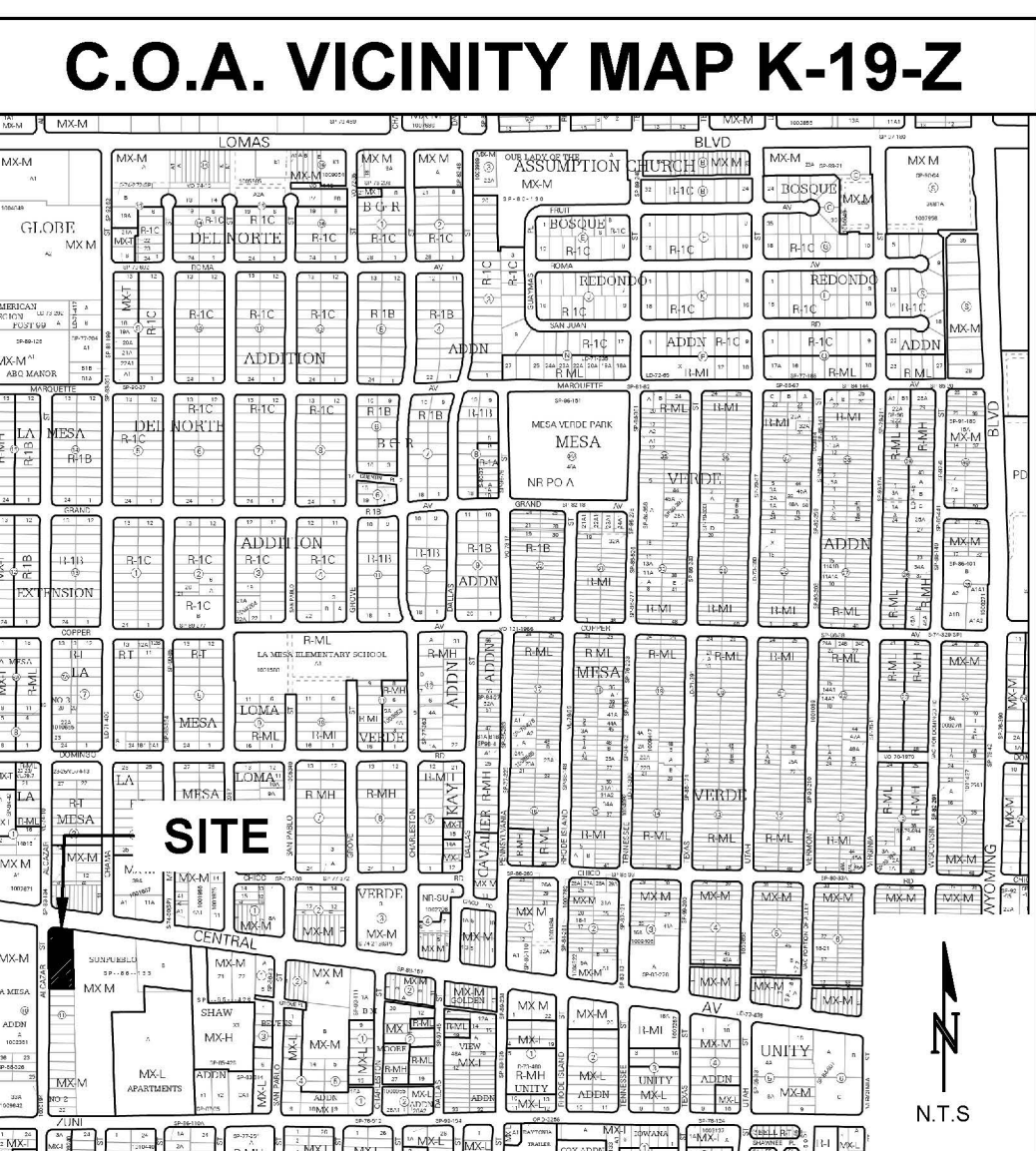


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Engineer

SOMOS

7200 CENTRAL AVE. SE ALBUQUERQUE, 87108



PROJECT INFORMATION

LEGAL DESCRIPTION:
TRACT A-1, BLOCK 11, LA MESA NO. 2 SUBDIVISION, AS SHOWN ON THE REPLAT OF LOTS 1-8 AND LOT A, BLOCK 11, LA MESA NO. 2, RECORDED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON NOVEMBER 18, 2013, IN BOOK 2013C, PAGE 130, DOCUMENT NO. 2013124811.

SITE AREA: 0.9494 ACRES

ZONING: MX-M

BUILDING CALCULATIONS: GROSS FLOOR AREA (GFA)=64,380 SF ±
1-BEDROOM UNITS= 70
LEASING OFFICE= 500 SF
COMMERCIAL= 1,700 SF

OPEN SPACE CALCULATIONS:
UC-MIS-PT - OPENSPACE REQUIREMENTS
225 SQUARE FEET x 1 BED - 15,750 SF
50% MAIN STREET CORRIDOR REDUCTION - 7,875 SF

REQUIRED: 7,875 SF
PROVIDED: 10,853 SF

PARKING CALCULATIONS:

SEE TABLE THIS SHEET

NOTE: COMMERCIAL SPACE MAY BE COMMERCIAL SERVICE, COMMERCIAL RETAIL, OR A COMBINATION OF BOTH. THEREFORE, THE PARKING CALCULATION USED BELOW IS BASED ON COMMERCIAL SERVICES, WHICH REQUIRES MORE PARKING THAN COMMERCIAL RETAIL.

APPLICABLE PARKING REDUCTIONS
MULTI-FAMILY UNITS: 5-S(C)(5)(d)(1&2) 40% PROXIMITY TO TRANSIT REDUCTION
LEASING OFFICE: 5-S(C)(5)(d)(1&2) 40% PROXIMITY TO TRANSIT REDUCTION
COMMERCIAL SERVICES: 5-S(C)(5)(d) @ 50% PREMIUM TRANSIT REDUCTION

APPLICABLE PARKING CREDITS
5-S(C)(6)(b) 1 VAN POOL PARKING x 7 SPACES = 7 SPACES
5-S(C)(6)(c) SHARED VEHICLE PROGRAM x 4 SPACES = 4 SPACES
1 PARKING SPACE TO BE DESIGNATED AS "CAR SHARING PARKING ONLY" AND TO BE MADE PART OF A CAR SHARING PROGRAM ESTABLISHED BY THE OWNER DURING DEVELOPMENT OF THE PROJECT.
TOTAL CREDITS = 11

TOTAL REQUIRED: 33 SPACES
TOTAL PROVIDED: 37 SPACES
(INCLUDES 9 ADA, 3 COMPACT, AND 5 ON-STREET)

ADA REQUIRED: 2 SPACES (1 VAN SPACE) (PER 26-50 REQUIRED PARKING)
ADA PROVIDED: 9 SPACES (3 VAN SPACES)

EV READY REQUIRED: 2 SPACES (5% OF REQUIRED PARKING)
EV READY PROVIDED: 2 SPACES

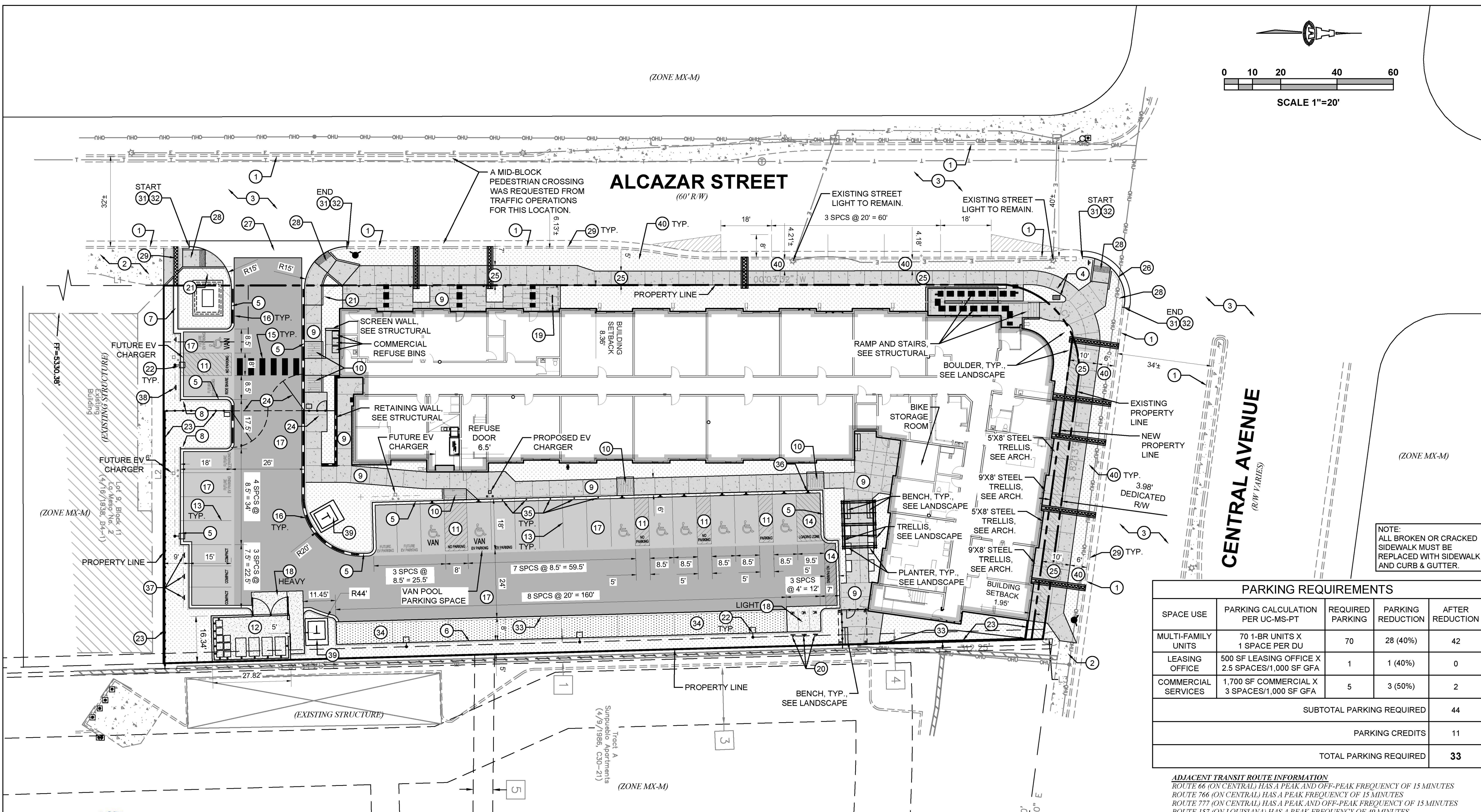
EV CAPABLE REQUIRED: 6 SPACES (15% OF REQUIRED PARKING)
EV CAPABLE PROVIDED: 6 SPACES

MOTORCYCLE REQUIRED: 2 SPACES (PER 26-50 REQUIRED PARKING)
MOTORCYCLE PROVIDED: 3 SPACES

BICYCLE REQUIRED: 4 SPACES (10% OF REQUIRED PARKING)
BICYCLE PROVIDED: 20 SPACES (18 SPACES INTERIOR, 2 SPACES EXTERIOR)

PARKING REQUIREMENTS				
SPACE USE	PARKING CALCULATION PER UC-MS-PT	REQUIRED PARKING	PARKING REDUCTION	AFTER REDUCTION
MULTI-FAMILY UNITS	70 1-BR UNITS X 1 SPACE PER DU	70	28 (40%)	42
LEASING OFFICE	500 SF LEASING OFFICE X 2.5 SPACES/1,000 SF GFA	1	1 (40%)	0
COMMERCIAL SERVICES	1,700 SF COMMERCIAL X 3 SPACES/1,000 SF GFA	5	3 (60%)	2
SUBTOTAL PARKING REQUIRED		44		
PARKING CREDITS		11		
TOTAL PARKING REQUIRED		33		

ADJACENT TRANSIT ROUTE INFORMATION
ROUTE 66 (ON CENTRAL) HAS A PEAK AND OFF-PEAK FREQUENCY OF 15 MINUTES
ROUTE 766 (ON CENTRAL) HAS A PEAK FREQUENCY OF 15 MINUTES
ROUTE 777 (ON CENTRAL) HAS A PEAK AND OFF-PEAK FREQUENCY OF 15 MINUTES
ROUTE 157 (ON LOUISIANA) HAS A PEAK FREQUENCY OF 40 MINUTES



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up between the hours of 5AM and 8PM.
Reviewer: *Herman Gallegos*
Date: 09-18-24

****70-Units****
****Hazard Route Only****
****Keypad access for entry gates****
Staff will place recycle carts on Alcazar by 7AM on service day, and remove from the curb 24 hours after service. Staff will be responsible for placing the dumpsters in the trash enclosure from the trash room on scheduled service days.
****See General Note K****

- KEYED NOTES**
- EXISTING CURB & GUTTER TO REMAIN.
 - EXISTING SIDEWALK TO REMAIN.
 - EXISTING ASPHALT TO REMAIN.
 - EXISTING ART PILLAR TO BE RELOCATED.
 - MEDIAN CURB & GUTTER, PER DETAIL ON SHEET SP2.
 - HEADER CURB, PER DETAIL ON SHEET SP2.
 - PCC RUNDOWN, PER DETAIL ON SHEET SP2.
 - CURB OPENING, PER DETAIL ON SHEET SP2. SEE SHEET SP5 FOR SIZE.
 - PCC SIDEWALK, PER DETAIL ON SHEET SP2.
 - ADA RAMP, PER DETAIL ON SHEET SP3.
 - ADA PARKING AND SIGNAGE, PER DETAIL ON SHEET SP3.
 - REFUSE ENCLOSURE, PER DETAIL ON SHEET SP3.
 - 4" WHITE STRIPE.
 - 4" WHITE STRIPE @ 45° ANGLE WITH 2" SPACING.
 - 12" WHITE STRIPE, 4" O.C..
 - ALONG DASHED LINE, PAINT FACE AND TOP OF CURB RED AND PAINT WHITE STENCILED LETTERING ON TOP OF CURB "NO PARKING" AND "FIRE LANE" ALTERNATING AT 30 FT O.C.
 - ASPHALT PAVING (LIGHT DUTY OR HEAVY DUTY), PER DETAIL ON SHEET SP2.
 - CONCRETE PAVING (LIGHT DUTY OR HEAVY DUTY), PER DETAIL ON SHEET SP2.
 - BICYCLE RACK, PER DETAIL ON SHEET SP2.
 - SITE SIGNAGE: MOTORCYCLE PARKING, PER DETAIL ON SHEET SP2.
 - MINI CLEAR SIGHT TRIANGLE. SEE GENERAL NOTE H.
 - SITE LIGHTING, SEE ELECTRICAL.
 - PERIMETER SECURITY FENCE. SEE ARCHITECTURAL.
 - ACCESS GATE. SEE ARCHITECTURAL.
 - PUBLIC PCC SIDEWALK (WIDTH PER PLAN) PER COA STD DWG #2430.
 - STANDARD CURB & GUTTER PER COA STD DWG #2415A.
 - PCC VALLEY GUTTER 6" WIDE, 1 1/2" INVERT PER COA STD DWG #2420.
 - UNI-DIRECTIONAL ADA RAMP PER COA STD DWG #2443, DETAIL C.
 - SIDEWALK CULVERT PER COA STD DWG #2236.
 - NOT USED.
 - REMOVE AND DISPOSE EXISTING PCC CURB & GUTTER.
 - REMOVE AND DISPOSE EXISTING PCC SIDEWALK.
 - CUT-OFF WALL, PER DETAIL ON SHEET SP2.
 - GRAVEL PAVING, PER DETAIL ON SHEET SP2.
 - CONCRETE FILLED BOLLARD, PER DETAIL ON SHEET SP3.
 - SITE SIGNAGE: LOADING ONLY, PER DETAIL ON SHEET SP2.
 - SITE SIGNAGE: COMPACT PARKING, PER DETAIL ON SHEET SP2.
 - SITE SIGNAGE: RIDE SHARE PARKING, PER DETAIL ON SHEET SP2.
 - TRANSFORMER LOCATION, SEE ELECTRICAL.
 - DEPRESSED LANDSCAPE BUFFER SWALE PER COA STD DWG #2414.

GENERAL NOTES

- THE SUBJECT SITE IS WITHIN A DESIGNATED MAIN STREET CORRIDOR, WHICH PURSUANT TO IDO TABLE 5-1-2, ALLOWS FOR REDUCED SETBACKS AND TALLER MAXIMUM BUILDING HEIGHTS, AND PURSUANT TO TABLE 5-5-1, PARKING REDUCTIONS TO 1 SPACE PER DWELLING UNIT (SEE PARKING CALCULATIONS, THIS SHEET), THE SUBJECT SITE IS ALSO WITHIN A PREMIUM TRANSIT STATION AREA.
- THERE ARE NO ADJACENT OR ABUTTING PROTECTED LOTS ZONED R-A, R-1, R-MC, OR R-T THAT CONTAIN LOW DENSITY RESIDENTIAL DEVELOPMENT; THEREFORE, IDO SECTION 5-9 DOES NOT APPLY.
- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURB RADI ARE 2' UNLESS OTHERWISE NOTED.
- ALL INTERNAL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH UNLESS OTHERWISE NOTED.
- CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE LINE OF SIGHT AREA.
- ALL OUTDOOR LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING AND TABLE 5-8-1.
- ON-SITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE OR AS PER PNM STANDARD REQUIREMENTS.
- PRESSURE SENSORS FOR SOLID WASTE PICKUP TO BE POSITIONED 20-FT EAST OF THE ACCESS GATE LOCATION. PRESSURE SENSOR TO AUTOMATICALLY OPEN ACCESS GATE FOR SOLID WASTE TRUCKS EXITING THE SITE.

EASEMENT NOTES

- EXISTING 7' PNM & MST&T EASEMENT (11/4/1971, BK. MISC. 235, PG. 872) AS SHOWN ON PLAT (4/9/1986, C30-21)
- EXISTING 7' UNDERGROUND UTILITY EASEMENT (BK. MISC. 697, PG. 760) SCALED FROM AND AS SHOWN ON PLAT (4/9/1986, C30-21)
- EXISTING 20' WATERLINE EASEMENT (4/9/1986, C30-21)
- EXISTING 2' UTILITY EASEMENT (BK. MISC. D299, PG. 499) AS SHOWN ON PLAT (4/9/1986, C30-21)

LEGEND

- PROPERTY LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB
- ADA SPACE
- PEDESTRIAN CROSSWALK
- ADA PATHWAY
- BIKE RACK
- PARKING COUNT
- FIRELANE (RED) "NO PARKING"
- LANDSCAPE AREA SEE LANDSCAPE PLANS
- PCC SIDEWALK
- LIGHT ASPHALT PAVING SECTION
- HEAVY ASPHALT PAVING SECTION
- GRAVEL PAVING SECTION
- CONCRETE PAVING SECTION

DFT SITE DEVELOPMENT PLAN APPROVAL

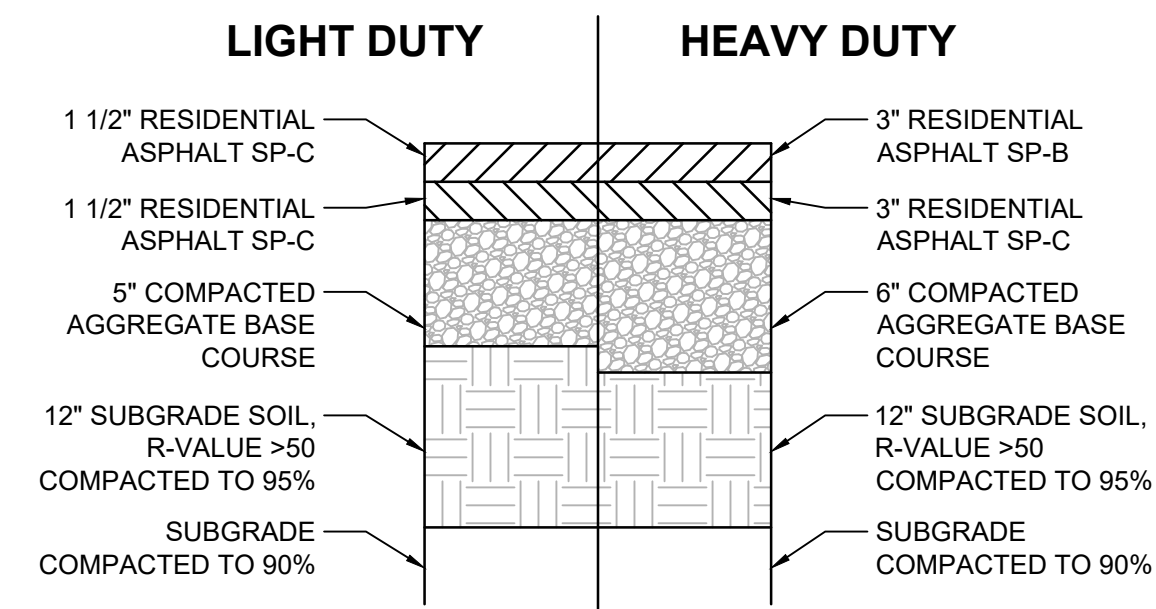
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1	09-03-24	DFT Comments
	Oct 10, 2024	TRAFFIC ENGINEERING TRANSPORTATION DIVISION
	Oct 25, 2024	DATE
	Oct 10, 2024	DATE
	Oct 10, 2024	DATE
	Oct 10, 2024	DATE
	Oct 10, 2024	DATE
	09-18-24	DATE
	Nov. 18, 2024	DATE

PROJECT NO: PR-2024-010784
APPLICATION NO: SI-2024-01164

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [x] NO
IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

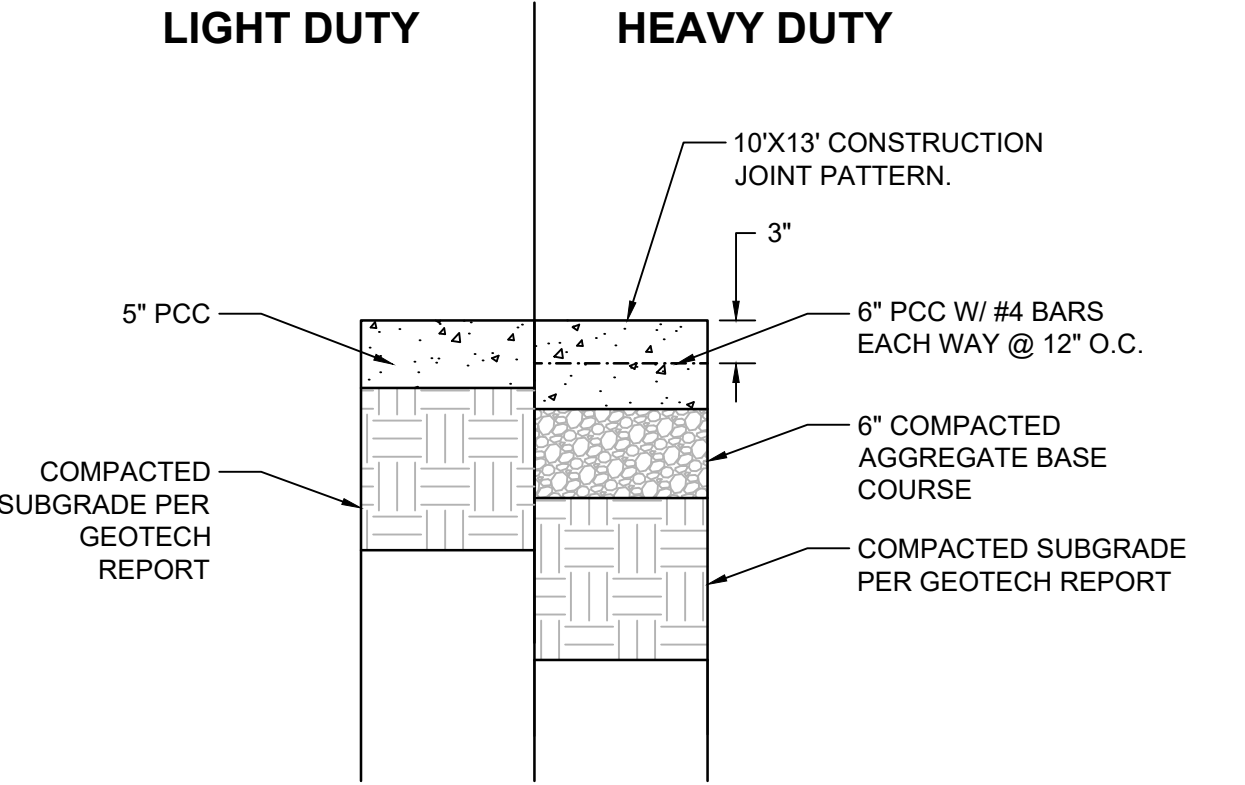
DFT SITE PLAN

SHEET NUMBER
SP1



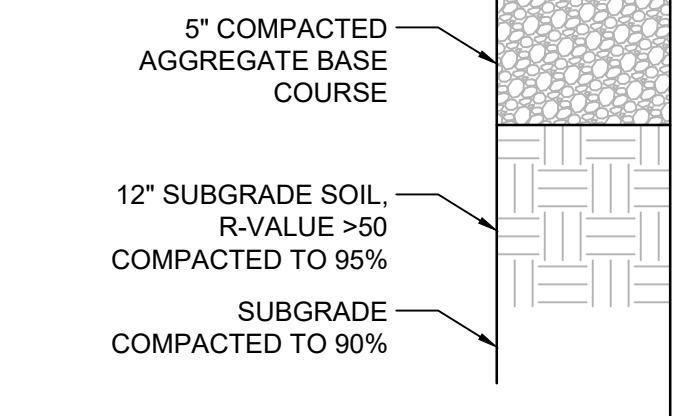
ALL EARTHWORK, OVER-EXCAVATION, COMPACTION, SUBGRADE PREPARATION ETC. TO BE PER THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY

ASPHALT PAVING SECTIONS
SCALE: N.T.S.

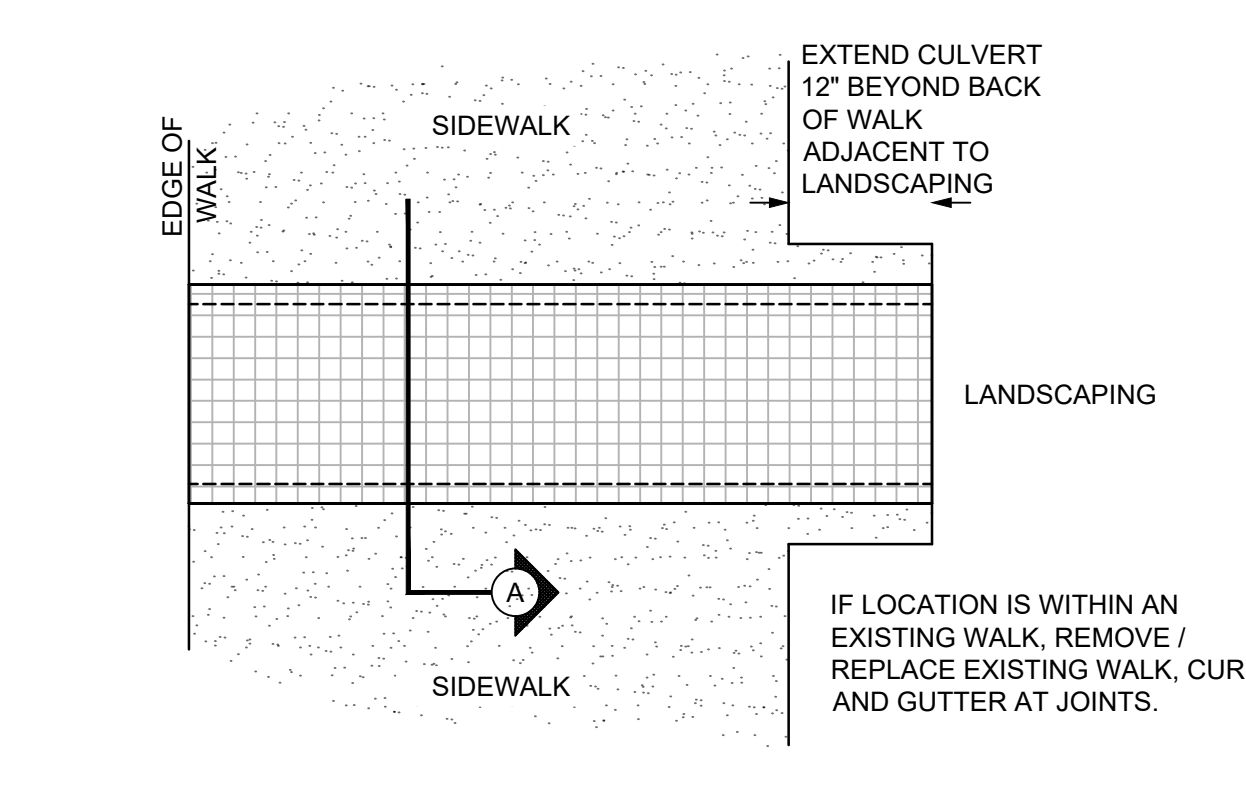


CONTRACTION / CONTROL JOINT: TROWELLED $\frac{3}{8}$ " RADII EDGES $\frac{3}{4}$ " DEEP

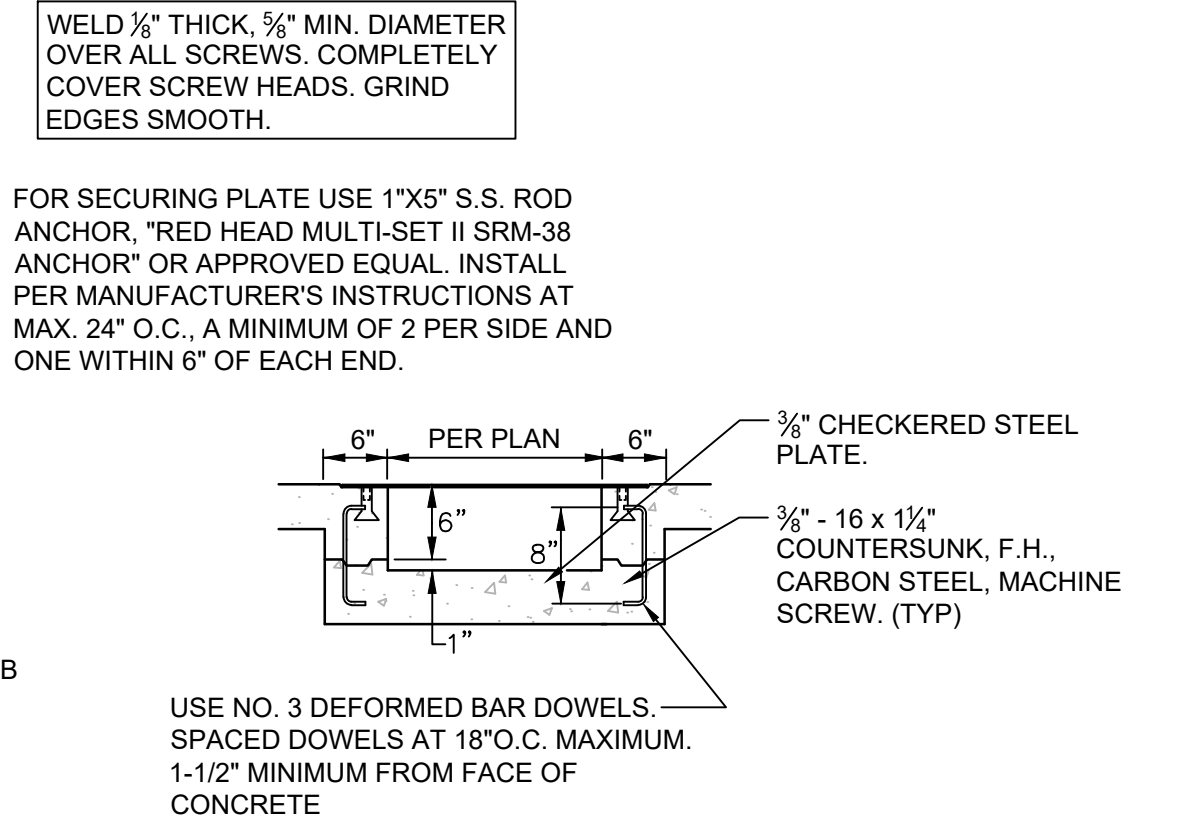
CONCRETE PAVEMENT SECTION
SCALE: N.T.S.



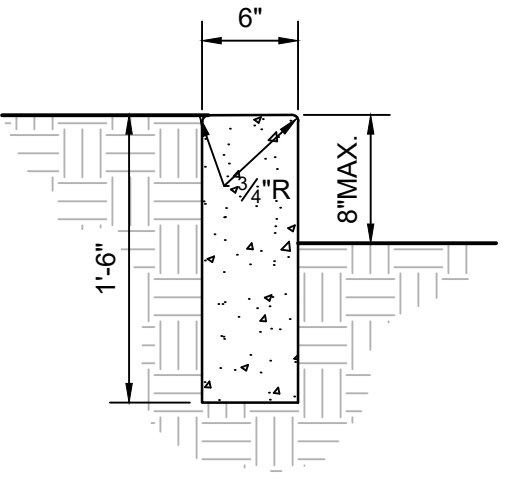
GRAVEL PAVING SECTION
SCALE: N.T.S.



COVERED SIDEWALK CULVERT
CONSTRUCT PER COA STD. DWG 2236 WITH MODIFICATIONS PER THIS DETAIL
SCALE: N.T.S.

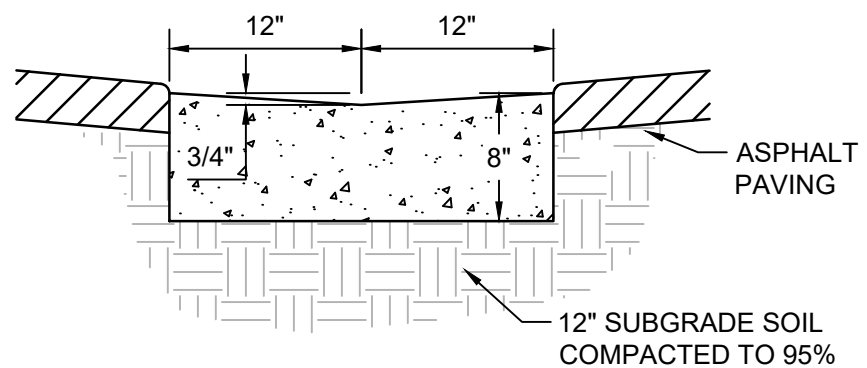


SECTION A
SCALE: N.T.S.



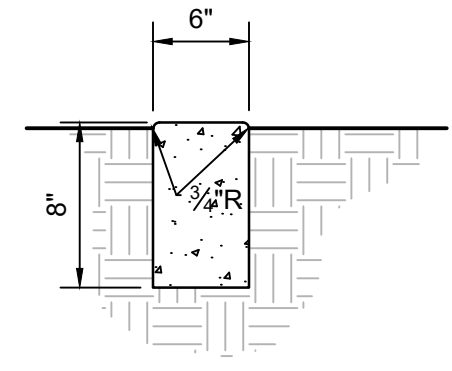
- GENERAL NOTES**
- CONTRACTION / CONTROL JOINTS @ 6' MAX.
 - 1/2" EXPANSION JOINTS 24' O.C.
 - REQUIRES FULL FORM ON ALL FACES.
 - 3/8" RADII AT ALL EXPOSED EDGES.

HEADER CURB
SCALE: N.T.S.



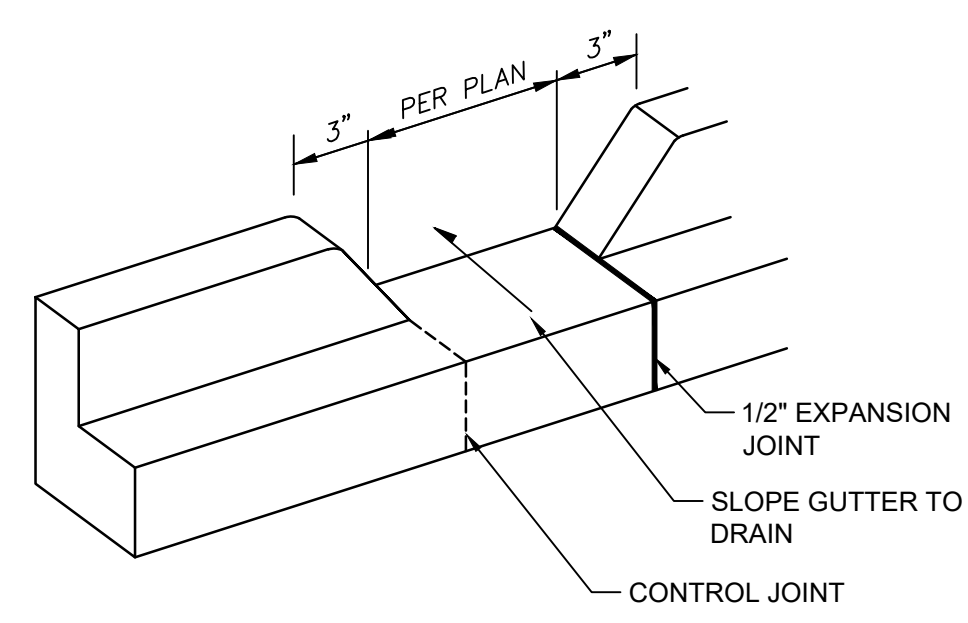
- GENERAL NOTES**
- SEALED CONTRACTION / CONTROL JOINTS @ 6' MAX.
 - 1/2" SEALED EXPANSION JOINTS 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
 - FINISHED EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).
 - 3/8" RADII AT ALL EXPOSED EDGES.

ALLEY GUTTER
SCALE: N.T.S.

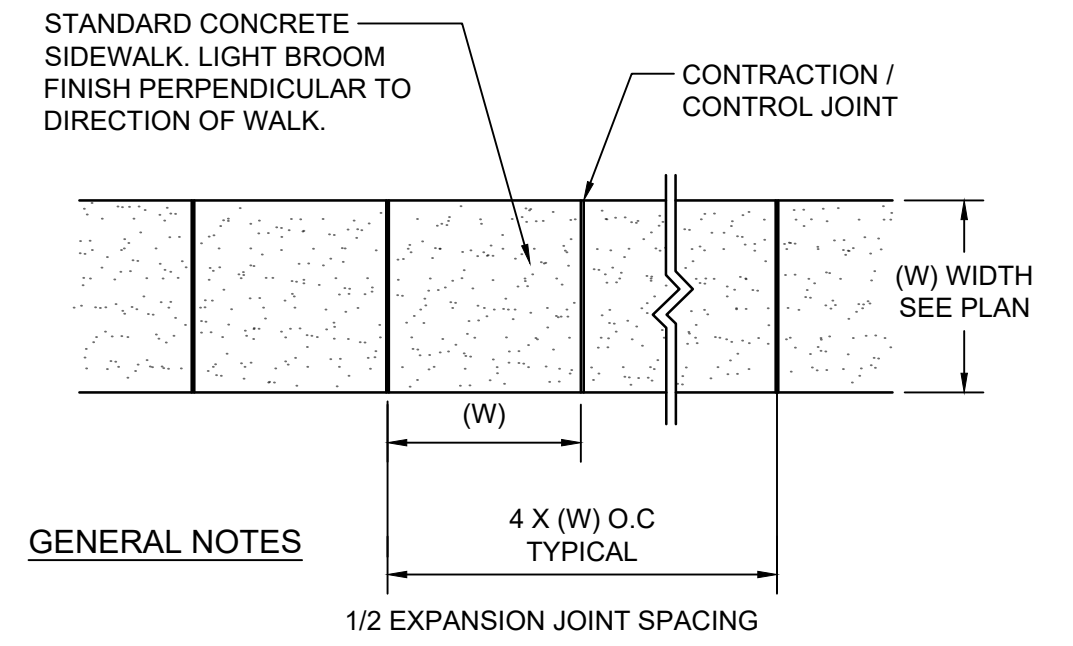


- GENERAL NOTES**
- CONTRACTION / CONTROL JOINTS @ 6' MAX.
 - 1/2" EXPANSION JOINTS 24' O.C.
 - REQUIRES FULL FORM ON ALL FACES.
 - 3/8" RADII AT ALL EXPOSED EDGES.

CUT-OFF WALL
SCALE: N.T.S.

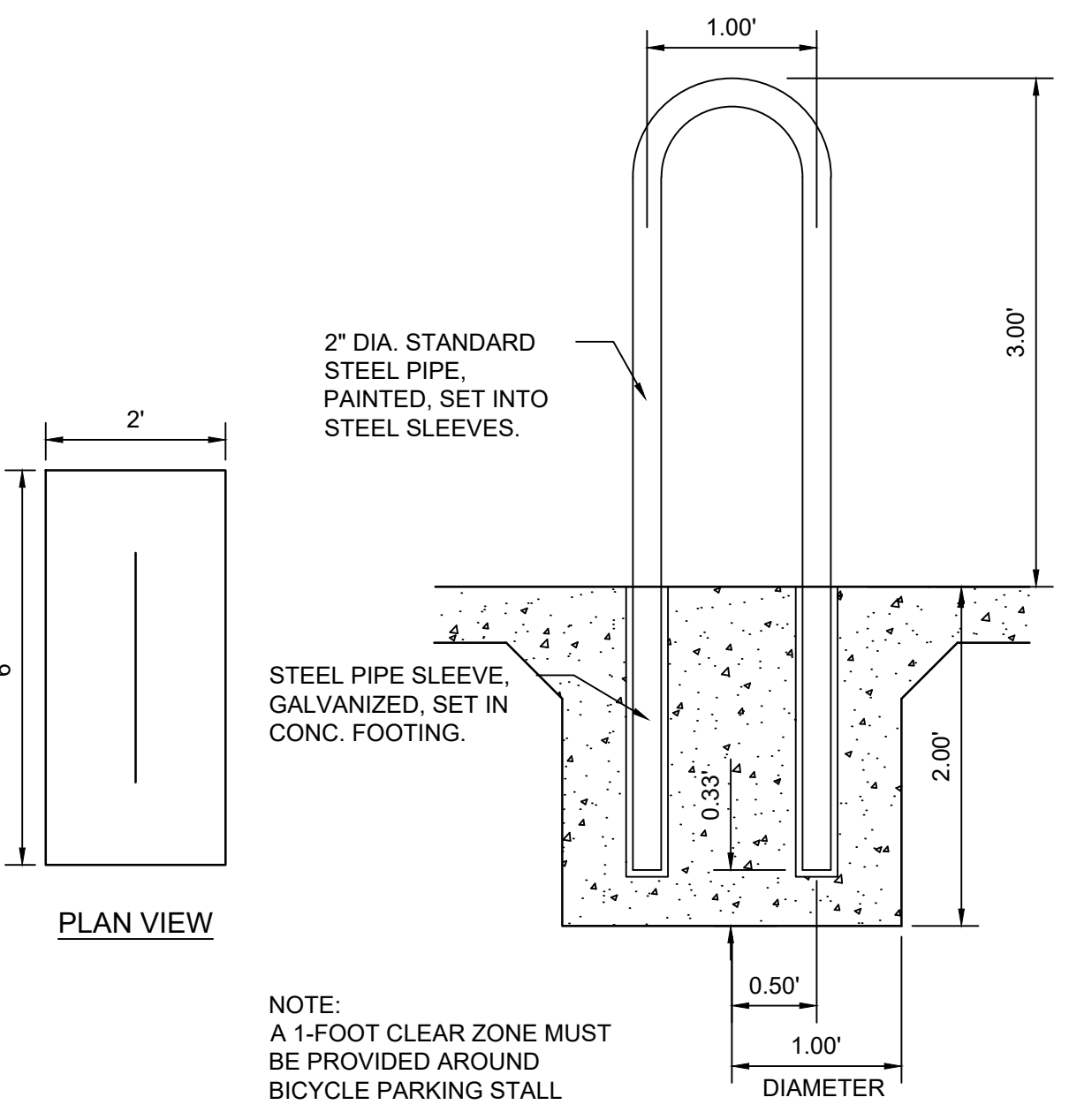


CURB OPENING
SCALE: N.T.S.

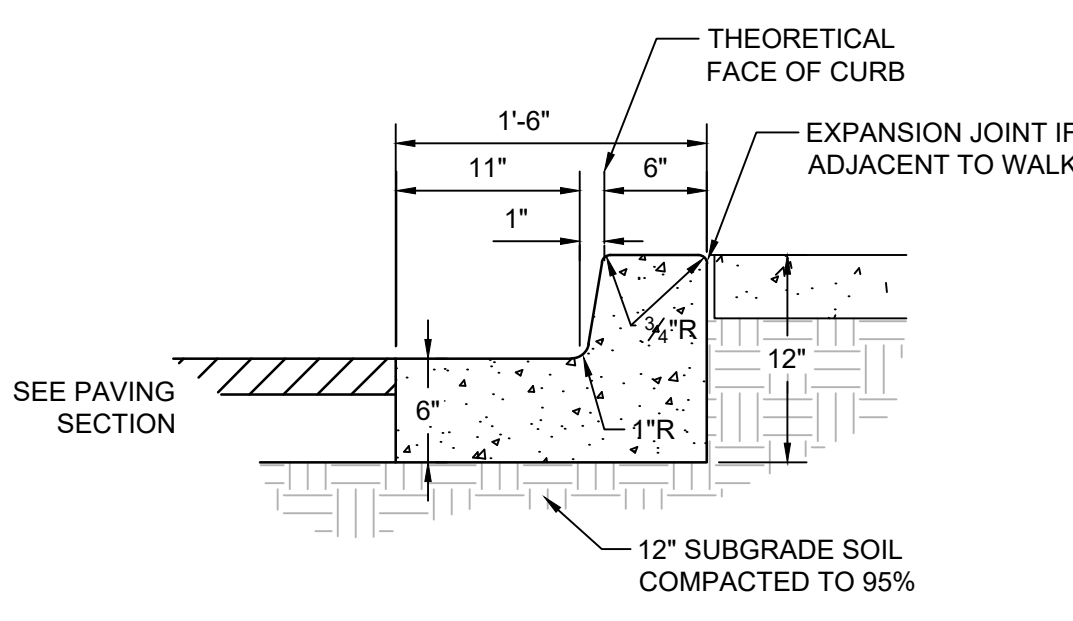


- GENERAL NOTES**
- 4000 PSI COMPRESSIVE STRENGTH CONCRETE
 - SEE CONCRETE JOINTS DETAIL
 - FINISHED EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).
 - 3/8" RADII AT ALL EXPOSED EDGES.

CONCRETE WALK
BROOM FINISH
SCALE: N.T.S.

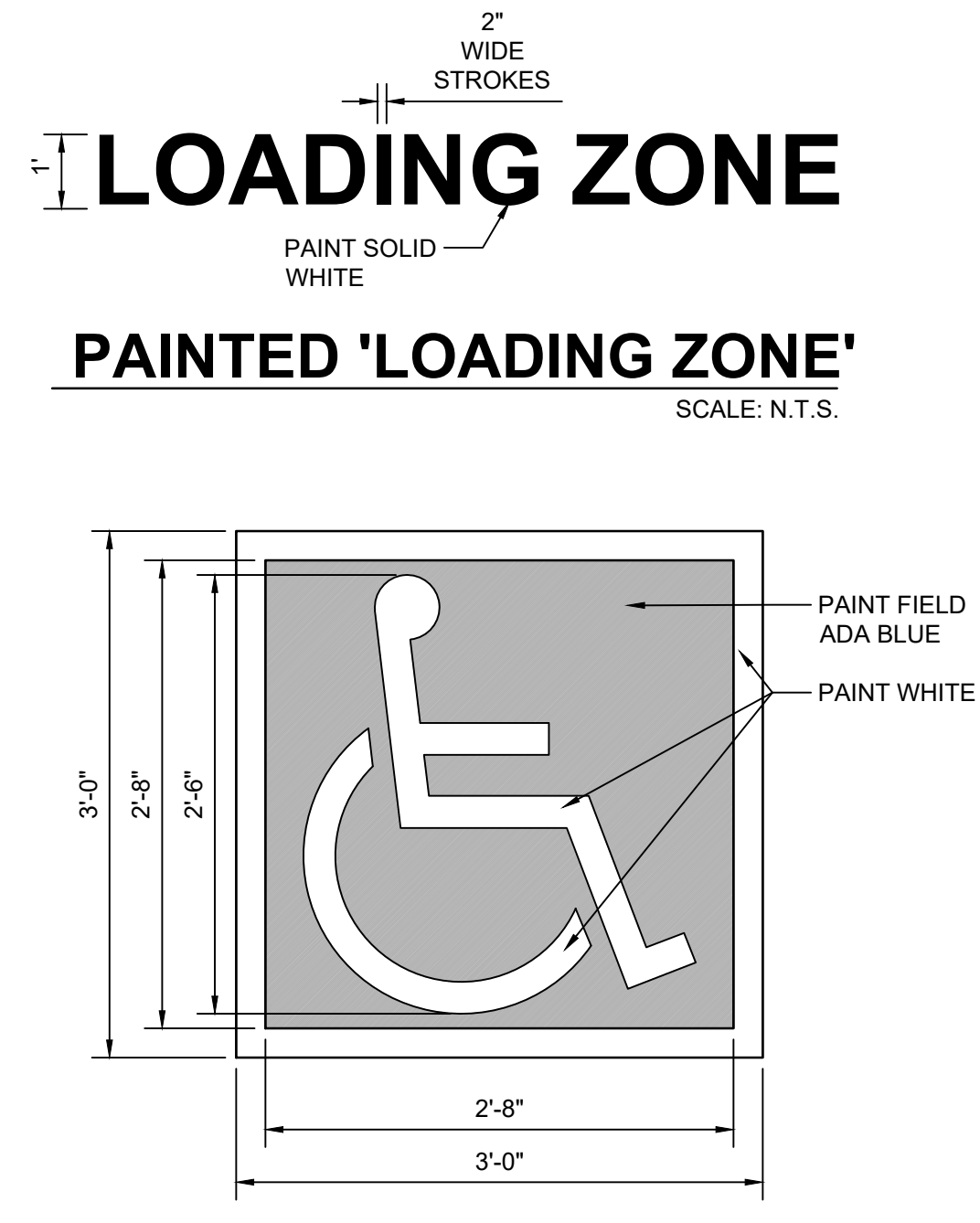


BICYCLE RACK
SCALE: N.T.S.

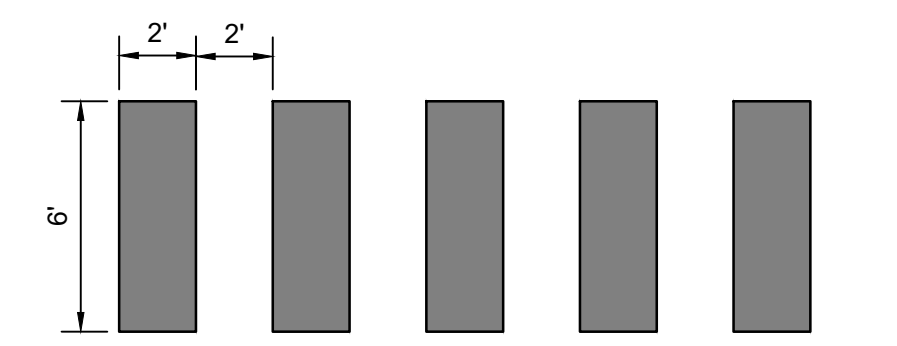


- GENERAL NOTES**
- REQUIRES FULL FORM ON ALL FACES.
 - CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
 - EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
 - EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" RADII.

MEDIAN CURB AND GUTTER
SCALE: N.T.S.



ACCESSIBILITY SYMBOL
SCALE: N.T.S.



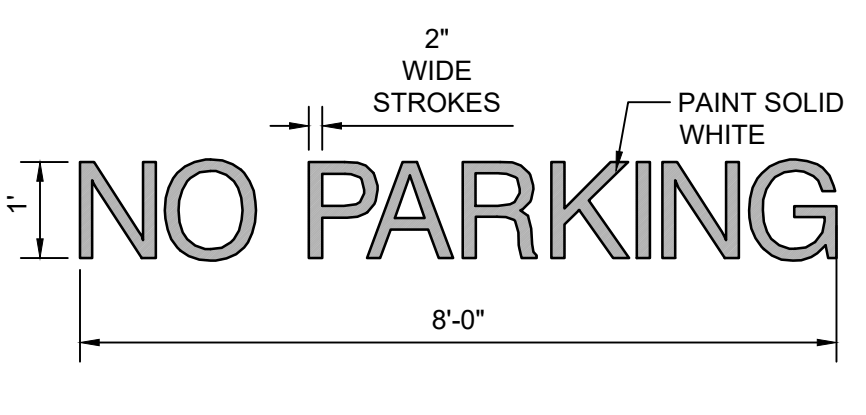
PAINTED CROSSWALK
SCALE: N.T.S.



PAINTED 'EV PARKING'
SCALE: N.T.S.



PAINTED 'NO PARKING'
SCALE: N.T.S.



PAINTED 'NO PARKING'
SCALE: N.T.S.

NOT FOR CONSTRUCTION	DFT SUBMITTAL
ISSUE:	IA 2662
PROJECT NUMBER:	2682 CP-501 - DFT.dwg
FILE:	2682 CP-501 - DFT.dwg
DRAWN BY:	
CHECKED BY:	
DATE:	07/03/2024

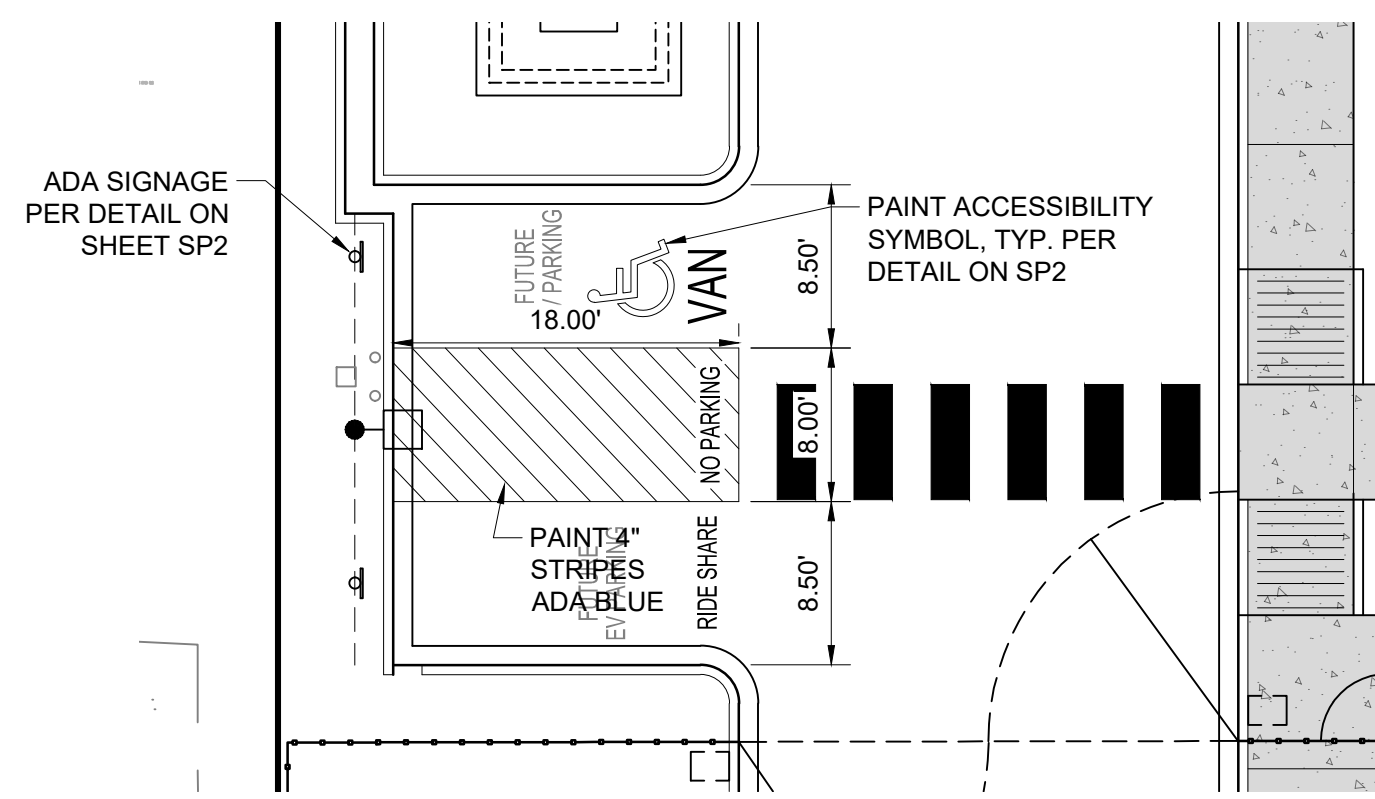
No	Date	Description
1	09-03-24	DFT Comments

SHEET TITLE

CIVIL DETAILS

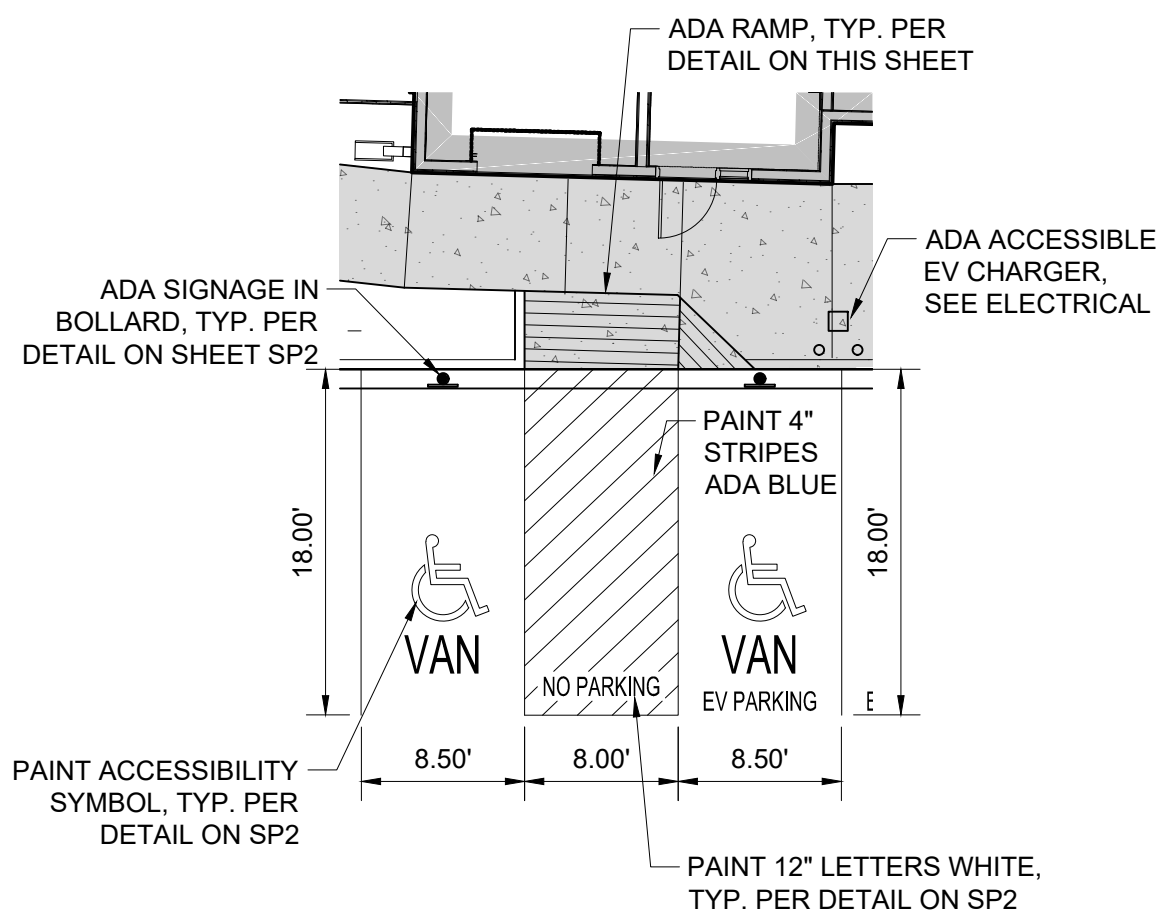
SHEET NUMBER

SP2



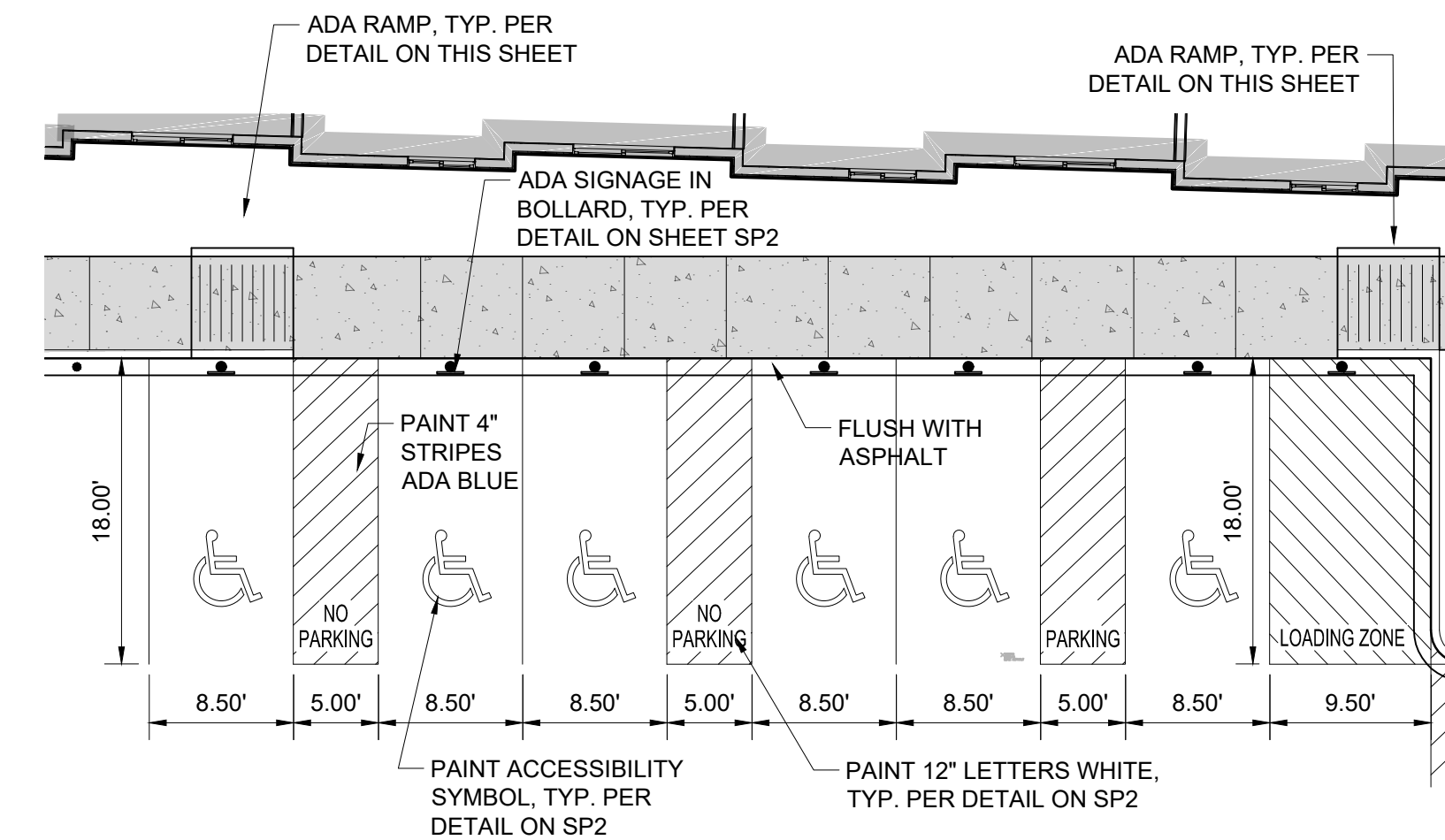
ADA PARKING DETAIL: AREA 1

SCALE: 1"=10'



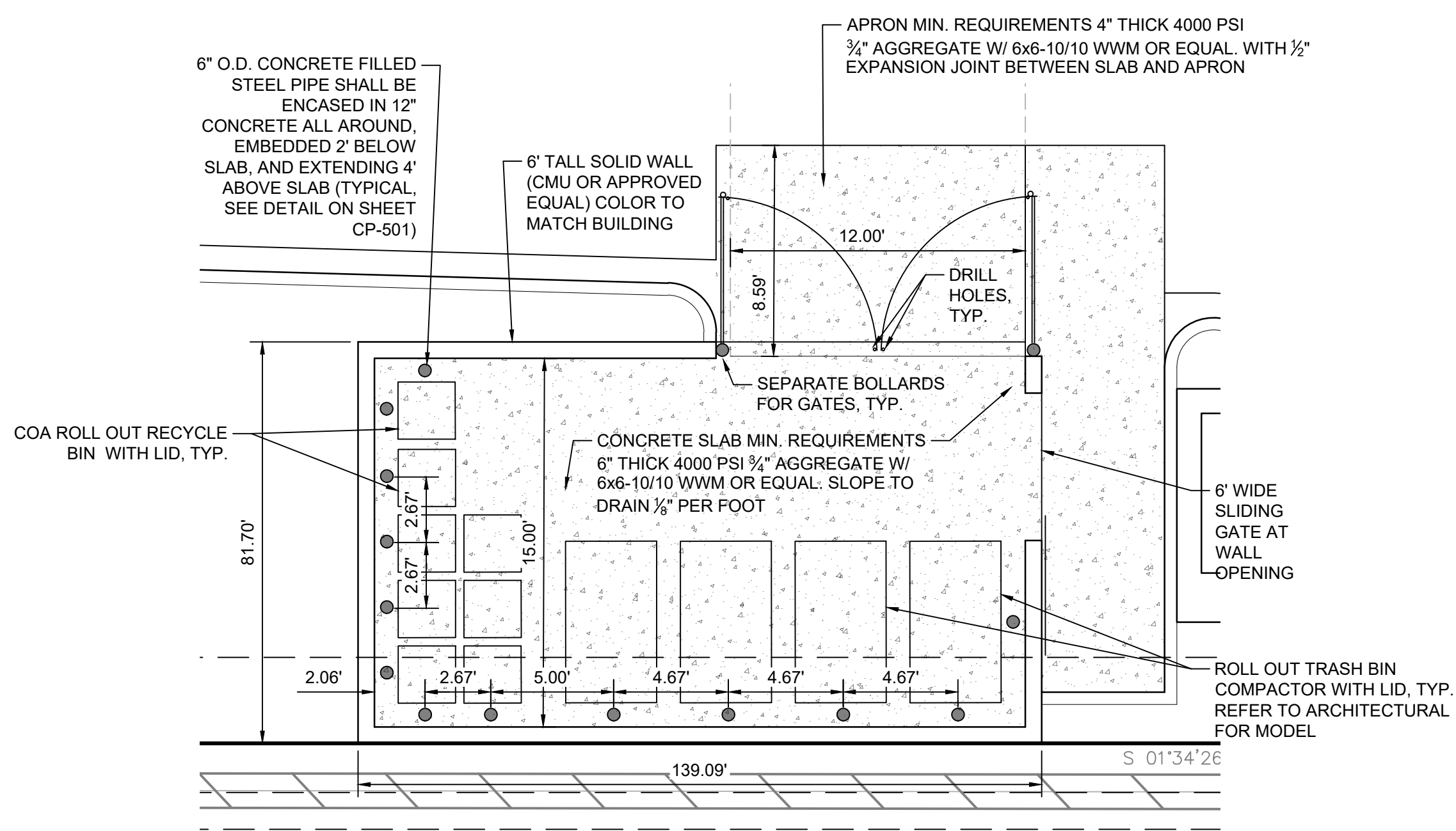
ADA PARKING DETAIL: AREA 2

SCALE: 1"=10'



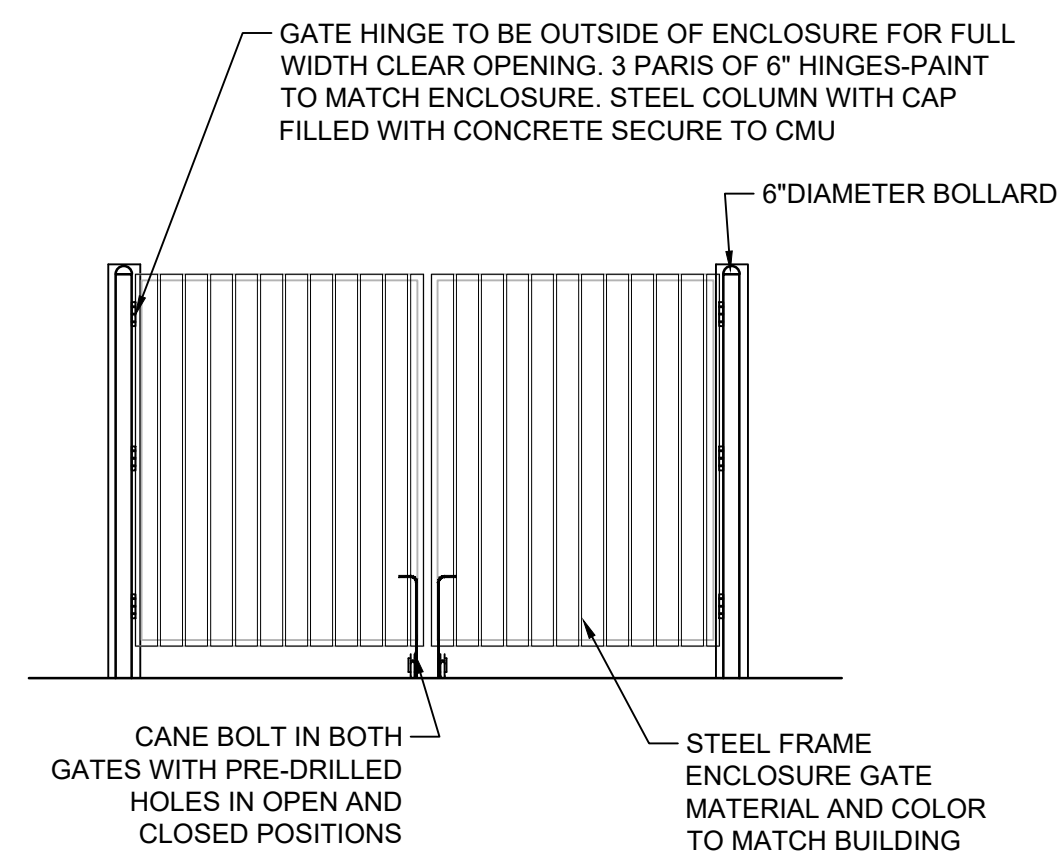
ADA PARKING DETAIL: AREA 3

SCALE: 1"=10'



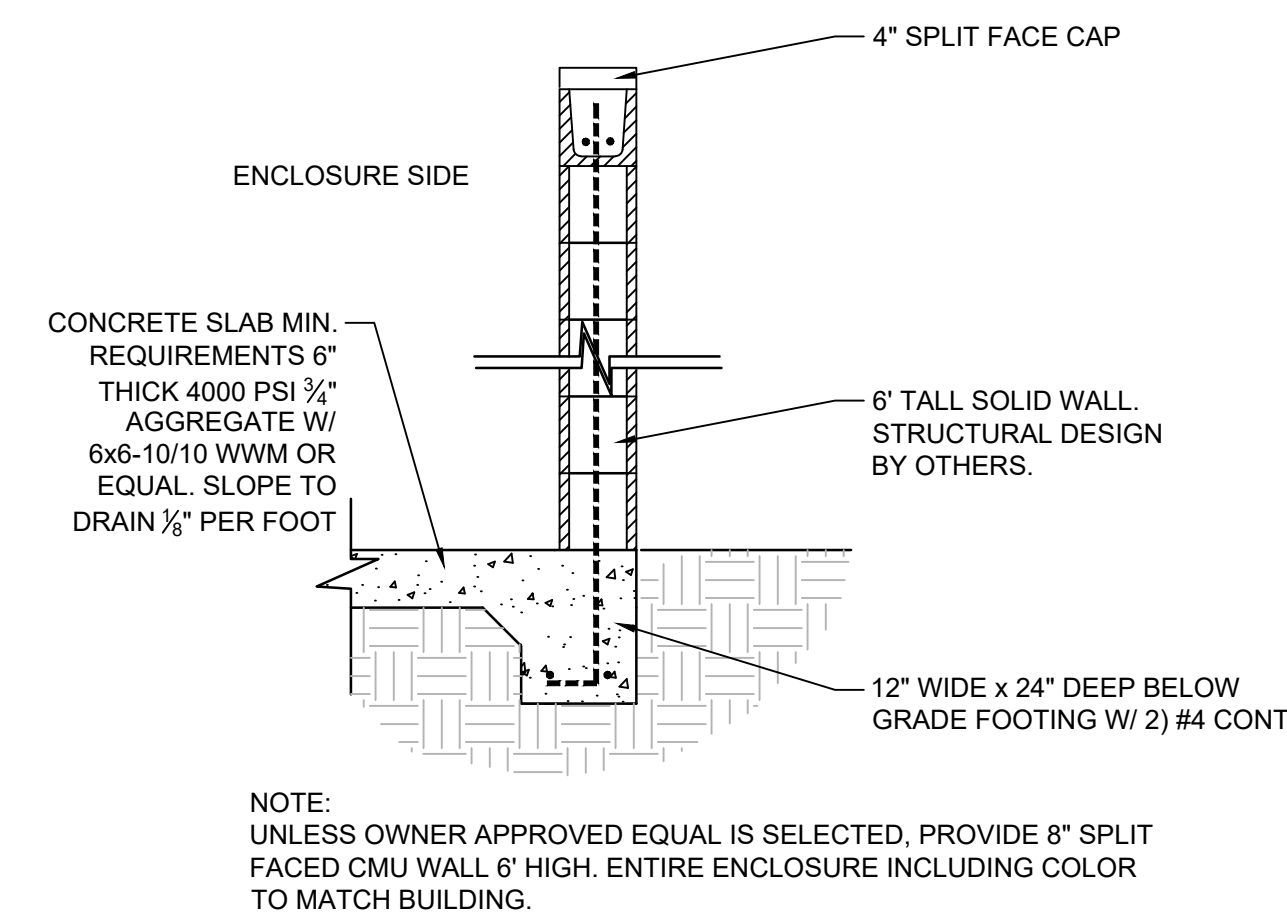
REFUSE ENCLOSURE DETAIL

SCALE: 1"=5'



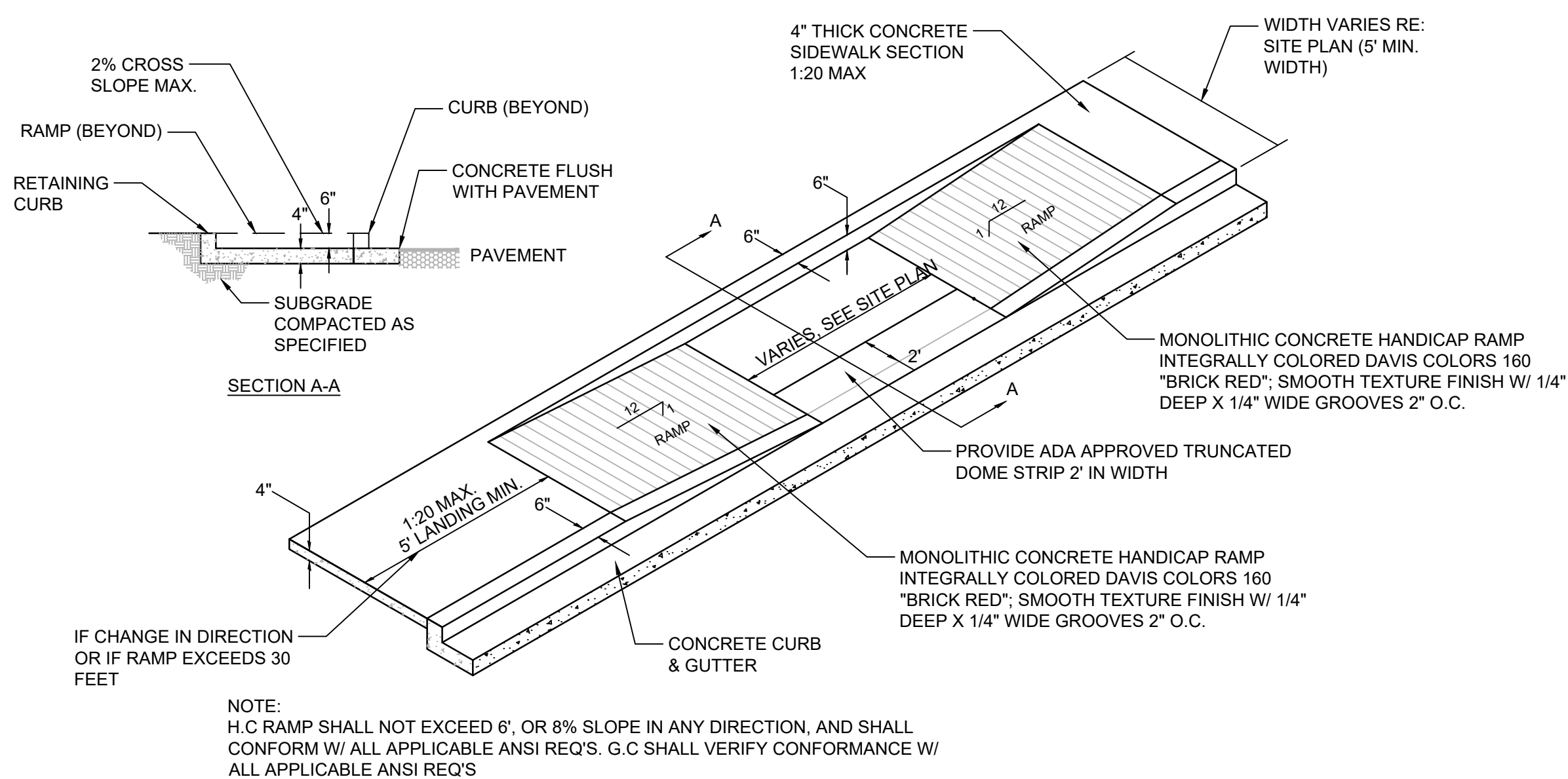
REFUSE ENCLOSURE GATE DETAIL

SCALE: N.T.S.



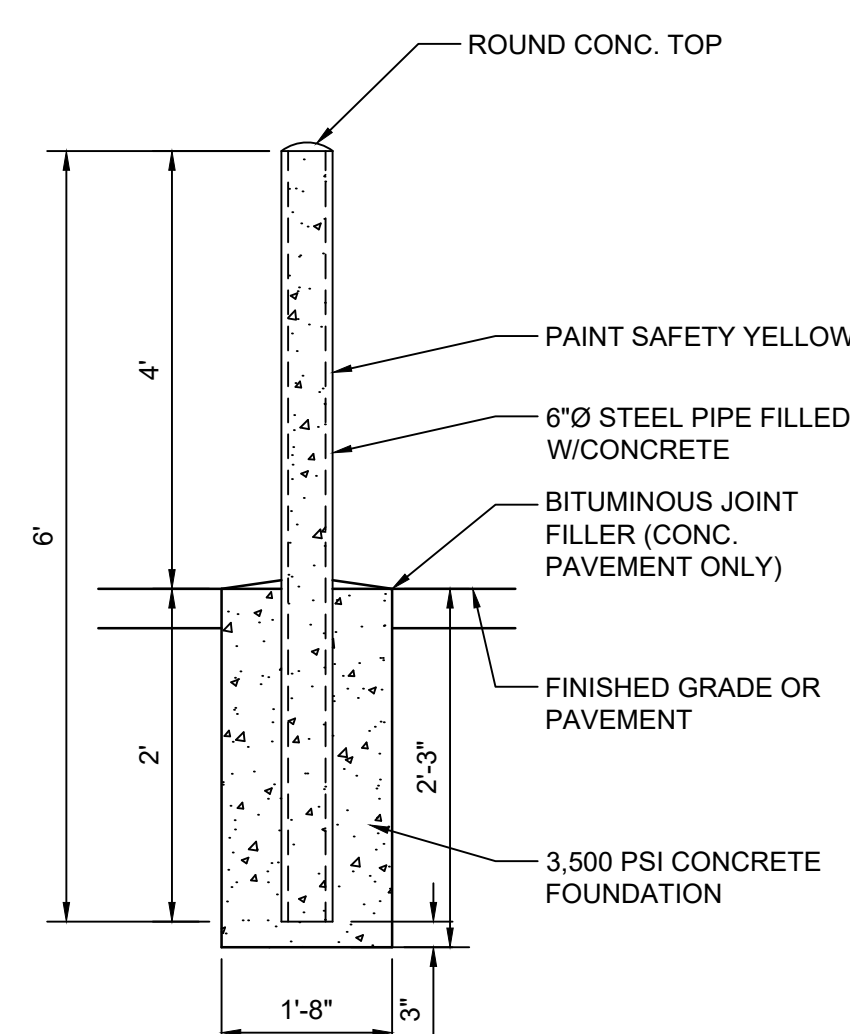
REFUSE ENCLOSURE WALL SECTION

SCALE: N.T.S.



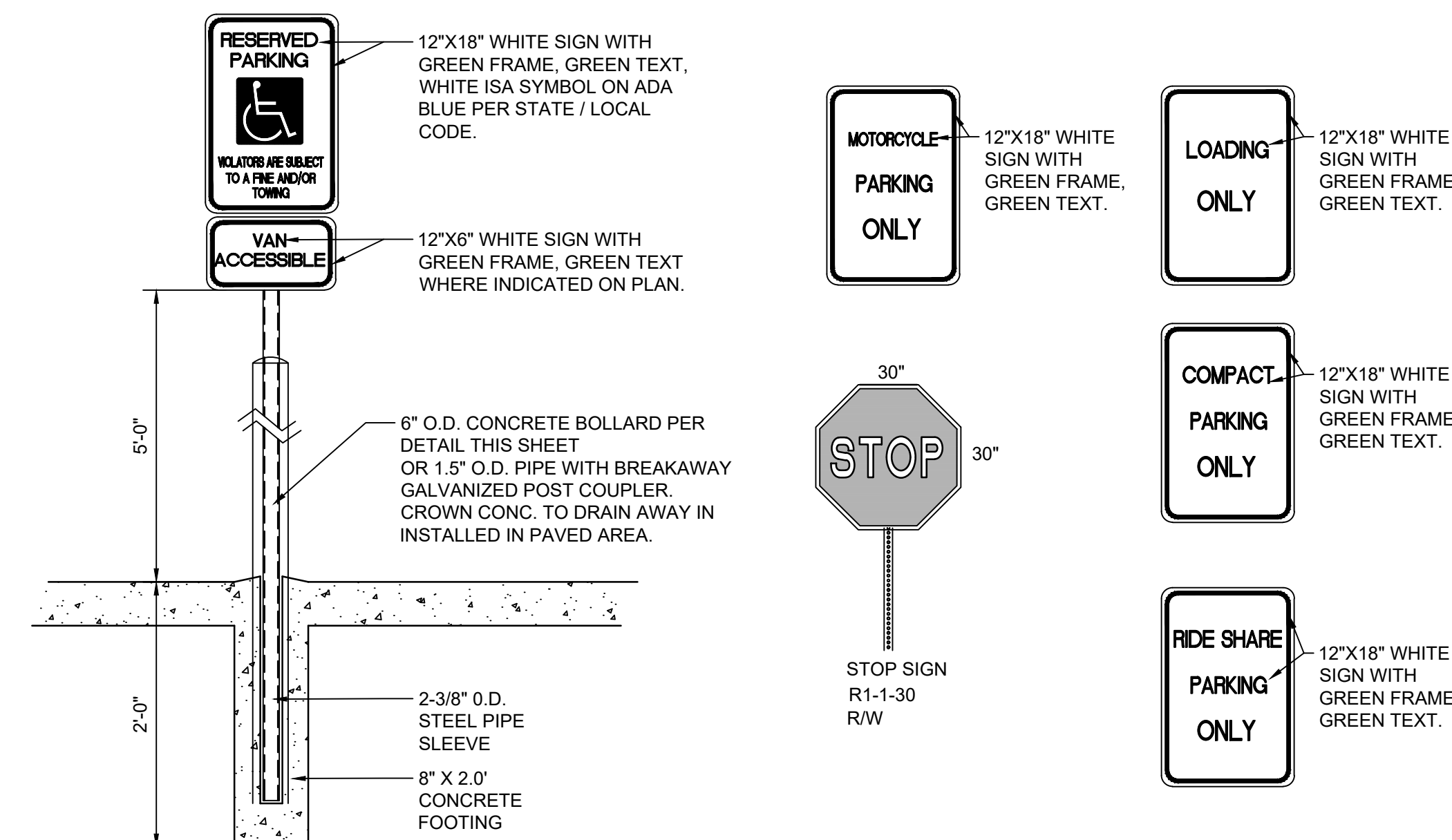
ADA RAMP DETAIL

SCALE: N.T.S.



CONCRETE FILLED BOLLARD

SCALE: N.T.S.



SIGNAGE

SCALE: N.T.S.

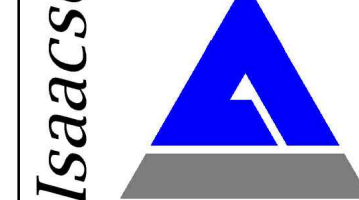
ACCESSIBLE RAMPS, WALKS & PARKING

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%

ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).

ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

EXISTING SIDEWALKS SHALL BE IN SUBSTANTIAL COMPLIANCE WITH ADA STANDARDS OR IT SHALL BE REPAIRED OR REPLACED.



Engineer

SOMOS

7200 CENTRAL AVE. SE

ALBUQUERQUE, 87108

NOT FOR CONSTRUCTION	DFT SUBMITTAL
ISSUE:	IA 2682
PROJECT NUMBER:	FILE: 2682 CP-501 - DFT.dwg
DRAWN BY:	CHECKED BY:
DATE:	07/03/2024

No	Date	Description	DFT Comments
1	09-03-24		

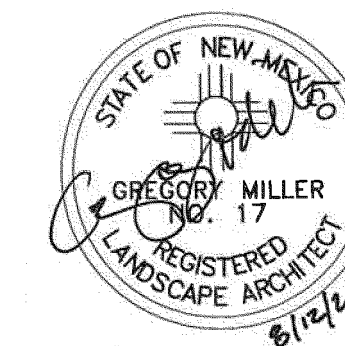
SHEET TITLE

CIVIL DETAILS CONT.

SHEET NUMBER

SP3

CONSULTANT



STAMP

DFT SUBMITTAL

PROJECT NAME

SOMOS

7200 CENTRAL AVE SE,
ALBUQUERQUE, NEW MEXICO 87108

SOMOS APARTMENTS
LIMITED PARTNERSHIP
LLLP

REVISIONS

NO.	DATE	DESCRIPTION
02	09/20/24	DFT COMMENTS
01	09/03/24	DFT COMMENTS

Copyright: Design Group

Drawn by	KA
Checked by	GM
Date	AUGUST 12TH, 2024
Project number	2735

SHEET TITLE

LANDSCAPE
PLAN

SHEET NUMBER

SP6

PLANTING KEYED NOTES

CODE	DESCRIPTION
1	GRAVEL MULCH
2	CRUSHER FINES MULCH,
3	ORGANIC MULCH.
4	CONCRETE SIDEWALK - SEE SITE PLAN.
5	ASPHALT PAVEMENT - SEE SITE PLAN.
6	25' LONG X12' WIDE X 8' HEIGHT WHITE METAL TRELLIS.
7	ACCESSIBLE PLANTER - 8 SF EACH.
8	6' LONG BENCH.
9	12' LONG X 10' WIDE MONOSLOPED SHADE STRUCTURE
10	AREA USED FOR PASSIVE WATER HARVESTING.
11	ACCENT BOULDER.
12	GRAVEL PARKING PAVEMENT - SEE SITE PLAN.
13	CURB AND GUTTER - SEE SITE PLAN.
14	EXISTING ASPHALT PAVEMENT.
15	TRASH RECEPTACLE.
16	EXISTING STREET LIGHT.

CITY LANDSCAPE ORDINANCE COMPLIANCE

LANDSCAPING RESPONSIBILITY FOR MAINTENANCE:
1. THE OWNER WILL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE AT SOMOS HOUSING.

COMPLIANCE WITH WATER CONSERVATION ORDINANCE:
1. NO SPRAY IRRIGATION IS PROPOSED.

2. PLANT SPECIES WILL BE LOW OR MEDIUM USE SPECIES PER THE ABCWUA'S XERIC PLANT LIST.

3. AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. THE SYSTEM WILL BE CONTROLLED BY AN AUTOMATIC CONTROLLER. PLANTS WILL BE IRRIGATED BY LOW WATER USE BUBBLERS. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE INSTALLED IN AN INTERIOR MECHANICAL ROOM TO PROTECT THE DOMESTIC WATER SUPPLY FROM CROSS-CONTAMINATION.

COMPLIANCE WITH GENERAL LANDSCAPING REGULATIONS:
1. THIS PLAN PROVIDES VISUALLY ATTRACTIVE LANDSCAPE, A VISUALLY ATTRACTIVE STREETScape, AND INTERSPERSED TREES IN LANDSCAPE AREAS TO PROVIDE SHADE AND REDUCE LARGE EXPANSES OF PAVEMENT.

2. PER 5-6(C)(5)(c), GROUNDCOVER MULCH SHALL COMPRISE OF A COMBINATION OF CRUSHED GRAVEL (NOT TO EXCEED 50% OF TOTAL AREA) AND ORGANIC MULCH SUCH AS SHREDDED BARK, PECAN SHELLS, ETC.

3. VISIBILITY, LANDSCAPING FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE LOCATED IN THE CLEAR SIGHT TRIANGLE.

4. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.

LANDSCAPE CALCULATION TABLE:
TOTAL LOT AREA: 41,298 SF
LESS TOTAL BUILDING AREA: 16,435 SF
NET LOT AREA: 24,863 SF

REQUIRED LANDSCAPE AREA (10% OF NET LOT AREA): 2,486 SF
PROVIDED LANDSCAPE AREA: 5,709 SF

REQUIRED PLANTS:
REQUIRED STREET TREES: 15 (365 LF ALONG ALCAZAR ST SE, TREES AVERAGE 25' O.C.)
PROVIDED: 15
6 (136 LF ALONG CENTRAL AVE SE, TREES AVERAGE 25' O.C.)
PROVIDED: 6

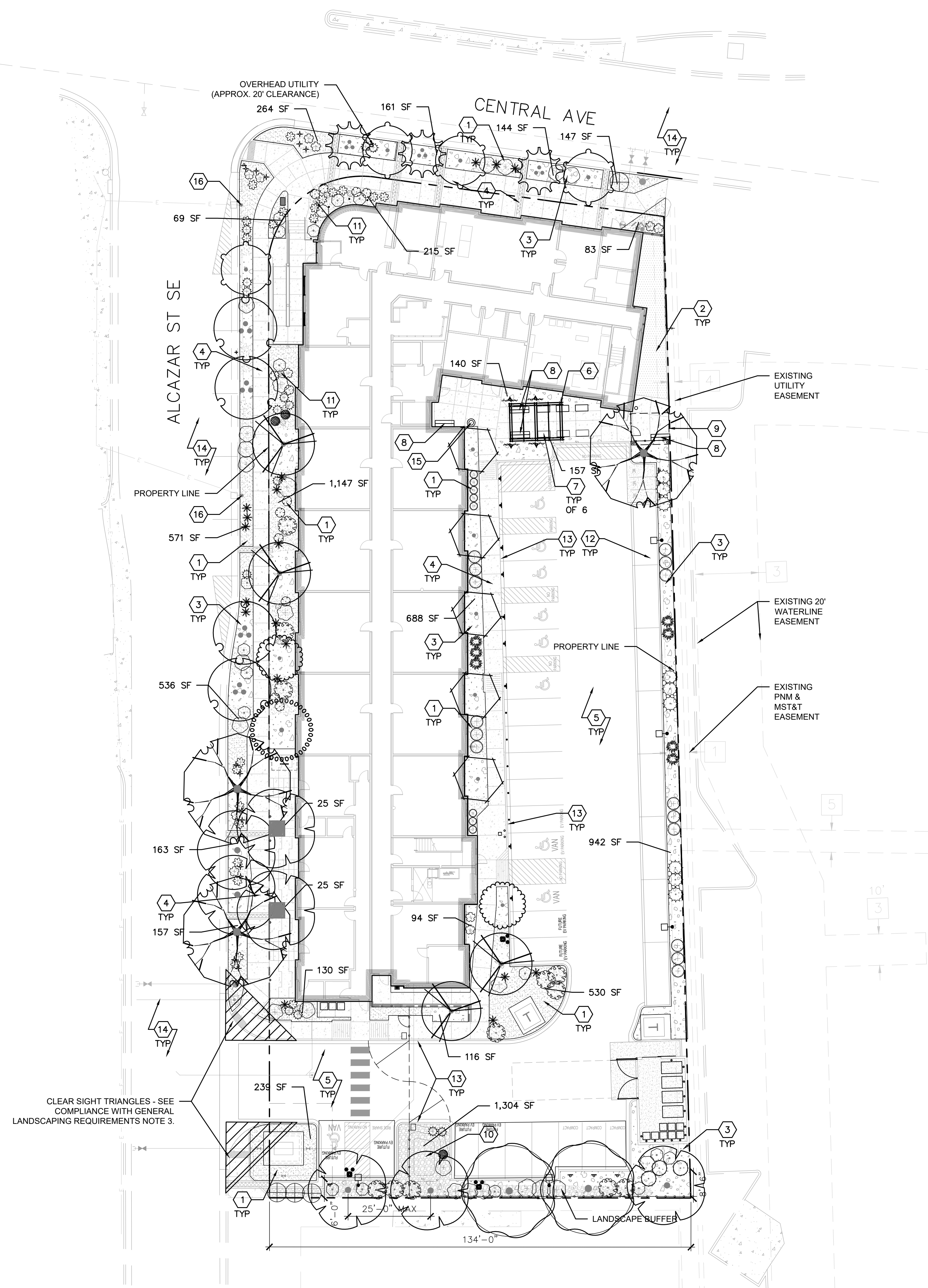
NUMBER OF GROUND FLOOR* DWELLING UNITS: 10
*IN DT-UC-MS-PT AREAS, ONLY GROUND FLOOR DWELLING UNITS ARE USED TO CALCULATE THE REQUIRED TREES
NUMBER OF TREES REQUIRED (AT LEAST ONE TREE PER GROUND FLOOR DWELLING UNITS): 10

PARKING LOT LANDSCAPE REQUIREMENTS:
TOTAL PARKING STALLS: 34 STALLS
TREES REQUIRED (1 TREE PER 10 PARKING STALLS): 4 TREES
TREES PROVIDED: 8 TREES
15% OF TOTAL PARKING LOT AREA SHALL BE LANDSCAPED: 1,545 SF
TOTAL PARKING LOT LANDSCAPE AREA PROVIDED: 1,722 SF

REQUIRED COVERAGE (75% OF PROVIDED LANDSCAPE AREA):
VEGETATIVE COVER REQUIRED: 4,310 SF
PROVIDED COVERAGE: 4,555 SF

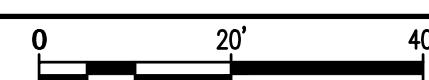
REQUIRED GROUND LEVEL VEGETATIVE COVERAGE (25% OF PROVIDED LANDSCAPE AREA):
VEGETATIVE GROUND COVER REQUIRED: 1,437 SF
PROVIDED GROUND LEVEL PLANT COVERAGE: 1,892 SF

ORGANIC MULCH GROUND COVER (50% OF LANDSCAPE AREA):
REQUIRED ORGANIC MULCH GROUND COVER: 2,855 SF
PROVIDED ORGANIC MULCH GROUND COVER: 2,857 SF



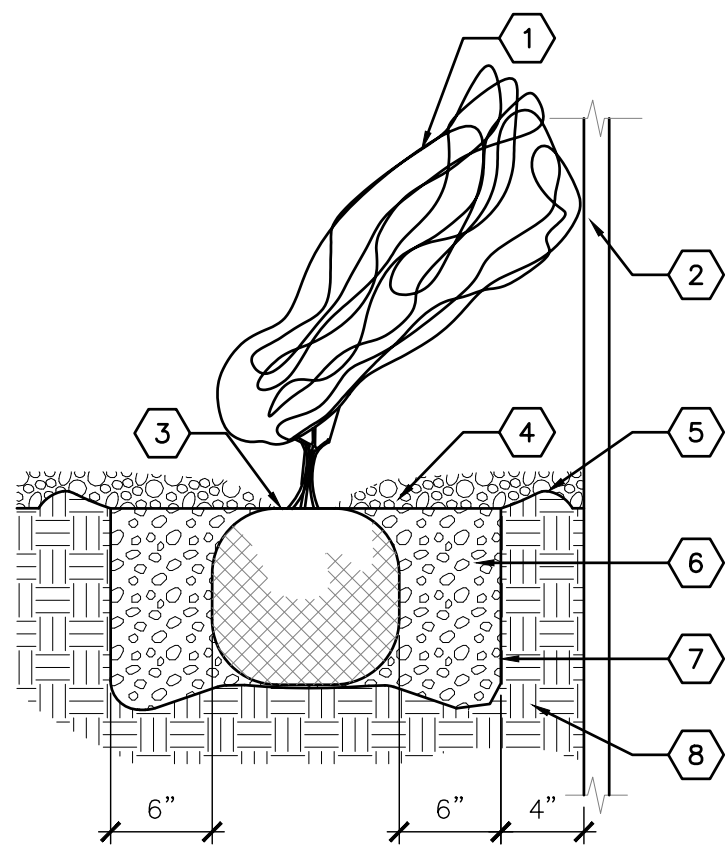
A1 LANDSCAPE PLAN

SCALE: 1"=20'-0"



PLANT SCHEDULE

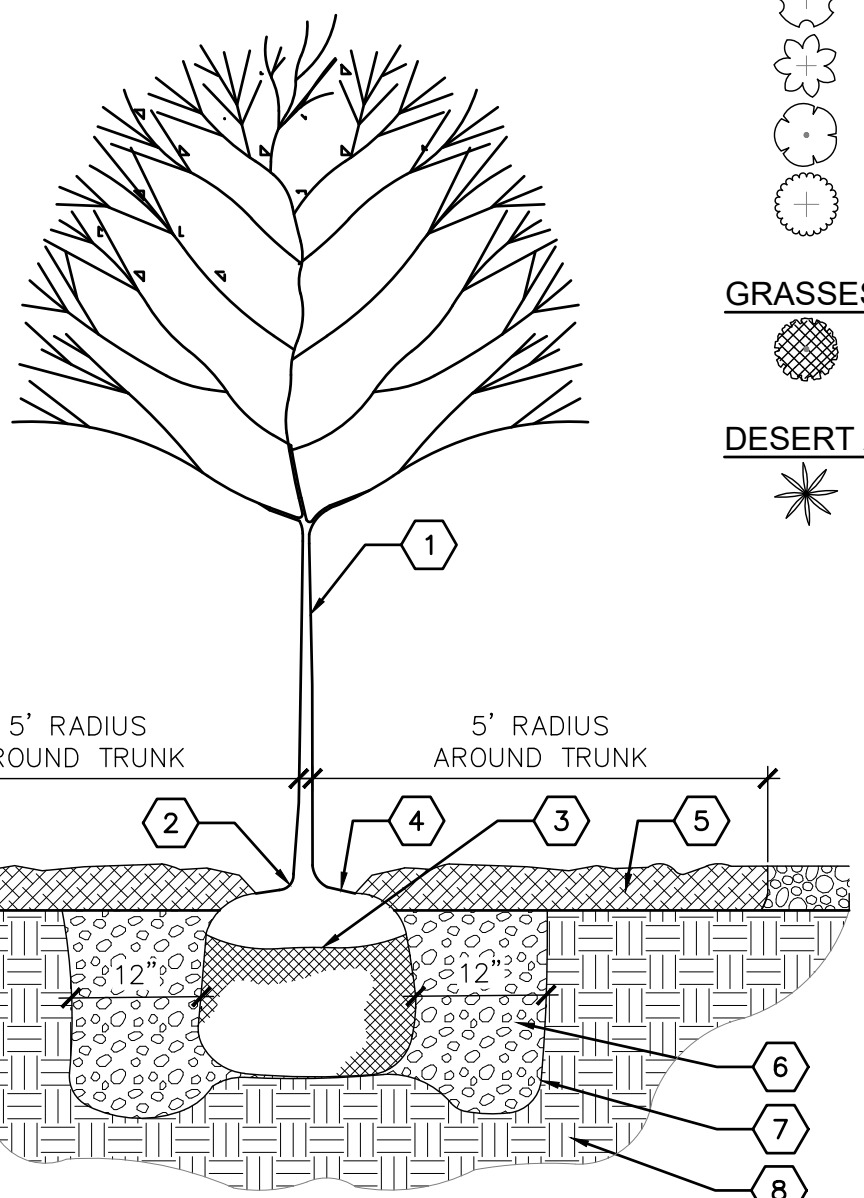
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	HT.	SPD.	INSTALLED SIZE
TREES								
	BO	2	BURR OAK	QUERCUS MACROCARPA	B&B	60'	35'	2" CAL., 10'-12' HT.
	VC	3	CHASTE TREE	VITEX AGNUS-CASTUS	24" BOX, MULTI-TRUNK	15'	15'	MIN. 6' HT.
	PC	7	CHINESE PISTACHE	PISTACIA CHINENSIS	30" BOX	35'	30'	2" CAL., 12'-14' HT.
	CL2	4	DESERT WILLOW	CHILOPSIS LINEARIS	24" BOX	20'	20'	5'- 7' HT., MS
	UP	3	LACEBARK ELM	ULMUS PARVIFOLIA	24" BOX	40'	40'	2.5" CAL.
	FN	2	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	24" BOX	15'	15'	2" CAL. 6'-8' HT.
	CO2	5	OKLAHOMA TEXAS REDBUD	CERCIS CANADENSIS TEXENSIS 'OKLAHOMA'	24" BOX	15'	15'	2" CAL. 6'-8' HT.
	CP	4	PINK POM POMS EASTERN REDBUD	CERCIS CANADENSIS 'PINK POM POMS'	24" BOX	12'	20'	2" CAL. 6'-8' HT.
	SB	1	SENSATION BOX ELDER	ACER NEGUNDO 'SENSATION'	B&B	30'	20'	2" CAL., 10'-12' HT.
	WH	4	WESTERN HACKBERRY	CELTIS OCCIDENTALIS	30" BOX	30'	20'	2" CAL., 12'-14' HT.
SHRUBS								
	FP	4	APACHE PLUME	FALLUGIA PARADOXA	5 GAL.	6'	6'	MIN. 18" SPD.
	BM	3	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	5 GAL.	5'	5'	MIN. 12" HT.
	HB	14	BRAKELIGHTS®RED YUCCA	HESPERALOE PARVIFLORA 'PERPA'	3 GAL.	2'	2'	MIN. 6" HT.
	CAT	14	CATMINT	NEPETA FAASSENII	1 GAL.	1'	3'	MIN. 6" SPD.
	EN	4	CHAMISA	ERICAMERIA NAUSEOSA	5 GAL.	5'	6'	MIN. 8" HT.
	CSC	13	CREEPING SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	2'	5'	MIN. 18" SPD.
	LA	8	ENGLISH LAVENDER	LAVANDULA ANGUSTIFOLIA	1 GAL.	3'	3'	MIN. 12" HT.
	CM2	12	FERNBUSH	CHAMAEBATIARIA MILLEFOLIUM	5 GAL.	6'	6'	MIN. 18" SPD.
	VS	4	FLAME SEEDLESS TABLE GRAPE	VITIS VINIFERA 'FLAME SEEDLESS'	5 GAL.	15'	15'	MIN. 12" HT.
	RG	7	GOLDEN CURRANT	RIBES AUREUM	3 GAL.	4'	4'	MIN. 12" HT.
	GLS	7	GRO-LOW SUMAC	RHUS AROMATICA 'GRO-LOW'	5 GAL.	3'	5'	MIN. 18" SPD.
	RI	18	INDIAN HAWTHORN	RHAPHIOLEPIS INDICA	5 GAL.	3'	4'	MIN. 12" HT.
	EV	9	MORMON TEA	EPHEDRA VIRIDIS	5 GAL.	4'	5'	MIN. 12" SPD.
	NWR	11	NEARLY WILD ROSE	ROSA 'NEARLY WILD'	5 GAL.	3'	3'	MIN. 12" HT.
	RD	22	PINK DOUBLE KNOCK OUT®ROSE	ROSA X 'RADTKOPINK'	3 GAL.	3'	3'	MIN. 12" HT.
	PS	12	PRARIE SAGE	ARTEMISIA LUDOVICIANA	5 GAL.	3'	3'	MIN. 12" HT.
	SU	15	ROSEMARY	SALVIA ROSMARINUS	3 GAL.	5'	5'	MIN 18" HT
GRASSES								
	SN	3	INDIAN GRASS	SORGHASTRUM NUTANS	3 GAL.	4'	3'	MIN. 12" HT.
DESERT ACCENTS								
	RY	18	RED YUCCA	HESPERALOE PARVIFLORA	5 GAL.	3'	3'	MIN. 12" HT.



KEYED NOTES

- VINE - SEE PLAN FOR SPECIES AND LOCATION.
- VERTICAL STRUCTURE - SEE PLAN.
- PLANT AT SAME DEPTH AS MAINTAINED AT NURSERY.
- MULCH - SEE PLAN. HOLD BACK 2" FROM VINE STEMS.
- EARTHEN BERM, 6" HEIGHT
- BACKFILL AND SOIL AMENDMENTS - SEE SPECIFICATIONS. MIX THOROUGHLY PRIOR TO INSTALLATION.
- SCARIFY EDGE OF PLANTING HOLE, CONTINUOUS ALL SIDES.
- UNDISTURBED SUBGRADE

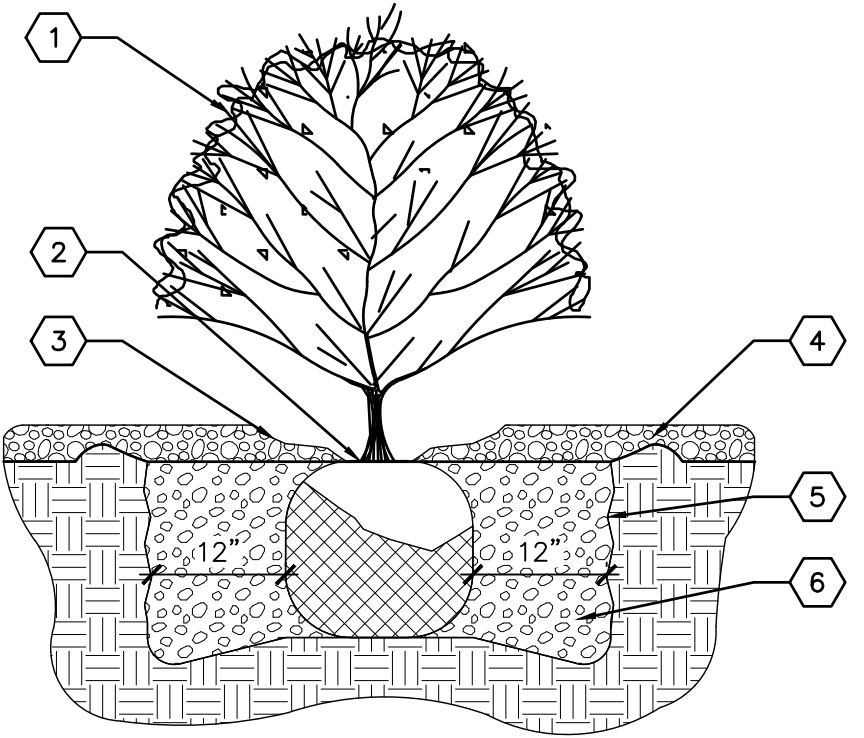
C1 VINE PLANTING
NOT TO SCALE



KEYED NOTES

- TREE - SEE PLAN FOR SPECIES AND LOCATION.
- REMOVE EXISTING SOIL FROM NURSERY AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE 2"-3" ABOVE GRADE.
- PLACE TREE IN HOLE AND STRAIGHTEN. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE AND/OR ROPE, AND BURLAP PRIOR TO BACKFILL.
- AVOID MULCH INSTALLATION 4"-6" FROM TREE TRUNK.
- ORGANIC MULCH.
- THOROUGHLY MIX BACKFILL AND SOIL AMENDMENTS PRIOR TO INSTALLATION - SEE SPECIFICATIONS.
- SCARIFY EDGE OF PLANTING HOLE, CONTINUOUS ALL SIDES.
- UNDISTURBED SUBGRADE

A1 TREE PLANTING
NOT TO SCALE



KEYED NOTES

- SHRUB - SEE PLAN FOR SPECIES AND LOCATION.
- PLANT AT SAME DEPTH AS MAINTAINED AT NURSERY.
- FEATHER MULCH TO A 2" DEPTH ON TOP OF ROOT BALL AND HOLD BACK 2" FROM SHRUB STEM(S).
- GRAVEL MULCH.
- SCARIFY EDGE OF PLANTING HOLE, CONTINUOUS ALL SIDES.
- THOROUGHLY MIX BACKFILL AND SOIL AMENDMENTS PRIOR TO INSTALLATION - SEE SPECIFICATIONS.

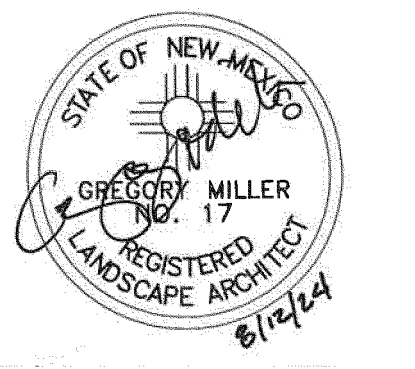
A2 SHRUB PLANTING
NOT TO SCALE

GENERAL PLANTING NOTES

CODE	DESCRIPTION
GP-01	IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT LEGEND AND THOSE SHOWN ON THE PLANTING PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION. NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT LIST.
GP-02	FILTER FABRIC SHALL BE MIN. 4 OZ. NON-WOVEN NEEDLE-PUNCHED POLYPROPYLENE (MIRAFI OR EQUIVALENT). OVERLAP ENDS 3" AND TURN DOWN EDGES 6"
GP-03	THE TOP OF MULCH SHALL BE 1" BELOW TOP OF ADJACENT CONCRETE SURFACES.
GP-04	CONTRACTOR SHALL PRUNE LOWER BRANCHES OF DECIDUOUS TREES AS DIRECTED BY LANDSCAPE ARCHITECT IN THE FIELD.
GP-05	TREES SHALL BE INSTALLED PER DETAIL A4/LP501.
GP-06	SHRUBS SHALL BE INSTALLED PER DETAIL B4/LP501.
GP-07	IF THERE IS A DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE CONTAINER SIZE CALLED OUT UNDER "REMARKS" AND HEIGHT & SPREAD CALLED OUT UNDER "SIZE", THE SPECIFIED PLANT MUST MEET HEIGHT & SPREAD REQUIREMENTS SPECIFIED UNDER "SIZE", EVEN IF A LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS, AT NO ADDITIONAL COST TO THE OWNER.
GP-08	TREES AND SHRUBS SHALL BE INSTALLED PER SPECIFICATION SECTION 329300 - PLANTS.
GP-09	VINES SHALL BE INSTALLED PER DETAIL B6/LP501.
GP-10	PER 5-6(C)(4)(G), ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6- 6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.
GP-11	PER 5-6(C)(4)(H), ALL REQUIRED PLANT MATERIALS SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ASNA) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
GP-12	PER 5-6(C)(5)(A), ALL VEGETATED MATERIAL REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE PLANTED IN UNCOMPACTED SOIL. PLEASE ADD A NOTE TO THE LANDSCAPE PLAN GENERAL NOTES TO REFLECT THIS CODE
GP-13	PER 5-6(C)(5)(B), IF USED, WEED BARRIERS SHALL BE PERMEABLE TO OPTIMIZE STORMWATER INFILTRATION AND PREVENT RUNOFF.
GP-14	PER 5-6(C)(5)(D), A MINIMUM OF 2 INCHES OF ORGANIC MULCH IS REQUIRED IN ALL PLANTING AREAS, WITH 3-4 INCHES RECOMMENDED.
GP-15	5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
GP-16	PER 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.
GP-17	PER 5-6(C)(9)(C), WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, THE APPLICANT SHALL INSTALL AN ADEQUATE IRRIGATION SYSTEM THAT MEETS THE MINIMUM TECHNICAL REQUIREMENTS IN ARTICLE 6-6 OF ROA 1994 (TREES, VEGETATION AND LANDSCAPING) AND THE DPM, WITH A SEPARATE METER FOR THE LANDSCAPE AREA IN THE PUBLIC RIGHT-OF-WAY, OR A SEPARATE VALVE(S) AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY. DRIP IRRIGATION SYSTEMS AND ARTIFICIAL TURF SHALL NOT BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY.
GP-18	PER 5-6(C)(14)(A), IRRIGATION SYSTEMS SHALL COMPLY WITH SECTION 8 OF THE ABCWUA LEGISLATION AND ORDINANCES (CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE).
GP-19	PER 5-6(C)(14)(B), ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
GP-20	5-6(C)(14)(C), ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING.
GP-21	PER 5-6(C)(14)(D), THE IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, DRIVE AISLES, STREETS, AND PARKING AND LOADING AREAS.
GP-22	5-6(C)(15)(C) ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE ABUTTING PROPERTY OWNER OR THE PROPERTY OWNER'S AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF ANY LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT SHALL BE THE RESPONSIBILITY OF SUCH PROPERTY OWNER. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWTH OF PLANT MATERIALS THAT HAVE BEEN APPROVED BY THE APPLICABLE PUBLIC UTILITY AS PART OF A PLAN FOR LANDSCAPING, SCREENING, OR BUFFERING ON THE PUBLIC RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY. IF A PUBLIC UTILITY DISTURBS LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF THE PLANT MATERIALS DIE DESPITE THOSE EFFORTS, IT IS THE OBLIGATION OF THE ABUTTING PROPERTY OWNER TO REPLACE THE PLANT MATERIALS.
GP-23	5-6(C)(15)(D) PROPERTY OWNERS ACKNOWLEDGE THAT APPROVED LANDSCAPING AND TREES INSTALLED AND MAINTAINED IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT ABUTTING PRIVATE PROPERTIES ARE THE PROPERTY OF THE CITY, AND THAT THAT THE CITY RESERVES THE RIGHT TO REMOVE THEM IF NECESSARY FOR A TRANSPORTATION PROJECT WITHOUT COMPENSATION, BUT AT NO COST TO THE PROPERTY OWNER. LANDSCAPING INSTALLED IN AN ABUTTING PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT BY PROPERTY OWNERS AND LATER REMOVED BY THE CITY SHALL NOT IMPACT PREVIOUSLY APPROVED NET LOT AREA CALCULATIONS FOR REQUIRED LANDSCAPING.
GP-24	5-13(B)(7)(A) LANDSCAPING, SCREENING AND BUFFERING AREAS SHALL BE MAINTAINED IN COMPLIANCE WITH ARTICLES 6-6 AND 9-8 OF ROA 1994 (TREES, VEGETATION, AND LANDSCAPING AND WEEDS, LITTER, AND SNOW) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE).
GP-25	5-13(B)(7)(B) ALL LANDSCAPED AREAS SHALL BE MAINTAINED WITH A NEAT AND ORDERLY APPEARANCE, WHICH INCLUDES PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED PLANTS AND TREES, DISPOSAL OF LITTER, REPAIR OF DAMAGED WALLS AND HARD SURFACE AREAS, AND UPKEEP OF IRRIGATION SYSTEMS.
GP-26	5-13(B)(7)(D) WHERE LANDSCAPING WAS INSTALLED PURSUANT TO A SITE PLAN OR DEVELOPMENT APPROVAL, THE LANDSCAPING SHALL BE REPLACED ACCORDING TO ANY LANDSCAPING AND MAINTENANCE PLAN UNDER THAT APPROVAL.
GP-27	5-13(B)(7)(E) TREES OR PLANTS THAT DIE SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 CALENDAR DAYS AFTER NOTICE FROM THE CITY. THE REPLACEMENT OF DEAD VEGETATION IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
GP-28	5-13(B)(7)(F) STREET TREES SHALL BE MAINTAINED ALIVE AND HEALTHY. MAINTAINING AND REPLACING STREET TREES OR OTHER TREES PLANTED IN THE PUBLIC RIGHT-OF-WAY ARE THE RESPONSIBILITY OF ABUTTING PROPERTY OWNERS.



CONSULTANT



STAMP

DFT SUBMITTAL

PROJECT NAME

SOMOS

7200 CENTRAL AVE SE,
ALBUQUERQUE, NEW MEXICO 87108

SOMOS APARTMENTS
LIMITED PARTNERSHIP
LLLP

REVISIONS

NO.	DATE	DESCRIPTION
02	09/20/24	DFT COMMENTS
01	09/03/24	DFT COMMENTS

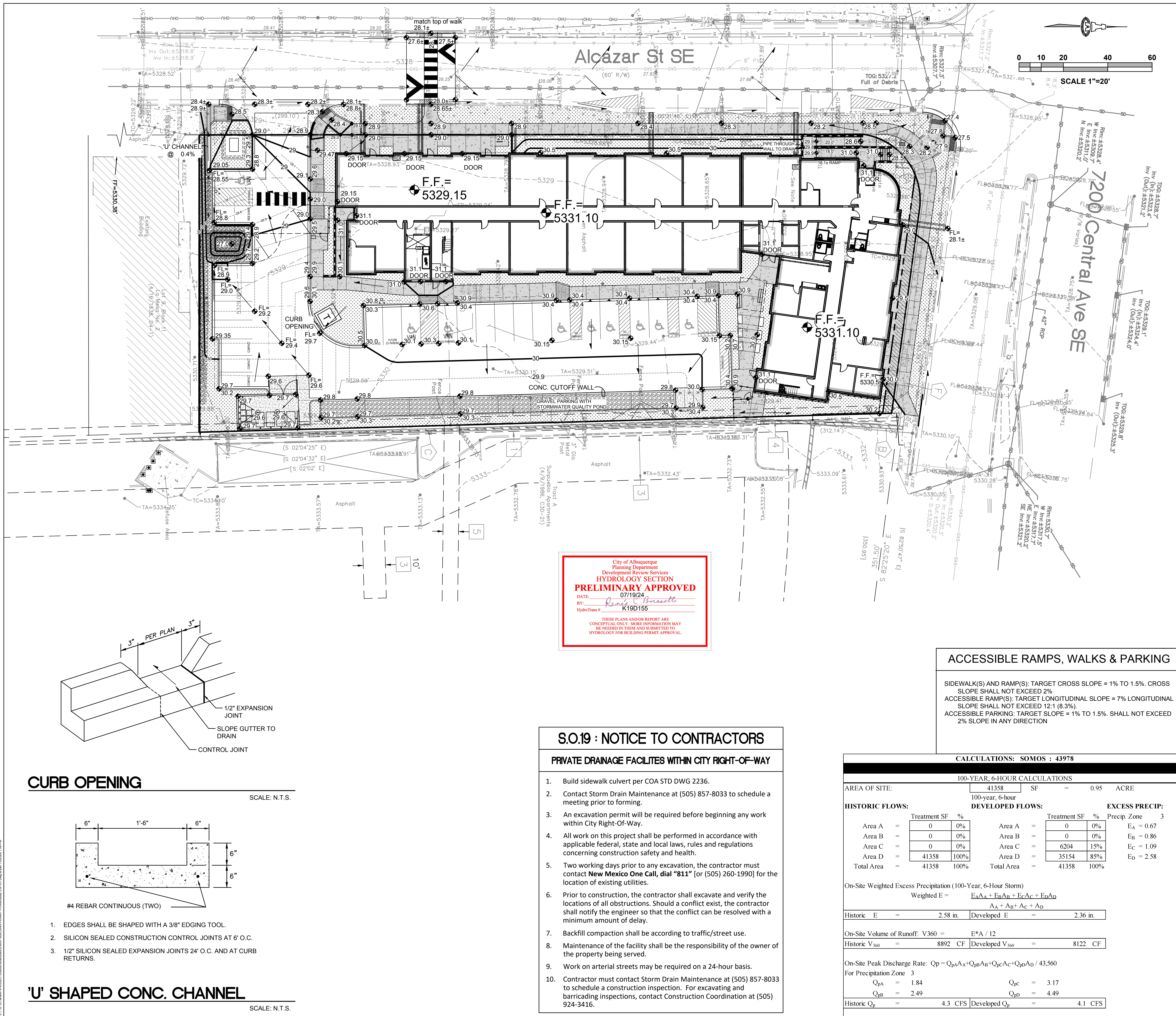
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Checked by	GM
Date	AUGUST 12TH, 2024
Project number	2735

SHEET TITLE

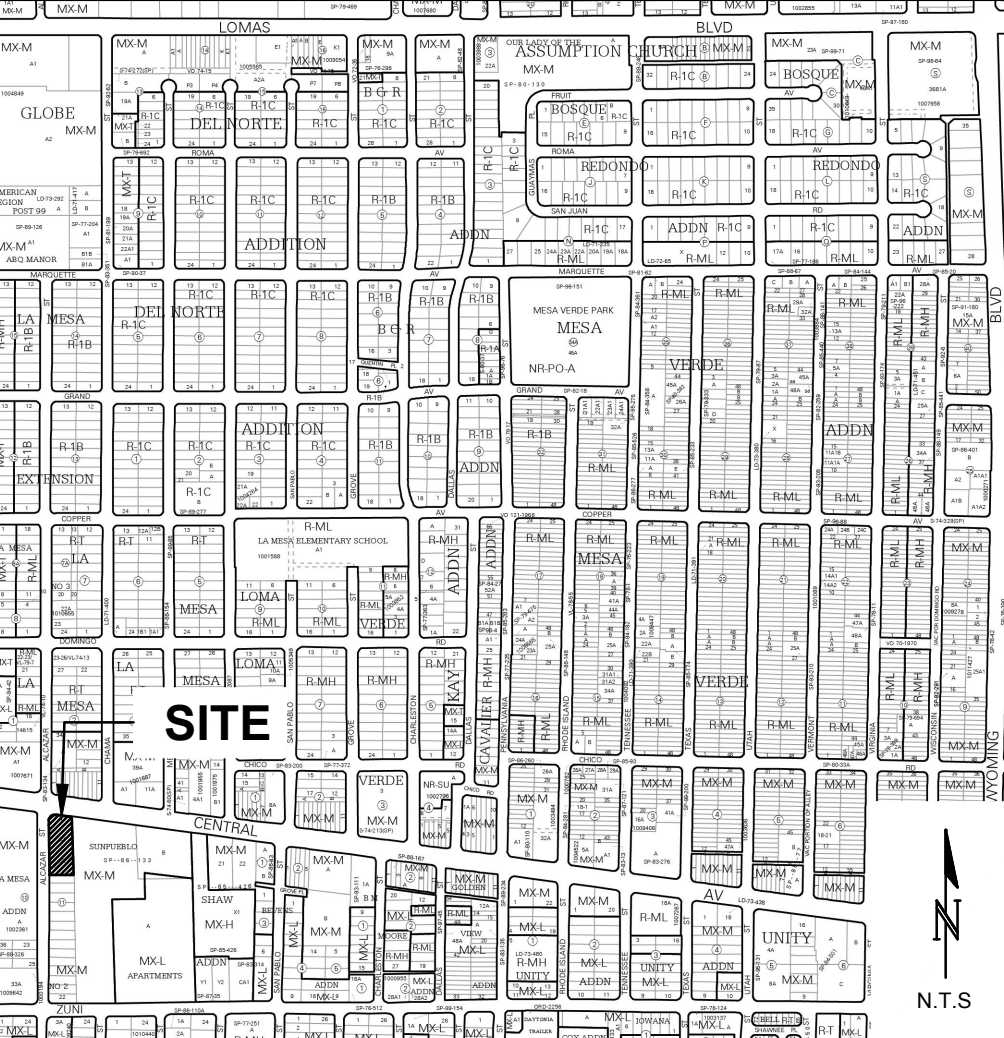
GENERAL
NOTES AND
DETAILS

SHEET NUMBER

SP7



C.O.A. VICINITY MAP K-19-Z



PROJECT INFORMATION

PROPERTY: THE SITE IS A PREVIOUSLY FULLY DEVELOPED COMMERCIAL LOT BOUNDED TO THE NORTH BY CENTRAL AVE NE, TO THE EAST BY A DEVELOPED MULTI-FAMILY RESIDENTIAL, TO THE SOUTH BY DEVELOPED COMMERCIAL LOT, AND TO THE WEST BY ALCAZAR ST SE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-FAMILY APARTMENT STRUCTURE WITH LIMITED RETAIL, ASSOCIATED PAVED ACCESS, PARKING, AND LANDSCAPING.

LOT SIZE: 0.9494 ACRES

LEGAL: TR A-1 PLAT OF TR A-1 BLK 11 LA MESA NO. 2.

BENCHMARK: ACS MONUMENT "14-K20" HAVING AN ELEVATION OF 5381.929

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0354H EFF. 8/16/2012, THE SITE IS LOCATED WITHIN FLOOD ZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: THIS PROPERTY WAS PREVIOUSLY FULLY DEVELOPED WITH APPROX. 90% LAND TREATMENT 'D' (BASED ON HISTORIC GOOGLE IMAGERY). THE PROPOSED DEVELOPMENT WILL CONTINUE TO FREE DISCHARGE TO THE ADJACENT STREETS TO ENTER THE PUBLIC STORM DRAIN SYSTEM AT THE INTERSECTION OF CENTRAL AND ALCAZAR. PER THE ATTACHED CALCULATIONS, THERE WILL BE A SMALL DECREASE IN 100-YEAR 6-HOUR DISCHARGE.

STORMWATER QUALITY VOLUME: FOR REDEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON THE 80TH PERCENTILE STORM EVENT OR 0.26". THE IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 85% OF TOTAL AREA OR 35,152 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.26" * TYPE 'D' AREA = 762 CF.

STORMWATER QUALITY VOLUME PROVIDED: WRAPPED GRAVEL AT PAVEMENT PARKING SPACES @ 160'X8'X1' @ 33% VOID = 422 CF SOUTH POND = 229 CF

TOTAL STORMWATER QUALITY VOLUME = 651 CF

PAYMENT IN LIEU THAT WOULD BE OTHERWISE OWED IS WAIVED FOR NEW DEVELOPMENT OR REDEVELOPMENT IN EITHER OF THE FOLLOWING AREAS: (1) METROPOLITAN REDEVELOPMENT AREAS OR (2) WITHIN CITY LIMITS AS OF 1999.

Isaacson & Arfman, Inc.
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128 Monroe Street NE
Albuquerque, NM 87108
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Preliminary
07/03/2024 2:04:03 PM

Engineer

SOMOS
7200 CENTRAL AVE. SE
ALBUQUERQUE, 87108

50% CONSTRUCTION	ISSUE: DOCUMENTS
PROJECT NUMBER: IA 2682	FILE: 2682 CG-101.dwg
DRAWN BY: -	CHECKED BY: -
DATE: 07/03/2024	

No	Date	Description

SHEET TITLE

GRADING & DRAINAGE PLAN

SHEET NUMBER

CG-101

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 07/19/24
BY: *Randy Brissett*
HydroTeam # K19D155

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

S.O.19 : NOTICE TO CONTRACTORS

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

- Build sidewalk culvert per COA STD DWG 2236.
- Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" [or (505) 260-1990] for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

ACCESSIBLE RAMPS, WALKS & PARKING

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12.1 (8.3%).
ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

GENERAL NOTES

- GRADES SHOWN ARE FINAL SURFACE GRADES (TOP OF CONCRETE, TOP OF LANDSCAPE MATERIAL, ETC).
- ALL DRAINAGE IMPROVEMENTS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN MUST BE COMPLETED BEFORE ENGINEER'S CERTIFICATION OF SUBSTANTIAL COMPLIANCE CAN BE ISSUED.

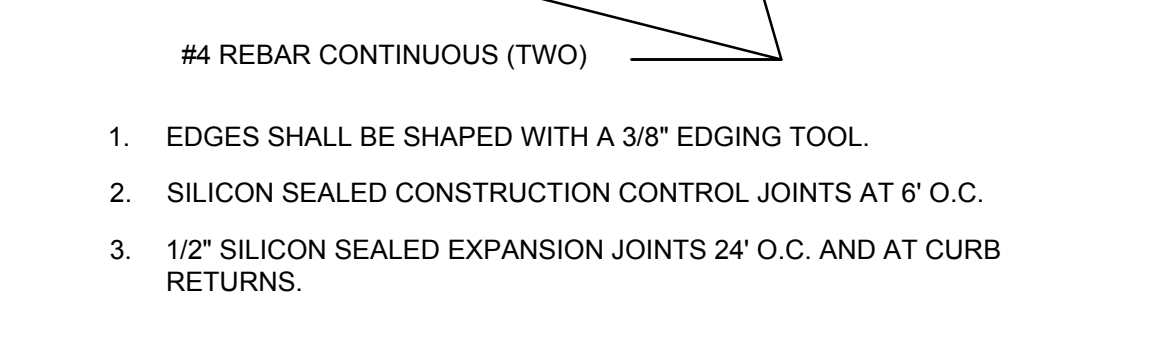
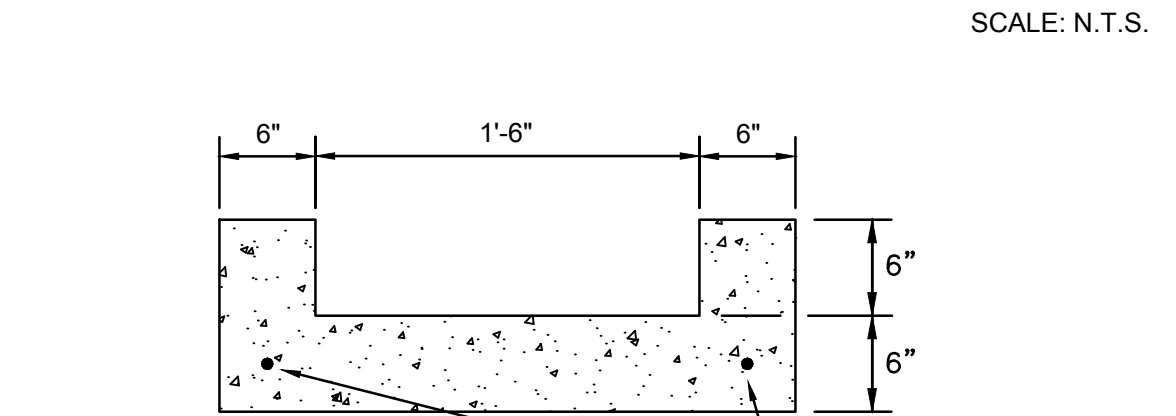
KEYED NOTES

- PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT
- 1' (BOTTOM WIDTH) CURB OPENING
- CONSTRUCT ADA COMPLIANT PARKING SPACES
- CONSTRUCT ADA COMPLIANT PEDESTRIAN ACCESS WALK AT ELEVATIONS SHOWN
- CONCRETE DUMPSTER PAD SLOPED TO INTERIOR DRAIN INLET(S).
- BUILDING EXTENDED STEMWALL REQUIRED TO ACHIEVE GRADES SHOWN.
- CONSTRUCT 2' WIDE ALLEY GUTTER
- CONSTRUCT 1.5' (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL THROUGH ISLAND TO PASS WATER

LEGEND



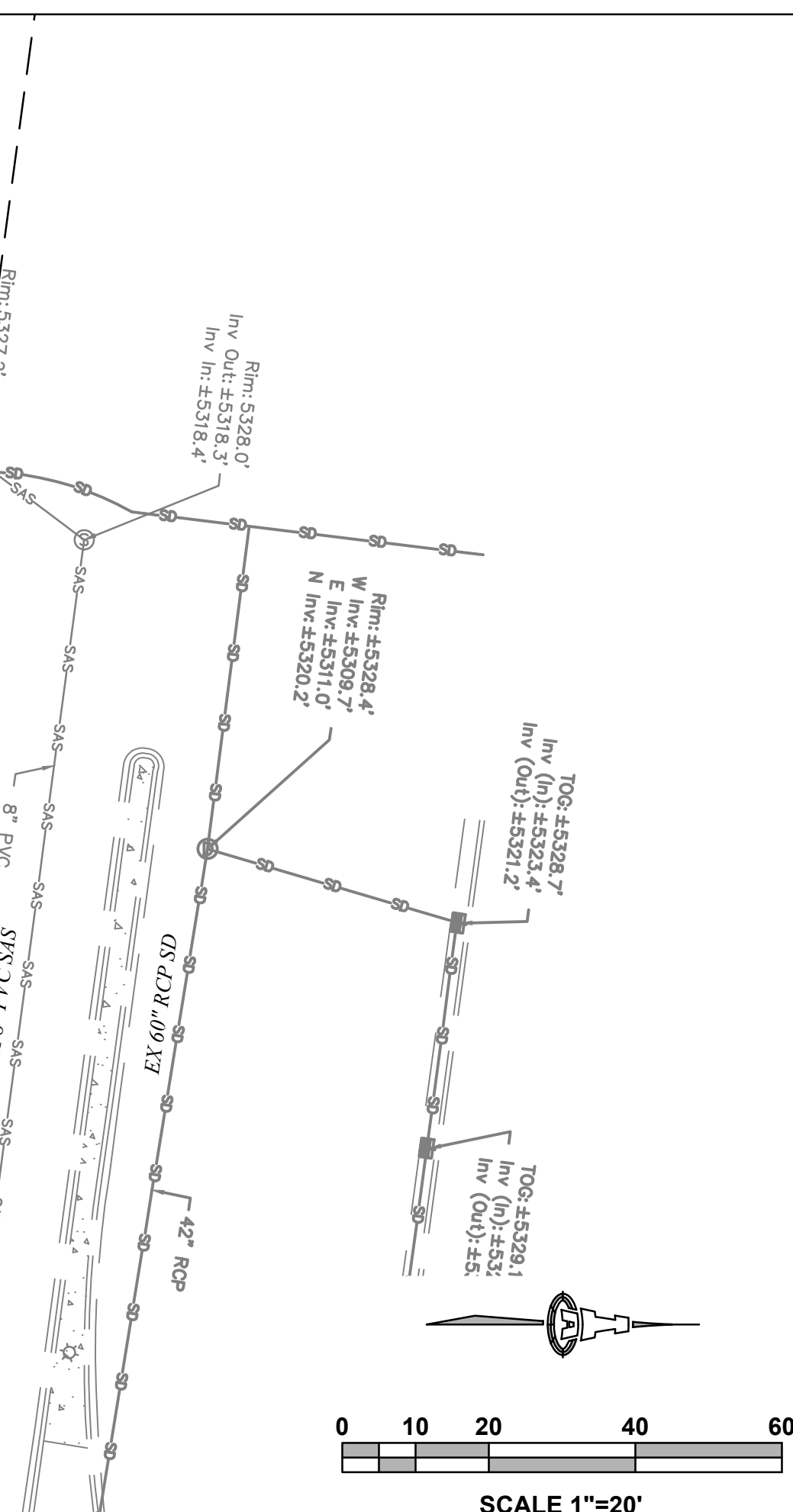
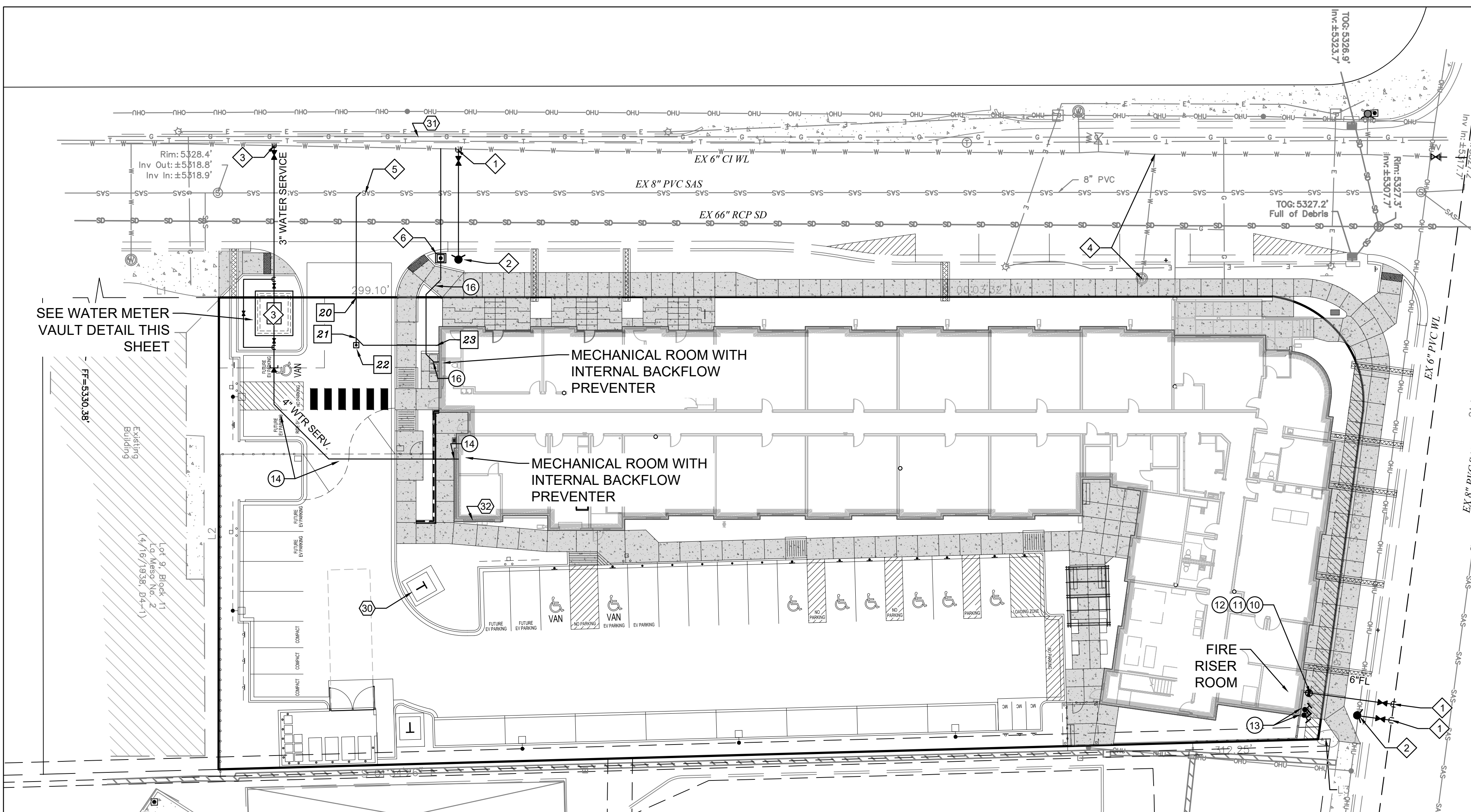
CURB OPENING



1. EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
2. SILICON SEALED CONSTRUCTION CONTROL JOINTS AT 6' O.C.
3. 1/2" SILICON SEALED EXPANSION JOINTS 24' O.C. AND AT CURB RETURNS.

'U' SHAPED CONC. CHANNEL

SCALE: N.T.S.



LEGEND

- EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING SEWER LINE
- EXISTING SEWER MANHOLE
- NEW FIRE LINE
- NEW WATER VALVE
- NEW FIRE HYDRANT
- NEW FDC
- NEW PIV
- NEW SEWER LINE
- PUBLIC WATER VALVE
- PUBLIC FIRE HYDRANT
- DISTANCE JOINTS TO BE RESTRAINED FROM FITTING OR VALVE

RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS

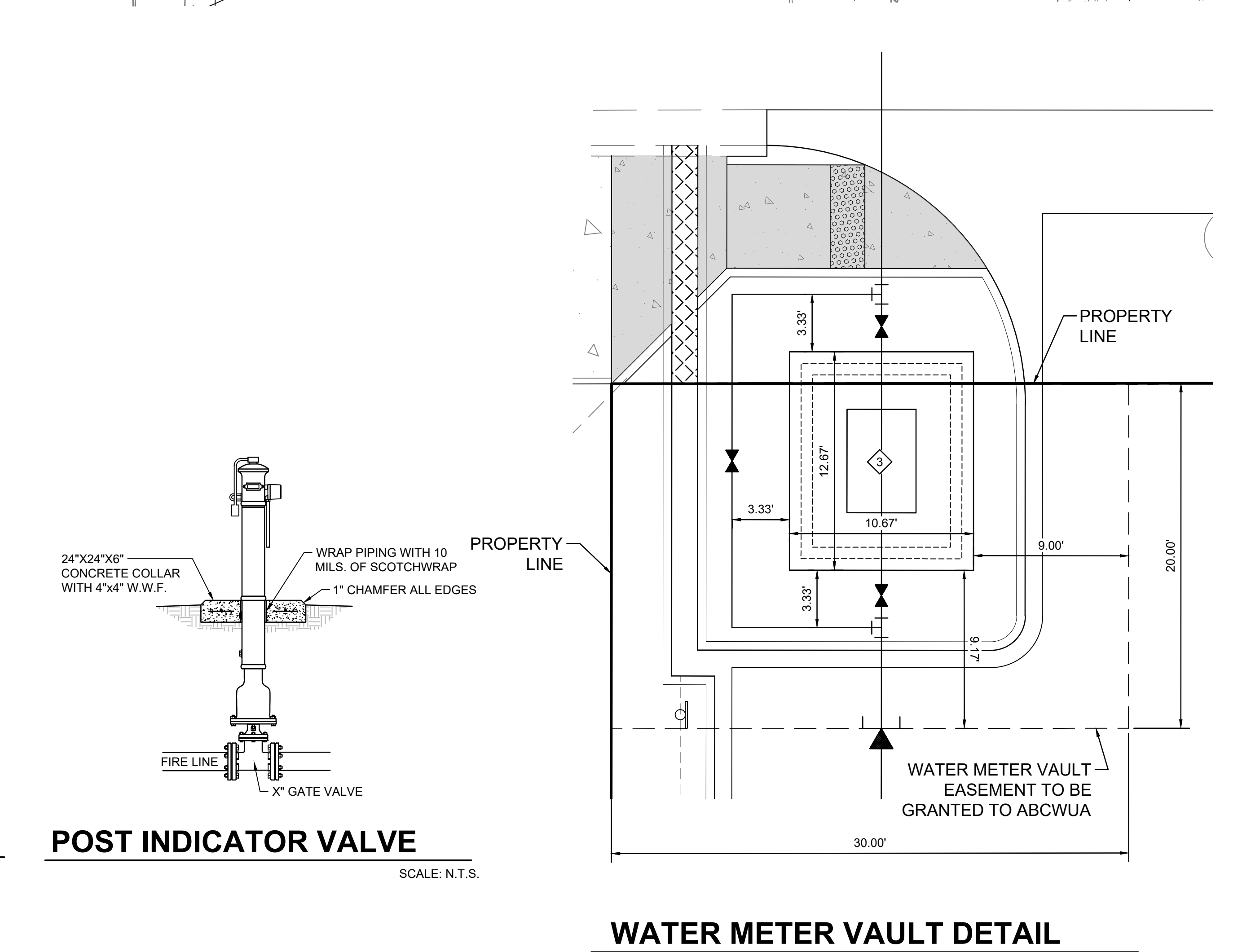
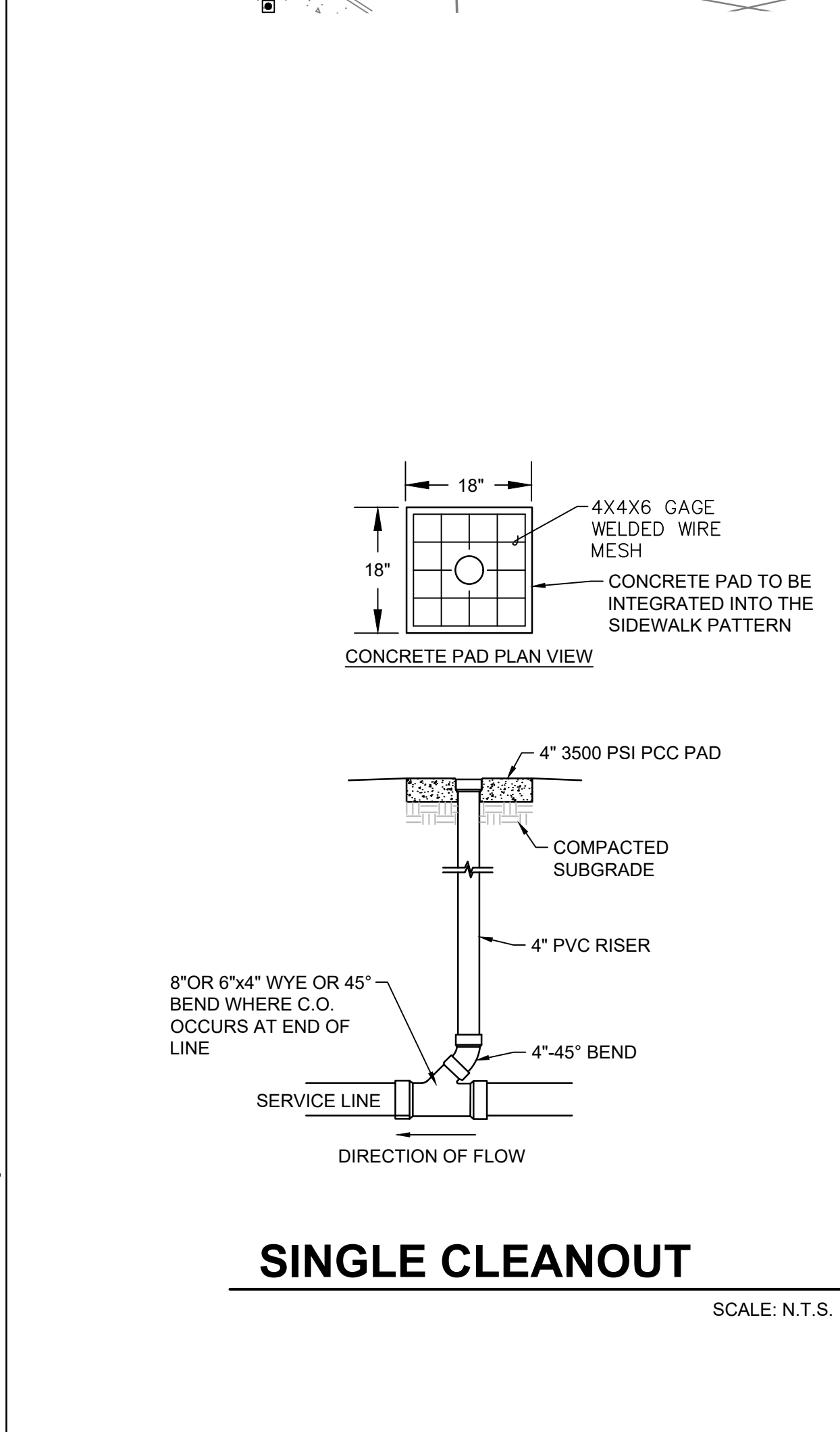
1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
 2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
 3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
 4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
- DEPTH OF BURY: 3.0 FT. MINIMUM
 FACTOR OF SAFETY: 1.5
 MATERIAL: PVC
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
 TEST PRESSURE: 150 PSI
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.
- DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

GENERAL NOTES

- A. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- B. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- C. SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- D. ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
- E. ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.
- F. WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.
- G. SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.
- H. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
- J. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.
- K. CONNECTION TO THE 10" STEEL LINE WILL REQUIRE ENGINEERED DETAILS ON THE CONNECTION PERMIT PLAN SUBMITTAL.
- L. ALL WORK PERFORMED ON PRIVATELY OWNED SEWER LINE AND SERVICE LINES MUST BE INSPECTED BY THE CITY OF ALBUQUERQUE'S CODE ADMINISTRATION DIVISION. IN ORDER THAT INSPECTION BY THE PLANNING DEPARTMENT, CODE ADMINISTRATION DIVISION, PLUMBING SECTION CAN BE EFFICIENTLY HANDLED, WITH A MINIMUM LOSS OF TIME TO CONTRACTOR, THE FOLLOWING SHALL BE NOTED:
 - INSPECTION ARRANGEMENTS FOR A SEWER SERVICE LINE SHALL BE MADE BY THE CONTRACTOR CALLING THE CITY OF ALBUQUERQUE, CODE ADMINISTRATION DIVISION, PLUMBING SECTION.
 - INSPECTION REQUESTS CALLED IN BETWEEN THE HOURS OF 8:00 A.M. AND 12:00 NOON WILL BE INSPECTED THE SAME AFTERNOON. INSPECTION REQUESTS CALLED IN BETWEEN THE HOURS OF 1:00 AND 5:00 P.M. WILL BE INSPECTED THE FOLLOWING MORNING, EXCEPT IN CASES OF EMERGENCY.

KEYED NOTES

- ABCWUA CONNECTION PERMIT ITEMS**
1. NON-PRESSURE CONNECTION. INSTALL 6" TEE W/ 6" GATE VALVE PER ABCWUA STD DWG #S 2301, 2326, 2328.
 2. INSTALL PUBLIC 4" BURY FIRE HYDRANT PER ABCWUA STD DWG #2340.
 3. 3" WATER METER IN VAULT PER ABCWUA STD DWG #2370.
 4. REMOVE AND DISPOSE EXISTING WATER METER BOX, CLOSE CORP STOP AT MAIN.
 5. INSTALL 8" WYE ON EXISTING SAS MAIN AND INSTALL NEW 8" SERVICE LINE TO ROW.
 6. 1" WATER METER PER ABCWUA STD DWGS #2362 & #2366.
- WATER KEYED NOTES**
10. REMOVE EXISTING 6" CAP AND CONNECT NEW 6" WATERLINE.
 11. PIV (POST INDICATOR VALVE).
 12. 3/4" ELECTRICAL CONDUIT W/ PULL STRING FROM PIV TO FIRE ROOM.
 13. WALL MOUNT FDC (FIRE DEPARTMENT CONNECTION).
 14. REMOVE 3" CAP. INSTALL 4"x3" REDUCER AND CONNECT NEW 4" SERVICE LINE TO BUILDING. SEE MECHANICAL PLAN FOR CONTINUATION.
 15. 4" - 45° BEND (LT = 5')
 16. TIE TO 1" WATER METER. INSTALL EXPANSION TO TRANSITION FROM 1" TO 1-1/4". INSTALL 1-1/4" WATER SERVICE LINE TO BUILDING. SEE MECHANICAL PLAN FOR CONTINUATION.
- SEWER KEYED NOTES**
20. CONNECT TO 8" SANITARY SEWER SERVICE AT ROW.
 21. INSTALL 8" WYE.
 22. INSTALL SINGLE CLEAN OUT PER DETAIL THIS SHEET.
 23. SEE MECHANICAL PLAN FOR CONTINUATION.
 24. INSTALL 8" - 45° BEND
- DRY UTILITY KEYED NOTES**
30. PNM TRANSFORMER. OWNER / CONTRACTOR TO COMPLETE AND SUBMIT A COMMERCIAL SERVICE APPLICATION TO PNM. PNM REPRESENTATIVE TO PROVIDE ONSITE ELECTRICAL SERVICE LINE LOCATION.
 31. NEW MEXICO GAS COMPANY GAS MAIN. OWNER / CONTRACTOR TO COMPLETE AND SUBMIT A COMMERCIAL SERVICE APPLICATION TO NMCGO.
 32. GAS METER LOCATION TO BE DETERMINED BY OWNER AND NMCGO.



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Engineer

SOMOS

**7200 CENTRAL AVE. SE
ALBUQUERQUE, 87108**

NOT FOR CONSTRUCTION DFT SUBMITTAL	
ISSUE:	IA 2662
PROJECT NUMBER:	2682 CU-101 - DFT.dwg
DRAWN BY:	
CHECKED BY:	
DATE:	07/03/2024

No	Date	Description
1	09-03-24	DFT Comments

SHEET TITLE

CONCEPTUAL
UTILITY PLAN

SHEET NUMBER

SP4

GENERAL SHEET NOTES

- Building mounted signs shall meet IDO Section 5-12(E)(5)(c) Mixed Use and Non-Residential Zone Districts and Table 5-12-3. The sign area shall not exceed 25% of the facade area, inclusive of door and window openings.
- Building design shall meet IDO Section 5-11(E) Multi-family Residential Development in UC-MS-PT Areas and Mixed Use and Non-Residential development in Mixed-Use Zone Districts.
- Per IDO 5-11(E) (1) the ground floor height shall have a minimum clear height of 10 feet.
- Per IDO Section 5-11(E)(2)(a), the facade design shall provide a sense of human scale and shall incorporate features along at least 30 percent of the length of the facade, distributed along the facade so that at least 1 of the features occurs every 40 feet. The elevations provide windows on the upper floors and awnings over windows as shown. The facades facing Central Avenue and Alcazar incorporate changes in color more than 20% of the horizontal length of the facade and wall plane projections or recesses of at least 1 foot in depth every 100 feet of the facade length and extending for at least 25 percent of the length of the facade.
- Per 5-11(E)(2)(b), windows on the upper floors shall be recessed by a minimum of 2-inches and the ground floor of the Central and Alcazar facades shall contain a minimum of 30 percent of its surface in transparent windows and/or doors.
- All exterior windows in common areas are to receive roller shades. All other exterior windows are to receive 2 1/2" white faux wood blinds.
- West facing facade solar effect mitigation elements:**
Fixed fenestration vinyl window U-Factor of U-0.33.
Operable fenestration vinyl window U-Factor of U-0.35.
Glazing Solar Heat Gain Coefficient (SHGC) PF-0.2 Fixed of 0.33
Glazing Solar Heat Gain Coefficient (SHGC) PF-0.2 Operable of 0.31
Wood framed walls above grade R-19 + R-3.8 c.i.



HARTMAN + MAJEWSKI
DESIGN GROUP

CONSULTANT

STAMP



DFT SUBMITTAL

PROJECT NAME

SOMOS

7200 CENTRAL AVE. SE,
ALBUQUERQUE, NEW MEXICO 87108

SOMOS APARTMENTS
LIMITED PARTNERSHIP
LLL P

REVISIONS

NO.	DATE	DESCRIPTION
02	09/20/24	DFT COMMENTS
01	09/03/24	DFT COMMENTS

Copyright: Design Group

Drawn by	JJ/JM
Checked by	KB
Date	SEP 03, 2024
Project number	2735

SHEET TITLE

BUILDING ELEVATIONS -
DFT SUBMITTAL

SHEET NUMBER

SP-8



NORTH ELEVATION (CENTRAL AVE FACING FACADE)
3/32" = 1'-0"

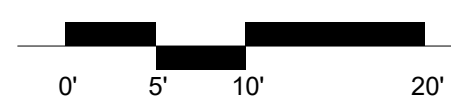
STREET ELEVATIONS TRANSPARENCY CALCULATIONS

CENTRAL AVE ELEVATION

- TOTAL NORTH FACADE LENGTH: 103'-6"
- 103'-6" LENGTH X 12' HEIGHT = 1,242SF OF FACADE SURFACE AREA FOR THE FIRST 12 FEET OF BUILDING HEIGHT.
- 30% REQUIRED TRANSPARENT DOORS AND WINDOWS FOR THE FIRST 12 OF BUILDING HEIGHT.
- 429SF OF TRANSPARENT DOORS AND WINDOWS PROVIDED.
- 429SF / 1,242SF = 34.5% OF FACADE SURFACE AREA IS TRANSPARENT DOORS AND WINDOWS FOR THE FIRST 12 FEET OF BUILDING HEIGHT.
- 34.5% PROVIDED > 30% REQUIRED

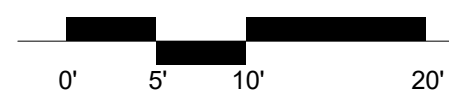
ALCAZAR ST ELEVATION

- TOTAL NORTH FACADE LENGTH: 254'-6"
- 254'-6" LENGTH X 12' HEIGHT = 3,054SF OF FACADE SURFACE AREA FOR THE FIRST 12 FEET OF BUILDING HEIGHT.
- 30% REQUIRED TRANSPARENT DOORS AND WINDOWS FOR THE FIRST 12 OF BUILDING HEIGHT.
- 977SF OF TRANSPARENT DOORS AND WINDOWS PROVIDED.
- 977SF / 3,054SF = 32% OF FACADE SURFACE AREA IS TRANSPARENT DOORS AND WINDOWS FOR THE FIRST 12 FEET OF BUILDING HEIGHT.
- 32% PROVIDED > 30% REQUIRED



WEST ELEVATION (ALCAZAR STREET FACING FACADE)
3/32" = 1'-0"

Commercial Signage Maximum Size Based Off IDO (Table 5-12-3):
Number, maximum: 1 / establishment frontage
Width, maximum: 50% of building frontage width
Height of message surface, maximum: letters and images must located on vertical surfaces, which may not exceed 18 in. height.



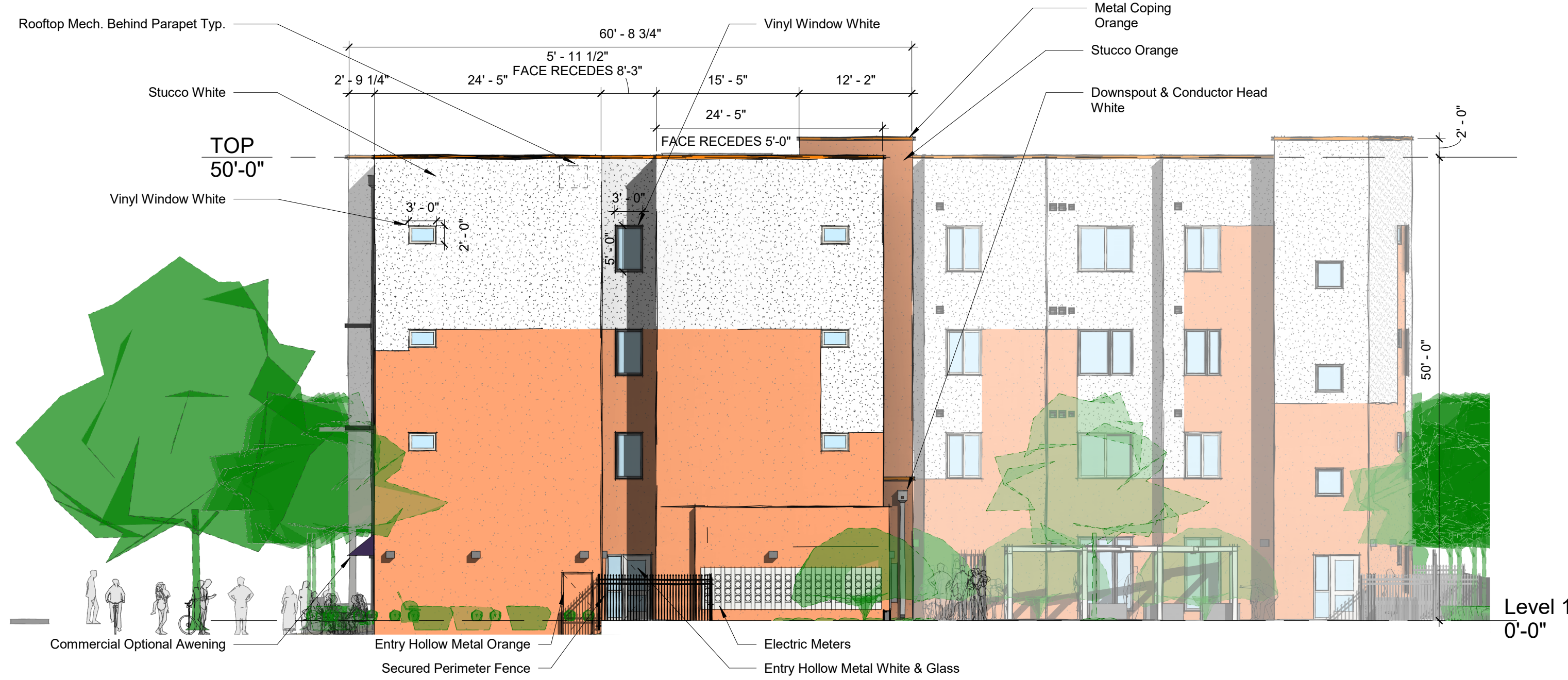
GENERAL SHEET NOTES

- a. Building mounted signs shall meet IDO Section 5-12(E)(5)(c) Mixed Use and Non-Residential Zone Districts and Table 5-12-3. The sign area shall not exceed 25% of the facade area, inclusive of door and window openings.
- b. Building design shall meet IDO Section 5-11(E) Multi-family Residential Development in UC-MS-PT Areas and Mixed Use and Non-Residential development in Mixed-Use Zone Districts.
- c. Per IDO 5-11(E) (1) the ground floor height shall have a minimum clear height of 10 feet.
- d. Per IDO Section 5-11(E)(2)(a), the facade design shall provide a sense of human scale and shall incorporate features along at least 30 percent of the length of the facade, distributed along the facade so that at least 1 of the features occurs every 40 feet. The elevations provide windows on the upper floors and awnings over windows as shown. The facades facing Central Avenue and Alcazar incorporate changes in color more than 20% of the horizontal length of the facade and wall plane projections or recesses of at least 1 foot in depth every 100 feet of the facade length and extending for at least 25 percent of the length of the facade.
- e. Per 5-11(E) (2)(b), windows on the upper floors shall be recessed by a minimum of 2-inches and the ground floor of the Central and Alcazar facades shall contain a minimum of 30 percent of its surface in transparent windows and/or doors.

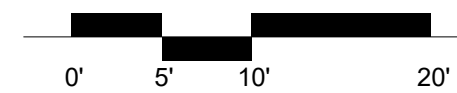


**HARTMAN + MAJEWSKI
DESIGN GROUP**

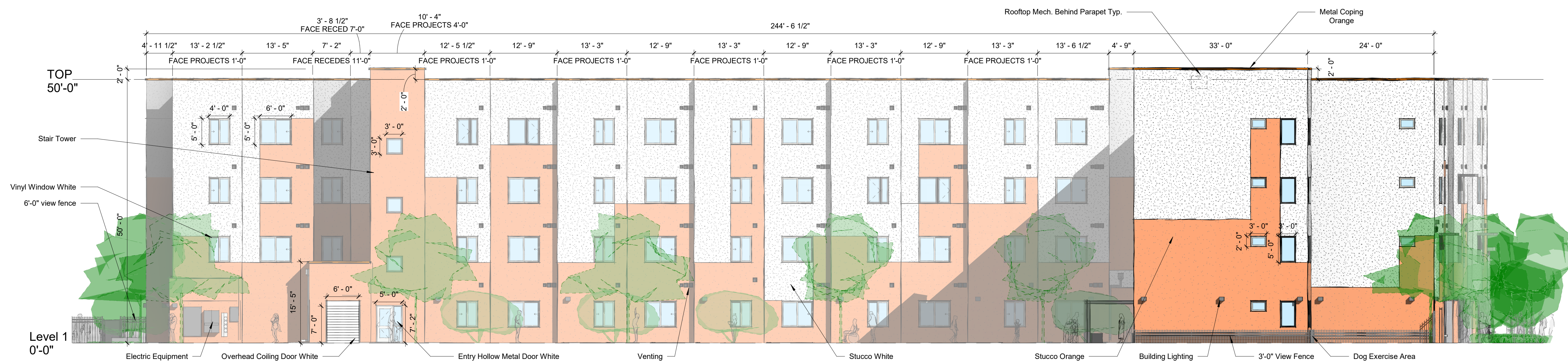
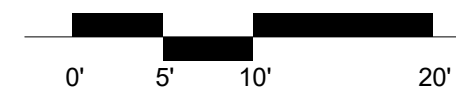
CONSULTANT



SOUTH ELEVATION (INTERIOR FACING FACADE)
3/32" = 1'-0"



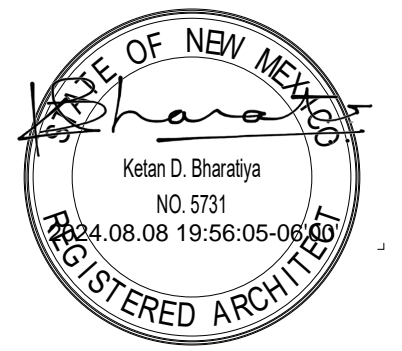
SOUTH ELEVATION (INTERIOR FACING FACADE)
3/32" = 1'-0"



EAST ELEVATION (INTERIOR FACING FACADE)
3/32" = 1'-0"



STAMP



DFT SUBMITTAL

PROJECT NAME

SOMOS

7200 CENTRAL AVE. SE,
ALBUQUERQUE, NEW MEXICO 87108

SOMOS APARTMENTS
LIMITED PARTNERSHIP
LLL

REVISIONS

NO.	DATE	DESCRIPTION

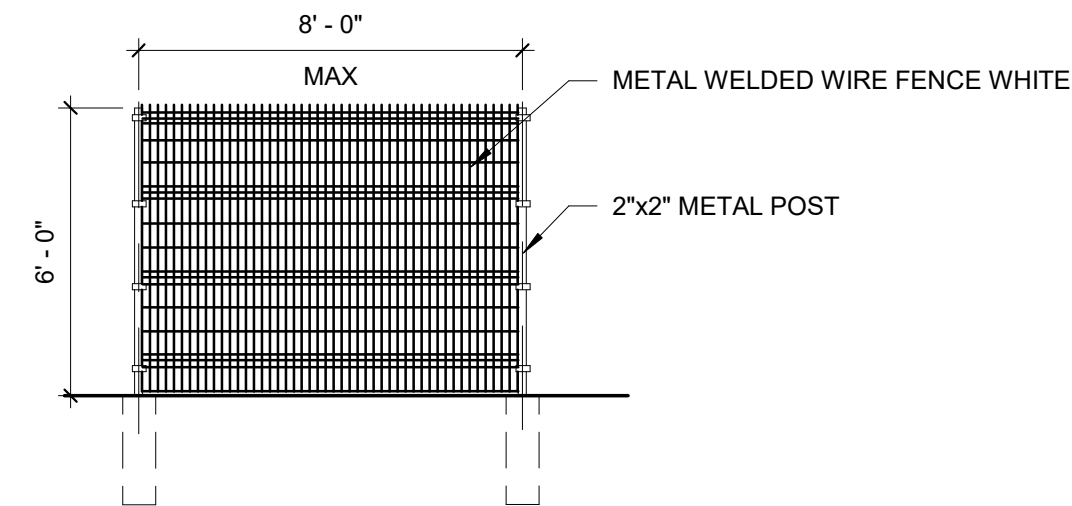
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Drawn by	VM
Checked by	KB
Date	AUGUST 12, 2024
Project number	2735

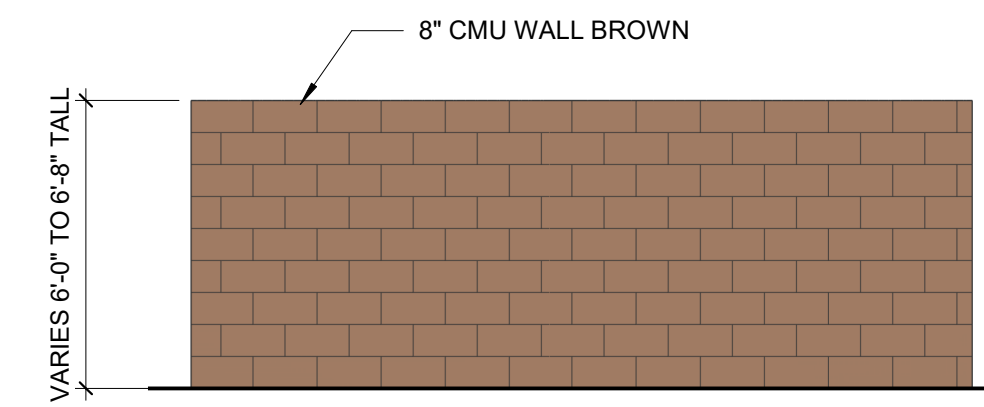
SHEET TITLE

**BUILDING ELEVATIONS -
DFT SUBMITTAL**
SHEET NUMBER

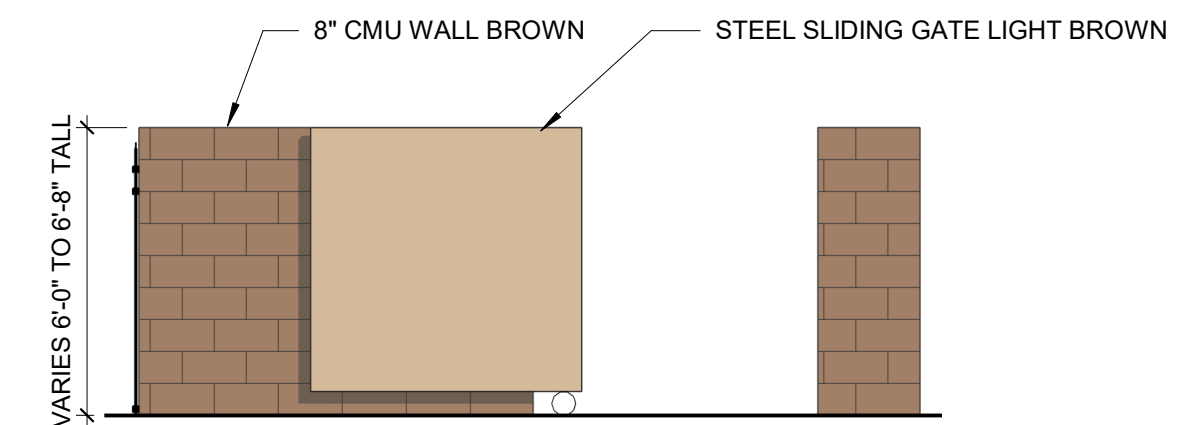
SP-9



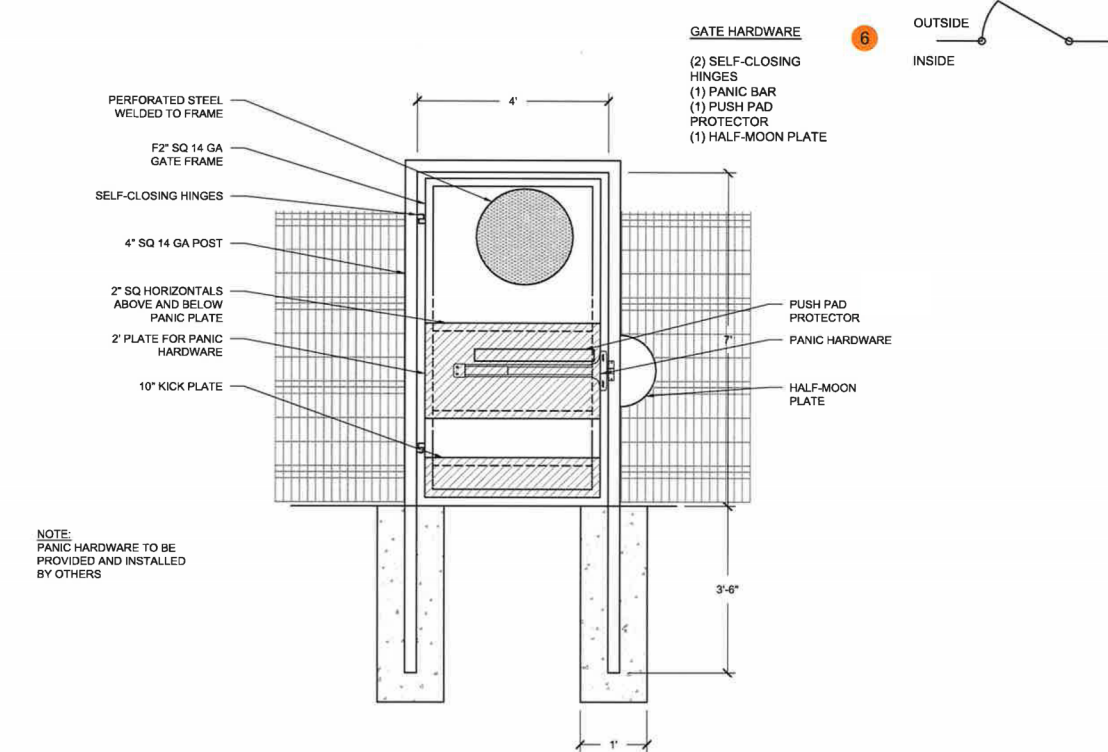
D3 SITE FENCE TYPICAL
1/4" = 1'-0"



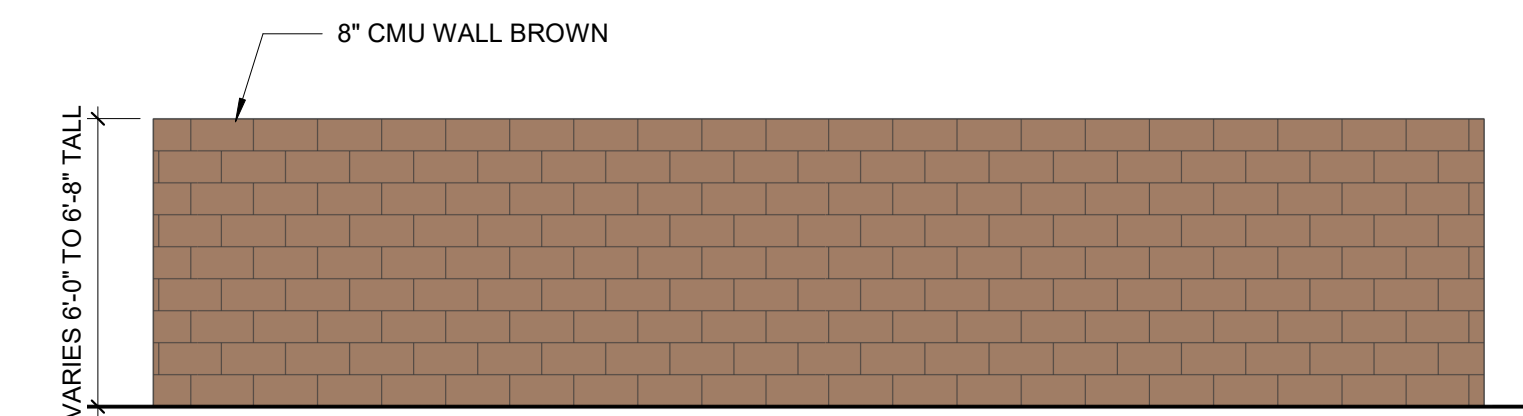
D5 REFUSE ENCLOSURE SOUTH
1/4" = 1'-0"



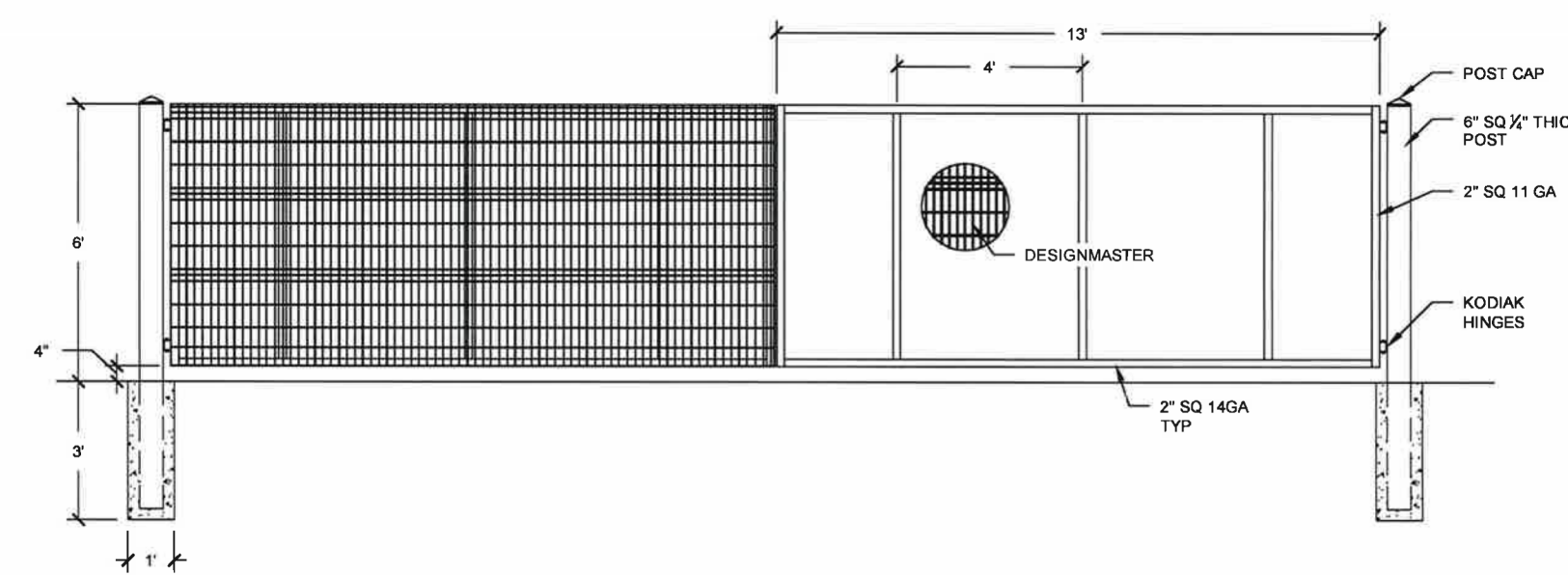
C5 REFUSE ENCLOSURE NORTH
1/4" = 1'-0"



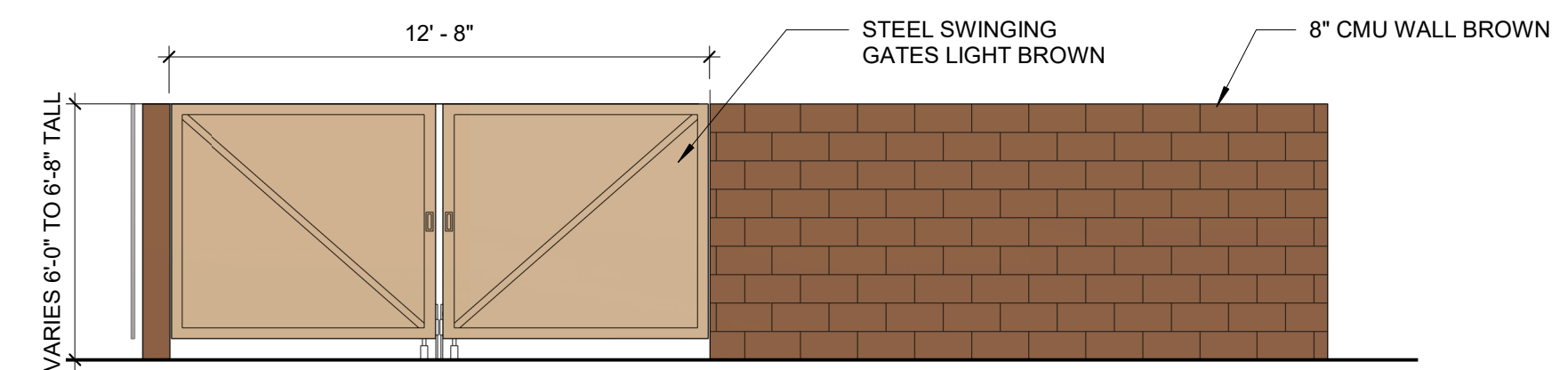
C3 PEDESTRIAN EGRESS GATE
1/4" = 1'-0"



B5 REFUSE ENCLOSURE EAST
1/4" = 1'-0"



A3 CAR EGRESS GATE
1/4" = 1'-0"



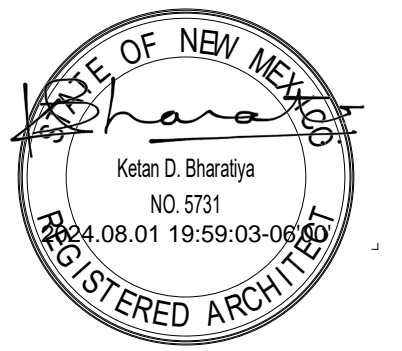
A5 REFUSE ENCLOSURE WEST
1/4" = 1'-0"



HARTMAN + MAJEWSKI
DESIGN GROUP

CONSULTANT

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DFT SUBMITTAL

PROJECT NAME

SOMOS

7200 CENTRAL AVE SE,
ALBUQUERQUE, NEW MEXICO 87108

SOMOS APARTMENTS
LIMITED PARTNERSHIP
LLLP

REVISIONS

NO.	DATE	DESCRIPTION

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Drawn by	VM
Checked by	KB
Date	AUGUST 12, 2024
Project number	2735

SHEET TITLE

SITE DETAILS - DFT
SUBMITTAL

SHEET NUMBER

SP-10



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP-24-019530
APPROVED DATE: 05/16/24
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 2250GPM, 2 HYDRANTS, V-A CONSTRUCTION

Isaacson & Arfman, Inc.
Civil Engineering Consultants
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NOT FOR CONSTRUCTION
Engineer

SAMOS MIXED USE
7200 CENTRAL AVE SE

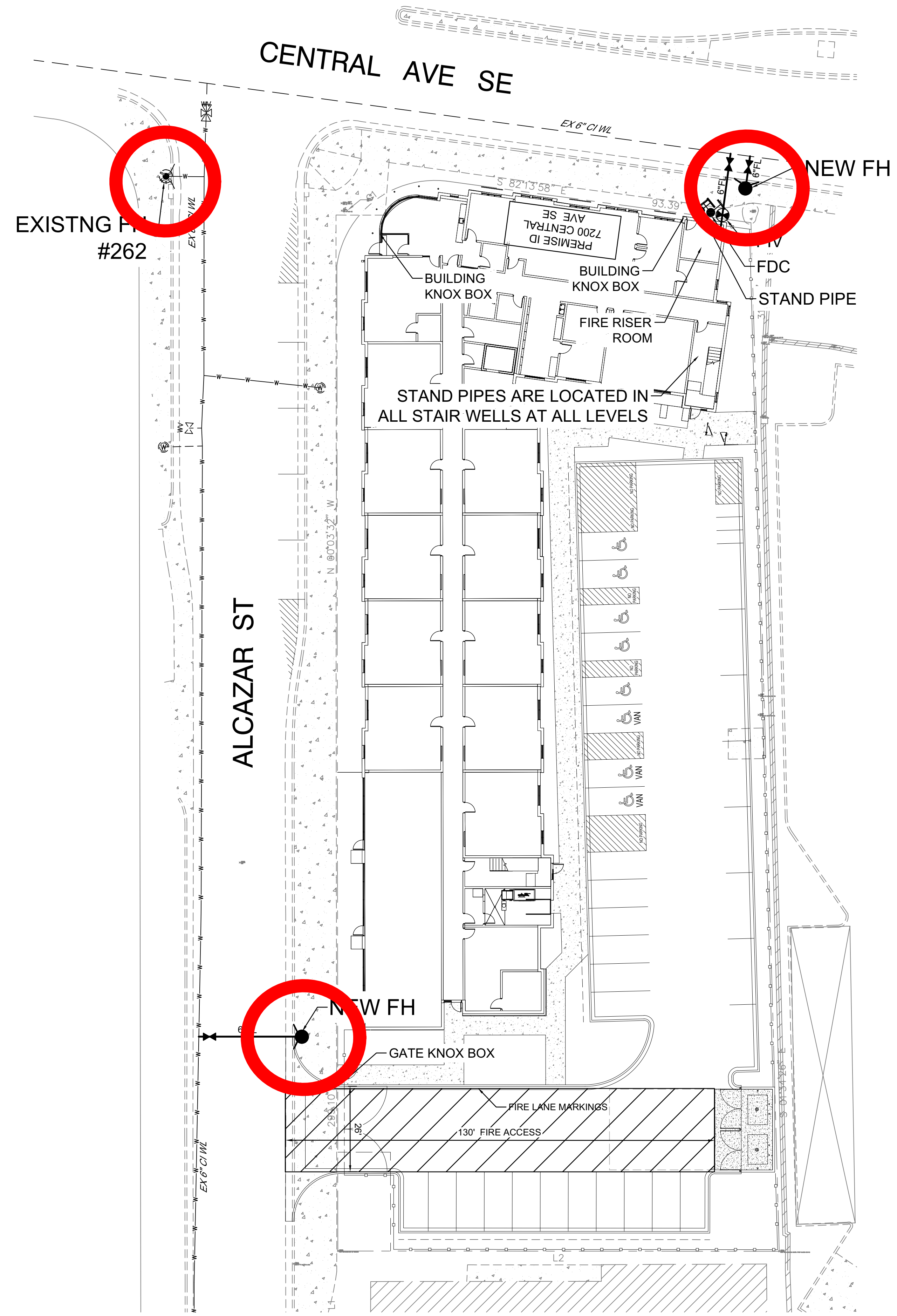
DESIGN	ISSUE
DEVELOPMENT	NUMBER
PROJECT NUMBER: IA XXXX	FILE:
DRAWN BY:	CHECKED BY:
DATE:	DATE:

No	Date	Description

SHEET TITLE
FIRE HYDRANT LOCATION & ACCESS PLAN

SHEET NUMBER

FIRE 1
FP-24-019530



STAND PIPES ARE LOCATED IN ALL STAIR WELLS AT ALL LEVELS

MIXED USE COMPLEX
OCCUPANCY GROUP R-2 & B
BUILDING IS TYPE V-A
64,380 SQ. FT.
BUILDING IS SPRINKLED, NFPA-13
FIRE FLOW IS 4,500 / 2 = 2,250 GPM.
= 2 FIRE HYDRANTS
1 NEW FIRE HYDRANTS
1 EXISTING FIRE HYDRANT NEAR SITE

MAX. BUILDING HEIGHT IS 48'-0"
STAND PIPE IS PROVIDED.
HIGHEST 4TH FLOOR LEVEL IS 36'-0"

FIRE DEPARTMENT CONNECTION, POST INDICATOR VALVE AND FIRE HYDRANT SHALL HAVE A MINIMUM DISTANCE OF 3' FROM ANY PERMANENT OBJECTS.

FIRE DEPARTMENT CONNECTION SHALL BE WITHIN 100' OF A FIRE HYDRANT.

BUILDING TO HAVE A PREMISES ID VISIBLE FROM CENTRAL AVE

BUILDING TO HAVE KNOX BOXES AT ENTRANCES

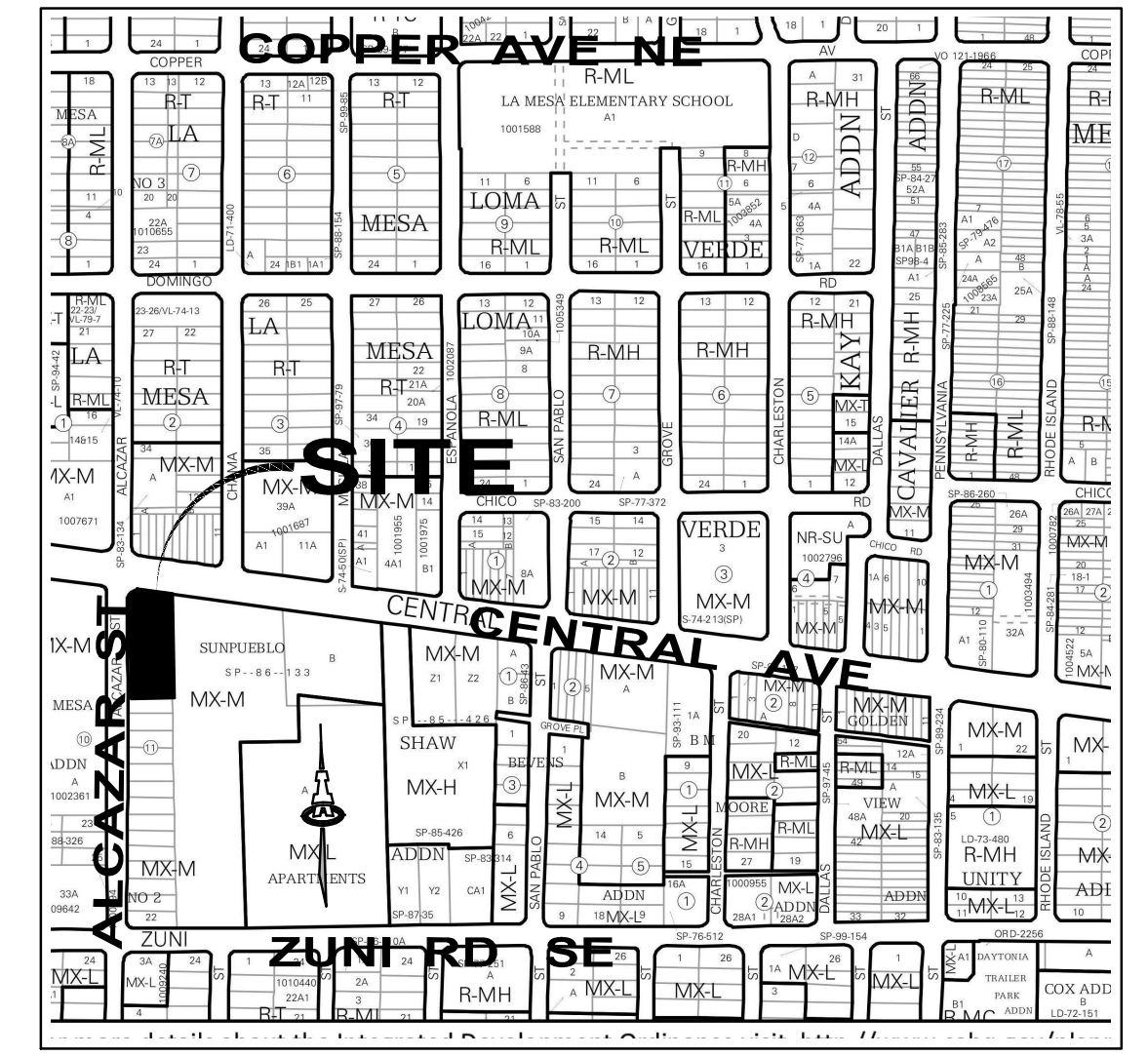
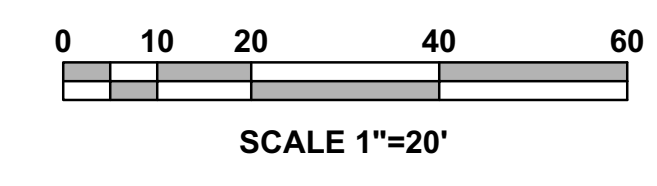
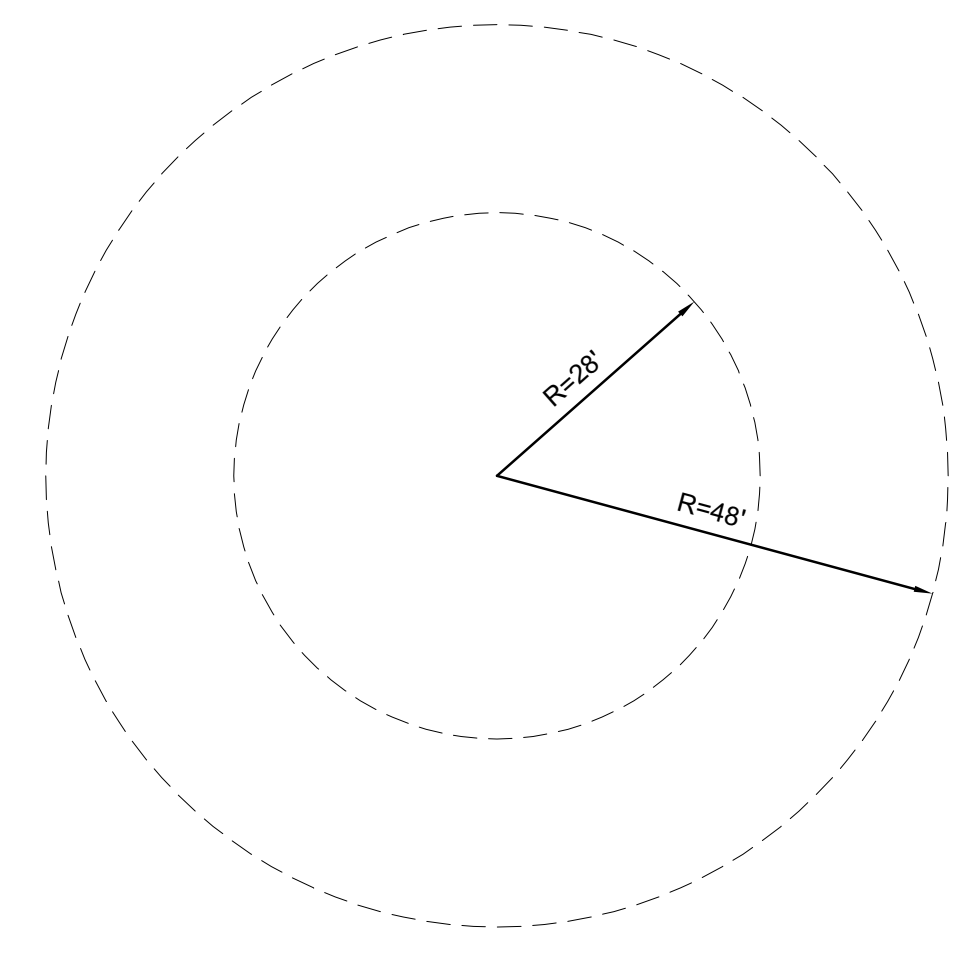
ALL GATES ARE ELECTRICALLY OPERATED WITH A KNOX KEY SWITCH. EMERGENCY ACCESS.

ALL ACCESS ROADS AND FIRE LANES HAVE GRADES LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE PATHS WILL ACCOMMODATE A 28' MINIMUM TRUCK TURNING RADIUS

FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED HEIGHT NOT LESS THAN 13'-6".

THERE ARE NO OVERHEAD OBSTRUCTIONS ON SITE TO PROHIBIT LADDER TRUCK OPERATIONS



K-19

PR-2024-010784_SI-2024-01164_Somos Final Sign-off Signature Page

Interim Agreement Report









2024-11-19

Created:	2024-10-10
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Out for Signature
Transaction ID:	CBJCHBCAABAAKoEqTnt90I9VDViuubuAhkyJQssCs2r

Agreement History


Agreement history is the list of the events that have impacted the status of the agreement prior to the final signature. A final audit report will be generated when the agreement is complete.

"PR-2024-010784_SI-2024-01164_Somos Final Sign-off Signature Page" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
2024-10-10 - 3:12:14 PM GMT
-  Document emailed to Tiequan Chen (tchen@cabq.gov) for signature
2024-10-10 - 3:14:27 PM GMT
-  Document emailed to Jolene Wolfley (jwolfley@cabq.gov) for signature
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