



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	<b>APPEAL</b>
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

<b>BRIEF DESCRIPTION OF REQUEST</b>

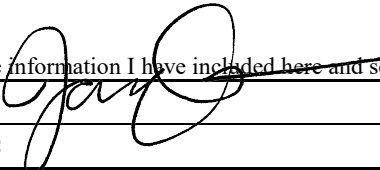
<b>APPLICATION INFORMATION</b>		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street:	Between:	and:

<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

<b>Signature:</b> 	<b>Date:</b>
<b>Printed Name:</b>	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

**FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022****\_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

**SITE PLAN DOCUMENTATION**

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- \_\_\_ 4) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- \_\_\_ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- \_\_\_ 7) Infrastructure List, if required for building of public infrastructure
- \_\_\_ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):  
[https://documents.cabq.gov/planning/development-review-board/Sensitive\\_lands\\_analysis\\_form.pdf](https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf)
- \_\_\_ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic\\_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

**SUPPORTIVE DOCUMENTATION**

- \_\_\_ 10) Completed Site Plan Checklist
- \_\_\_ 11) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- \_\_\_ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- \_\_\_ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)

\_\_\_ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

\_\_\_ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

**PUBLIC NOTICE DOCUMENTATION**

\_\_\_ 17) Sign Posting Agreement

\_\_\_ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

\_\_\_ Office of Neighborhood Coordination neighborhood meeting inquiry response

\_\_\_ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

\_\_\_ Completed neighborhood meeting request form(s)

\_\_\_ If a meeting was requested or held, copy of sign-in sheet and meeting notes

\_\_\_ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

\_\_\_ Office of Neighborhood Coordination notice inquiry response

\_\_\_ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

\_\_\_ Proof of emailed notice to affected Neighborhood Association representatives

# SITE PLAN DOCUMENTATION

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: Lots 1 through 10 & 27 through 34 and South 50 feet of Lots 35 and 36 Block 6 East Central BU 11701 Central Avenue NE

Request Description: \_\_\_ DFT review of EPC approved Site Plan for City Fire Station 12

Hydrology:

- Sensitive Lands Analysis (5-2(C))
Grading and Drainage Plan
AMAFCA
Bernalillo County
NMDOT
MRGCD

Renee C. Brissette

Hydrology Department

07/26/24

Date

Transportation:

- Traffic Circulations Layout (TCL)
Traffic Impact Study (TIS)
Neighborhood Impact Analysis (NIA)
Bernalillo County
MRCOG
NMDOT
MRGCD

Ernest Arroyo

Transportation Department

7/26/2024

Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? \_\_\_ Yes \_\_\_ No \_\_\_ NA
Availability Statement/Serviceability Letter Number \_\_\_
Note: Commitment for service is required prior to application approval.

ABCWUA

Date

- Infrastructure Improvements Agreement (IIA\*)
Solid Waste Department Signature on the Plan
Fire Marshall Signature on the Plan

\* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

**FORM SP: PRE-APPROVALS/SIGNATURES**

(Revised 10/26/23)

**Legal Description & Location:** FIRE STATION #12- LOCATED AT 11701 CENTRAL AVE NE  
LEGAL: Lots 1 through 10 & 27 through 34 and south 50 feet of lots 35 and 36 Block 6 East Central BU

**Request Description:** \_\_\_\_\_

**Hydrology:**

- Sensitive Lands Analysis (5-2(C))                    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- Grading and Drainage Plan                            \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- AMAFCA    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- Bernalillo County                                        \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- NMDOT    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- MRGCD    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA

\_\_\_\_\_  
Hydrology Department

\_\_\_\_\_  
Date

**Transportation:**

- Traffic Circulations Layout (TCL)                    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- Traffic Impact Study (TIS)                            \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- Neighborhood Impact Analysis (NIA)                \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- Bernalillo County                                        \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- MRCOG    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- NMDOT    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- MRGCD    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA

\_\_\_\_\_  
Transportation Department

\_\_\_\_\_  
Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Request for Availability submitted?                 Yes     No     NA
- Availability Statement/Serviceability Letter Number 240712
- Note: Commitment for service is required prior to application approval.

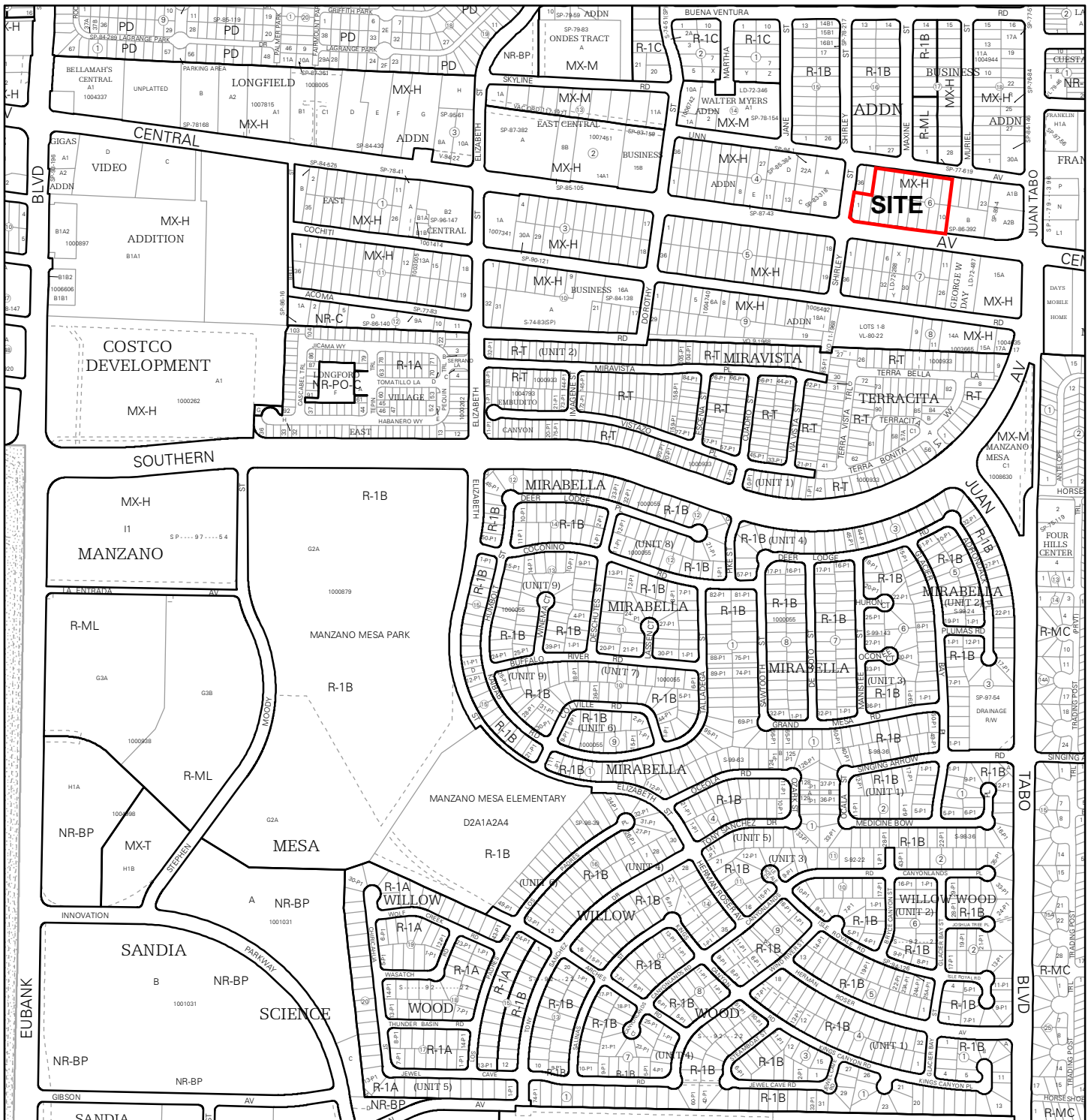


\_\_\_\_\_  
ABCWUA

07/24/2024  
\_\_\_\_\_  
Date

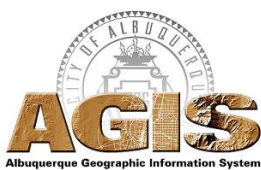
- Infrastructure Improvements Agreement (IIA\*)                    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- Solid Waste Department Signature on the Plan                    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA
- Fire Marshall Signature on the Plan                                    \_\_\_\_\_ Approved                    \_\_\_\_\_ NA

\* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

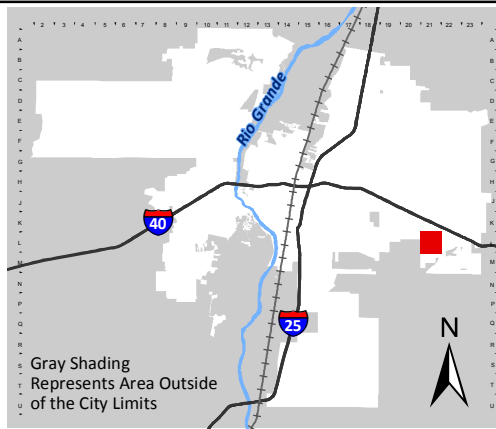


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018

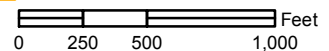


IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**L-21-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



## SITE PLAN KEY:

- SITE PLAN
- LANDSCAPE PLAN (2)
- APPROVED GRADING AND DRAINAGE PLAN (2)
- UTILITY PLAN
- EXTERIOR ELEVATIONS (2)
- SITE DETAILS (3)
- FIRE 1 PLAN



**SITE DATA**

LEGAL DESCRIPTION:  
 LOTS (1) THROUGH (10), INCLUSIVE, LOTS (27) THROUGH (34)  
 INCLUSIVE, AND THE SOUTHERLY 50 FEET OF LOTS (35) AND (36) IN  
 BLOCK NUMBERED (6) OF EAST CENTRAL BUSINESS ADDITION  
 CONTAINING 3.214 ACRES (140,000 SF)  
 UPC: 10210564468011001  
 ZONE ATLAS PAGE: L-21-Z  
 EXISTING ZONING: MX-H  
 PROPOSED LAND USE: FIRE STATION  
 PEDESTRIAN AND VEHICLE ACCESS: PRIMARY VEHICULAR AND  
 PEDESTRIAN ACCESS IS FROM CENTRAL AVENUE. WITH  
 PEDESTRIAN CONNECTIONS FROM THE SIDEWALK TO THE  
 BUILDING.  
 BUS ROUTES: ROUTE 66/777 ALONG CENTRAL, WITH A PEAK  
 FREQUENCY OF 15 MINUTES

**PARKING REQUIREMENTS**

PARKING CALCULATIONS:  
 PER IDO TABLE 5-5-1 MINIMUM OFF STREET PARKING REQUIREMENTS:  
 \* FIRE STATION OR POLICE STATION: 2 SPACES/ 1,000 SQ. FT.  
 GFA  
 TOTAL REQUIRED:  
 FIRE STATION #12- 12,509 SF (12,509/1000)\*2 = 25 SPACES  
 TOTAL PROVIDED:  
 40 SPACES TOTAL ON SITE, OF WHICH 2 ARE HC ACCESSIBLE  
 PER 5-5(D)(1):  
 REQUIRED/ PROVIDED: 1/4  
 PER TABLE 5-5-5 MINIMUM BICYCLE PARKING REQUIREMENTS:  
 3 SPACES OR 10% OF REQUIRED OFF STREET PARKING SPACES  
 WHICHEVER IS GREATER IS REQUIRED.  
 BICYCLE SPACES  
 REQUIRED/ PROVIDED: 3/6

PROJECT NUMBER: PR-2024-010705  
 Application Number: SI-2024-01086  
 This plan is consistent with the specific Site Development Plan approved  
 by the Environmental Planning Commission (EPC) dated \_\_\_\_\_  
 and the Findings and Conditions in the Official Notification of  
 Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of  
 approved DRC plans with a work order is required for any construction  
 within Public Right-of-Way or for construction of public improvements.

**DFT SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division
ABCWUA
Parks and Recreation Department
Hydrology
Code Enforcement
*Environmental Health Department (conditional) <i>Herman Gallegos</i> Herman Gallegos 10-10-24 Solid Waste Management
Planning Department

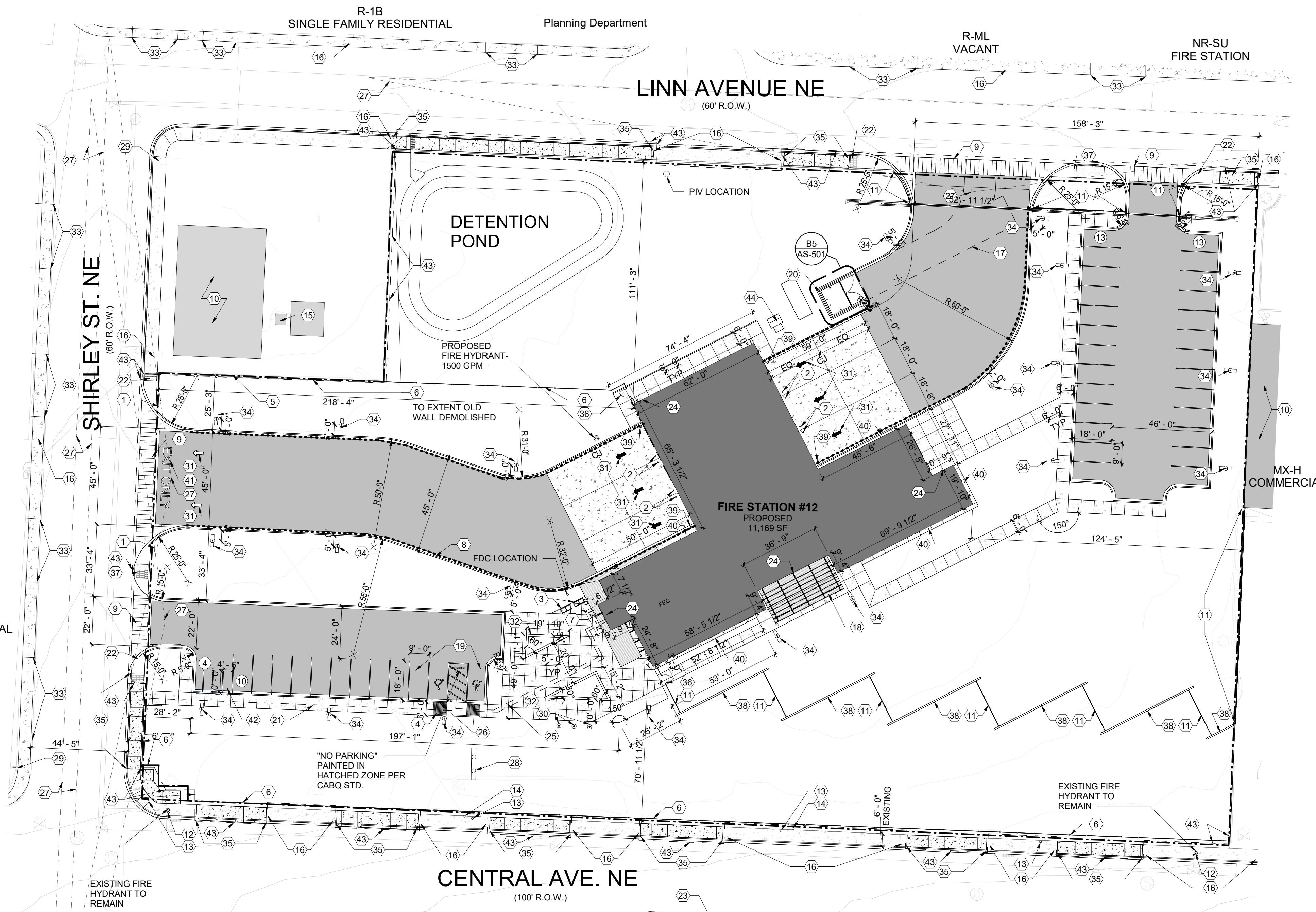
**VICINITY MAP**



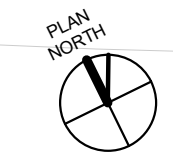
SHEET KEYNOTES	
1	NEW CABO STANDARD "DO NOT ENTER" SIGN
2	BEAM BOLLARD - 2 AS SHOWN - SEE DETAIL C5/AS-502
3	NEW BICYCLE RACK SEE A2/AS-501
4	ACCESSIBLE SIDEWALK RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 SEE A2/AS-503
5	EXISTING SITE FENCE TO REMAIN
6	PROPOSED 6" HIGH DECORATIVE SITE FENCE - SEE B3/AS-501
7	PROPOSED ENTRY DOOR
8	6" CURB AND GUTTER PER CABQ STD DETAIL TYP. SEE D1/C-501
9	CROSSWALK STRIPES- INTEGRALLY COLORED CONCRETE- CAST FLUSH W/ ADJACENT- COLOR TO BE GOLD YELLOW INTEGRAL CONCRETE- 2'X6' STRIPES EA. AT 2' APART TO EXTENTS SHOWN
10	EXISTING BUILDING TO REMAIN- NO WORK THIS AREA
11	PROPOSED 6" HIGH RIBBED SITE FENCE; PAINT BACK - SEE B2/AS-501
12	EXISTING FIRE HYDRANT TO REMAIN
13	EXISTING STREET LIGHT TO REMAIN
14	EXISTING POWER POLE TO REMAIN
15	EXISTING CELL TOWER TO REMAIN- NO WORK THIS AREA
16	EXISTING SIDEWALK TO REMAIN
17	REFUSE VEHICLE TURNAROUND
18	COVERED PATIO WITH LOOSE FURNITURE. 597 SF
19	HANDICAP PARKING PER CABQ STANDARD
20	REFUSE ENCLOSURE COMPLIANT WITH CABQ STANDARDS
21	ADA ACCESS PATH (240 FT TOTAL PATH LENGTH FROM ROW)
22	ACCESSIBLE DRIVEPAD RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DETAIL 2443 DETAIL C
23	EXISTING MEDIAN TO REMAIN- NO WORK THIS PERMIT
24	PROPOSED EXIT DOOR LOCATION
25	ADA ACCESS PATH (100 FT PATH FROM ADA PARKING)
26	ADA HANDICAP PARKING WITH CABQ STD LANGUAGE SIGN SEE SITE DETAILS ON AS-502
27	CLEAR SIGHT TRIANGLE
28	EXISTING SIGN TO REMAIN AND TO BE RE-USED
29	EXISTING STOP SIGN TO REMAIN
30	NEW 25' FLAGPOLE TYP. OF 3 SEE A2/AS-502
31	PAVEMENT DIRECTION MARKERS SEE A3/AS-503
32	RAISED PLANTER SEE A3/AS-501
33	EXTENTS OF EXISTING DRIVEWAY FRONTING SITE (NOT IN SCOPE)
34	NEW LIGHT 16' POLE (NIGHT SKY COMPLIANT), REFERENCE ELECTRICAL. SEE B1/AS-501
35	NEW CURB AND SIDEWALK INFILL TO MATCH EXISTING
36	STEEL GATE
37	INSTALL TRUNCATED MATS AT THIS LOCATION AS SHOWN; HOLD SIDEWALK FLUSH W/ ADJACENT VALLEY GUTTERS
38	PROPOSED 6" HIGH CMU SITE FENCE SEE C3/AS-503
39	BEAM BOLLARD - 1 AS SHOWN - SIMILAR TO DETAIL C5/AS-502
40	CONCRETE APRON AROUND ENTIRE BUILDING; SEE DETAILS
41	"EXIT ONLY" PAINTED PAVEMENT MARKER
42	MOTORCYCLE PARKING
43	WORK EXTENTS LINE
44	NEW TRANSFORMER LOCATION- COORDINATE WITH PNM

LEGEND	
	PROPOSED LIGHT POLE
	PROPOSED BUILDING
	EXISTING BUILDING
	PAVED ASPHALT
	PAVED CONCRETE
	LANDSCAPE AREA
	STEEL ORNAMENTAL FENCE
	STEEL GATE
	PROPERTY LINE

GENERAL SHEET NOTES	
1.	ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
2.	LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE LINE OF SIGHT AREA.
3.	ALL INTERNAL SIDEWALKS SHALL BE 5 FEET IN WIDTH UNLESS OTHERWISE NOTED.
4.	ONSITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE OR AS PER PNM STANDARD REQUIREMENTS.
5.	TRANSIT ROUTES: ROUTE 66 AND ROUTE 777 ON CENTRAL AVENUE.
6.	CONCRETE CONTROL JOINT SPACING SHOULD MATCH ADJACENT WIDTH.
7.	EXTERIOR LIGHT POLES AT FIRE TRUCK DRIVEWAYS TO BE MIN. 5'-0" AWAY FROM CURB.
8.	ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER DPM STANDARD DETAILING.



**A1 OVERALL SITE PLAN**  
 Scale: 1" = 30'-0"



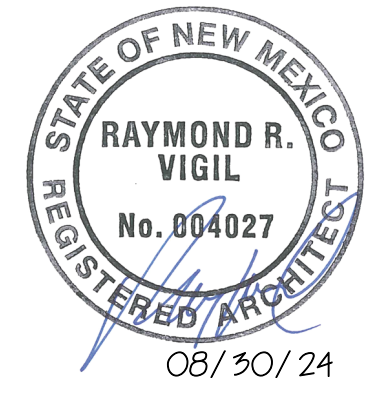
AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STACKED BY	DATE
ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
REVISIONS BY	DATE
CORRECTED BY	DATE
NO.	DATE

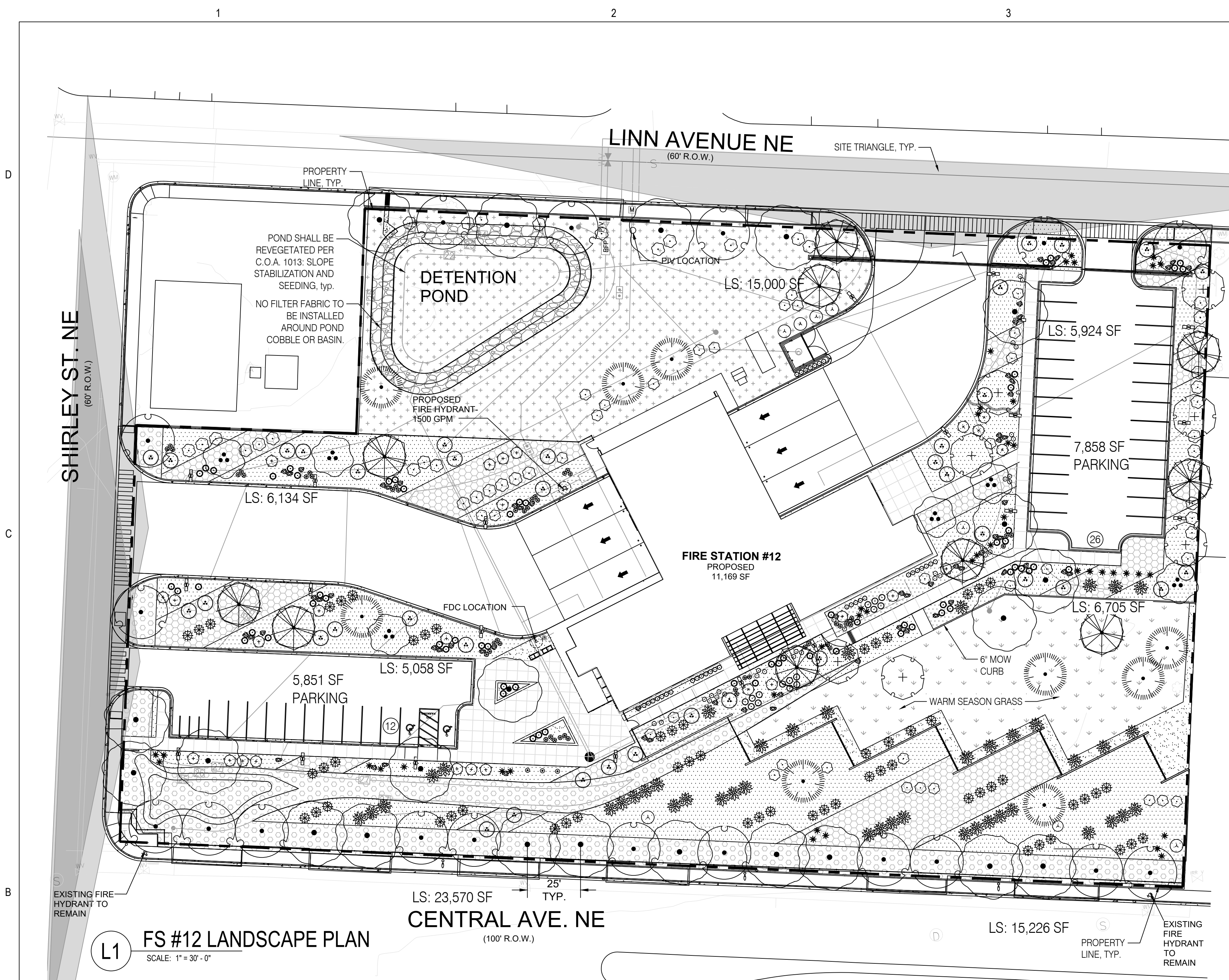
BENCH MARKS	
CONTRACTOR	DATE
WORK STACKED BY	DATE
ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
REVISIONS BY	DATE
CORRECTED BY	DATE
NO.	DATE

SURVEY INFORMATION	
CONTRACTOR	DATE
WORK STACKED BY	DATE
ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
REVISIONS BY	DATE
CORRECTED BY	DATE
NO.	DATE



 <b>VIGIL &amp; ASSOCIATES</b> ARCHITECTURAL GROUP, P.C. 4477 Irving NW, Suite A Albuquerque, New Mexico 87114 Ph: 505.890.9300 Fax: 505.890.9301 www.VA-architects.com		 <b>CITY OF ALBUQUERQUE</b> CAPITAL IMPLEMENTATION PROGRAM <b>FIRE STATION 12</b> 11701 Central Ave NE Albuquerque, NM 87123
Drawing Title		<b>SITE PLAN</b>
Design Review Committee	City Engineer Approval	Mo./Day/Yr. Mo./Day/Yr.
Issue Date:	City Project No.	Sheet
<b>AUGUST 2024</b>	<b>636793</b>	<b>DFT-AS-101</b>



**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE	WATER USE
<b>TREES</b>					
(Symbol)	18	Acer negundo 'Sensation' Sensation Box Elder	2.5" Cal.	35' x 25' Multi-trunk	MEDIUM
(Symbol)	10	Chilopsis linearis Desert Willow	2.5" Cal. B&B	20' x 25'	MEDIUM
(Symbol)	9	Pinus nigra Austrian Pine	6' HT. B&B	35' x 25'	MEDIUM
(Symbol)	22	Pistacia chinensis Chinese Pistache	2.5" Cal. B&B	40' x 30'	MEDIUM
(Symbol)	7	Vitex agnus-castus Chaste Tree	24" Box	20' ht. x 20' spd.	MEDIUM
<b>SHRUBS</b>					
(Symbol)	60	Dasyliroia texanum Texas Sotol (FEMALE ONLY)	5 gal.	5'-6" ht. x 2'-4" spd.	LOW
(Symbol)	6	Forestiera neomexicana NM Olive	15 gal.	15' ht. x 15' spd.	MEDIUM
(Symbol)	37	Juniperus horizontalis 'Blue Chip' Blue Chip Creeping Juniper	5 gal.	1' ht. x 7' spd.	LOW
(Symbol)	31	Nepeta x faassenii 'Select Blue' Select Blue Catmint	5 gal.	2' ht. x 2' spd.	LOW
(Symbol)	15	Potentilla fruticosa Shrubby Cinquefoil	5 gal.	3' ht. x 3' spd.	MEDIUM
(Symbol)	69	Rhus trilobata 'Autumn Amber' Autumn Amber Sumac	5 gal.	2' ht. x 6' spd.	LOW
<b>GRASSES</b>					
(Symbol)	63	Bouteloua gracilis 'Blonde Ambition' Blonde Ambition Blue Grama	1 gal.	3' ht. x 3' spd.	LOW
(Symbol)	33	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass	1 gal.	2.5' ht. x 2' spd.	MEDIUM
<b>PERENNIALS</b>					
(Symbol)	26	Mirabilis multiflora Colorado Four O'Clock	5 gal.	2' ht. x 5' spd.	LOW
(Symbol)	48	Teucrium aronianum Creeping Germander	1 gal.	1' ht. x 2' spd.	LOW
<b>SUCCULENTS</b>					
(Symbol)	45	Agave americana Century Plant	3 gal.	6' ht. x 6' spd.	LOW
(Symbol)	42	Hesperaloe parviflora 'Straight Up Red' Straight Up Red Yucca	5 gal.	5' ht. x 3' spd.	LOW
(Symbol)	8	Opuntia engelmannii Engelmann's Prickly Pear	5 gal.	5' ht. x 8' spd.	RW
<b>MULCHES AND BOULDERS</b>					
(Symbol)	66	MOSS ROCK BOULDERS (27 CF MIN)			
(Symbol)	9,293 SF	2"-6" GREY ROUND COBBLE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
(Symbol)	28,993 SF	7/8" PUEBLO ROSE ROCK MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
(Symbol)	2,709 SF	4"-6" COYOTE MIST COBBLE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
(Symbol)	12,309 SF	2"-4" ROSE GOLD COBBLE (4" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
(Symbol)	2,413 SF	"SANTA FE BROWN" CRUSHER FINES (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
(Symbol)	18,309 SF	RE-VEGETATIVE SEEDING: 'GRAVEL UPLANDS': SEE C.O.A 1013 NOT IRRIGATED			
(Symbol)	9,374 SF	BUFFALO AND BLUE GRAMA, WARM SEASON GRASS SPREAD AT A RATE OF 2LBS PURE LIVE SEED PER 1000 SF. (SPRAY TO SPRAY IRRIGATION)			

**GENERAL LANDSCAPE NOTES**

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING, PURSUANT TO IDO 5-6(C)(14)(C). IRRIGATION SHALL ADHERE TO CABO SPECIFICATIONS SECTION 1000.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

**SCREENING**  
SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**SHREDDED ORGANIC MULCH AT TREES**  
SHREDDED ORGANIC MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 5" DIAMETER CIRCLE.

**IDO STANDARDS**

THE FOLLOWING REGULATIONS SHALL WARRANT THE RELOCATION OF PLANT MATERIAL IF FIELD CONDITIONS WARRANT.

**CLEARANCE**  
PER 5-6(C)(7)(A), VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.

PER 5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.

PER 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.

PER 5-6(C)(10)(A) TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS.

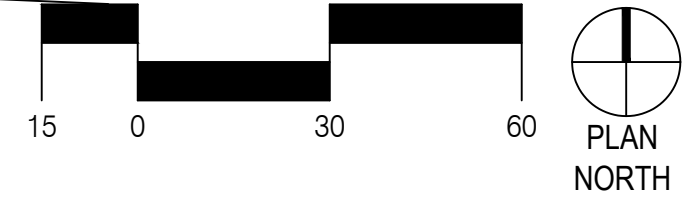
PER 5-6(C)(10)(B) TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.

PER 5-6(C)(10)(E) ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS MUST ALLOW 10 FEET OF CLEARANCE FOR ACCESS AND TO ENSURE THE SAFETY OF THE WORK CREWS AND PUBLIC DURING MAINTENANCE AND REPAIR.

PER 5-6(C)(10)(F) TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.

**LANDSCAPE CALCULATIONS**  
(5-6-C)

LANDSCAPE AREA COVERAGE IDO 5-6(C)(2)	140,000 SF
TOTAL SITE AREA (3,214 AC.)	-12,509 SF
DEVELOPED AREA:	127,491 SF
BUILDING AREA:	
NET AREA	19,124 SF (15%) / 83,469 SF (23%)
REQUIRED / PROVIDED LANDSCAPE	[COMPLIANT]
<b>COVERAGE IDO 5-6(C)(2)(c)</b>	
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPE AREA. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.	
REQUIRED/PROVIDED LIVE VEGETATIVE COVERAGE	62,602 SF (75%) / 74,224 (89%)
REQUIRED/PROVIDED GROUND-LEVEL COVERAGE	15,650 SF (25%) / 38,762 (52%)
	+RE-VEG [COMPLIANT]
<b>PARKING LOT TREES 5-6(F)(2)</b>	
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES AND NO PARKING SPACE MAY BE MORE THAN 100FT FROM A TREE TRUNK.	
PARKING LOT SPACES PROVIDED	38
REQUIRED/PROVIDED PARKING LOT TREES:	4 / 4
	[COMPLIANT]
<b>PARKING LOT AREA</b>	
AT LEAST 10% OF THE PARKING LOT AREA CONTAINING 50 OR FEWER SPACES SHALL BE LANDSCAPED.	
TOTAL PARKING LOT AREA:	13,709 SF
REQUIRED/PROVIDED LANDSCAPE AREA:	1,371 SF (10%) / (10%) 1,371
	[COMPLIANT]
<b>'WARM SEASON' NATIVE GRASSES ARE PROVIDED</b>	
ANY PARKING LOT LOCATED WITHIN 20 FEET OF THE SIDE OR REAR LOT LINE SHALL BE SCREENED BY A LANDSCAPE STRIP AT LEAST 6 FEET WIDE CONTAINING AT LEAST 2 TREES AND 6 SHRUBS PER 25 FEET OF THE PARKING EDGE. (PARKING LOTS ARE NOT WITHIN 20') [COMPLIANT]	



City of Albuquerque Electronic Stamp

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
INSPECTOR'S NAME	DATE
FIELD CHECKED BY	DATE
VERIFICATION BY	DATE
DRAWING BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE

BENCH MARKS	
NO.	DATE

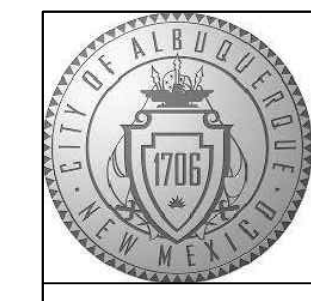
SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	DATE

SEAL	
NO.	DATE
BY	DATE
REMARKS	DATE
DESIGN	DATE
Drawn By: AM	DATE: 8/22/24
Checked By: KR	DATE: 8/22/24



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www.VA-architects.com

**CITY OF ALBUQUERQUE**  
**CAPITAL IMPLEMENTATION PROGRAM**

**AFR FIRE STATION 12**  
11701 CENTRAL AVE  
ALBUQUERQUE, NM 87123

Drawing Title

Design Review Committee

City Engineer Approval

Mo./Day/Yr. 00/00/2023

Issue Date: **AUGUST 22, 2024**

City Project No. **XXXXX XX#XX**

Sheet **LS-101**

PER 5-6(C)(4)(G), ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6- 6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.

PER 5-6(C)(4)(H), ALL REQUIRED PLANT MATERIALS SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ASNA) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.

PER 5-6(C)(5)(A), ALL VEGETATED MATERIAL REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE PLANTED IN UNCOMPACTED SOIL. PLEASE ADD A NOTE TO THE LANDSCAPE PLAN GENERAL NOTES TO REFLECT THIS CODE.

PER 5-6(C)(5)(B), IF USED, WEED BARRIERS SHALL BE PERMEABLE TO OPTIMIZE STORMWATER INFILTRATION AND PREVENT RUNOFF.

PER 5-6(C)(5)(D), A MINIMUM OF 2 INCHES OF ORGANIC MULCH IS REQUIRED IN ALL PLANTING AREAS, WITH 3-4 INCHES RECOMMENDED.

5-6(C)(9) PLANTING IN OR OVER THE PUBLIC RIGHT-OF-WAY

5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF WAY.

5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.

PER 5-6(C)(9)(C), WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, THE APPLICANT SHALL INSTALL AN ADEQUATE IRRIGATION SYSTEM THAT MEETS THE MINIMUM TECHNICAL REQUIREMENTS IN ARTICLE 6-6 OF ROA 1994 (TREES, VEGETATION AND LANDSCAPING) AND THE DPM, WITH A SEPARATE METER FOR THE LANDSCAPE AREA IN THE PUBLIC RIGHT-OF-WAY, OR A SEPARATE VALVE(S) AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY. DRIP IRRIGATION SYSTEMS AND ARTIFICIAL TURF SHALL NOT BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY.

5-6(C)(14) IRRIGATION SYSTEMS

PER 5-6(C)(14)(A), IRRIGATION SYSTEMS SHALL COMPLY WITH SECTION 8 OF THE ABCWUA LEGISLATION AND ORDINANCES (CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE).

PER 5-6(C)(14)(B), ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.

5-6(C)(14)(C), ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING.

PER 5-6(C)(14)(D), THE IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, DRIVE AISLES, STREETS, AND PARKING AND LOADING AREAS.

5-6(C)(15) INSTALLATION

5-6(C)(15)(C) ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE ABUTTING PROPERTY OWNER OR THE PROPERTY OWNER'S AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF ANY LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT SHALL BE THE RESPONSIBILITY OF SUCH PROPERTY OWNER. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWTH OF PLANT MATERIALS THAT HAVE BEEN APPROVED BY THE APPLICABLE PUBLIC UTILITY AS PART OF A PLAN FOR LANDSCAPING, SCREENING, OR BUFFERING ON THE PUBLIC RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY. IF A PUBLIC UTILITY DISTURBS LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF THE PLANT MATERIALS DIE DESPITE THOSE EFFORTS, IT IS THE OBLIGATION OF THE ABUTTING PROPERTY OWNER TO REPLACE THE PLANT MATERIALS.

5-6(C)(15)(D) PROPERTY OWNERS ACKNOWLEDGE THAT APPROVED LANDSCAPING AND TREES INSTALLED AND MAINTAINED IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT ABUTTING PRIVATE PROPERTIES ARE THE PROPERTY OF THE CITY, AND THAT THAT THE CITY RESERVES THE RIGHT TO REMOVE THEM IF NECESSARY FOR A TRANSPORTATION PROJECT WITHOUT COMPENSATION, BUT AT NO COST TO THE PROPERTY OWNER. LANDSCAPING INSTALLED IN AN ABUTTING PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT BY PROPERTY OWNERS AND LATER REMOVED BY THE CITY SHALL NOT IMPACT PREVIOUSLY APPROVED NET LOT AREA CALCULATIONS FOR REQUIRED LANDSCAPING.

5-13(B)(7) LANDSCAPING, BUFFERING, AND SCREENING

5-13(B)(7)(A) LANDSCAPING, SCREENING AND BUFFERING AREAS SHALL BE MAINTAINED IN COMPLIANCE WITH ARTICLES 6-6 AND 9-8 OF ROA 1994 (TREES, VEGETATION, AND LANDSCAPING AND WEEDS, LITTER, AND SNOW) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE).

5-13(B)(7)(B) ALL LANDSCAPED AREAS SHALL BE MAINTAINED WITH A NEAT AND ORDERLY APPEARANCE, WHICH INCLUDES PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED PLANTS AND TREES, DISPOSAL OF LITTER, REPAIR OF DAMAGED WALLS AND HARD SURFACE AREAS, AND UPKEEP OF IRRIGATION SYSTEMS.

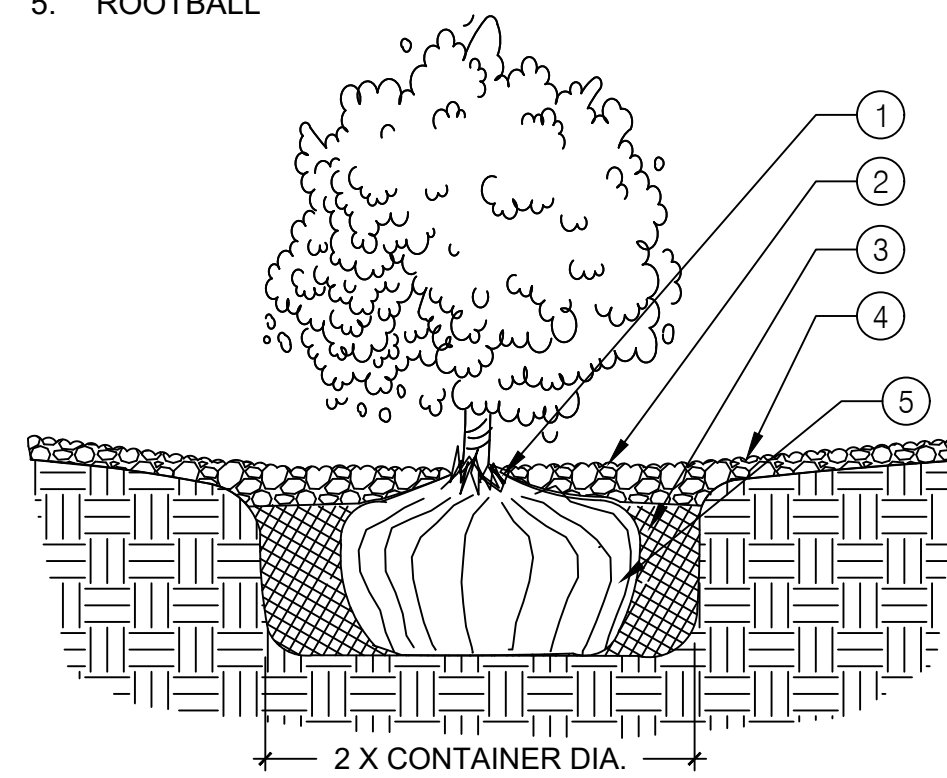
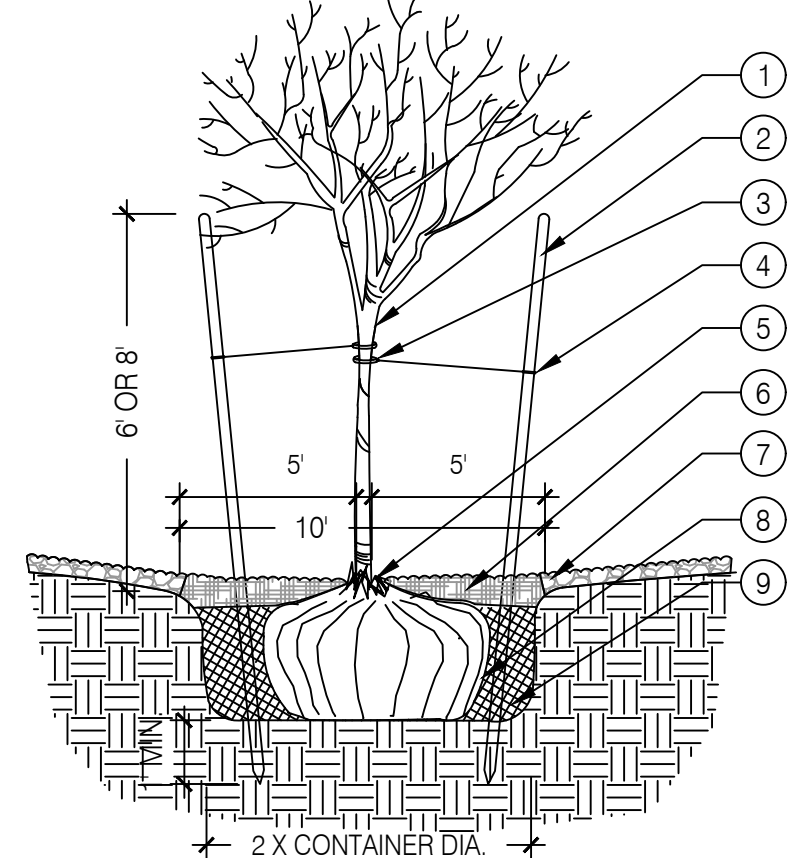
5-13(B)(7)(D) WHERE LANDSCAPING WAS INSTALLED PURSUANT TO A SITE PLAN OR DEVELOPMENT APPROVAL, THE LANDSCAPING SHALL BE REPLACED ACCORDING TO ANY LANDSCAPING AND MAINTENANCE PLAN UNDER THAT APPROVAL.

5-13(B)(7)(E) TREES OR PLANTS THAT DIE SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 CALENDAR DAYS AFTER NOTICE FROM THE CITY. THE REPLACEMENT OF DEAD VEGETATION IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

5-13(B)(7)(F) STREET TREES SHALL BE MAINTAINED ALIVE AND HEALTHY. MAINTAINING AND REPLACING STREET TREES OR OTHER TREES PLANTED IN THE PUBLIC RIGHT-OF-WAY ARE THE RESPONSIBILITY OF ABUTTING PROPERTY OWNERS.

1. STRESS POINT OF TREE
2. 8' OR 10' LODGEPOLE STAKES DRIVEN AT ANGLE (8' FOR MULTI OR CANOPY, 10' FOR TALL COLUMNAR)
3. 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
4. #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
5. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
6. WATER RETENTION BASIN - ORGANIC MULCH SHALL BE PROVIDED WITHIN A 5' RADIUS OF NEWLY PLANTED TREES, AT A DEPTH OF 3". THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES
7. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
8. ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
9. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS

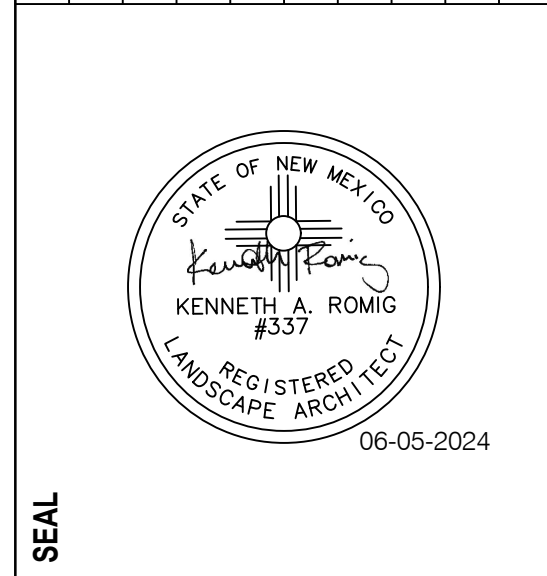
1. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
2. WATER RETENTION BASIN - 3" LAYER OF ORGANIC BARK MULCH. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
3. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS
4. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
5. ROOTBALL



1 TREE PLANTING SCALE: N.T.S.

2 SHRUB PLANTING SCALE: N.T.S.

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
INSPECTOR'S APPROVAL BY	DATE
FIELD VERIFICATION BY	DATE
DRAWING BY	DATE
CHECKED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

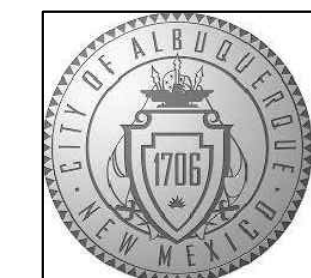


SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

BENCH MARKS	
NO.	DATE

REMARKS	
NO.	DATE
DESIGN	DATE: 8/22/24
DRAWN BY: AM	DATE: 8/22/24
CHECKED BY: KR	DATE: 8/22/24


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**CITY OF ALBUQUERQUE**  
 CAPITAL IMPLEMENTATION PROGRAM  
  
**AFR FIRE STATION 12**  
 11701 CENTRAL AVE  
 ALBUQUERQUE, NM 87123

**LANDSCAPE PLAN DFT**

Design Review Committee	City Engineer Approval	Mo./Day/Yr. 00/00/2023	Mo./Day/Yr.
Issue Date: <b>AUGUST 22, 2024</b>		City Project No. <b>XXXXX XX#XX</b>	
Last Design Update		Sheet <b>LS-101</b>	

# DRAINAGE REPORT

## SITE LOCATION

The existing site is an approximate 3.21-acre piece of land located at the corner of Linn Avenue and Shirley Street, North of Central in Albuquerque, New Mexico. The site can be accessed via Central Ave. (see vicinity map this sheet).

## EXISTING CONDITIONS

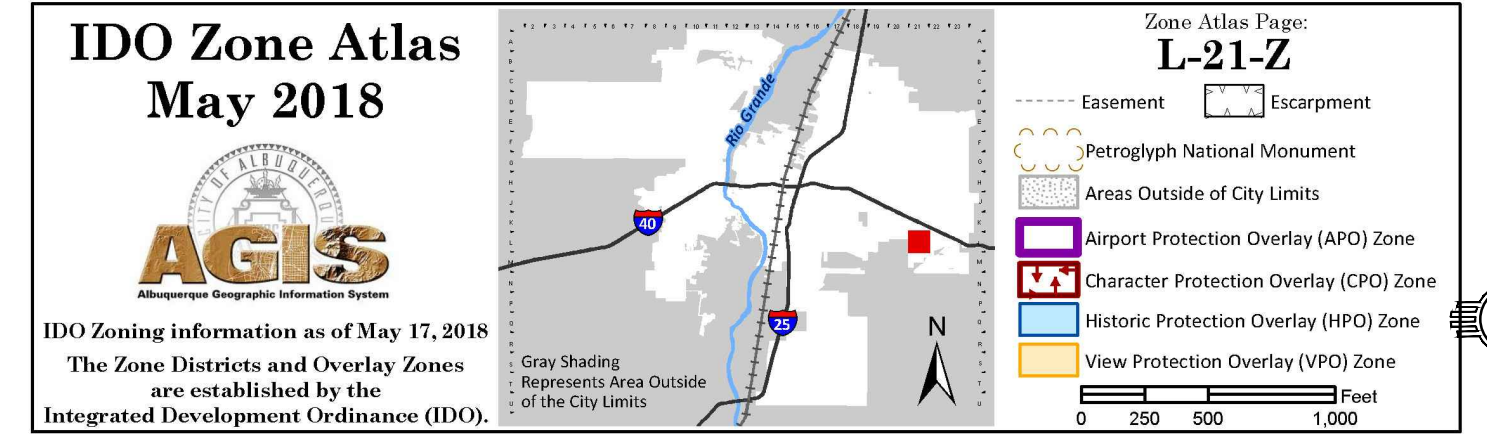
The existing site is estimated at 3.21 acres and is currently an undeveloped parcel of land. It is relatively flat with a mild slope from east to west and does not lie within a 100-year FEMA floodplain.

## PROPOSED CONDITIONS

The proposed project will consist of a new fire station building, a new driveway entrance from Linn Ave and Shirley Street, and parking lot areas on the southwest and east side of the site. The site will also have several landscape areas and a water harvesting feature on the west side of the property. Runoff from the building will be routed to the water harvest area via a new storm drain system. Flows from other areas that are not able to be captured by the water harvest pond will discharge to Linn Ave on the North and Shirley Street on the west side.

## CONCLUSIONS

When fully developed as indicated on the grading and drainage plan, runoff from the site will discharge to a water harvest feature on the west side of the site. Other areas will discharge north to Linn Avenue and west to Shirley Street.



## VICINITY MAP

ZONE ATLAS MAP L-21-Z

## HYDROLOGY CALCULATIONS

Precipitation Zone 4 - 100-year Storm P(360) = 2.92 in P(1440) = 3.65 in

Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B	C	D				
<b>Existing Conditions</b>									
Site	3.21	2.88	0.00	0.00	0.33	0.99	0.265	0.285	8.07
<b>Total</b>	<b>3.21</b>								<b>8.07</b>
<b>Proposed Conditions</b>									
Site	3.21	0.00	0.00	1.87	1.34	1.95	0.522	0.606	14.01
<b>Total</b>	<b>3.21</b>								<b>14.01</b>

## WATER HARVEST AREA

WHA #1				WHA #2			
Pond Rating Table				Pond Rating Table			
Side Slope				Side Slope			
Elev. (ft)	Area (sq ft)	Volume (cf)	Cum Volume (cf)	Elev. (ft)	Area (sq ft)	Volume (cf)	Cum Volume (cf)
23	2593	0	0	25	795	0	0
24	4870	3731.500	3731.500	26	1310	1052.482	1052.482
25	6303	5586.500	9318.000	27	1865	1587.482	2639.963

## STORM WATER QUALITY CALCULATIONS

SWQV = (0.42"/12 \* 58,370 SF) = 2043 CUBIC FEET

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
DATE: 07/10/2024  
BY: [Signature]  
HydroTrans # L21D036

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

City of Albuquerque Electronic Stamp

## GENERAL NOTES:

- EXISTING TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY PRECISION SURVEYS, INC., ALBUQUERQUE, NEW MEXICO JANUARY, 2024. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- PROJECT BENCHMARK ACS 4-L22 IS A CITY OF ALBUQUERQUE SURVEY CONTROL 3 1/4 ALUMINUM DISC SET FLUSH WITH THE TOP OF THE CURB AND IS STAMPED "4-L22 1986/92" ELEVATION = 5,586.425 FEET (NAVD 1988 VERTICAL DATUM).
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%, ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2019 EDITION OF THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (GRAY BOOK). ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN PUBLIC WORKS ASSOCIATION, NEW MEXICO CHAPTER, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.
- THE CONTRACTOR SHALL SUBMIT A SEED MIX DESIGN TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO STARTING THE SEEDING ON THE PROJECT. THE SEED MIX DESIGN SHALL BE A SEED MIX RECOMMENDED BY NRCS FIELD OFFICE REPRESENTATIVE APPROPRIATE FOR PROJECT LOCATION.

## National Flood Hazard Layer FIRMette



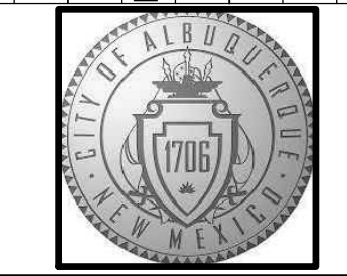
## FLOOD ZONE MAP

FLOOD ZONE MAP: 35001C0359G

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	DATE	NO.	DATE
WORKED BY	DATE	WORKED BY	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE
INSPECTED BY	DATE	INSPECTED BY	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE
ACCEPTANCE BY	DATE	ACCEPTANCE BY	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE
FIELD VERIFICATION BY	DATE	FIELD VERIFICATION BY	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE
FINANCE CORRECTED BY	DATE	FINANCE CORRECTED BY	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE
RECORDED BY	DATE	RECORDED BY	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE
NO.	DATE	NO.	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE

50% CDS NOT FOR CONSTRUCTION

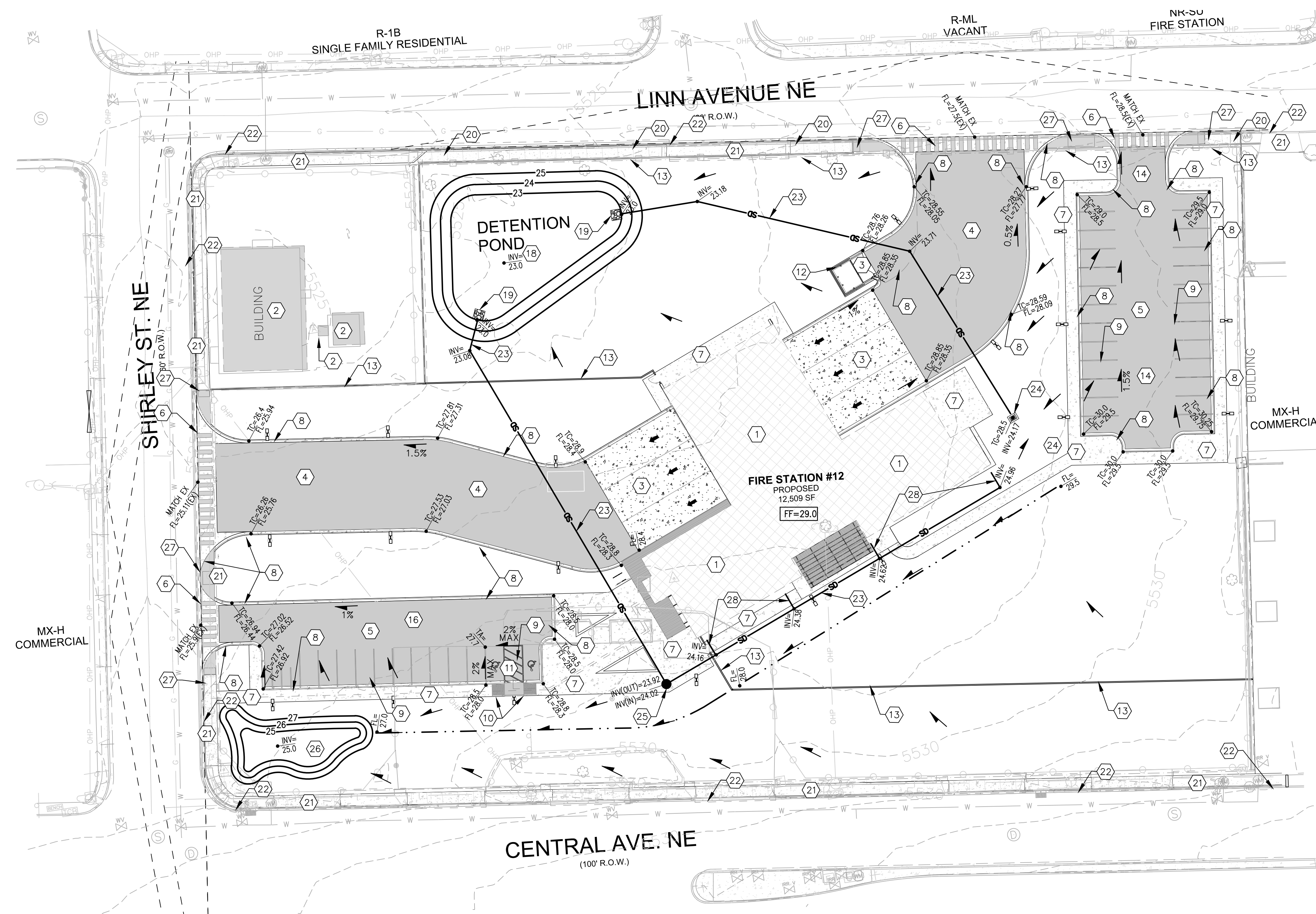
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Albuquerque, New Mexico 87114  
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**AFD FIRE STATION 12**  
1474 LINN AVE. N.E.  
ALBUQUERQUE, NM 87123

Drawing Title		HYDROLOGY PLAN	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		7/10/18	
Issue Date:	City Project No.	Last Design Update	Sheet
<b>JUNE, 2024</b>			<b>CG-101</b>

**ME MILLER ENGINEERING CONSULTANTS**  
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BUILDING 1  
ALBUQUERQUE, NM 87117  
(505)888-7500  
(505)888-3800 (FAX)  
WWW.MECONM.COM



City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
 DATE: 07/10/2024  
 BY: *[Signature]*  
 HydroTrans # L21D036

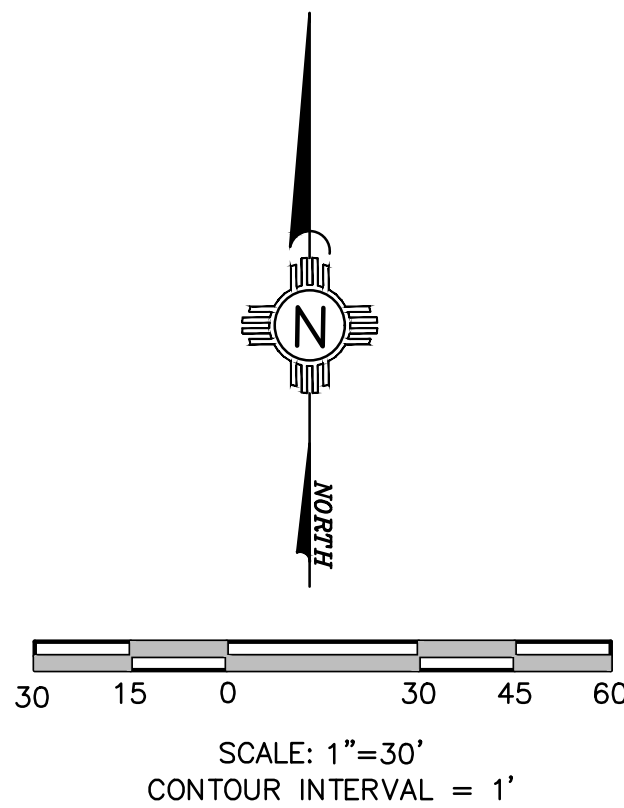
THESE PLANS AND/OR REPORT ARE  
 CONCEPTUAL ONLY. MORE INFORMATION MAY  
 BE NEEDED IN THEM AND SUBMITTED TO  
 HYDROLOGY FOR BUILDING PERMIT APPROVAL.

City of Albuquerque Electronic Stamp

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORKED BY	DATE
INSPECTED BY	DATE
FIELD ACCEPTANCE BY	DATE
FINANCE BY	DATE
RECORDED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

**LEGEND:**

• 38.00 FL	PROPOSED SPOT ELEVATIONS (FLOW LINE)
• MATCH (95.19)	MATCH EXISTING ELEVATIONS
TOC	TOP OF CONCRETE
FL	FLOW LINE, CURB
INV	INVERT
FG	FINISH GRADE
TBC	TOP OF BASE COURSE
TC	TOP OF CURB
TG	TOP OF GRATE
TA	TOP OF ASPHALT
FV	FIELD VERIFY
→	FLOW ARROW
~	GRADE BREAK-HIGH POINT
●	PROPOSED STORM DRAIN MANHOLE
—	SWALE
SD	STORM DRAIN LINE
— 5895 —	PROPOSED MAJOR CONTOUR
— 5895 —	PROPOSED MINOR CONTOUR
— 5895 —	EXISTING MAJOR CONTOUR
— 5895 —	EXISTING MINOR CONTOUR
▲	TOP OF CUT SLOPE
[Shaded Box]	PROPOSED BUILDING
[Patterned Box]	HEAVY DUTY CONCRETE PAVING
[Patterned Box]	HEAVY DUTY ASPHALT PAVING
[Patterned Box]	PROPOSED CONCRETE FLATWORK/SIDEWALK



**KEYED NOTES:**

- |  |  |
|--|--|
| 1 NEW BUILDING SEE ARCHITECTURAL PLANS.                                      | 16 NEW VISITOR PARKING, (12 SPACES - 2 ADA)(4 MOTORCYCLE) 18-TOTAL |
| 2 EXISTING BUILDING TO REMAIN.   | 17 NOT USED.   |
| 3 NEW HEAVY DUTY CONCRETE PAVING. SEE DETAIL SHEET C-501.                    | 18 NEW WATER HARVEST AREA #1 INV=23.0, SEE DETAIL SHEET C-501.     |
| 4 NEW HEAVY DUTY ASPHALT PAVING. SEE DETAIL SHEET C-501.                     | 19 NEW 5'x5' RIP RAP PAD, SEE DETAIL SHEET C-503.                  |
| 5 NEW LIGHT DUTY ASPHALT PARKING. SEE DETAIL SHEET C-501.                    | 20 NEW SIDEWALK PER COA STD DWG #2430.                             |
| 6 NEW CONCRETE VALLEY GUTTER WITH FILLETS, PER COA STD DWG #2420.            | 21 EXISTING SIDEWALK TO REMAIN.                                    |
| 7 NEW CONCRETE FLAT WORK, SEE ARCHITECTURAL PLANS FOR DETAILS.               | 22 EXISTING CURB AND GUTTER TO REMAIN.                             |
| 8 NEW CONCRETE CURB AND GUTTER. PER COA STD DWG #2415A.                      | 23 NEW 12" STORM DRAIN LINE @ 0.5% SLOPE.                          |
| 9 NEW PARKING STRIPES AND ADA MARKINGS, SEE ARCHITECTURAL PLANS FOR DETAILS. | 24 NEW TYPE D INLET. PER COA STD DWG #2206. INV=24.17, TG=28.5     |
| 10 NEW ADA RAMPS, SEE ARCHITECTURAL PLANS FOR DETAILS.                       | 25 NEW STORM DRAIN MANHOLE, RIM=28.4.                              |
| 11 NEW ADA PARKING SIGN, SEE ARCHITECTURAL PLANS FOR DETAILS.                | 26 NEW WATER HARVEST AREA #2, PER DETAIL SHEET C-501. INV=25.0     |
| 12 NEW TRASH INCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS.                 | 27 NEW ADA RAMP PER COA STD DWG #2443.                             |
| 13 NEW SITE WALL, SEE ARCHITECTURAL PLANS FOR DETAILS.                       | 28 NEW 6" STORM DRAIN LINE @ 2% SLOPE.                             |
| 14 NEW FIRE FIGHTER PARKING, (26 SPACES)                                     |  |

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<b>CITY OF ALBUQUERQUE</b> <b>CAPITAL IMPLEMENTATION PROGRAM</b> <b>AFD FIRE STATION 12</b> 11714 LINN AVE. N.E. ALBUQUERQUE, NM 87123		
Drawing Title		
<b>CONCEPTUAL GRADING AND DRAINAGE PLAN</b>		
Design Review Committee	City Engineer Approval	Mo./Day/Yr. 7/10/18
Issue Date:	City Project No.	Sheet
<b>JUNE, 2024</b>		<b>C-101</b>

**NOTE:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL UTILITY CONNECTIONS INCLUDING ALL PERMITTING AND ASSOCIATED FEES TO ENSURE COMPLETE UTILITY SERVICE INSTALLATIONS FOR THIS PROJECT.
- COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
- COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

**LEGEND:**

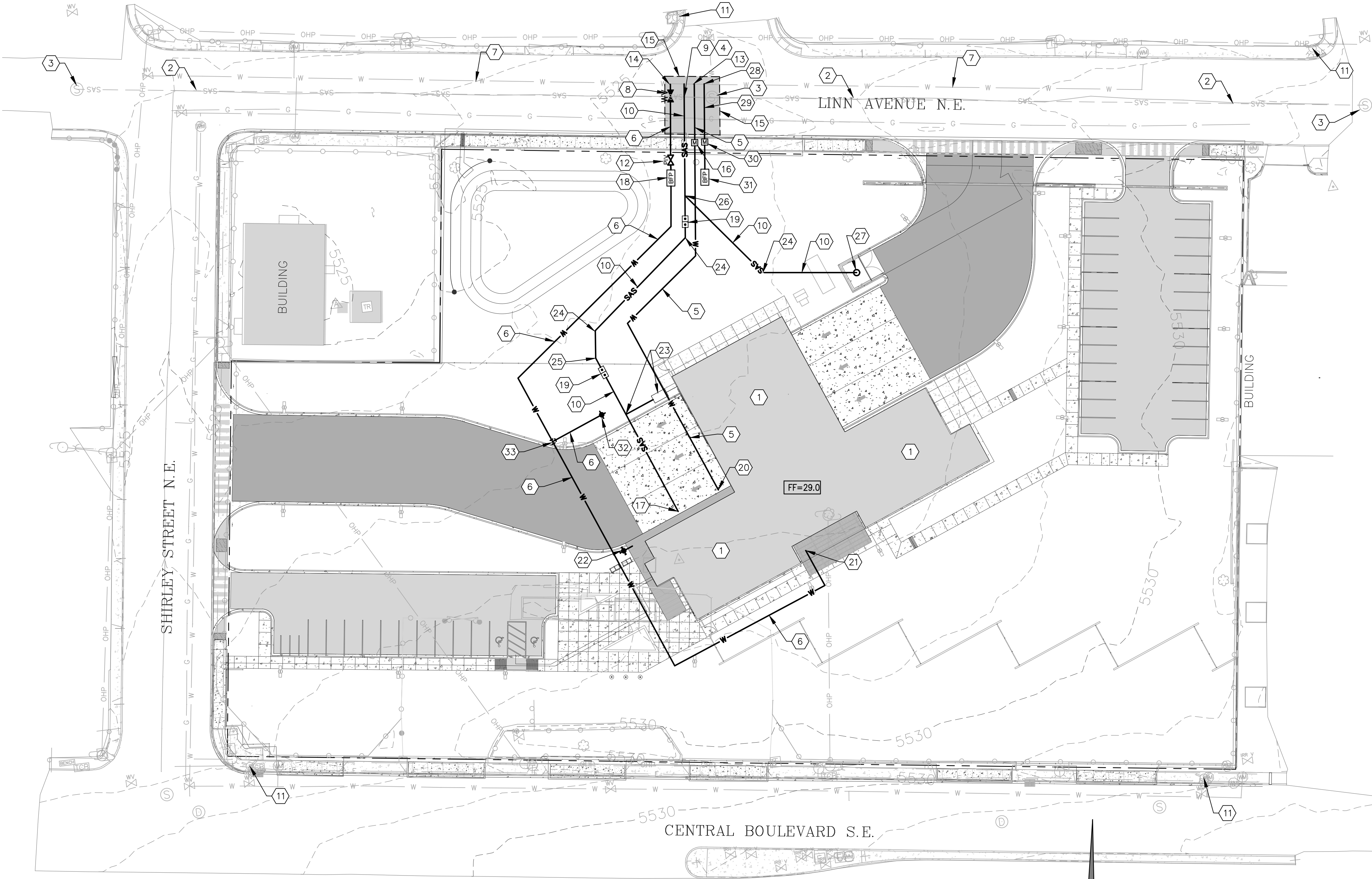
- |  |                              |  |                              |
|--|------------------------------|--|------------------------------|
|  | NEW WATER LINE               |  | EXISTING SAS MANHOLE         |
|  | EXISTING WATER LINE          |  | PROPOSED SAS MANHOLE         |
|  | PROPOSED SANITARY SEWER LINE |  | EXISTING SD LINE             |
|  | EXISTING SANITARY SEWER LINE |  | PROPOSED SD LINE             |
|  | NEW FIRE HYDRANT             |  | EXISTING SD MANHOLE          |
|  | EXISTING FIRE HYDRANT        |  | PROPOSED SD MANHOLE          |
|  | NEW WATER METER              |  | PROPOSED GATE VALVE          |
|  | NEW POST INDICATOR VALVE     |  | PROPOSED CLEANOUT            |
|  |                              |  | PROPOSED BACK FLOW PREVENTER |

**GENERAL NOTE:**

- ALL WATER LINES SHALL HAVE A 3' MINIMUM BURY.

**KEYED NOTES** #

- NEW BUILDINGS SEE ARCHITECTURAL DRAWINGS.
- EXISTING PUBLIC 8" SANITARY SEWER LINE.
- EXISTING SAS MANHOLE TO REMAIN. RIM ELEV.=5525.73, INV.(E)=5518.17, INV.(W)=5518.24.
- POINT OF CONNECTION FOR NEW 4" SAS LINE TO EXISTING SAS MAIN LINE, PER COA STD DWG #2301.
- NEW PUBLIC PRIVATE 2" DIA. DOMESTIC WATER SERVICE LINE WITH METER. PER COA STD DWG #2301.
- NEW PRIVATE 6" DIAMETER DEDICATED FIRE LINE PER COA STD DWG #2301.
- EXISTING PUBLIC 6" CAST IRON WATER MAIN LINE.
- NEW 6" PUBLIC GATE VALVE, PER COA STD DWG #2324..
- NEW 8"x8"x4" TEE.
- NEW PRIVATE 4" SAS LINE AT 2% MINIMUM SLOPE.
- EXISTING FIRE HYDRANT TO REMAIN.
- NEW PRIVATE POST INDICATOR VALVE (PIV) SEE SHEET C-503 FOR DETAILS.
- CONNECT NEW 2" DIA. DOMESTIC WATER LINE TO EXISTING WATER MAIN. PER COA STD DWG #2301.
- CONNECT NEW 6" DIA. DEDICATED FIRE LINE TO EXISTING WATER MAIN WITH TAPPING TEE AND VALVE, SEE DETAIL SHEET C-503.
- SAW CUT, EXISTING ASPHALT TO CLEAN STRAIGHT EDGE. REMOVE, DISPOSE AND REPLACE EXISTING ASPHALT AS NECESSARY TO INSTALL WATER AND SAS LINES. MATCH EXISTING ASPHALT SECTION OF ASPHALT, BASE COURSE AND SUBGRADE PREP. (9' MAX. WIDTH). PER COA STD DWG #2465.
- NEW PUBLIC 2" WATER METER, PER COA STD DWGS #2363.
- POINT OF CONNECTION OF NEW 4" SAS TO NEW BUILDING, SEE PLUMBING PLANS FOR CONTINUATION. INV.=5524.82
- NEW PRIVATE REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY, PER COA STD DWG #2385.
- NEW PRIVATE DOUBLE SAS CLEANOUT, SEE DETAIL SHEET C-503.
- POINT OF CONNECTION OF NEW 2" DOMESTIC LINE TO BUILDING, SEE PLUMBING PLAN FOR LOCATION AND ELEVATION.
- POINT OF CONNECTION OF 6" DEDICATED FIRE LINE TO BUILDING, SEE PLUMBING PLAN FOR LOCATION AND ELEVATION.
- NEW FDC SEE PLUMBING PLANS FOR DETAILS.
- OIL INTERCEPTOR LOCATION, SEE PLUMBING PLAN, INV.=5525.75.
- NEW 45' SANITARY SEWER BEND.
- NEW 22.5' SANITARY SEWER BEND.
- NEW 4"x4"x4' SANITARY SEWER WYE.
- FLOOR DRAIN AT TRASH ENCLOSURE. INV.=26.70, SEE ARCHITECTURAL PLANS FOR DETAILS.
- POINT OF CONNECTION OF NEW PRIVATE 1 1/2" IRRIGATION LINE TO EXISTING PUBLIC WATER MAIN. PER ABCWUA STD DWG #2301.
- NEW PRIVATE 1 1/2" IRRIGATION LINE.
- NEW PUBLIC 1 1/2" WATER METER. PER ABCWUA STD DWG #2363.
- NEW PRIVATE 1 1/2" BACK FLOW PREVENTER AND HOT BOX, SEE LANDSCAPING FOR CONTINUATION.
- NEW PRIVATE FIRE HYDRANT. PER ABCWUA STD DWG #2340.
- NEW 6"x6"x6" TEE.



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ALBUQUERQUE, NM 87123

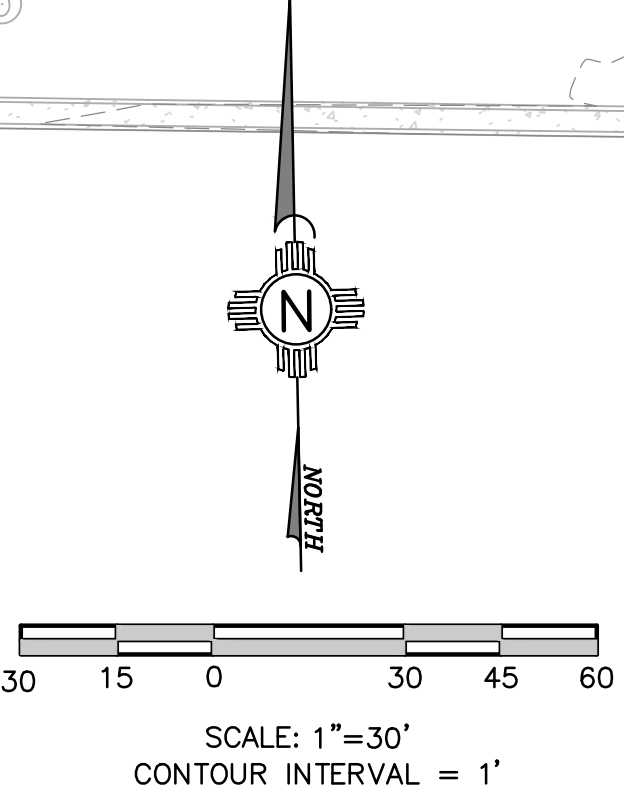
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Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		7/10/18	

Issue Date: **AUGUST, 2024** City Project No. .

Last Design Update	Mo./Day/Yr.
	7/10/18
Sheet	<b>C-201</b>

**A1 SITE UTILITY PLAN**  
SCALE: 1"=30'



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T:\Clients\VIGIL & ASSOCIATES\CABQ FIRE STATION #12\CAD\Sheets\C-201 SITE UTILITY PLAN\_082024.dwg, 10/10/2024 1:10:23 PM, 1:1

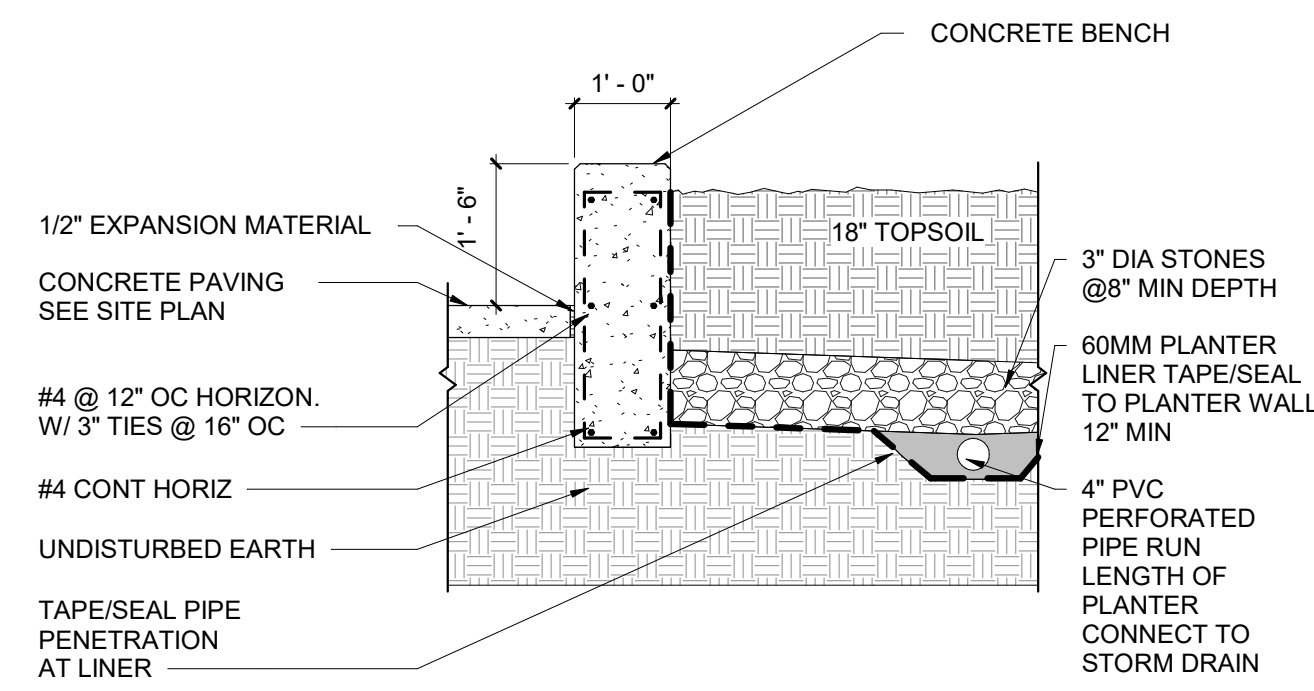
PROJECT NO.: 636793

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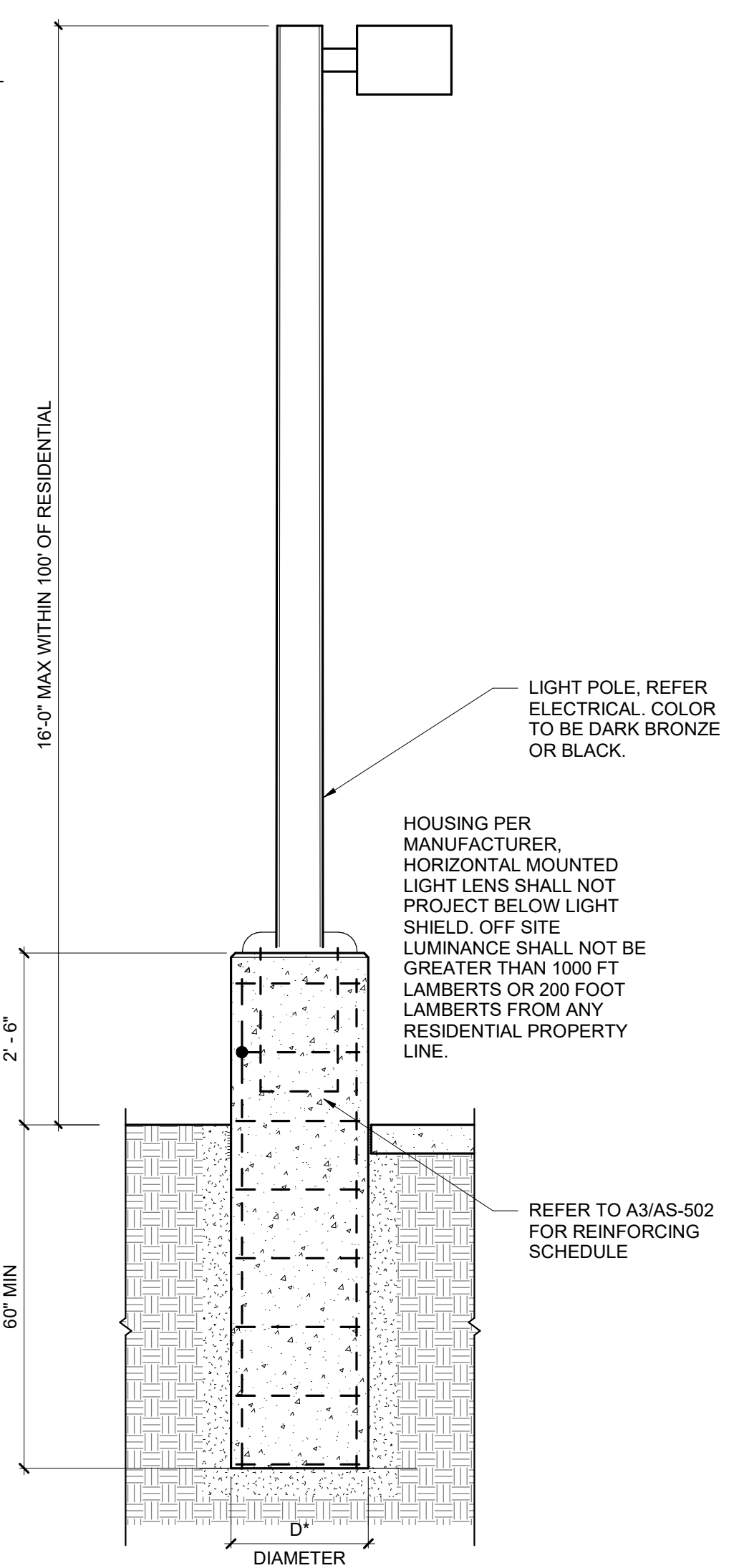
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B

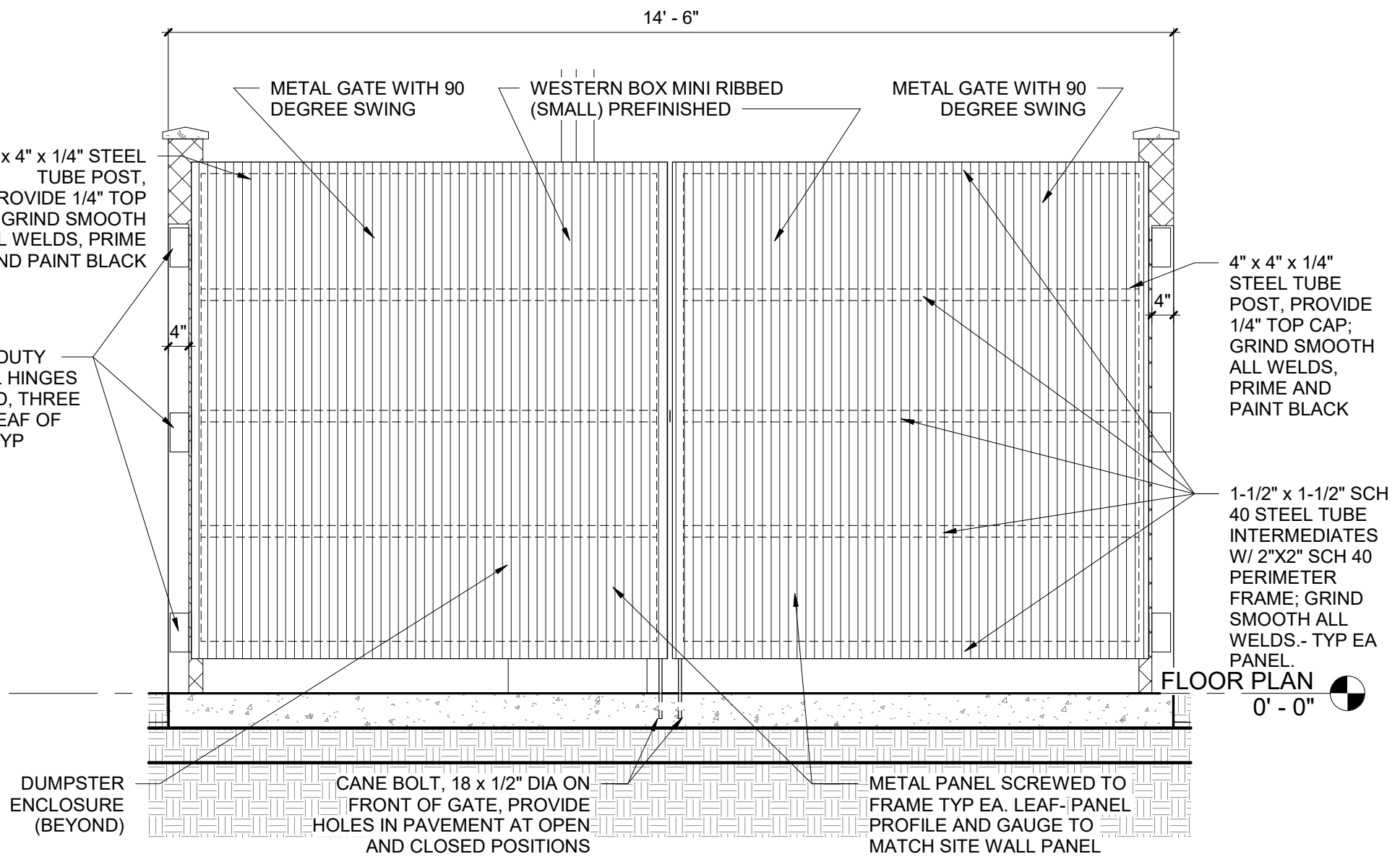
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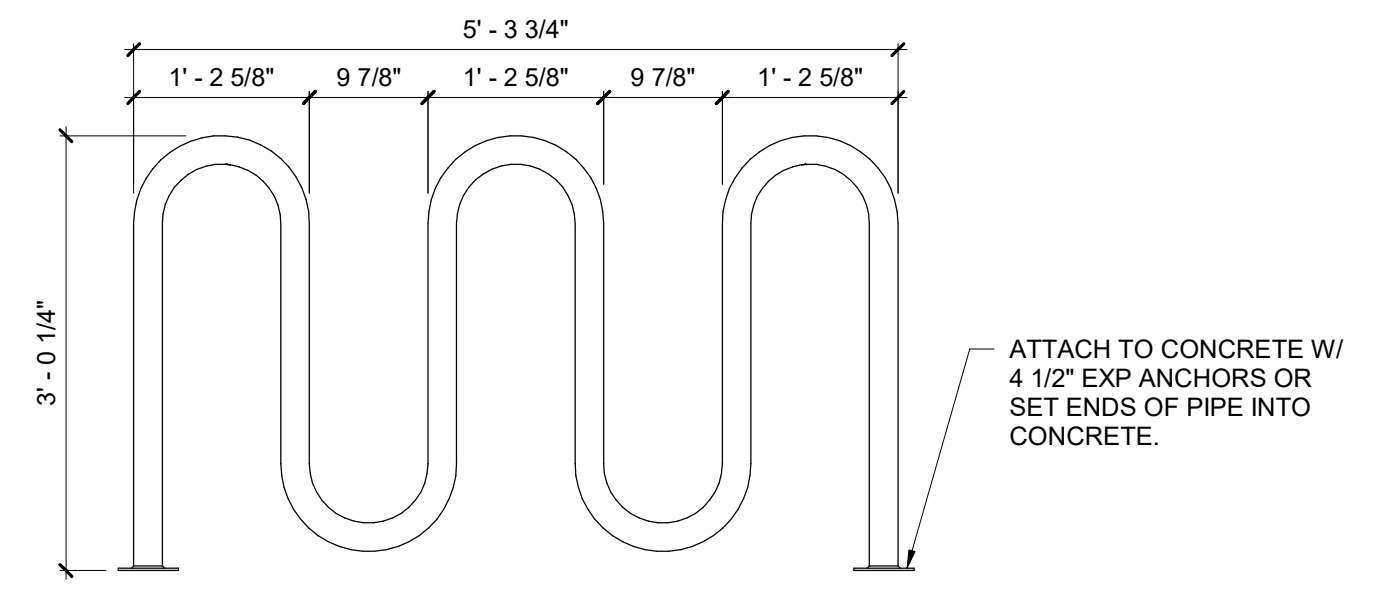
**D1 CONCRETE PLANTER DRAINAGE**  
Scale: 1/2" = 1'-0"



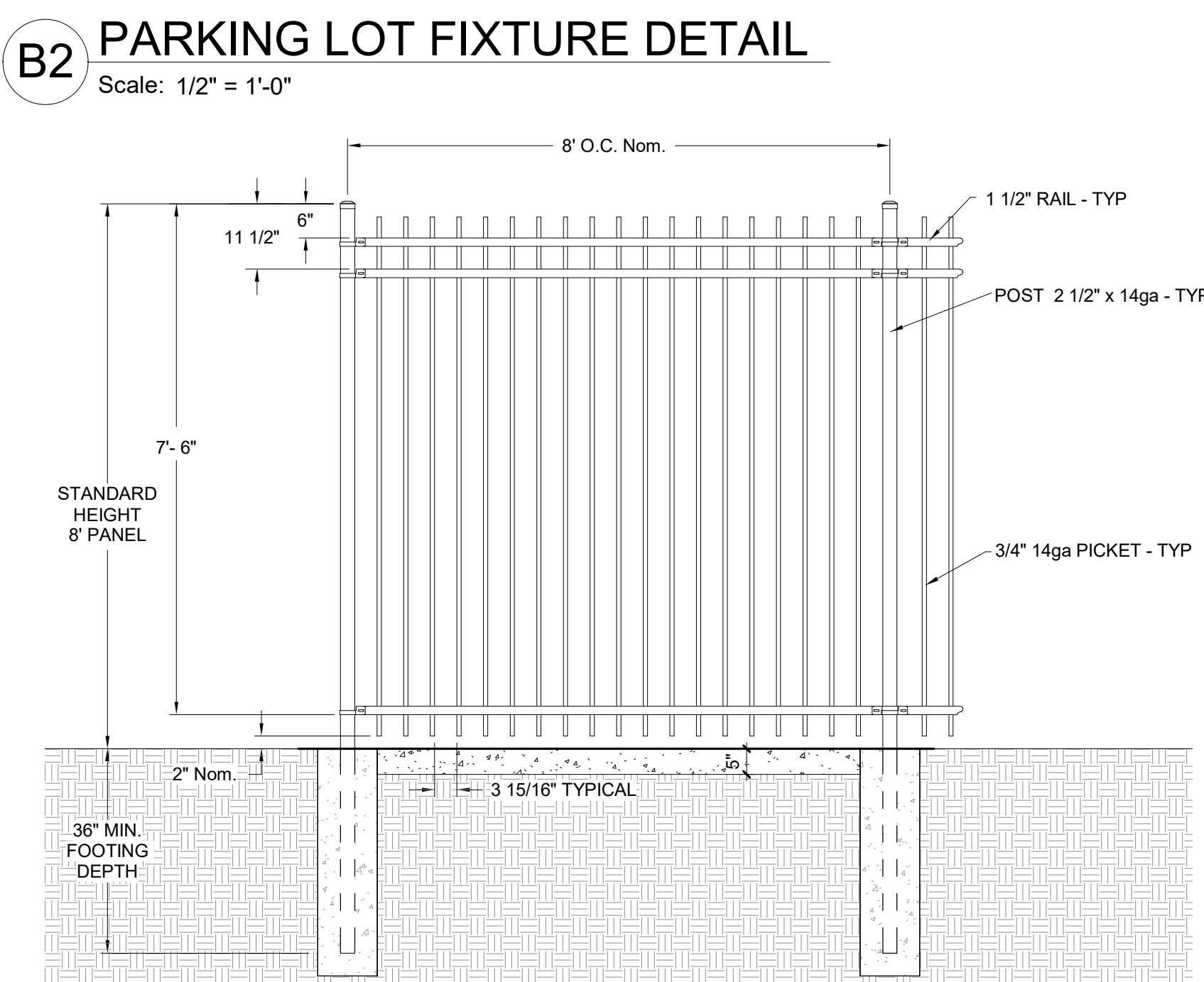
**C3 ELEVATION - TRASH GATE**  
Scale: 1/2" = 1'-0"



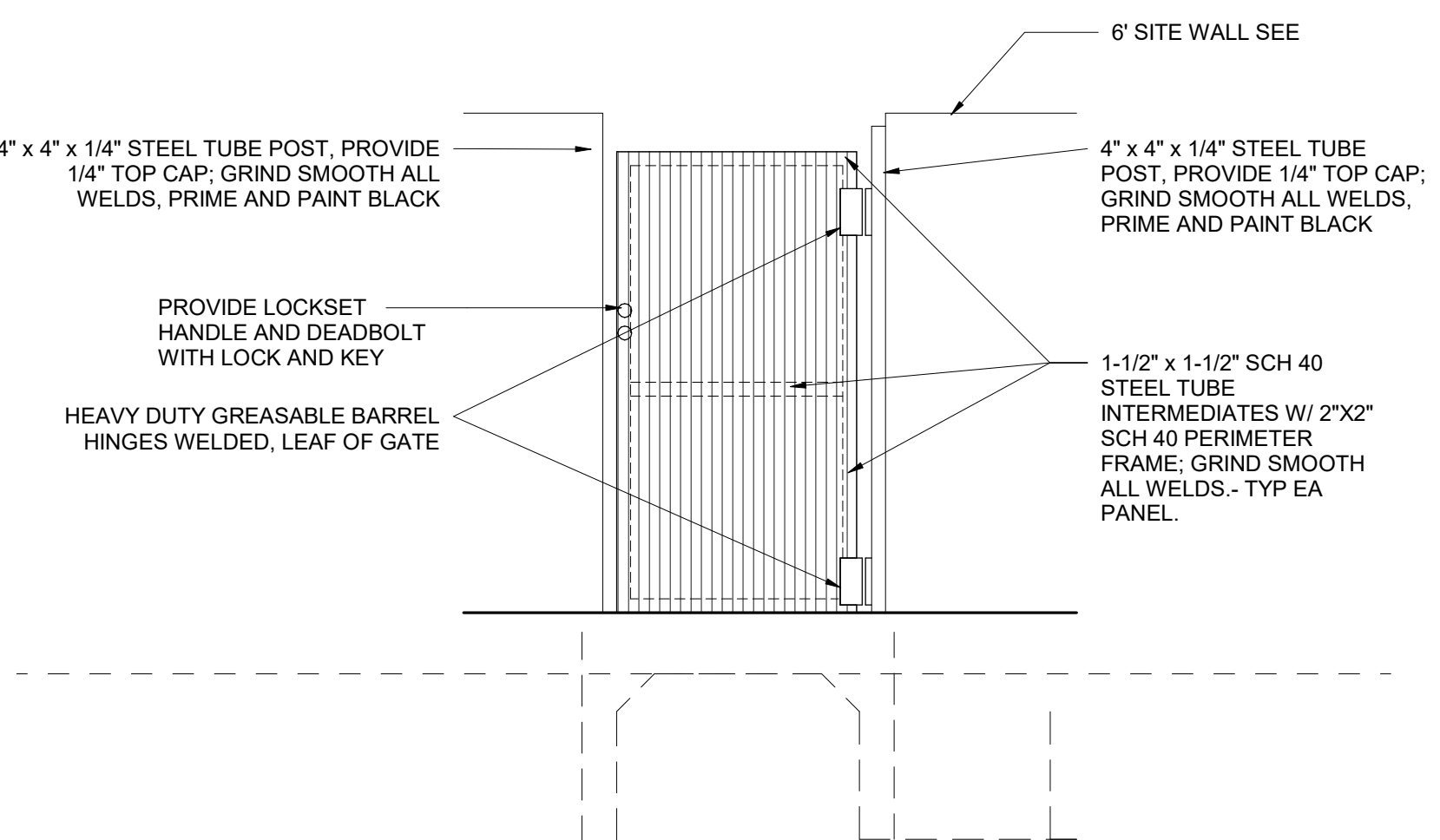
**C2 ELEVATION - SWING GATE**  
Scale: 1/2" = 1'-0"



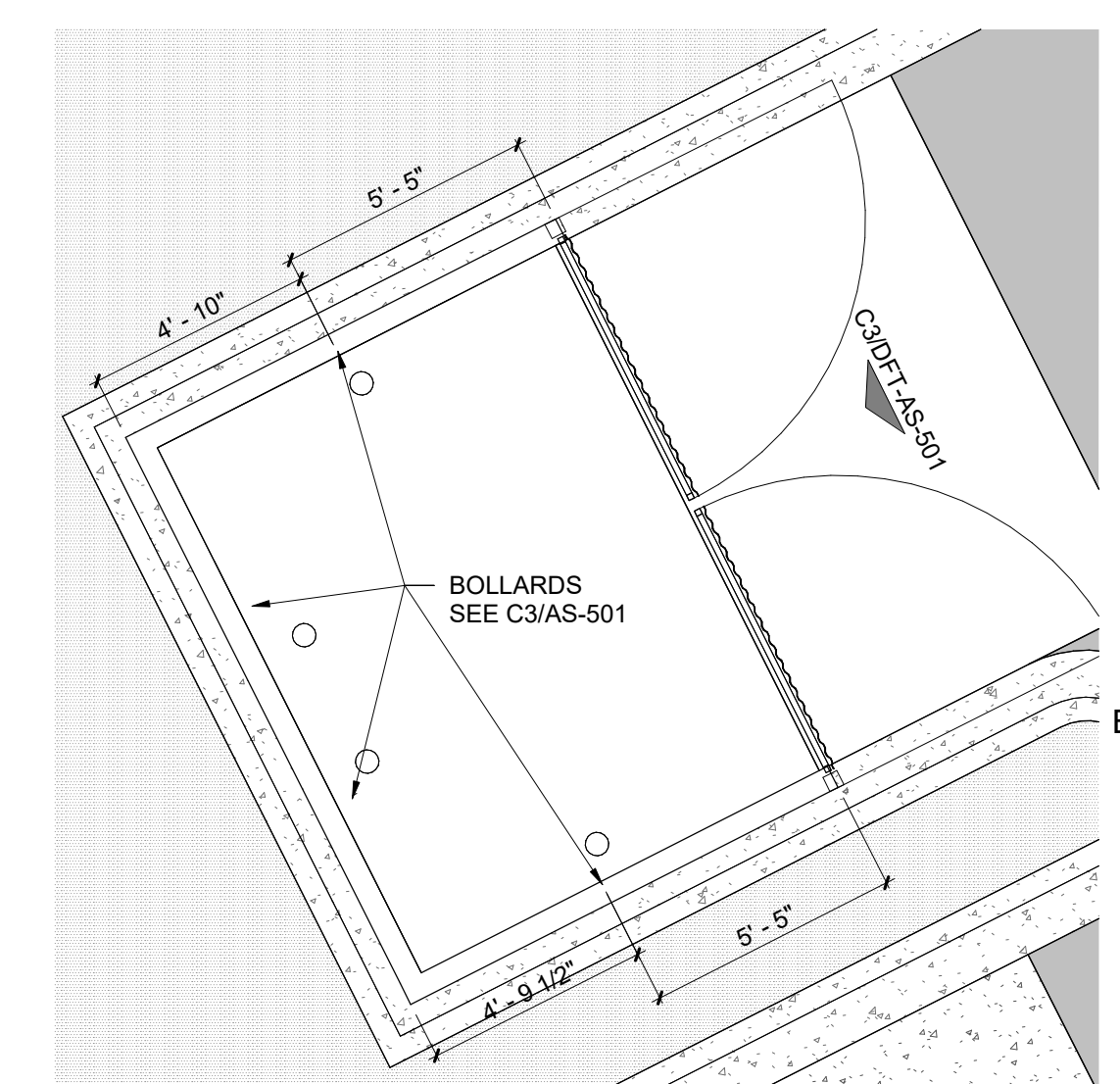
**B3 BIKE RACK**  
Scale: 3/4" = 1'-0"



**A2 ORNAMENTAL FENCING ELEVATION**  
Scale: 1/2" = 1'-0"



**A3 ELEVATION - SWING GATE**  
Scale: 1/2" = 1'-0"



**B5 TRASH ENCLOSURE**  
Scale: 1/4" = 1'-0"

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
FIELD ACCEPTANCE BY	DATE
REVISION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	DATE

STATE OF NEW MEXICO  
REGISTERED ARCHITECT  
**RAYMOND R. VIGIL**  
No. 004027  
08/30/24

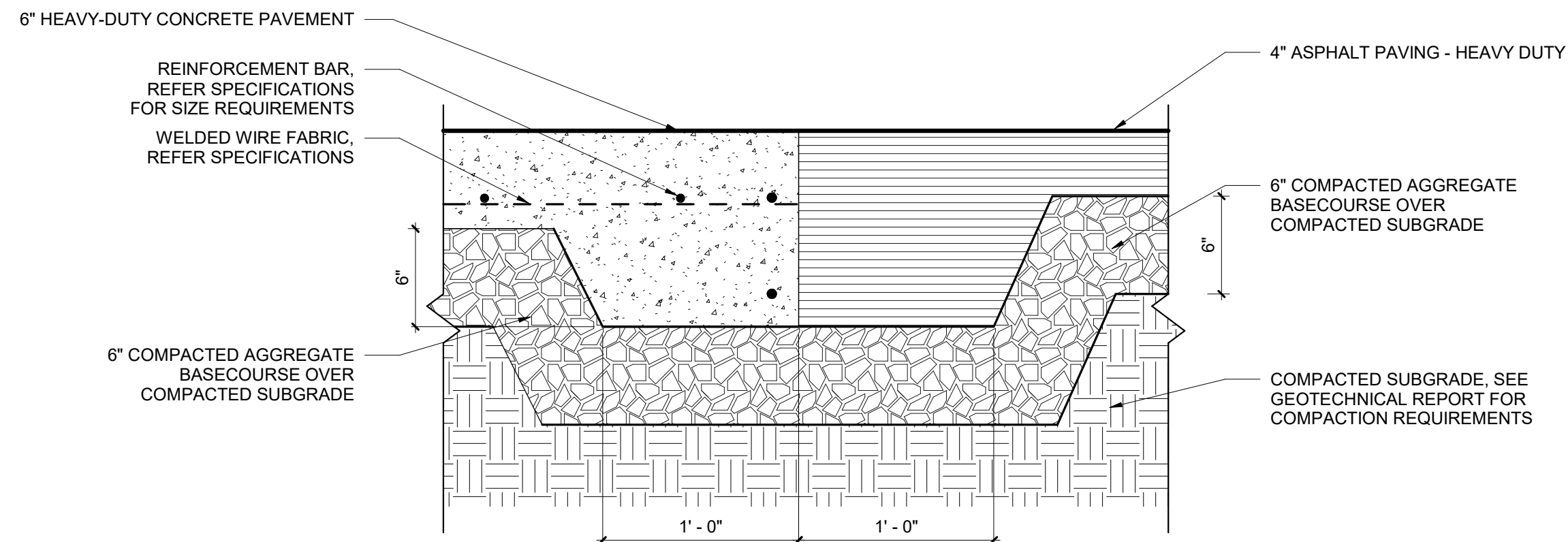
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**FIRE STATION 12**  
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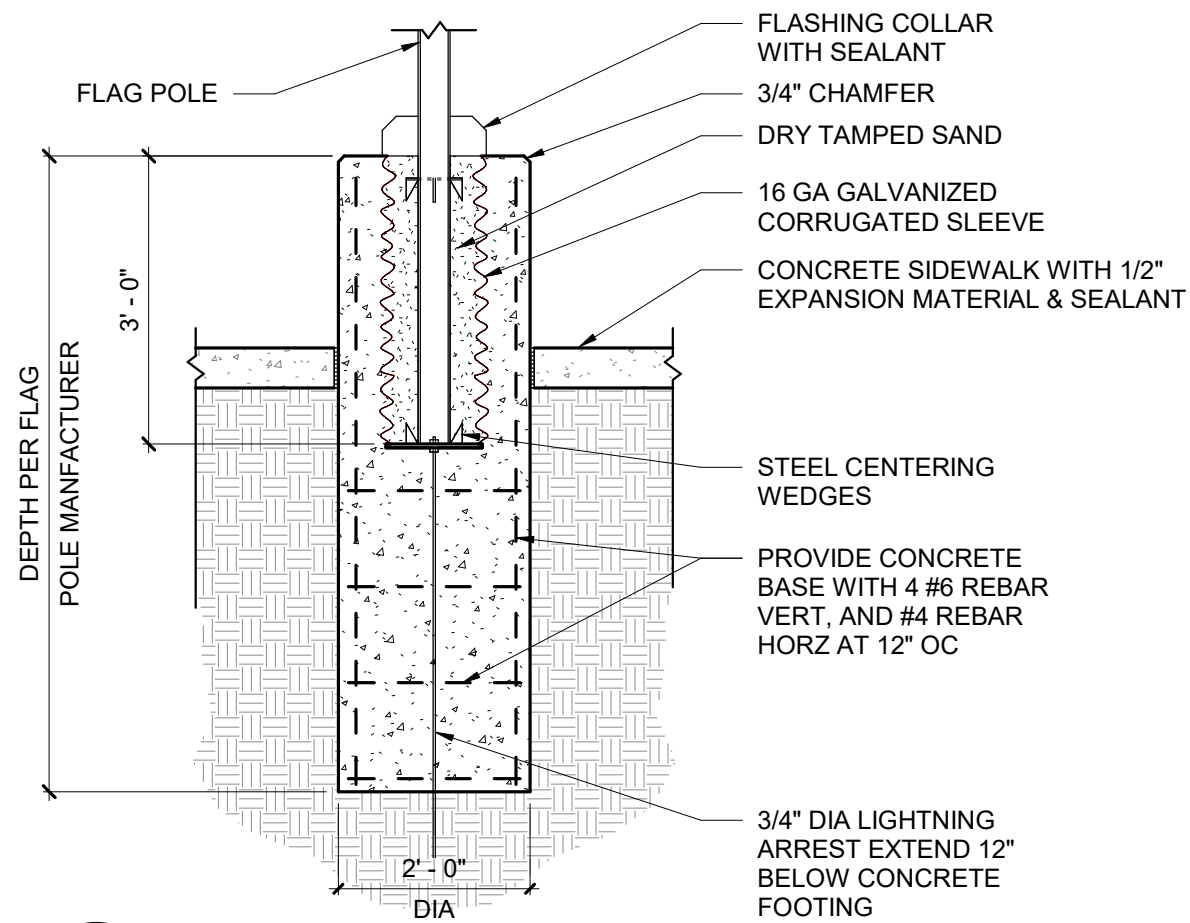
Drawing Title: **SITE DETAILS**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Issue Date:	City Project No.	Sheet	
<b>AUGUST 2024</b>	<b>636793</b>	<b>DFT-AS-501</b>	



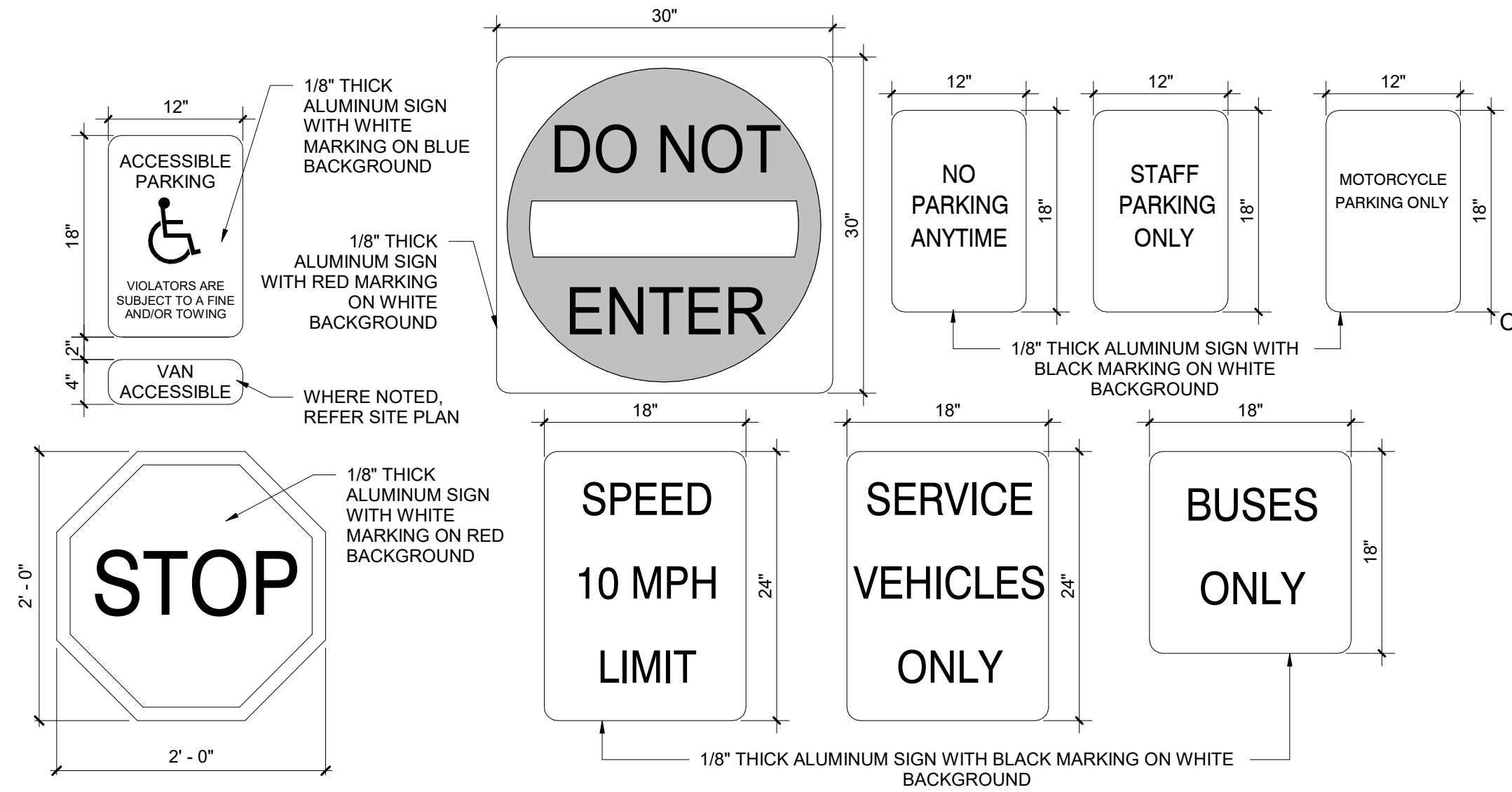
**C1 CONCRETE TO ASPHALT TRANSITION**

Scale: 1 1/2" = 1'-0"



**D3 FLAG POLE**

Scale: 1/2" = 1'-0"



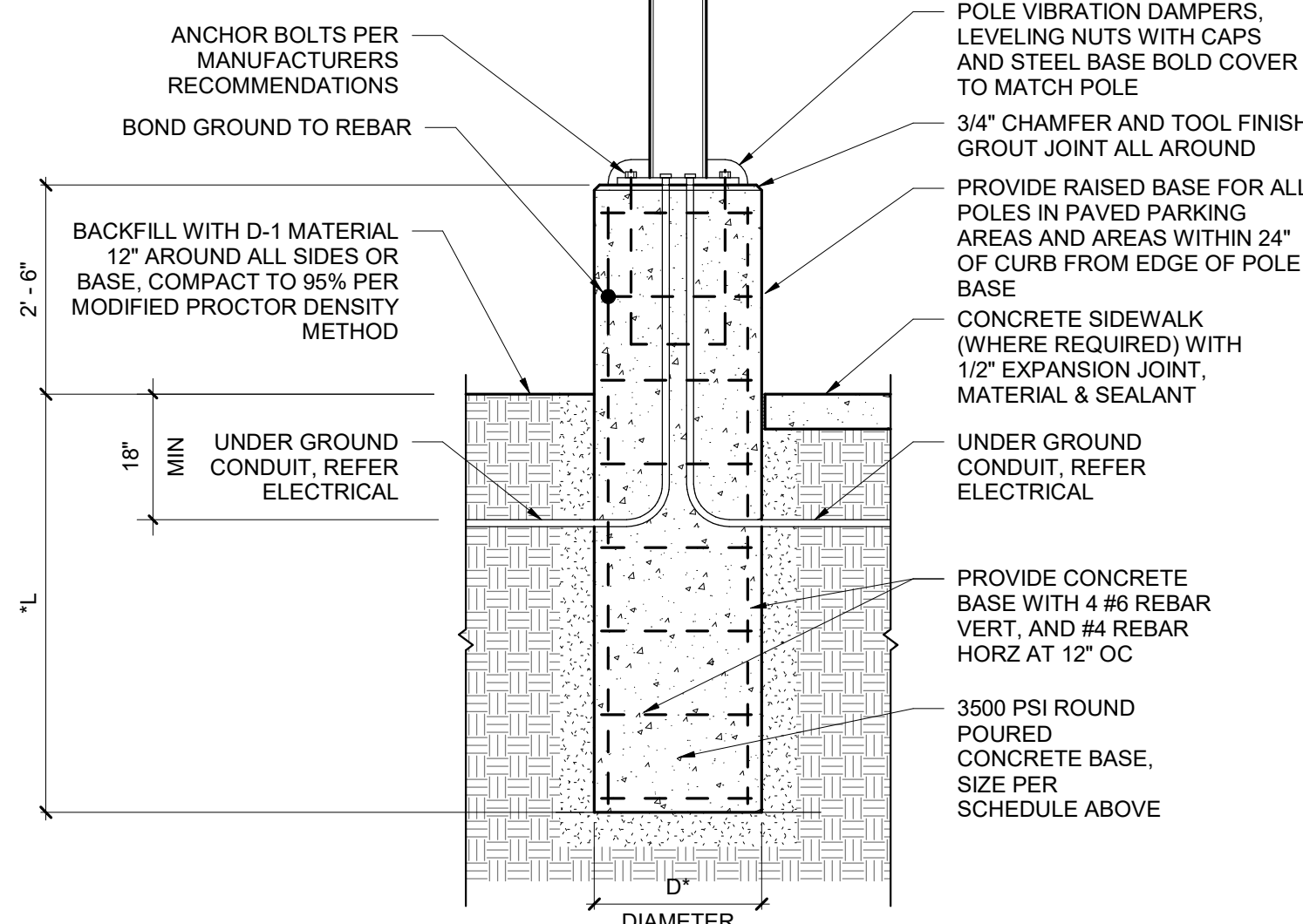
REFER AS-101 FOR LOCATIONS

NOTE: FOR REFERENCE ONLY, UTILIZE INDUSTRY STANDARDS FOR TYPICAL SIZE/COLOR/STYLIZATION

**B4 TRAFFIC SIGNS**

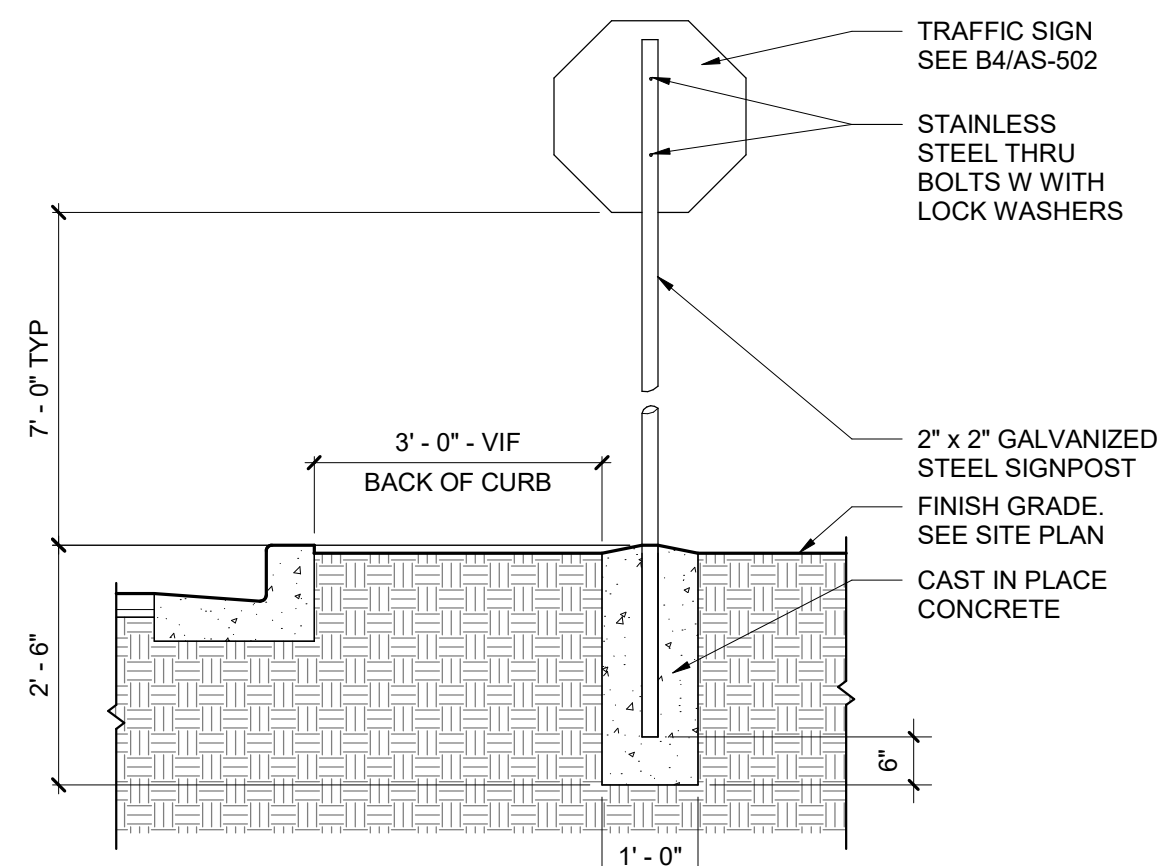
Scale: 1" = 1'-0"

* POLE BASE LENGTH (L) BELOW FINISHED GRADE AND DIAMETER (D) AS FOLLOWS	
TOP OF POLE HEIGHT (HT) AFG	CONCRETE BASE LENGTH BELOW GRADE & DIAMETER
0' < HT ≤ 15'	48" L x 16" D
15' < HT ≤ 29'	60" L x 20" D
29' < HT ≤ 40'	72" L x 24" D



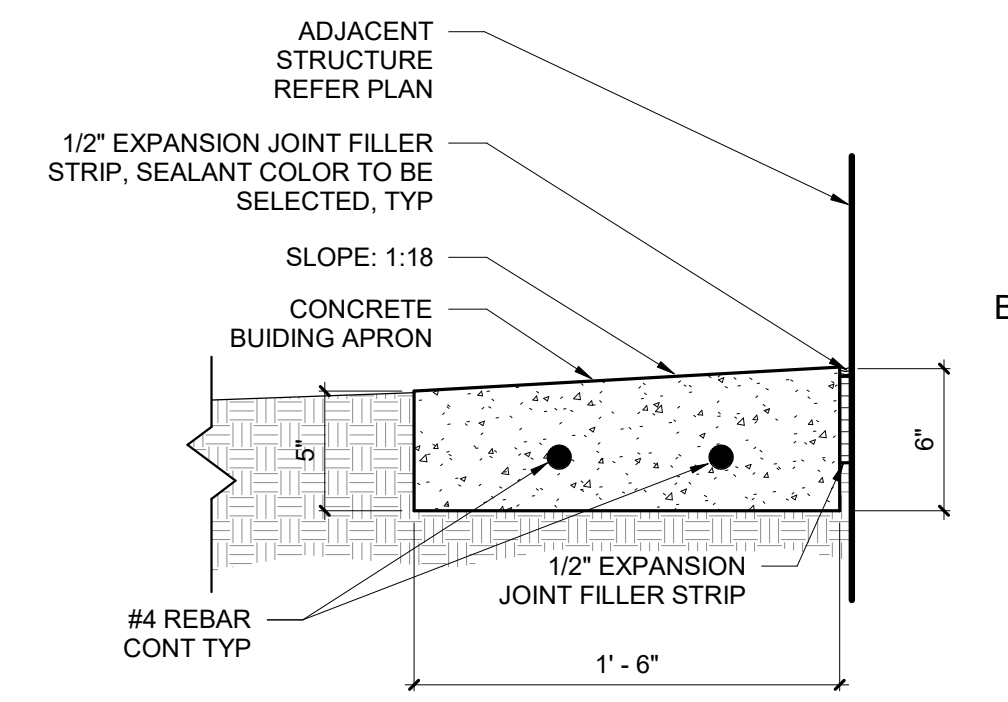
**A3 LIGHT POLE BASE**

Scale: 1/2" = 1'-0"



**A2 STANDARD SIGN**

Scale: 1/2" = 1'-0"



**B5 CONCRETE BUILDING APRON**

Scale: 1 1/2" = 1'-0"

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**CITY OF ALBUQUERQUE**  
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**FIRE STATION 12**  
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Drawing Title		SITE DETAILS	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Issue Date:	City Project No.	Sheet	
<b>AUGUST 2024</b>	<b>636793</b>	<b>DFT-AS-502</b>	

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STACKED BY	DATE
FIELD ACCEPTANCE BY	DATE
REVISION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
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BENCH MARKS	
CONTRACTOR	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE

SEAL	
NO.	DATE

REMARKS	
BY	DATE

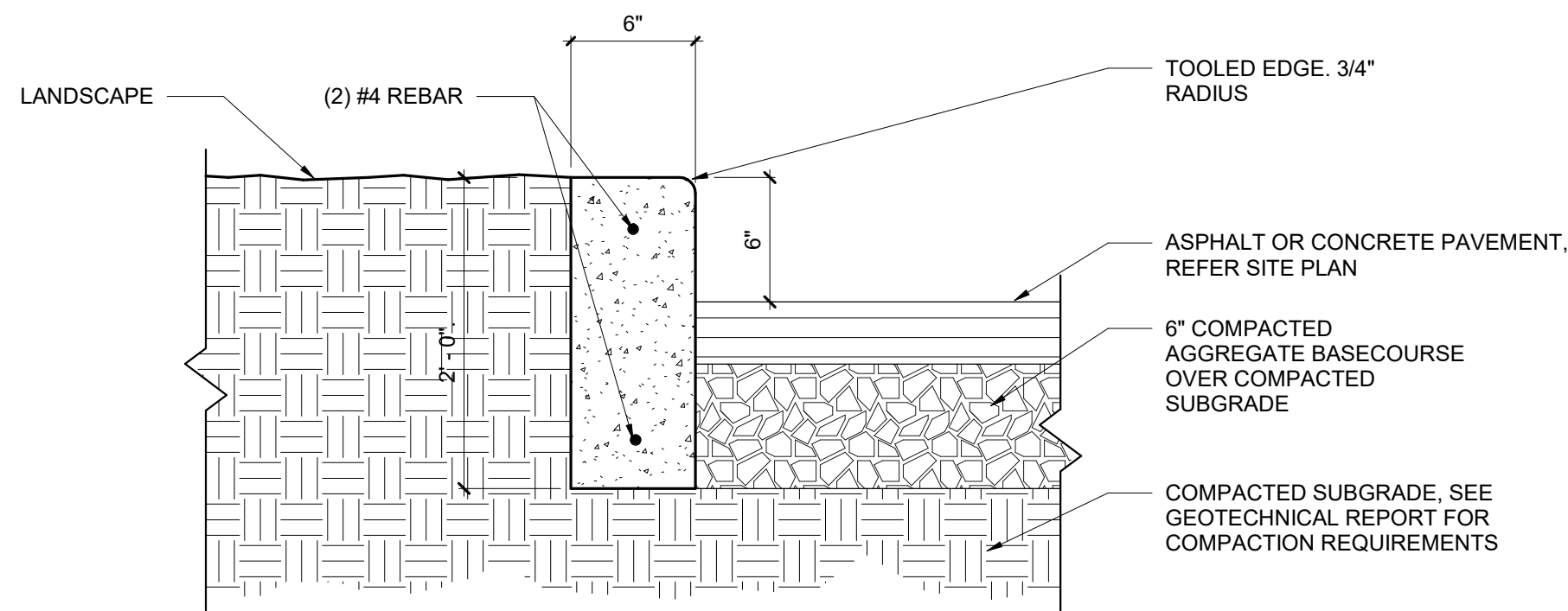
  

100% CONSTRUCTION DOCUMENTS	
DESIGNED BY	DATE

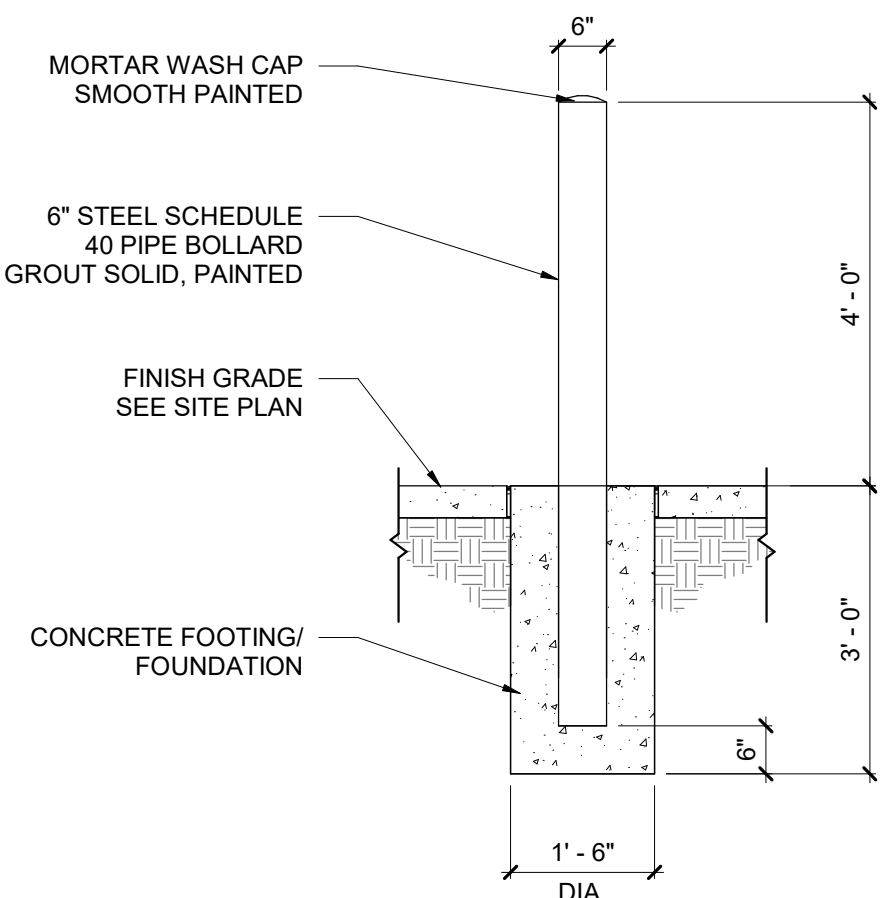
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DATE	DATE



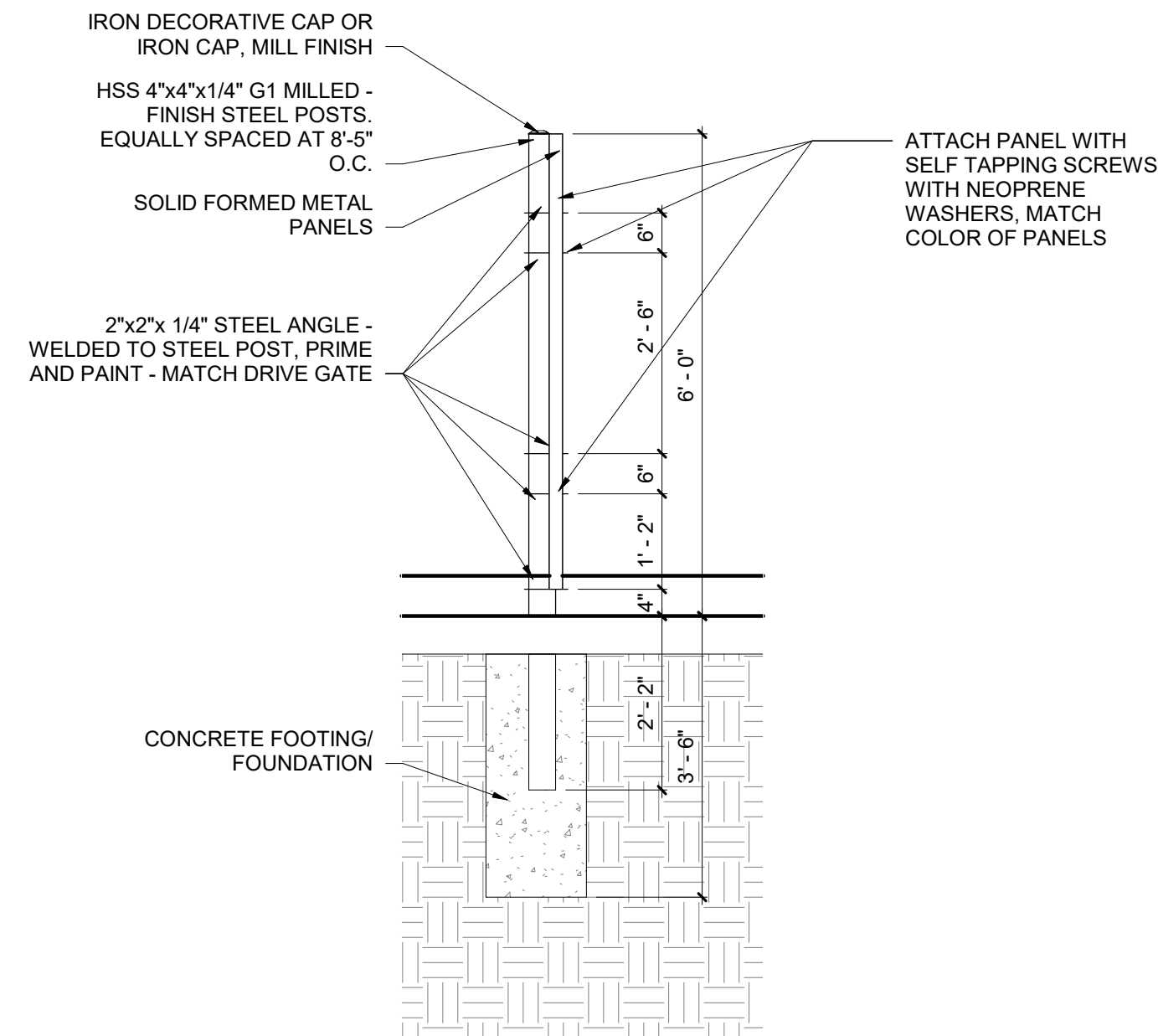


NOTES:  
 1) EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL  
 2) REQUIRES FULL FORM ON ALL FACES  
 3) CONSTRUCTION CONTROL JOINTS AT 6' OC MAX  
 4) 1/2" EXPANSION JOINTS 24' OC, CURB RETURNS AND EACH SIDE OF DRIVES

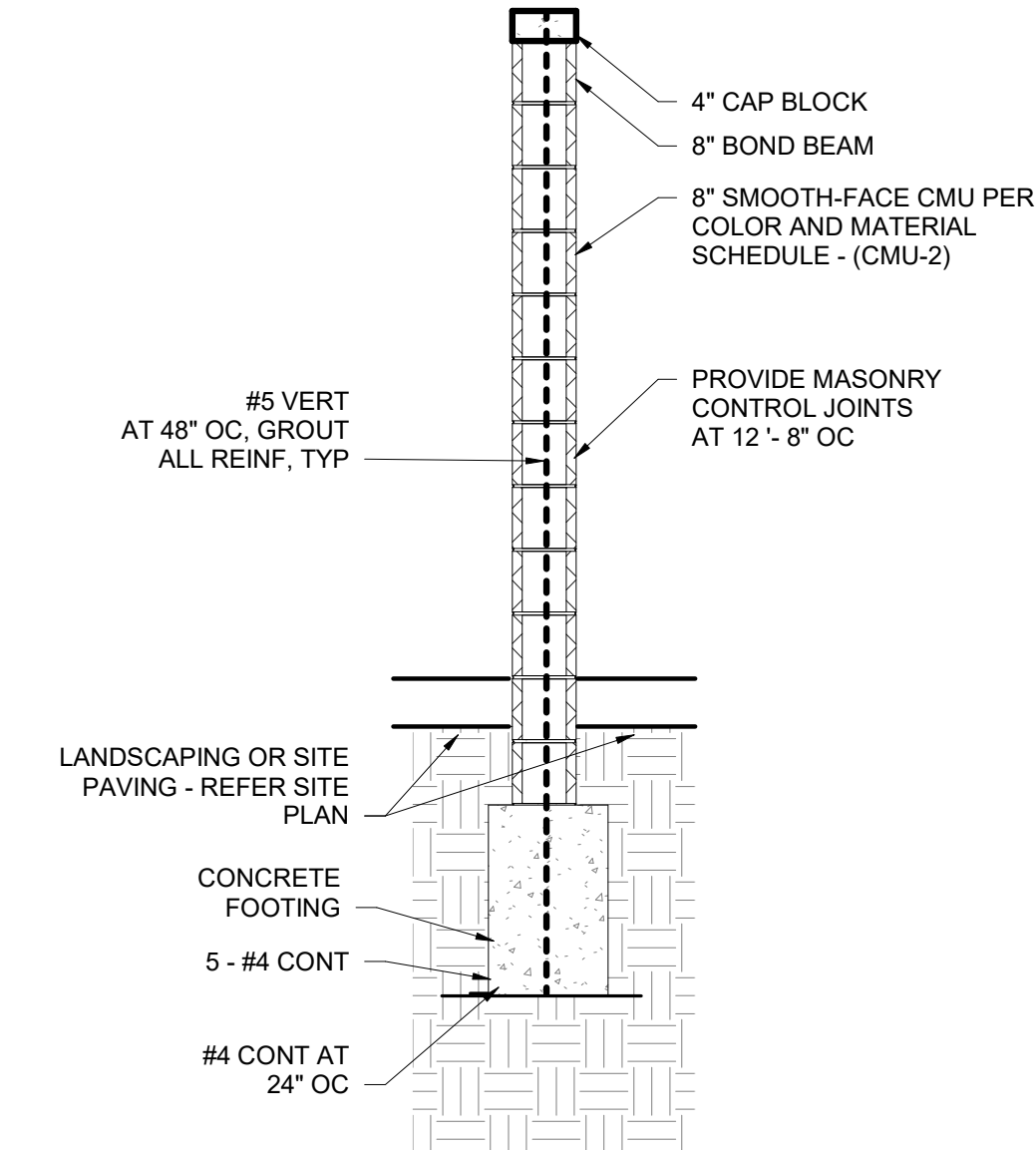
**C1 HEADER CURB**  
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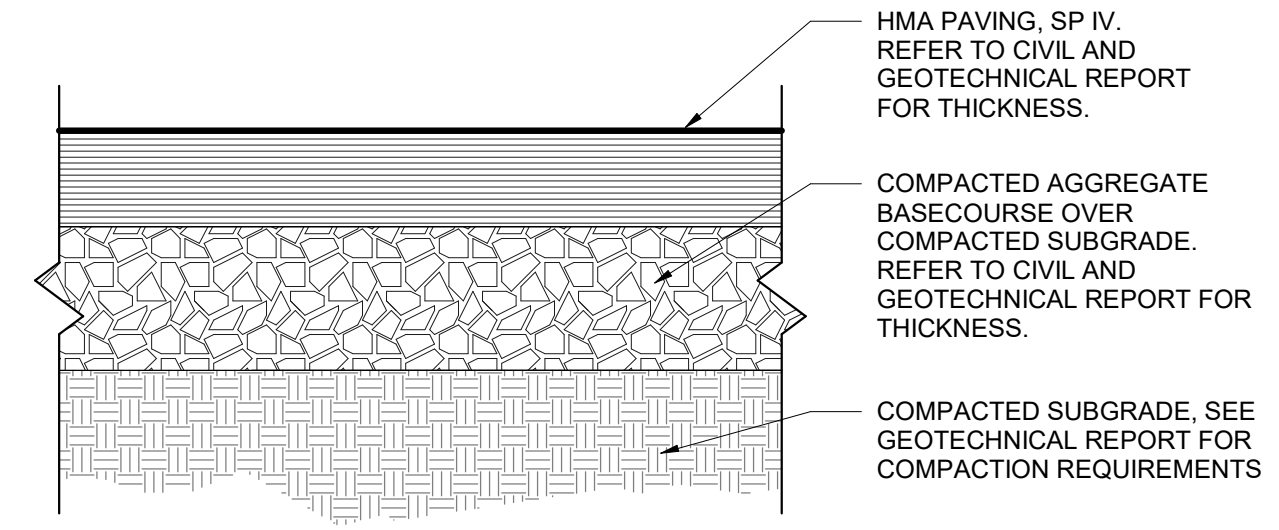
**C2 BOLLARD**  
 Scale: 1/2" = 1'-0"



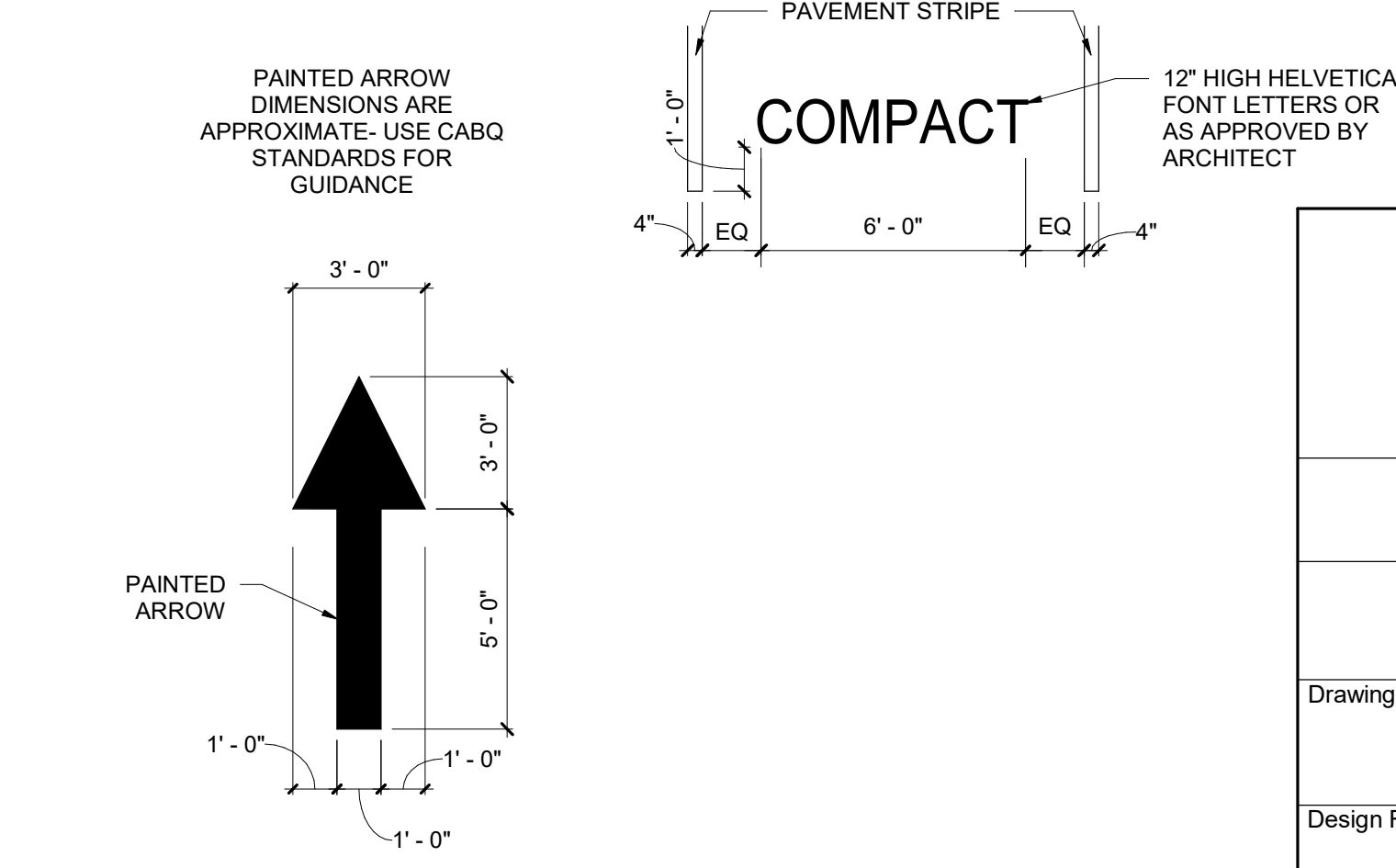
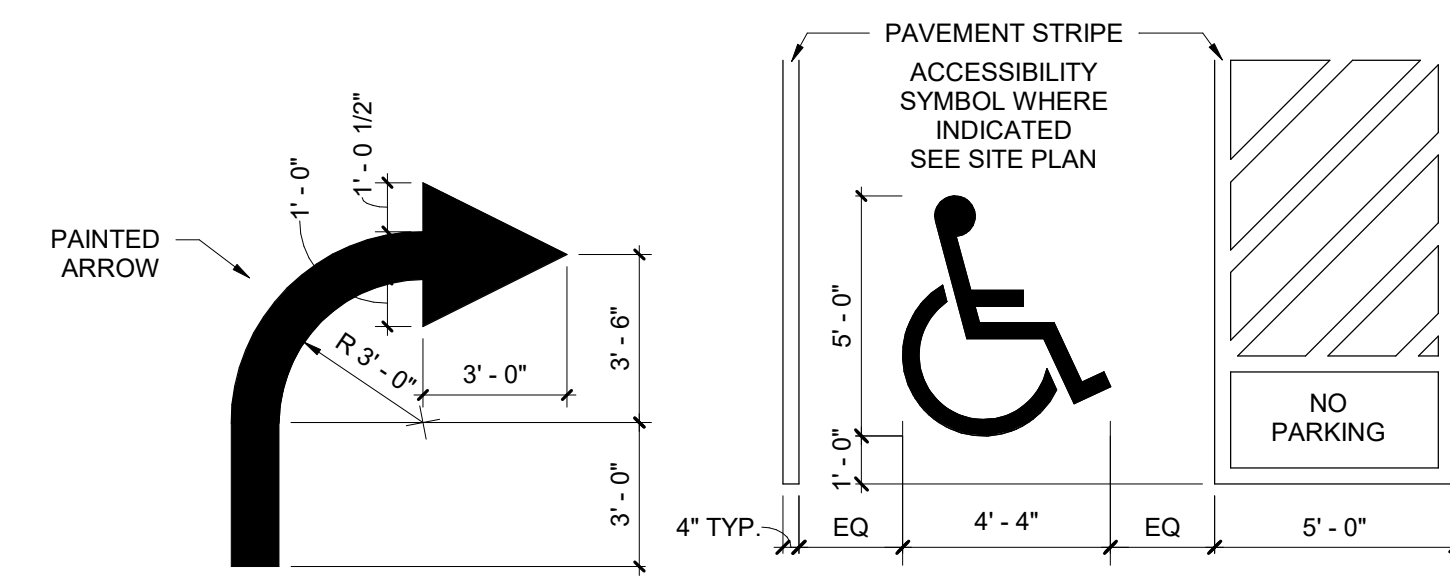
**C3 SITE WALL SECTION**  
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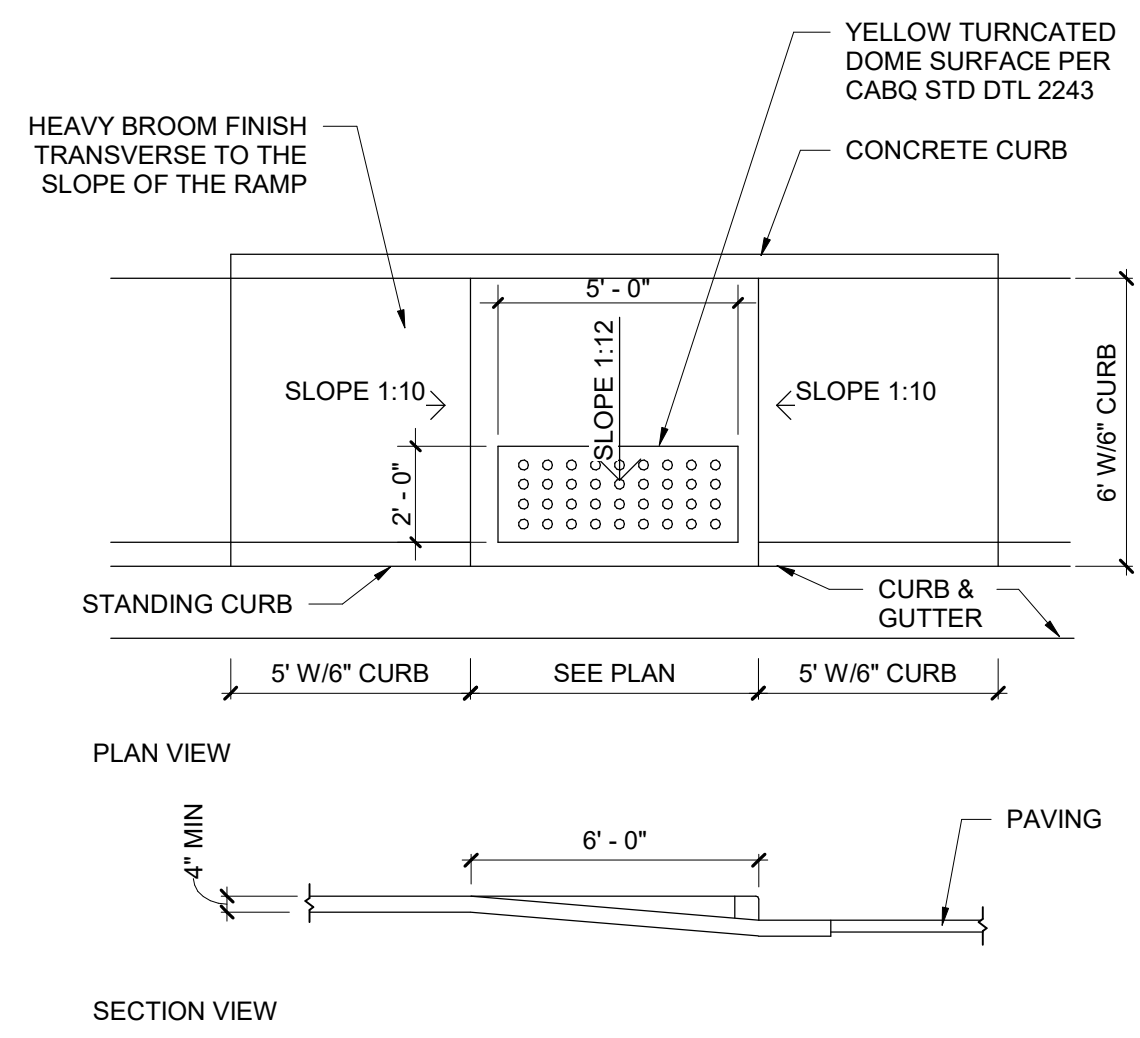
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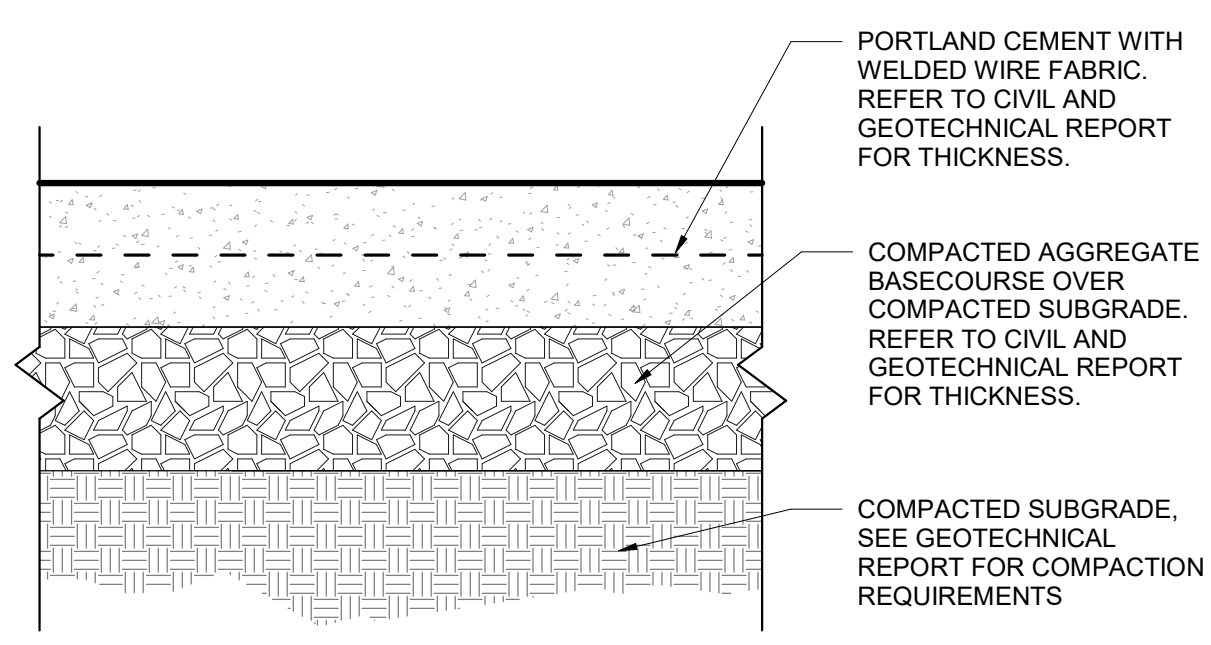
**B2 ASPHALT PAVEMENT - HEAVY DUTY**  
 Scale: 1 1/2" = 1'-0"



**A4 PAVEMENT MARKERS**  
 Scale: 1/4" = 1'-0"



**A1 HANDICAP RAMP, TYPICAL**  
 Scale: 1/4" = 1'-0"



**A2 HEAVY DUTY CONCRETE PAVEMENT**  
 Scale: 1 1/2" = 1'-0"

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NO.	NO.

BENCH MARKS	
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FIELD VERIFICATION BY	DATE
REVISIONS BY	DATE
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SURVEY INFORMATION	
FIELD NOTES	DATE
BY	DATE
NO.	NO.

SEAL	
NO.	DATE
REMARKS	BY
100% CONSTRUCTION DOCUMENTS	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE



**CITY OF ALBUQUERQUE**  
 CAPITAL IMPLEMENTATION PROGRAM  
**FIRE STATION 12**  
 11701 Central Ave NE Albuquerque, NM 87123

SITE DETAILS	
Drawing Title	
Design Review Committee	City Engineer Approval
Issue Date:	City Project No.
<b>AUGUST 2024</b>	<b>636793</b>
Last Design Update	Mo./Day/Yr.
Sheet	

**DFT-AS-503**

PROJECT NO.: 636793

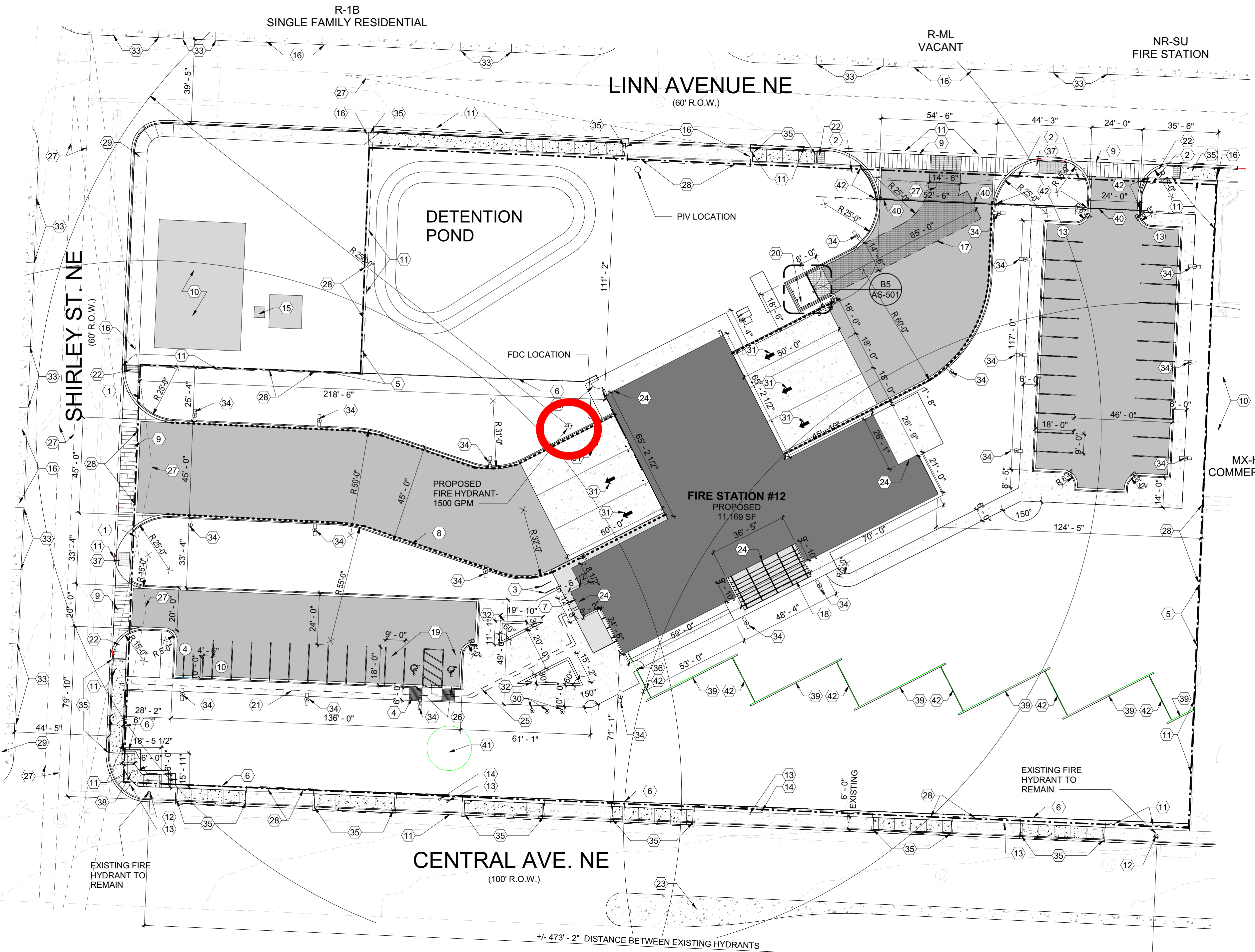
GENERAL FIRE 1 NOTIFICATION

- 1. ACCESS AND LOADING: AN APPROVED SIDEWALK RAMP SHALL BE AN ASPHALT, CONCRETE OR OTHER SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOADS AND WEIGHING AT LEAST 75,000 LBS.
- 2. FIRE APPARATUS ROADS SHALL NOT EXCEED 12 FT CLEAR WIDTH.



ALBUQUERQUE FIRE MARSHAL'S OFFICE  
DIVISION OF PLANS CHECKING DIVISION  
**PERMIT**  
PERMIT NUMBER: FP 24-020122  
APPROVED DATE: 07/11/24  
**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.



SHEET KEYNOTES FIRE 1	
1	NEW CABQ STANDARD "DO NOT ENTER" SIGN
2	NEW STANDARD "OFFICIAL VEHICLES ONLY BEYOND THIS POINT" SIGN
3	NEW BICYCLE RACK SEE B3/AS-501
4	ACCESSIBLE SIDEWALK RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 SEE A1/AS-503
5	EXISTING SITE FENCE TO REMAIN
6	PROPOSED 6" HIGH DECORATIVE SITE FENCE - SEE A2/AS-501
7	PROPOSED ENTRY DOOR
8	6" CURB AND GUTTER PER CABQ STD DETAIL TYP. SEE CIVIL
9	CROSSWALK STRIPES - INTEGRALLY COLORED CONCRETE-CAST FLUSH W/ ADJACENT-COLOR TO BE GOLD YELLOW INTEGRAL CONCRETE. 2'X6' STRIPES EA. AT 2' APART TO EXTENTS SHOWN
10	EXISTING BUILDING TO REMAIN- NO WORK THIS AREA
11	WORK EXTENTS LINE
12	EXISTING FIRE HYDRANT TO REMAIN
13	EXISTING STREET LIGHT TO REMAIN
14	EXISTING POWER POLE TO REMAIN
15	EXISTING CELL TOWER TO REMAIN- NO WORK THIS AREA
16	EXISTING SIDEWALK TO REMAIN
17	PROPOSED REFUSE VEHICLE TURNAROUND
18	COVERED PATIO WITH LOOSE FURNITURE. 597 SF
19	HANDICAP PARKING PER CABQ STANDARD
20	REFUSE ENCLOSURE COMPLIANT WITH CABQ STANDARDS SEE DETAIL B5/AS-501 + C3/AS-501
21	ADA ACCESS PATH (240 FT TOTAL PATH LENGTH FROM ROW)
22	ACCESSIBLE DRIVEPAD RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DETAIL 2443 DETAIL C
23	EXISTING MEDIAN TO REMAIN- NO WORK THIS PERMIT
24	PROPOSED EXIT DOOR LOCATION
25	ADA ACCESS PATH (100 FT PATH FROM ADA PARKING)
26	ADA HANDICAP PARKING WITH CABQ STD LANGUAGE SIGN SEE A2/AS-502
27	CLEAR SIGHT TRIANGLE PER CABQ DPM 7.4.94
28	SITE PROPERTY BOUNDARY LINE
29	EXISTING STOP SIGN TO REMAIN
30	NEW 30' FLAGPOLE TYP. OF 3 SEE C3/AS-502
31	PAVEMENT DIRECTION MARKERS SEE A4/AS-503
32	RAISED PLANTER SEE D1/AS-501
33	EXTENTS OF EXISTING DRIVEWAY FRONTING SITE (NOT IN SCOPE)
34	NEW LIGHT 16' POLE (NIGHT SKY COMPLIANT) SEE B2/AS-501
35	NEW CURB AND SIDEWALK INFILL TO MATCH EXISTING
36	STEEL GATE
37	INSTALL TRUNCATED MATS AT THIS LOCATION AS SHOWN; HOLD SIDEWALK FLUSH W/ ADJACENT VALLEY GUTTERS
38	NEW 6" WIDE SIDEWALK FOR CONTINUOUS ACCESSIBLE PATH
39	PROPOSED 8" HIGH CMU SITE FENCE SEE C4/AS-503
40	NEW GATE INSTALLATION - CONTRACTOR TO PROVIDE ELECTRIC OPERATOR WITH MAGNETIC INDUCTION LOOP IN PAVEMENT ON SECURE SIDE AND A PEDESTAL KEYPAD ON UNSECURED SIDE COORDINATE POWER CONDUITS AND ANY COMMUNICATION REQUIREMENTS FULLY WITH OPERATOR UNIT MFR. - SEE AS-504
41	EXISTING SIGN TO REMAIN AND TO BE RE-USED
42	PROPOSED 6" HIGH RIBBED SITE FENCE - SEE A1/AS-501

CODE ANALYSIS - FIRE 1	
<b>ADDRESS:</b>	11701 Central Ave NE Albuquerque, NM 87123
<b>APPLICABLE CODES:</b>	2021 INTERNATIONAL BUILDING CODE (2021 IBC) 2021 NEW MEXICO COMMERCIAL BUILDING CODE 2021 NEW MEXICO PLUMBING & MECHANICAL CODE 2020 NEW MEXICO ELECTRICAL CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2015 INTERNATIONAL FIRE CODE ICC/ANSI A117.1-2010 ACCESSIBILITY STANDARDS
<b>OCCUPANCY CLASSIFICATION - FIRE STATION:</b>	MIXED OCCUPANCIES GROUP R-3 RESIDENCE, CONGREGATE LIVING FACILITY GROUP A-3 ASSEMBLY GROUP S-2 STORAGE, LOW HAZARD
<b>ALLOWABLE BUILDING HEIGHT:</b>	GROUP A-3, S-2 AND R-3 TYPE IIB SPRINKLERED; (MOST RESTRICTIVE): 75 FT (3 STORY) WHEN SPRINKLERED PER IBC TABLES 504.3 & 504.4
<b>ACTUAL BUILDING HEIGHT:</b>	1 STORY NEW CONSTRUCTION, 36FT
<b>CONSTRUCTION TYPE:</b>	Per IBC table 601 TYPE IIB, NEW CONSTRUCTION
<b>SEISMIC DESIGN CATEGORY:</b>	D, REFER STRUCTURAL NOTES
<b>BUILDING AREA:</b>	BUILDING AREA IS THE AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS EXCLUDING VENT SHAFTS AND COURTS (IBC 503).  AS SHOWN: 11,169 SF FIRE STATION  ALLOWABLE TABLE 506.2: GROUP R-3: UNLIMITED GROUP S-2: 104,000 SF GROUP A-3: 38,000 SF
<b>1 HR SEPARATION IS REQUIRED BETWEEN SLEEPING ROOMS AND REST OF SPACE AT FIRE STATION</b>	
<b>FIRE-PROTECTION SYSTEM:</b>	BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM  MANUAL FIRE ALARM SYSTEM (IBC 907.2.2): - NOT REQUIRED BUT PROVIDED  PORTABLE FIRE EXTINGUISHERS (IBC & IFC 906): - 4 REQUIRED (2 PER BUILDOUT) AND 4 PROVIDED  AUTOMATIC FIRE DETECTION SYSTEM (IBC 907.2 & IFC 906): - PROVIDED
<b>OCCUPANT LOAD:</b>	PER IBC TABLE 1004.1.1 FIRE STATION: GROUP R-3: (SLEEPING AREAS) 1418 SF / 200 SF = 7 OCC (ACTUAL COUNT IS 11) GROUP S-2: (APP BAY AND SUPPORT AREAS) 5,688 SF / 300 SF = 19 GROUP A-3: EXERCISE ROOM AT 1:50- 495 SF / 50 = 10 LIVING AREA AT 1:15 NET- 807 SF / 15 = 54 KITCHEN AT 1:15 NET- 382 SF / 15 = 26 CONFERENCE AT 1:15 NET- 454 SF / 15 = 31  TOTAL A-3: 151 TOTAL OCCUPANTS- FIRE STATION: 151 OCC

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STACKED BY	DATE
ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
RECORDED BY	DATE
NO.	DATE

BENCH MARKS	
CONTRACTOR	DATE
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	DATE

SEAL	
NO.	DATE
REMARKS	BY
DATE	DATE
CONSTRUCTION DOCUMENTS	DATE
DESIGNED BY:	DATE
DRAWN BY:	DATE
CHECKED BY:	DATE



NOTE: DASHED LINE DENOTES RED PAINTED FIRE LANE LOCATION EXTENTS.

FIRE FLOW (IFC 2015 APPENDIX B) TABLE B105.1 TYPE IIB SPRINKLERED AT 11,169 SF.  
REQUIRED: =PER TABLE B105.1 THIS IS 1/2 OF TABULAR VALUE OF 2250 = 1250 GPM FOR 2 HOURS.  
PROVIDED: 1500 GPM FOR 2 HOURS

HYDRANTS: (IFC APPENDIX C) TABLE C102.1:  
REQUIRED: 1 FIRE HYDRANT LESS THAN 250' FROM FRONTAGE TO BUILDING  
PROVIDED: 1 FIRE HYDRANT ADJACENT TO THE APPARATUS BAY 2 EXISTING HYDRANTS ALONG CENTRAL AVE SPACED APPROX. 400 FT APART

**A1 OVERALL SITE PLAN**  
Scale: 1" = 30'-0"



**VIGIL & ASSOCIATES**  
ARCHITECTURAL GROUP, P.C.  
4477 Irving NW, Suite A  
Albuquerque, New Mexico 87114  
Ph: 505.890.9300 Fax: 505.890.9301  
www.va-architects.com

**CITY OF ALBUQUERQUE**  
CAPITAL IMPLEMENTATION PROGRAM

**FIRE STATION 12**  
11701 Central Ave NE Albuquerque, NM 87123

Drawing Title: **FIRE1 SITE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Issue Date:	City Project No.	Sheet	

**JULY 2024**      **636793**      **FIRE1**

A

C

D

Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: \_\_\_\_\_  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DFT Project No.: \_\_\_\_\_  
DFT Application No.: \_\_\_\_\_

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST**

City of Albuquerque Fire Station #12

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

Lots 1 through 10 & 27 through 34 and south 50 feet of lots 35 and 36 Block 6 East Central BU

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	6'	PCC Sidewalk	Central Ave	10+00	12+50	/	/	/
<input type="text"/>	<input type="text"/>	6'	PCC Sidewalk	Shirley Street	10+00	11+10	/	/	/
<input type="text"/>	<input type="text"/>	6'	PCC Sidewalk	Linn Ave	10+00	12+25	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1 \_\_\_\_\_  
\_\_\_\_\_

2 \_\_\_\_\_  
\_\_\_\_\_

3 \_\_\_\_\_  
\_\_\_\_\_

AGENT / OWNER	DEVELOPMENT FACILITATION TEAM APPROVALS	
---------------	---	--

\_\_\_\_\_  
NAME (print)

\_\_\_\_\_  
FIRM

\_\_\_\_\_  
SIGNATURE - date

\_\_\_\_\_  
PLANNING - date

\_\_\_\_\_  
TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_  
UTILITY DEVELOPMENT - date

\_\_\_\_\_  
CITY ENGINEER - date

\_\_\_\_\_  
PARKS & RECREATION - date

\_\_\_\_\_  
AMAFCA - date

\_\_\_\_\_  
CODE ENFORCEMENT - date

\_\_\_\_\_  
HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS
-----------------------------------

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

# Memorandum

**To:** Jolene Wolfley, Chair  
**From:** Char Johnson, AICP, Senior Planner  
**Date:** July 29, 2024  
**Re:** Sensitive Lands Analysis – 11701 Central Avenue

The following memo provides an analysis of sensitive lands on the subject property per Section 5-2(C)(2)(a-i) Site Design and Sensitive Lands.

- (a) **Arroyos:** No arroyos are present on the subject property.
- (b) **Floodplains and Special Flood Hazard Areas:** The subject property is located in Flood Zone X, an area determined by FEMA as outside the 500-year flood and protected by levee from 100-year flood occurrence.
- (c) **Irrigation facilities (acequias):** The subject property is not located in the valley area of the City. Therefore, there are not acequias on the property.
- (d) **Large stands of mature trees:** The subject property does not contain any mature trees, as shown in the photograph below.



- (e) **Riparian areas:** The property is not located near the Rio Grande.
- (f) **Rock outcroppings:** The subject property does not contain any rock outcroppings (see photograph above).
- (g) **Significant archaeological sites:** The subject property is a previously developed infill

property with no significant archaeological findings.

- (h) **Steep slopes and escarpments:** The subject property has virtually no slope as shown on the AGIS topographic map below.



- (i) **Wetlands:** The subject property is not located near any waterways. Therefore, it does not contain any wetlands.

## SUPPORTIVE DOCUMENTATION




# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***

 July 29, 2024  
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

- 1. Site Plan (including utilities and easements)
- 2. Landscaping Plan
- 3. Grading and Drainage Plan
- 4. Utility Plan
- 5. Building and Structure Elevations
- 6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'

# SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- N/A Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - 3. On street parking spaces
- B. Bicycle parking & facilities
  - 1. Bicycle racks – location and detail
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
  - 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - 3. Striping and Sign details for one-way drive through facilities

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
  - 6. Location of street lights
  - 7. Show and dimension clear sight triangle at each site access point
  - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities
  - 2. Pedestrian trails and linkages
  - N/A 3. Transit facilities, including routes, bus bays and shelters existing or required

### 4. Phasing

- N/A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use

## SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

#### B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

# CITY OF ALBUQUERQUE

*Department of Municipal Development/Interim Director/Jennifer Turner*



May 9, 2024  
Jonathan Hollinger, Chairman  
Environmental Planning Commission  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Dear Mr. Chairman,  
This letter authorizes Consensus Planning, Inc. to act as agent for all matters related to the request for Zone Map Amendment and a Site Plan-EPC to the Environmental Planning Commission for the property located 11701 Central Avenue, NE. The property is legally described as *Lots 1 through 10 & 27 through 34 and South 50 feet of Lots 35 and 36 Block 6 East Central BU*. The City is planning to construct a new Fire Station #12 at this location.  
Sincerely,

Juan Serna  
Construction Project Manager  
DMD  
[jserna@cabq.gov](mailto:jserna@cabq.gov)

A handwritten signature in black ink, appearing to be 'JS', written over a horizontal line.



October 15, 2024

Jolene Wolfley, Chair  
Development Facilitation Team  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87102

**RE: Fire Station 12 - Request for Site Plan-Administrative**

Landscape Architecture  
Urban Design  
Planning Services

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

Dear Madam Chair:

The purpose of this letter is to request approval of a Site Plan-Administrative for a new Fire Station 12 on behalf of the City Fire Rescue Department. The subject property is located at the northeast corner of Shirley Street and Central Avenue SE, 3.191 acres in size, and zoned MX-H. The property is legally described as *Lots 1 through 10 & 27 through 34 and south 50 feet of lots 35 and 36 Block 6 East Central BU*. An application for this project was submitted and heard by the Development Facilitation Team (DFT) on August 7, 2024. The application was deemed incomplete due to the lack of a signed Water Serviceability Letter from the ABCWUA. The signed letter is included in this application submittal. A memo responding to staff comments from the August DFT meeting is also included in this application.



**PROJECT DESCRIPTION**

The proposed Fire Station is a 12,509 square foot, single-story building on a 3.214-acre site along Central Avenue, just west of Juan Tabo Boulevard. The building is designed to follow the Albuquerque Fire Department’s prototype, which incorporates common design and operational elements to reduce the development costs for the facility. The current zoning of MX-H was designated with the adoption of the Integrated Development Ordinance in 2018. This project was first submitted to the Environmental Planning Commission for a Zone Map Amendment and Site Plan-EPC, but the City Planning Department asked the Applicant to withdraw the application and submit to the DFT because fire stations are a permissive use under the new IDO.

**PRINCIPALS**

James K. Strozier, FAICP  
Jacqueline Fishman, AICP

**ASSOCIATES**

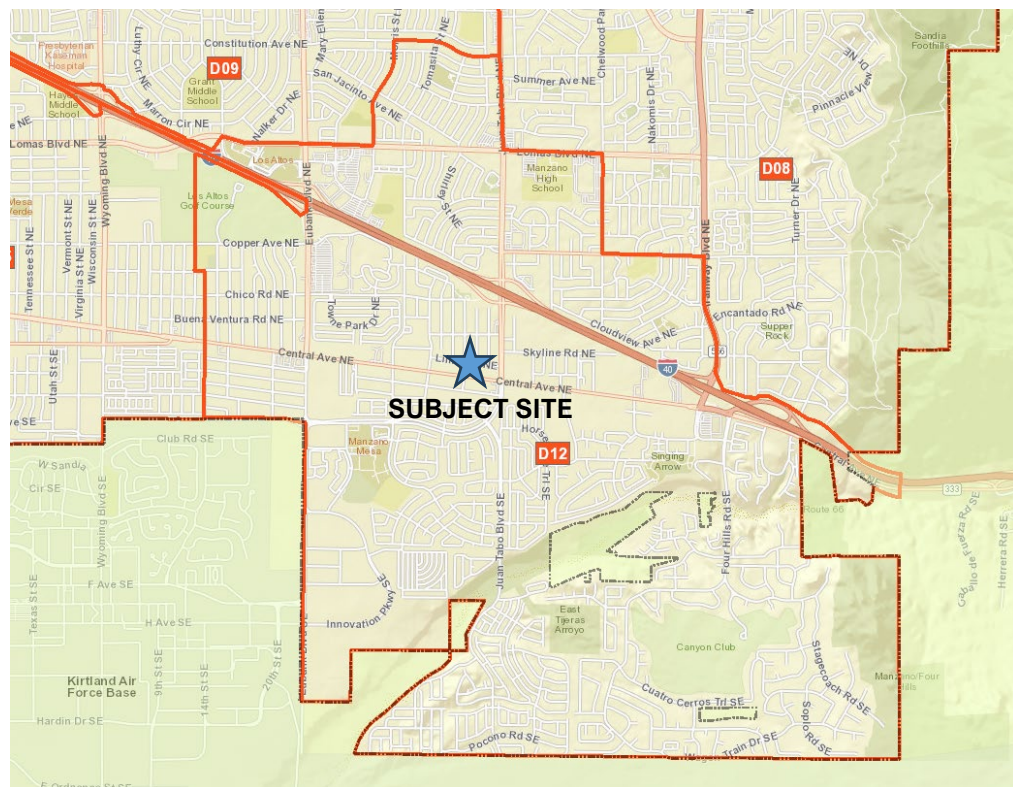
Ken Romig, PLA, ASLA,



## BACKGROUND

In 2019, a location analysis for a new Fire Station 12 was completed by Consensus Planning in collaboration with Council Services staff. The existing Fire Station 12 (north of the subject property at 201 Muriel Street) was constructed in the 1950s. Both the current building and site are undersized for fire and rescue operations, and its location along a local street creates delays in emergency response times. The analysis aimed to identify a new location that would allow emergency response personnel to reach the maximum number of residents in the shortest amount of time. Data from various sources, including incident data from Albuquerque Fire and Rescue, traffic and Data Analysis Subzone data from MRCOG, and geographic data from AGIS, was used to assess alternative locations.

The analysis indicated that a site on Central Avenue, east of the subject property, would be the most advantageous in terms of increasing reachable incidents within a four-minute response time. However, that location was ultimately not available for purchase and the City acquired the subject property as it would provide similar decreased response times to the high-incidence "hot spot" area between Juan Tabo Boulevard and Tramway Boulevard and the southeastern area of the District.

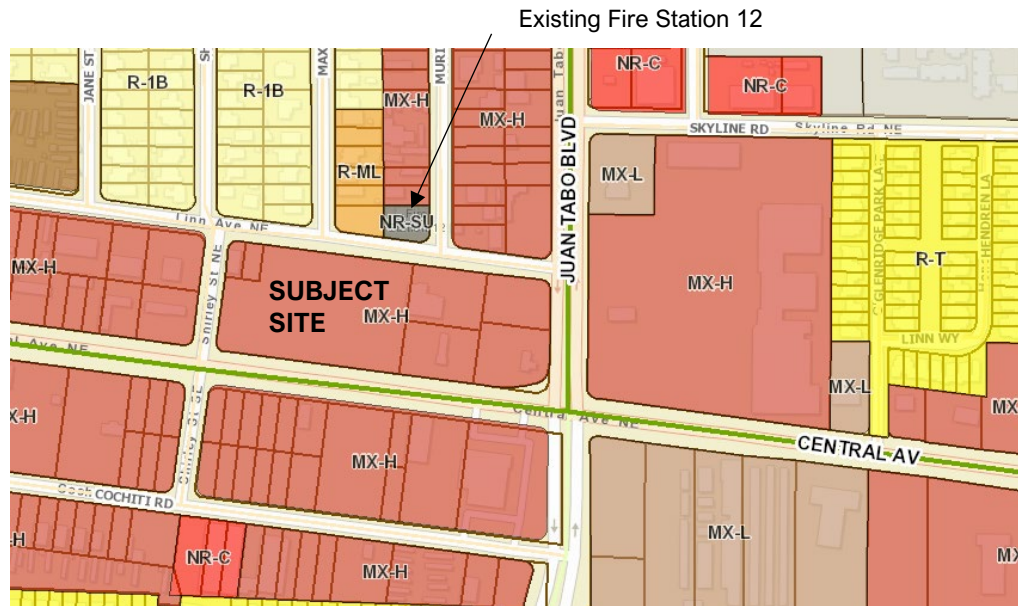


## EXISTING CONDITIONS

The subject property is on the north side of Central Avenue (an Urban Principal Arterial), within a designated Major Transit Corridor, within an Area of Change, and within the East Gateway Metropolitan Redevelopment area. It is approximately 410 feet west of Juan Tabo Boulevard (an Urban Principal Arterial). The subject property is and has been vacant for a long time; AGIS aerial photography does not show development on the property starting in 1959 to the present.



The subject property is zoned MX-H. The properties to the north are zoned R-1B, R-ML, and NR-SU containing single-family residential, vacant land, and City Fire Station 12. The properties to the east are zoned MX-H containing commercial retail and services. The properties to the south across Central Avenue are zoned MX-H and contain a variety of commercial services. Property along Juan Tabo Boulevard and Linn Avenue is also zoned MX-H. Abutting the subject property at the southeast corner of Shirley Street and Linn Avenue a small property zoned MX-H containing a metal storage building and a wireless transmission tower.



Surrounding Zoning.

### SITE PLAN-ADMINISTRATIVE

The proposed Site Plan-Administrative complies with the criteria in Section 14-16-6-5(G)(3) of the IDO as follows:

**6-5(G)(3)(a)** The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

**Applicant's Response:** The proposed Site Plan complies with the IDO and the DPM. The Site Plan, Landscape Plan, and building elevations show sensitivity to surrounding context by proposing a building with a maximum height of 29 feet and an engaging mix of building materials, street trees, and landscaping throughout the project site.

The site layout, and vehicular and bicycle parking complies with the IDO and the DPM. The buildings are set back from the property edges in excess of any minimum required setbacks in the IDO. The existing solid wall along Linn Avenue will remain and will provide separation between this use and the residential area to the north. The proposed development will have a positive impact on the surrounding neighborhoods who will be gaining a community meeting space and an attractively designed modern building on a currently blighted property within the designated East Gateway MR area. This project is an important investment in



this area of Albuquerque and is a positive step towards addressing the City's need to improve response rates to emergency calls for service.

The Applicant submitted a request for a "determination" from City Transportation regarding the proposed placement of the driveway on Shirley Street and Ernest Armijo determined the placement is acceptable (see attached email from Ernest Armijo dated July 7, 2024). There are no previous approvals or permits that affect development on the subject property.

**6-5(G)(3)(b)** The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and/or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.

**Applicant Response:** The City's current infrastructure has adequate capacity to service the proposed public safety project, including water, sewer, and storm drainage systems; access to the major street network; transit services along Central Avenue and Juan Tabo Boulevard; and planned bike lanes along Juan Tabo Boulevard that will connect to bike lanes and the multi-use trail system south of Cochiti Road. There is an existing 6-foot sidewalk along Central Avenue and stop signs at the intersection with Shirley Street. There are missing sidewalk sections along both Shirley Street and Linn Avenue that will be filled in with this project.

**6-5(G)(3)(c)** If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.

**Applicant Response:** There is no previously approved Master Development Plan covering the subject property. The project has been designed in compliance with IDO standards applicable to the MX-H zone.

**6-5(G)(3)(d)** If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

**Applicant Response:** There is no previously approved Framework Plan covering the subject property.

## **CONCLUSION**

The proposed Site Plan-Administrative will further the City's goals and policies regarding access to land use, new facilities, public safety services, infill development, efficient development patterns, community facilities, community design, landscape design, Areas of Change, etc. The City has long recognized the need to replace the existing Fire Station 12, which is undersized for fire and rescue operations and its location along a local street creates a delay in emergency response times within the high-incidence "hot spot" area between Juan Tabo Boulevard and Tramway Boulevard and the southeastern area of the District. This project will invest in and enhance the East Gateway area that has long suffered from neglect.



PLANNING

CONSENSUS

On behalf of the City of Albuquerque Fire Rescue, we respectfully request that the DFT approve the request for Site Plan-Administrative. Thank you for your consideration.

Sincerely,

Jacqueline Fishman, AICP  
Principal



# Memorandum

**To:** Jolene Wolfley, Chair  
Jay Rodenbeck, Planning Manager

**From:** Jackie Fishman, AICP, Principal and Char Johnson, Senior Planner

**Date:** October 15, 2024

**Re:** Re-submittal of Site Plan-DFT \_ PR-2024-010705/SI-2024-01086

The following memo provides responses to DFT staff comments for the Fire Station 12 Site Plan-Administrative application heard on August 7, 2024. The Site Plan-DFT application was deemed incomplete pending the Water Serviceability Letter from Albuquerque Bernalillo County Water Authority (ABCWUA). Below is the response to staff comments. Staff comments are in italic followed by the Applicant responses.

## PLANNING

The site is located along Central Ave NE and Linn Ave NE.

-Linn Ave NE is a local street. (5 ft. sidewalk and 4-6 ft. landscape Buffer is required)

-Central Ave NE is a Community Principal Arterial. (6 ft. sidewalk and 5-6 ft. landscape Buffer is required) **Planning defers to Transportation for verification.**

**Applicant Response:** There is an existing 6-foot sidewalk along Central Avenue and a landscape buffer of 70'-11 ½". Linn Avenue has existing 5-foot sidewalks to remain. The site plan shows a 11'-3" landscape buffer.

**Project and application numbers must be added to the site plan.**

**Applicant Response:** Agreed, project numbers have been added to the Site Plan.

**All Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico.**

**Applicant Response:** Agreed, all plan sheets have been stamped and signed.

**An Infrastructure list is included with this application. Planning defers to Transportation and Water Utility Authority for review. Infrastructure List has been provided on an outdated DRB form. The updated IL form must be used for this project, which can be obtained at the following link:**

**Project and application numbers must be added to the Infrastructure List.**

**Applicant Response:** The Infrastructure List form has been updated and the project and application numbers have been added.

*\*(See additional comments on next pages)*

Site plan is showing proposed zoning of NR-SU. Please clarify.

**Applicant Response:** References to the NR-SU zoning were removed from the Site Plan. The site is zoned MX-H.

Please confirm if public notice requirements have been met.

**Applicant Response:** Email notification was sent to District 9 East Gateway Coalition, Singing Arrow Neighborhood Association on July 29, 2024. The email contained the required information as outlined in the IDO for site plan applications.

2-4(D) MIXED-USE – HIGH INTENSITY ZONE DISTRICT (MX-H)

Table 2-4-7: MX-H Zone District Dimensional Standards Summary			
See Table 5-1-2 for complete Dimensional Standards			
Development Location		General	UC-MS-PT
<b>Site Standards</b>			
<b>A</b>	Usable open space, minimum	≤1 BR: 225 sq. ft./unit 2 BR: 285 sq. ft./unit ≥3 BR: 350 sq. ft./unit	50% reduction
<b>Setback Standards</b>			
<b>B</b>	Front, minimum / maximum	5 ft. / N/A	0 ft. / 15 ft.
<b>C</b>	Side, minimum / maximum	Interior: 0 ft.; Street side: 5 ft. / N/A	0 ft. / Street side: 15 ft.
<b>D</b>	Rear, minimum	15 ft.	Street or alley: 0 ft.
<b>Building Height</b>			
<b>E</b>	Building height, maximum	68 ft. >100 ft. from all lot lines: N/A	75 ft.

**Please confirm compliance with these standards.**

**Applicant Response:** The site plan complies with the above standards for MX-H as shown below and on the site plan.

SETBACK STANDARDS: Front setback (Shirley Street) – 218’-4”  
 Side Setback Street side (Linn Avenue) – 111’-3”  
 Side Interior (east side) – 124’-5”  
 Rear Setback (Central Avenue) – 70’-11 ½”

BUILDING HEIGHT: 28’-11 ½”

\*(See additional comments on next pages)

## 5-6 LANDSCAPING, BUFFERING, AND SCREENING

*For all proposed trees alternate the tree species to avoid losing all similar tree species in case future potential diseases happen. Please check the trees along the northern and eastern edge of the property.*

**Applicant Response:** Completed. The northern edge of the property alternates between Pistacia Chinensis and Sensation Box Elder. The eastern edge of the property alternates between Box Elder, Desert Willow, and Autumn Amber Sumac (located at the corner of the parking lot).

*Please provide more trees around the ponding area.*

**Applicant Response:** Completed. Trees around the ponding area include the following  
Eastern side – Desert Willow (1), Austrian Pine (3)

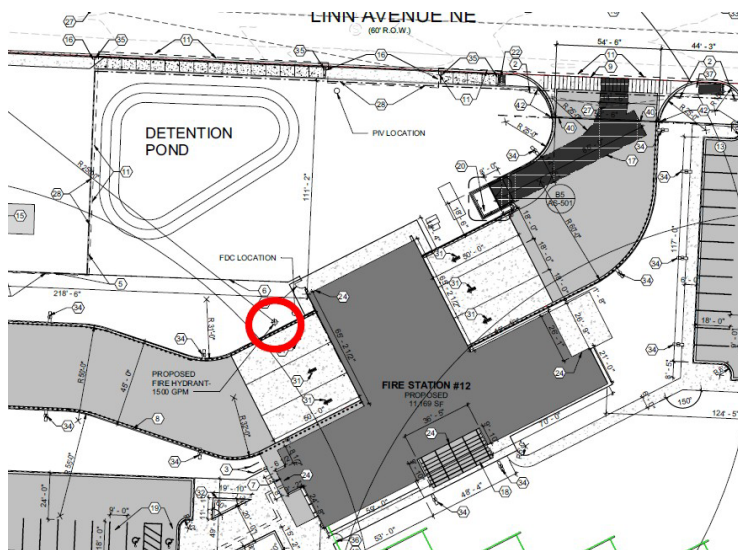
Southern side – Box Elder (2), New Mexico Olive (2), and Desert Willow (1).

*Per 5-6(C)(5)(f), all landscaped areas shall be protected from vehicular encroachment by curbs or wheel stops located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated swales and stormwater infiltration areas. Please articulate how landscape design meets this standard.*

**Applicant Response:** There are 6-foot walkways around the parking stalls preventing encroachment by landscaping.

*Per 5-6(C)(7)(a), vegetation required by this Section 14-16-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections. Please confirm compliance with this code.*

**Applicant Response:** Shrubs are have been moved and are located more than 3 feet from the fire hydrant.



### **5-6(C)(8) Protecting Clear Sight Triangle**

*The clear sight triangle shall be maintained at all exits of parking areas and street intersections. Please show the sight triangle on the landscape plan and demonstrate compliance with this code.*

**Applicant Response:** Clear site triangles were added to the landscape plan, showing that clear sight is maintained at parking lot exits on Shirley Street and Linn Avenue. There are no trees and shrubs that will block the triangle.

### **5-6(C)(10) Planting near Utilities**

Per 5-6(C)(10)(a), trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced. *Please confirm compliance with this code.*

**Applicant Response:** There are no easements on this site.

*Per 5-6(C)(10)(b), trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line. confirm compliance with this code.*

**Applicant Response:** There are no trees planted near the sewer or water lines shown on the Utility Plan.

*Per 5-6(C)(10)(d), if overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities. Confirm if overhead distribution electric lines are present.*

**Applicant Response:** All overhead lines are located at the perimeter outside the landscaped area of the site.

Per 5-6(C)(10)(e), all screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crews and public during maintenance and repair. *Please confirm compliance with this code. Please confirm the location of transformer/s.*

**Applicant Response:** There is one transformer on the site located behind the apparatus bay as noted by Note #44 on the Site Plan. The vegetation allows 11 feet of clearance as shown on the Landscape Plan.

Per 5-6(C)(10)(f), trees shall not be planted near existing or proposed street light poles. *Show existing light poles on the landscape plan and confirm compliance with this code.*

**Applicant Response:** All street light poles are located outside of the site. No trees are planted near existing light poles.

### **5-6(C)(12) Existing Vegetation Credit**

*Please confirm whether or not any existing vegetation will be maintained.*

**Applicant Response:** There is no existing vegetation on the site.

### **5-6(C)(13) Stormwater Management Features**

*Per 5-6(C)(13)(a), required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation. Please articulate how the project has considered this code.*

**Applicant Response:** There are two areas of the plan that are designed to serve as stormwater management areas as shown on the approved Grading and Drainage Plan. Keyed Note #26 is a water harvest area located on the southwest corner of the site. Keyed note #18 shows the detention pond. Both areas show trees and shrubs appropriate for these areas.

### **5-6(G) SCREENING OF MECHANICAL EQUIPMENT AND SUPPORT AREAS**

#### **5-6(G)(1) Roof-mounted Mechanical Equipment**

*5-6(G)(1)(b) In any R-ML, R-MH, Mixed-use, NR-C, NR-BP, NR-SU, or NR-PO zone district, roof-mounted mechanical equipment shall be screened by a parapet wall or similar feature that is an integral part of the building's architectural design. The parapet wall or similar feature shall be sufficient to screen the mechanical equipment from all sides when viewed from 5 feet above ground level at any property line abutting a City park or trail, Major Public Open Space, major arroyo, or public street classified as a collector, arterial, or interstate highway. Confirm compliance with this code.*

**Applicant Response:** The parapets are a minimum of 30-36" in height, with additional screening panels around equipment on the roof to fully ensure that all rooftop mounted equipment is not visible from anywhere on the site and from abutting properties or streets. See site note

#### **5-6(G)(2) Ground-mounted Mechanical Equipment**

*Per 5-6(G)(2)(a), R-ML, R-MH, and Mixed-use Zone Districts, outdoor ground-mounted mechanical equipment shall be located where it is not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties to the maximum extent practicable. Confirm compliance with this code.*



**Applicant Response:** The generator by the transformer is the only ground-mounted mechanical equipment on the site. Screening is provided via the existing block wall to the north. The sawtooth metal panel/block wall facing Central Avenue abuts the building.

### **5-6(G)(2)(c) Screening**

*Where it is not practicable to locate ground-mounted mechanical equipment pursuant to Subsections (a) and (b) above, such equipment shall be screened from view by an opaque decorative wall or fence or a vegetative screen.*

- 1. The wall or fence shall be of a height equal to or greater than the height of the mechanical equipment being screened and shall incorporate at least 1 of the primary materials and colors of the nearest wall of the primary building (but excluding exposed CMU block).*
- 2. The vegetative screen shall be planted along the full length of the equipment to be screened and shall be of a height equal to or greater than the height of the equipment to be screened at the time of planting.*
- 3. No screening of ground-mounted solar energy equipment that would reduce the efficiency or effectiveness of the solar energy equipment is required. **Confirm compliance with this code.***

**Applicant Response:** There will be no solar energy equipment on the site.

### **5-6(G)(3) Loading, Service, and Refuse Areas**

*Per 5-6(G)(3)(a) Covering Waste Containers, all waste containers and dumpsters shall be in a roofed enclosure or be equipped with and use a lid covering and shall be designed so that stormwater runoff does not reach storm drain inlets. **Please confirm compliance with this code.***

**Applicant Response:** The refuse area is located on the north east side of the fire station building (see keyed note #20). It is screened per City of Albuquerque requirements and is not visible to adjacent streets. The refuse container will be behind a motorized gate panel and the dumpster enclosure is built to City of Albuquerque standards.

*Per 5-6(G)(3)(c) R-ML, R-MH, and Mixed-use Zone Districts Outdoor loading, service, and refuse areas shall be integrated into the building design if possible, or shall be located where they are not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties to the maximum extent practicable. **Please confirm compliance with this code.***

**Applicant Response:** The refuse enclosure is a standard City of Albuquerque style dumpster with sloping hinged closing lids attached.

### **5-6(G)(3)(e) Screening**

Where it is not practicable to locate the loading, service, and refuse areas pursuant to Subsections (c) and (d) above, they shall be screened from view by an opaque decorative wall or fence at least 6 feet tall but not more than 8 feet tall that incorporates at least 1 of the primary materials and colors of the nearest wall of the primary building (but excluding exposed CMU block) or a vegetative screen planted along the full length of the area to be screened and at least 8 feet high at the time of planting. *Confirm compliance with this code.*

**Applicant Response:** The refuse enclosure is 6-feet in height and meets City of Albuquerque requirements. The refuse container is located within the enclosure and is adjacent to the fire station building. It is screened with burnished CMU which matches the material used on the apparatus bay wall and a ribbed metal gate (*see Site Details B5 and C3*).

### **5-7 WALLS AND FENCES**

*Please demonstrate compliance with this section if there are any walls or fences being proposed for this project.*

**Applicant Response:** The perimeter of the site will be fenced. The Central Avenue street to the east contain a mixed material CMU and metal ribbed fence in a zig-zag design. The western side of Central and Shirley Street will contain a 6-foot-high decorative fence (*Site detail B3/AS-502*). Fencing along Linn Avenue and the abutting site to the east is an existing wooden cedar plan fencing. All site walls and fencing panels comply with this code and separate permits pulled by the contractor as required.

### **5-11(E)(3) Outdoor Seating and Gathering Areas**

#### 5-11(E)(3)(a) General

1. For primary buildings containing a use from the Transportation subcategory of Commercial Uses or from the Industrial Uses category in Table 4-2-1, at least 1 outdoor seating and gathering area shall be provided that is a minimum of 500 square feet.
2. For all other uses, each primary building containing more than 30,000 square feet of gross floor area shall provide at least 1 outdoor seating and gathering area for every 30,000 square feet of building gross floor area, meeting all of the following standards.
  - a. *Each required seating and gathering area shall be at least 400 square feet in size for each 30,000 square feet of gross floor area.*
  - b. *At least 25 percent of the required seating and gathering areas shall be shaded from the sun.*
  - c. *The seating and gathering area shall be provided with pedestrian-scale lighting,*

street furniture or seating areas, and trash receptacles.

d. The required seating and gathering area shall be linked to the primary entrance of the primary building and the public sidewalk or internal drive aisle or located adjacent to or to maximize views to public or private open space.

Please demonstrate compliance with this code.

**Applicant Response:** The above requirements do not apply to the proposed Fire Station. Fire Stations are categorized as Civic Institutional use in Table 4.-2-1. The building square footage is of the building is 11,169 square feet, well below the requirement threshold. Nonetheless, there is a outdoor seating provided at the rear of the Fire Station Building. It will provide outdoor amenities.

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## 5-11 SIGNS

Please articulate how the project meets this section of the IDO.

**Applicant Response:** The façade signage is located on the southwest facing Central Avenue (see *Elevation Sheet DFT-A-202*). The façade totals 2,807 square feet. There are three signs totaling 67.2 square feet, which comprise approximately 2.4% of the total façade, well below the 15% threshold.

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## REQUIRED NOTES

Landscaping and Irrigation Notes: Please add any of the following notes (that you have not already provided) to your landscaping and Irrigation plan notes:

*Per 5-6(C)(4)(g), all vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6- 6-2 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.*

*Per 5-6(C)(4)(h), all required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ASNA) of the American Nursery and Landscape Association.*

*Per 5-6(C)(5)(a), all vegetated material required by this Section 14-16-5-6 shall be planted in uncompacted soil. Please add a note to the Landscape Plan general notes to reflect this code.*

*Per 5-6(C)(5)(b), if used, weed barriers shall be permeable to optimize stormwater*

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*infiltration and prevent runoff.*

*Per 5-6(C)(5)(d), a minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended.*

### **5-6(C)(9) Planting in or over the Public Right-of-way**

*5-6(C)(9)(a) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of way.*

*5-6(C)(9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8-foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 9-foot clearance over the street surface.*

*Per 5-6(C)(9)(c), where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements In Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way.*

### **5-6(C)(14) Irrigation Systems**

*Per 5-6(C)(14)(a), irrigation systems shall comply with Section 8 of the ABCWUA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).*

*Per 5-6(C)(14)(b), all irrigation systems shall be designed to minimize the use of water.*

*5-6(C)(14)(c), all non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.*

*Per 5-6(C)(14)(d), the irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.*

### **5-6(C)(15) Installation**

*5-6(C)(15)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility*

*lines resulting from the growth of plant materials that have been approved by the applicable public utility as part of a plan for landscaping, screening, or buffering on the public right of way shall be the responsibility of such public utility. If a public utility disturbs landscaping, screening, or buffering in a public right-of-way, private way, or easement, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If the plant materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials.*

*5-6(C)(15)(d) Property owners acknowledge that approved landscaping and trees installed and maintained in a public right-of-way, private way, or easement abutting private properties are the property of the City, and that that the City reserves the right to remove them if necessary for a transportation project without compensation, but at no cost to the property owner. Landscaping installed in an abutting public right-of-way, private way, or easement by property owners and later removed by the City shall not impact previously approved net lot area calculations for required landscaping.*

### **5-13(B)(7) Landscaping, Buffering, and Screening**

*5-13(B)(7)(a) Landscaping, screening and buffering areas shall be maintained in compliance with Articles 6-6 and 9-8 of ROA 1994 (Trees, Vegetation, and Landscaping and Weeds, Litter, and Snow) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance).*

*5-13(B)(7)(b) All landscaped areas shall be maintained with a neat and orderly appearance, which includes pruning, removal and replacement of dead or diseased plants and trees, disposal of litter, repair of damaged walls and hard surface areas, and upkeep of irrigation systems.*

*5-13(B)(7)(d) Where landscaping was installed pursuant to a Site Plan or development approval, the landscaping shall be replaced according to any landscaping and maintenance plan under that approval.*

*5-13(B)(7)(e) Trees or plants that die shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 calendar days after notice from the City. The replacement of dead vegetation is the responsibility of the property owner.*

*5-13(B)(7)(f) Street trees shall be maintained alive and healthy. Maintaining and replacing street trees or other trees planted in the public right-of-way are the responsibility of abutting property owners.*

**Applicant Response:** The required notes were on the submitted Landscape Plan.

**From:** [Armijo, Ernest M.](#)  
**To:** [Jackie Fishman](#)  
**Cc:** [Kevin DeGraauw](#)  
**Subject:** RE: Fire Station 12 Driveway Determination  
**Date:** Tuesday, July 9, 2024 8:56:42 AM

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Jackie,  
This looks good to me.



**ERNEST ARMIJO, P.E., C.F.M.**

principal engineer  
transportation

o 505.924.3991

e [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

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**From:** Jackie Fishman <fishman@consensusplanning.com>  
**Sent:** Friday, July 5, 2024 2:58 PM  
**To:** Armijo, Ernest M. <earmijo@cabq.gov>  
**Cc:** Kevin DeGraauw <kevin@va-architects.com>  
**Subject:** Fire Station 12 Driveway Determination

**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Hi Ernest –

I have expanded on my previous letter requesting your approval of our proposed driveway location for Fire Station 12. As I mentioned at the DFT meeting a few weeks ago, we are proposing to close 6 existing driveways on Central and replace with access from Shirley Street and Linn Avenue. Our peak hour trips are extremely low.

Let me know if this is sufficient or if you need additional information. We are planning to submit to DFT soon.

Thanks, and hope you have a great weekend!

Jacqueline Fishman, AICP  
Principal  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102  
P: 505.764.9801



July 5, 2024

Landscape Architecture  
Urban Design  
Planning Services

Ernest Armijo, PE, Principal Engineer  
Development Facilitation Team (DFT)  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87102

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

RE: Fire Station 12

Dear Mr. Armijo,

This letter is a follow up to the DFT meeting regarding City Fire Station 12, which will be located at 11701 Central Avenue NE. Consensus Planning, on behalf of Albuquerque Fire and Rescue, will be submitting an application to the DFT for approval of a Site Plan-Administrative.

The legal description of the site is *Lots 1 through 10 & 27 through 34 and south 50 feet of lots 35 and 36 block 6 East Central BU*. The site is located at the northeast corner of Central Avenue (an Urban Principal Arterial) and Shirley Street (Local Road), and it abuts Linn Avenue to the north. The Site Plan includes a proposed 12,497-square-foot fire station facility, parking, and landscaping on approximately 3.2 acres.

The Applicant is proposing to close six existing driveways along the property's frontage on Central Avenue and instead provide safer and more efficient access to the site from Shirley Street and Linn Avenue. A small visitor parking lot (12 spaces) will have ingress/egress from Shirley Street and fire trucks exiting the fire station will have egress to Shirley Street only. The driveway to the visitor parking lot is located approximately 83 feet from the north Central Avenue drive lane, short of the DPM's required spacing of 150 feet between site access from a Local Road to a Principal Arterial intersection. The two driveways are separated by 33.4 feet. The replacement of six driveways on Central Avenue with two driveways on Shirley Street and one driveway on Linn Avenue will increase driver, pedestrian, and transit rider safety on Central Avenue.

#### PRINCIPALS

James K. Strozier, FAICP  
Jacqueline Fishman, AICP

#### ASSOCIATES

Ken Romig, ASLA

There is no anticipated back up on Central Avenue associated with the proposed driveway locations given the low number of trips generated by a fire and rescue station (see attached Traffic Scoping form signed by Curtis Cherne on June 5, 2024). The ITE estimated peak hour trips include 8 trips in the AM peak hour and 6 trips in the PM peak hour, which was determined by Curtis Cherne to not meet the threshold for a traffic study.



The Applicant is requesting approval of the proposed driveway access from Shirley Avenue. Please let me know if you have any questions or need additional information related to this request.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jacqueline Fishman', with a long horizontal stroke extending to the right.

Jacqueline Fishman, AICP  
Principal





# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 07/2020)

**Project Title:** AFR FIRE STATION #12

Building Permit #: \_\_\_\_\_ Hydrology File #: L21D036

Zone Atlas Page: L-21-Z DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOTS (1) THROUGH (10), INCLUSIVE, LOTS (27) THROUGH (34) INCLUSIVE, AND THE SOUTHERLY 50 FEET OF LOTS (35) AND (36) IN BLOCK NUMBERED (6) OF EAST CENTRAL BUSINESS ADDITION CONTAINING 3.214 ACRES

Development Street Address: 11701 CENTRAL AVE NE

Applicant: CITY OF ALBUQUERQUE, DEPARTMENT OF MUNICIPAL DEVELOPMENT via CONSENSUS PLANNING Contact: JACKIE FISHMAN

Address: 302 EIGHTH ST NW, ALBUQUERQUE, NM 87102

Phone#: 505-764-9801 Fax#: \_\_\_\_\_

E-mail: fishman@consensusplanning.com

### Development Information

Build out/Implementation Year: 2024 Current/Proposed Zoning: MX-H / NR-SU

Project Type: New:  Change of Use:  Same Use/Unchanged:  Same Use/Increased Activity:

Change of Zoning:

Proposed Use (mark all that apply): Residential:  Office:  Retail:  Mixed-Use:

Describe development and Uses:  
NEW 11,987 SF FIRE STATION ON VACANT LOT PREVIOUSLY USED FOR RV SALES.

Days and Hours of Operation (if known): 24 HOURS A DAY/7 DAYS A WEEK (ANTICIPATED)

### Facility

Building Size (sq. ft.): 11,987 SF TOTAL

Number of Residential Units: NONE

Number of Commercial Units: NONE

### Traffic Considerations

ITE Trip Generation Land Use Code (710)- GENERAL OFFICE BUILDING, UNKNOWN FOR FIRE STATION

Expected Number of Daily Visitors/Patrons (if known):\* 8 TOTAL ACROSS FACILITY

Expected Number of Employees (if known):\* 12 FIRESTATION EMPLOYEES TOTAL

Expected Number of Delivery Trucks/Buses per Day (if known):\* +/- 1 (FEDEX UPS ETC)

Trip Generations during PM/AM Peak Hour (if known):\* 12 FOR SHIFT CHANGE AT FIRE STATION (WORST CASE), SO +/-12 TOTAL

Driveway(s) Located on: NEW PROPOSED: BOTH ON SHIRLEY ST AND LINN AVENUE, CLOSING UP 5 EXISTING DRIVEPADS ALONG CENTRAL AVE

Adjacent Roadway(s) Posted Speed: 

Street Name	CENTRAL AVE NE	Posted Speed	40 MPH
Street Name	LINN AVE AND SHIRLEY ST	Posted Speed	30 MPH

*\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.)*

**Roadway Information (adjacent to site)**

Comprehensive Plan Corridor Designation/Functional Classification: CENTRAL- COMMUNITY PRINCIPAL ARTERIAL; SHIRLEY- LOCAL; LINN- LOCAL  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: \_\_\_\_\_  
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): CITY  
22,571 (CENTRAL), <5,000 ON SHIRLEY AND LINN

Adjacent Roadway(s) Traffic Volume: (PROPOSED ACCESS POINTS) Volume-to-Capacity Ratio (v/c): \_\_\_\_\_  
(if applicable)

Adjacent Transit Service(s): BUS ROUTE 66, 777 Nearest Transit Stop(s): CENTRAL AND SHIRLEY

Is site within 660 feet of Premium Transit?: YES (RAPID RIDE ROUTE 777- STOP ON CENTRAL AND JUAN TABO JUST EAST OF SITE)

Current/Proposed Bicycle Infrastructure: UNKNOWN BUT EXISTING BIKE PATH ALONG CENTRAL? , NONE PLANNED  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: NONE EXCEPT EXISTING SIDEWALKS ON CENTRAL WILL PRESERVE THESE WITH THIS PROJECT- NO CHANGE.

**Relevant Web-sites for Filling out Roadway Information:**

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

**TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No [X]

Thresholds Met? Yes [ ] No [X]

Mitigating Reasons for Not Requiring TIS: \_\_\_\_\_ Previously Studied: [ ]

Notes:

ITE 575: Fire and Rescue Station  
 AM 8 trips  
 PM 6 trips

Curtis A Cherno  
 TRAFFIC ENGINEER

6-5-24  
 DATE

**Submittal**

The Scoping Form must be submitted as part of a Traffic Circulation Layout submittal, DRB application for site plan approval, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to [plndrs@cabq.gov](mailto:plndrs@cabq.gov) and to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov). Call 924-3362 for information.

### Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
4. Location of nearby multi-use trails, if applicable ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

**TYPE OF DEVELOPMENT:** PLAT (#of lots) \_\_\_\_\_ RESIDENCE  
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

**DEPARTMENT:** TRANSPORTATION HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

### TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)  
ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT  
APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT  
APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 10, 2024

Verlyn Miller, P.E.  
Miller Engineering Consultants, Inc  
3500 Comanche NE Bldg. F  
Albuquerque, NM 87107

**RE: AFD Fire Station 12  
11714 Linn Ave. NE  
Conceptual Grading and Drainage Plan  
Engineer's Stamp Date: no stamp  
Hydrology File: L21D036**

Dear Mr. Miller:

PO Box 1293

Based upon the information provided in your submittal received 06/28/2024, the Conceptual Grading Plan **is preliminary approved** for action by the Development Facilitation Team (DFT).

Albuquerque

**PRIOR TO BUILDING PERMIT / WORK ORDER:**

NM 87103

1. Please submit the Grading Plan to Hydrology for review and approval. This digital (.pdf) is emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) along with the Drainage Transportation Information Sheet.

[www.cabq.gov](http://www.cabq.gov)

**SHEET CG-101**

2. Verify the Zone 3 calculations for Ew, V(100-6), V(100-24), and Q(100).

**SHEET C-101**

3. Please use 1" = 20' for the scale.
4. Please number the ponds and include a label on each with the SWQV and elevation, the 100-year volume and elevation, the peak 100 year inflow and outflow, the spillway crest elevation, the spillway flow depth, and the dam top elevation.
5. Please provide the SWQV calculations for each basin draining to each pond. The stormwater quality ponds need to be sized for the areas draining to them.

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

A handwritten signature in black ink, appearing to read 'Anthony Montoya, Jr.', written in a cursive style.

Anthony Montoya, Jr., P.E.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

October 15, 2024

Chair  
Eric C. Olivas  
County of Bernalillo  
Commissioner, District 5

Vice Chair  
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City of Albuquerque  
Councilor, District 1

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Mayor

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Board Trustee

*Executive Director*  
Mark S. Sanchez

*Website*  
www.abcwua.org

Jana Miller  
Miller Engineering Consultants, Inc.  
3500 Comanche NE, Bldg. F  
Albuquerque, NM 87107

**RE: Water and Sanitary Sewer Availability Statement #240712**

**Project Name: City of Albuquerque Fire Station #12**

**Project Address: 11701 Central Ave NE**

**Legal Description: Lots 1 through 10 & 27 through 34 and south 50 feet of lots 35 and 36 Block 6 East Central BU**

**UPC: 102105644648011001**

**Zone Atlas Map: L-2-Z**

Dear Ms. Miller:

**Project Description:** The subject site is located between Central Ave and Linn Avenue east of Shirley Street, within the City of Albuquerque. The proposed development consists of approximately 3.19 acres and the property is currently zoned mixed-use and high intensity. The property lies within the Pressure Zone 5E in the Ridgecrest Trunk.

The Request for Availability indicates plans to consolidate the lot lines into one tract and build a new City of Albuquerque fire station.

**Existing Conditions:**

Water infrastructure in the area consists of the following:

- Six-inch cast iron distribution main (project #03-32-62) along Linn Avenue.
- 30-inch concrete cylinder well collector line (project #09-011-82) along Linn Avenue
- 30-inch concrete cylinder well collector line (project #09-011-82) along Shirley Street
- Eight-inch steel distribution main (project #CD 328) along Central Avenue
- Six-inch cast iron distribution main (project #10-180-75) along Central Avenue

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch concrete pipe sanitary sewer collector (project #014-105-59) along Linn Avenue.
- Eight-inch concrete pipe sanitary sewer collector (project #07-001-53) along north side of Central Avenue
- Eight-inch vitrified clay pipe sanitary sewer collector (project #01-080-72) along south side of Central Avenue

**Water Service:** New metered water service to the property can be provided via routine connection to the existing six-inch distribution main along Linn Avenue. The engineer is responsible for determining pressure losses and sizing the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and the collar removed.

**Non-Potable Water Service:** Currently, there is no non-potable infrastructure available to serve the subject property.

**Sanitary Sewer Service:** New sanitary sewer service can be provided via routine connection to the existing eight-inch collector along Linn Avenue or onto the eight-inch collector line on Central Avenue. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

**Fire Protection:** From the Fire Marshal's requirements calculated fire flow, the instantaneous fire flow requirements for the project are 1,500 gallons per minute and one fire hydrants are required. There are two existing hydrants available and one new hydrant is proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at six-inch cast iron line on Linn Avenue.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

**Cross Connection Prevention:** Per the Cross Connection Prevention and Control Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations, or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration, or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker, or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches, possible



connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source, or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority recommends that all backflow (containment) devices be located above ground just outside the easement or road right-of-way, the containment backflow device can be installed within the building if there are no tees, branches, possible connection fittings, or openings between the reduced principal backflow prevention assembly and the service connection unless protected by another reduced pressure backflow prevention assembly device. Contact Cross Connection at (505) 289-3465 for more information.

**Pretreatment – Fats, Oils, and Greases:** The development is for commercial use and has the potential to discharge Fats, Oils, Grease, and/or Solids (FOGS) to the sanitary sewer and/or falls under one of the applicable users in the SUO:

FOGS Applicability SUO Section 3-3-2 A.:

Users "...such as food service establishments, commercial food processors, automotive shops, auto wash racks, car washes, vehicle fueling stations, septic tank pumpers, grease rendering facilities, breweries/distilleries, bottling plants, commercial and industrial laundries, slaughterhouses & meat packing establishments (fish, fowl, meat, curing, hide curing), oil tank firms and transporters..."

Such Users must comply with all FOGS discharge requirements defined in SUO Section 3-3-2 and FOGS Policy including but not limited to:

1. Installation of an adequately sized Grease Interceptor (GI) approved by the appropriate code enforcement authority (City of Albuquerque, and/or Bernalillo County)
  - a. Interceptors and/or Separators are required for dumpster pads, outdoor pools, and outdoor washdown areas that have the potential to discharge grease, sand, solids, and flammable liquids to the sanitary sewer. The pad shall be installed at an elevation higher than the surrounding grade. It is not required for dumpster pads to have a sewer connection.

- b. Placement of Interceptors in drive-thru or traffic lanes is not allowed.
2. All FOGS sources within the facility are plumbed to the GI as required by the appropriate plumbing code.
3. Long-term Best Management Practices (BMP), and GI maintenance such as pumping and manifest requirements.
4. Unobstructed access to inspections of the facility and records.

**Pro Rata:** Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

**Design and Construction:** The design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Connection Permit process. Construction must be performed by a licensed (GF9 or GF98) and bonded public utility contractor.

**Closure:** This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at [kcadena@abcwua.org](mailto:kcadena@abcwua.org) if you have questions regarding the information presented herein or need additional information.

Sincerely,



Mark S. Sanchez  
Executive Director







Enclosures: Infrastructure Maps

f/ **Availability Statement #240712**

# 240712 - Water



## Legend

-  Hydrant
-  Project Location
- Water Pipe**
- Subtype**
-  Distribution Line
-  Hydrant Leg
-  Well Collector Line
- Fire Flow Analysis Points**
-  Analysis Point (1)



# 240712 - Sanitary Sewer



## Legend

-  Sewer Manhole
-  Project Location

## Sewer Pipe

### Subtype

-  COLLECTOR



PUBLIC NOTICE DOCUMENTATION

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

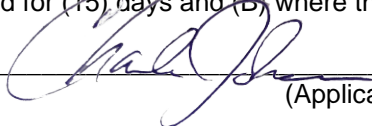
4. TIME

Signs must be posted from October 17, 2024 To November 7, 2024

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
\_\_\_\_\_  
(Applicant or Agent)

October 15, 2024  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_

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## Fire Station 12\_Site Plan DFT Application

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**From** Charlene Johnson <Johnson@consensusplanning.com>

**Date** Tue 10/15/2024 2:33 PM

**To** eastgatewaycoalition@gmail.com <eastgatewaycoalition@gmail.com>; JULIE DREIKE <dreikeja@comcast.net>; Sarah Delgado <SASDelgado748@gmail.com>; Singing Arrow <abqsana@gmail.com>; Meg Beck <123mbeck@gmail.com>

**Cc** Jackie Fishman <fishman@consensusplanning.com>

 1 attachments (6 MB)

FS 12\_CABQ-DFT Neighborhood Packet 10.15.2024.pdf;

Dear Neighbors,

This email is intended to provide notification that Consensus Planning has submitted the application to the Development Facilitation Team (DFT) for a Site Plan-Administrative for the new Fire Station 12. The property is located at 11701 Central Avenue SE (see attached Zone Atlas). The site is located southwest of the existing Fire Station 12, which was determined by the City to be undersized and inadequate for providing public safety services.

The Applicant proposes to develop the site for a new modern Fire Station 12, which became a permissive use in the Mixed Use-High (MX-H) zone with the 2024 IDO Amendments. This project was initially slated to be heard by the Environmental Planning Commission (EPC), but was withdrawn due to the changes in the IDO. You were also notified about the previous Site Plan-Administrative application, which was heard on August 7, 2024.

The DFT meeting for this application is anticipated to be on **October 23, 2024 starting at 9:00 am**. Members of the public may join the meeting. More information can be found on the DFT website - <https://www.cabq.gov/planning/development-review-services/site-plan-admin-dft>

If you want additional information or have any questions, please contact me or Jackie Fishman fishman@consensusplanning.com via email or by phone at (505) 764-9801.

Attached: Application Information Packet including Site Plan

Sincerely,

**Charlene Johnson, AICP**  
**Senior Planner**  
**Consensus Planning, Inc.**

302 Eighth Street, NW  
Albuquerque, NM 87102  
Phone: 505 764-9801



Microsoft Outlook

Reply Reply all Forward ...

To: eastgatewaycoalition@gmail.com; Sarah Delgado <SASDelgado748@gmail.com>; Singing Arrow <abqsana@gmail.com>; **+1 other**

Tue 10/15/2024 2:33 PM

Fire Station 12\_Site Plan DFT ...  
Outlook Item

**Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:**

[eastgatewaycoalition@gmail.com](mailto:eastgatewaycoalition@gmail.com) ([eastgatewaycoalition@gmail.com](mailto:eastgatewaycoalition@gmail.com))

[Sarah\\_Delgado\\_\(SASDelgado748@gmail.com\)](mailto:Sarah_Delgado_(SASDelgado748@gmail.com))

[Singing\\_Arrow\\_\(abqsana@gmail.com\)](mailto:Singing_Arrow_(abqsana@gmail.com))

[Meg\\_Beck\\_\(123mbeck@gmail.com\)](mailto:Meg_Beck_(123mbeck@gmail.com))

Subject: Fire Station 12\_Site Plan DFT Application

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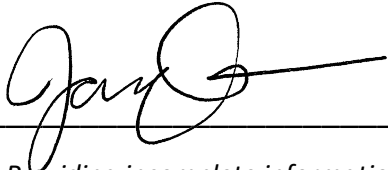


**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



<b>PART I - PROCESS</b>	
Use <a href="#">Table 6-1-1</a> in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type: Site Plan-Administrative	
Decision-making Body: Development Facilitation Team (DFT)	
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <small>Type text here</small>
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <b>Note: if yes, see second page</b>
<b>PART II – DETAILS OF REQUEST</b>	
Address of property listed in application: 11701 Central Avenue	
Name of property owner: City of Albuquerque	
Name of applicant: City of Albuquerque Fire and Rescue	
Date, time, and place of public meeting or hearing, if applicable: October 23, 2024 at 9:00 am	
Online meeting via Zoom unless otherwise noted by the DFT.	
Address, phone number, or website for additional information: fishman@consensusplanning.com or johnson@consensusplanning.com	
<b>PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE</b>	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input checked="" type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
<b>IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO <a href="#">SUBSECTION 14-16-6-4(K)</a> OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.</b>	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature)      October 15, 2024 (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



<b>PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY</b>
Provide a site plan that shows, at a minimum, the following:
<input checked="" type="checkbox"/> a. Location of proposed buildings and landscape areas.
<input checked="" type="checkbox"/> b. Access and circulation for vehicles and pedestrians.
<input checked="" type="checkbox"/> c. Maximum height of any proposed structures, with building elevations.
<input checked="" type="checkbox"/> d. For residential development: Maximum number of proposed dwelling units.
<input checked="" type="checkbox"/> e. For non-residential development:
<input checked="" type="checkbox"/> Total gross floor area of proposed project.
<input checked="" type="checkbox"/> Gross floor area for each proposed use.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice\*: \_\_\_\_\_

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [§14-16-6-4\(K\) Public Notice](#). This notice is being provided to the Neighborhood Representatives on the attached list from the City of Albuquerque’s Office of Neighborhood Coordination.

### Project Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* \_\_\_\_\_  
Location Description \_\_\_\_\_
2. Property Owner\* \_\_\_\_\_
3. Agent/Contractor [if other than the property owner] \_\_\_\_\_
4. Application(s) Type\* per IDO [Table 6-1-1](#)
  - Historic Certificate of Appropriateness – Minor
  - Sign Permit
  - Alternative Signage Plan
  - Wall/Fence Permit
  - Site Plan – Administrative

Summary of project/request\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

5. This application will be decided by staff. Please contact [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860 and select option for Development Review Services.

6. Where more information about the project can be found\*:

Preferred project contact information:

Name: \_\_\_\_\_

Email: \_\_\_\_\_

Phone: \_\_\_\_\_

[Note: Items with an asterisk (\*) are required.]

- Attachments:
  - Neighborhood Association Representative Contact List from the City’s Office of Neighborhood Coordination\*
  - Others: \_\_\_\_\_
- Online website or project page: \_\_\_\_\_

**Project Information Required for Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>1</sup> \_\_\_\_\_
2. Project Illustrations, as relevant\*<sup>2</sup>

- Architectural drawings
- Elevations of the proposed building(s)
- Other illustrations of the proposed application

*See attachments or the website/project page noted above for the items marked above*

3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)	Variance(s) <sup>3</sup>	Waiver(s) <sup>4</sup>
Explanation*:		
_____		
_____		
_____		

4. **For Site Plan – Administrative Applications only\***,

Attach the proposed site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. \*
- b. Access and circulation for vehicles and pedestrians. \*
- c. Maximum height of any proposed structures, with building elevations. \*
- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

<sup>1</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

<sup>2</sup> While not required, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project.

<sup>3</sup> Separate notice is required for Variance Applications.

<sup>4</sup> Separate notice is required for Waiver Applications.

[Note: Items with an asterisk (\*) are required.]

Pre-submittal Neighborhood Meeting date, if it occurred: \_\_\_\_\_

Brief Meeting Summary:

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[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

**Additional Information from IDO Zoning Map<sup>5</sup>:**

1. Area of Property [typically in acres] \_\_\_\_\_
2. IDO Zone District(s) \_\_\_\_\_
3. Overlay Zone(s) [if applicable] \_\_\_\_\_
4. Center or Corridor Area [if applicable] \_\_\_\_\_
5. Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice for a Site Plan – Administrative application that proposes more than 100 multi-family dwelling units or more than 50,000 s.f. of nonresidential development. To request a facilitated meeting, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3860 and select the option for “Development Review Services”.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map:**

<https://tinyurl.com/idozoningmap>

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<sup>5</sup> Available here: <https://tinyurl.com/idozoningmap>

# Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

## **Notificación de Acceso Lingüístico.**

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

**語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。**

**Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.**

**Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaaszil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihgii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.**

11701 CENTRAL\_ Public Notice Inquiry Sheet Submission

From Office of Neighborhood Coordination <onc@cabq.gov>
Date Tue 10/15/2024 12:51 PM
To Charlene Johnson <Johnson@consensusplanning.com>

1 attachments (715 KB)
IDOZoneAtlasPage\_L-21-Z Highlighted.pdf;

PLEASE NOTE:
The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Table with 10 columns: Association Name, Association Email, First Name, Last Name, Email, Address Line 1, City, State, Zip, Mobile Phone. Rows include District 9 East Gateway Coalition and Singing Arrow NA.

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: https://www.cabq.gov/planning/online-planning-permitting-applications with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
Please use this online link to find the required forms you will need to submit your permit application.
The Checklist form you need for notifying neighborhood associations can be found here:
The Administrative Decision form you need for notifying neighborhood associations can be found here:
Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):
http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:
https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table

Thank you,

Suzie



Suzie Flores
Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office
E-mail: suzannaflores@cabq.gov
Website: www.cabq.gov/neighborhoods

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**From:** webmaster@cabq.gov <webmaster@cabq.gov>  
**Sent:** Tuesday, October 15, 2024 11:24 AM  
**To:** Office of Neighborhood Coordination <johnson@consensusplanning.com>  
**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Subject:** Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Public Notice Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Development Facilitation Team

Contact Name

Charlene Johnson

Telephone Number

5057649801

Email Address

[johnson@consensusplanning.com](mailto:johnson@consensusplanning.com)

Company Name

Consensus Planning, Inc.

Company Address

302 8th St. NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

LOTS 1 THRU 10 & 27 THRU 34 & S 50FT OF LOTS 35 & 36 BLK 6 EAST CENTRAL BU

Physical address of subject site:

11701 CENTRAL ALBUQUERQUE NM 87123

Subject site cross streets:

Shirley and Central Avenue

Other subject site identifiers:

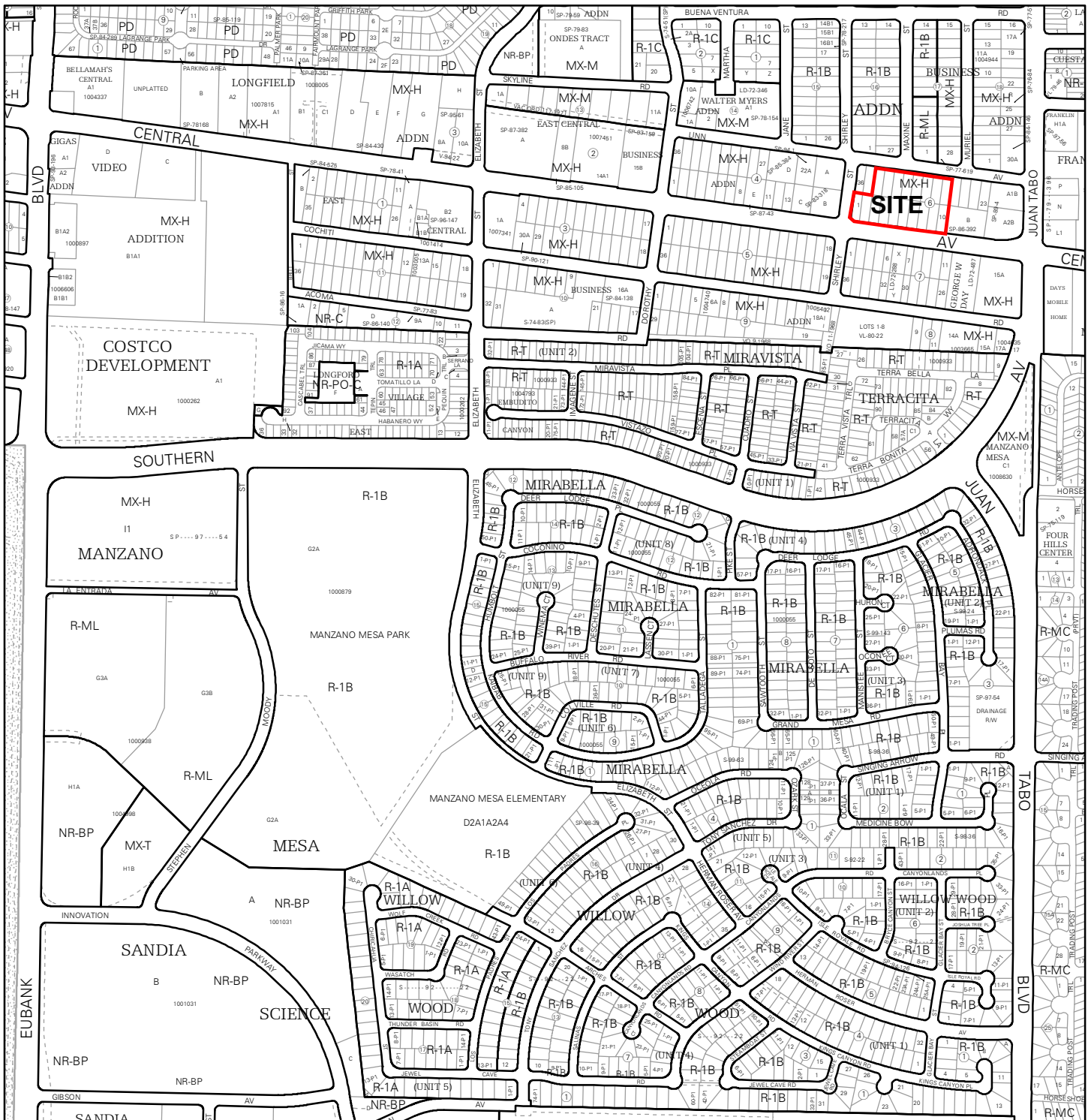
This site is located on the following zone atlas page:

L-21-Z

Captcha

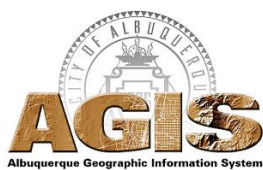
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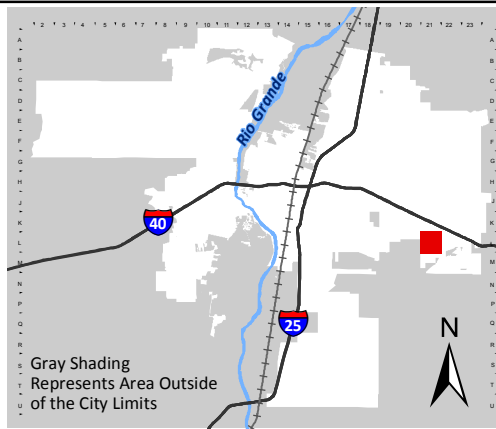


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018

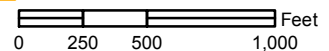


IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**L-21-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



**SITE DATA**

LEGAL DESCRIPTION: LOTS (1) THROUGH (10), INCLUSIVE, LOTS (27) THROUGH (34) INCLUSIVE, AND THE SOUTHERLY 50 FEET OF LOTS (35) AND (36) IN BLOCK NUMBERED (6) OF EAST CENTRAL BUSINESS ADDITION CONTAINING 3.214 ACRES (140,000 SF)  
UPC: 10210564468011001  
ZONE ATLAS PAGE: L-21-Z  
EXISTING ZONING: MX-H  
PROPOSED LAND USE: FIRE STATION  
PEDESTRIAN AND VEHICLE ACCESS: PRIMARY VEHICULAR AND PEDESTRIAN ACCESS IS FROM CENTRAL AVENUE, WITH PEDESTRIAN CONNECTIONS FROM THE SIDEWALK TO THE BUILDING.  
BUS ROUTES: ROUTE 66/777 ALONG CENTRAL, WITH A PEAK FREQUENCY OF 15 MINUTES

**PARKING REQUIREMENTS**

PARKING CALCULATIONS:  
PER IDO TABLE 5-5-1 MINIMUM OFF STREET PARKING REQUIREMENTS:  
• FIRE STATION OR POLICE STATION: 2 SPACES/ 1,000 SQ. FT. GFA

TOTAL REQUIRED:  
FIRE STATION #12- 12,509 SF (12,509/1000)\*2 = 25 SPACES

TOTAL PROVIDED:  
40 SPACES TOTAL ON SITE, OF WHICH 2 ARE HC ACCESSIBLE

PER 5-5(D)(1):  
REQUIRED/ PROVIDED: 1/4

PER TABLE 5-5-5 MINIMUM BICYCLE PARKING REQUIREMENTS:  
3 SPACES OR 10% OF REQUIRED OFF STREET PARKING SPACES WHICHEVER IS GREATER IS REQUIRED.

BICYCLE SPACES  
REQUIRED/ PROVIDED: 3/6

PROJECT NUMBER: PR-2024-010705  
Application Number: SI-2024-01086

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Approval table with columns for Department, Name, and Date. Includes Traffic Engineering, Parks and Recreation, Hydrology, Code Enforcement, and Planning Department.

**VICINITY MAP**

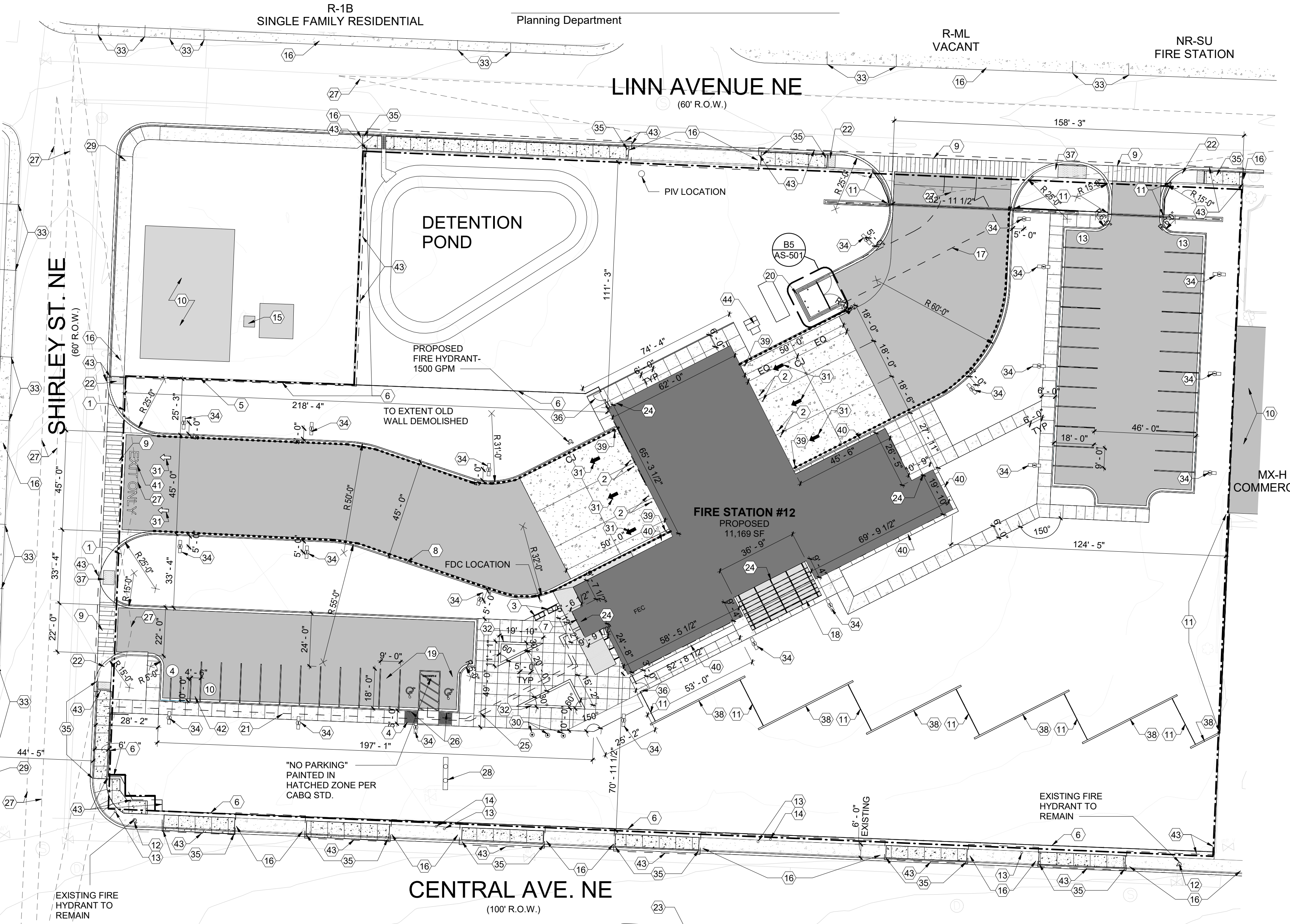


ZONE ATLAS L-21-Z

SHEET KEYNOTES table with 44 numbered items detailing construction specifications such as signs, fences, pavement, and landscaping.

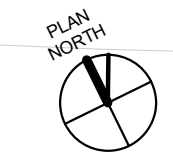
**GENERAL SHEET NOTES**

- 1. ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
- 2. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS...
- 3. ALL INTERNAL SIDEWALKS SHALL BE 5 FEET IN WIDTH UNLESS OTHERWISE NOTED.
- 4. ONSITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT...
- 5. TRANSIT ROUTES: ROUTE 66 AND ROUTE 777 ON CENTRAL AVENUE.
- 6. CONCRETE CONTROL JOINT SPACING SHOULD MATCH ADJACENT WIDTH.
- 7. EXTERIOR LIGHT POLES AT FIRE TRUCK DRIVEWAYS TO BE MIN. 5'-0" AWAY FROM CURB.
- 8. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER DPM STANDARD DETAILING.



**A1 OVERALL SITE PLAN**

Scale: 1" = 30'-0"



AS-BUILT INFORMATION table with columns for DATE, CONTRACTOR, and WORK STACKED BY.

BENCH MARKS table with columns for DATE, BENCHMARK, and SURVEY INFORMATION.

FIELD NOTES table with columns for DATE, NO., and SURVEY INFORMATION.

REMARKS BY table with columns for DATE, NO., and REMARKS.



**LEGEND**

- PROPOSED LIGHT POLE
- PROPOSED BUILDING
- EXISTING BUILDING
- PAVED ASPHALT
- PAVED CONCRETE
- LANDSCAPE AREA
- STEEL ORNAMENTAL FENCE
- STEEL GATE
- PROPERTY LINE



**CITY OF ALBUQUERQUE**  
CAPITAL IMPLEMENTATION PROGRAM

**FIRE STATION 12**  
11701 Central Ave NE Albuquerque, NM 87123

Table with project information including Drawing Title (SITE PLAN), Design Review Committee, City Engineer Approval, Issue Date (AUGUST 2024), City Project No. (636793), and Sheet (DFT-AS-101).

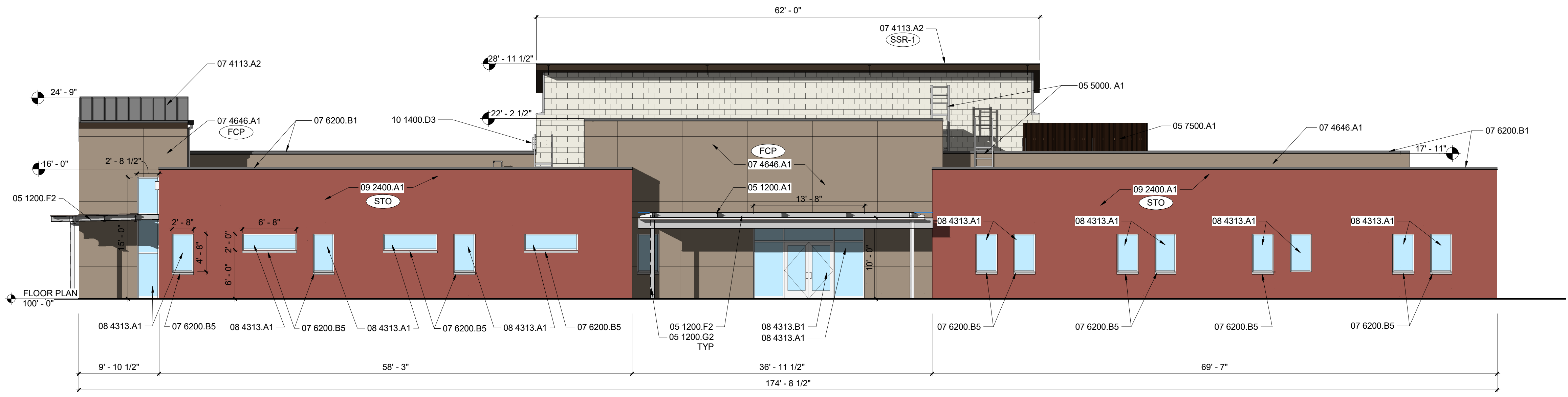
PROJECT NO.: 636793

D

C

B

A



**C1 SOUTHEAST ELEVATION**  
Scale: 1/8" = 1'-0"

**GENERAL SHEET NOTES**

- ALL EXTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES, DOORS, AND EXPOSED STEEL BEAMS AND COLUMNS AND DOOR STOPS SHALL BE PAINTED.
- REFER COLOR & MATERIAL SCHEDULE FOR STUCCO AND CMU COLORS.
- REFER CIVIL SHEETS FOR LOCATIONS OF DOWNSPOUTS THAT WILL BE CONNECTED TO STORM DRAIN SYSTEM.

**REFERENCE KEYNOTES**

04 2200.C5	12" BURNISHED FACE CMU
04 2200.D2	4" CMU VENEER - BURNISHED FACE
05 1200.A1	W SHAPE STEEL MEMBER - REFER STRUCTURAL
05 1200.F2	TAPERED STEEL BEAM - REFER STRUCTURAL
05 1200.G2	TUBE STEEL COLUMN - REFER STRUCTURAL
05 5000.A1	STEEL ROOF ACCESS LADDER- PAINT
05 7500.A1	PERFORATED METAL PANEL
07 4113.A2	PREFINISHED STANDING SEAM METAL ROOF PANEL
07 4646.A1	FIBER-CEMENT SIDING
07 6200.B1	COPING
07 6200.B5	PRE-FINISHED METAL FLASHING AT SILL
08 3323.A4	OVERHEAD COILING DOOR - ELECTRIC MOTOR OPERATED
08 3613.B2	ALUMINUM & GLASS SECTIONAL DOOR
08 4313.A1	ALUMINUM FRAMED STORFRONT
08 4313.B1	GLAZED ALUMINUM DOOR
08 4313.B2	ALUMINUM STORFRONT DOOR FRAME
08 4523.A1	FIBERGLASS SANDWICH PANEL SYSTEM
09 2400.A1	7/8" ELASTOMERIC SYNTHETIC STUCCO SYSTEM
10 1400.D3	BUILDING IDENTIFICATION LETTERS - 12" HIGH

**COLOR AND MATERIAL SCHEDULE - ELEVATIONS**

CODE	MATERIAL	STYLE	COLOR
<b>EXTERIOR FINISHES</b>			
CMU-1	BURNISHED - CMU	BURNISHED BLOCK	SEASHORE (LIGHT GREY)
CMU-2	CMU	SMOOTH	SEASHORE (LIGHT GREY)
STO	STUCCO 01	SAND STUCCO FINISH	BOLD BRICK - SW 6327 (RED)
FCP	FIBER CEMENT PANEL	SMOOTH	MOTH WING - SW 9174 (NEUTRAL TAN)
PC-1	METAL WALL COPING CAP	METAL	BURNISHED SLATE (CHARCOAL GREY)
SSR-1	STANDING SEAM METAL ROOF	RAWHIDE	BURNISHED SLATE (CHARCOAL GREY)
STEEL-1	SUNSHADE STRUCTURAL STEEL	MATTE	CASHMERE - DEC758 (LIGHT TAN)
AL-1	ALUMINUM FRAMED OPENINGS	EXTERIOR: TRIFAB VG451T INTERIOR: TRIFAB 450	CLEAR ANODIZED ALUMINUM (SILVER)
OH1	HIGH SPEED OVERHEAD DOOR	MODEL #: EPI 300	RAL 7012 - BASALT GREY (DARK GREY)
OH2	OVERHEAD SECTIONAL DOOR	MODEL #: 904U	CLEAR ANODIZED ALUMINUM (SILVER)
HM-D	HOLLOW METAL DOORS AND FRAMES	MATTE	GRAY WOLF - DE6354 (FLAT GREY)

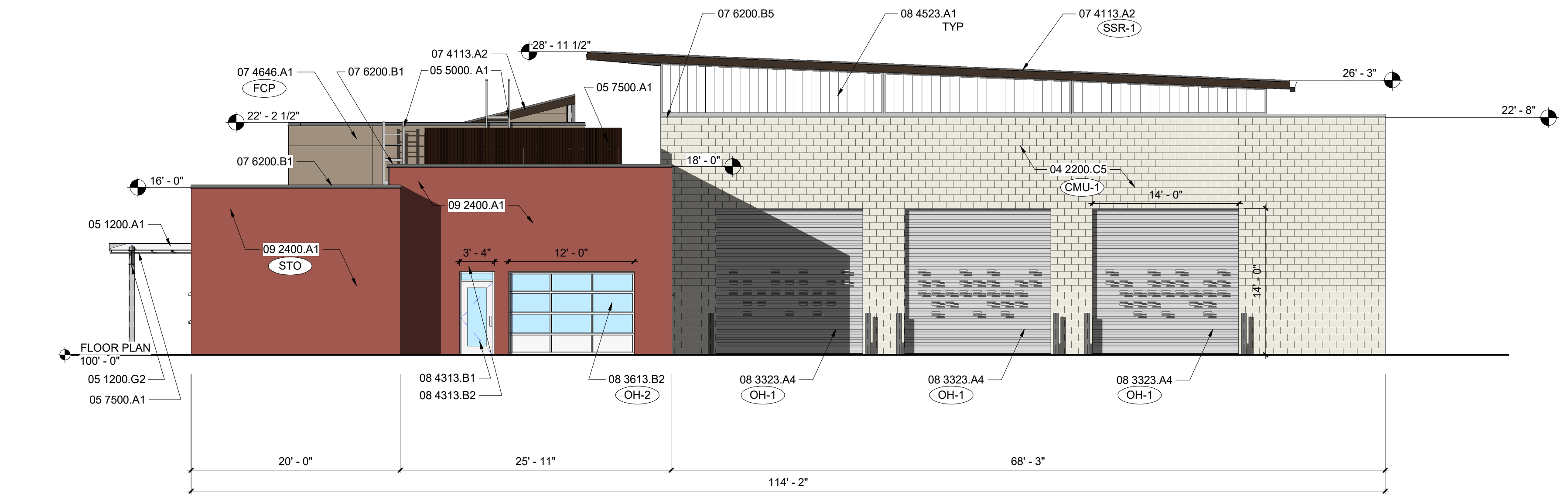
**VIGIL & ASSOCIATES**  
ARCHITECTURAL GROUP, P.C.  
4477 Irving NW, Suite A  
Albuquerque, New Mexico 87114  
Ph: 505.890.5030 - Fax: 505.890.5031  
www.va-architects.com

**CITY OF ALBUQUERQUE**  
CAPITAL IMPLEMENTATION PROGRAM  
**FIRE STATION 12**  
11701 Central Ave NE Albuquerque, NM 87123

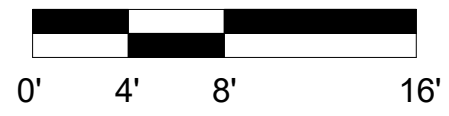
Drawing Title: **EXTERIOR ELEVATIONS**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

Issue Date: **AUGUST 2024** City Project No. **636793** Sheet **DFT-A-201**



**A1 NORTHEAST ELEVATION**  
Scale: 1/8" = 1'-0"



City of Albuquerque Electronic Stamp

AS-BUILT INFORMATION	
CONTRACTOR	DATE
BENCH MARKS	
NO.	DATE
SURVEY INFORMATION	
BY	DATE
FIELD NOTES	
NO.	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE



**SEAL**

NO.	DATE	REMARKS	BY	DATE	DATE
1	09.10.2024	Addendum #1			

**100% CONSTRUCTION DOCUMENTS**

Designed By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Drawn By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Checked By: \_\_\_\_\_ Date: \_\_\_\_\_

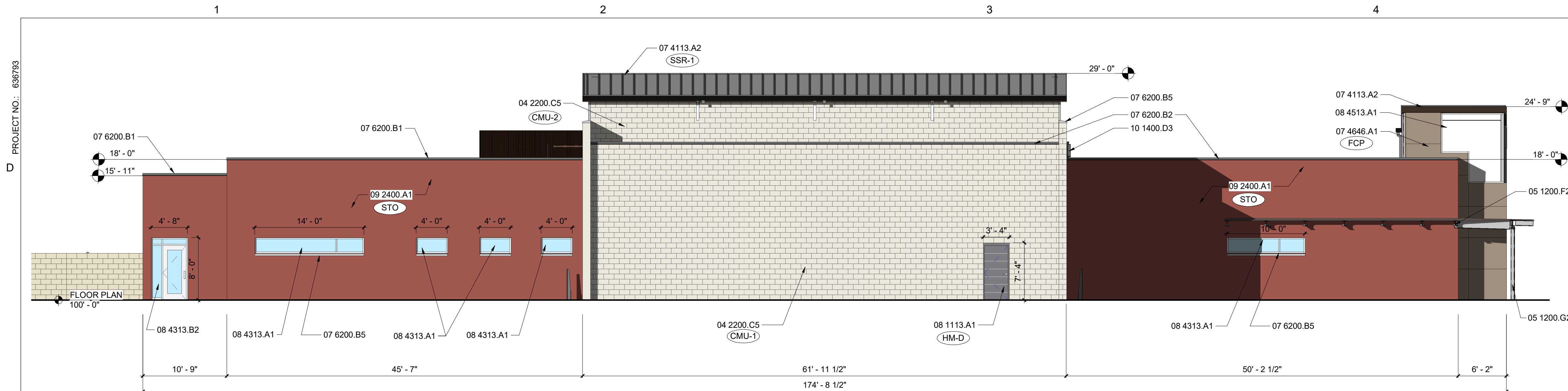
1

2

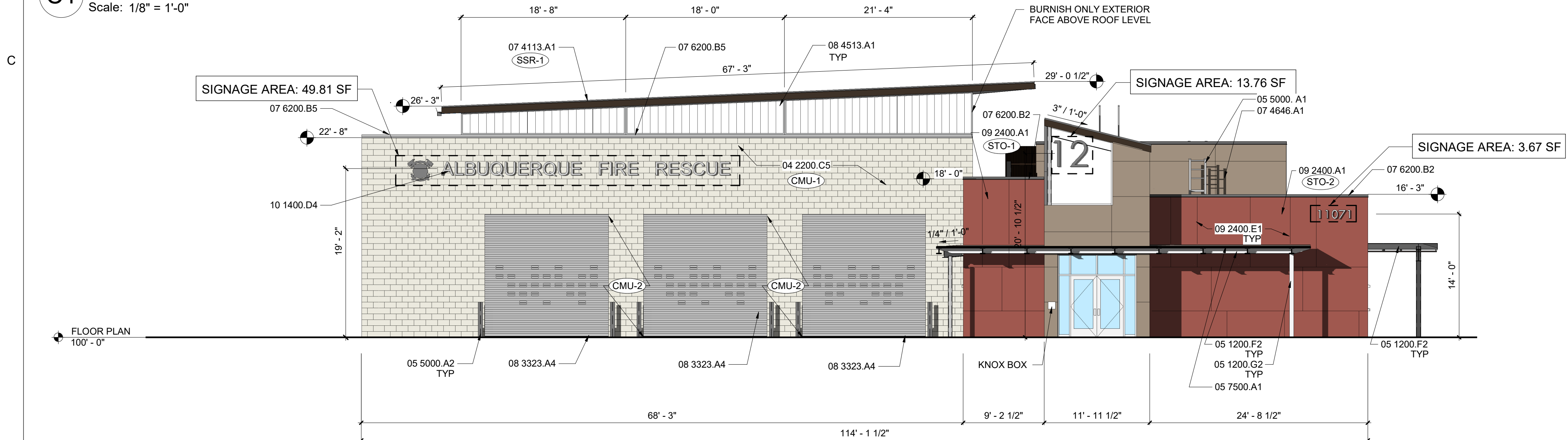
3

4

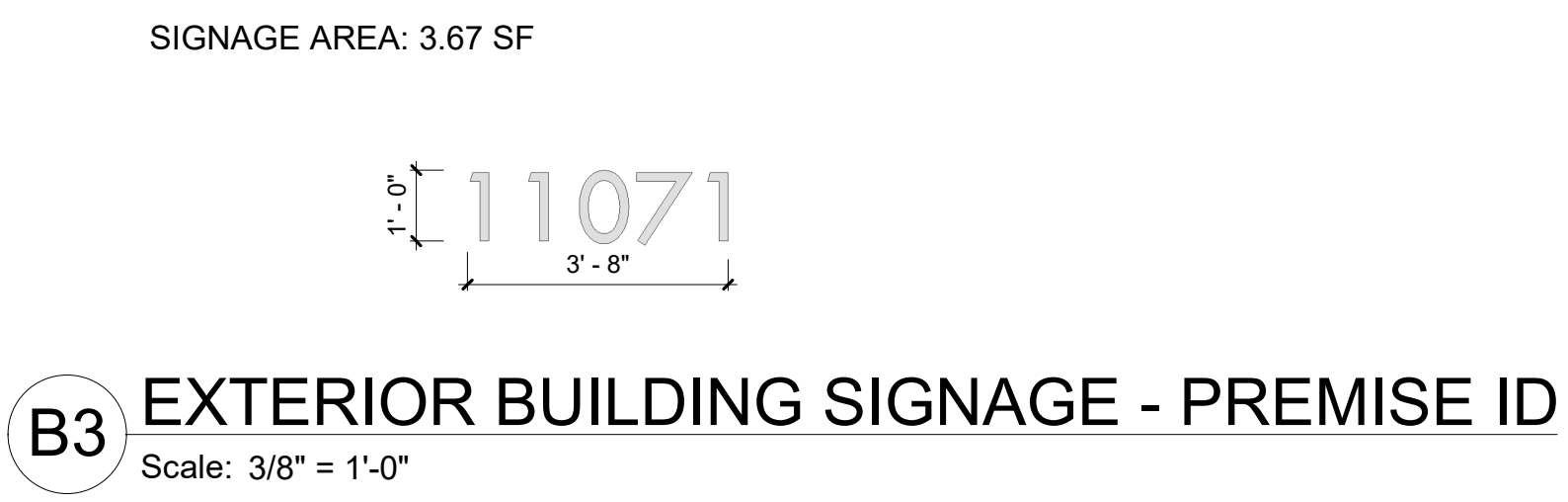
5



**C1 NORTHWEST ELEVATION**  
Scale: 1/8" = 1'-0"



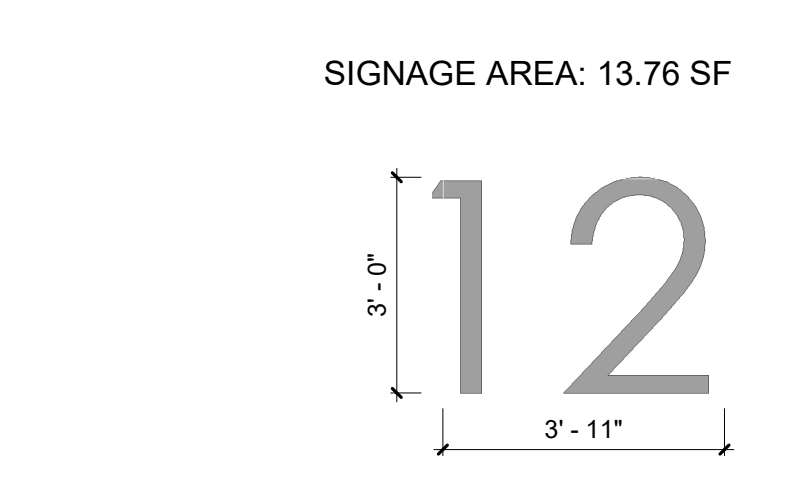
**B1 SOUTHWEST ELEVATION**  
Scale: 1/8" = 1'-0"



**B3 EXTERIOR BUILDING SIGNAGE - PREMISE ID**  
Scale: 3/8" = 1'-0"



**A1 EXTERIOR BUILDING SIGNAGE - FIRE STATION**  
Scale: 3/8" = 1'-0"



**A3 EXTERIOR BUILDING SIGNAGE - FS 12**  
Scale: 3/8" = 1'-0"



**GENERAL SHEET NOTES**

- ALL EXTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES, DOORS, AND EXPOSED STEEL BEAMS AND COLUMNS AND DOOR STOPS SHALL BE PAINTED.
- REFER COLOR & MATERIAL SCHEDULE FOR STUCCO AND CMU COLORS.
- REFER CIVIL SHEETS FOR LOCATIONS OF DOWNSPOUTS THAT WILL BE CONNECTED TO STORM DRAIN SYSTEM.

**REFERENCE KEYNOTES**

04 2200.C5	12" BURNISHED FACE CMU
05 1200.F2	TAPERED STEEL BEAM- REFER STRUCTURAL
05 1200.G2	TUBE STEEL COLUMN - REFER STRUCTURAL
05 5000.A1	STEEL ROOF ACCESS LADDER- PAINT
05 5000.A2	WIDE FLANGE STEEL BOLLARD- REFER TO DETAILS
05 7500.A1	PERFORATED METAL PANEL
07 4113.A1	STANDING SEAM METAL ROOF SYSTEM
07 4113.A2	PRE-FINISHED STANDING SEAM METAL ROOF PANEL
07 4646.A1	FIBER-CEMENT SIDING
07 6200.B1	COPING
07 6200.B2	PRE-FINISHED METAL COPING
07 6200.B5	PRE-FINISHED METAL FLASHING AT SILL
08 1113.A1	HOLLOW METAL DOOR AND FRAME
08 323.A4	OVERHEAD COILING DOOR - ELECTRIC MOTOR OPERATED
08 4313.A1	ALUMINUM FRAMED STORFRONT
08 4313.B2	ALUMINUM STORFRONT DOOR FRAME
08 4513.A1	POLYCARBONATE PANEL SYSTEM
09 2400.A1	7/8" ELASTOMERIC SYNTHETIC STUCCO SYSTEM
09 2400.E1	STUCCO CONTROL JOINT
10 1400.D3	BUILDING IDENTIFICATION LETTERS - 12" HIGH
10 1400.D4	BUILDING IDENTIFICATION LETTERS - 24" HIGH

**COLOR AND MATERIAL SCHEDULE - ELEVATIONS**

CODE	MATERIAL	STYLE	COLOR
<b>EXTERIOR FINISHES</b>			
CMU-1	BURNISHED - CMU	BURNISHED BLOCK	SEASHORE (LIGHT GREY)
CMU-2	CMU	SMOOTH	SEASHORE (LIGHT GREY)
STO	STUCCO 01	SAND STUCCO FINISH	BOLD BRICK - SW 6327 (RED)
FCP	FIBER CEMENT PANEL	SMOOTH	MOTH WING - SW 9174 (NEUTRAL TAN)
PC-1	METAL WALL COPING CAP	METAL	BURNISHED SLATE (CHARCOAL GREY)
SSR-1	STANDING SEAM METAL ROOF	RAWHIDE	BURNISHED SLATE (CHARCOAL GREY)
STEEL-1	SUNSHADE STRUCTURAL STEEL	MATTE	CASHMERE - DEC758 (LIGHT TAN)
AL-1	ALUMINUM FRAMED OPENINGS	EXTERIOR: TRIFAB VG451T INTERIOR: TRIFAB 450	CLEAR ANODIZED ALUMINUM (SILVER)
OH1	HIGH SPEED OVERHEAD DOOR	MODEL #: EPI 300	RAL 7012 - BASALT GREY (DARK GREY)
OH2	OVERHEAD SECTIONAL DOOR	MODEL #: 904U	CLEAR ANODIZED ALUMINUM (SILVER)
HM-D	HOLLOW METAL DOORS AND FRAMES	MATTE	GRAY WOLF - DE6354 (FLAT GREY)

City of Albuquerque Electronic Stamp

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE
WORK STACKED BY	DATE	NO.	DATE	NO.	DATE
ACCEPTANCE BY	DATE	NO.	DATE	NO.	DATE
FIELD VERIFICATION BY	DATE	NO.	DATE	NO.	DATE
REVISIONS BY	DATE	NO.	DATE	NO.	DATE
CORRECTED BY	DATE	NO.	DATE	NO.	DATE
RECORDED BY	DATE	NO.	DATE	NO.	DATE



**CITY OF ALBUQUERQUE**  
CAPITAL IMPLEMENTATION PROGRAM  
**FIRE STATION 12**  
11701 Central Ave NE Albuquerque, NM 87123

Drawing Title: **EXTERIOR ELEVATIONS**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Issue Date:	City Project No.	Sheet	
<b>AUGUST 2024</b>	<b>636793</b>	<b>DFT-A-202</b>	