



Memorandum

To: Jolene Wolfley, Chair
Jay Rodenbeck, Planning Manager

From: Jackie Fishman, AICP, Principal

Date: September 9, 2024

Re: Re-submittal of Site Plan-DFT _ PR-2024-010784/SI-2024-01164

The following memo provides responses to DFT staff comments for the SOMOS Affordable Housing Plan, Site Plan-Administrative application heard on August 21, 2024. Staff comments are in italic followed by the Applicant responses.

CODE ENFORCEMENT

- 1. Property is zoned MX-M and Must meet all Dimensional Standards of MX-M, as per IDO 5- 1(D), Table 5-1-2. Table requires a 15 ft corner side yard setback on site plan in the UC-MS- PT areas. Site Plan shows building setback at 8.36 feet. Need to correct or obtain Variance.*

Applicant Response: As explained at the 8/21 DFT meeting, Table 5-1-2 requires a minimum side setback of 0 feet and a **maximum** setback of 15 feet on street sides of corner lots within UC-MS-PT areas. Therefore, the 8.36-foot side setback is compliant with the IDO dimensional standards.

- 2. Property is located within the Main Street (MS), Premium Transit (PT), and Major Transit (MT) Corridor areas, and must meet development standards of IDO 5-1(D)(2) for Urban Center, Main Street, and Premium Transit Areas.*

Applicant Response: Agreed, the Site Plan is compliant with the development standards for UC-MS-PT areas.

- 3. Parking calculations have several potential discrepancies, as follows:*
 - a. Parking shown for "commercial space" is calculated as 1.75/1000 x 1700 sq ft. Clarify what use is being cited for this parking calculation (ie: restaurant, retail, commercial service). Commercial services requires 3 spaces/1000.*

Applicant Response: The Site Plan has been revised to state that the "Commercial space may be commercial service, commercial retail, or a combination of both. Therefore, the parking calculation used below is based on commercial services, which requires more parking than commercial retail." The parking calculation shows 1,700 SF commercial x **3 spaces/1,000 SF** GFA.

- b. *Parking Reduction of 50% cited as a Premium Transit Reduction, as per 5-5(C)(5)(a), is inaccurate. This section does not apply, nor does it cite a 50% potential credit. You may want to explore reductions for Proximity to transit, as per IDO 5-5(C)(5)(c).*

Applicant Response: The reference to the IDO section has been revised to IDO 5-5(C)(5)(d), which allows for a **"50% reduction"** if the proposed development is located within a **PT area.**"

- c. *Parking reduction miscalculation affects the totals for all further parking calculations (motorcycle, bicycle, ADA).*

Applicant Response: This is inaccurate, see response above.

- d. *EV charging stations are not required for a development of this size. However, you may claim the appropriate credits for EV charging stations installed.*

Applicant Response: Agreed, but the Applicant is required to provide EV charging stations by Housing New Mexico (formerly New Mexico Mortgage Finance Authority).

- e. *Shared Vehicle Program credits: please show note with details for planned use of the 4 proposed spaces as "the exclusive use of an existing car-sharing program" to be utilized.*

Applicant Response: A note has been added to the parking calculations. A car-sharing program will be implemented as part of the development of this project.

4. *Fencing must be approved by separate permit and meet requirements of IDO 5-7.*

Applicant Response: Agreed.

5. *Signage must be approved by separate permit(s) and meet requirements of IDO 5-12.*

Applicant Response: Agreed.

ENGINEERING

1. *The speed table should be added to the infrastructure list.*

Applicant Response: The speed table has been removed from the Site Plan. An infrastructure list will not be required per discussion at the previous DFT meeting.

PLANNING

Application and project numbers need to be added to the Site Plan.

Applicant Response: The numbers have been added to the Site Plan.

An Infrastructure List is included with this application. Planning defers to Transportation and Water Authority for review.

Applicant Response: An infrastructure list is not required per discussion at the previous DFT meeting.

Solid Waste and Fire One approved plans are included in the Site Plan set. Fire one plan must be signed and sealed by a professional licensed in the state of New Mexico.

Applicant Response: The Fire One plan has been stamped.

Check and demonstrate compliance with section 7 of the DPM, Table 7.2.29, regarding Sidewalk width requirements and its landscape buffer. See Table 7.2.29 marked up below for sites located in the Major Transit/ Premium Transit/Main Street inside Center zone. Section 7-2(D)(1) discusses the definitions for Pedestrian Realm including Frontage Zone, Sidewalks, and Landscape/Buffer Zone for your information.

For Major Transit/Premium Transit/Main Street inside Center, 10-12 feet sidewalk and 6-8 feet landscape buffer is required.

Planning defers to Transportation for review.

Applicant Response: Compliant, the Central Avenue frontage includes a 10-foot sidewalk with a 6-foot landscape buffer for projects within a Major Transit Corridor and within a Center.

Side Min/Max Setback: 0 ft. / Street side: 15 ft. / Provided: Confirm Compliance

Applicant Response: Compliant, see Site Plan.

In DT-UC-MS-PT areas, this use shall provide somewhere on the lot at least 1 tree per ground floor dwelling unit, in addition to meeting all applicable standards in Section 14- 16-5-6 (Landscaping, Buffering, and Screening). Calculations for required trees must be provided.

Applicant Response: Compliant, calculations for required trees are provided on the Landscape Plan.

4-3(B)(8)(d) At least 50 percent of the trees required by Subsection (b) or (c) above shall be deciduous canopy-style shade trees or coniferous trees capable of attaining a mature canopy diameter of at least 25 feet. Confirm compliance.

Applicant Response: Compliant, see Landscape Plan.

5-3(D)(3)(b) Network of Pedestrian Walkways

Per 5-3(D)(3)(b) 4 c. Pedestrian walkways shall be installed along any street-facing façade with a pedestrian entrance of a building. Pedestrian walkways required by this Subsection shall meet the standards of the DPM, except where Table 5-3-1 requires a wider walkway.

Building Size (sq. ft.)	Minimum Walkway Width (ft.)
≤10,000	8
>10,000 and ≤50,000	10
>50,000 and ≤60,000	11
>60,000 and ≤70,000	12
>70,000 and ≤80,000	13
>80,000 and ≤90,000	14
>90,000	15

Applicant Response: The building is 64,380 SF. The pedestrian walkway in front of the commercial spaces along Alcazar is 15 feet in depth and the walkway at the corner of Alcazar and Central is 20 feet in width.

Per 5-3(D)(3)(b) 4 d. The width of the required walkway may vary along the entire length of the façade provided that the average required width is maintained and provided that the width of the walkway along the façade is a minimum of 8 feet.

Please confirm compliance with this code.

Applicant Response: The walkway along Central Avenue is 10 feet in width and the walkway along Alcazar varies in width from 5 feet to 20 feet.

Table 5-1-1:

Required parking spaces: 76 Parking reductions and credits: 46

Final total required parking spaces: 30

Provided parking spaces: 37 > 9 ADA, 3 compact, 5 on-street

ADA required: 2 / Provided: 9

EV ready required: 2 / Provided: 2

EV Compatible required: 6 / Provided: 6

Motorcycle required: 2 / Provided: 3

Bicycle required: 4 / provided: 20

Planning defers to Code Enforcement to confirm that the project complies with these codes.

Applicant Response: Compliant, the parking calculations were slightly updated per the previous comment on the commercial use; calcs use the higher standard for commercial services.

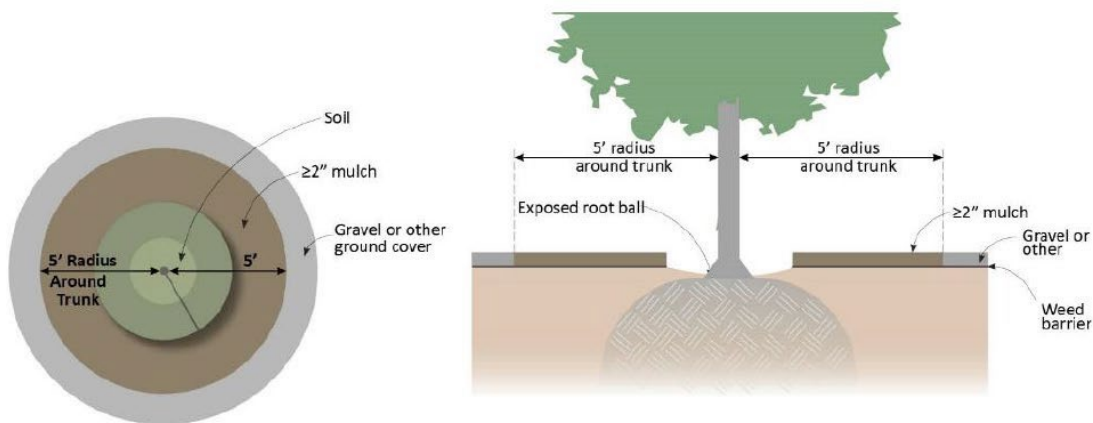
5-6(C)(4)(l) In DT-UC-MS areas, landscaped areas other than street frontage shall include pedestrian furniture, pedestrian amenities, or trash receptacles to encourage pedestrian use.
Confirm compliance

Applicant Response: Compliant, see Landscape Plan showing benches and trash receptacles.

Per 5-6(C)(5)(c), the use of gravel or crusher fines as ground cover is limited to 50 percent in DT-UC-MS areas. *Please add proper calculations to demonstrate compliance with this code. Organic mulch around trees will count towards this item.*

Applicant Response: Compliant, calculation was added to Landscape Plan.

5-6(C)(5)(e) Organic mulch is required as ground cover under trees, not including street trees, within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. (See figure below.) *Around street trees provide the organic mulch at a 5' radius as much as the space allows.*



Applicant Response: Compliant, added to Landscape Plan.

Per 5-6(C)(5)(f), all landscaped areas shall be protected from vehicular encroachment by curbs or wheel stops located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated swales and stormwater infiltration areas.
Please provide more information regarding storm water run-off collection for this project.

Applicant Response: Gravel paving will be used in the on-site parallel parking area to provide storm water quality for this project. Curb cuts are also used in landscape areas where practical.

5-6(C)(7)(a) Vegetation required by this Section 14-16-5-6 shall be located the following distances in any direction from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections:

Shrubs: 3 feet

Trees: 15 feet

Confirm Compliance

Applicant Response: Compliant, see Landscape Plan. Hydrants are located at the northeast corner of the project and the gate area along Alcazar Street.

5-6(C)(6) Minimum Plant Sizes at Installation

*All vegetation required by this section 14-16-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO. **Confirm compliance***

Applicant Response: Compliant, see Landscape Plan Plant Schedule.

5-6(C)(8) Protecting Clear Sight Triangle

*Per 5-6(C)(10)(b), trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line. (See figure below.) Please confirm compliance with this code. **Confirm compliance***

Applicant Response: Compliant, see Landscape Plan.

*Per 5-6(C)(10)(c), trees or shrubs planted within utility easements shall comply with the standards of the utility provider to minimize effects on facilities maintenance and repair. Please confirm compliance with this code. **Confirm compliance***

Applicant Response: Compliant, see Landscape Plan, Note #3.

*Per 5-6(C)(10)(d), if overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities. **Consider alternating the trees in this area to avoid loss of all trees due to potential future disease. Pink Pom Poms redbud, Paul's Scarlet Hawthorne, and Goldenrain tree are suggested by the City Forester for these areas.***

Applicant Response: Compliant. Revised Landscape Plan includes Pink Pom-Pom Redbud along Central Avenue.

*Per 5-6(C)(10)(e), all screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crews and public during maintenance and repair. **Please confirm compliance with this code. Please confirm the location of this transformer.***

Applicant Response: Compliant, two transformers are shown on the Site Plan (see Keyed Note #39). Access to the transformers is from the drive aisle.

*Per 5-6(C)(10)(f), trees shall not be planted near existing or proposed street light poles. 15 feet of clearance is required. **Please confirm compliance with this code.***

Applicant Response: Compliant. Revised locations shown on Landscape Plan.

5-6(C)(12) Existing Vegetation Credit

Please confirm whether or not any existing vegetation will be maintained.

Applicant Response: No existing vegetation will be maintained.

5-6(C)(13) Stormwater Management Features

Per 5-6(C)(13)(a), required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation. Please articulate how this project has considered this code.

Applicant Response: Stormwater is directed to pervious parking area. Excess run-off is directed through a swale in the landscape buffer area to a detention pond located at the south end of the site. Landscape buffer will be depressed per City of Albuquerque Standard Drawing #2414. Note is added to the Site Plan.

5-6(D)(1)(c) Planting areas necessary for trees in the street frontage shall meet the minimum size requirements in Table 5-6-3 unless specified otherwise in this IDO. Tree grates may be used in constrained locations to accommodate pedestrian circulation, to allow the required planting areas to have a walkable surface.

Table 5-6-3: Minimum Planting Area by Tree Height at Maturity	
Tree Height at Maturity (ft.)	Minimum Planting Area (ft.)
0-20	4 x 4
>20-40	5 x 5
>40	6 x 6

Confirm compliance

Applicant Response: Compliant. Trees taller than 40 feet include Burr Oak, which has a minimum planting area of 6 feet. Trees between 20 and 40 feet in height include Chinese Pistache, Lacebark Elm, Box Elder, and Western Huckberry, which has a minimum planting width of 5 feet. Trees with a height of 20 feet or smaller include New Mexico Olive, Chaste Tree, Desert Willow, Oklahoma Texas Redbud, and Eastern Redbud, which have a minimum planning area of 4 feet. (see Landscape Plan Plant Schedule).

*Per 5-6(D)(2)(b) **Downtown, Urban Centers, and Main Street and Premium Transit areas** Fifty(50) percent of any front setback area not used for pedestrian access to the building or improved with pedestrian furniture and amenities shall be landscaped, and no part of the front setback area surface shall be asphalt. (See figure below.)*



50% of front setback area not used for pedestrian access or pedestrian furniture and amenities shall be landscaped

Confirm compliance.

Applicant Response: Compliant, see Landscape Plan.

5-6(G)(2) Ground-mounted Mechanical Equipment

*Per 5-6(G)(2)(a), R-ML, R-MH, and Mixed-use Zone Districts, outdoor ground-mounted mechanical equipment shall be located where it is not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties to the maximum extent practicable. *Confirm compliance**

Applicant Response: Compliant, the project does not contain ground-mounted mechanical equipment.

5-6(G)(2)(d) Loading, Service, and Refuse Areas

*Per 5-6(G)(3)(a) Covering Waste Containers, all waste containers and dumpsters shall be in a roofed enclosure or be equipped with and use a lid covering and shall be designed so that stormwater runoff does not reach storm drain inlets. *Confirm compliance**

Applicant Response: Compliant, refuse containers are roll-out bins with lids. Details for refuse containers are provided on Sheet SP3.

LANDSCAPING and IRRIGATION NOTES

Applicant Response: All of the cited notes for landscaping and Irrigation notes were on the original submitted Landscape Plan.

5-11 BUILDING DESIGN

For heat mitigation along west-facing facade, more awnings are required especially for the second and third floors.

Applicant Response: Aluminum awnings over bedroom windows were added to the fourth floor, maintaining the rhythm of the awnings on the lower floors (see Elevation Sheet SP-8).

5-11(E)(2)(b) Urban Centers, Activity Centers, and Main Street and Premium Transit Areas

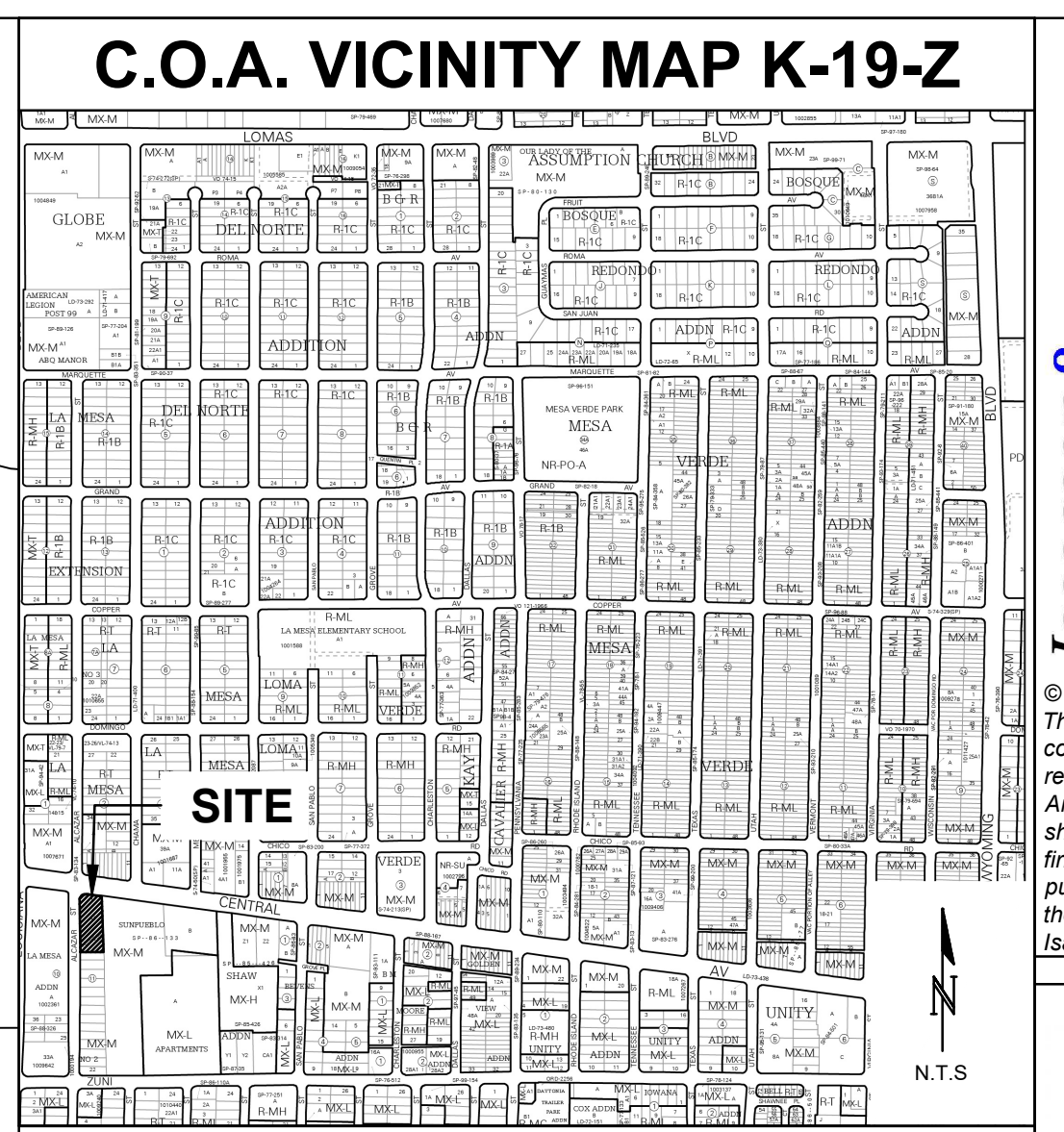
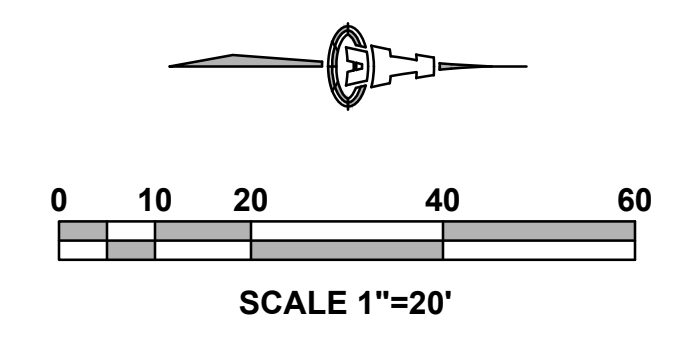
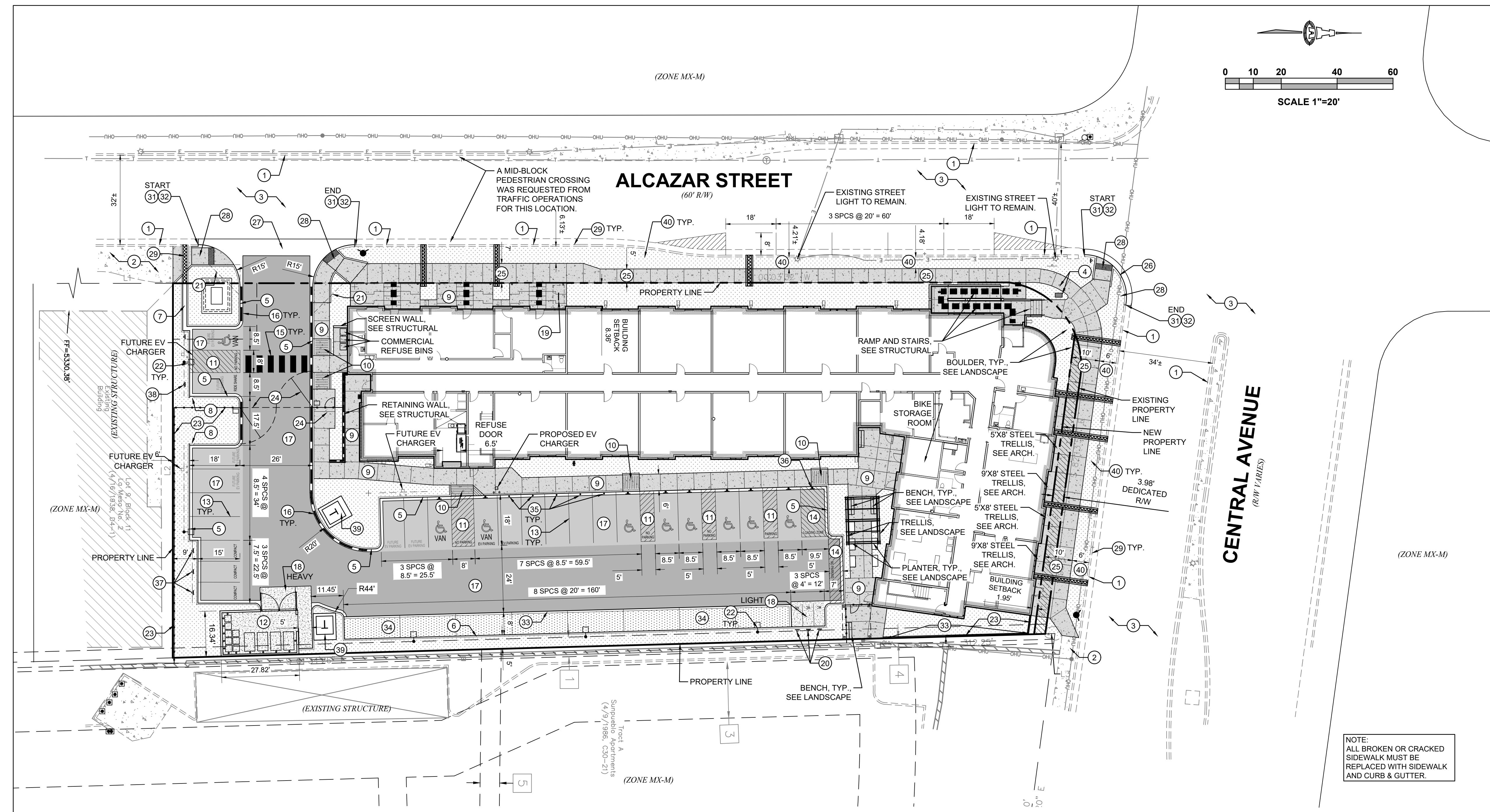
1. *In new residential and mixed-use development, windows on the upper floors shall be recessed not less than 2 inches. **Confirm Compliance. Note must be added to the elevation sheets.***

Applicant Response: Note e. under General Sheet Notes on the elevation sheet states that upper floor windows are recessed a minimum of 2 inches.

- b. For commercial or office uses, interior space must be visible to a depth of 6 feet from the façade. **Confirm compliance***

Applicant Response: Compliant, the interior spaces of commercial and office uses are visible to a depth of at least 6 feet from the façade.

Thank you for your consideration and review of the project. Please do not hesitate to contact me with any questions.



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Civil Engineering Consultants

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PROJECT INFORMATION

LEGAL DESCRIPTION:
TRACT A-1, BLOCK 11, LA MESA NO. 2 SUBDIVISION, AS SHOWN ON THE REPLAT OF LOTS 1-8 AND LOT A, BLOCK 11, LA MESA NO. 2, RECORDED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON NOVEMBER 18, 2013, IN BOOK 2013C, PAGE 130, DOCUMENT NO. 2013124811.

SITE AREA: 0.9494 ACRES

ZONING: MX-M

BUILDING CALCULATIONS: GROSS FLOOR AREA (GFA)=64,380 SF ±
1-BEDROOM UNITS= 70
LEASING OFFICE= 500 SF
COMMERCIAL= 1,700 SF

NOTE: COMMERCIAL SPACE MAY BE COMMERCIAL SERVICE, COMMERCIAL RETAIL, OR A COMBINATION OF BOTH. THEREFORE, THE PARKING CALCULATION USED BELOW IS BASED ON COMMERCIAL SERVICES, WHICH REQUIRES MORE PARKING THAN COMMERCIAL RETAIL.

OPEN SPACE CALCULATIONS:
UC-MS-PT OPENSPACE REQUIREMENTS
225 SQUARE FEET x 1 BED = 15,750 SF
50% MAIN STREET CORRIDOR REDUCTION = 7,875 SF

REQUIRED: 7,875 SF
PROVIDED: 10,853 SF

PARKING CALCULATIONS:
UC-MS-PT PARKING REQUIREMENTS
70 1-BR x 1 SPACE PER DWELLING UNIT = 70
500 SF LEASING OFFICE x 2.5 SPACES/1,000 SF GFA = 3
1,700 SF COMMERCIAL x 3 SPACES/1,000 SF GFA = 5
REQUIRED SUBTOTAL = 78

5-5(C)(5) PARKING REDUCTION
5-5(C)(5)(a) 50% PREMIUM TRANSIT REDUCTION = 39 SPACES
REDUCTION SUBTOTAL = 39

5-5(C)(6) PARKING CREDITS
5-5(C)(6)(a) 2 EV CHARGING STATION x 2 SPACES = 4 SPACES
5-5(C)(6)(c) SHARED VEHICLE PROGRAM x 4 SPACES = 4 SPACES
1 PARKING SPACE TO BE DESIGNATED AS "CAR SHARING PARKING ONLY" AND TO BE MADE PART OF A CAR SHARING PROGRAM ESTABLISHED BY THE OWNER DURING DEVELOPMENT OF THE PROJECT.
CREDITS SUBTOTAL = 8

TOTAL REQUIRED: 31 SPACES
TOTAL PROVIDED: 37 SPACES
(INCLUDES 9 ADA, 3 COMPACT, AND 5 ON-STREET)

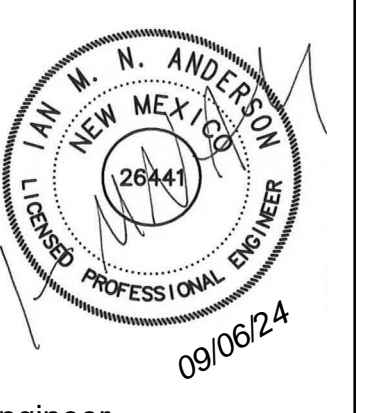
ADA REQUIRED: 2 SPACES (1 VAN SPACE) (PER 26-50 REQUIRED PARKING)
ADA PROVIDED: 9 SPACES (3 VAN SPACES)

EV READY REQUIRED: 2 SPACES (5% OF REQUIRED PARKING)
EV READY PROVIDED: 2 SPACES

EV CAPABLE REQUIRED: 6 SPACES (15% OF REQUIRED PARKING)
EV CAPABLE PROVIDED: 6 SPACES

MOTORCYCLE REQUIRED: 2 SPACES (PER 26-50 REQUIRED PARKING)
MOTORCYCLE PROVIDED: 3 SPACES

BICYCLE REQUIRED: 4 SPACES (10% OF REQUIRED PARKING)
BICYCLE PROVIDED: 20 SPACES (18 SPACES INTERIOR, 2 SPACES EXTERIOR)



Engineer

SOMOS

**7200 CENTRAL AVE. SE
ALBUQUERQUE, 87108**

NOT FOR CONSTRUCTION
DFT SUBMITTAL

ISSUE: IA 2682
PROJECT NUMBER: IA 2682
FILE: 2682 CP-101 - DFT.dwg
DRAWN BY: -
CHECKED BY: -
DATE: 07/03/2024

- KEYED NOTES**
- EXISTING CURB & GUTTER TO REMAIN.
 - EXISTING SIDEWALK TO REMAIN.
 - EXISTING ASPHALT TO REMAIN.
 - EXISTING ART PILLAR TO BE RELOCATED.
 - MEDIAN CURB & GUTTER, PER DETAIL ON SHEET SP2.
 - HEADER CURB, PER DETAIL ON SHEET SP2.
 - PCC RUNDOWN, PER DETAIL ON SHEET SP2.
 - CURB OPENING, PER DETAIL ON SHEET SP2. SEE SHEET SP5 FOR SIZE.
 - PCC SIDEWALK, PER DETAIL ON SHEET SP2.
 - ADA RAMP, PER DETAIL ON SHEET SP3.
 - ADA PARKING AND SIGNAGE, PER DETAIL ON SHEET SP3.
 - REFUSE ENCLOSURE, PER DETAIL ON SHEET SP3.
 - 4" WHITE STRIPE.
 - 4" WHITE STRIPE @ 45° ANGLE WITH 2' SPACING.
 - 12" WHITE STRIPE, 4" O.C..
 - ALONG DASHED LINE, PAINT FACE AND TOP OF CURB RED AND PAINT WHITE STENCILED LETTERING ON TOP OF CURB "NO PARKING" AND "FIRE LANE" ALTERNATING AT 30 FT O.C.
 - ASPHALT PAVING (LIGHT DUTY OR HEAVY DUTY), PER DETAIL ON SHEET SP2.
 - CONCRETE PAVING (LIGHT DUTY OR HEAVY DUTY), PER DETAIL ON SHEET SP2.
 - BICYCLE RACK, PER DETAIL ON SHEET SP2.
 - SITE SIGNAGE: MOTORCYCLE PARKING, PER DETAIL ON SHEET SP2.
 - MINI CLEAR SIGHT TRIANGLE. SEE GENERAL NOTE H.
 - SITE LIGHTING. SEE ELECTRICAL.
 - PERIMETER SECURITY FENCE. SEE ARCHITECTURAL.
 - ACCESS GATE. SEE ARCHITECTURAL.
 - PUBLIC PCC SIDEWALK (WIDTH PER PLAN) PER COA STD DWG #2430.
 - STANDARD CURB & GUTTER PER COA STD DWG #2415A.
 - PCC VALLEY GUTTER 6" WIDE, 1 1/2" INVERT PER COA STD DWG #2420.
 - UNI-DIRECTIONAL ADA RAMP PER COA STD DWG #2443, DETAIL C.
 - SIDEWALK CULVERT PER COA STD DWG #2236.
 - NOT USED.
 - REMOVE AND DISPOSE EXISTING PCC CURB & GUTTER.
 - REMOVE AND DISPOSE EXISTING PCC SIDEWALK.
 - CUT-OFF WALL, PER DETAIL ON SHEET SP2.
 - GRAVEL PAVING, PER DETAIL ON SHEET SP2.
 - CONCRETE FILLED BOLLARD, PER DETAIL ON SHEET SP3.
 - SITE SIGNAGE: LOADING ONLY, PER DETAIL ON SHEET SP2.
 - SITE SIGNAGE: COMPACT PARKING, PER DETAIL ON SHEET SP2.
 - SITE SIGNAGE: RIDE SHARE PARKING, PER DETAIL ON SHEET SP2.
 - TRANSFORMER LOCATION, SEE ELECTRICAL.
 - DEPRESSED LANDSCAPE BUFFER SWALE PER COA STD DWG #2414.

GENERAL NOTES

- THE SUBJECT SITE IS WITHIN A DESIGNATED MAIN STREET CORRIDOR, WHICH PURSUANT TO IDO TABLE 5-1-2, ALLOWS FOR REDUCED SETBACKS AND TALLER MAXIMUM BUILDING HEIGHTS, AND PURSUANT TO TABLE 5-5-1, PARKING REDUCTIONS TO 1 SPACE PER DWELLING UNIT (SEE PARKING CALCULATIONS, THIS SHEET), THE SUBJECT SITE IS ALSO WITHIN A PREMIUM TRANSIT STATION AREA.
- THERE ARE NO ADJACENT OR ABUTTING PROTECTED LOTS ZONED R-A, R-1, R-MC, OR R-T THAT CONTAIN LOW DENSITY RESIDENTIAL DEVELOPMENT; THEREFORE, IDO SECTION 5-9 DOES NOT APPLY.
- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURB RADI ARE 2' UNLESS OTHERWISE NOTED.
- ALL INTERNAL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH UNLESS OTHERWISE NOTED.
- CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE LINE OF SIGHT AREA.
- ALL OUTDOOR LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING AND TABLE 5-8-1.
- ON-SITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE OR AS PER PNM STANDARD REQUIREMENTS.
- PRESSURE SENSORS FOR SOLID WASTE PICKUP TO BE POSITIONED 20-FT EAST OF THE ACCESS GATE LOCATION. PRESSURE SENSOR TO AUTOMATICALLY OPEN ACCESS GATE FOR SOLID WASTE TRUCKS EXITING THE SITE.

EASEMENT NOTES

- EXISTING 7' PNM & MST&T EASEMENT (11/4/1971, BK. MISC. 235, PG. 872) AS SHOWN ON PLAT (4/9/1986, C30-21)
- EXISTING 7' UNDERGROUND UTILITY EASEMENT (BK. MISC. 697, PG. 760) SCALED FROM AND AS SHOWN ON PLAT (4/9/1986, C30-21)
- EXISTING 20' WATERLINE EASEMENT (4/9/1986, C30-21)
- EXISTING 2' UTILITY EASEMENT (BK. MISC. D299, PG. 499) AS SHOWN ON PLAT (4/9/1986, C30-21)

LEGEND

- PROPERTY LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB
- ADA SPACE
- PEDESTRIAN CROSSWALK
- ADA PATHWAY
- BIKE RACK
- PARKING COUNT
- FIRELANE (RED) "NO PARKING"
- LANDSCAPE AREA SEE LANDSCAPE PLANS
- PCC SIDEWALK
- LIGHT ASPHALT PAVING SECTION
- HEAVY ASPHALT PAVING SECTION
- GRAVEL PAVING SECTION
- CONCRETE PAVING SECTION

DFT SITE DEVELOPMENT PLAN APPROVAL

No	Date	Description
1	09-03-24	DFT Comments

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWJA	DATE
PARKS & RECREATION DEPARTMENT	DATE
HYDROLOGY	DATE
CODE ENFORCEMENT	DATE
"ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
PLANNING DEPARTMENT	DATE

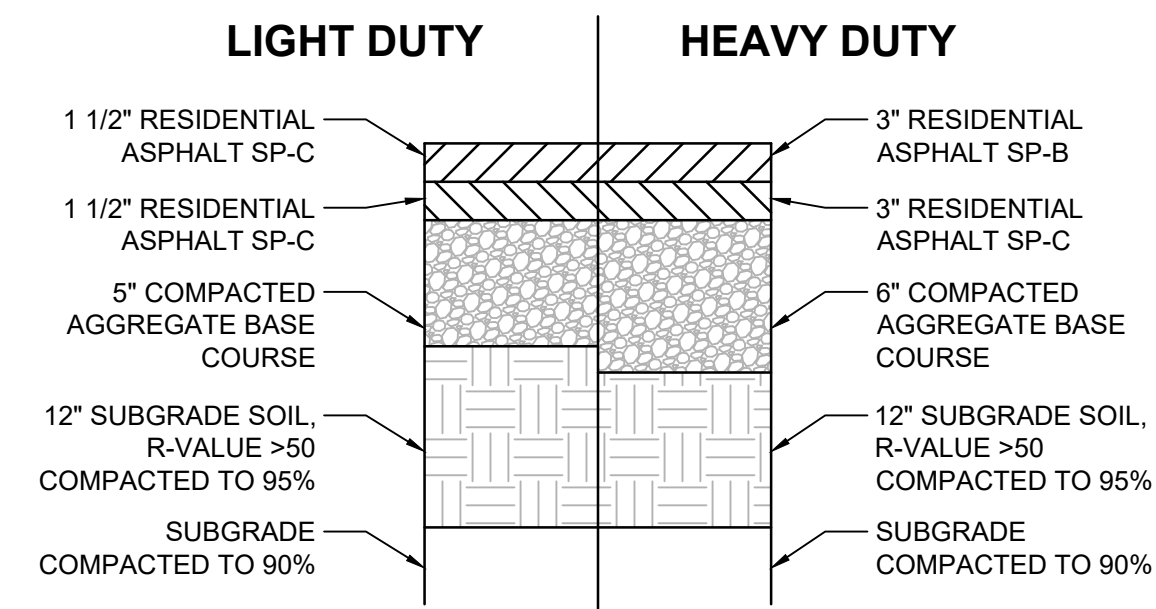
SHEET TITLE

DFT SITE PLAN

SHEET NUMBER

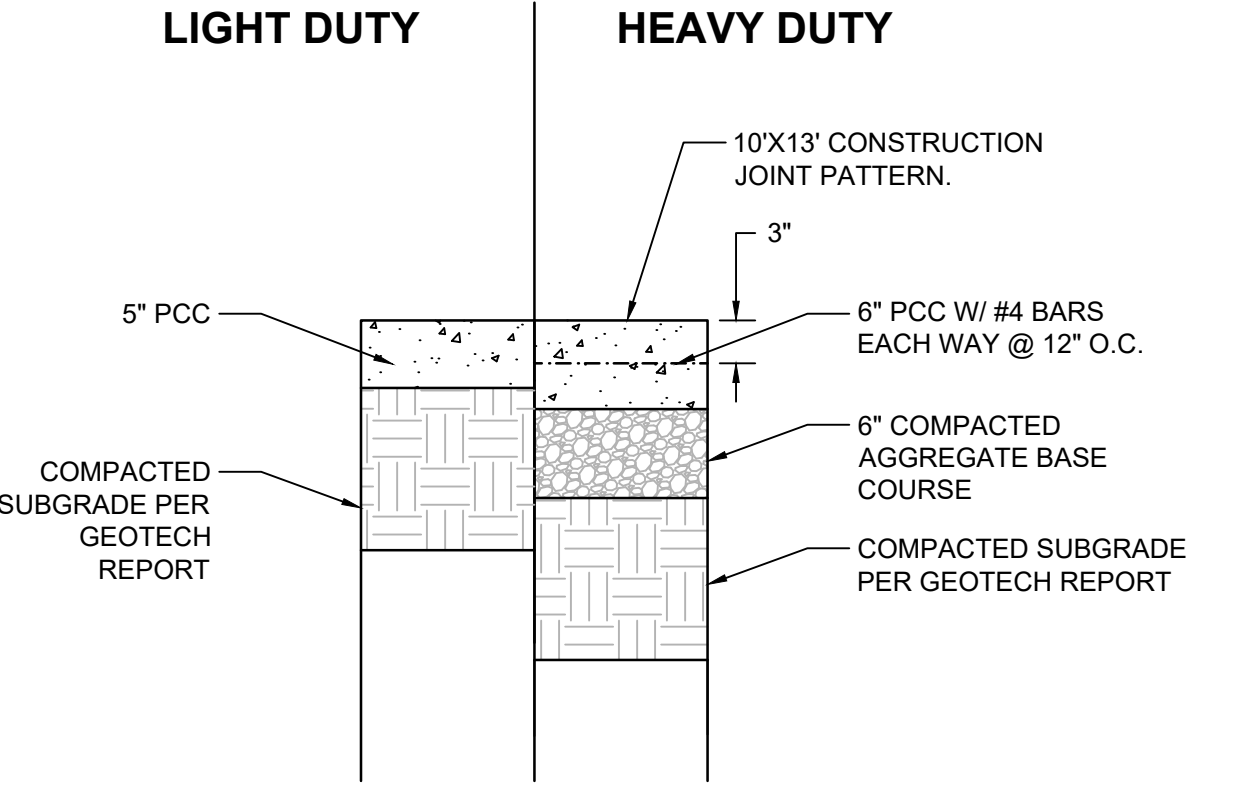
SP1

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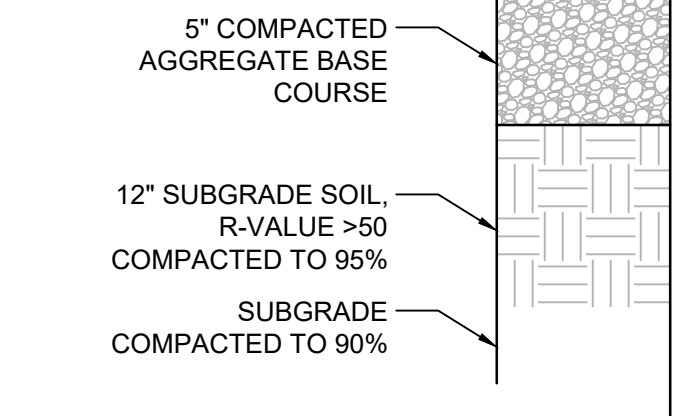
ALL EARTHWORK, OVER-EXCAVATION, COMPACTION, SUBGRADE PREPARATION ETC. TO BE PER THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY

ASPHALT PAVING SECTIONS
SCALE: N.T.S.

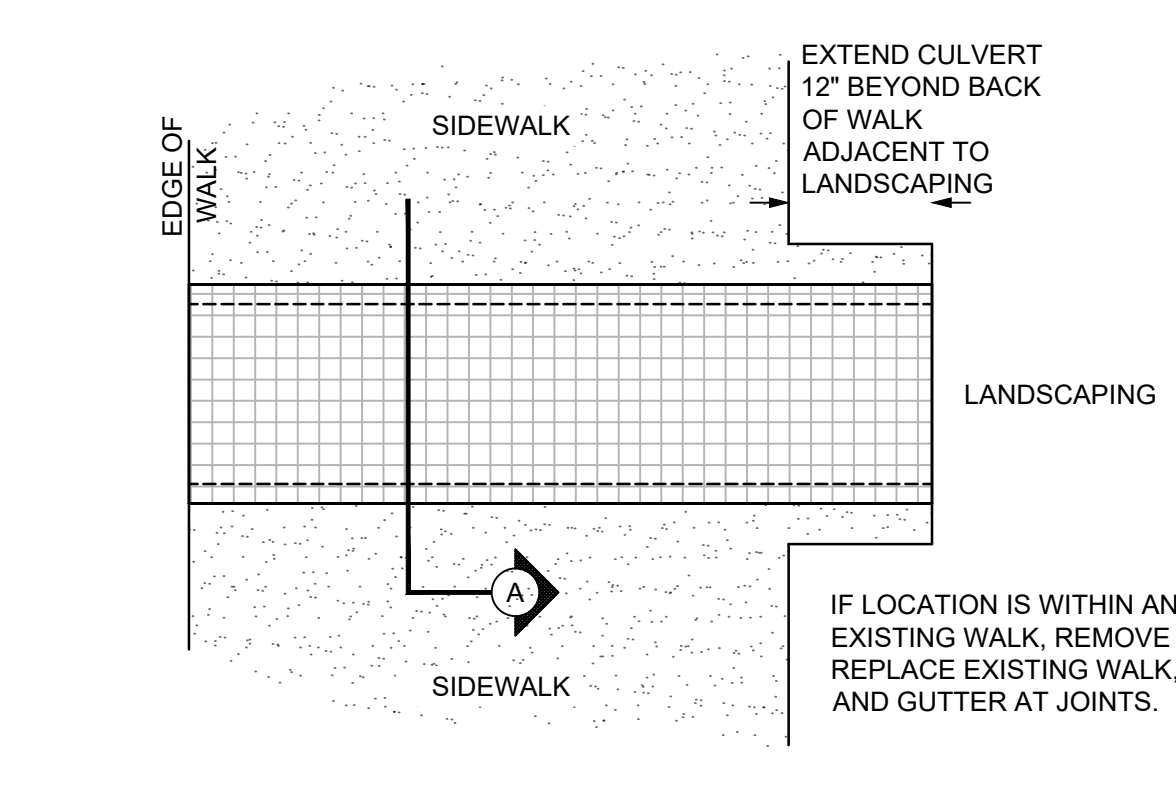


CONTRACTION / CONTROL JOINT: TROWELLED 3/8\"/>

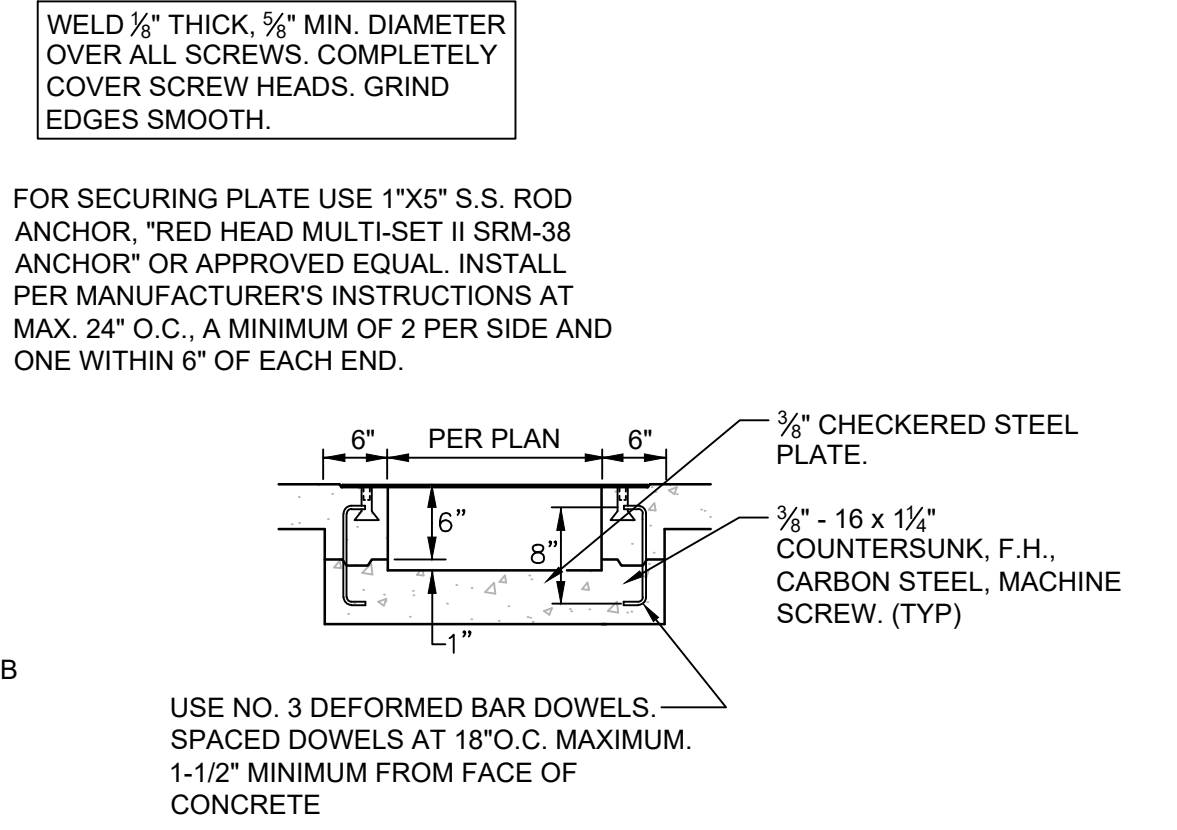
CONCRETE PAVEMENT SECTION
SCALE: N.T.S.



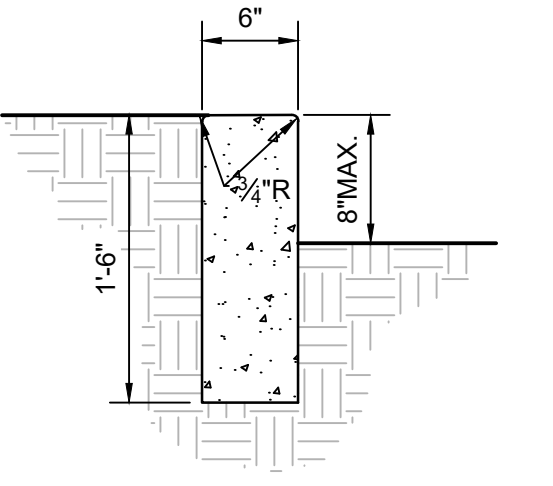
GRAVEL PAVING SECTION
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COVERED SIDEWALK CULVERT
CONSTRUCT PER COA STD. DWG 2236 WITH MODIFICATIONS PER THIS DETAIL
SCALE: N.T.S.

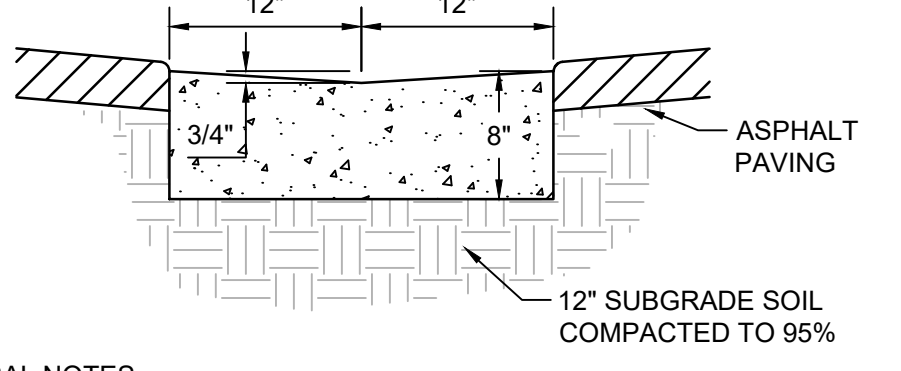


SECTION A
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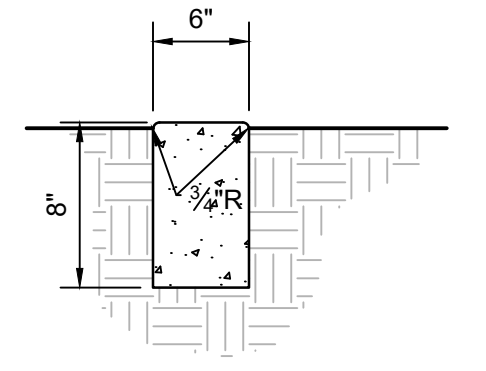
- GENERAL NOTES**
- CONTRACTION / CONTROL JOINTS @ 6' MAX.
 - 1/2" EXPANSION JOINTS 24' O.C.
 - REQUIRES FULL FORM ON ALL FACES.
 - 3/8" RADII AT ALL EXPOSED EDGES.

HEADER CURB
SCALE: N.T.S.



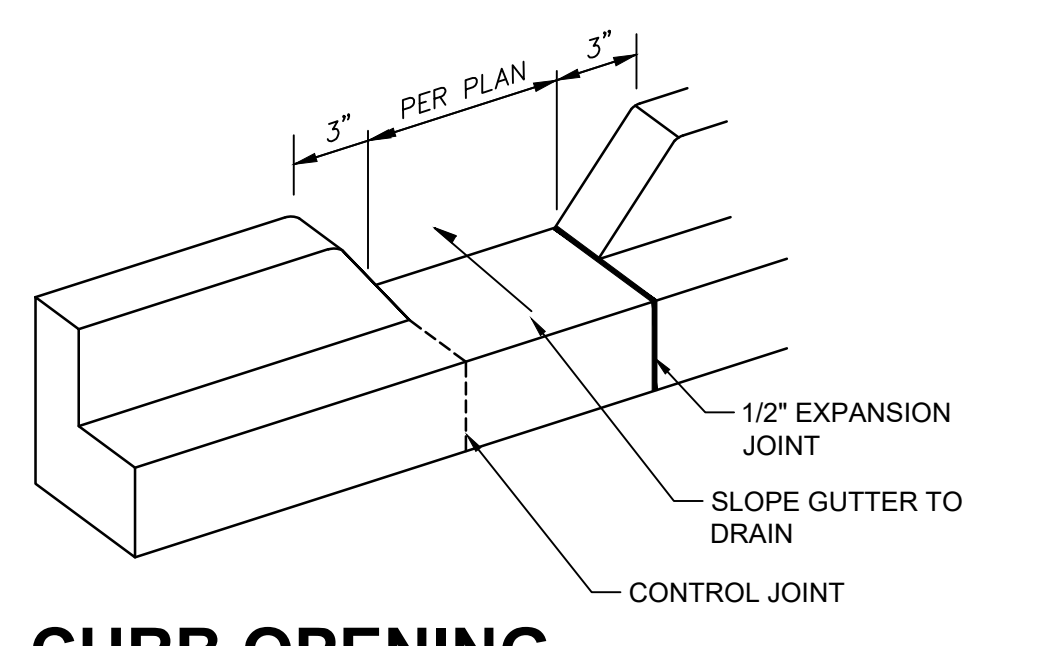
- GENERAL NOTES**
- SEALED CONTRACTION / CONTROL JOINTS @ 6' MAX.
 - 1/2" SEALED EXPANSION JOINTS 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
 - FINISHED EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).
 - 3/8" RADII AT ALL EXPOSED EDGES.

ALLEY GUTTER
SCALE: N.T.S.

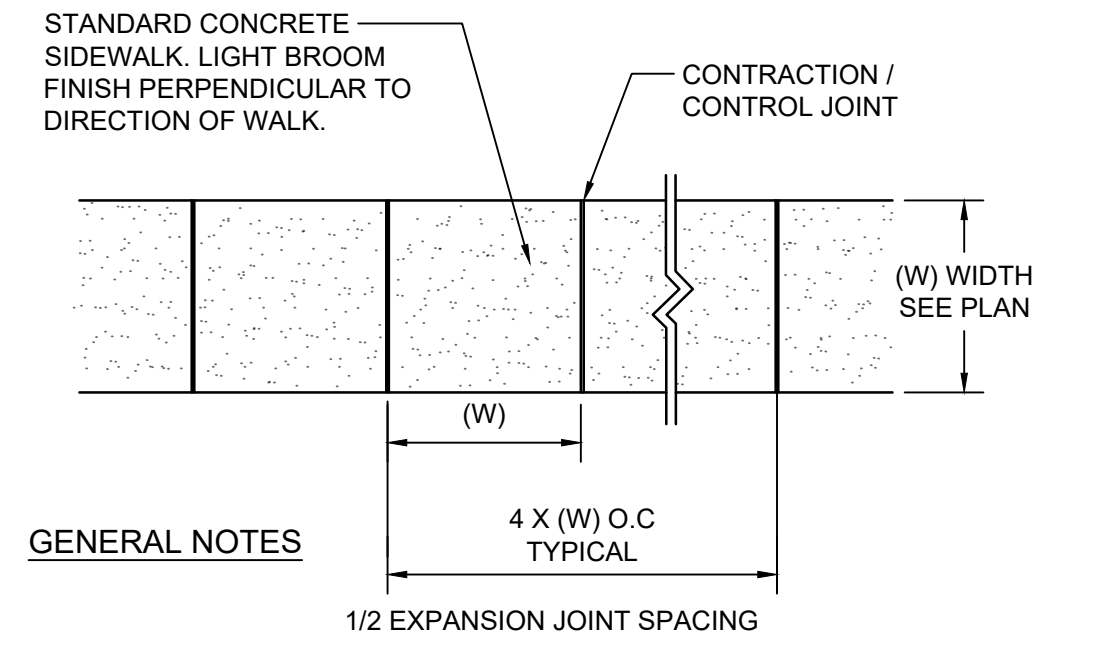


- GENERAL NOTES**
- CONTRACTION / CONTROL JOINTS @ 6' MAX.
 - 1/2" EXPANSION JOINTS 24' O.C.
 - REQUIRES FULL FORM ON ALL FACES.
 - 3/8" RADII AT ALL EXPOSED EDGES.

CUT-OFF WALL
SCALE: N.T.S.

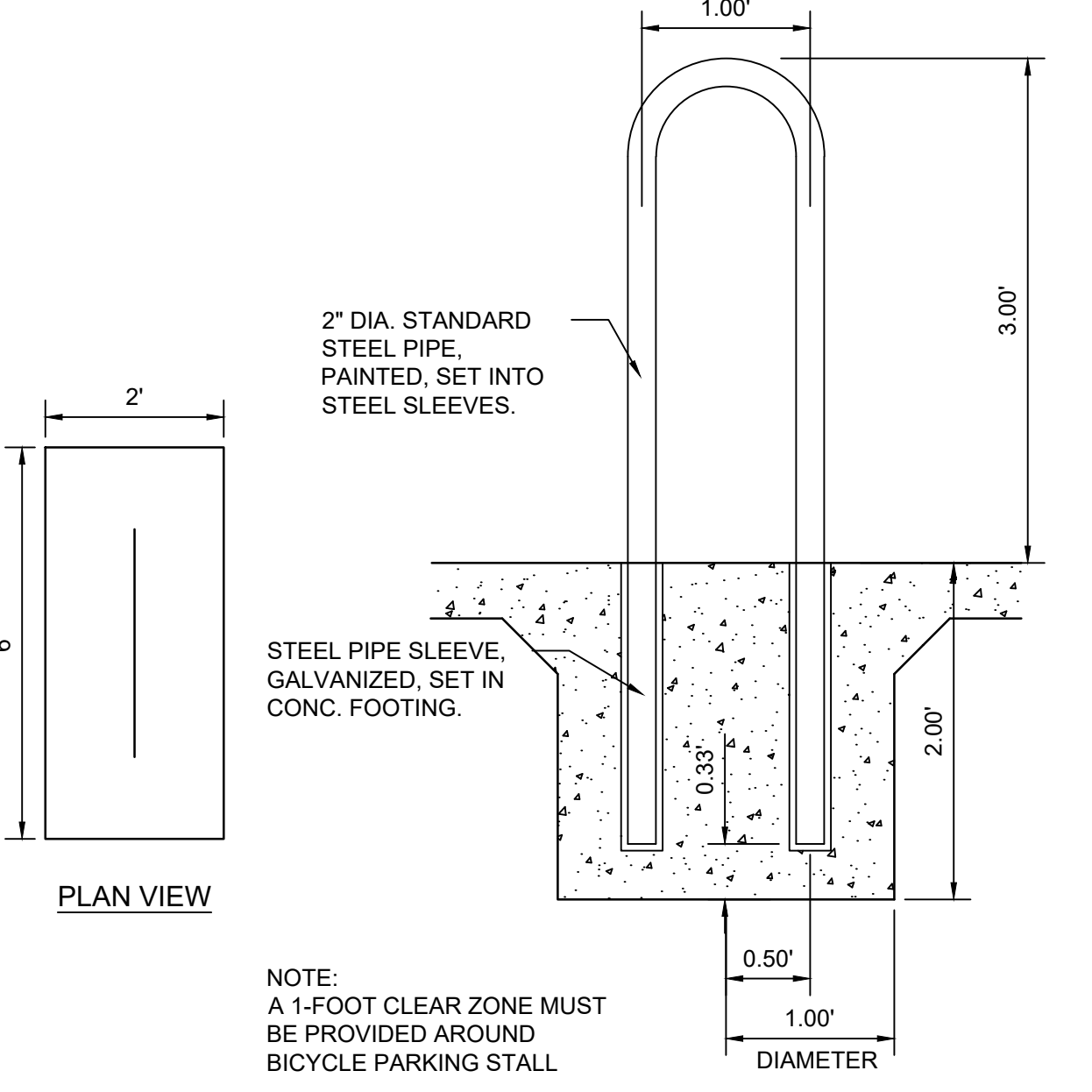


CURB OPENING
SCALE: N.T.S.

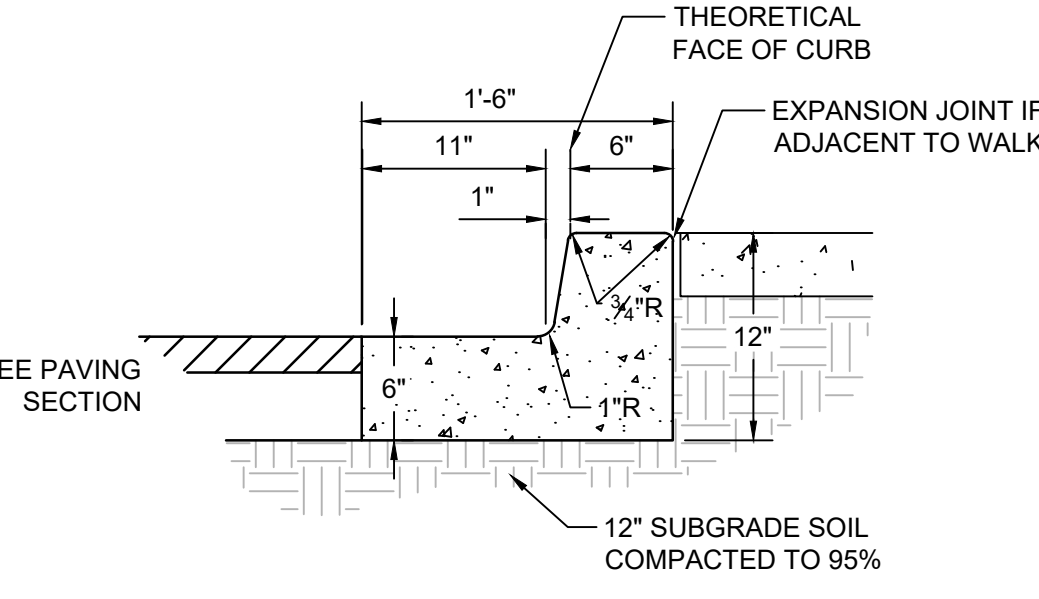


- GENERAL NOTES**
- 4000 PSI COMPRESSIVE STRENGTH CONCRETE
 - SEE CONCRETE JOINTS DETAIL
 - FINISHED EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).
 - 3/8" RADII AT ALL EXPOSED EDGES.

CONCRETE WALK
BROOM FINISH
SCALE: N.T.S.

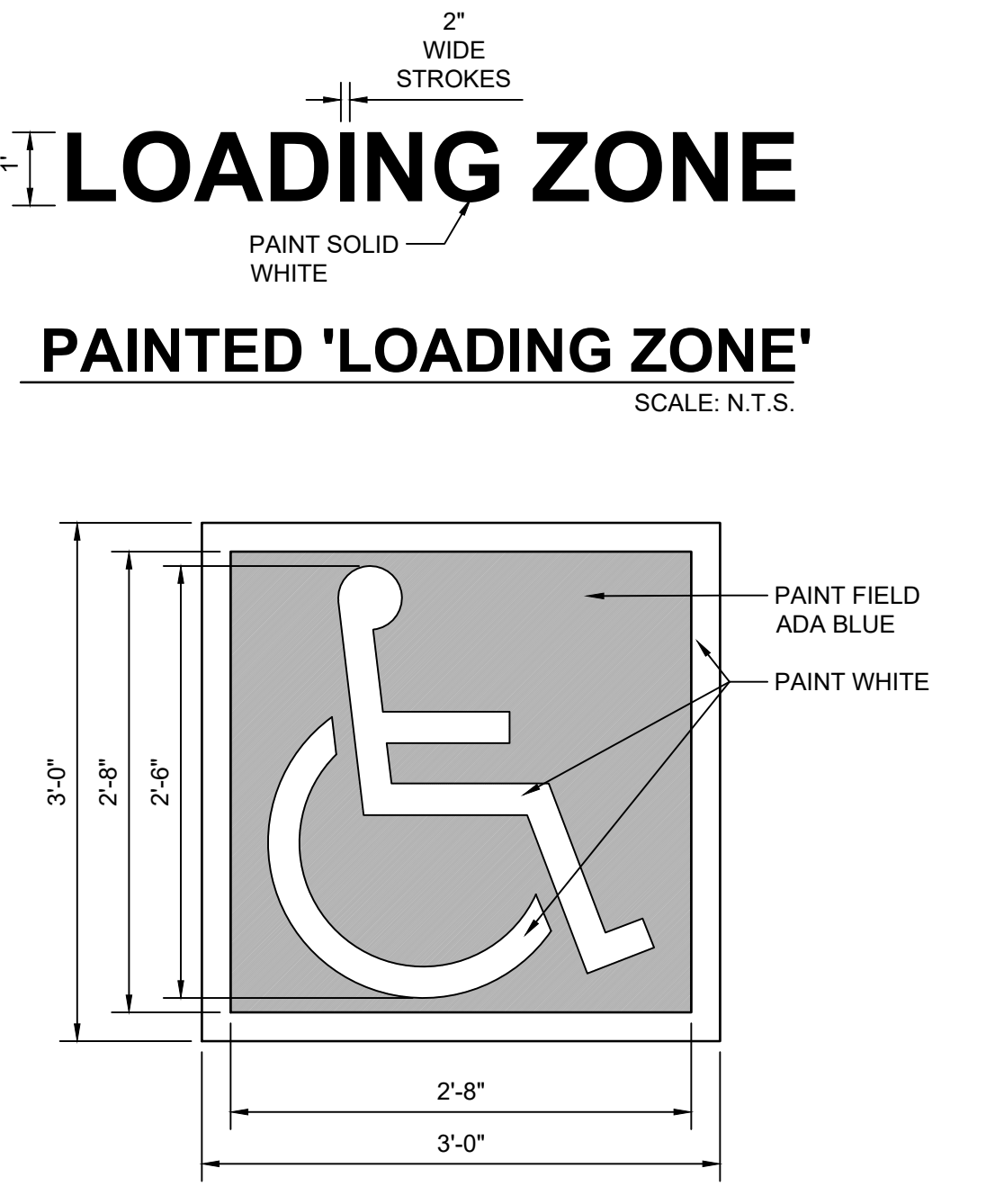


BICYCLE RACK
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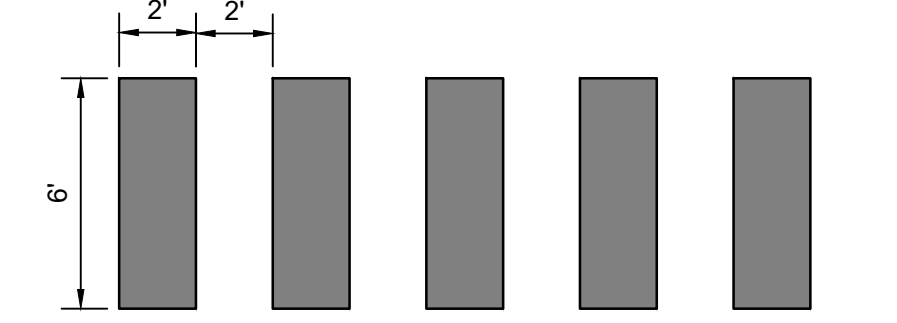


- GENERAL NOTES**
- REQUIRES FULL FORM ON ALL FACES.
 - CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
 - EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
 - EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" RADII.

MEDIAN CURB AND GUTTER
SCALE: N.T.S.



ACCESSIBILITY SYMBOL
SCALE: N.T.S.



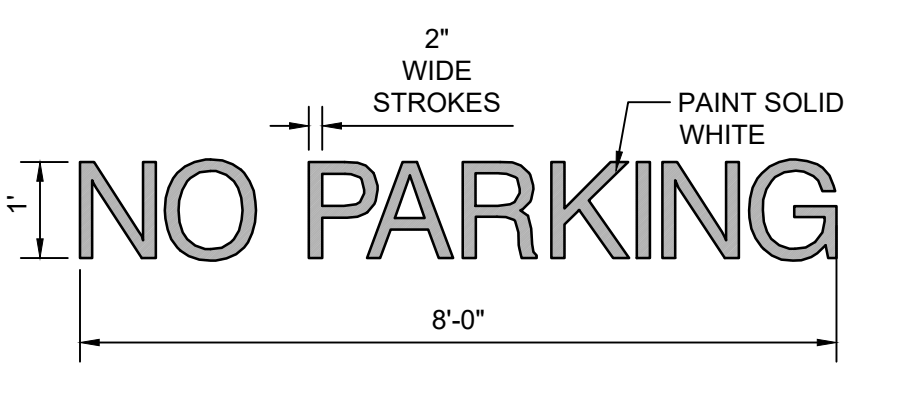
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SCALE: N.T.S.



PAINTED 'EV PARKING'
SCALE: N.T.S.



PAINTED 'NO PARKING'
SCALE: N.T.S.



PAINTED 'NO PARKING'
SCALE: N.T.S.

NOT FOR CONSTRUCTION	DFT SUBMITTAL
ISSUE:	IA 2662
PROJECT NUMBER:	2682 CP-501 - DFT.dwg
FILE:	2682 CP-501 - DFT.dwg
DRAWN BY:	
CHECKED BY:	
DATE:	07/03/2024

No	Date	Description
1	09-03-24	DFT Comments

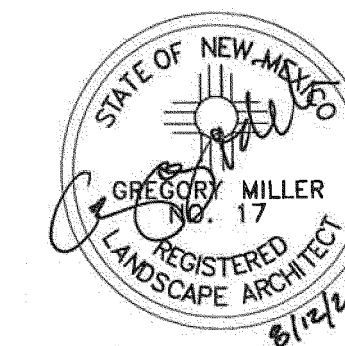
SHEET TITLE

CIVIL DETAILS

SHEET NUMBER

SP2

CONSULTANT



STAMP

DFT SUBMITTAL

PROJECT NAME

SOMOS

7200 CENTRAL AVE SE,
ALBUQUERQUE, NEW MEXICO 87108

SOMOS APARTMENTS
LIMITED PARTNERSHIP
LLLP

REVISIONS

NO.	DATE	DESCRIPTION
01	09/03/24	DFT COMMENTS

Copyright: Design Group

Drawn by	KA
Checked by	GM
Date	AUGUST 12TH, 2024
Project number	2735

SHEET TITLE

LANDSCAPE
PLAN

SHEET NUMBER

SP6

PLANTING KEYED NOTES

CODE	DESCRIPTION
1	GRAVEL MULCH
2	CRUSHER FINES MULCH,
3	ORGANIC MULCH WITH GRAVEL MULCH TOPPING LAYER - SEE DETAIL A3/SP7.
4	CONCRETE SIDEWALK - SEE SITE PLAN.
5	ASPHALT PAVEMENT - SEE SITE PLAN.
6	25' LONG X12' WIDE X 8' HEIGHT WHITE METAL TRELLIS.
7	ACCESSIBLE PLANTER - 8 SF EACH.
8	6' LONG BENCH.
9	12' LONG X 10' WIDE MONOSLOPED SHADE STRUCTURE
10	AREA USED FOR PASSIVE WATER HARVESTING.
11	ACCENT BOULDER.
12	GRAVEL PARKING PAVEMENT - SEE SITE PLAN.
13	CURB AND GUTTER - SEE SITE PLAN.
14	EXISTING ASPHALT PAVEMENT.
15	TRASH RECEPTACLE.

CITY LANDSCAPE ORDINANCE COMPLIANCE

LANDSCAPING RESPONSIBILITY FOR MAINTENANCE:
1. THE OWNER WILL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE AT SOMOS HOUSING.

COMPLIANCE WITH WATER CONSERVATION ORDINANCE:
1. NO SPRAY IRRIGATION IS PROPOSED.

2. PLANT SPECIES WILL BE LOW OR MEDIUM USE SPECIES PER THE ABCWUA'S XERIC PLANT LIST.

3. AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. THE SYSTEM WILL BE CONTROLLED BY AN AUTOMATIC CONTROLLER. PLANTS WILL BE IRRIGATED BY LOW WATER USE BUBBLERS. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE INSTALLED IN AN INTERIOR MECHANICAL ROOM TO PROTECT THE DOMESTIC WATER SUPPLY FROM CROSS-CONTAMINATION.

COMPLIANCE WITH GENERAL LANDSCAPING REGULATIONS:
1. THIS PLAN PROVIDES VISUALLY ATTRACTIVE LANDSCAPE, A VISUALLY ATTRACTIVE STREETScape, AND INTERSPERSED TREES IN LANDSCAPE AREAS TO PROVIDE SHADE AND REDUCE LARGE EXPANSES OF PAVEMENT.

2. PER 5-6(C)(5)(c), GROUNDcover MULCH SHALL COMPRISE OF A COMBINATION OF CRUSHED GRAVEL (NOT TO EXCEED 50% OF TOTAL AREA) AND ORGANIC MULCH SUCH AS SHREDDED BARK, PECAN SHELLS, ETC.

3. VISIBILITY, LANDSCAPING FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE LOCATED IN THE CLEAR SIGHT TRIANGLE.

4. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.

LANDSCAPE CALCULATION TABLE:
TOTAL LOT AREA: 41,298 SF
LESS TOTAL BUILDING AREA: 16,435 SF
NET LOT AREA: 24,863 SF

REQUIRED LANDSCAPE AREA (10% OF NET LOT AREA): 2,486 SF
PROVIDED LANDSCAPE AREA: 5,709 SF

REQUIRED PLANTS:
REQUIRED STREET TREES: 15 (365 LF ALONG ALCAZAR ST SE, TREES AVERAGE 25' O.C.)
TREES PROVIDED: 15
6 (136 LF ALONG CENTRAL AVE SE, TREES AVERAGE 25' O.C.)
TREES REQUIRED: 6

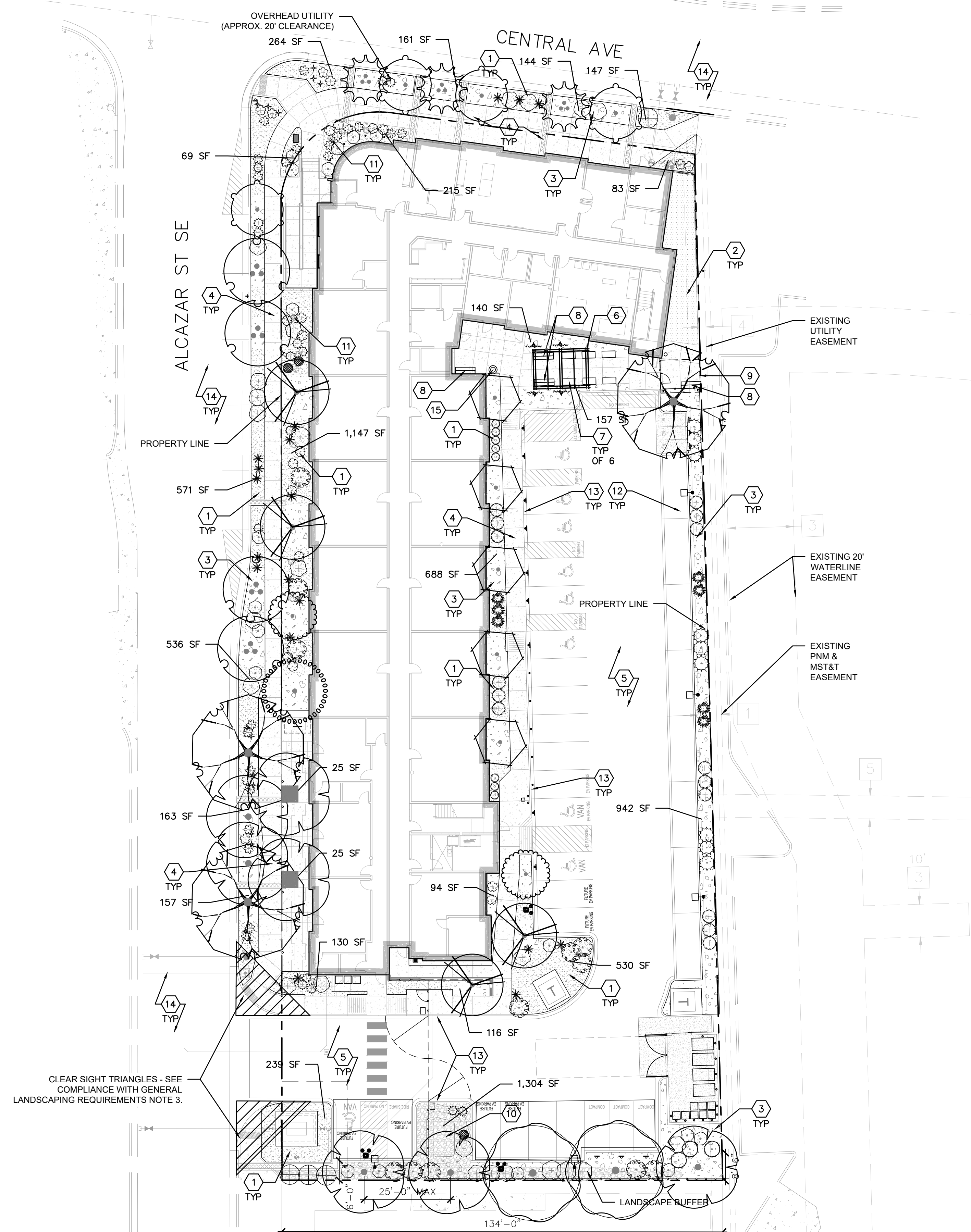
NUMBER OF GROUND FLOOR* DWELLING UNITS: 10
*IN DT-UC-MS-PT AREAS, ONLY GROUND FLOOR DWELLING UNITS ARE USED TO CALCULATE THE REQUIRED TREES
NUMBER OF TREES REQUIRED (AT LEAST ONE TREE PER GROUND FLOOR DWELLING UNITS): 10

PARKING LOT LANDSCAPE REQUIREMENTS:
TOTAL PARKING STALLS: 34 STALLS
TREES REQUIRED (1 TREE PER 10 PARKING STALLS): 4 TREES
TREES PROVIDED: 8 TREES
15% OF TOTAL PARKING LOT AREA SHALL BE LANDSCAPED: 1,545 SF
TOTAL PARKING LOT LANDSCAPE AREA PROVIDED: 1,722 SF

REQUIRED COVERAGE (75% OF PROVIDED LANDSCAPE AREA):
VEGETATIVE COVER REQUIRED: 4,310 SF
PROVIDED COVERAGE: 4,555 SF

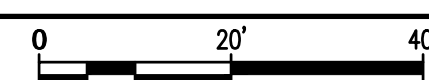
REQUIRED GROUND LEVEL VEGETATIVE COVERAGE (25% OF PROVIDED LANDSCAPE AREA):
VEGETATIVE GROUNDcover REQUIRED: 1,437 SF
PROVIDED GROUND LEVEL PLANT COVERAGE: 1,892 SF

ORGANIC MULCH GROUNDcover (50% OF LANDSCAPE AREA):
REQUIRED ORGANIC MULCH GROUNDcover: 2,855 SF
PROVIDED ORGANIC MULCH GROUNDcover: 2,857 SF



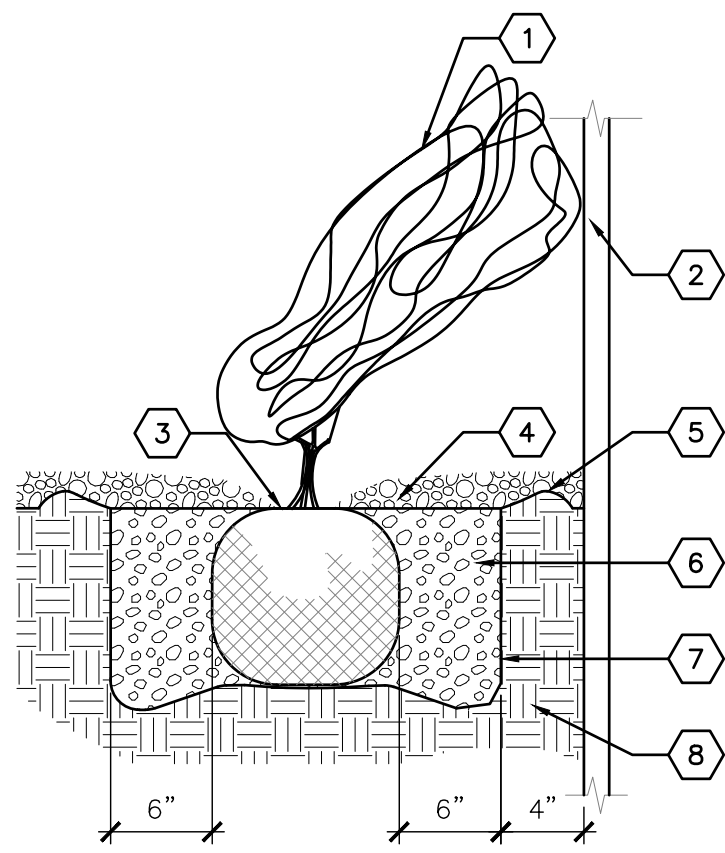
A1 LANDSCAPE PLAN

SCALE: 1"=20'-0"



PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	HT.	SPD.	INSTALLED SIZE
TREES								
	BO	2	BURR OAK	QUERCUS MACROCARPA	B&B	60'	35'	2" CAL., 10'-12' HT.
	VC	3	CHASTE TREE	VITEX AGNUS-CASTUS	24" BOX, MULTI-TRUNK	15'	15'	MIN. 6' HT.
	PC	7	CHINESE PISTACHE	PISTACIA CHINENSIS	30" BOX	35'	30'	2" CAL., 12'-14' HT.
	CL2	4	DESERT WILLOW	CHILOPSIS LINEARIS	24" BOX	20'	20'	5'- 7' HT., MS
	UP	3	LACEBARK ELM	ULMUS PARVIFOLIA	24" BOX	40'	40'	2.5" CAL.
	FN	2	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	24" BOX	15'	15'	2" CAL. 6'-8' HT.
	CO2	5	OKLAHOMA TEXAS REDBUD	CERCIS CANADENSIS TEXENSIS 'OKLAHOMA'	24" BOX	15'	15'	2" CAL. 6'-8' HT.
	CP	4	PINK POM POMS EASTERN REDBUD	CERCIS CANADENSIS 'PINK POM POMS'	24" BOX	12'	20'	2" CAL. 6'-8' HT.
	SB	1	SENSATION BOX ELDER	ACER NEGUNDO 'SENSATION'	B&B	30'	20'	2" CAL., 10'-12' HT.
	WH	4	WESTERN HACKBERRY	CELTIS OCCIDENTALIS	30" BOX	30'	20'	2" CAL. 12'-14' HT.
SHRUBS								
	FP	4	APACHE PLUME	FALLUGIA PARADOXA	5 GAL.	6'	6'	MIN. 18" SPD.
	BM	3	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	5 GAL.	5'	5'	MIN. 12" HT.
	HB	14	BRAKELIGHTS®RED YUCCA	HESPERALOE PARVIFLORA 'PERPA'	3 GAL.	2'	2'	MIN. 6" HT.
	CAT	14	CATMINT	NEPETA FAASSENII	1 GAL.	1'	3'	MIN. 6" SPD.
	EN	4	CHAMISA	ERICAMERIA NAUSEOSA	5 GAL.	5'	6'	MIN. 8" HT.
	CSC	13	CREEPING SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	2'	5'	MIN. 18" SPD.
	LA	8	ENGLISH LAVENDER	LAVANDULA ANGUSTIFOLIA	1 GAL.	3'	3'	MIN. 12" HT.
	CM2	12	FERNBUSH	CHAMAEBATIARIA MILLEFOLIUM	5 GAL.	6'	6'	MIN. 18" SPD.
	VS	4	FLAME SEEDLESS TABLE GRAPE	VITIS VINIFERA 'FLAME SEEDLESS'	5 GAL.	15'	15'	MIN. 12" HT.
	RG	7	GOLDEN CURRANT	RIBES AUREUM	3 GAL.	4'	4'	MIN. 12" HT.
	GLS	7	GRO-LOW SUMAC	RHUS AROMATICA 'GRO-LOW'	5 GAL.	3'	5'	MIN. 18" SPD.
	RI	18	INDIAN HAWTHORN	RHAPHIOLEPIS INDICA	5 GAL.	3'	4'	MIN. 12" HT.
	EV	9	MORMON TEA	EPHEDRA VIRIDIS	5 GAL.	4'	5'	MIN. 12" SPD.
	NWR	11	NEARLY WILD ROSE	ROSA 'NEARLY WILD'	5 GAL.	3'	3'	MIN. 12" HT.
	RD	22	PINK DOUBLE KNOCK OUT®ROSE	ROSA X 'RADTKOPINK'	3 GAL.	3'	3'	MIN. 12" HT.
	PS	12	PRARIE SAGE	ARTEMISIA LUDOVICIANA	5 GAL.	3'	3'	MIN. 12" HT.
	SU	15	ROSEMARY	SALVIA ROSMARINUS	3 GAL.	5'	5'	MIN 18" HT
GRASSES								
	SN	3	INDIAN GRASS	SORGHASTRUM NUTANS	3 GAL.	4'	3'	MIN. 12" HT.
DESERT ACCENTS								
	RY	18	RED YUCCA	HESPERALOE PARVIFLORA	5 GAL.	3'	3'	MIN. 12" HT.

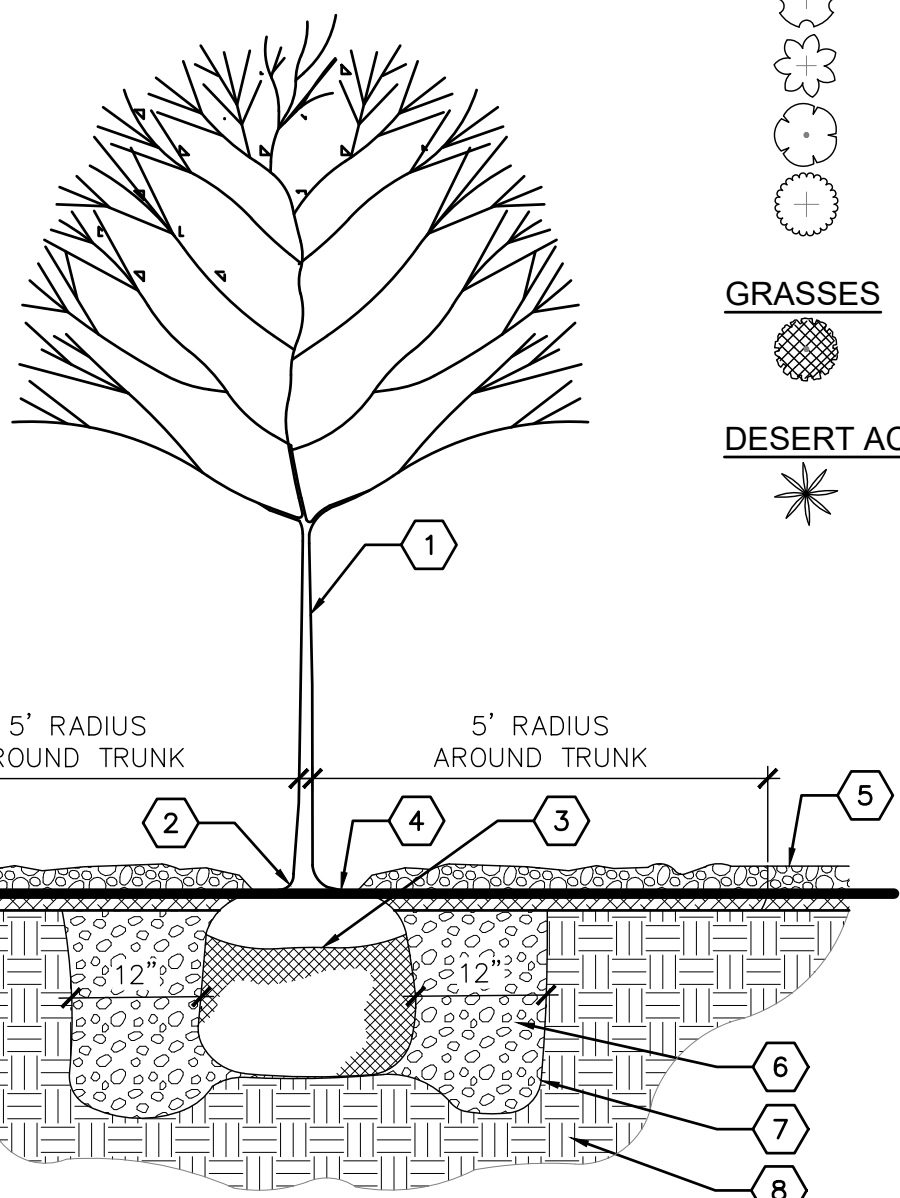


KEYED NOTES

- VINE - SEE PLAN FOR SPECIES AND LOCATION.
- VERTICAL STRUCTURE - SEE PLAN.
- PLANT AT SAME DEPTH AS MAINTAINED AT NURSERY.
- MULCH - SEE PLAN. HOLD BACK 2" FROM VINE STEMS.
- EARTHEN BERM, 6" HEIGHT
- BACKFILL AND SOIL AMENDMENTS - SEE SPECIFICATIONS. MIX THOROUGHLY PRIOR TO INSTALLATION.
- SCARIFY EDGE OF PLANTING HOLE, CONTINUOUS ALL SIDES.
- UNDISTURBED SUBGRADE

C1 VINE PLANTING

NOT TO SCALE

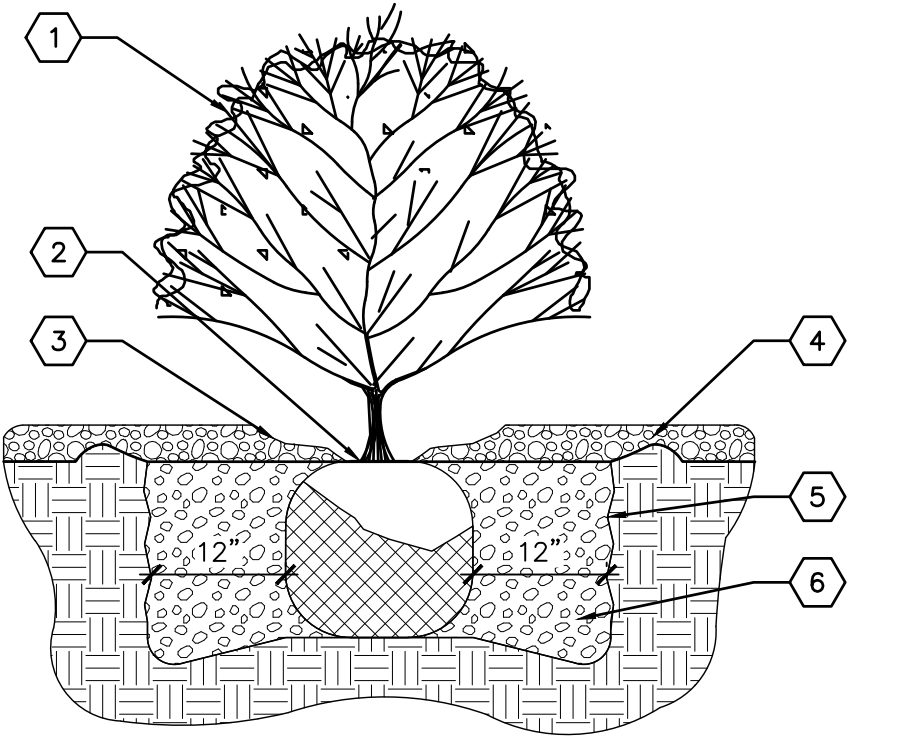


KEYED NOTES

- TREE - SEE PLAN FOR SPECIES AND LOCATION.
- REMOVE EXISTING SOIL FROM NURSERY AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE 2"-3" ABOVE GRADE.
- PLACE TREE IN HOLE AND STRAIGHTEN. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE AND/OR ROPE, AND BURLAP PRIOR TO BACKFILL.
- AVOID MULCH INSTALLATION 4"-6" FROM TREE TRUNK.
- ORGANIC MULCH WITH GRAVEL MULCH TOPPING LAYER - SEE DETAIL A3/LP501.
- THOROUGHLY MIX BACKFILL AND SOIL AMENDMENTS PRIOR TO INSTALLATION - SEE SPECIFICATIONS.
- SCARIFY EDGE OF PLANTING HOLE, CONTINUOUS ALL SIDES.
- UNDISTURBED SUBGRADE

A1 TREE PLANTING

NOT TO SCALE

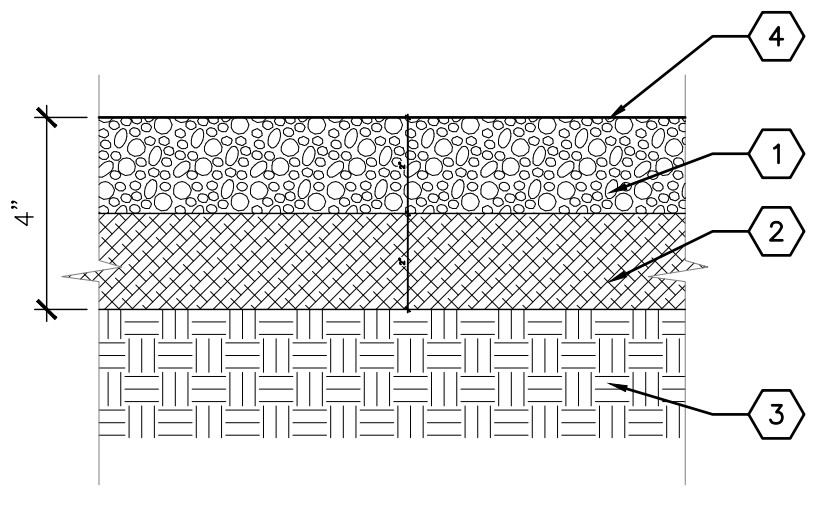


KEYED NOTES

- SHRUB - SEE PLAN FOR SPECIES AND LOCATION.
- PLANT AT SAME DEPTH AS MAINTAINED AT NURSERY.
- FEATHER MULCH TO A 2" DEPTH ON TOP OF ROOT BALL AND HOLD BACK 2" FROM SHRUB STEM(S).
- GRAVEL MULCH OVER ORGANIC MULCH - SEE DETAIL A3/LP501.
- SCARIFY EDGE OF PLANTING HOLE, CONTINUOUS ALL SIDES.
- THOROUGHLY MIX BACKFILL AND SOIL AMENDMENTS PRIOR TO INSTALLATION - SEE SPECIFICATIONS.

A2 SHRUB PLANTING

NOT TO SCALE



KEYED NOTES

- GRAVEL MULCH - SEE PLANTING PLAN.
- ORGANIC MULCH - SEE PLANTING PLAN.
- SUBGRADE
- FINISH GRADE

A3 ORGANIC MULCH WITH GRAVEL TOPPING LAYER

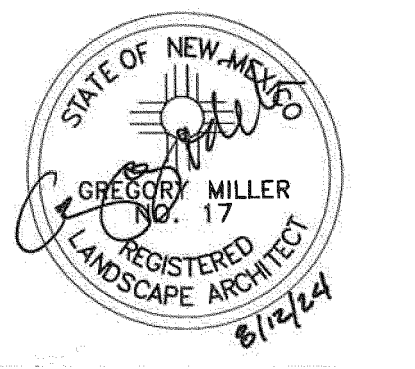
3" = 1'-0"

GENERAL PLANTING NOTES

CODE	DESCRIPTION
GP-01	IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT LEGEND AND THOSE SHOWN ON THE PLANTING PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION. NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT LIST.
GP-02	FILTER FABRIC SHALL BE MIN. 4 OZ. NON-WOVEN NEEDLE-PUNCHED POLYPROPYLENE (MIRAFI OR EQUIVALENT). OVERLAP ENDS 3" AND TURN DOWN EDGES 6"
GP-03	THE TOP OF MULCH SHALL BE 1" BELOW TOP OF ADJACENT CONCRETE SURFACES.
GP-04	CONTRACTOR SHALL PRUNE LOWER BRANCHES OF DECIDUOUS TREES AS DIRECTED BY LANDSCAPE ARCHITECT IN THE FIELD.
GP-05	TREES SHALL BE INSTALLED PER DETAIL A4/LP501.
GP-06	SHRUBS SHALL BE INSTALLED PER DETAIL B4/LP501.
GP-07	IF THERE IS A DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE CONTAINER SIZE CALLED OUT UNDER "REMARKS" AND HEIGHT & SPREAD CALLED OUT UNDER "SIZE", THE SPECIFIED PLANT MUST MEET HEIGHT & SPREAD REQUIREMENTS SPECIFIED UNDER "SIZE", EVEN IF A LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS, AT NO ADDITIONAL COST TO THE OWNER.
GP-08	TREES AND SHRUBS SHALL BE INSTALLED PER SPECIFICATION SECTION 329300 - PLANTS.
GP-09	VINES SHALL BE INSTALLED PER DETAIL B6/LP501.
GP-10	PER 5-6(C)(4)(G), ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6- 6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.
GP-11	PER 5-6(C)(4)(H), ALL REQUIRED PLANT MATERIALS SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ASNA) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
GP-12	PER 5-6(C)(5)(A), ALL VEGETATED MATERIAL REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE PLANTED IN UNCOMPACTED SOIL. PLEASE ADD A NOTE TO THE LANDSCAPE PLAN GENERAL NOTES TO REFLECT THIS CODE
GP-13	PER 5-6(C)(5)(B), IF USED, WEED BARRIERS SHALL BE PERMEABLE TO OPTIMIZE STORMWATER INFILTRATION AND PREVENT RUNOFF.
GP-14	PER 5-6(C)(5)(D), A MINIMUM OF 2 INCHES OF ORGANIC MULCH IS REQUIRED IN ALL PLANTING AREAS, WITH 3-4 INCHES RECOMMENDED.
GP-15	5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
GP-16	PER 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.
GP-17	PER 5-6(C)(9)(C), WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, THE APPLICANT SHALL INSTALL AN ADEQUATE IRRIGATION SYSTEM THAT MEETS THE MINIMUM TECHNICAL REQUIREMENTS IN ARTICLE 6-6 OF ROA 1994 (TREES, VEGETATION AND LANDSCAPING) AND THE DPM, WITH A SEPARATE METER FOR THE LANDSCAPE AREA IN THE PUBLIC RIGHT-OF-WAY, OR A SEPARATE VALVE(S) AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY. DRIP IRRIGATION SYSTEMS AND ARTIFICIAL TURF SHALL NOT BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY.
GP-18	PER 5-6(C)(14)(A), IRRIGATION SYSTEMS SHALL COMPLY WITH SECTION 8 OF THE ABCWUA LEGISLATION AND ORDINANCES (CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE).
GP-19	PER 5-6(C)(14)(B), ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
GP-20	5-6(C)(14)(C), ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING.
GP-21	PER 5-6(C)(14)(D), THE IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, DRIVE AISLES, STREETS, AND PARKING AND LOADING AREAS.
GP-22	5-6(C)(15)(C) ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE ABUTTING PROPERTY OWNER OR THE PROPERTY OWNER'S AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF ANY LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT SHALL BE THE RESPONSIBILITY OF SUCH PROPERTY OWNER. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWTH OF PLANT MATERIALS THAT HAVE BEEN APPROVED BY THE APPLICABLE PUBLIC UTILITY AS PART OF A PLAN FOR LANDSCAPING, SCREENING, OR BUFFERING ON THE PUBLIC RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY. IF A PUBLIC UTILITY DISTURBS LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF THE PLANT MATERIALS DIE DESPITE THOSE EFFORTS, IT IS THE OBLIGATION OF THE ABUTTING PROPERTY OWNER TO REPLACE THE PLANT MATERIALS.
GP-23	5-6(C)(15)(D) PROPERTY OWNERS ACKNOWLEDGE THAT APPROVED LANDSCAPING AND TREES INSTALLED AND MAINTAINED IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT ABUTTING PRIVATE PROPERTIES ARE THE PROPERTY OF THE CITY, AND THAT THAT THE CITY RESERVES THE RIGHT TO REMOVE THEM IF NECESSARY FOR A TRANSPORTATION PROJECT WITHOUT COMPENSATION, BUT AT NO COST TO THE PROPERTY OWNER. LANDSCAPING INSTALLED IN AN ABUTTING PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT BY PROPERTY OWNERS AND LATER REMOVED BY THE CITY SHALL NOT IMPACT PREVIOUSLY APPROVED NET LOT AREA CALCULATIONS FOR REQUIRED LANDSCAPING.
GP-24	5-13(B)(7)(A) LANDSCAPING, SCREENING AND BUFFERING AREAS SHALL BE MAINTAINED IN COMPLIANCE WITH ARTICLES 6-6 AND 9-8 OF ROA 1994 (TREES, VEGETATION, AND LANDSCAPING AND WEEDS, LITTER, AND SNOW) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE).
GP-25	5-13(B)(7)(B) ALL LANDSCAPED AREAS SHALL BE MAINTAINED WITH A NEAT AND ORDERLY APPEARANCE, WHICH INCLUDES PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED PLANTS AND TREES, DISPOSAL OF LITTER, REPAIR OF DAMAGED WALLS AND HARD SURFACE AREAS, AND UPKEEP OF IRRIGATION SYSTEMS.
GP-26	5-13(B)(7)(D) WHERE LANDSCAPING WAS INSTALLED PURSUANT TO A SITE PLAN OR DEVELOPMENT APPROVAL, THE LANDSCAPING SHALL BE REPLACED ACCORDING TO ANY LANDSCAPING AND MAINTENANCE PLAN UNDER THAT APPROVAL.
GP-27	5-13(B)(7)(E) TREES OR PLANTS THAT DIE SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 CALENDAR DAYS AFTER NOTICE FROM THE CITY. THE REPLACEMENT OF DEAD VEGETATION IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
GP-28	5-13(B)(7)(F) STREET TREES SHALL BE MAINTAINED ALIVE AND HEALTHY. MAINTAINING AND REPLACING STREET TREES OR OTHER TREES PLANTED IN THE PUBLIC RIGHT-OF-WAY ARE THE RESPONSIBILITY OF ABUTTING PROPERTY OWNERS.



CONSULTANT



STAMP

DFT SUBMITTAL

PROJECT NAME

SOMOS

7200 CENTRAL AVE SE, ALBUQUERQUE, NEW MEXICO 87108

SOMOS APARTMENTS LIMITED PARTNERSHIP LLLP

REVISIONS

NO.	DATE	DESCRIPTION
01	09/03/24	DFT COMMENTS

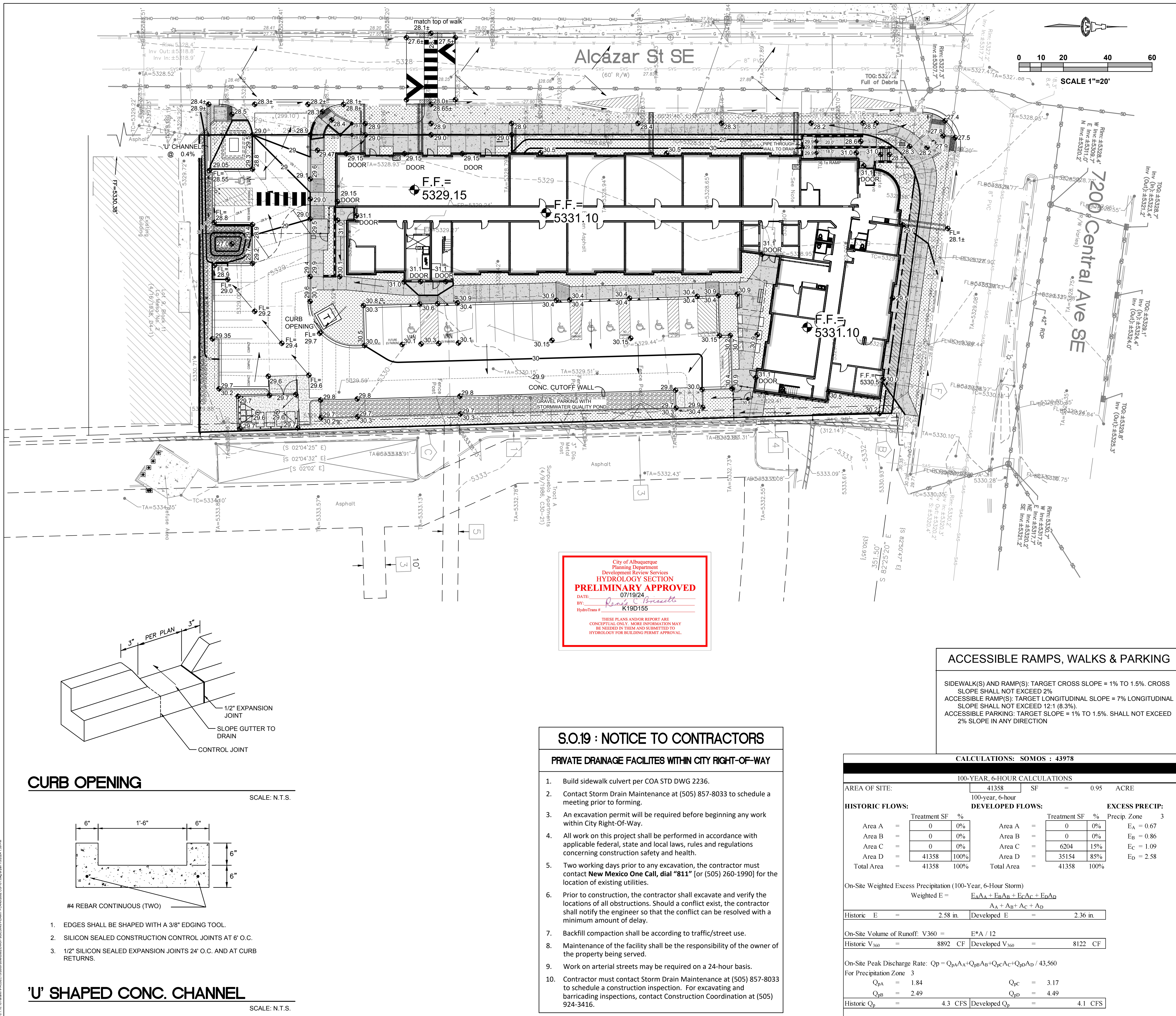
Drawn by	KA
Checked by	GM
Date	AUGUST 12TH, 2024
Project number	2735

SHEET TITLE

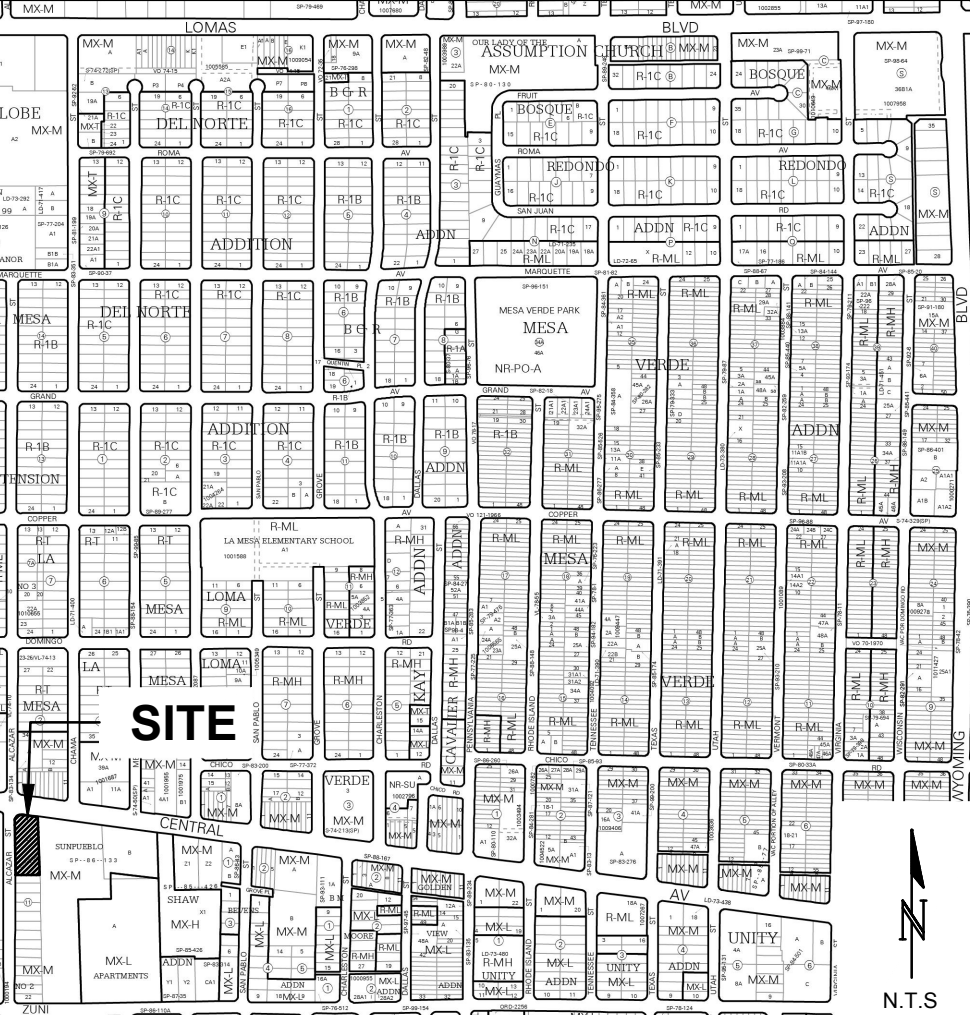
GENERAL NOTES AND DETAILS

SHEET NUMBER

SP7



C.O.A. VICINITY MAP K-19-Z



PROJECT INFORMATION

PROPERTY: THE SITE IS A PREVIOUSLY FULLY DEVELOPED COMMERCIAL LOT BOUNDED TO THE NORTH BY CENTRAL AVE NE, TO THE EAST BY A DEVELOPED MULTI-FAMILY RESIDENTIAL, TO THE SOUTH BY DEVELOPED COMMERCIAL LOT, AND TO THE WEST BY ALCAZAR ST SE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-FAMILY APARTMENT STRUCTURE WITH LIMITED RETAIL, ASSOCIATED PAVED ACCESS, PARKING, AND LANDSCAPING.

LOT SIZE: 0.9494 ACRES

LEGAL: TR A-1 PLAT OF TR A-1 BLK 11 LA MESA NO. 2.

BENCHMARK: ACS MONUMENT "14-K20" HAVING AN ELEVATION OF 5381.929

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0354H EFF. 8/16/2012, THE SITE IS LOCATED WITHIN FLOOD ZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: THIS PROPERTY WAS PREVIOUSLY FULLY DEVELOPED WITH APPROX. 90% LAND TREATMENT 'D' (BASED ON HISTORIC GOOGLE IMAGERY). THE PROPOSED DEVELOPMENT WILL CONTINUE TO FREE DISCHARGE TO THE ADJACENT STREETS TO ENTER THE PUBLIC STORM DRAIN SYSTEM AT THE INTERSECTION OF CENTRAL AND ALCAZAR. PER THE ATTACHED CALCULATIONS, THERE WILL BE A SMALL DECREASE IN 100-YEAR 6-HOUR DISCHARGE.

STORMWATER QUALITY VOLUME: FOR REDEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON THE 80TH PERCENTILE STORM EVENT OR 0.26".

THE IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 85% OF TOTAL AREA OR 35,152 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME IS 0.26" * TYPE 'D' AREA = 762 CF.

STORMWATER QUALITY VOLUME PROVIDED: WRAPPED GRAVEL AT PAVEMENT PARKING SPACES @ 160'X8'X1' @ 33% VOID = 422 CF SOUTH POND = 229 CF

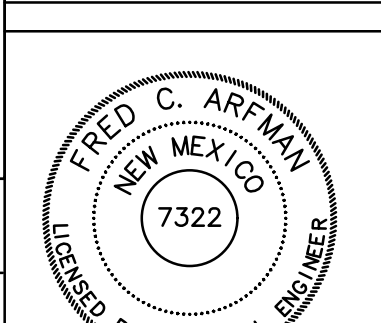
TOTAL STORMWATER QUALITY VOLUME = 651 CF

PAYMENT IN LIEU THAT WOULD BE OTHERWISE OWED IS WAIVED FOR NEW DEVELOPMENT OR REDEVELOPMENT IN EITHER OF THE FOLLOWING AREAS: (1) METROPOLITAN REDEVELOPMENT AREAS OR (2) WITHIN CITY LIMITS AS OF 1999.

Isaacson & Arfman, Inc.
Civil Engineering Consultants
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Albuquerque, NM 87108
505-266-8828 | www.iacivil.com



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Preliminary
07/03/2024 2:04:03 PM

Engineer

SOMOS
7200 CENTRAL AVE. SE
ALBUQUERQUE, 87108

50% CONSTRUCTION	ISSUE:	DOCUMENTS
PROJECT NUMBER:	IA 2682	
FILE:	2682 CG-101.dwg	
DRAWN BY:		
CHECKED BY:		
DATE:	07/03/2024	

ACCESSIBLE RAMPS, WALKS & PARKING

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12.1 (8.3%)
ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

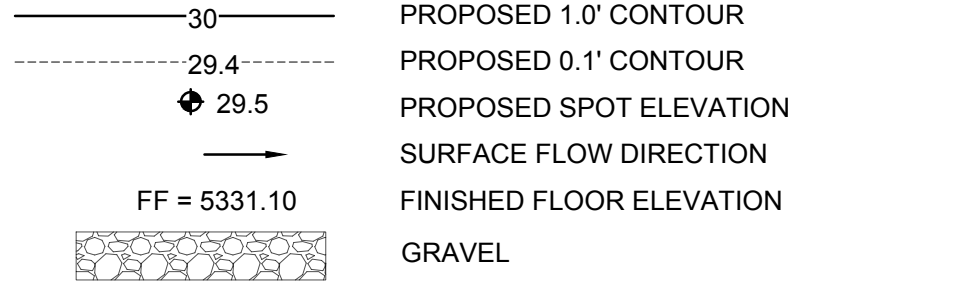
GENERAL NOTES

- A. GRADES SHOWN ARE FINAL SURFACE GRADES (TOP OF CONCRETE, TOP OF LANDSCAPE MATERIAL, ETC).
- B. ALL DRAINAGE IMPROVEMENTS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN MUST BE COMPLETED BEFORE ENGINEER'S CERTIFICATION OF SUBSTANTIAL COMPLIANCE CAN BE ISSUED.

KEYED NOTES

- 1. PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT
- 2. 1' (BOTTOM WIDTH) CURB OPENING
- 3. CONSTRUCT ADA COMPLIANT PARKING SPACES
- 4. CONSTRUCT ADA COMPLIANT PEDESTRIAN ACCESS WALK AT ELEVATIONS SHOWN
- 5. CONCRETE DUMPSTER PAD SLOPED TO INTERIOR DRAIN INLET(S).
- 6. BUILDING EXTENDED STEMWALL REQUIRED TO ACHIEVE GRADES SHOWN.
- 7. CONSTRUCT 2' WIDE ALLEY GUTTER
- 8. CONSTRUCT 1.5' (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL THROUGH ISLAND TO PASS WATER

LEGEND



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 07/19/24
BY: *Randy Brissett*
HydroTeam # K19D155

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

S.O.19 : NOTICE TO CONTRACTORS

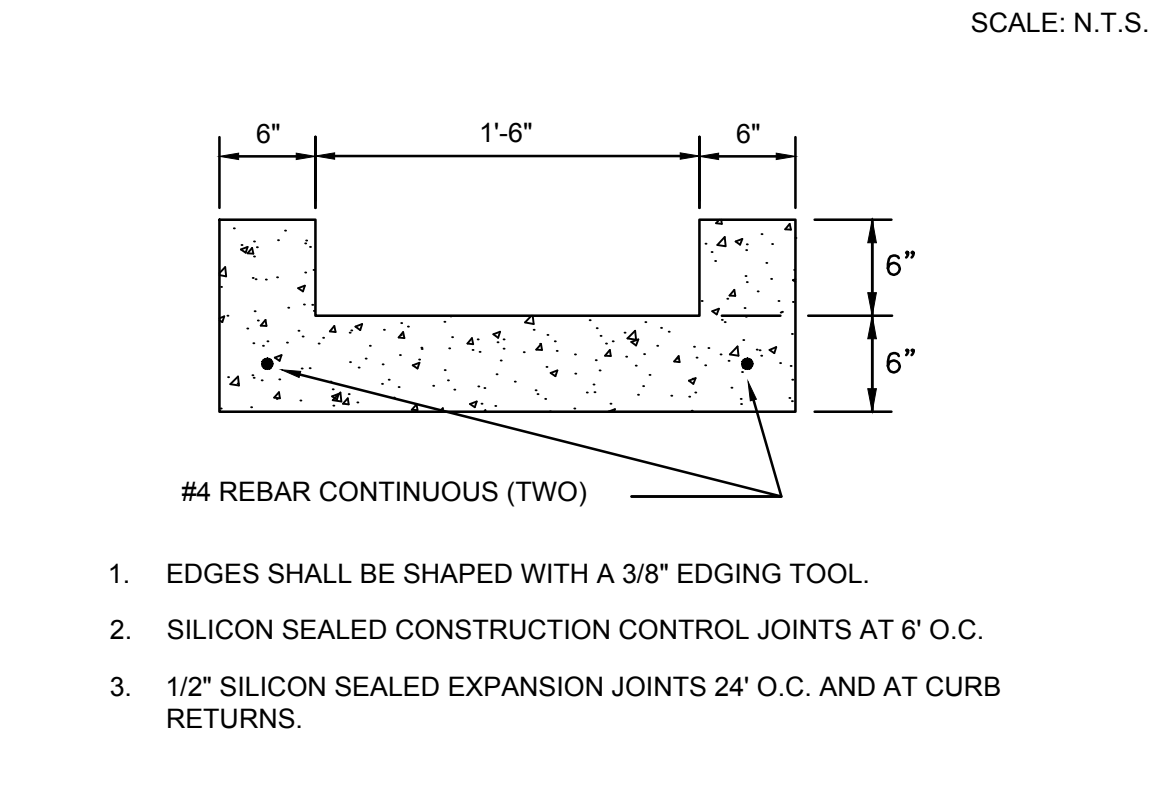
PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

- Build sidewalk culvert per COA STD DWG 2236.
- Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" [or (505) 260-1990] for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

CALCULATIONS: SOMOS : 43978

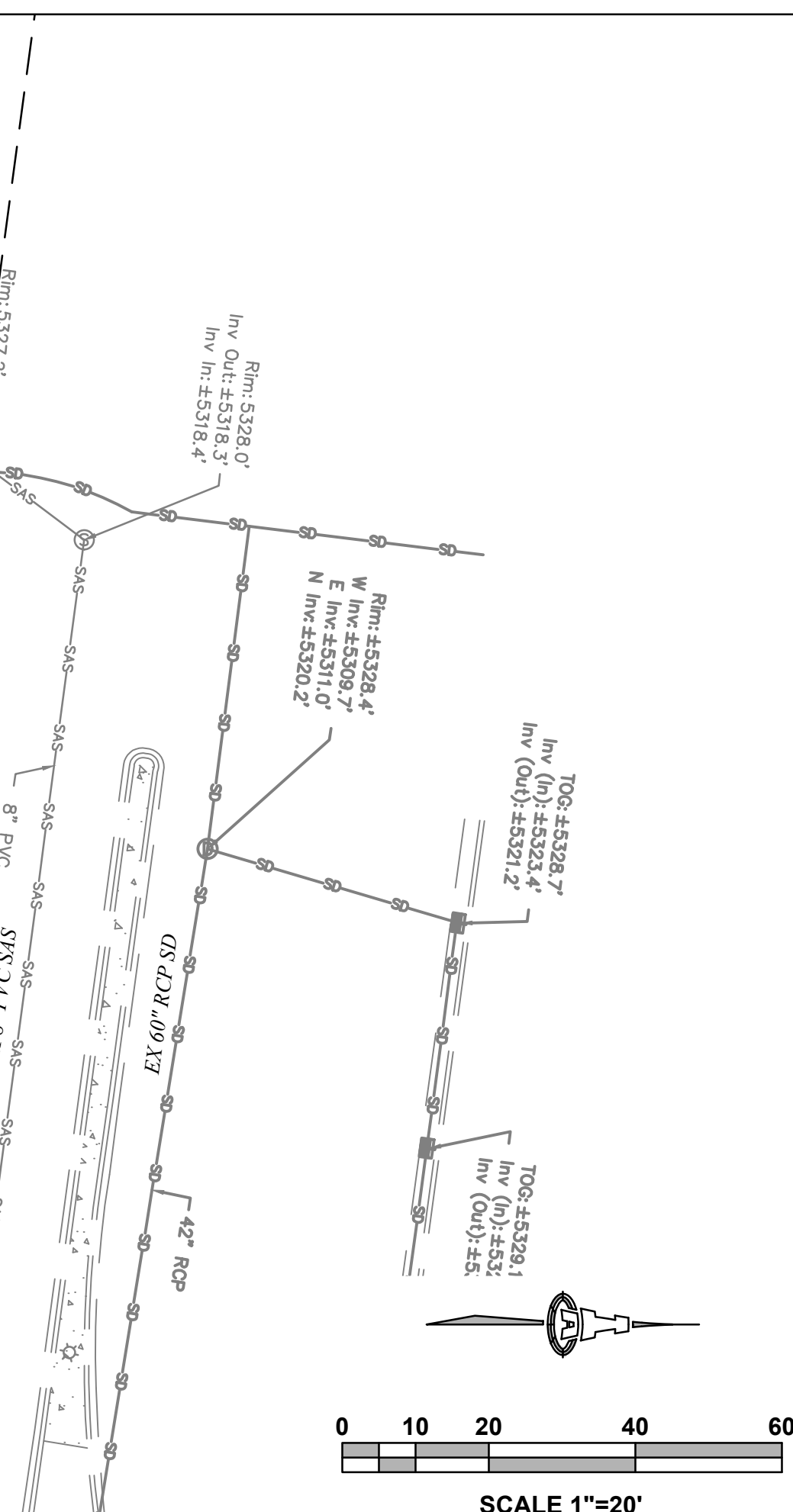
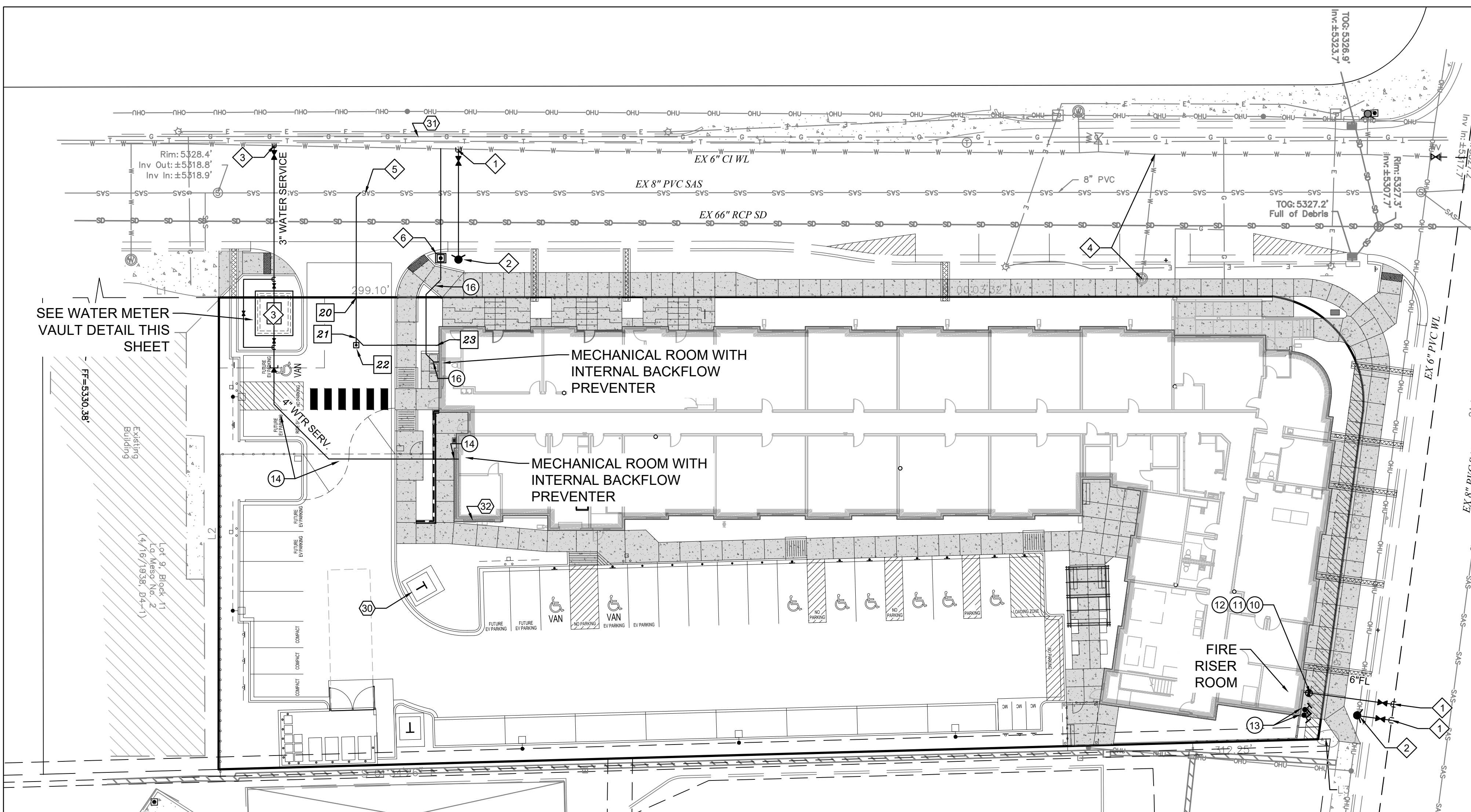
100-YEAR, 6-HOUR CALCULATIONS					
AREA OF SITE:	41358	SF	=	0.95	ACRE
HISTORIC FLOWS:					
Area A	Treatment SF	%	Area A	Treatment SF	%
Area B	0	0%	Area B	0	0%
Area C	0	0%	Area C	6204	15%
Area D	41358	100%	Area D	35154	85%
Total Area	41358	100%	Total Area	41358	100%
EXCESS PRECIP:					
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)					
Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$					
Historic E	=	2.58 in.	Developed E	=	2.36 in.
On-Site Volume of Runoff: V360 = E*A / 12					
Historic V360	=	8892 CF	Developed V360	=	8122 CF
On-Site Peak Discharge Rate: Qp = QpA*AA + QpB*AB + QpC*AC + QpD*AD / 43,560					
For Precipitation Zone 3					
QpA	=	1.84	QpC	=	3.17
QpB	=	2.49	QpD	=	4.49
Historic Qp	=	4.3 CFS	Developed Qp	=	4.1 CFS

CURB OPENING



'U' SHAPED CONC. CHANNEL

- EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
- SILICON SEALED CONSTRUCTION CONTROL JOINTS AT 6' O.C.
- 1/2" SILICON SEALED EXPANSION JOINTS 24' O.C. AND AT CURB RETURNS.



LEGEND

- EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING SEWER LINE
- EXISTING SEWER MANHOLE
- NEW FIRE LINE
- NEW WATER VALVE
- NEW FIRE HYDRANT
- NEW FDC
- NEW PIV
- NEW SEWER LINE
- PUBLIC WATER VALVE
- PUBLIC FIRE HYDRANT
- DISTANCE JOINTS TO BE RESTRAINED FROM FITTING OR VALVE

RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS

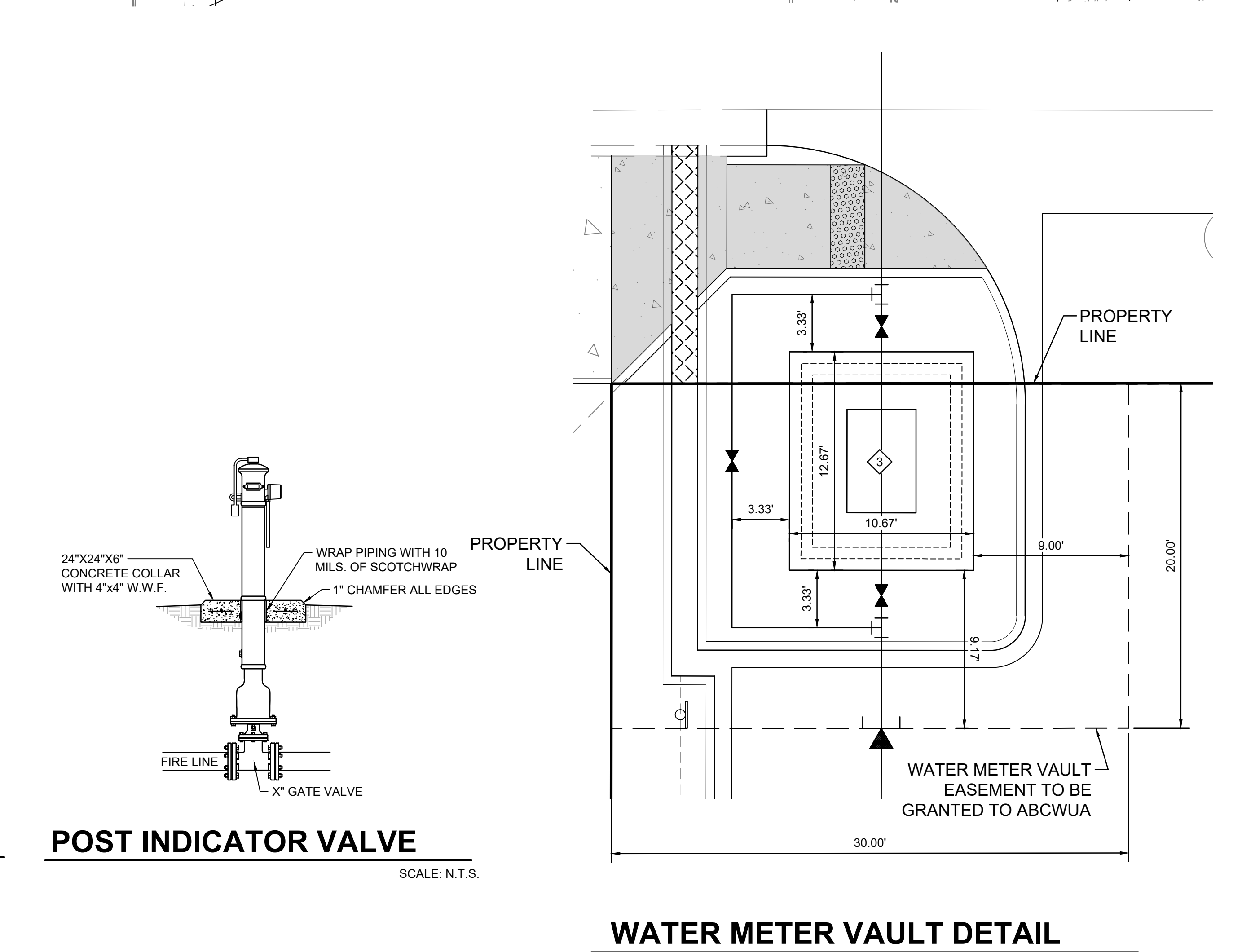
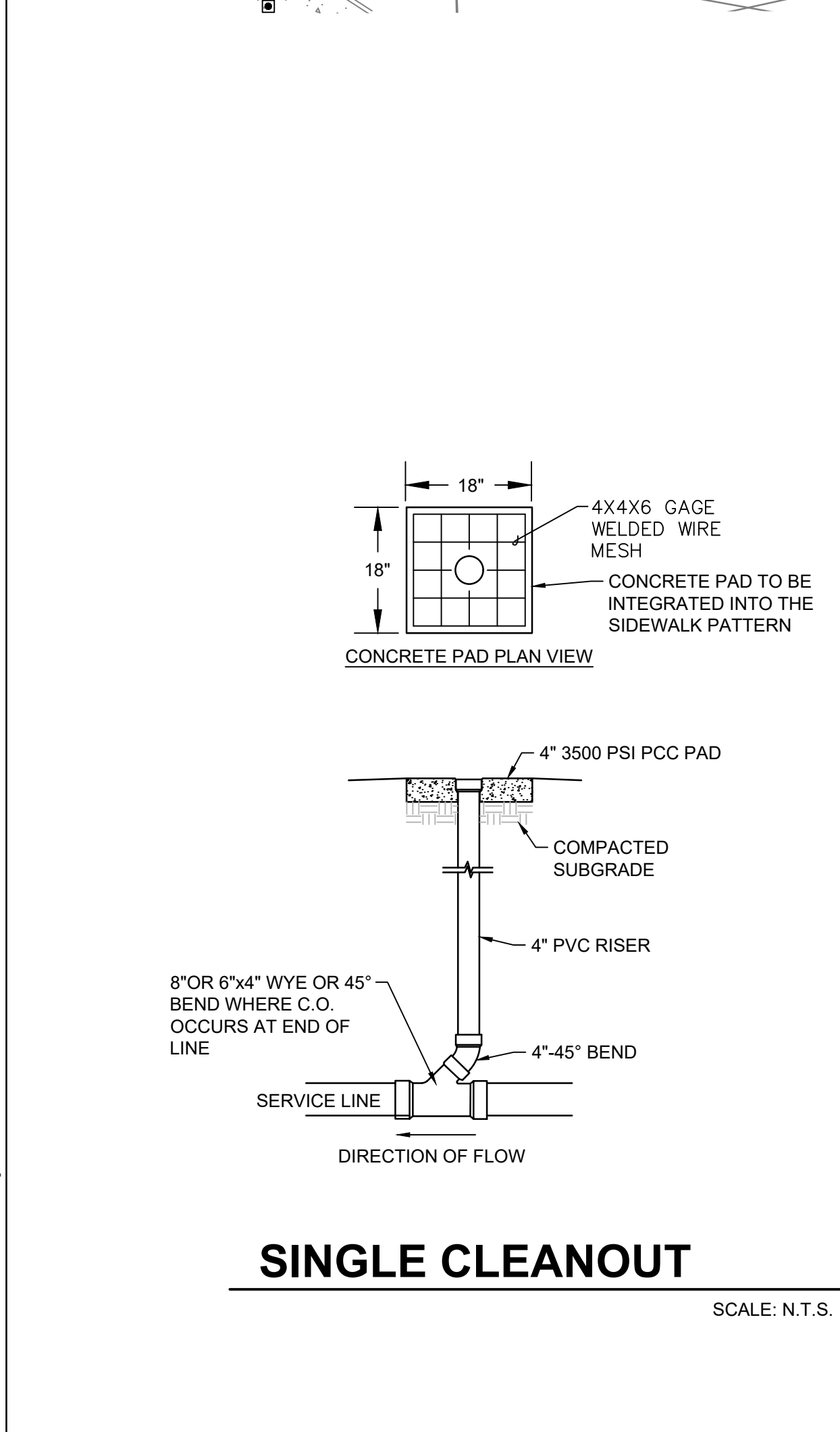
1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
 2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
 3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
 4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
- DEPTH OF BURY: 3.0 FT. MINIMUM
 FACTOR OF SAFETY: 1.5
 MATERIAL: PVC
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
 TEST PRESSURE: 150 PSI
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.
- DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

GENERAL NOTES

- A. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- B. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- C. SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- D. ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
- E. ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.
- F. WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.
- G. SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.
- H. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
- J. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.
- K. CONNECTION TO THE 10" STEEL LINE WILL REQUIRE ENGINEERED DETAILS ON THE CONNECTION PERMIT PLAN SUBMITTAL.
- L. ALL WORK PERFORMED ON PRIVATELY OWNED SEWER LINE AND SERVICE LINES MUST BE INSPECTED BY THE CITY OF ALBUQUERQUE'S CODE ADMINISTRATION DIVISION. IN ORDER THAT INSPECTION BY THE PLANNING DEPARTMENT, CODE ADMINISTRATION DIVISION, PLUMBING SECTION CAN BE EFFICIENTLY HANDLED, WITH A MINIMUM LOSS OF TIME TO CONTRACTOR, THE FOLLOWING SHALL BE NOTED:
 - INSPECTION ARRANGEMENTS FOR A SEWER SERVICE LINE SHALL BE MADE BY THE CONTRACTOR CALLING THE CITY OF ALBUQUERQUE, CODE ADMINISTRATION DIVISION, PLUMBING SECTION.
 - INSPECTION REQUESTS CALLED IN BETWEEN THE HOURS OF 8:00 A.M. AND 12:00 NOON WILL BE INSPECTED THE SAME AFTERNOON. INSPECTION REQUESTS CALLED IN BETWEEN THE HOURS OF 1:00 AND 5:00 P.M. WILL BE INSPECTED THE FOLLOWING MORNING, EXCEPT IN CASES OF EMERGENCY.

KEYED NOTES

- ABCWUA CONNECTION PERMIT ITEMS**
1. NON-PRESSURE CONNECTION. INSTALL 6" TEE W/ 6" GATE VALVE PER ABCWUA STD DWG #S 2301, 2326, 2328.
 2. INSTALL PUBLIC 4" BURY FIRE HYDRANT PER ABCWUA STD DWG #2340.
 3. 3" WATER METER IN VAULT PER ABCWUA STD DWG #2370.
 4. REMOVE AND DISPOSE EXISTING WATER METER BOX, CLOSE CORP STOP AT MAIN.
 5. INSTALL 8" WYE ON EXISTING SAS MAIN AND INSTALL NEW 8" SERVICE LINE TO ROW.
 6. 1" WATER METER PER ABCWUA STD DWGS #2362 & #2366.
- WATER KEYED NOTES**
10. REMOVE EXISTING 6" CAP AND CONNECT NEW 6" WATERLINE.
 11. PIV (POST INDICATOR VALVE).
 12. 3/4" ELECTRICAL CONDUIT W/ PULL STRING FROM PIV TO FIRE ROOM.
 13. WALL MOUNT FDC (FIRE DEPARTMENT CONNECTION).
 14. REMOVE 3" CAP. INSTALL 4"x3" REDUCER AND CONNECT NEW 4" SERVICE LINE TO BUILDING. SEE MECHANICAL PLAN FOR CONTINUATION.
 15. 4" - 45° BEND (LT = 5')
 16. TIE TO 1" WATER METER. INSTALL EXPANSION TO TRANSITION FROM 1" TO 1-1/4". INSTALL 1-1/4" WATER SERVICE LINE TO BUILDING. SEE MECHANICAL PLAN FOR CONTINUATION.
- SEWER KEYED NOTES**
20. CONNECT TO 8" SANITARY SEWER SERVICE AT ROW.
 21. INSTALL 8" WYE.
 22. INSTALL SINGLE CLEAN OUT PER DETAIL THIS SHEET.
 23. SEE MECHANICAL PLAN FOR CONTINUATION.
 24. INSTALL 8" - 45° BEND
- DRY UTILITY KEYED NOTES**
30. PNM TRANSFORMER. OWNER / CONTRACTOR TO COMPLETE AND SUBMIT A COMMERCIAL SERVICE APPLICATION TO PNM. PNM REPRESENTATIVE TO PROVIDE ONSITE ELECTRICAL SERVICE LINE LOCATION.
 31. NEW MEXICO GAS COMPANY GAS MAIN. OWNER / CONTRACTOR TO COMPLETE AND SUBMIT A COMMERCIAL SERVICE APPLICATION TO NMCGO.
 32. GAS METER LOCATION TO BE DETERMINED BY OWNER AND NMCGO.



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Albuquerque, NM 87108
505-266-8828 | www.iacivil.com

Engineer

SOMOS

**7200 CENTRAL AVE. SE
ALBUQUERQUE, 87108**

NOT FOR CONSTRUCTION DFT SUBMITTAL	
ISSUE:	IA 2662
PROJECT NUMBER:	2682 CU-101 - DFT.dwg
DRAWN BY:	
CHECKED BY:	
DATE:	07/03/2024

No	Date	Description
1	09-03-24	DFT Comments

SHEET TITLE

CONCEPTUAL
UTILITY PLAN

SHEET NUMBER

SP4

GENERAL SHEET NOTES

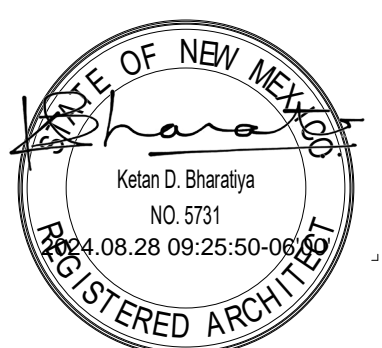
- a. Building mounted signs shall meet IDO Section 5-12(E)(5)(c) Mixed Use and Non-Residential Zone Districts and Table 5-12-3. The sign area shall not exceed 25% of the facade area, inclusive of door and window openings.
- b. Building design shall meet IDO Section 5-11(E) Multi-family Residential Development in UC-MS-PT Areas and Mixed Use and Non-Residential development in Mixed-Use Zone Districts.
- c. Per IDO 5-11(E) (1) the ground floor height shall have a minimum clear height of 10 feet.
- d. Per IDO Section 5-11(E)(2)(a), the facade design shall provide a sense of human scale and shall incorporate features along at least 30 percent of the length of the facade, distributed along the facade so that at least 1 of the features occurs every 40 feet. The elevations provide windows on the upper floors and awnings over windows as shown. The facades facing Central Avenue and Alcazar incorporate changes in color more than 20% of the horizontal length of the facade and wall plane projections or recesses of at least 1 foot in depth every 100 feet of the facade length and extending for at least 25 percent of the length of the facade.
- e. Per 5-11(E)(2)(b), windows on the upper floors shall be recessed by a minimum of 2-inches and the ground floor of the Central and Alcazar facades shall contain a minimum of 30 percent of its surface in transparent windows and/or doors.
- f. For the commercial and office use, the interior spaces shall be visible to a minimum depth of 6 feet from the facade.



HARTMAN + MAJEWSKI
DESIGN GROUP

CONSULTANT

STAMP



DFT SUBMITTAL

PROJECT NAME

SOMOS

7200 CENTRAL AVE. SE,
ALBUQUERQUE, NEW MEXICO 87108

SOMOS APARTMENTS
LIMITED PARTNERSHIP
LLL

REVISIONS

NO.	DATE	DESCRIPTION
01	09/03/24	DFT COMMENTS

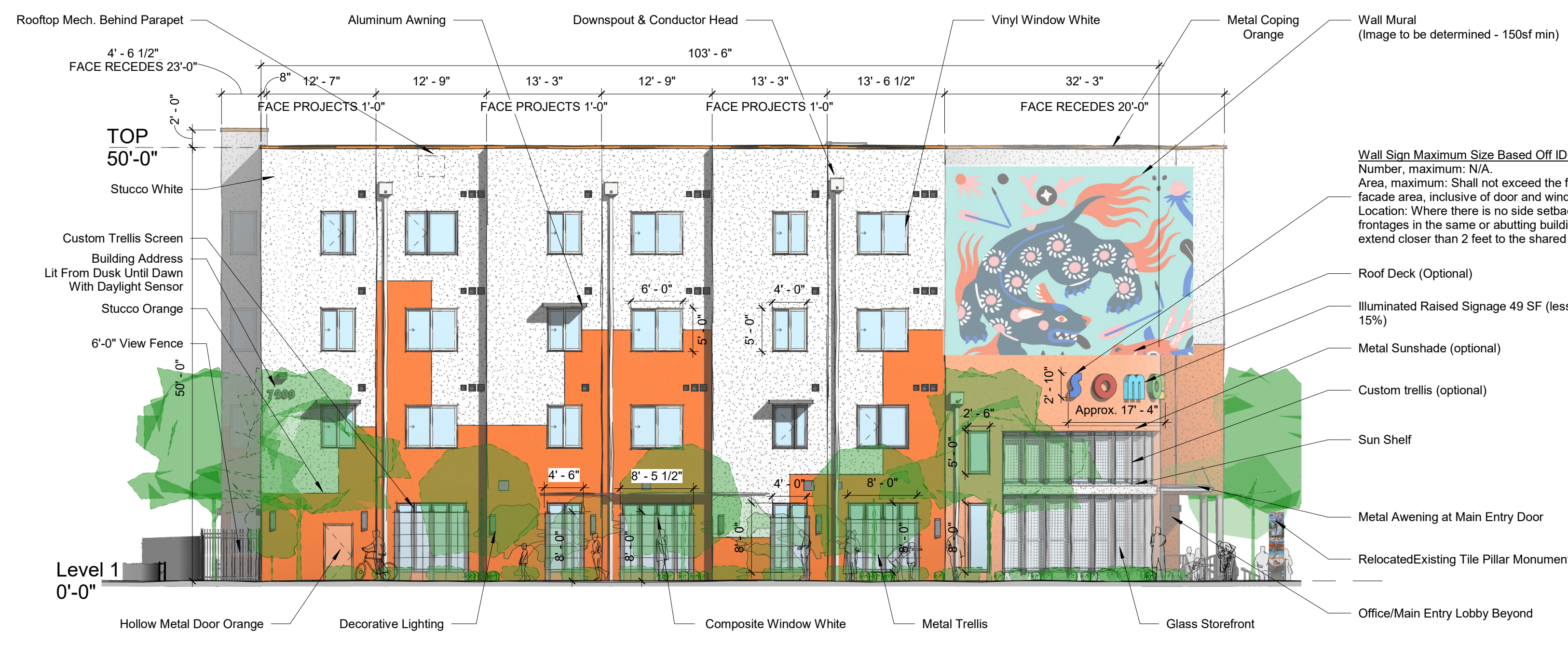
Copyright: Design Group

Drawn by	JJ/VM
Checked by	KB
Date	August 12, 2024
Project number	2735

SHEET TITLE

BUILDING ELEVATIONS -
DFT SUBMITTAL
SHEET NUMBER

SP-8



NORTH ELEVATION (CENTRAL AVE FACING FACADE)
3/32" = 1'-0"

STREET ELEVATIONS TRANSPARENCY CALCULATIONS

CENTRAL AVE ELEVATION

- TOTAL NORTH FACADE LENGTH: 103'-6"
- 103'-6" LENGTH X 12' HEIGHT = 1,242SF OF FACADE SURFACE AREA FOR THE FIRST 12 FEET OF BUILDING HEIGHT.
- 30% REQUIRED TRANSPARENT DOORS AND WINDOWS FOR THE FIRST 12 OF BUILDING HEIGHT.
- 429SF OF TRANSPARENT DOORS AND WINDOWS PROVIDED.
- 429SF / 1,242SF = 34.5% OF FACADE SURFACE AREA IS TRANSPARENT DOORS AND WINDOWS FOR THE FIRST 12 FEET OF BUILDING HEIGHT.
- 34.5% PROVIDED > 30% REQUIRED

ALCAZAR ST ELEVATION

- TOTAL NORTH FACADE LENGTH: 103'-6"
- 254'-6" LENGTH X 12' HEIGHT = 3,054SF OF FACADE SURFACE AREA FOR THE FIRST 12 FEET OF BUILDING HEIGHT.
- 30% REQUIRED TRANSPARENT DOORS AND WINDOWS FOR THE FIRST 12 OF BUILDING HEIGHT.
- 977SF OF TRANSPARENT DOORS AND WINDOWS PROVIDED.
- 977SF / 3,054SF = 32% OF FACADE SURFACE AREA IS TRANSPARENT DOORS AND WINDOWS FOR THE FIRST 12 FEET OF BUILDING HEIGHT.
- 32% PROVIDED > 30% REQUIRED



WEST ELEVATION (ALCAZAR STREET FACING FACADE)
3/32" = 1'-0"

Commercial Signage Maximum Size Based Off IDO (Table 5-12-3):
Number, maximum: 1 / establishment frontage
Width, maximum: 50% of building frontage width
Height of message surface, maximum: letters and images must located on vertical surfaces, which may not exceed 18 in. height.

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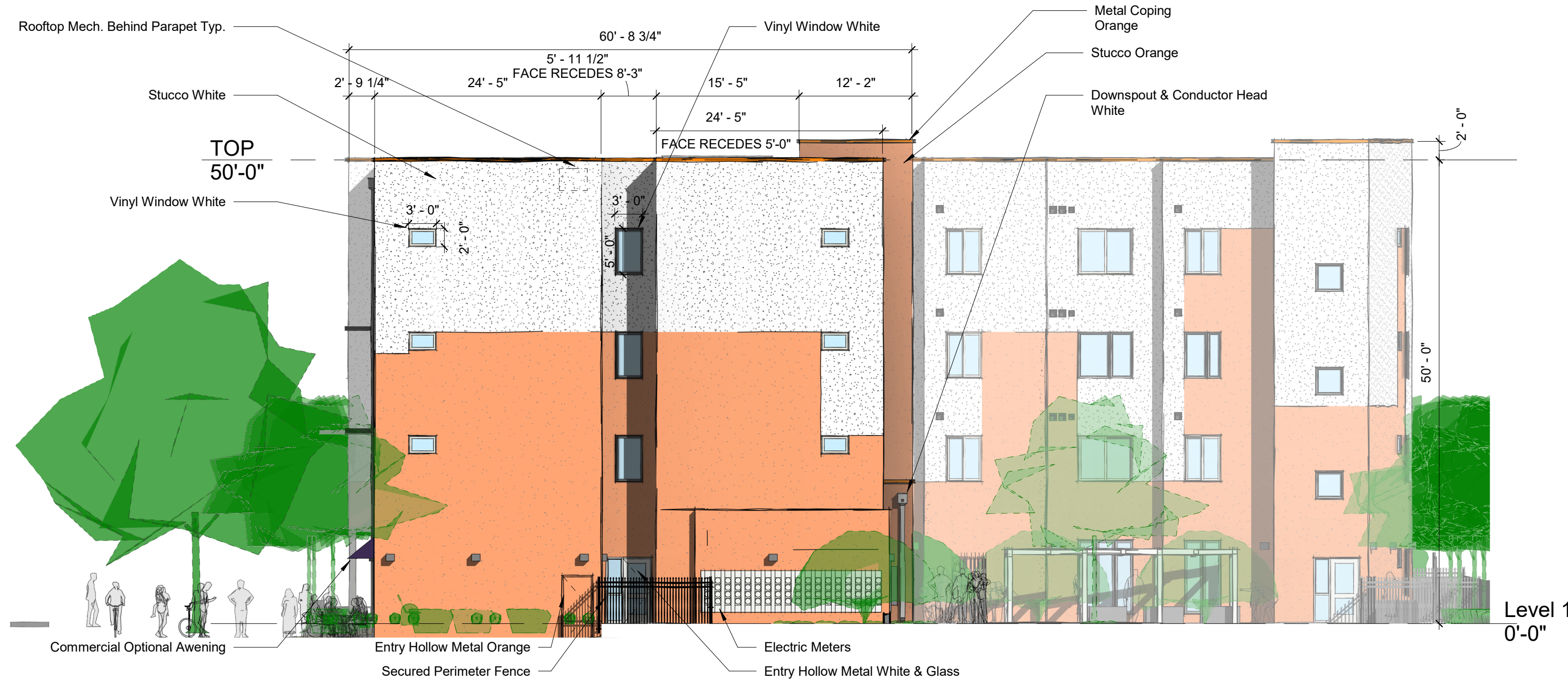
GENERAL SHEET NOTES

- a. Building mounted signs shall meet IDO Section 5-12(E)(5)(c) Mixed Use and Non-Residential Zone Districts and Table 5-12-3. The sign area shall not exceed 25% of the facade area, inclusive of door and window openings.
- b. Building design shall meet IDO Section 5-11(E) Multi-family Residential Development in UC-MS-PT Areas and Mixed Use and Non-Residential development in Mixed-Use Zone Districts.
- c. Per IDO 5-11(E) (1) the ground floor height shall have a minimum clear height of 10 feet.
- d. Per IDO Section 5-11(E)(2)(a), the facade design shall provide a sense of human scale and shall incorporate features along at least 30 percent of the length of the facade, distributed along the facade so that at least 1 of the features occurs every 40 feet. The elevations provide windows on the upper floors and awnings over windows as shown. The facades facing Central Avenue and Alcazar incorporate changes in color more than 20% of the horizontal length of the facade and wall plane projections or recesses of at least 1 foot in depth every 100 feet of the facade length and extending for at least 25 percent of the length of the facade.
- e. Per 5-11(E) (2)(b), windows on the upper floors shall be recessed by a minimum of 2-inches and the ground floor of the Central and Alcazar facades shall contain a minimum of 30 percent of its surface in transparent windows and/or doors.

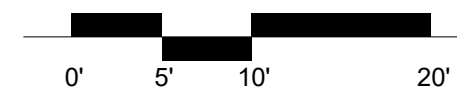


**HARTMAN + MAJEWSKI
DESIGN GROUP**

CONSULTANT



SOUTH ELEVATION (INTERIOR FACING FACADE)
3/32" = 1'-0"



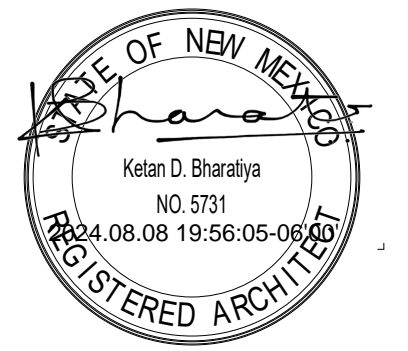
SOUTH ELEVATION (INTERIOR FACING FACADE)
3/32" = 1'-0"



EAST ELEVATION (INTERIOR FACING FACADE)
3/32" = 1'-0"



STAMP



DFT SUBMITTAL

PROJECT NAME

SOMOS

7200 CENTRAL AVE. SE,
ALBUQUERQUE, NEW MEXICO 87108

SOMOS APARTMENTS
LIMITED PARTNERSHIP
LLP

REVISIONS

NO.	DATE	DESCRIPTION

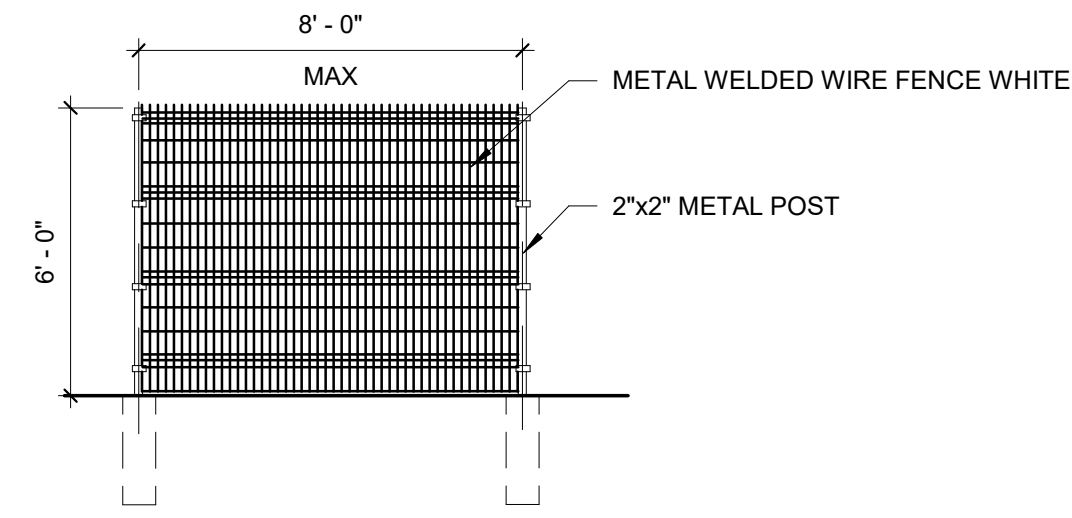
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Checked by	KB
Date	AUGUST 12, 2024
Project number	2735

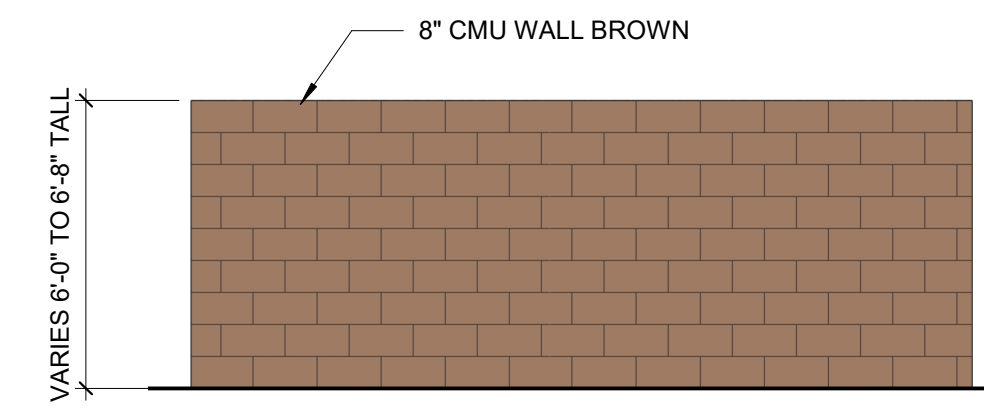
SHEET TITLE

**BUILDING ELEVATIONS -
DFT SUBMITTAL**
SHEET NUMBER

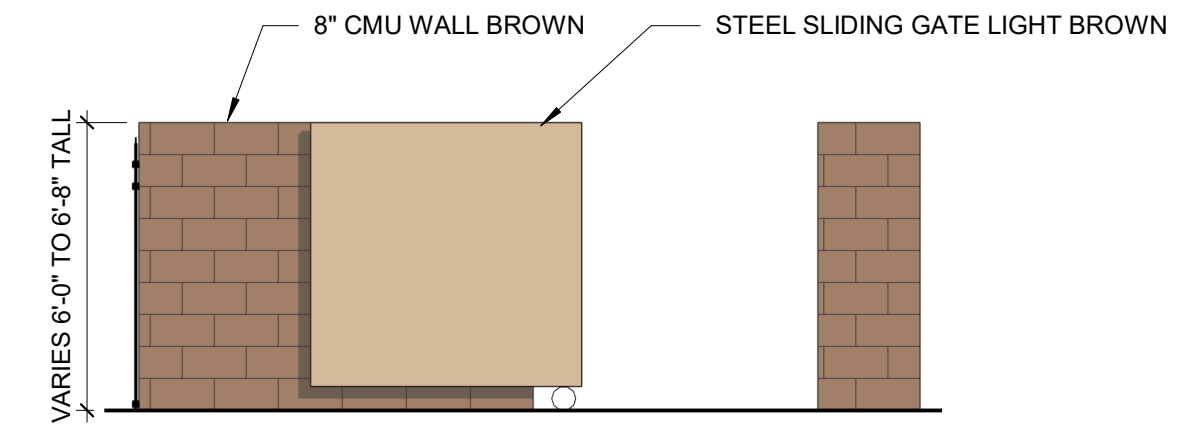
SP-9



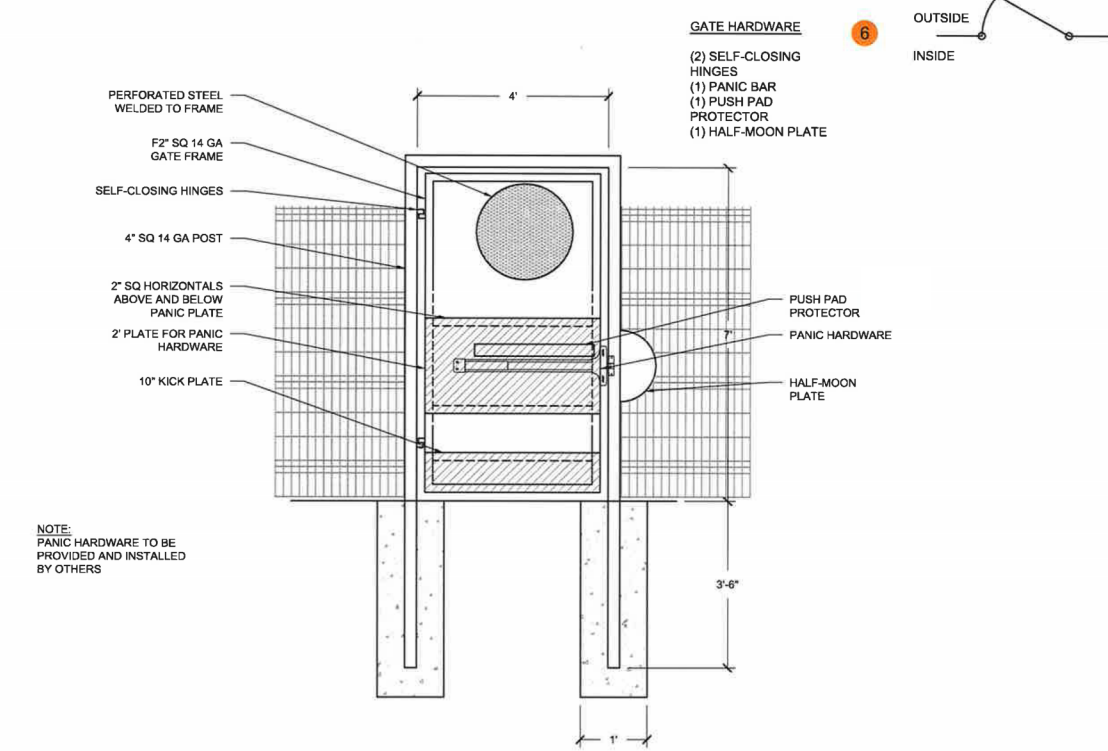
D3 SITE FENCE TYPICAL
1/4" = 1'-0"



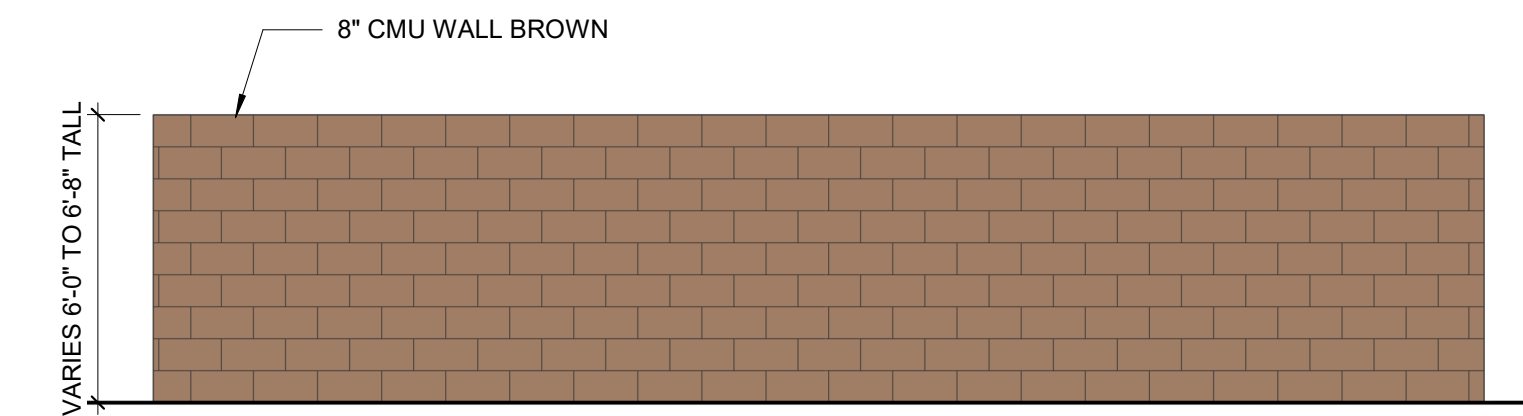
D5 REFUSE ENCLOSURE SOUTH
1/4" = 1'-0"



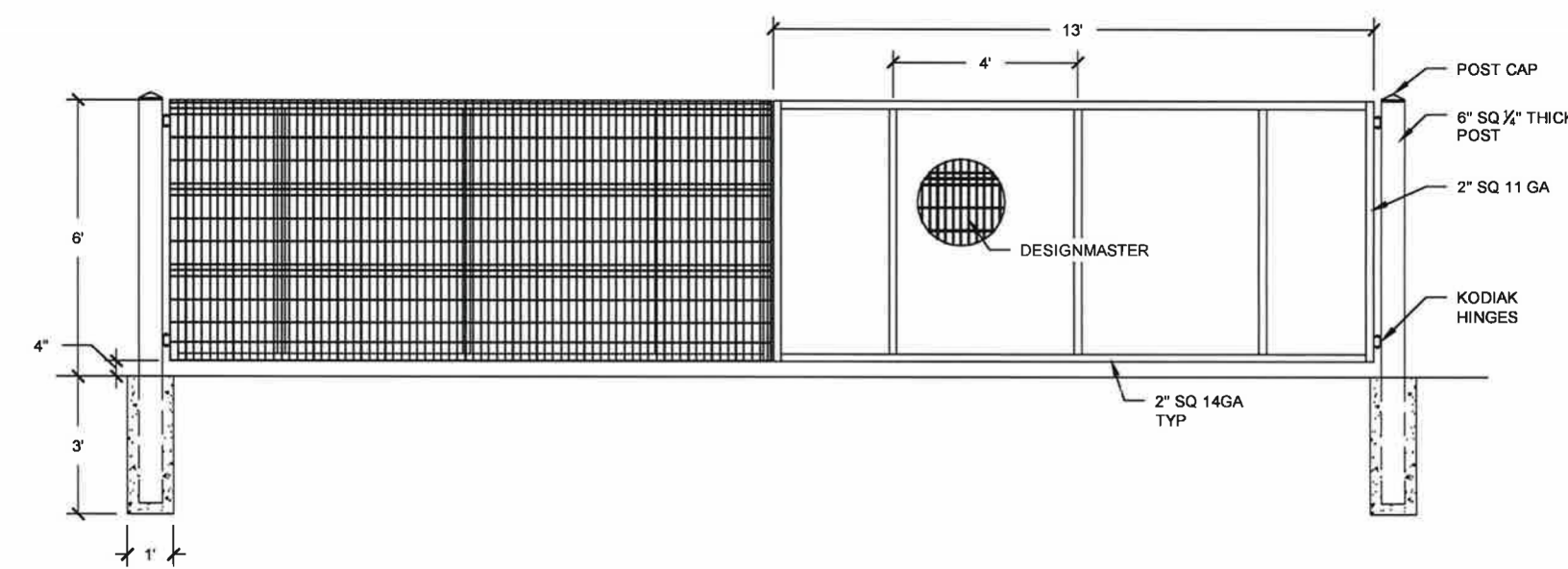
C5 REFUSE ENCLOSURE NORTH
1/4" = 1'-0"



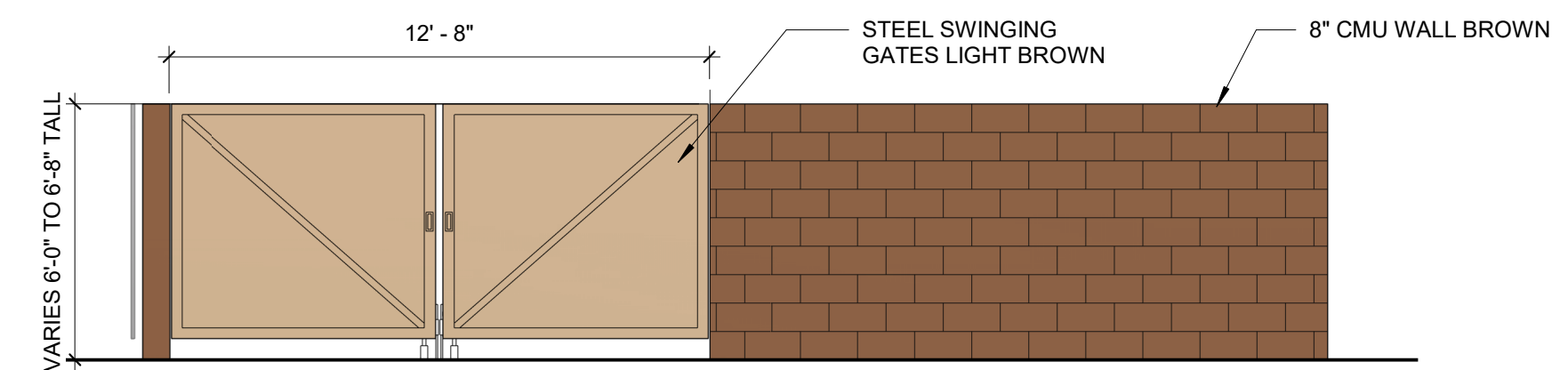
C3 PEDESTRIAN EGRESS GATE
1/4" = 1'-0"



B5 REFUSE ENCLOSURE EAST
1/4" = 1'-0"



A3 CAR EGRESS GATE
1/4" = 1'-0"

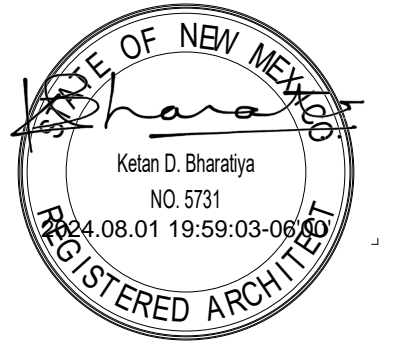


A5 REFUSE ENCLOSURE WEST
1/4" = 1'-0"



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SOMOS APARTMENTS
LIMITED PARTNERSHIP
LLLP

REVISIONS

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Checked by	KB
Date	AUGUST 12, 2024
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SHEET TITLE

SITE DETAILS - DFT
SUBMITTAL

SHEET NUMBER

SP-10



**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**

PERMIT
PERMIT NUMBER: FP-24-019530
APPROVED DATE: 05/16/24

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: 2250GPM, 2 HYDRANTS, V-A CONSTRUCTION

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Civil Engineering Consultants

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Albuquerque, NM 87108
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NOT FOR CONSTRUCTION
Engineer

**SAMOS MIXED USE
7200 CENTRAL AVE SE**

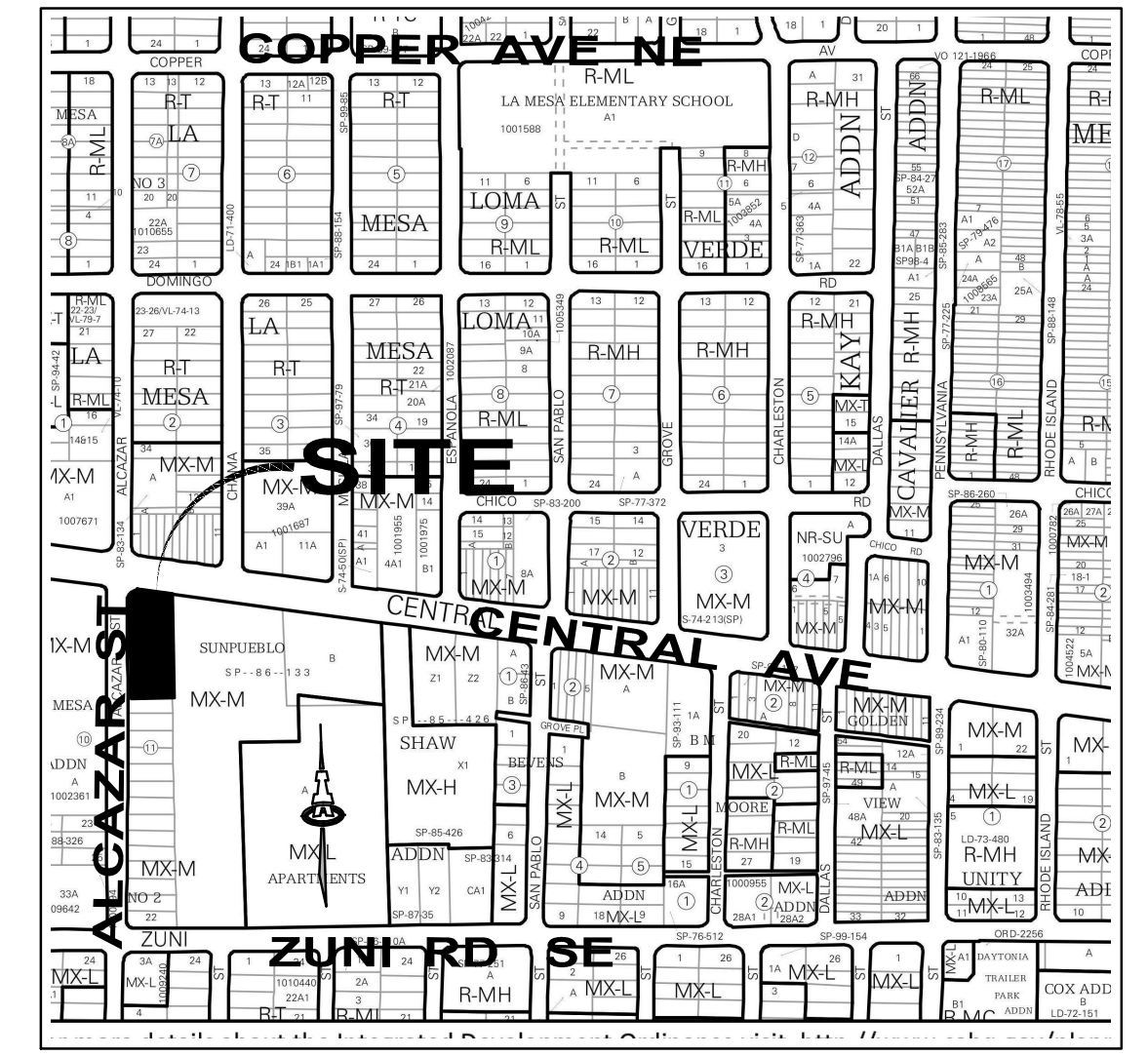
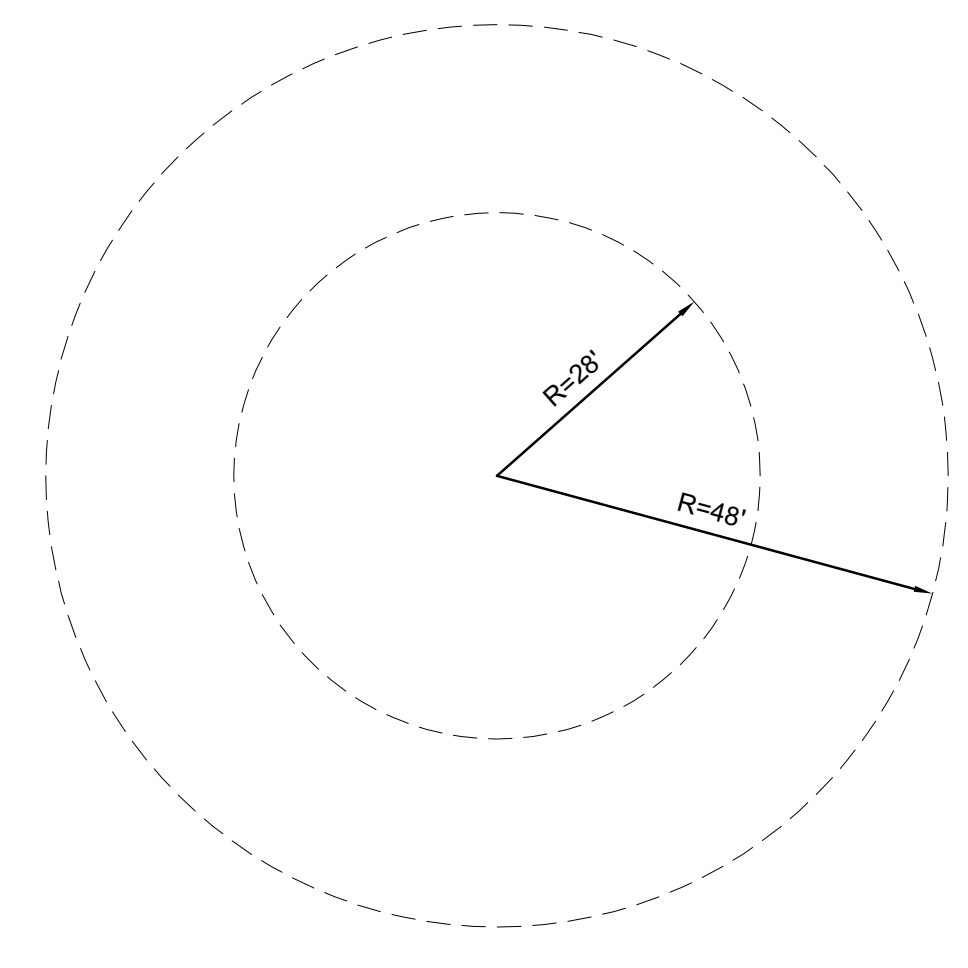
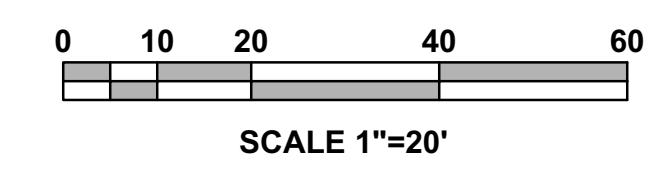
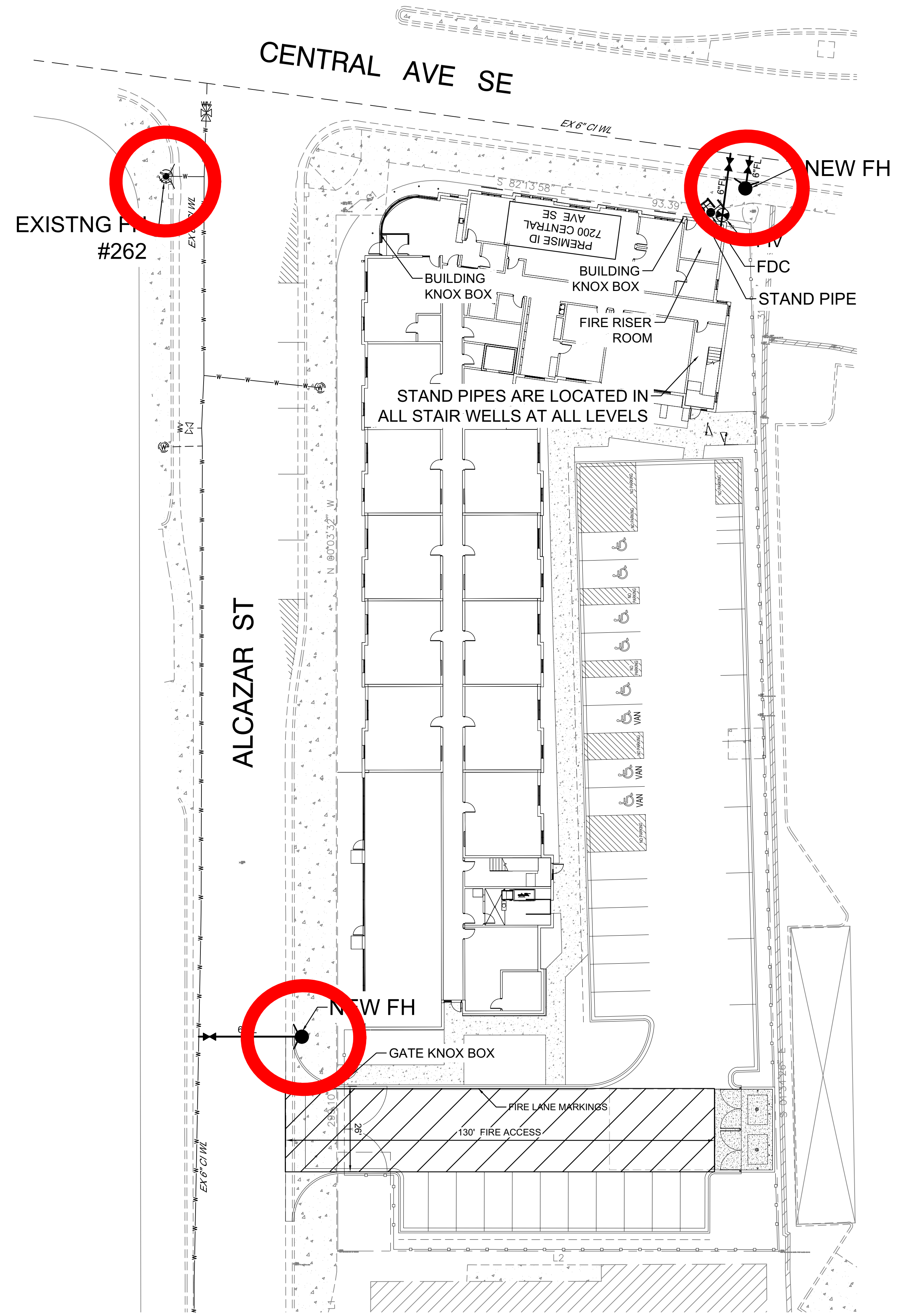
DESIGN	ISSUE
DEVELOPMENT	NUMBER
PROJECT NUMBER: IA XXXX	FILE:
DRAWN BY:	CHECKED BY:
DATE:	DATE:

No	Date	Description

SHEET TITLE
FIRE HYDRANT LOCATION & ACCESS PLAN

SHEET NUMBER

FIRE 1
FP-24-019530



MIXED USE COMPLEX

OCCUPANCY GROUP R-2 & B

BUILDING IS TYPE V-A
64,380 SQ. FT.
BUILDING IS SPRINKLED, NFPA-13
FIRE FLOW IS 4,500 / 2 = 2,250 GPM.
= 2 FIRE HYDRANTS
1 NEW FIRE HYDRANTS
1 EXISTING FIRE HYDRANT NEAR SITE

MAX. BUILDING HEIGHT IS 48'-0"
STAND PIPE IS PROVIDED.
HIGHEST 4TH FLOOR LEVEL IS 36'-0"

FIRE DEPARTMENT CONNECTION, POST INDICATOR VALVE AND FIRE HYDRANT SHALL HAVE A MINIMUM DISTANCE OF 3' FROM ANY PERMANENT OBJECTS.

FIRE DEPARTMENT CONNECTION SHALL BE WITHIN 100' OF A FIRE HYDRANT.

BUILDING TO HAVE A PREMISES ID VISIBLE FROM CENTRAL AVE

BUILDING TO HAVE KNOX BOXES AT ENTRANCES

ALL GATES ARE ELECTRICALLY OPERATED WITH A KNOX KEY SWITCH. EMERGENCY ACCESS.

ALL ACCESS ROADS AND FIRE LANES HAVE GRADES LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE PATHS WILL ACCOMMODATE A 28' MINIMUM TRUCK TURNING RADIUS

FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED HEIGHT NOT LESS THAN 13'-6".

THERE ARE NO OVERHEAD OBSTRUCTIONS ON SITE TO PROHIBIT LADDER TRUCK OPERATIONS

DATE PLOTTED: 05/16/24 09:58:28 AM. PLOTTER: HP DesignJet 2400. PLOT SCALE: 1"=20'. PLOT SHEET: FIRE HYDRANT LOCATION & ACCESS PLAN. PLOT SHEET NUMBER: IA XXXX. PLOT SHEET DATE: 05/16/24.