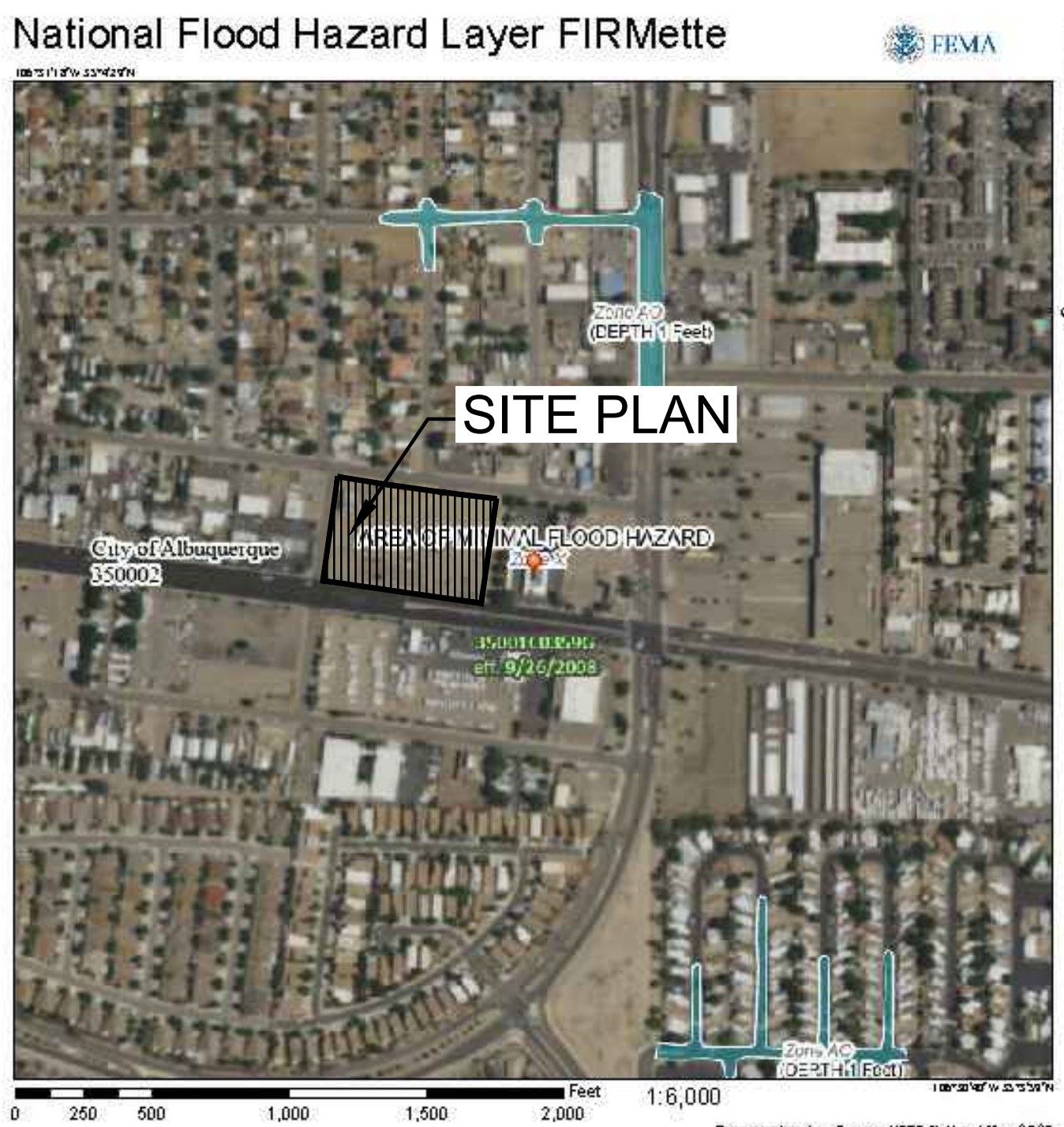
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

City of Albuquerque Electronic Stamp

GENERAL NOTES:

- EXISTING TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY PRECISION SURVEYS, INC., ALBUQUERQUE, NEW MEXICO JANUARY, 2024. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- PROJECT BENCHMARK ACS 4-L22 IS A CITY OF ALBUQUERQUE SURVEY CONTROL 3 1/4 ALUMINUM DISC SET FLUSH WITH THE TOP OF THE CURB AND IS STAMPED "4-L22 1986/92" ELEVATION = 5,586.425 FEET (NAVD 1988 VERTICAL DATUM).
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0% AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2019 EDITION OF THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (GRAY BOOK). ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN PUBLIC WORKS ASSOCIATION, NEW MEXICO CHAPTER, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.
- THE CONTRACTOR SHALL SUBMIT A SEED MIX DESIGN TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO STARTING THE SEEDING ON THE PROJECT. THE SEED MIX DESIGN SHALL BE A SEED MIX RECOMMENDED BY NRCS FIELD OFFICE REPRESENTATIVE APPROPRIATE FOR PROJECT LOCATION.

ALL DISTURBED AREAS, NOT ADDRESSED BY ARCHITECTURAL LANDSCAPE PLAN WITH SLOPES OF LESS THAN 3:1 SHALL RECEIVE CLASS "A" SEEDING. ANY SLOPES THAT ARE 3:1 OR STEEPER SLOPES SHALL RECEIVE STEEP SLOPE SEEDING. THE STEEP SLOPE SEEDING SHALL CONSIST OF SEEDING IN CONJUNCTION WITH A 100% COCONUT FIBER BLEND EROSION BLANKET (NORTH AMERICAN GREEN C125) OR APPROVED EQUAL.



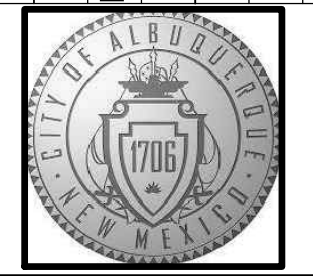
FLOOD ZONE MAP

FLOOD ZONE MAP: 35001C0359G

NO.	DATE	AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL
		CONTRACTOR	DATE	WORKED BY	DATE	NO.	DATE	

50% CDS NOT FOR CONSTRUCTION

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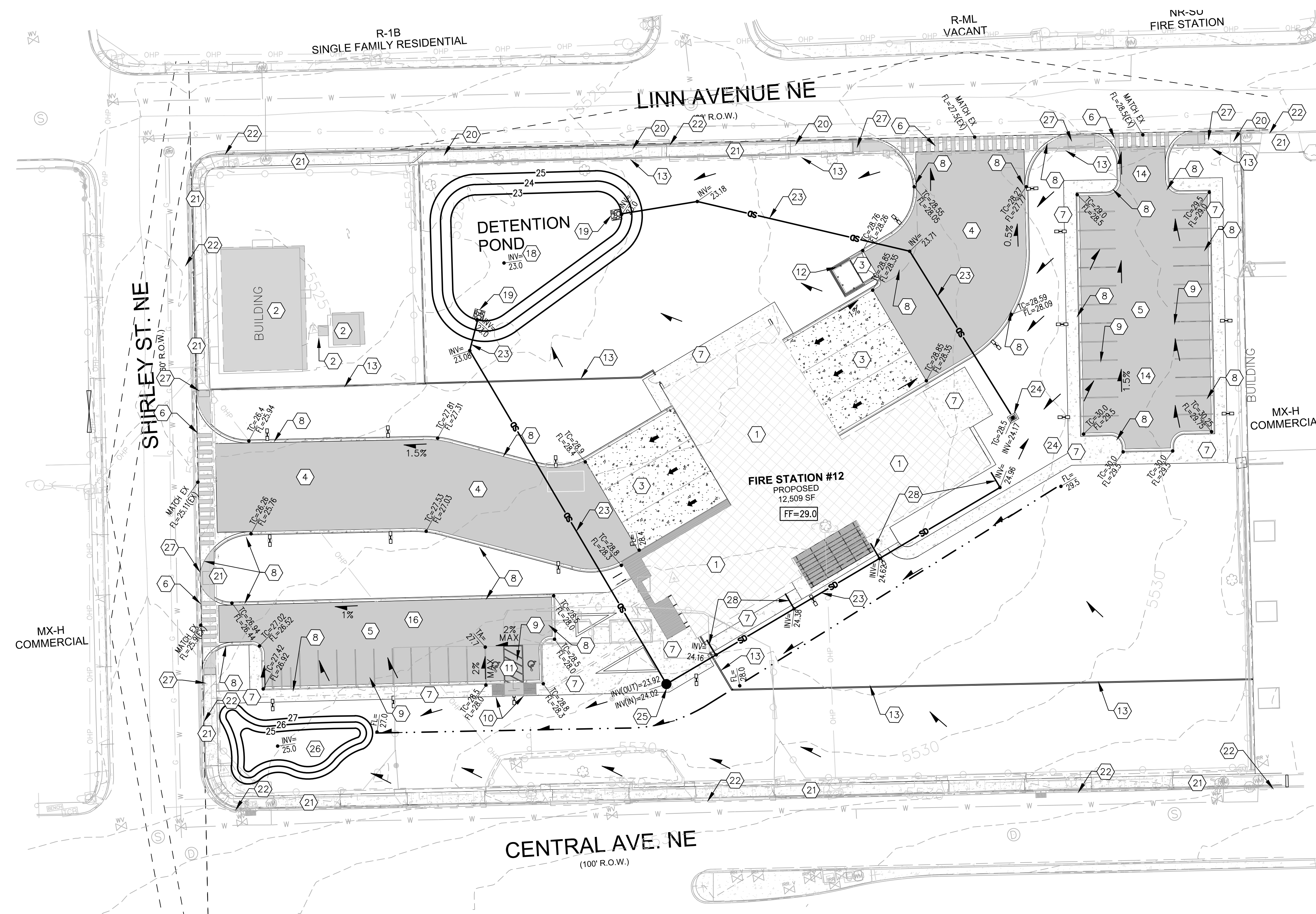
CITY OF ALBUQUERQUE CAPITAL IMPLEMENTATION PROGRAM

AFD FIRE STATION 12

1474 LINN AVE. N.E. ALBUQUERQUE, NM 87123

Drawing Title		HYDROLOGY PLAN	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		7/10/18	
Issue Date:	City Project No.	Sheet	
JUNE, 2024		CG-101	

MEC MILLER ENGINEERING CONSULTANTS
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 BUILDING #
 ALBUQUERQUE, NM 87107
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 (505)888-3800 (FAX)
 WWW.MECNM.COM



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 07/10/2024
 BY: *[Signature]*
 HydroTrans # L21D036

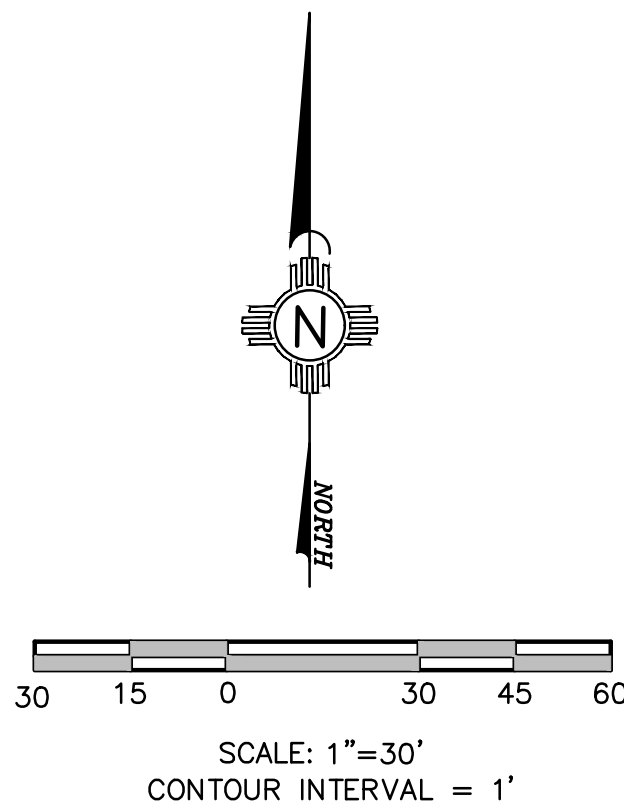
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City of Albuquerque Electronic Stamp

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORKED BY	DATE
INSPECTED BY	DATE
FIELD ACCEPTANCE BY	DATE
FINANCE BY	DATE
RECORDED BY	DATE
MICRO-FILM INFORMATION	
NO.	DATE

LEGEND:

• 38.00 FL	PROPOSED SPOT ELEVATIONS (FLOW LINE)
• MATCH (95.19)	MATCH EXISTING ELEVATIONS
TOC	TOP OF CONCRETE
FL	FLOW LINE, CURB
INV	INVERT
FG	FINISH GRADE
TBC	TOP OF BASE COURSE
TC	TOP OF CURB
TG	TOP OF GRATE
TA	TOP OF ASPHALT
FV	FIELD VERIFY
→	FLOW ARROW
~	GRADE BREAK-HIGH POINT
●	PROPOSED STORM DRAIN MANHOLE
—	SWALE
SD	STORM DRAIN LINE
— 5895 —	PROPOSED MAJOR CONTOUR
— 5895 —	PROPOSED MINOR CONTOUR
— 5895 —	EXISTING MAJOR CONTOUR
— 5895 —	EXISTING MINOR CONTOUR
▲	TOP OF CUT SLOPE
[Shaded Box]	PROPOSED BUILDING
[Patterned Box]	HEAVY DUTY CONCRETE PAVING
[Patterned Box]	HEAVY DUTY ASPHALT PAVING
[Patterned Box]	PROPOSED CONCRETE FLATWORK/SIDEWALK



KEYED NOTES:

- | | |
|--|--|
| 1 NEW BUILDING SEE ARCHITECTURAL PLANS. | 16 NEW VISITOR PARKING, (12 SPACES - 2 ADA)(4 MOTORCYCLE) 18-TOTAL |
| 2 EXISTING BUILDING TO REMAIN. | 17 NOT USED. |
| 3 NEW HEAVY DUTY CONCRETE PAVING. SEE DETAIL SHEET C-501. | 18 NEW WATER HARVEST AREA #1 INV=23.0, SEE DETAIL SHEET C-501. |
| 4 NEW HEAVY DUTY ASPHALT PAVING. SEE DETAIL SHEET C-501. | 19 NEW 5'x5' RIP RAP PAD, SEE DETAIL SHEET C-503. |
| 5 NEW LIGHT DUTY ASPHALT PARKING. SEE DETAIL SHEET C-501. | 20 NEW SIDEWALK PER COA STD DWG #2430. |
| 6 NEW CONCRETE VALLEY GUTTER WITH FILLETS, PER COA STD DWG #2420. | 21 EXISTING SIDEWALK TO REMAIN. |
| 7 NEW CONCRETE FLAT WORK, SEE ARCHITECTURAL PLANS FOR DETAILS. | 22 EXISTING CURB AND GUTTER TO REMAIN. |
| 8 NEW CONCRETE CURB AND GUTTER. PER COA STD DWG #2415A. | 23 NEW 12" STORM DRAIN LINE @ 0.5% SLOPE. |
| 9 NEW PARKING STRIPES AND ADA MARKINGS, SEE ARCHITECTURAL PLANS FOR DETAILS. | 24 NEW TYPE D INLET. PER COA STD DWG #2206. INV=24.17, TG=28.5 |
| 10 NEW ADA RAMPS, SEE ARCHITECTURAL PLANS FOR DETAILS. | 25 NEW STORM DRAIN MANHOLE, RIM=28.4. |
| 11 NEW ADA PARKING SIGN, SEE ARCHITECTURAL PLANS FOR DETAILS. | 26 NEW WATER HARVEST AREA #2, PER DETAIL SHEET C-501. INV=25.0 |
| 12 NEW TRASH INCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS. | 27 NEW ADA RAMP PER COA STD DWG #2443. |
| 13 NEW SITE WALL, SEE ARCHITECTURAL PLANS FOR DETAILS. | 28 NEW 6" STORM DRAIN LINE @ 2% SLOPE. |
| 14 NEW FIRE FIGHTER PARKING, (26 SPACES) | |

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 (505)888-3800 (FAX)
 WWW.MECNM.COM

50% CDS
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 4477 Irving NW, Suite A Albuquerque, New Mexico 87114 Ph: 505.890.5030 - Fax: 505.890.5031 www.va-architects.com		
CITY OF ALBUQUERQUE CAPITAL IMPLEMENTATION PROGRAM AFD FIRE STATION 12 11714 LINN AVE. N.E. ALBUQUERQUE, NM 87123		
Drawing Title		
CONCEPTUAL GRADING AND DRAINAGE PLAN		
Design Review Committee	City Engineer Approval	Mo./Day/Yr. 7/10/18
Issue Date:	City Project No.	Sheet
JUNE, 2024		C-101

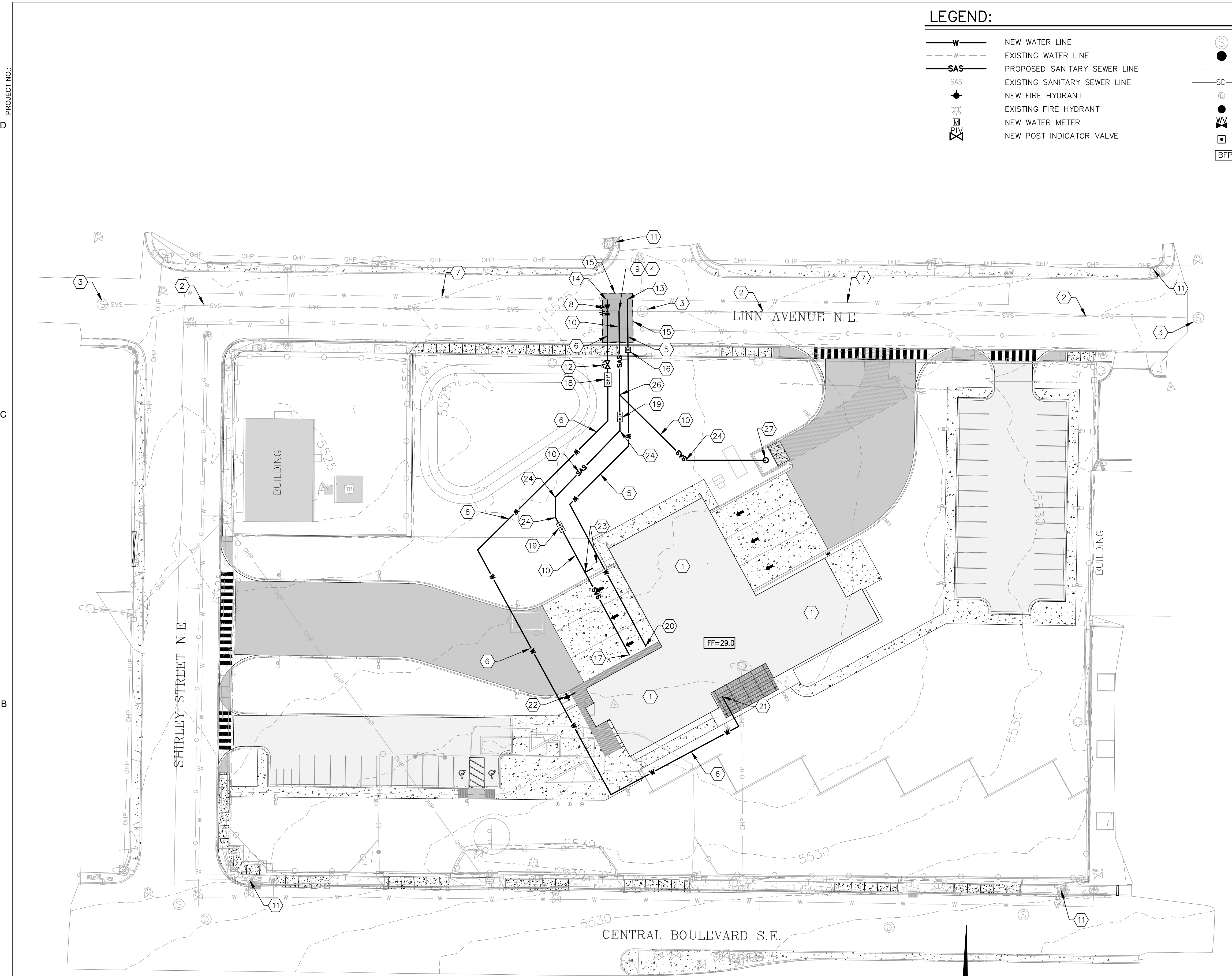
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LEGEND:

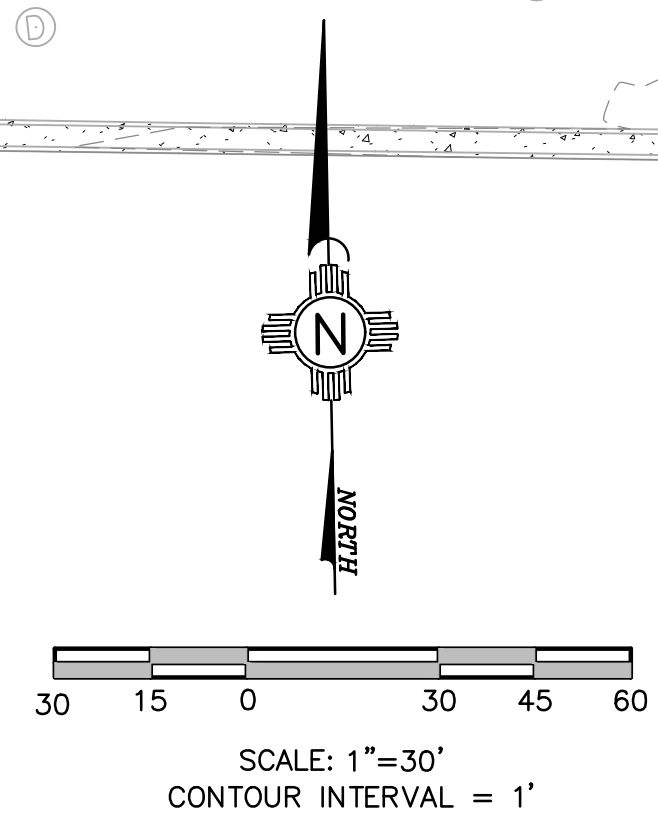
- NEW WATER LINE
- EXISTING WATER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING SANITARY SEWER LINE
- NEW FIRE HYDRANT
- EXISTING FIRE HYDRANT
- NEW WATER METER
- NEW POST INDICATOR VALVE
- EXISTING SAS MANHOLE
- PROPOSED SAS MANHOLE
- EXISTING SD LINE
- PROPOSED SD LINE
- EXISTING SD MANHOLE
- PROPOSED SD MANHOLE
- PROPOSED GATE VALVE
- PROPOSED CLEANOUT
- PROPOSED BACK FLOW PREVENTER

KEYED NOTES

1. NEW BUILDINGS SEE ARCHITECTURAL DRAWINGS.
 2. EXISTING 8" SANITARY SEWER LINE.
 3. EXISTING SAS MANHOLE TO REMAIN. RIM ELEV.=5525.73, INV.(E)=5518.17, INV.(W)=5518.24.
 4. POINT OF CONNECTION FOR NEW 4" SAS LINE TO EXISTING SAS MAIN LINE, PER COA STD DWG #2125.
 5. NEW 2" DIA. DOMESTIC WATER SERVICE LINE WITH METER. PER COA STD DWG #2301.
 6. NEW 6" DIA. DEDICATED FIRE LINE PER COA STD DWG #2301.
 7. EXISTING 6" CAST IRON WATER MAIN LINE.
 8. NEW 6" GATE VALVE, PER COA STD DWG #2324..
 9. NEW 8"x8"x4" TEE.
 10. NEW 4" SAS LINE AT 2% MINIMUM SLOPE.
 11. EXISTING FIRE HYDRANT TO REMAIN.
 12. NEW POST INDICATOR VALVE (PIV) SEE SHEET C-503 FOR DETAILS.
 13. CONNECT NEW 2" DIA. DOMESTIC WATER LINE TO EXISTING WATER MAIN WITH TAPPING TEE AND VALVE, SEE DETAIL SHEET C-503.
 14. CONNECT NEW 6" DIA. DEDICATED FIRE LINE TO EXISTING WATER MAIN WITH TAPPING TEE AND VALVE, SEE DETAIL SHEET C-503.
 15. SAW CUT, EXISTING ASPHALT TO CLEAN STRAIGHT EDGE. REMOVE, DISPOSE AND REPLACE EXISTING ASPHALT AS NECESSARY TO INSTALL WATER AND SAS LINES. MATCH EXISTING ASPHALT SECTION OF ASPHALT, BASE COURSE AND SUBGRADE PREP. (9' MAX. WIDTH). PER COA STD DWG #2465.
 16. NEW 2" WATER METER, PER COA STD DWGS #2363.
 17. POINT OF CONNECTION OF NEW 4" SAS TO NEW BUILDING, SEE PLUMBING PLANS FOR CONTINUATION. INV.=5524.82
 18. NEW REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY, PER COA STD DWG #2385.
 19. NEW DOUBLE SAS CLEANOUT, SEE DETAIL SHEET C-503.
 20. POINT OF CONNECTION OF NEW 2" DOMESTIC LINE TO BUILDING, SEE PLUMBING PLAN FOR LOCATION AND ELEVATION.
 21. POINT OF CONNECTION OF 6" DEDICATED FIRE LINE TO BUILDING, SEE PLUMBING PLAN FOR LOCATION AND ELEVATION.
 22. NEW REMOTE FDC SEE DETAIL SHEET C-503.
 23. OIL INTERCEPTOR LOCATION, SEE PLUMBING PLAN, INV.=5525.75.
 24. NEW 45" SANITARY SEWER BEND.
 25. NOT USED.
 26. NEW 4"x4"x4' SANITARY SEWER WYE.
 27. FLOOR DRAIN AT TRASH ENCLOSURE. INV.=26.70, SEE ARCHITECTURAL PLANS FOR DETAILS.
- GENERAL NOTE:
1. ALL WATER LINES SHALL HAVE A 3' MINIMUM BURY.



A1 SITE UTILITY PLAN
SCALE: 1"=30'



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CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM

AFD FIRE STATION 12
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ALBUQUERQUE, NM 87123

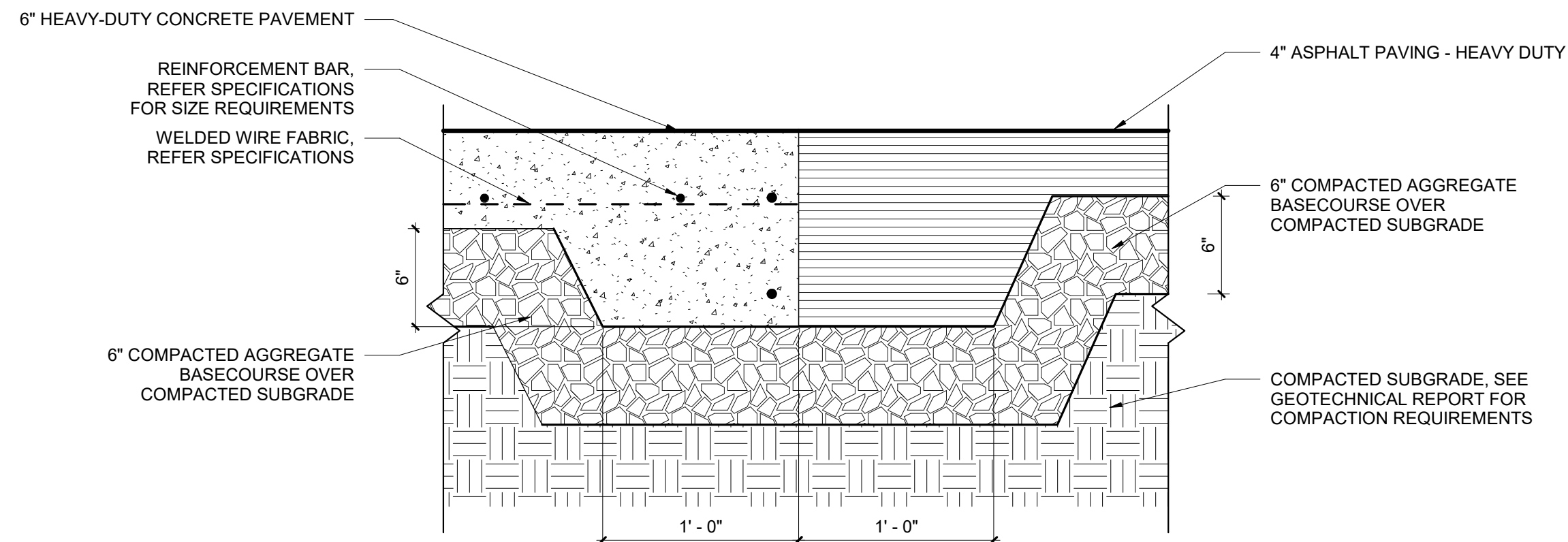
Drawing Title
SITE UTILITY SITE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr. 7/10/18	Mo./Day/Yr.
Last Design Update			

Issue Date: JUNE, 2024	City Project No. .	Sheet C-201
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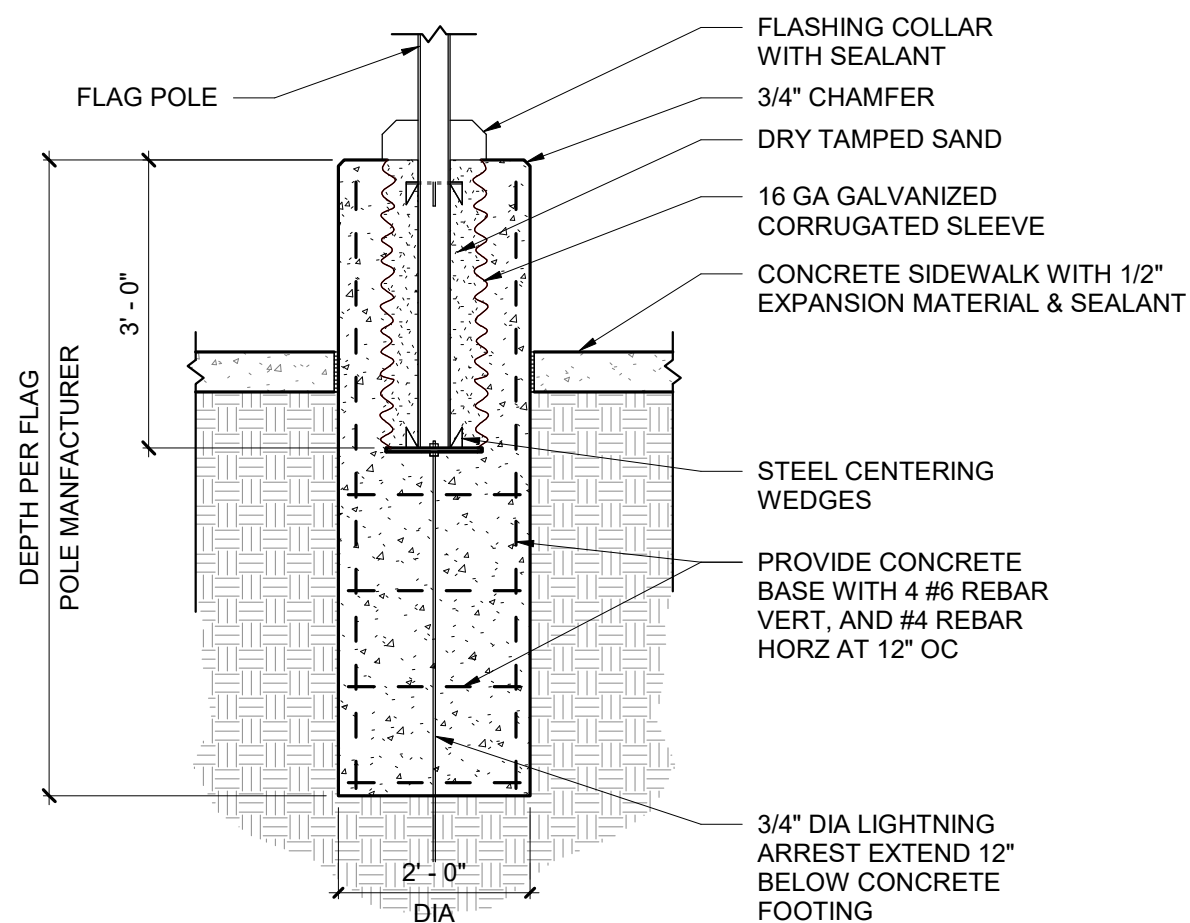
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WORKS BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
REVISIONS	DATE	NO.	DATE	NO.	DATE	NO.	DATE
APPROVED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
FIELD INSPECTION BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
DESIGNED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
CHECKED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
RECORDED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE

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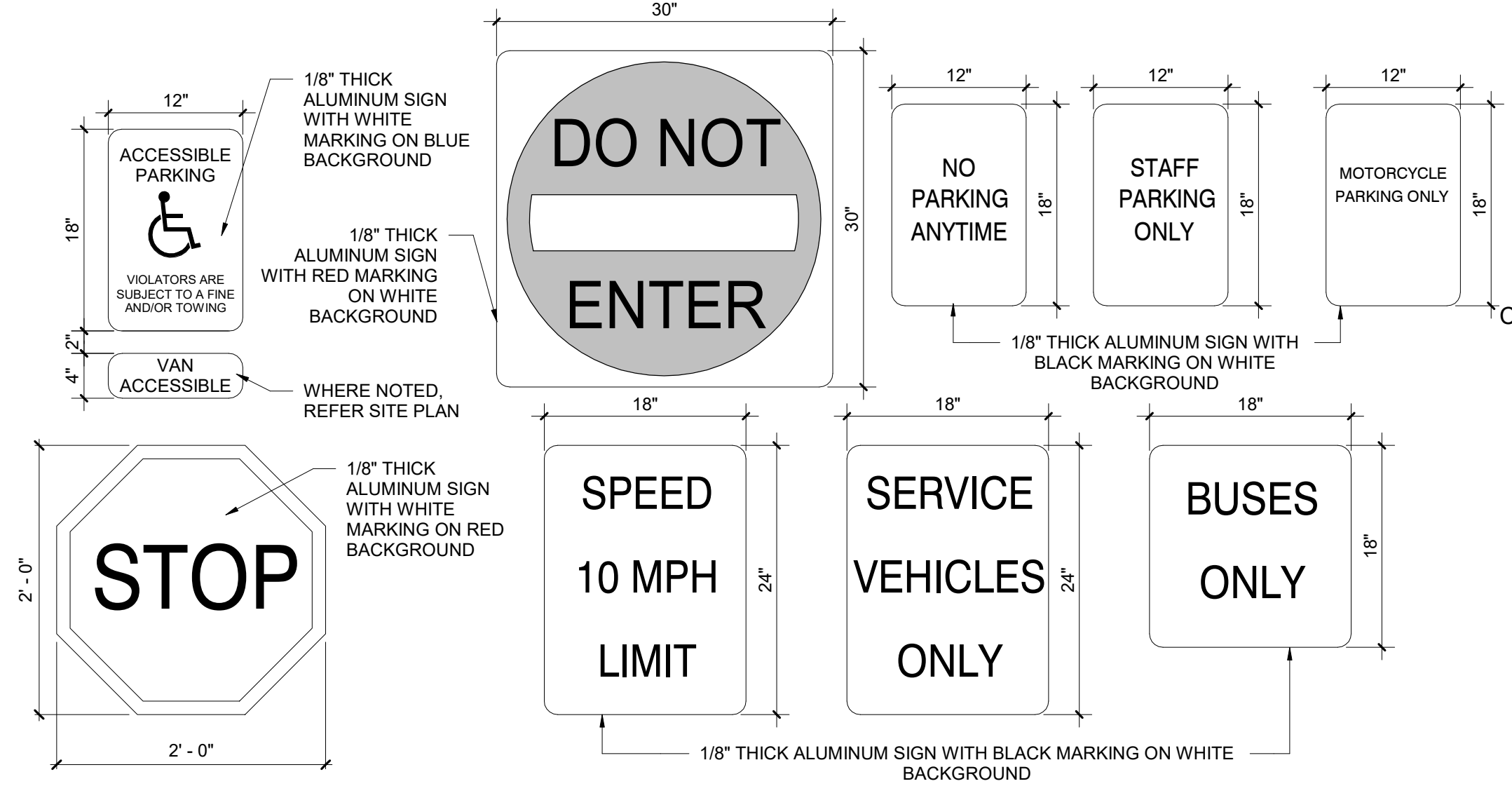
C1 CONCRETE TO ASPHALT TRANSITION

Scale: 1 1/2" = 1'-0"



D3 FLAG POLE

Scale: 1/2" = 1'-0"

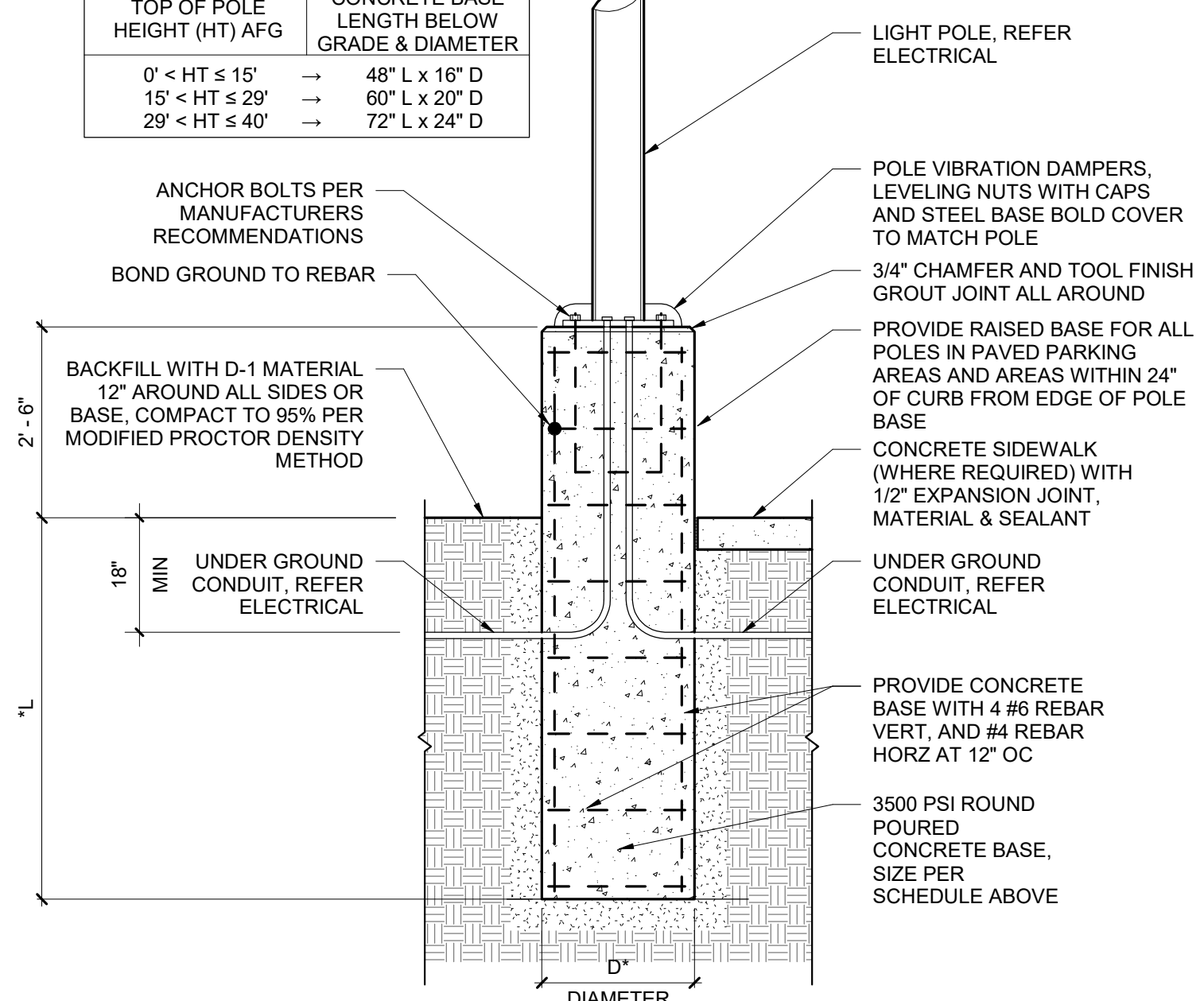


REFER AS-101 FOR LOCATIONS
NOTE: FOR REFERENCE ONLY, UTILIZE INDUSTRY STANDARDS FOR TYPICAL SIZE/COLOR/STYLIZATION

B4 TRAFFIC SIGNS

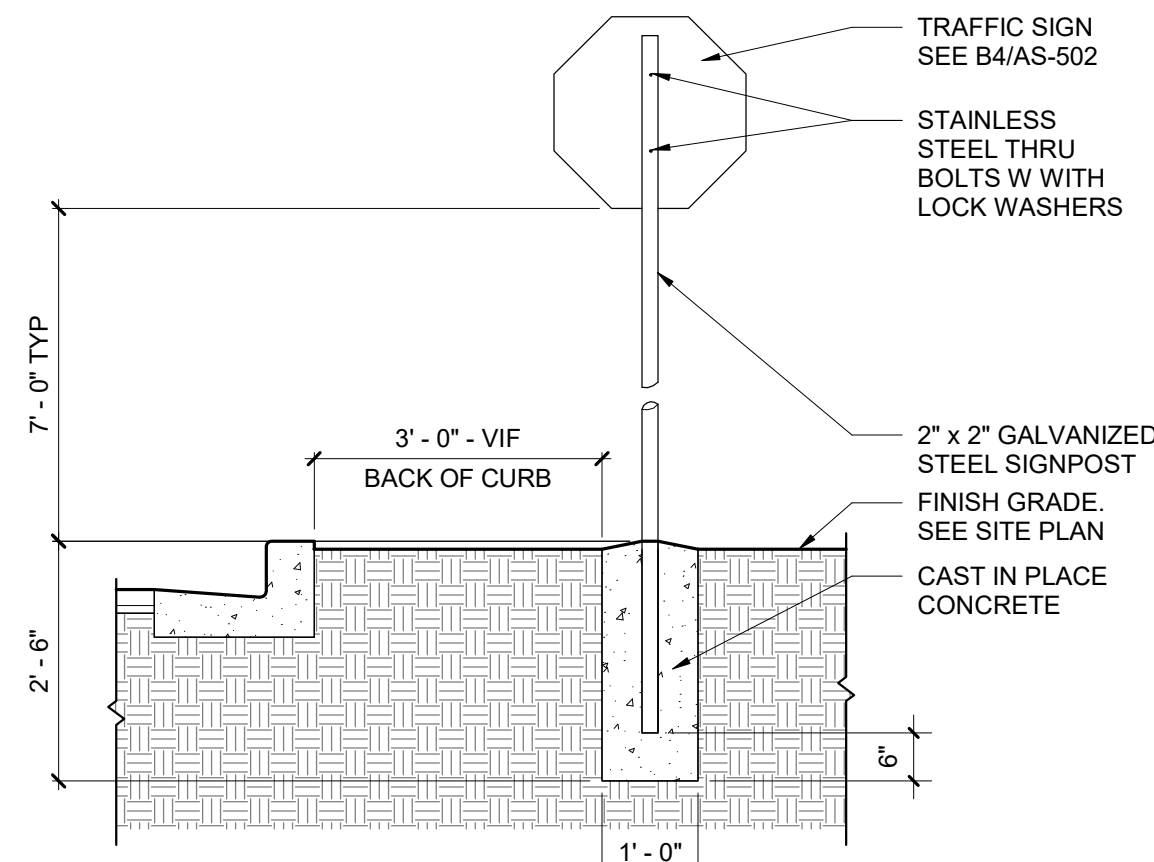
Scale: 1" = 1'-0"

* POLE BASE LENGTH (L) BELOW FINISHED GRADE AND DIAMETER (D) AS FOLLOWS	
TOP OF POLE HEIGHT (HT) AFG	CONCRETE BASE LENGTH BELOW GRADE & DIAMETER
0' < HT ≤ 15'	48" L x 16" D
15' < HT ≤ 29'	60" L x 20" D
29' < HT ≤ 40'	72" L x 24" D



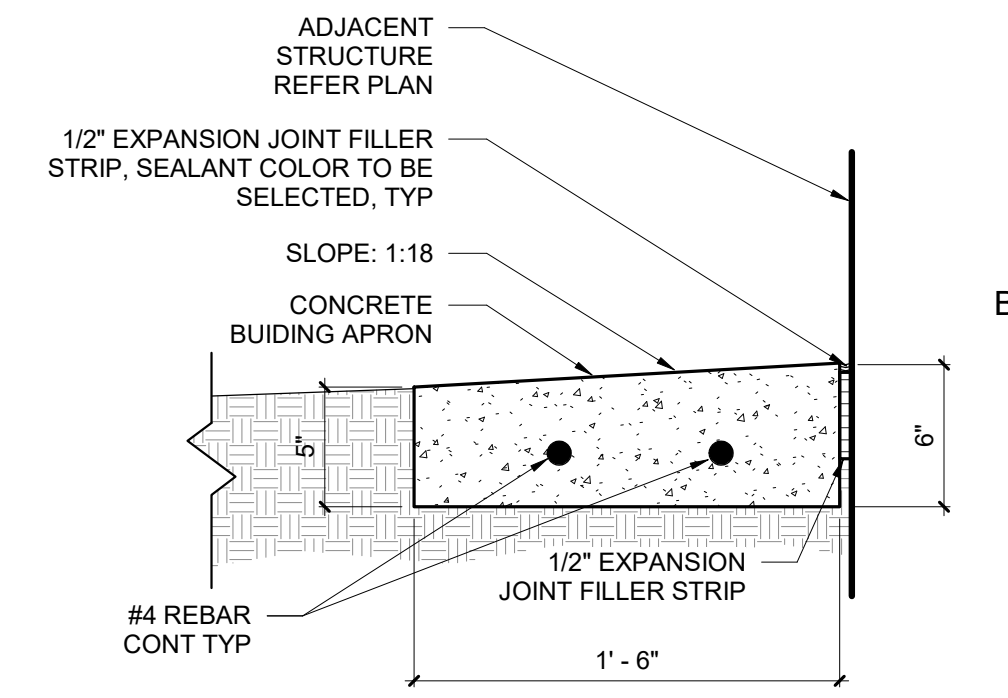
A3 LIGHT POLE BASE

Scale: 1/2" = 1'-0"



A2 STANDARD SIGN

Scale: 1/2" = 1'-0"



B5 CONCRETE BUILDING APRON

Scale: 1 1/2" = 1'-0"

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CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
FIRE STATION 12
11701 Central Ave NE Albuquerque, NM 87123

Drawing Title

SITE DETAILS - EPC

Design Review Committee

City Engineer Approval

Issue Date:
JULY 2024

City Project No.

636793

Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

Sheet

Sheet

DFT-AS-502

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STACKED BY	DATE
FIELD ACCEPTANCE BY	DATE
REVISIONS BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
NO.	DATE



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REMARKS	
BY	DATE

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[Meg Beck \(123mbeck@gmail.com\)](mailto:123mbeck@gmail.com)

[Singing Arrow \(abqsana@gmail.com\)](mailto:abqsana@gmail.com)

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