

VICINITY MAP

SCALE: 1" = 60'-0"

PROJECT NUMBER:

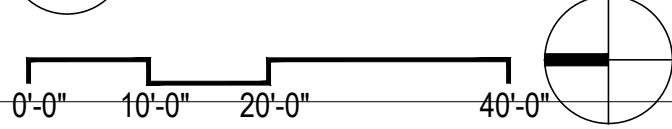
Application Number :
Is an Infrastructure List required? () Yes () No If yes, then a set of approved
DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Healt Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date
*Environmental Health, if necessary	

1 SITE PLAN

SCALE: 1"=20'-0"



LEGEND	KEY NOTES:	GENERAL NOTES:	DEVELOPMENT SUMMARY:
<ul style="list-style-type: none">EXIST. CONTROL BOXEXIST. PULLBOXEXIST. TRAFFIC SIGNAL BOXEXIST. POWER POLEEXIST. FIRE HYDRANTFIRE DEPARTMENT CONNECTIONDIRECTION SIGNDENOTES TRANSFORMER LOCATIONGREASE TRAPACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNITPROPERTY LINEUTILITY LINE	<ol style="list-style-type: none">8'-6"x16'-0" PUBLIC PARKING SPACE, TYPICAL, 2 FT OVERHANG11'-0"x16'-0" VAN ACCESSIBLE PARKING SPACE, 2 FT OVERHANG8'-6"x18'-0" TYP. ACCESSIBLE PARKING SPACEACCESSIBLE DRIVEWAY CROSSING PAINTED MARKINGTRASH ENCLOSURE SURROUNDED BY 8' CMU WALL WITH EIFS FINISH25'x25' SIGHT VISIBILITY TRIANGLE AT STREET CONNER.ENHANCED PAVING AT MAIN ENTRY AUTO COURTALL ADA CURB RAMPS TO BE CONSTRUCTED/REBUILT TO CURRENT ADA STANDARDS AND TO INCLUDE TRUNCATED DOMES.	<ol style="list-style-type: none">ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER WITH DRC APPROVED PLANS.ALL EXISTING SIDEWALKS, CURBS, DRIVE PADS, WALL AND ANYTHING THAT INFLUENCES THE PARKING AND CIRCULATION ARE IDENTIFIED ON THE SITE PLAN.LANDSCAPING, FENCING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.ALL UNUSED CURB CUTS SHAUL BE REPLACED WITH NEW CURB & GUTTER AND SIDEWALKS.ALL BROKEN OR CRACKED SIDEWALK TO BE REPLACED WITH SIDEWALK, CURBS AND GUTTERSA 6FT. WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY WILL BE PROVIDED FROM THE PUBLIC SIDEWALK TO THE BUILDING ENTRANCES.EQUIPMENT SCREENING WILL COMPLY WITH SCREENING REQUIREMENTS IN SECTION 14-16-5-6 OF THE CITY OF ALBUQUERQUE ZONING CODE.WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.SIGNAGE SHALL BE PERMITTED SEPARATELY AND SHALL COMPLY WITH IDO 5-12 AND TABLE 5-12-3.LANDSCAPE TO MEET SPECIFICATIONS IN IDO 5-8(C)(4)THE SITE IS DESIGNED IN ACCORDANCE WITH IDO STANDARDS 14-16-2-4(C) MX-M ZONE DISTRICT AND 14-16-3-4(i) NOB HILL/HIGHLAND CPO-8.HOTEL USE SHALL COMPLY WITH USE SPECIFIC STANDARDS 14-16-4-3(D)(15) HOTEL OR MOTEL.BAR AND RESTAURANT USE SHALL COMPLY WITH USE SPECIFIC STANDARDS 14-16-4-3(d)(8) BAR, NIGHTCLUB, RESTAURANT, AND TAP ROOM OR TASTING ROOMPER 14-16-3-4(i)(5)(A)(1) VEHICULAR ACCESS TO THE SITE IS PROVIDED ALONG BRYN MAWR AND THROUGH THE ALLEY TO THE EAST OF THE SUBJECT PROPERTY.THE LIGHTING FOR THE HOTEL SHALL BE CONSISTENT WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTINGTHE PROPOSED LIGHTING IS NOT LOCATED WITHIN 100 FT OF ANY RESIDENTIAL ZONE DISTRICT.ILLUMINATION SHALL BE PROVIDED ON THE SIDE FACING THE ALLEY, PURSUANT TO 14-16-5-8(E)(4)PER IDO TABLE 5-8-1, POLE HEIGHTS SHALL NOT EXCEED 25 FEET.PER IDO TABLE 5-8-2, THE APPLICABLE LIGHTING DESIGNATION IS LZ3. LIGHTING SHALL COMPLY WITH STANDARDS PROVIDED IN TABLE 5-8-3 (LIGHT TRESPASS) AND 5-8-5 (TOTAL LUMEN ALLOWANCE)	<p>Use: Mixed Use - Hotel (111 Rooms), Bar (2,961 sf), and Restaurant (1,295 sf).</p> <p>Zoning: MX-M</p> <p>Overlay: Nob Hill/Highland CPO-8</p> <p>Centers and Corridors: Main Street and Major Transit - Central Avenue</p> <p>Premium Transit Station: Nob Hill ART Station</p> <p>Transit: Routes 66, 16, 766, and 777</p> <p>Bicycle Facilities: Silver Avenue Bicycle Boulevard</p> <p>Legal Description: Lots 1 - 5, Block 41 University Heights Addition and Lot 1, Block 3 Monte Vista Addition 42,571 SF (1.08 Acres)</p> <p>Net Site Area: 42,571 SF (1.08 Acres)</p> <p>Zone Atlas Page: K-16</p> <p>Setbacks: Front: 0'-0" Min., 15'-0" Max. Side: 0'-0" Min., 15'-0" Max. Street Side: 0'-0" Min., 15'-0" Max. Rear: 0 feet</p> <p>Building Height: Allowed (with Structured Parking Bonus): 42 feet Provided (with Structured Parking): 42 feet</p> <p>Building Footprint: 25,784 SF</p> <p>Parking: Car Parking Required (UC-MS-PT): Hotel = 2 spaces/3 rooms: 74 Spaces Bar = 5/1,000 SF: 15 Spaces Restaurant = 3.5/1,000 SF: 5 Spaces Total Required: 95 Spaces Less Transit Reduction* @ 40% - 38 Spaces Total (after reductions): 57 Spaces</p> <p>*5-5(C)(5)(d) 1 and 2</p> <p>Motorcycle Parking Required: 3 Spaces Bicycle Rack Required: 3 Racks</p> <p>Provided: Parking Structure: 72 Spaces Alley Spaces: 17 Spaces Total: 89 Spaces</p> <p>Motorcycle Space provided: 4 Spaces Bicycle Rack provided: 3 Racks Accessible Parking Required: 4 Spaces with 1 being a Van Space Accessible Parking Provided: 4 Spaces with 1 being a Van Space</p>

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HIWAY HOTEL
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DOCUMENT DATE: 09.02.2025

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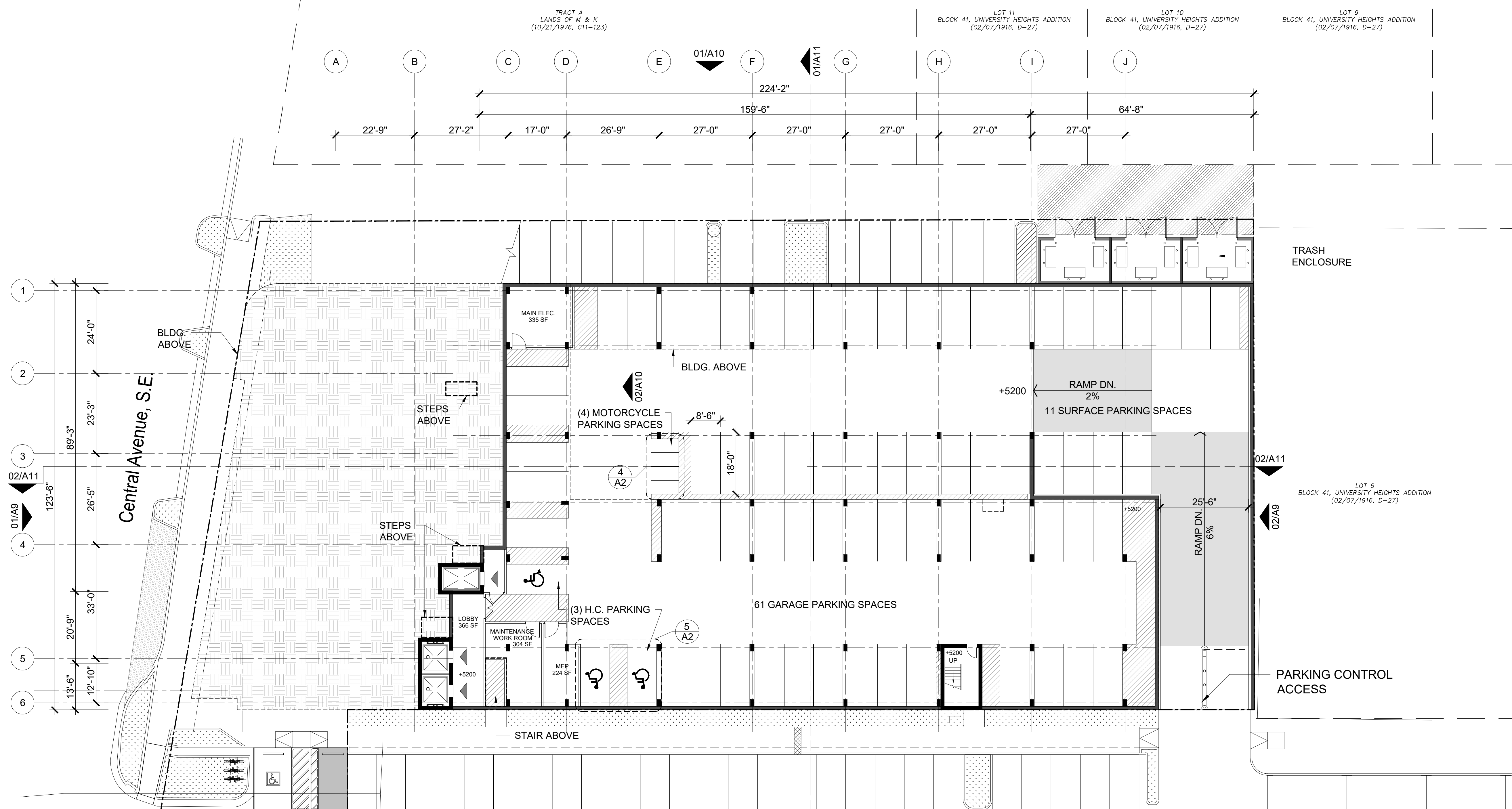
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SITE PLAN

SHEET NUMBER:

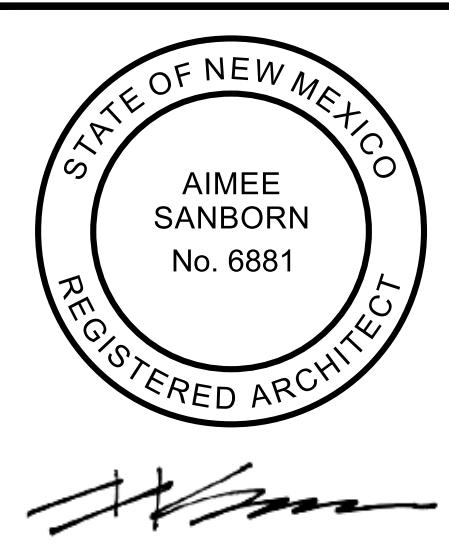


1 FLOOR PLAN - PARKING LEVEL
SCALE: 1/16"=1'-0"

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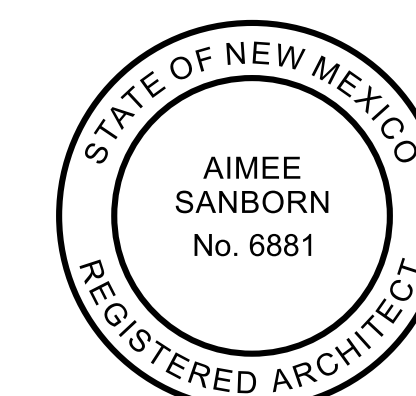
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FLOOR PLAN
SHEET NUMBER:
A3

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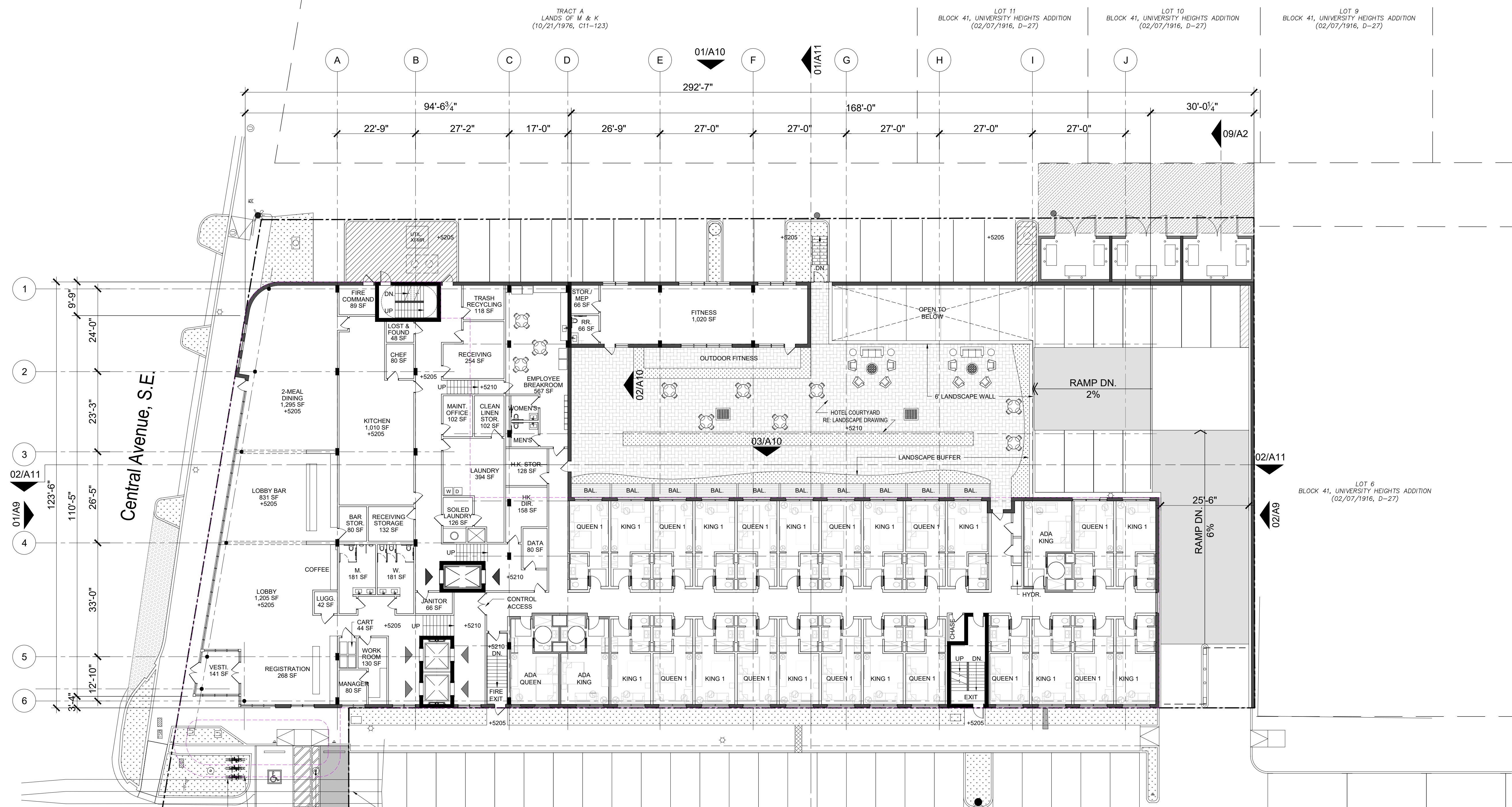


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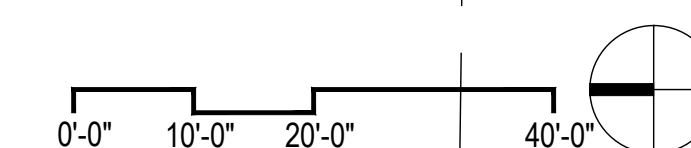
FLOOR PLAN

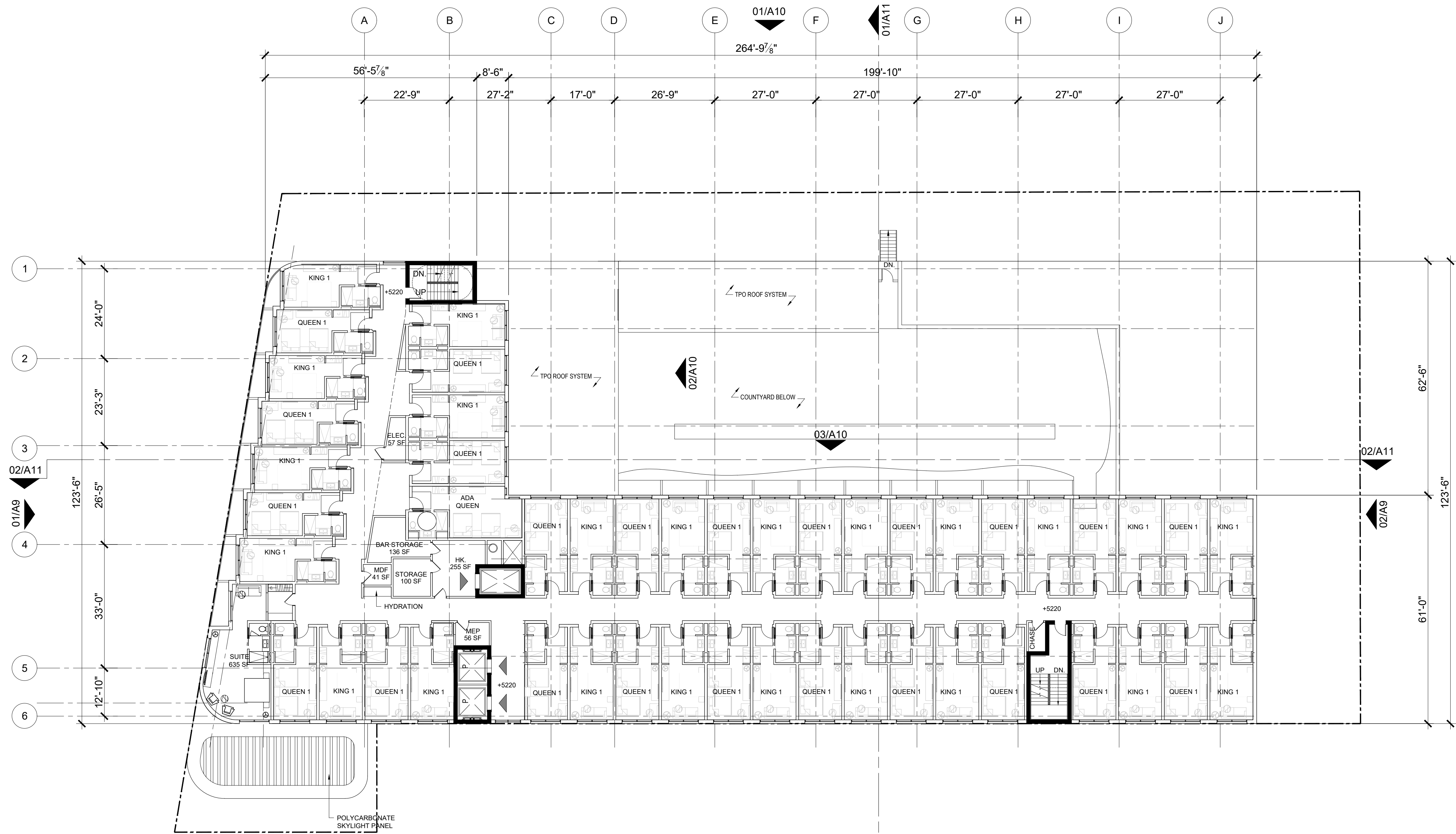
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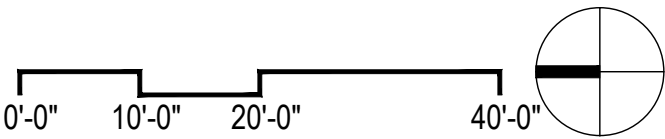
1 FLOOR PLAN - LEVEL 1
SCALE: 1/16"=1'-0"

Bryn Mawr Dr. S.E.





1 FLOOR PLAN - LEVEL 2
SCALE: 1/16"=1'-0"

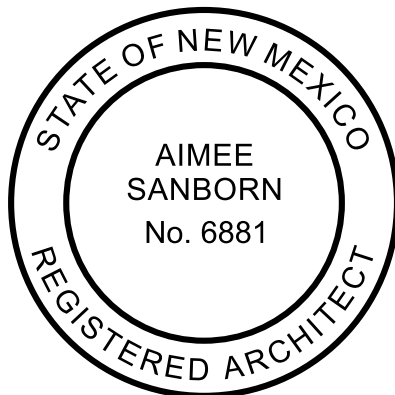


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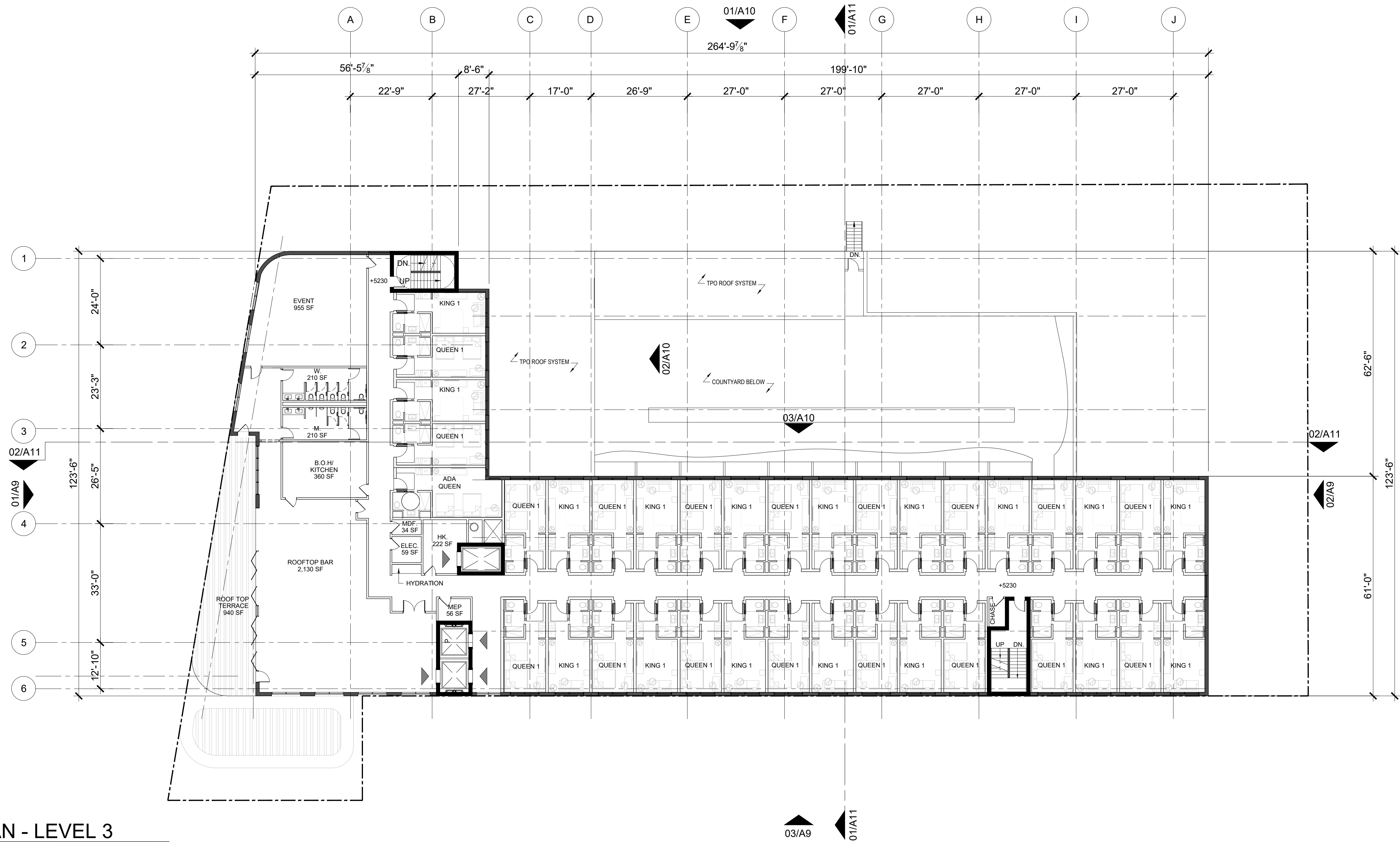
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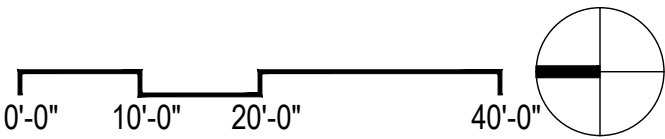
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SHEET TITLE:

FLOOR PLAN

SHEET NUMBER:
A5



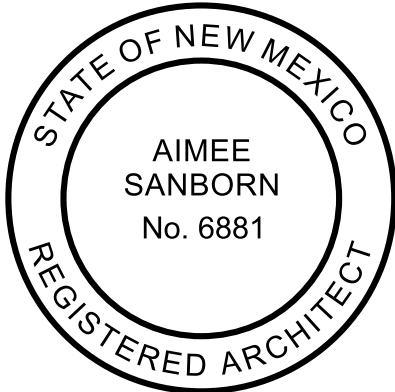
1 FLOOR PLAN - LEVEL 3
SCALE: 1/16"=1'-0"



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FLOOR PLAN

SHEET NUMBER:
A6



ACM - 01ALUMINUM COMPOSITE PANELS - 1



ACM - 02ALUMINUM COMPOSITE PANELS - 2



AP - 01ACRYLIC PANEL - LED BACKLIT



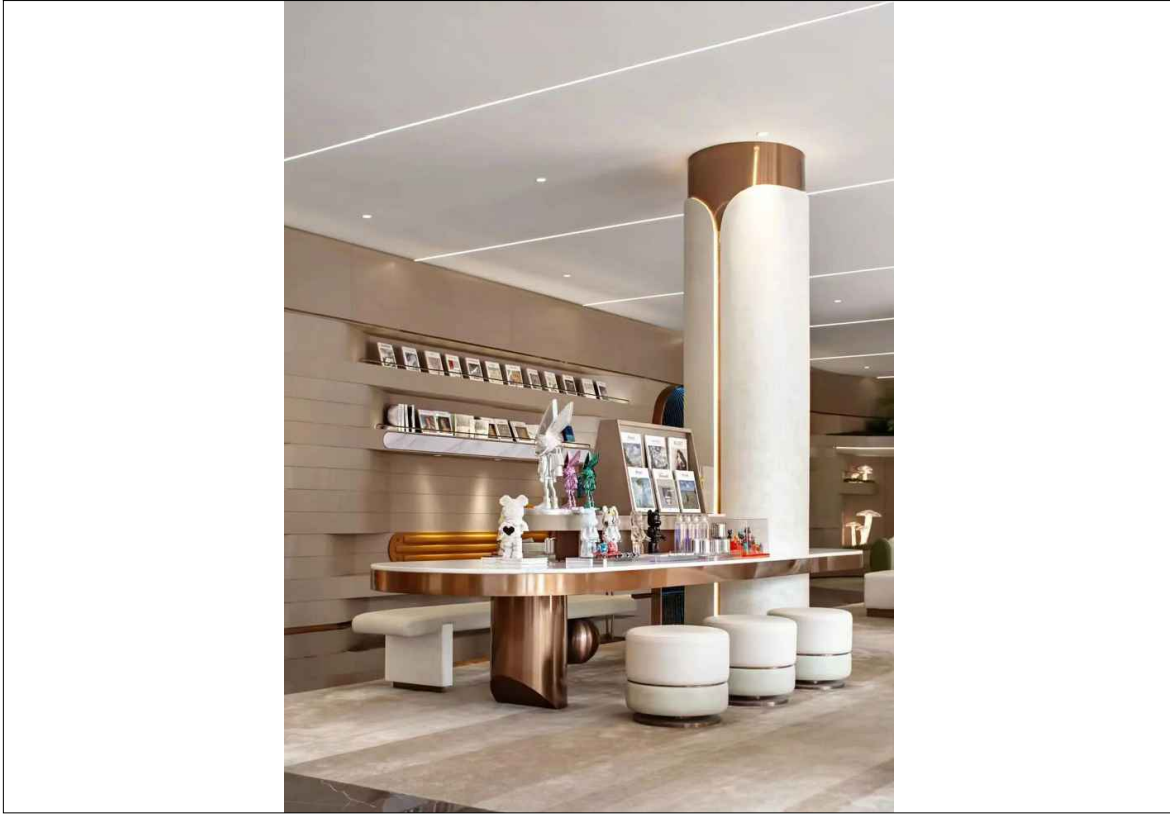
WS-01WOOD SLAT WALL AND SOFFIT



CONC - 01PAINTED CONCRETE



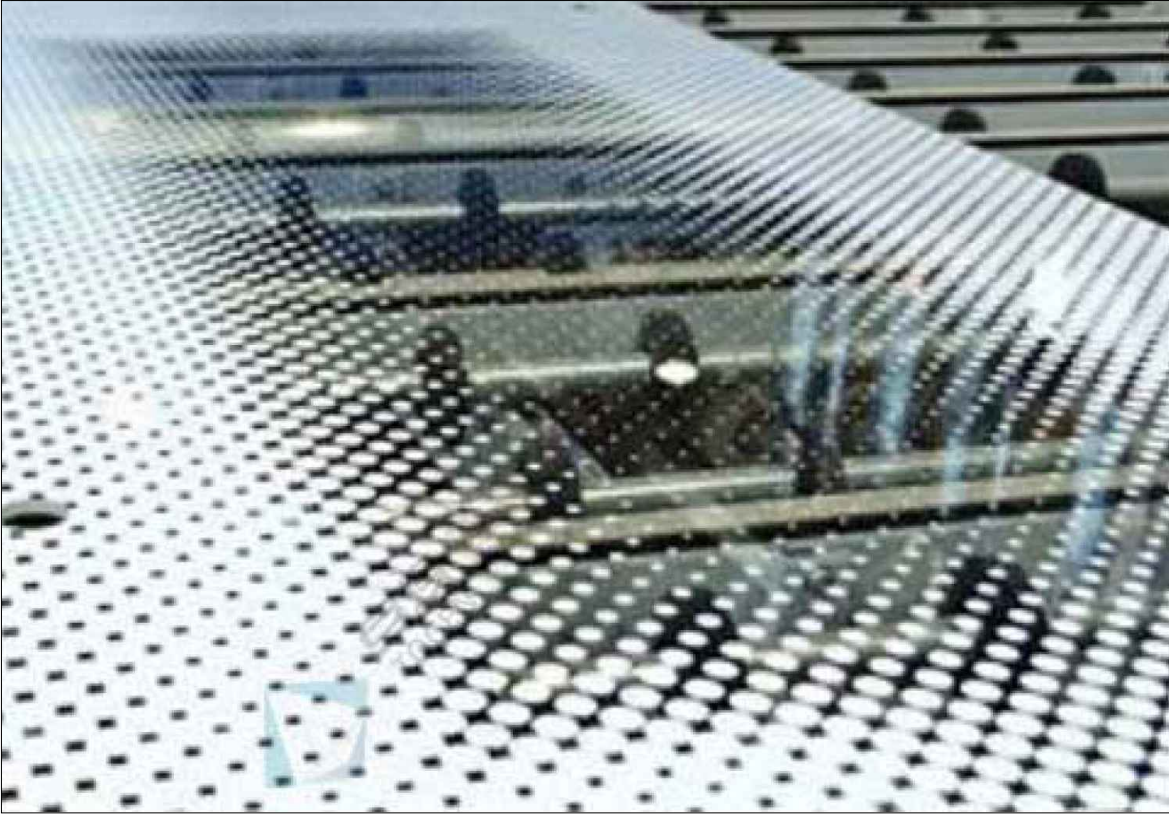
DEC - 01DECORATIVE WALL PANEL



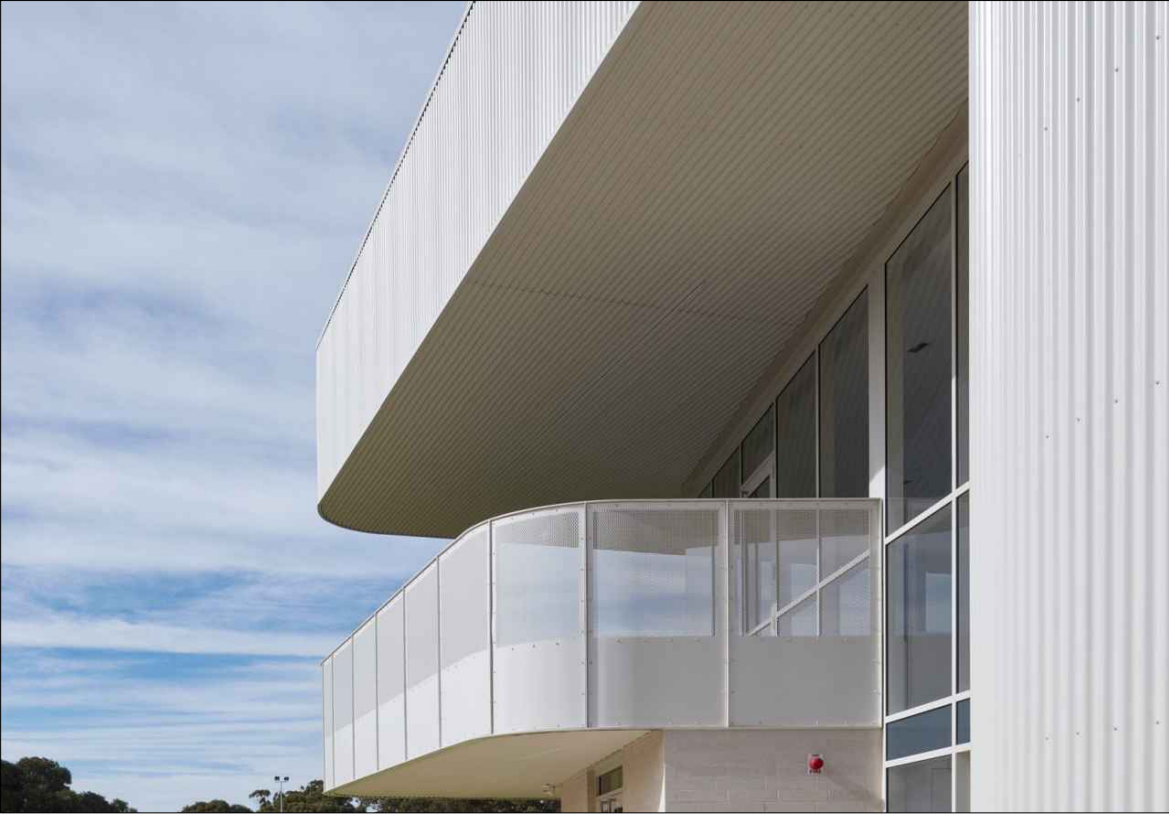
GFRC - 01COLUMN COVER FOR CANOPY



GL - 01INULATED GLASS - TINTED



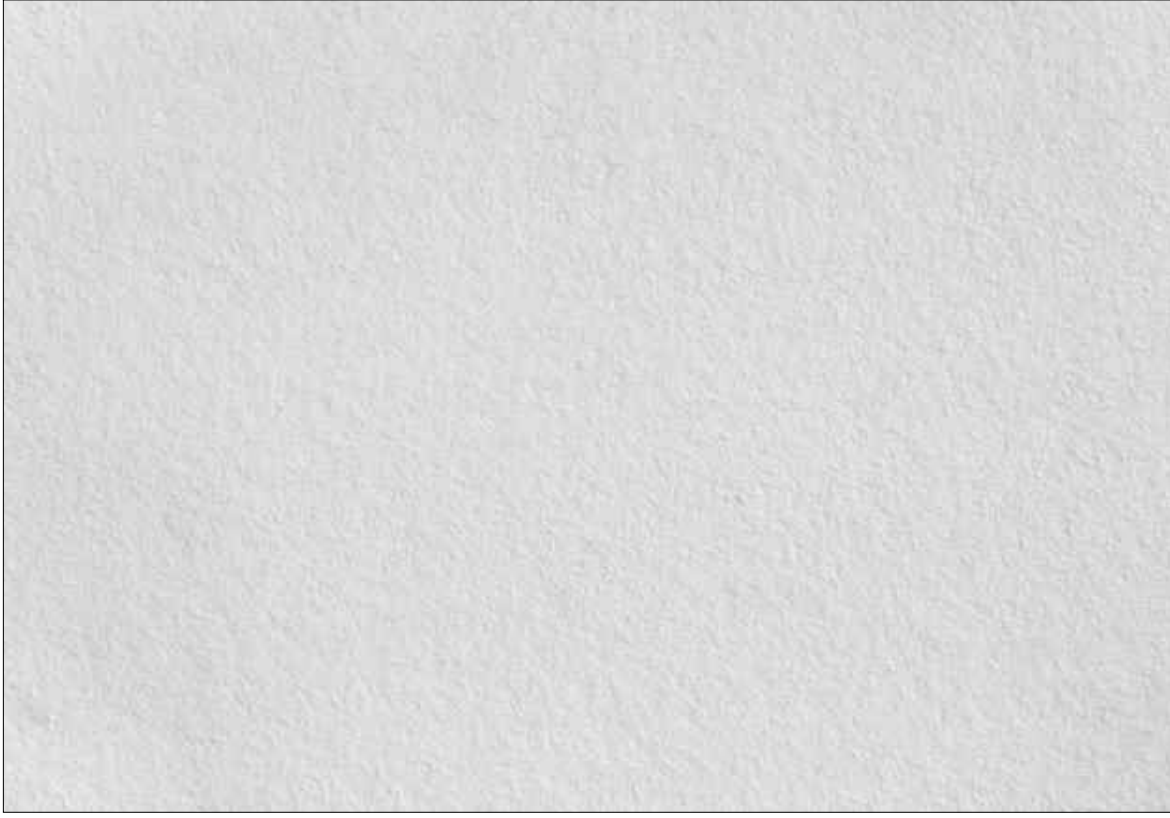
GL - 02INULATED GLASS - PATTERN



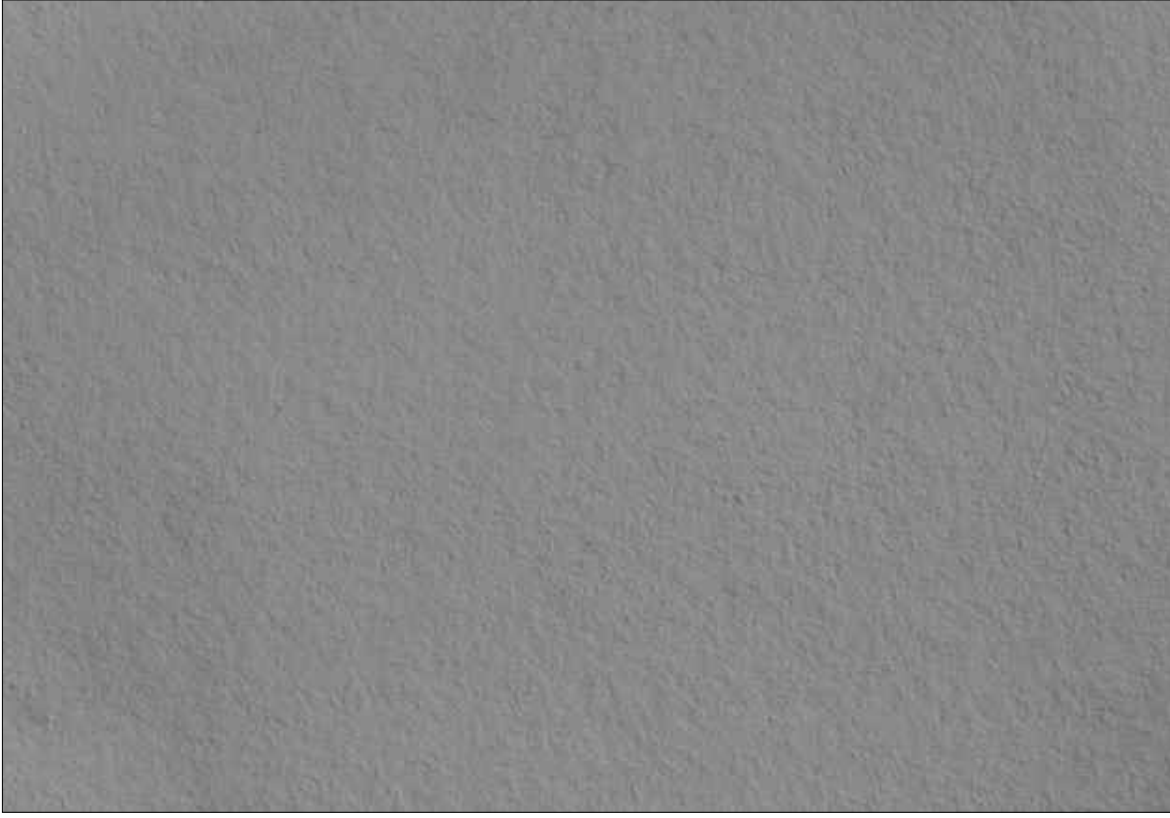
RAIL - 01PERFORATED METAL RAILING



STR - 03ALUMINUM SLIDING DOOR SYSTEM



STUC-01STUCCO 01



STUC - 02STUCCO 02



STR - 01ALUMINUM WINDOW



STR - 02ALUMINUM FOLDING DOOR SYSTEM



STR - 04ALUMINUM DOOR



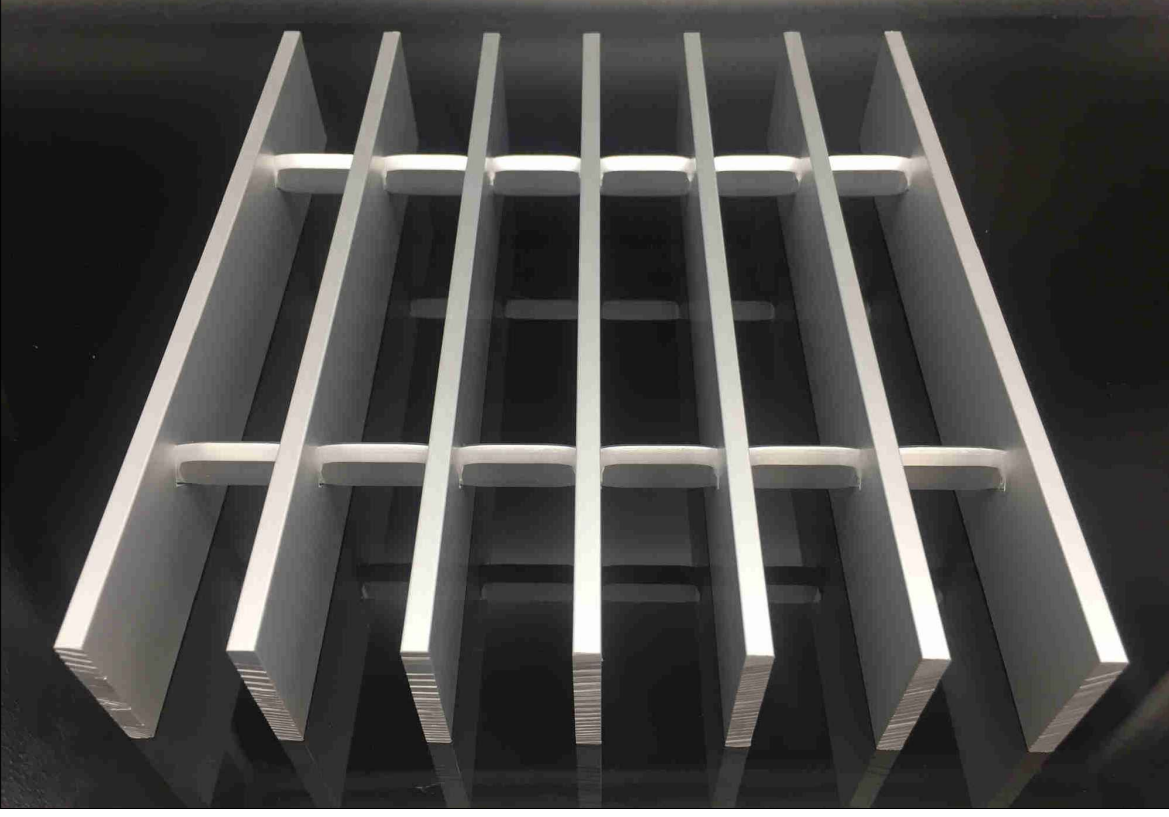
AS - 01ALUMINUM WINDOW & DOOR SYSTEM



VS - 01METAL PANEL (VERTICAL SLATS - WOOD TEXTURE)



PC - 01POLYCARBONATE ROOF PANEL



AG - 01ALUMINUM GRATE

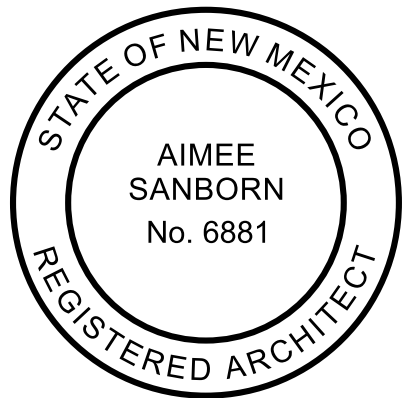
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Aimee Sanborn

ISSUE BLOCK:

DOCUMENT DATE: 05.21.2025

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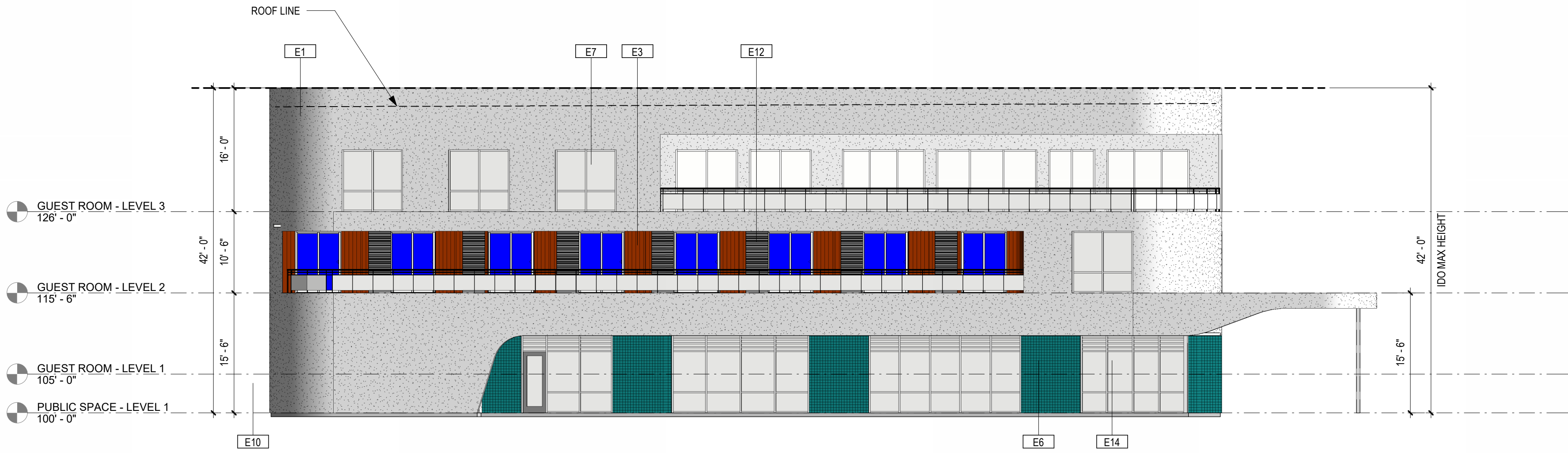
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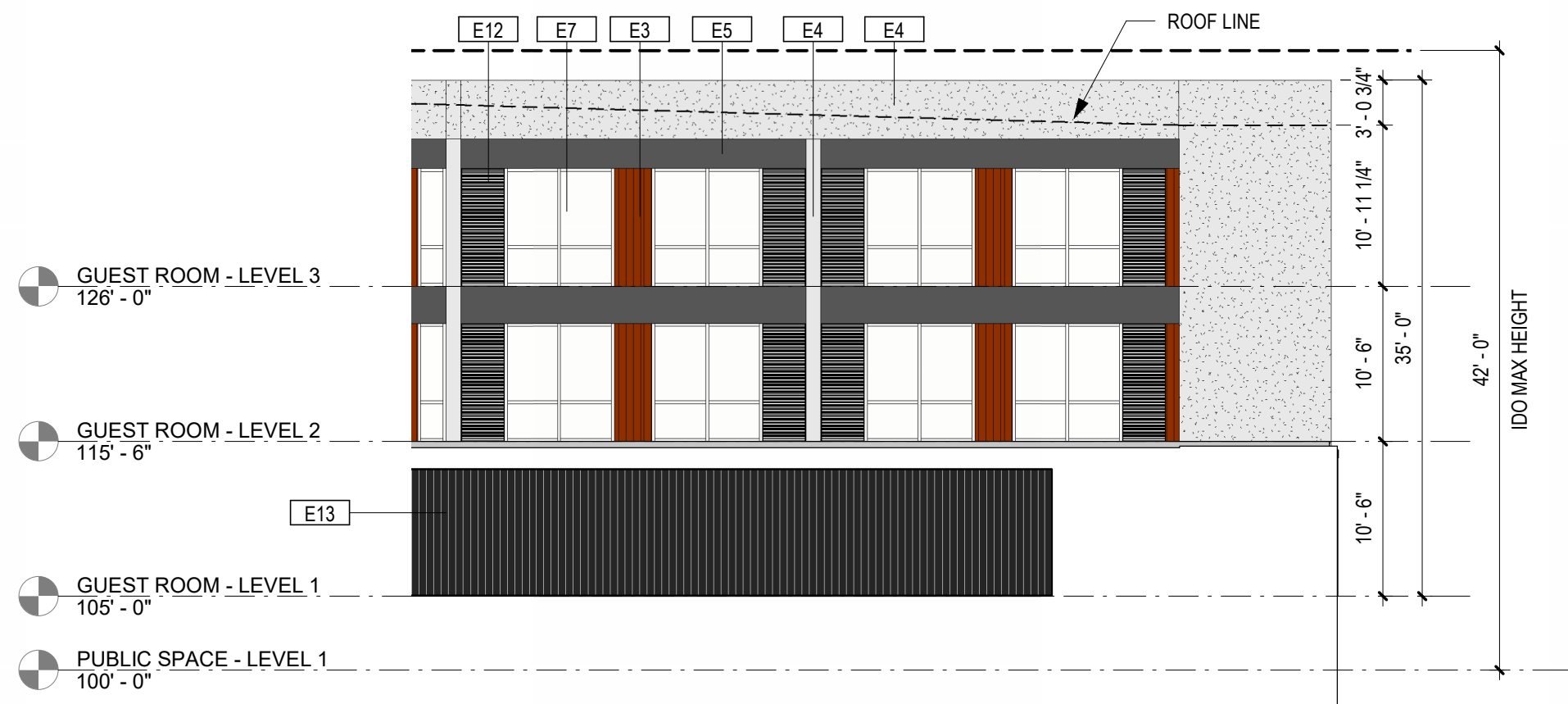
MATERIALS
LEGEND

SHEET NUMBER:

A8



5 BACKGROUND - NORTH ELEVATION
Scale: 3/32" = 1'-0"



4 BACKGROUND - COURTYARD NORTH
Scale: 3/32" = 1'-0"



3 BACKGROUND - COURTYARD WEST
Scale: 3/32" = 1'-0"



2 BACKGROUND - ELEVATION EAST
Scale: 3/32" = 1'-0"



1 ELEVATION - SITE SOUTH
Scale: 3/32" = 1'-0"

GENERAL ELEVATION NOTES	
1.	BUILDING HEIGHT COMPLIES WITH CPD-8 STANDARDS: 14-16-3-40(X)(X)(X)(1) AND 14-16-3-40(X)(X)(X)(2).
2.	FACADE DESIGN COMPLIES WITH CPD-8 STANDARDS: 14-16-3-40(X)(X)(X)(1), 14-16-3-40(X)(X)(X)(2), 14-16-3-40(X)(X)(X)(4), AND 14-16-3-40(X)(X)(X)(5).
KEYNOTE LEGEND - ELEVATIONS	
#	DESCRIPTION
E1	STUCCO: LIGHT
E2	STUCCO: DARK
E3	WOOD LOOK METAL PANEL
E4	ACM PANEL: LIGHT
E5	ACM PANEL: DARK
E6	DECORATIVE TILE
E7	ALUMINUM WINDOW: ANODIZED
E8	METAL RAILING
E9	EXTERIOR SLIDING GLASS DOOR
E10	PAINTED CONCRETE
E11	LED LIGHT COVE
E12	EXTERIOR LOUVER
E13	VERTICAL METAL PANEL
E14	EXTERIOR STOREFRONT SYSTEM
E15	EXTERIOR HOLLOW METAL DOOR
E16	DUMPSTER ENCLOSURE GATE
E17	EXTERIOR CMU

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CONSULTANTS:

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TITAN DEVELOPMENT
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ALBUQUERQUE, NM 87106

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REVISIONS:

#	Description	Date
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DOCUMENT DATE: 08/22/2025

DRAWN BY: Author

CHECKED BY: Checker

PROJECT NUMBER: THA024NA10001

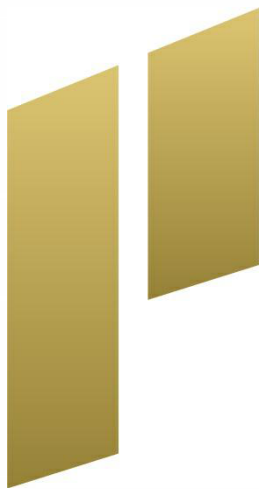
SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

1.00

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DOCUMENT DATE:	08/22/2025
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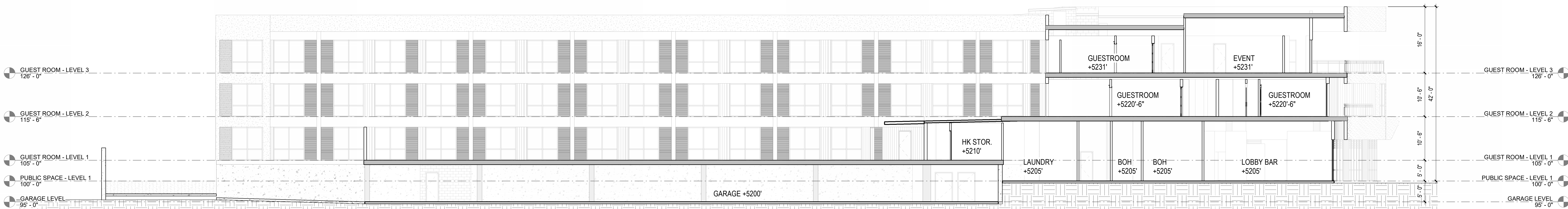
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SECTIONS

SHEET NUMBER:

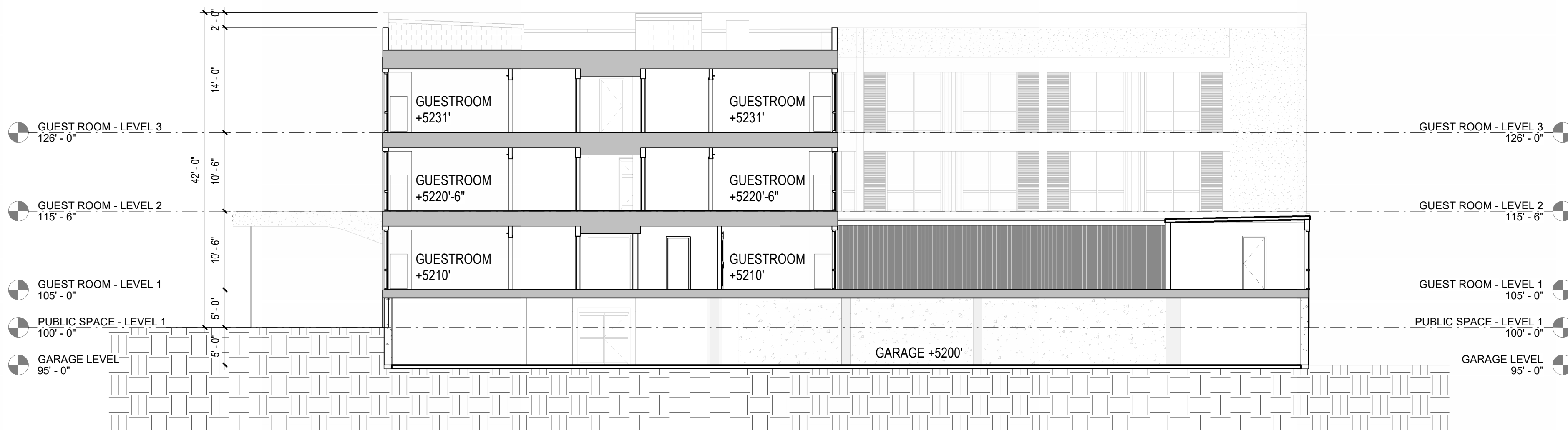
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OVERALL BUILDING SECTION:

LONGITUDINAL

Scale: 3/32" = 1'-0"



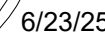
OVERALL BUILDING SECTION:

LATITUDINAL

Scale: 3/32" = 1'-0"



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design@yellowstonelandscape.com




Date: 01/06/2025

Revisions:

△ 01/21/2025

△ 05/23/2025

△ 06/23/2025

 _____

Drawn by: PL

Reviewed by: CM

Hiway House

Albuquerque, New Mexico



Scale: 1" = 20'



Sheet Title:

Landscape Plan



Sheet Number:

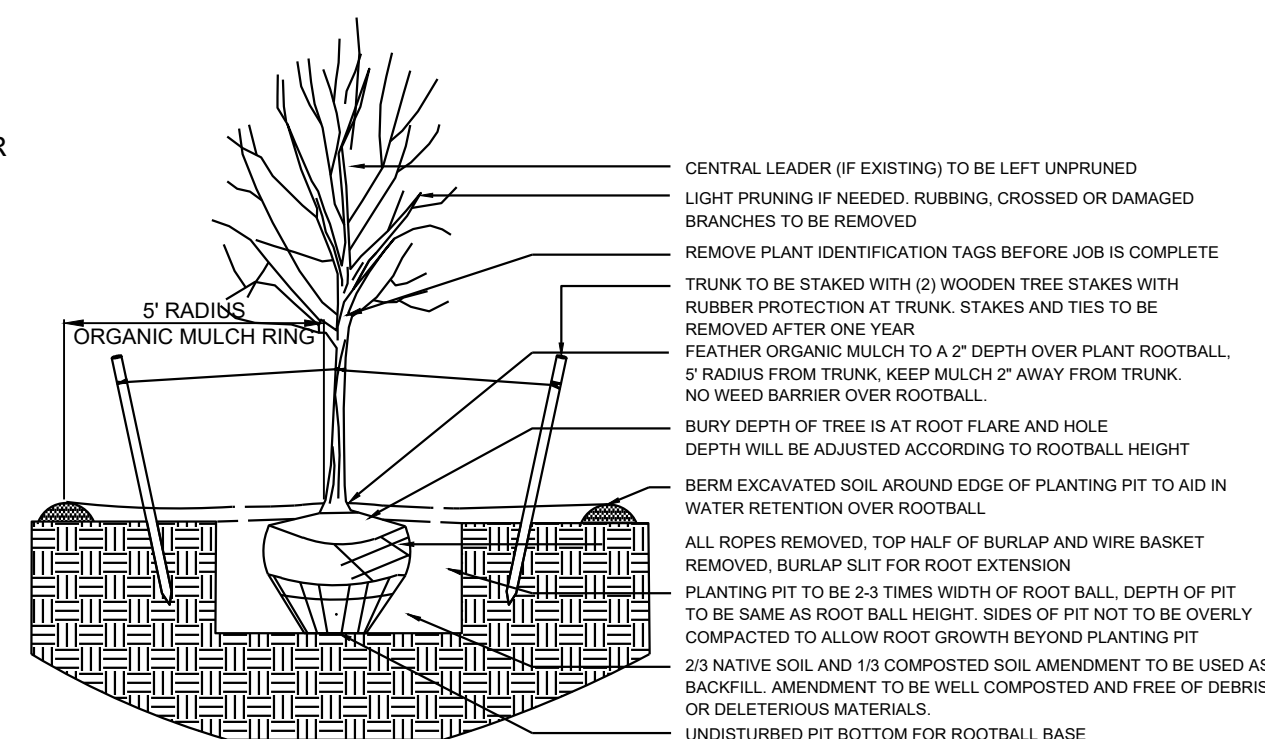
LS-01

Plant Schedule

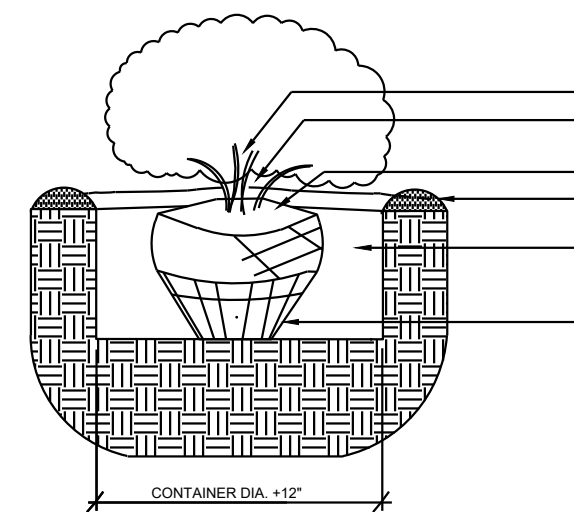
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
DECIDUOUS TREE					
	6	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2" B&B	40' X 30'	707
EVERGREEN TREE					
	10	JUNIPERUS SCOPULORUM 'BLUE ARROW' / BLUE ARROW JUNIPER	6"	15' X 3'	7
DESERT ACCENT					
	18	AGAVE PARRYI / PARRY'S AGAVE	5 GAL	2' X 2'	3
	21	YUCCA BACCATA / BANANA YUCCA	5 GAL	4' X 5'	20
PERENNIAL					
	6	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL	2' X 2'	3
	9	GAILLARDIA X GRANDIFLORA / BLANKETFLOWER	1 GAL	2' X 2'	3
	3	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA	1 GAL	3' X 3'	7
ORNAMENTAL GRASS					
	6	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7
DECIDUOUS SHRUBS					
	6	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL	2' X 2'	3
	4	SALVIA GREGGII / AUTUMN SAGE CHERRY	5 GAL	3' X 4'	13
EVERGREEN SHRUBS					
	4	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5 GAL	1' X 6'	28

Material Schedule

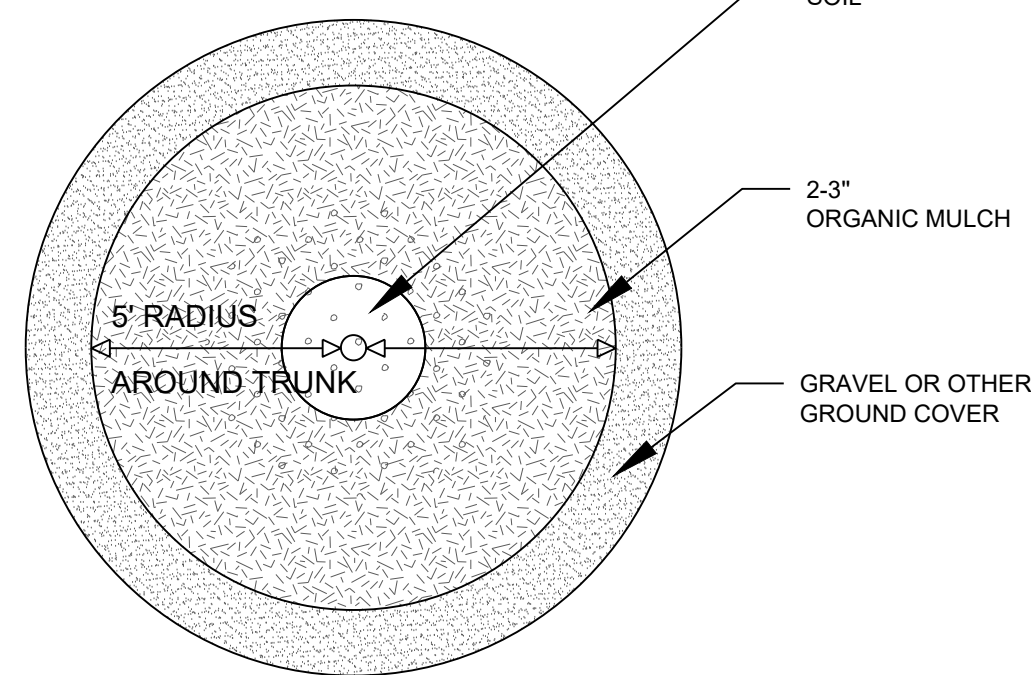
<u>SYMBOL</u>	<u>DESCRIPTION</u>
	MOUNTAINAIR BLUSH 7/8" GRAVEL 3" DEPTH, OVER FILTER FABRIC
	NATIVE MULCH 3" DEPTH, NOT OVER WEED BARRIER



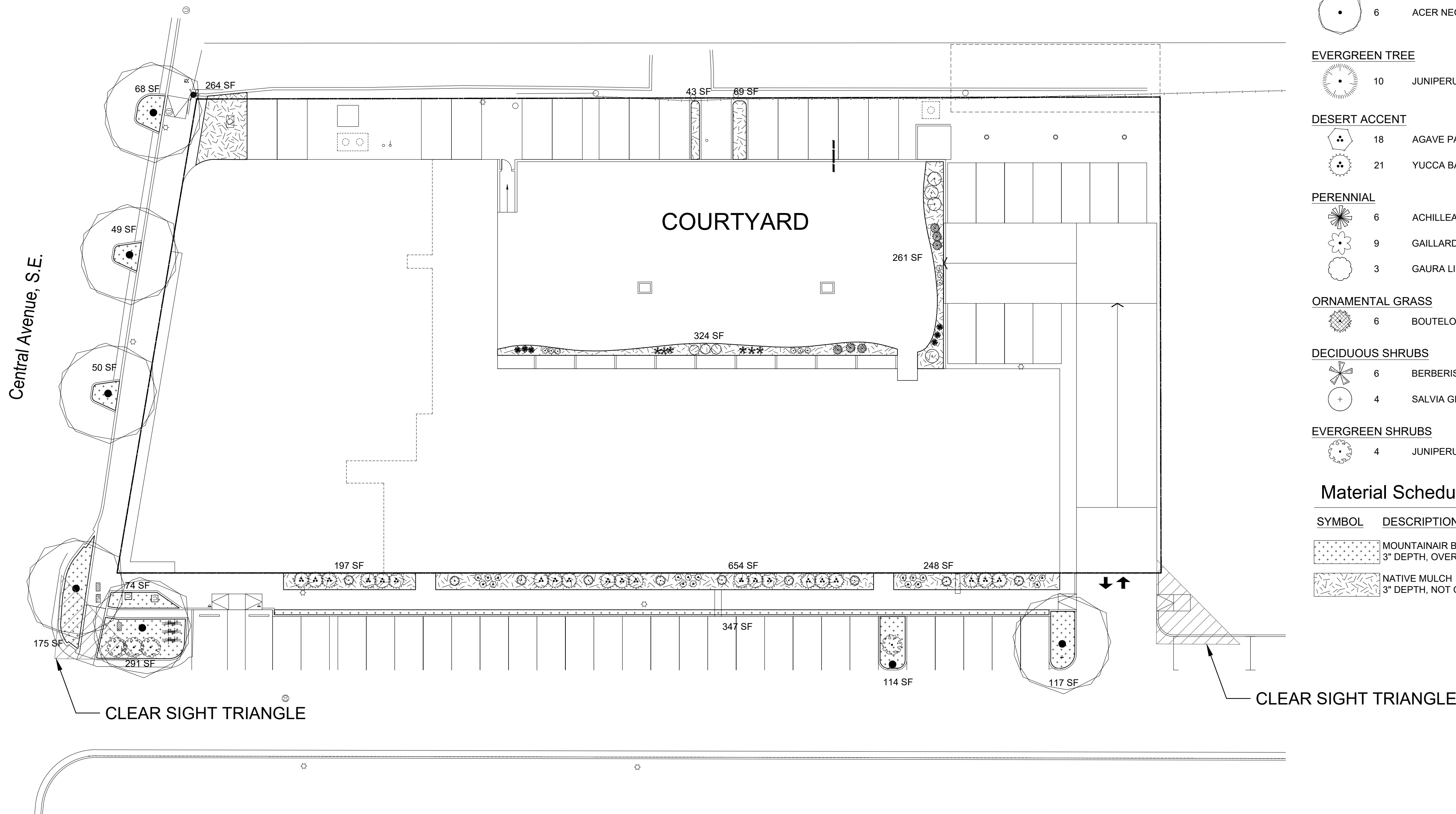
1 TREE PLANTING DETAIL



2 SHRUB PLANTING DETAIL



② TREE DETAIL



LANDSCAPE DATA

	GROSS LOT AREA (SF)	42,547		
	BUILDING AREA (SF)	22,602		
	NET LOT AREA (SF)	19,945		
MINIMUM LANDSCAPE		REQUIRED	PROVIDED	
	AREA (SF) - MINIMUM 10 % OF NET LOT AREA*	1995	3,346	17%
	TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	1,496	5,076	254%
	VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	374	764	51%
* PER IDO 14-16-5-6(C)(2)(b), IN DT-UC-MS-PT AREAS, MINIMUM IS 10% OF NET LOT AREA.				
* FOR MULTI-FAMILY DWELLING, MINIMUM IS 25% OF NET LOT AREA. SEE 14-16-4-3(B)(8) FOR DETAILS.				
PLANTING AREA MULCH		REQUIRED	PROVIDED	
	GRAVEL OR CRUSHER FINES (SF)	MAX. 50%	1,284	38%
* PER IDO 14-15-5-6(C)(5) The use of gravel or crusher fines as ground cover is limited to a maximum 50 percent in DT-UC-MS areas.				
STREET TREES - 1 PER 25 LF		REQUIRED	PROVIDED	
	STREET FRONTAGE (143 LF)	-	-	
	STREET TREES	5	5	
* PER IDO 14-15-5-6(D)(1)(a) TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURB OF THE ABUTTING STREET MAY FULFILL THIS REQUIREMENT.				
TOTALS		REQUIRED	PROVIDED	
TREES		5	6	
** PER IDO 14-16-5-6(C)(3)(a), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-6 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY, AND LANDSCAPING PROVIDED THAT MEETS THE GREATER REQUIREMENT SHALL COUNT TOWARD FULFILLING THE OVERLAPPING REQUIREMENTS.				

GENERAL NOTES

1. IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
2. POSITIVE DRAINAGE AROUND FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
3. GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
4. ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
5. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
6. PER 5-6(C)(4)(a) A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA.
7. PER 5-6(C)(4)(b) ONLY TREES AND SHRUBS SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES AND SHOWN ON A LANDSCAPE PLAN CAN COUNT TOWARD THE REQUIREMENTS OF THIS SUBSECTION 14-16-5-6(C) (GENERAL LANDSCAPING STANDARDS), EXCEPT THAT, UPON PRESENTATION OF EVIDENCE, THE RELEVANT DECISION-MAKING BODY MAY AUTHORIZATION ALTERNATIVE SPECIES OR CULTIVARS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
 1. MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
 2. ARE NOT HAZARDOUS.
 3. ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
 4. ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
 5. ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
8. PER 5-6(D)(3)(a), 3 SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(C)(4)(i) (REQUIRED PLANT MATERIALS AND SITE AMENITIES). 5-6(C)(4)(i) SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE THERE IS INSUFFICIENT SPACE FOR A TREE, A TRELLIS OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
9. PER 5-6(F)(1)(i) OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
10. PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, TRIMMING, REPLACEMENT, OR REMOVAL OF ANY LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
11. PER 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
12. PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
13. PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
14. PURSUANT TO 5-6(C)(7)(b), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
15. PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
16. CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.



3200 CENTRAL AVE SE
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY

HOTEL/RESTAURANT
OCCUPANCY R-1 HOTEL
LOT AREA: 42542 SF (0.977 ACRES)
BUILDING AREA: 63418 SF (GROSS BUILDING AREA
3 STORIES)

CONSTRUCTION TYPE: TYPE II-B
FULLY SPRINKLED
MAX BUILDING HEIGHT 35'
FIRE FLOW 2625 gpm (5250 gpm W/50% REDUCTION)
FIRE HYDRANTS REQUIRED 3
FIRE HYDRANTS PROVIDED 3

- NOTES**
- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
 - FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
 - KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

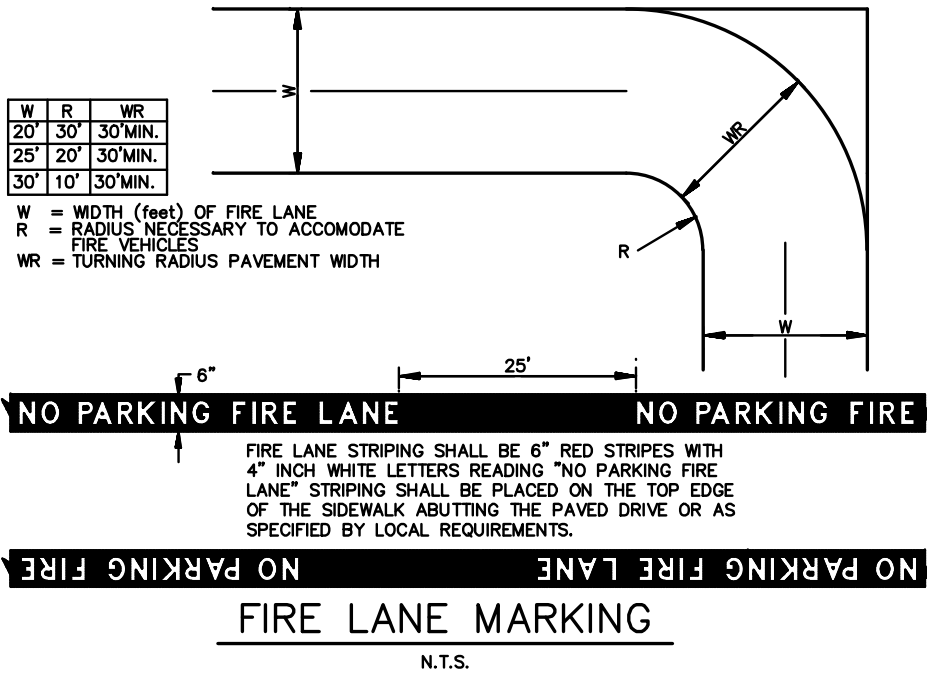


**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT**
PERMIT NUMBER: FP-25-00646
APPROVED DATE: 08/21/2025
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 2625GPM, 3HYDRANTS

LEGEND	
---	BOUNDARY LINE
---	BUILDING
---	EXISTING CURB & GUTTER
⊗	EXISTING GATE VALVE
---	EXISTING WATERLINE
-U-	EXISTING OVERHEAD POWER LINE
●	EXISTING POWER POLE
☆	EXISTING LIGHT POLE
---	FIRE LANE

KEYED NOTES	
1 FDC	15 2" IRRIGATION SERVICE
2 BUILDING ADDRESS	16 TRANSFORMER
3 EXISTING FIRE HYDRANT	17 EXIST SAS MH
4 PROPOSED FIRE HYDRANT 6" WL, 6" GATE VALVE	18 NOT USED
5 EXIST 6" CI WL	19 NOT USED
6 EXIST 8" SAS VCP	20 NEW 6" GATE VALVE
7 EXIST 6" STEEL WL	21 EXIST TRAFFIC CONTROL AND POWER CABINETS
8 EXIST 12" STL WL	22 EXIST PULL BOX
9 EXIST OVERHEAD POWER LINE	
10 GREASE TRAP	
11 6" SAS SERVICE	
12 3" DOMESTIC WL SERVICE	
13 6" FIRE LINE	
14 KNOX BOX	



 RONALD R. BOHANNAN P.E. #7868	3200 CENTRAL AVE SE ALBUQUERQUE, NM	DRAWN BY pm
	HIGHWAY HOUSE FIRE ONE	DATE 8-18-25
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # FO-1 JOB # 2024042



LEGEND

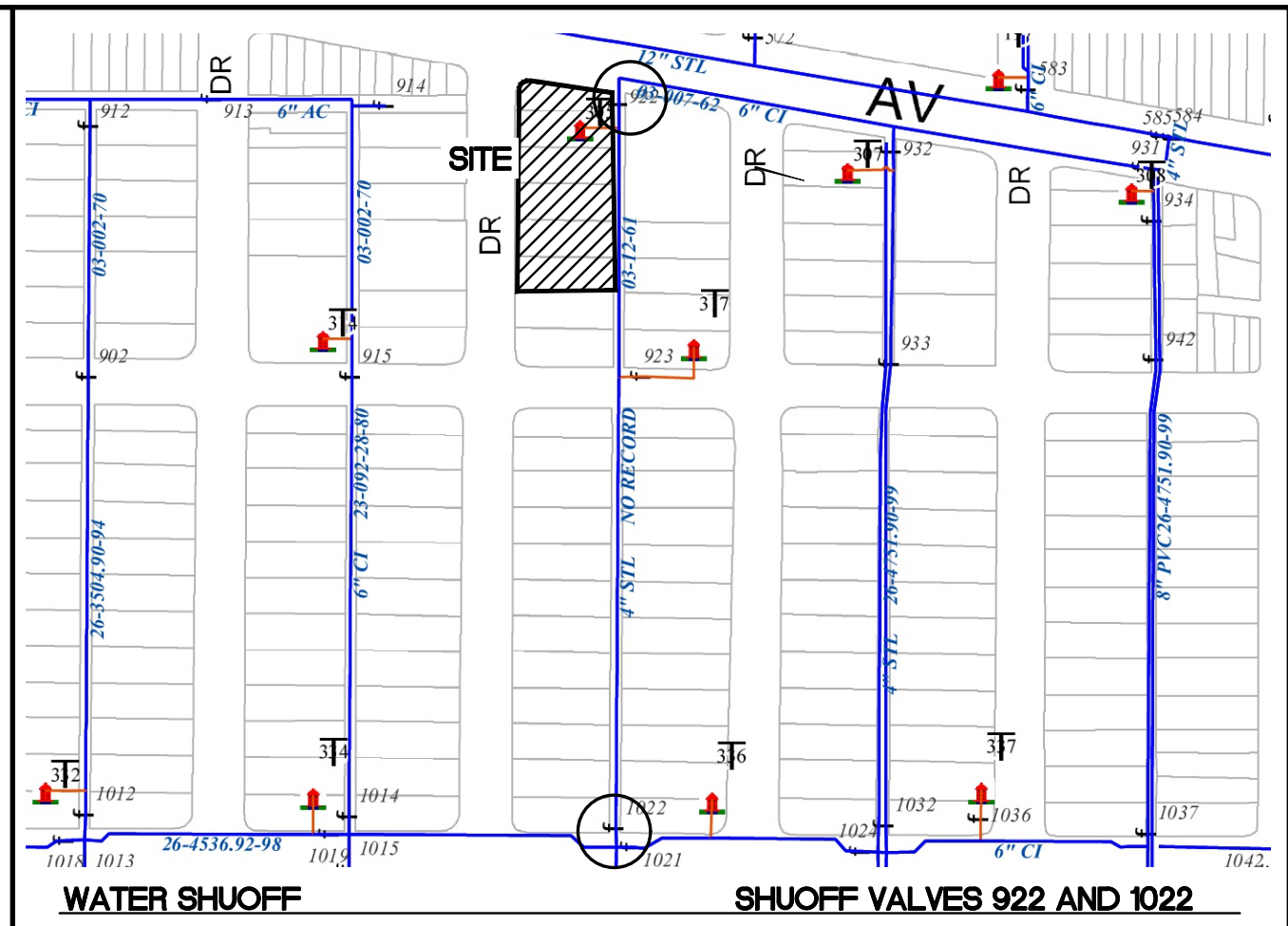
---	BOUNDARY LINE
---	BUILDING
---	EXISTING CURB & GUTTER
⊗	EXISTING GATE VALVE
---	EXISTING WATERLINE
-U-	EXISTING OVERHEAD POWER LINE
●	EXISTING POWER POLE
☆	EXISTING LIGHT POLE

KEYED NOTES

① FDC	⑮ 2" IRRIGATION SERVICE
② BUILDING ADDRESS	⑯ TRANSFORMER PAD W/ BOLLARDS
③ EXISTING FIRE HYDRANT	⑰ EXIST SAS MH
④ PROPOSED FIRE HYDRANT (PUBLIC) 6" WL, 6" GATE VALVE	⑱ NOT USED
⑤ EXIST 6" CI WL	⑲ CLEAN OUT
⑥ EXIST 8" SAS VCP	⑳ NEW 6" GATE VALVE (PUBLIC)
⑦ EXIST 6" STEEL WL	㉑ EXIST TRAFFIC CONTROL AND POWER CABINETS
⑧ EXIST 12" STL WL	㉒ EXIST PULL BOX
⑨ EXIST OVERHEAD POWER LINE	㉓ PIV
⑩ GREASE TRAP	㉔ NEW POWER POLE
⑪ 6" SAS SERVICE	㉕ DRAIN IN DUMPSTER PAD
⑫ 3" WM VAULT	㉖ CONNECT TO EXISTING WL
⑬ 6" FIRE LINE	
⑭ NOT USED	

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



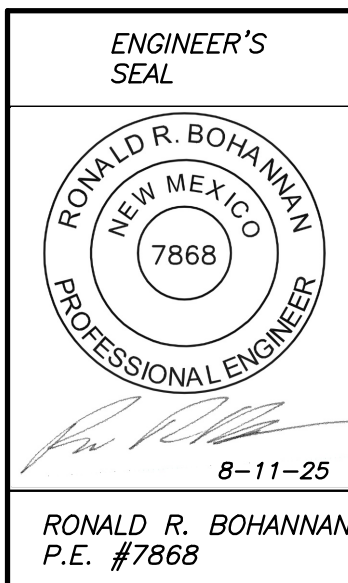

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).

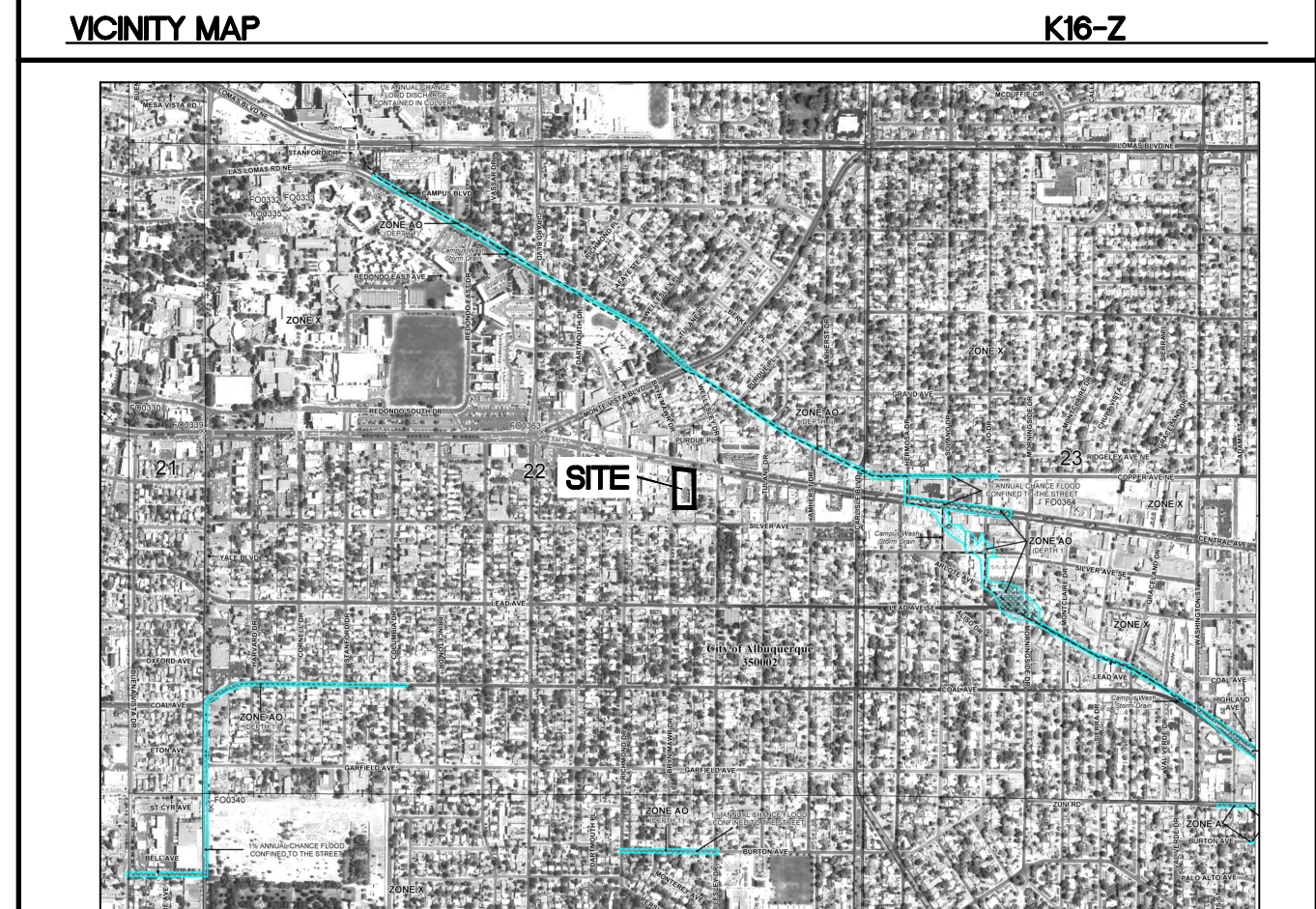
GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH ABCWUA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
- ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
- SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

INSPECTION NOTE

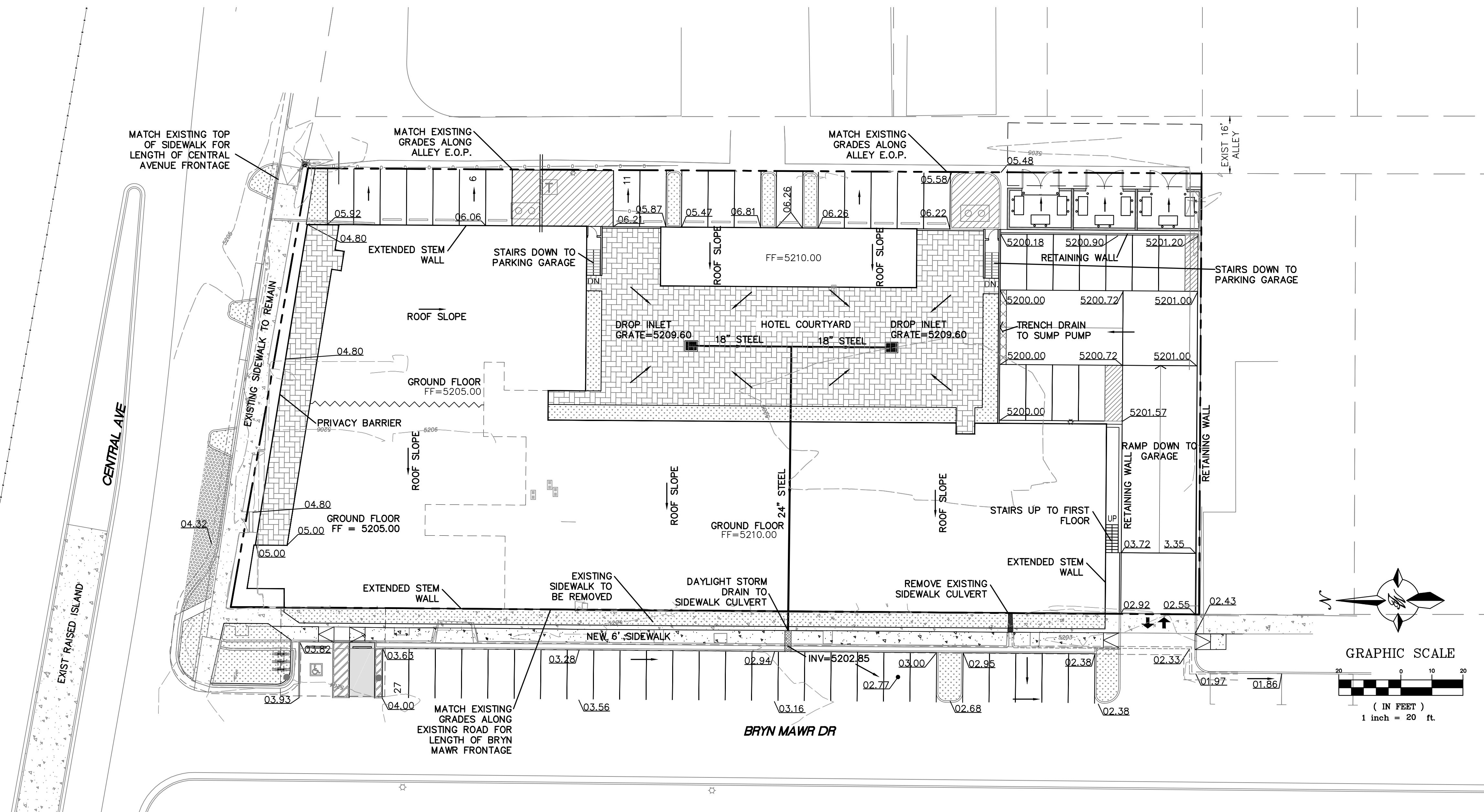
CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

	3200 CENTRAL AVE SE ALBUQUERQUE, NM	DRAWN BY pm
	HIGHWAY HOTEL MASTER UTILITY PLAN	DATE 8-18-25
	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # MU-1
		JOB # 2024042



FLOOD MAP 35001C0353H

LEGAL DESCRIPTION
LOTS 1-5, BLOCK 41, UNIVERSITY HEIGHTS ADDITION AND LOT 1, BLOCK 3, MONTE VISTA ADDITION



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- LANDSCAPING
- GRADE BREAK
- PROPOSED STORM SEWER
- DROP INLET
- HOTEL COURTYARD

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
- ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL

DRAINAGE MANAGEMENT PLAN

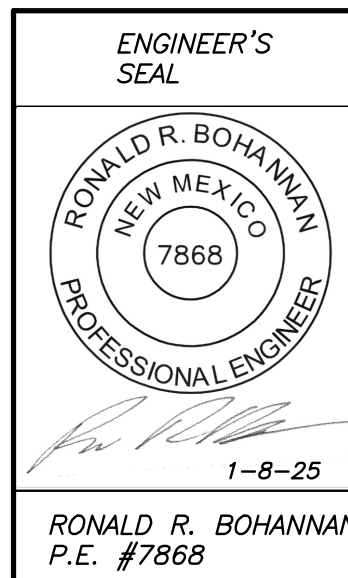

HIWAY HOTEL IS A REDEVELOPMENT OF AN EXISTING HOTEL. THE EXISTING STRUCTURES WILL BE DEMOLISHED AND A NEW HOTEL AND RESTAURANT WILL BE CONSTRUCTED IN ITS PLACE. THE NEW STRUCTURE WILL BE THREE STORIES PLUS AN UNDERGROUND PARKING GARAGE. PER THE PREVIOUS APPROVED GRADING AND DRAINAGE PLAN PREPARED BY LEE ENGINEERING (ENGINEER'S STAMP DATE 11/5/98) THE SITE FREE DISCHARGES TO THE ADJACENT EXISTING BRYN MAWR DR TO THE WEST AND TO THE ADJACENT EXISTING ALLEY WAY TO THE EAST. THE PEAK DISCHARGE FROM THE SITE NOTED ON THE PREVIOUSLY APPROVED PLAN IS 4.68 CFS FOR A 100-YEAR, 6-HOUR DESIGN STORM.

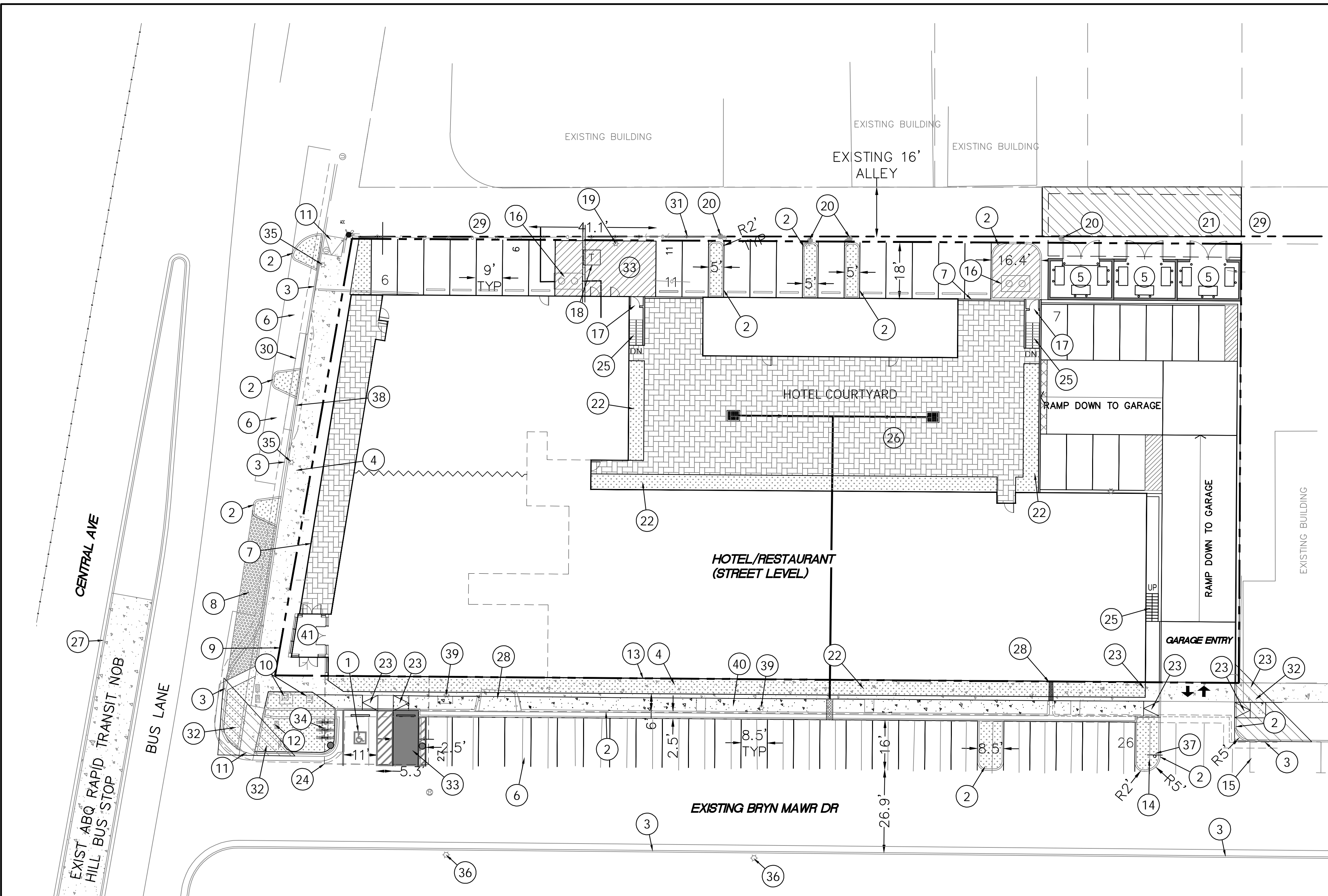
THE PROPOSED REDEVELOPED SITE WILL CONTINUE TO DRAIN TO BRYN MAWR DR AND TO THE EXISTING ALLEY WAY. THE PROPOSED IMPERVIOUS AND LANDSCAPED AREAS WILL BE ESSENTIALLY EQUAL TO EXISTING VALUES AND RUNOFF FROM THE SITE WILL BE MAINTAINED AT HISTORIC VALUES. NO DRAINAGE PONDING IS PROPOSED FOR THE REDEVELOPED SITE, MIMICKING THE PREVIOUSLY APPROVED GRADING AND DRAINAGE PLAN.



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	3200 CENTRAL AVE SE ALBUQUERQUE, NM CONCEPTUAL GRADING PLAN	DRAWN BY pm
		DATE 1-8-25
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # GR-1
		JOB # 2024042



LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	BUILDING
	EXISTING SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	LANDSCAPING
	EV ELECTRIC VEHICLE CHARGING
	REMOVE/REPLACE ASPHALT



VICINITY MAP
LEGAL DESCRIPTION
LOTS 1-9 UNIVERSITY HEIGHTS

SITE DATA

USE: MIXED USE - HOTEL (112 ROOMS), BAR, AND RESTAURANT
ZONING: MX-M
OVERLAY: NOB HILL/HIGHLAND CPO-8
CENTERS AND CORRIDORS: MAIN STREET AND MAJOR TRANSIT - CENTRAL AVENUE
PREMIUM TRANSIT STATION: NOB HILL ART STATION
TRANSIT: ROUTES 66, 16, 766, AND 777
BICYCLE FACILITIES: SILVER AVENUE BICYCLE BOULEVARD
LEGAL DESCRIPTION: LOTS 1 - 5, BLOCK 41 UNIVERSITY HEIGHTS ADDITION AND LOT 1, BLOCK 3 MONTE VISTA ADDITION
NET SITE AREA: 42,571 SF (1.08 ACRES)
ZONE ATLAS PAGE: K-16
SETBACKS: FRONT: 0 FEET MINIMUM, 15 FOOT MAXIMUM
SIDE: 0 FEET MINIMUM, 15 FOOT MAXIMUM
STREET SIDE: 0 FEET MINIMUM, 15 FOOT MAXIMUM
REAR: 0 FEET

BUILDING HEIGHT: ALLOWED (WITH STRUCTURED PARKING BONUS): 42 FEET
PROVIDED (WITH STRUCTURED PARKING): 40 FEET
BUILDING FOOTPRINT: 25,784 SF

PARKING:
REQUIRED (UC-MS-PT): HOTEL = 2 SPACES/3 ROOMS = 74 SPACES
BAR = 5/1,000 SF = 9 SPACES
RESTAURANT = 3.5/1,000 SF = 15 SPACES
TOTAL REQUIRED: 98 SPACES
LESS TRANSIT REDUCTION* @ 40% -39 SPACES
TOTAL (AFTER REDUCTIONS) 59 SPACES
*5-5(C)(5)(D) 1 AND 2

PROVIDED: PARKING STRUCTURE: 73 SPACES
ALLEY SPACES: 18 SPACES
TOTAL 91 SPACES

MOTORCYCLE SPACES REQUIRED 3 SPACES
MOTORCYCLE SPACES PROVIDED 4 SPACES IN GARAGE
BICYCLE SPACES REQUIRED 3 SPACES
BICYCLE SPACES PROVIDED 3 SPACES

GENERAL NOTES

1. ALL EXISTING SIDEWALKS, CURBS, DRIVE PADS, WALL AND ANYTHING THAT INFLUENCES THE PARKING AND CIRCULATION ARE IDENTIFIED ON THE SITE PLAN.
2. LANDSCAPING, FENCING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
3. ALL UNUSED CURB CUTS SHALL BE REPLACED WITH NEW CURB & GUTTER AND SIDEWALKS.
4. ALL BROKEN OR CRACKED SIDEWALK TO BE REPLACED WITH SIDEWALK, CURBS AND GUTTERS
5. A 6FT. WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY WILL BE PROVIDED FROM THE PUBLIC SIDEWALK TO THE BUILDING ENTRANCES.
6. SIGNAGE SHALL BE PERMITTED SEPARATELY AND SHALL COMPLY WITH IDO MX-M REQUIREMENTS.
7. EQUIPMENT SCREENING WILL COMPLY WITH SCREENING REQUIREMENTS IN SECTION 14-16-5-6 OF THE CITY OF ALBUQUERQUE ZONING CODE.

EXECUTIVE SUMMARY

THE SITE IS LOCATED IN KNOB HILL OFF CENTRAL AVE. IT IS BORDERD BY BRYN MAWR STREET TO THE WEST AND BY AN EXISTING 16' ALLEYWAY TO THE EAST. THE EXISTING HOTEL STRUCTURE IS BEING REPLACED WITH A NEW HOTEL AND RESTAURANT ON THE 1.08 ACRES PROPERTY. AN UNDERGROUND PARKING STRUCTURE WILL BE CONSTRUCTED AS PART OF THE DEVELOPMENT. ACCESS TO THE GARAGE WILL BE OFF BRYN MAWR DR AT THE SOUTHWEST CORNER OF THE SITE FOR USE BY THE DEVELOPMENT. THE MAJORITY OF THE EXISTING ONSTREET PARKING IN BRYN MAWR DR WILL REMAIN FOR USE BY THE PUBLIC AND NEW PARKING WILL BE ADDED ADJACENT TO THE EXISTING ALLEY WAY FOR USE BY THE DEVELOPMENT. A DROP OF AREA WILL BE PROVIDED ON CENTRAL FOR ACCESS TO THE HOTEL LOBBY ALONG WITH PUBLIC PARKING ALONG CENTRAL IN FRONT OF THE DEVELOPMENT.

KEYED NOTES

- 1 ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN
- 2 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- 3 EXISTING CURB AND GUTTER TO REMAIN
- 4 EXISTING SIDEWALK TO BE REMOVED
- 5 TRASH ENCLOSURE
- 6 PUBLIC PARKING
- 7 PRIVACY BARRIER ALONG PROPERTY LINE
- 8 HOTEL DROP-OFF
- 9 BUILDING ABOVE
- 10 CONTROL BOX
- 11 EXISTING HC RAMP TO REMAIN
- 12 EXISTING PULL BOX
- 13 ZERO SETBACK
- 14 DIRECTIONAL SIGN

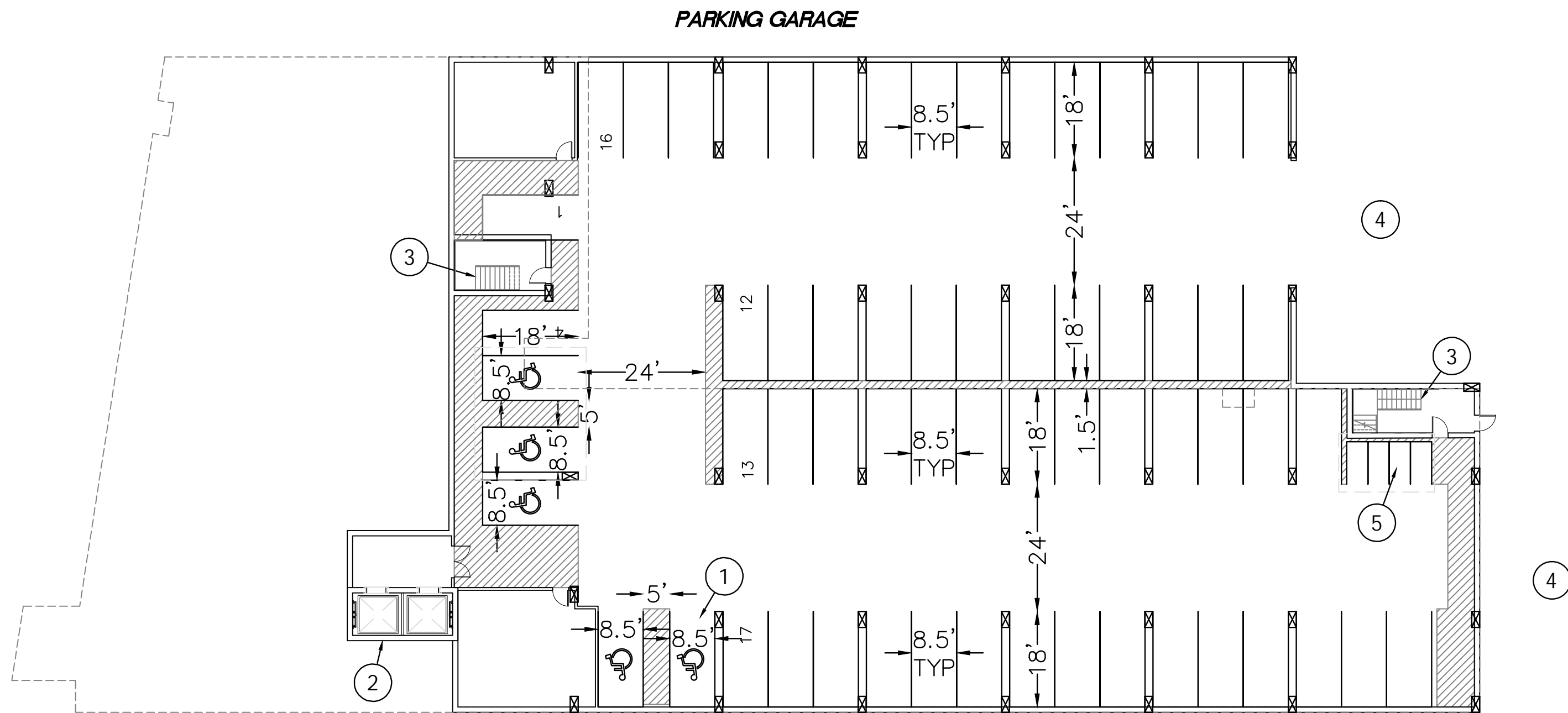
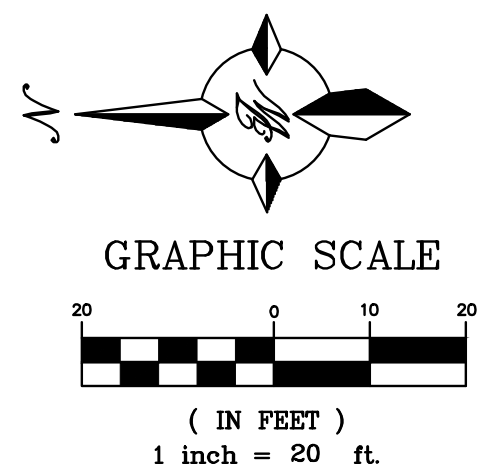
KEYED NOTES

- 15 EXISTING PARALLEL PARKING TO REMAIN
- 16 GREASE TRAP
- 17 PRIVACY GATE - KEY CARD ACCESS ONLY
- 18 TRANSFORMER
- 19 NEW POWER POLE
- 20 EXISTING POWER POLE
- 21 ALLEYWAY ASPHALT TO BE REPAVED DIRECTLY IN FRONT OF TRASH ENCLOSURES
- 22 LANDSCAPE BARRIER
- 23 UNIDIRECTIONAL HC RAMP
- 24 CANOPY
- 25 STAIRWAY
- 26 HOTEL COURTYARD
- 27 EXISTING RAISED MEDIAN AND BUS PLATFORM

KEYED NOTES

- 28 REMOVE EXISTING SIDEWALK CULVERT/CONCRETE PAD
- 29 EXISTING ASPHALT PAVING TO REMAIN
- 30 REMOVE EXISTING DRIVE PAD
- 31 RELOCATE EXISTING GUY WIRES
- 32 25' X 25' SIGHT VISIBILITY TRIANGLE
- 33 HOTEL LOADING ZONE
- 34 BIKE RACK (3 SPACES)
- 35 EXIST CABQ LIGHTS TO REMAIN
- 36 EXIST STREET LIGHT TO REMAIN
- 37 STOP SIGN
- 38 32 LF NEW CURB AND GUTTER
- 39 EXIST LIGHT TO BE REMOVED
- 40 NEW CONCRETE SIDEWALK
- 41 VESTIBULE

	3200 CENTRAL AVE SE ALBUQUERQUE, NM	DRAWN BY pm
	TRAFFIC CIRCULATION PLAN	DATE 1-13-25
	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
SHEET # TCL-1		JOB # 2024042



LEGEND

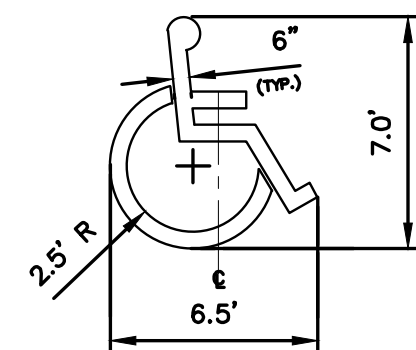
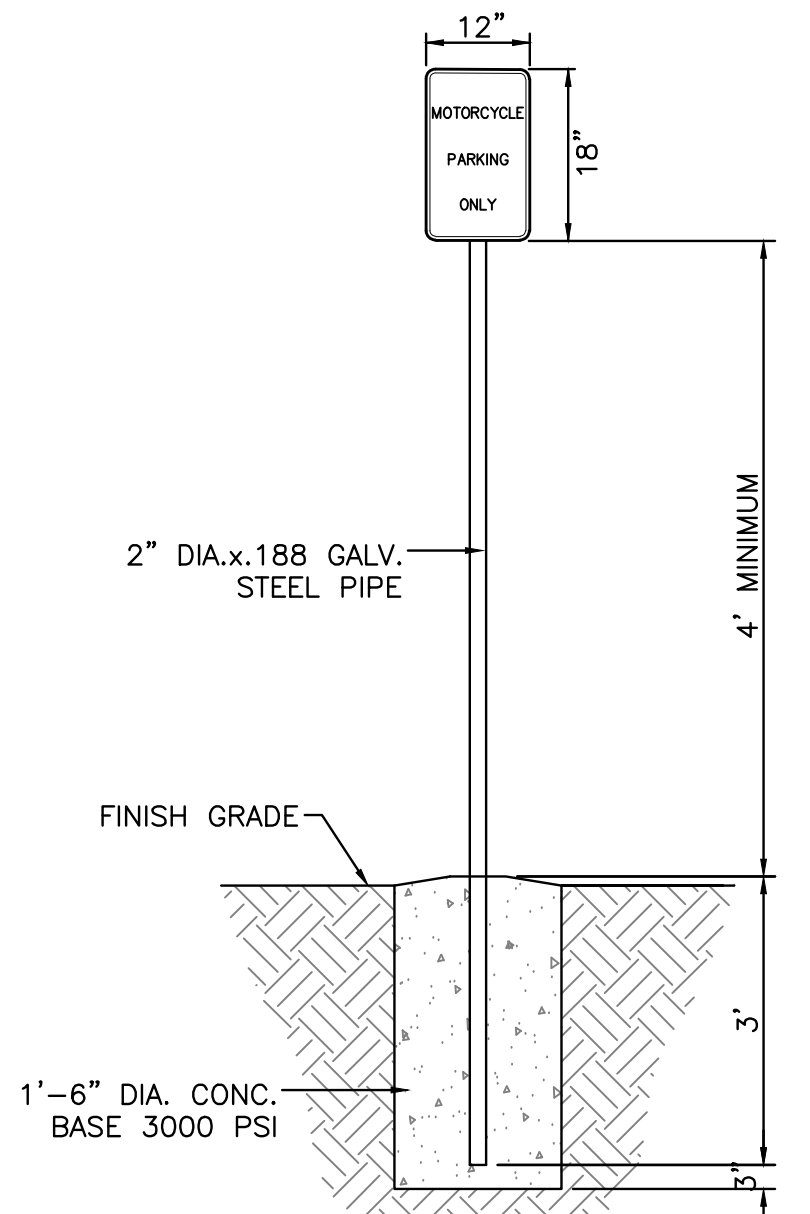
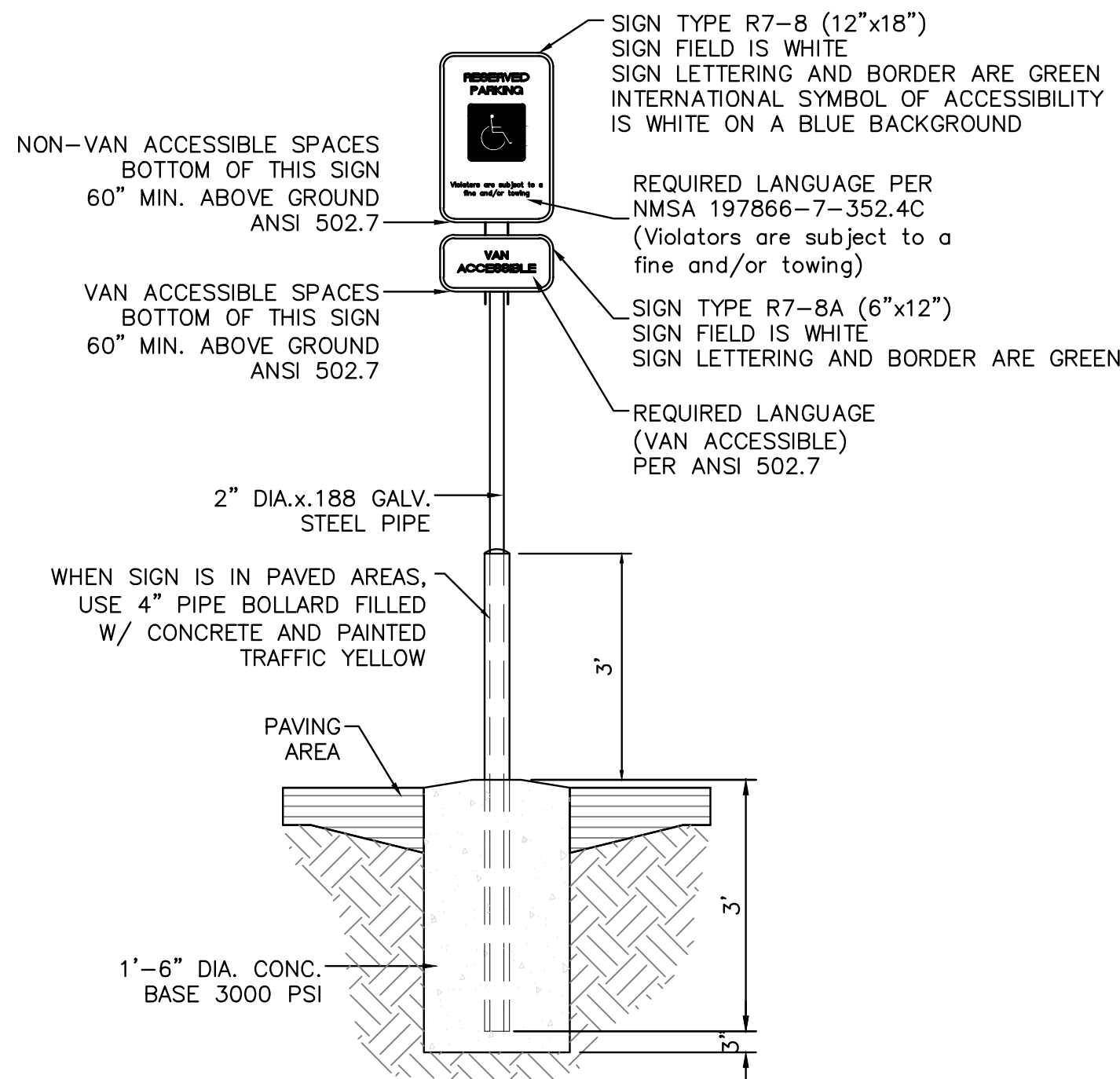
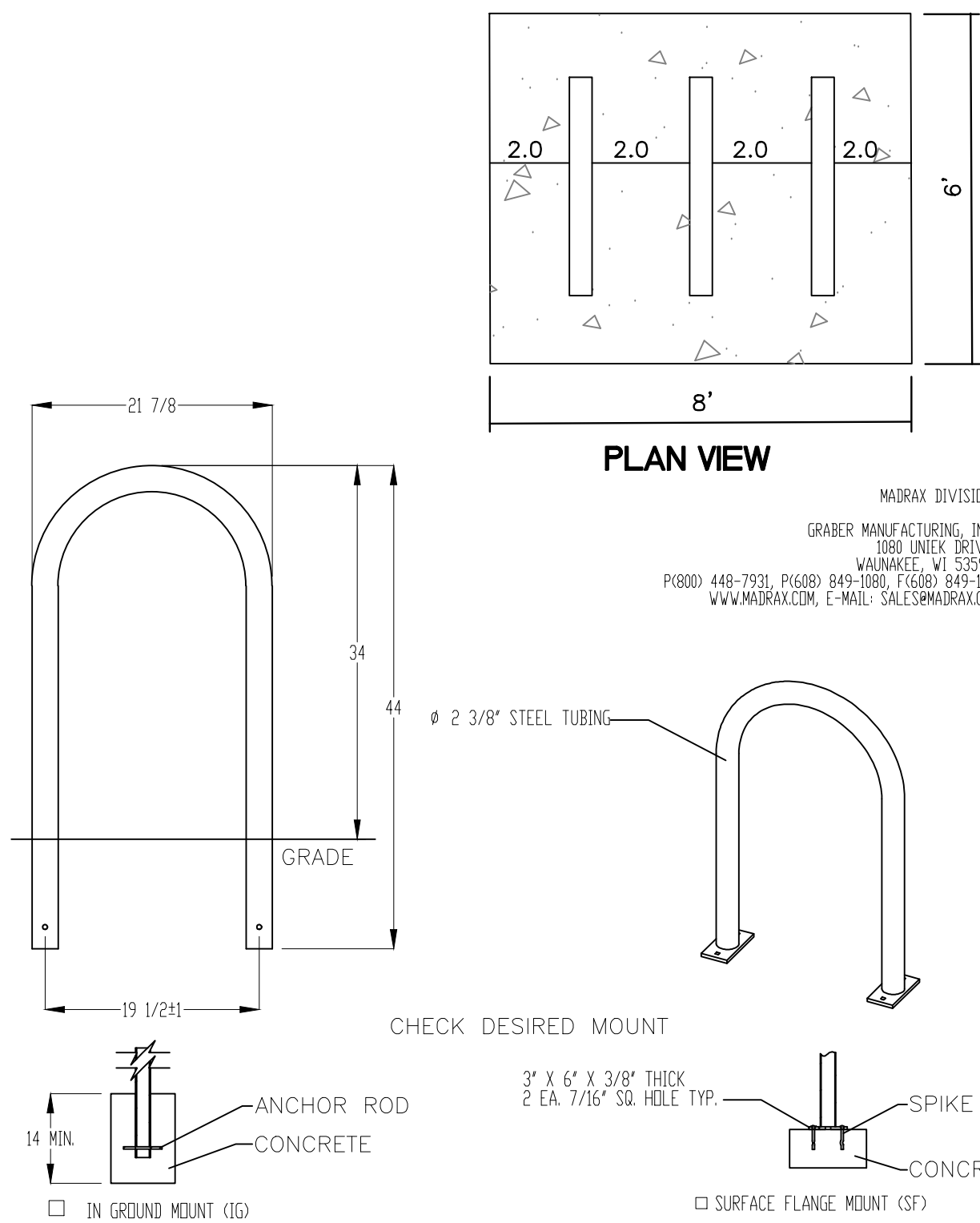
- BUILDING
▨ STRIPED AREA

KEYED NOTES

- ① ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN (TYP.)
② ELEVATOR
③ STAIRS
④ SEE TCL-1 FOR ADJACENT PARKING/GARAGE ACCESS RAMPS
⑤ 4'x8' MOTORCYCLE SPACES



LEGAL DESCRIPTION
LOTS 1-9 UNIVERSITY HEIGHTS



PRODUCT: 1238-1G(S)
DESCRIPTION: "U" BIKE RACK
DATE: 10-4-18
ENG: SMC

ANCHOR ROD
CONCRETE

3" x 6" x 3/8" THICK
2 EA. 7/16" SQ. HOLE TYP.

SPIKE
CONCRETE

□ IN GROUND MOUNT (IG)
□ SURFACE FLANGE MOUNT (SF)

- NOTES
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR/TINISID. SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OF CONSULTANT DOWER.
 4. BIKE RACK SHALL HAVE A 4-FOOT CLEAR ZONE ALL AROUND.
 5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

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BIKE RACK DETAIL
SCALE: NONE

<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</p> <p>1-13-25</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>3200 CENTRAL AVE SE ALBUQUERQUE, NM</p>	<p>DRAWN BY pm</p>
	<p>TRAFFIC CIRCULATION PLAN</p>	<p>DATE 1-13-25</p>
	<p>TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>DRAWING</p>
<p>SHEET # TCL-2</p>		<p>JOB # 2024042</p>

