

PROJECT NUMBER: _____	
APPLICATION NUMBER: _____	
Is an Infrastructure List required? () Yes () No. If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DFT SITE DEVELOPMENT PLAN APPROVAL:	
Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date
* Environmental Health, if necessary	

TRAFFIC CIRCULATION LAYOUT

- LEGEND
- BUILDING
 - CONCRETE
 - ASPHALT PAVING
 - LANDSCAPE
 - CLEAR SIGHT TRIANGLE

NOTE:

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 6 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

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SITE ANALYSIS DATA

UPC: 101005652542410601
LEGAL: TRACT 155 UNIT 6 ATIRSCO GRANT
ZONING: MX-T
ZONE ATLAS PAGE: L-10 & L-11

GROSS LOT AREA = 5.66 AC = 246,549 SF
BUILDING FOOTPRINT = 78,498 SF
NET LOT AREA = 168,051 SF
REQUIRED LANDSCAPE AREA @ 15% = 25,207 SF ; 55,501 SF PROVIDED

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MULTI-FAMILY
1 BEDROOM: 108 EACH X 1.2 SPACES = 129.6 SPACES
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KEYED NOTES

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- 6 SPACE BIKE RACK, REF DETAIL SHEET A-501
- MOTORCYCLE PARKING SIGN REF DETAIL SHEET A-501
- H.C. PARKING SIGN, REF DETAIL ON SHEET A-501
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- NEW 6' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- HC PARKING SYMBOL
- CURB AND GUTTER, REF COA DETAIL
- EXISTING PROPERTY LINE
- NEW ROLL, CURB REF CITY OF ALBUQUERQUE STANDARD DETAIL 2415A
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- PARALLEL RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443
- EXISTING BLOCK WALL
- REFUSE CONTAINER, REF DETAIL THIS SHEET
- IDO SETBACK LINE
- ASPHALT PAVING
- RECYCLING CONTAINER STORAGE POINT
- TRASH ENCLOSURE
- FRONT DOOR
- RETENTION POND
- NEW 6FT RETENTION WALL
- NEW METAL FENCE REFERENCE DETAIL ON A-501
- EXISTING 5FT SIDEWALK
- PIV
- FDC
- 5FT LANDSCAPE BUFFER
- NEW CROSSWALK

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER

No.	Revision	Item	Date
<div><div></div><div>SCOTT C. ANDERSON & associates architects 2818 4th St NW, Suite C, Albuquerque NM 87107 scott@scaarchitects.com 505.401.7575</div></div>			
SAMANA APARTMENTS 6501 BATAAN DR SW ALBUQUERQUE, NM 87109			
DRAWING TITLE SITE PLAN			
<div><div>SEAL</div><div></div></div>	DESIGNED	PROJECT NO	
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED	A-100	
DATE	05/01/2025	_____ OF _____	

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 7, 2025

Shawn Biazar, P.E.
SBS Construction and Engineering, LLC
7632 William Moyers Avenue, NE
Albuquerque, NM 87114

RE: Samana Apartments / Townhomes
99999 Bridge SW
Grading and Drainage Plan
Engineer's Stamp Date: 06/27/2025
Hydrology File: L11D072
Case # HYDR-2025-0235

Dear Mr. Biazar,

Based upon the information provided in your submittal received 07/01/2025, the Grading & Drainage Plan is approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit or for action by the Development Hearing Officer (DHO) on Preliminary Plat, and for Building Permit, Grading Permit, and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the **\$ 25.00** recording fee check made payable to Bernalillo County to Carrie Compton (cacompton@cabq.gov) on the 4th floor of Plaza de Sol.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: SAMANA APARTMENT/TOWNHOMES Hydrology File # L11D072

Legal Description: Tract 155, Unit 6, Town of Atrisco Grant

City Address, UPC, OR Parcel: 101005652542410601

Applicant/Agent: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 7632 WILLIAM MOYERS AVE., NE ALBUQUERQUE, NM 87122 Phone: 505-804-5013

Email: AECLLC@AOL.COM

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) _____ ☐ RESIDENCE
☒ DFT SITE ☒ ADMIN SITE

RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☒ GRADING & DRAINAGE PLAN
- ☒ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☒ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 6-27-25

LOCATION
This site is located at northwest corner of Eucariz Ave., SW and Bataan Dr., SW. See attached Vicinity map for location location.

PURPOSE
The purpose of the plan to provide show the grading and drainage plan for the proposed town homes and apartments.

EXISTING DRAINAGE CONDITIONS
The site drains from west to east into Bataan Dr., SW. The site is surrounded on three sides by Coors Road, SW, Eucariz Avenue and Bridge on the south side and Bataan Drive on the east side. There is existing subdivision to the north that is separated from this site by block wall. Batann Drive is a developed Street with curb and gutter and sidewalk. Eucariz has also curb and gutter and sidewalk along the property. Bridge is only paved road with no curb and gutter nor sidewalk. No other water drains enters into this site.

PROPOSED CONDITIONS
This site falls within SAD 221 development area. The site is part of Bataan Drive, SW area which contains 64.60 acres, see attached highlighted zone atlas page L-11 from the SAD 221 report. As part of the this SAD 221, this site is allowed to drain into the existing storm drain system based on the proposed percentage shown on the volume summary page which is also attached from the report. The report shows the site is allowed to free discharge at 42% Treatment D and 58% Treatment B. See calculation under allowable section. The existing pattern on drainage will stay the same. We will be ponding the proposed condition minus the allowable condition. There are several ponds proposed for this site and also depressed landscaping area. The water will drain into Eucariz and Bataan via sidewalk proposed sidewalk culverts. Total pond volume requirement is (proposed condition 56,875.05 CF minus allowable condition 42,664.45 CF) 14,210.60 CF. We have provided total pond volume of 21,383.75 CF.

FIRST FLUSH VOLUME CALCULATION

First Volume requirement = (0.42/12*151820.00) = 5,313.70

Total Ponding Volume Provided = 21,383.75

VOLUME CALCULATIONS FOR 10 DAY STORM

BASIN	AREA (SF)	AREA (AC)	AREA (MI ²)
ON-SITE	244,868.18	5.6214	0.008783

$$E = EA(AA) + EB(AB) + EC(AC) + ED(AD) \\ AA + AB + AC + AD$$

$$V-360 = E (AA + AB + AC + AD)$$

$$EA = 0.55 \\ EB = 0.73 \\ EC = 0.95 \\ ED = 2.24$$

$$P-60 = 1.69 \\ P-360 = 2.17 \\ P-1440 = 2.49 \\ P-10 \text{ Day} = 3.90$$

EXISTING CONDITION

$$AA = 100.00\% \\ AB = 0.00\% \\ AC = 0.00\% \\ AD = 0.00\%$$

$$E = 0.5500 \text{ IN} \\ V-360 = 0.2576 \text{ AC-FT} \\ AD = 0.0000 \text{ AC} \\ V-10 \text{ DAY} = 0.2576 \text{ AC-FT} \\ V-10 \text{ DAY} = 11,223.19 \text{ CF}$$

ALLOWABLE CONDITION SAD 221

$$AA = 0.00\% \\ AB = 58.00\% \\ AC = 0.00\% \\ AD = 42.00\%$$

$$E = 1.3642 \text{ IN} \\ V-360 = 0.6391 \text{ AC-FT} \\ AD = 2.3610 \text{ AC} \\ V-10 \text{ DAY} = 0.9794 \text{ AC-FT} \\ V-10 \text{ DAY} = 42,664.45 \text{ CF}$$

PROPOSED CONDITION

$$AA = 0.00\% \\ AB = 16.00\% \\ AC = 22.00\% \\ AD = 62.00\%$$

$$E = 1.7146 \text{ IN} \\ V-360 = 0.8032 \text{ AC-FT} \\ AD = 3.4853 \text{ AC} \\ V-10 \text{ DAY} = 1.3057 \text{ AC-FT} \\ V-10 \text{ DAY} = 56,875.05 \text{ CF}$$

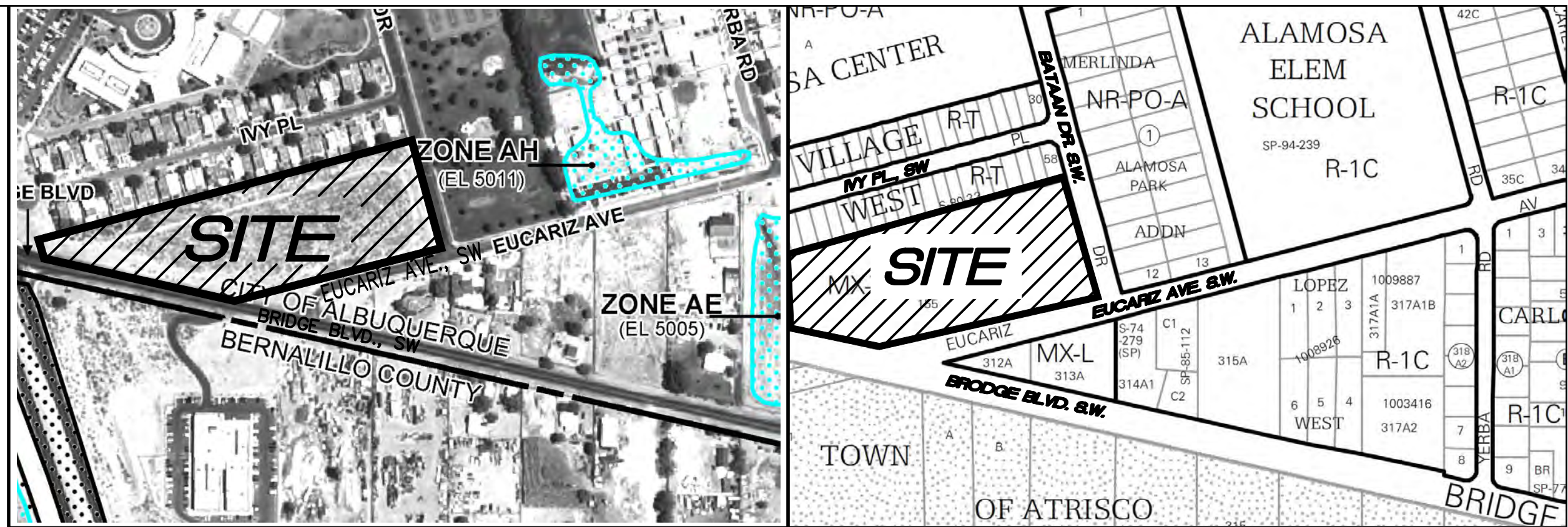
$$V \text{ (REQUIRED)} = V \text{ (PROPOSED)} - V \text{ (ALLOWABLE)} \\ = 56,875.05 - 42,664.45$$

$$V \text{ (REQUIRED)} = 14,210.60 \text{ CF}$$

$$\text{TOTAL PONDING PROVIDED} = 19,379.25 \text{ CF}$$

KEYED NOTES

- DEPRESSED 6" LANDSCAPING AREA.
- NEW DRIVEWAY PER COA. STD. DWG. 2426.
- PROPOSED 2-24" SIDEWALK CULVER.
- PROPOSED 1-24" SIDEWALK CULVER.
- EXISTING SIDEWALK.
- EXISTING CURB AND GUTTER.
- PROPOSED STANDARD CURB AND GUTTER PER COA. STD. DWG. 2415A.
- PROPOSED SIDEWALK PER COA. STD. DWG. 2430.
- EXISTING DROP INLETS.
- PROVIDE 2' CURB OPENING.

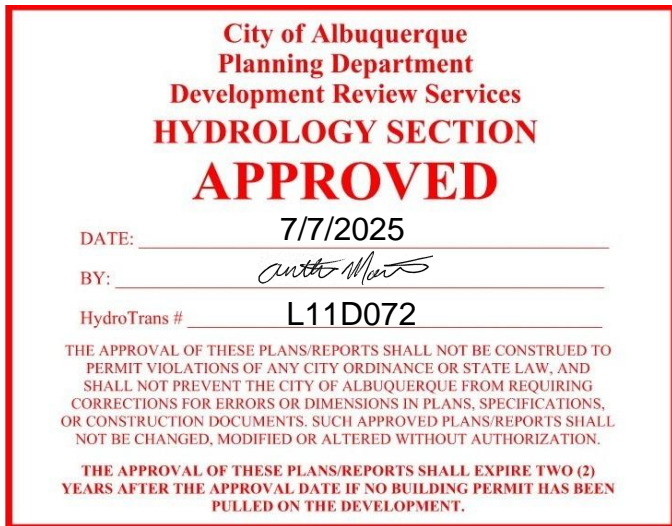


FIRM MAP:

35001C0329H

VICINITY MAP:

L-11-Z



LEGAL DESCRIPTION:

TRACT 155, UNIT 6, OF VARIOUS LOTS ALLOTTED, TOWN OF ATRISCO GRANT, UNIT 3 CONTAINING 5.6214 ACRES.

ADDRESS:

XXXX BATAAN DRIVE, SW

GENERAL NOTES:

- CONTOUR INTERVAL IS HALF (1.00) FOOT.
- UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- THIS IS NOT A BOUNDARY SURVEY. BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- SLOPES ARE AT 3:1 MAXIMUM.
- ADD 5000 TO ALL PROPOSED SPOT ELEVATIONS.

LEGEND

- 5030--- EXISTING CONTOUR (MAJOR)
- 5029--- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- x 28.50 PROPOSED SPOT ELEVATION
- x 5029.16 EXISTING GRADE
- x 5075.65 EXISTING FLOWLINE ELEVATION
- FL
- PROPOSED RETAINING WALL
- BC=89.08 BOTTOM OF CHANEL
- TF=28.50 TOP OF FOOTING
- TRW=28.00 TOP OF RETAINING WALL
- HP HIGH POINT
- 86.65, 85.47 AS-BUILT GRADES
- x 5325.64, FF=5317.85, FP=5317.85 AS-BUILT SPOT ELEVATIONS

Private Drainage Facilities within City Right-of-Way Notice to Contractor

- (Special Order 19 ~ "SO-19")
- Build sidewalk culvert per COA STD DWG 2236.
 - Contact Storm Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
 - An excavation permit will be required before beginning any work within City Right-Of-Way.
 - All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
 - Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
 - Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
 - Backfill compaction shall be according to traffic/street use.
 - Maintenance of the facility shall be the responsibility of the owner of the property being served.
 - Work on arterial streets may be required on a 24-hour basis.
 - Contractor must contact Storm Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

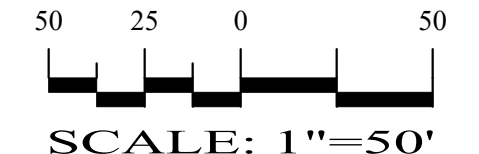
SIDEWALK CULVERT CALCULATION

24" Sidewalk Culvert 12" High Headerwall Using Weir Equation

$$Q = CLH^{1.48} \\ H = 1.00', C = 2.95, L = 24' (2.00')$$

$$2.95^{1.48} (1.00)^{1.48} = 2.958^{1.48} (2.00)^{1.48} \\ Q = 5.90 \text{ cfs} \\ \text{Use 2-2' Sidwalk Culvert (2x5.9=11.80 cfs)}$$

GRAPHIC SCALE



SBS CONSTRUCTION AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505) 804-5013

SAMANA APARTMENTS/TOWNHOMES GRADING AND DRAINAGE PLAN

DRAWING: 202420.dwg

DRAWN BY: SBB

DATE: 12-28-2019

SHEET #

1 OF 1

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 19, 2025

Scott Anderson, RA
Scott Anderson & Associates Architects
5009 Royene NE
Albuquerque, NM 87110

scott@scaarchitects.com

Re: Samana Apartments
6501 Bataan SW
Traffic Circulation Layout
Engineer's Stamp 5-1-25 (L11D072) TRANS-2025-00131

Dear Mr. Anderson,

The TCL submittal received 5-12-2025 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

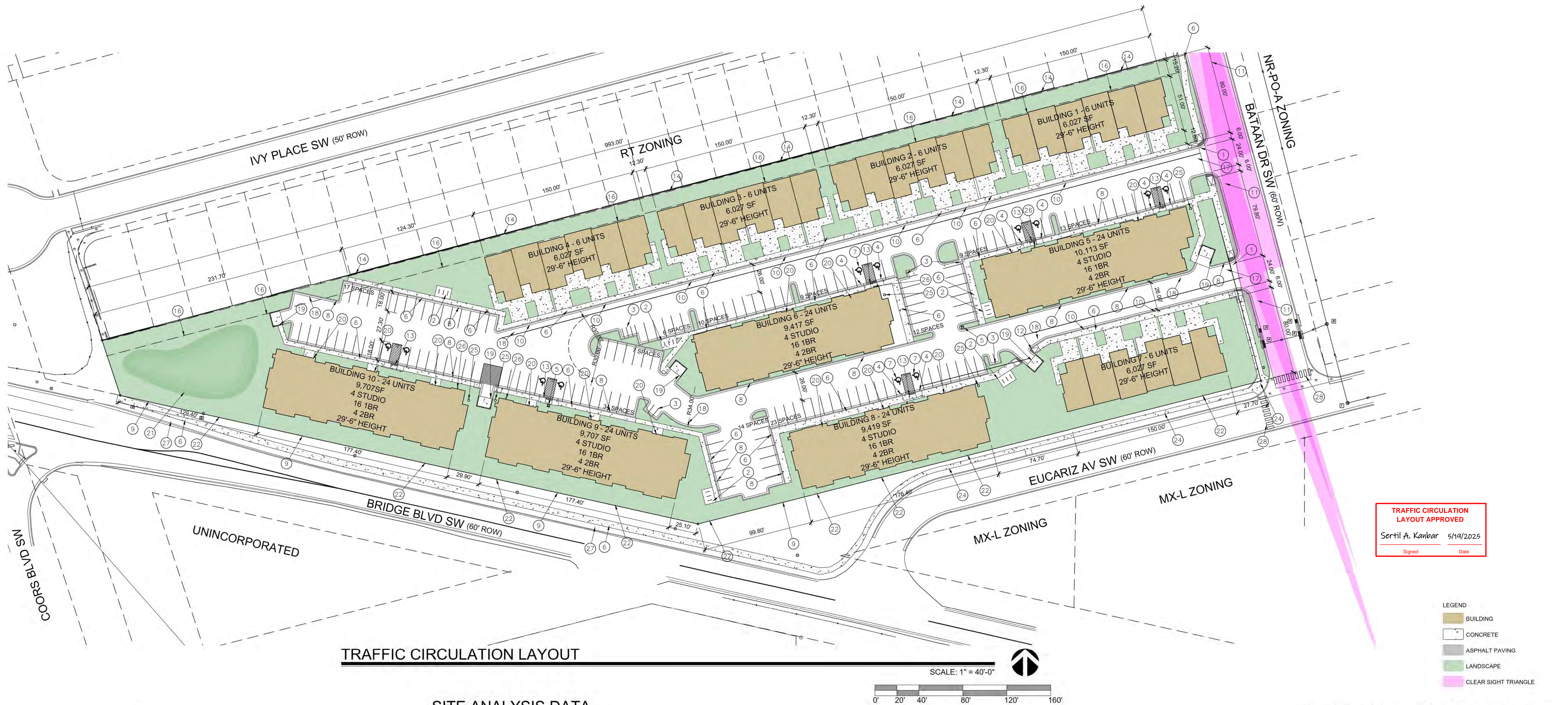
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



TRAFFIC CIRCULATION LAYOUT

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- CURB AND GUTTER, REF COA DETAIL
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- CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2441, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- PARALLEL RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443
- EXISTING BLOCK WALL
- REFUSE CONTAINER, REF DETAIL THIS SHEET
- IDO SETBACK LINE
- ASPHALT PAVING
- RECYCLING CONTAINER STORAGE POINT
- TRASH ENCLOSURE
- FRONT DOOR
- RETENTION POND
- NEW 6FT RETENTION WALL
- NEW METAL FENCE REFERENCE DETAIL ON A-501
- EXISTING 5FT SIDEWALK
- PIV
- FDC
- 5FT LANDSCAPE BUFFER
- NEW CROSSWALK

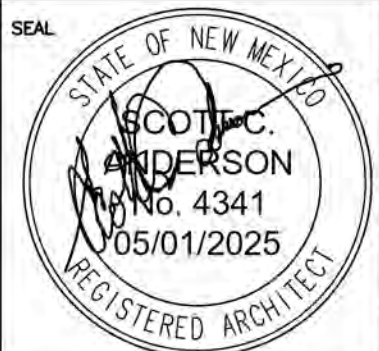
ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER

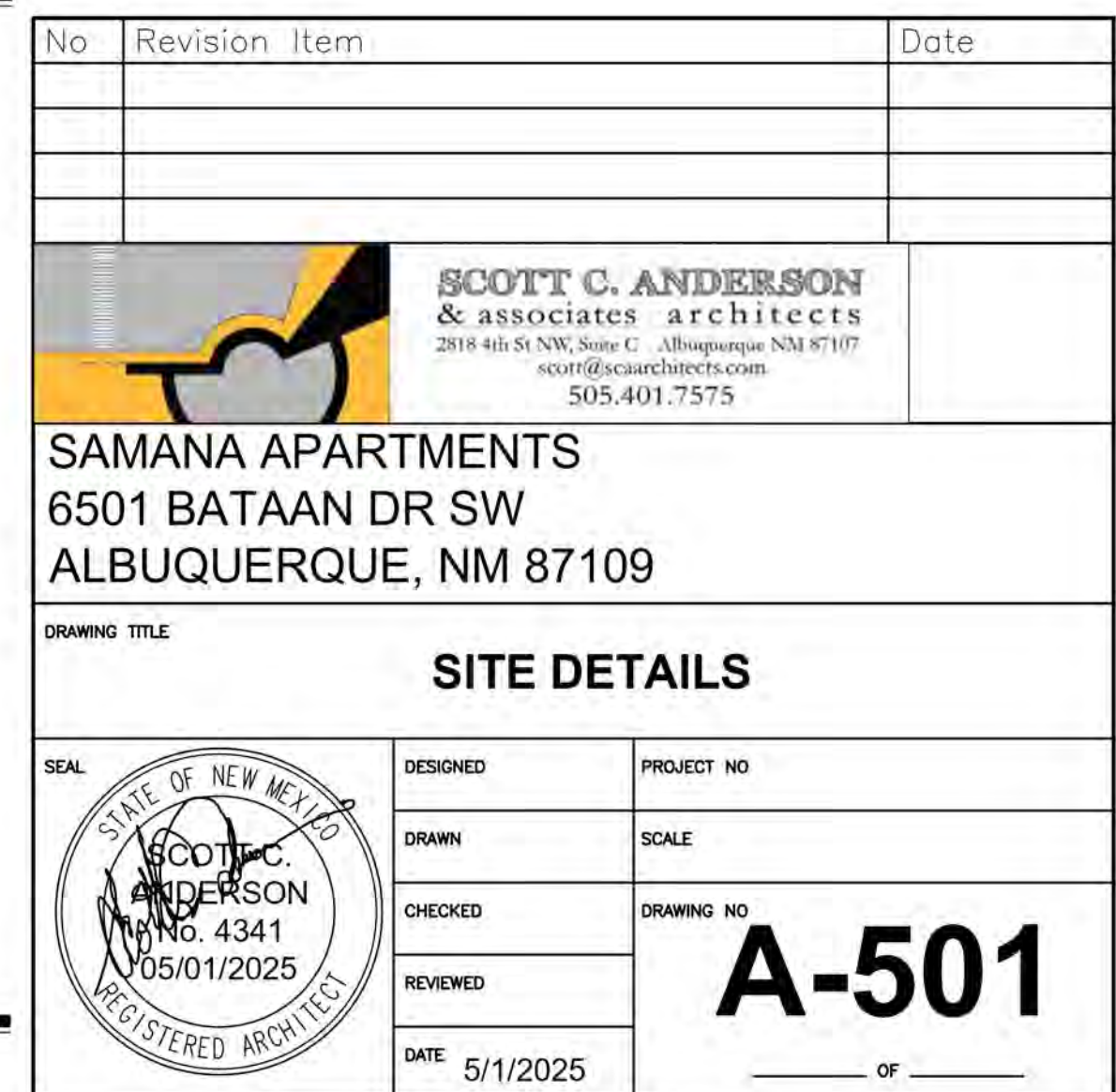
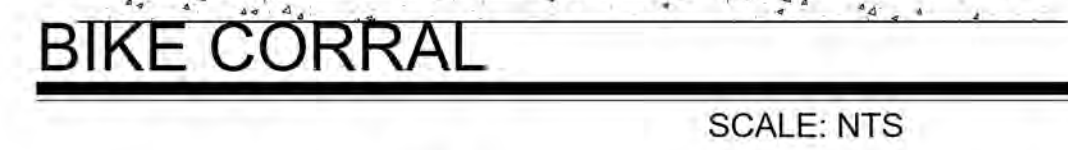
No	Revision	Item	Date



SCOTT C. ANDERSON
& associates architects
2818 4th St NW, Suite G Albuquerque NM 87107
scott@scarcarchitects.com
505.401.7575

SAMANA APARTMENTS
6501 BATAAN DR SW
ALBUQUERQUE, NM 87109

DRAWING TITLE		
TRAFFIC CIRCULATION LAYOUT		
SEAL 	DESIGNED DRAWN CHECKED REVIEWED DATE 05/01/2025	PROJECT NO SCALE DRAWING NO A-100 OF

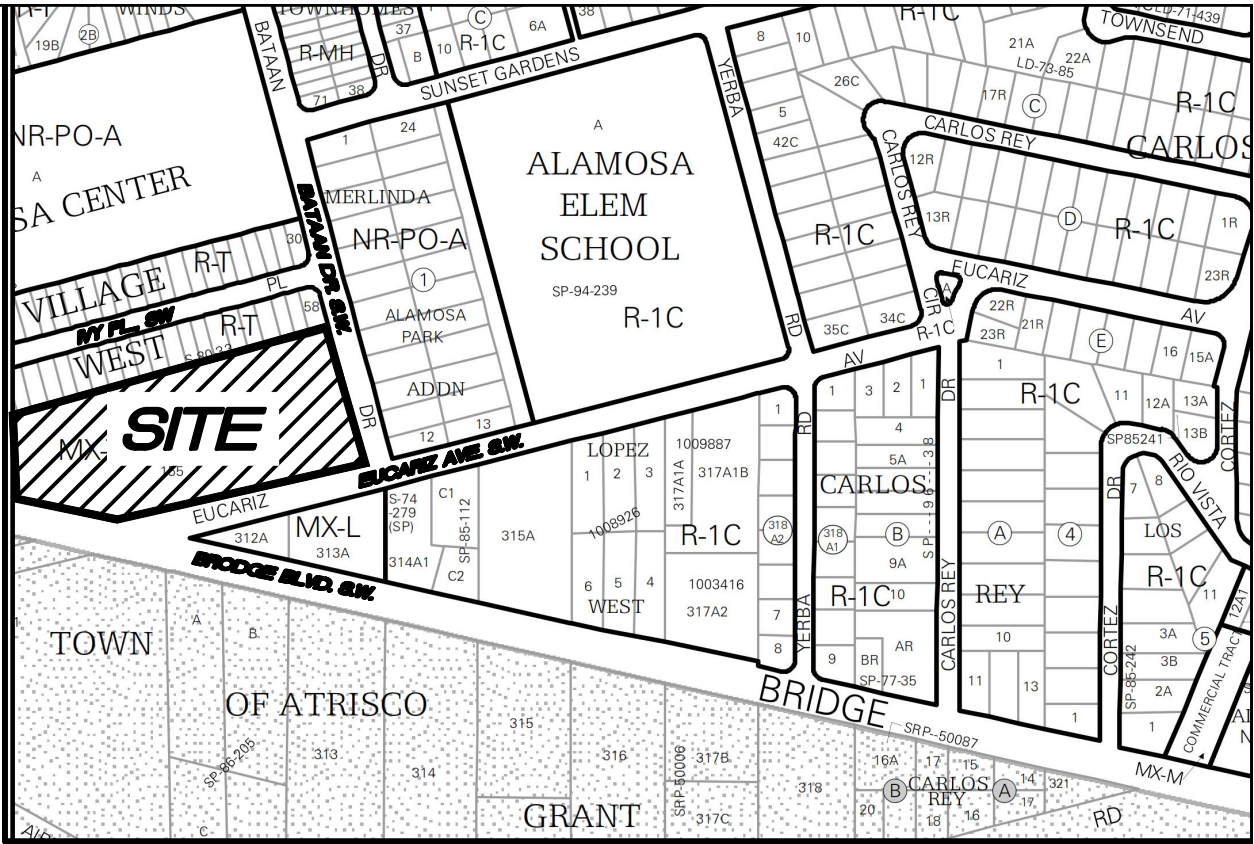


UTILITY LINES NOTES:

1. EXISTING 14" WATER LINE.
2. EXISTING 10" WATER LINE.
3. TIE INTO EXIST. 14" WATERLINE (NON-PRESSURE CONN.), INSTALL 14"x8" TEE, 8" GAVE VALVE W/BOX, 20.00' OF 8" WL, 4' BURY
4. INSTALL 8" PRIVATE GATE VALVE.
5. TIE INTO EXIST. 14" WATERLINE (NON-PRESSURE CONN.), INSTALL 4" WATER SERVICE.
6. INSTALL NEW PRIVATE FIRE HYDRANT, PAINTED ORANGE.
7. INSTALL 8" PVC C-900, FIRE LINE TO THE BUILDING.
8. INSTALL 8" PVC C-900 FIRE HYDRANT LINE.
9. INSTALL 4" WATER METER BOX PER WATER AUTHORITY STANDARDS.
10. INSTALL 6" PVC C-900 DOMESTIC WATER LINE.
11. INSTALL 8" SDR 35 SANITARY SEWER LINE.
12. TIE IN INTO EXISTING 8" SANITARY SEWER LINE AND INSTALL 4'D MANHOLE.
13. EXISTING 8" SANITARY SEWER LINE.

GENERAL NOTES:

- 1: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CON-SIDERATIONS.
- 2: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.

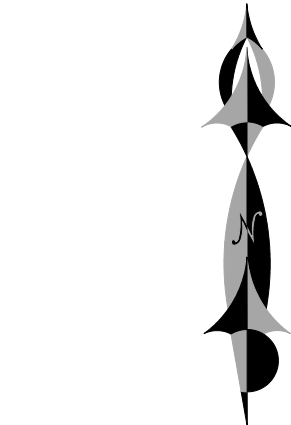
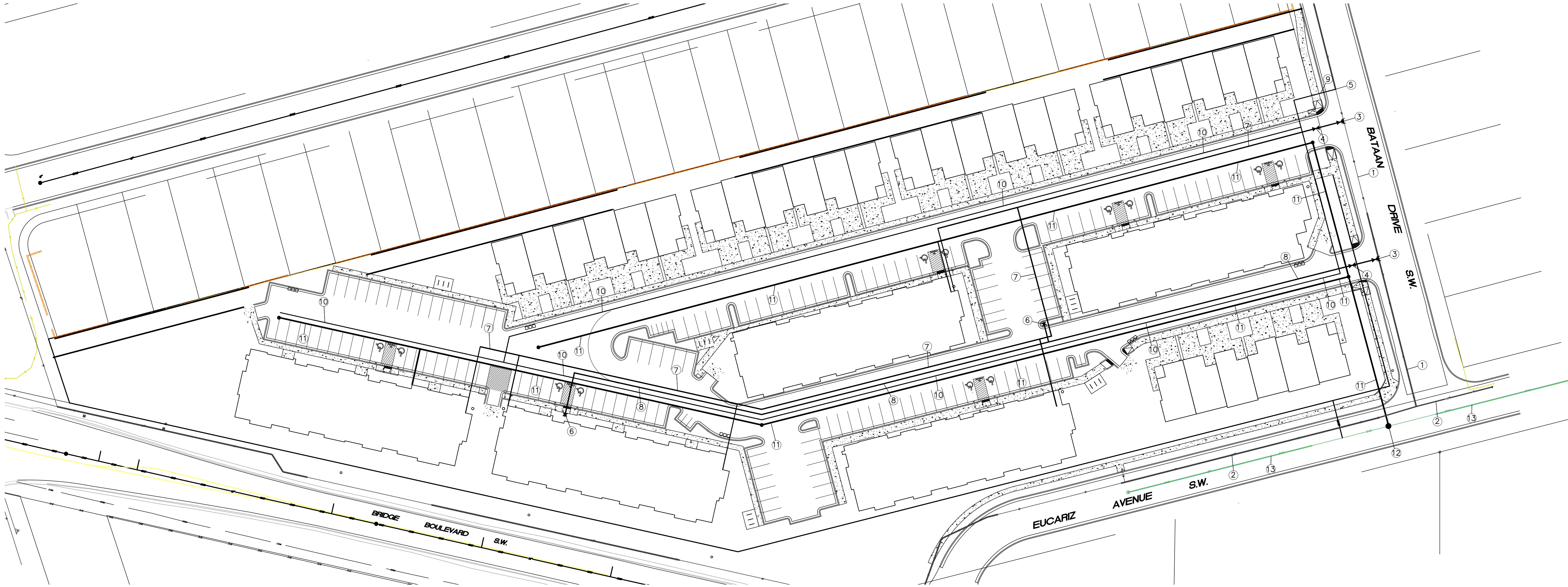


VICINITY MAP:

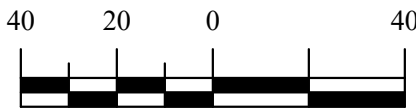
L-11-Z

LEGAL DESCRIPTION:

TRACT 155 , UNIT 6, TOWN OF ATRISCO GRANT
CONTAINING: 229,186.58 SF (5.6214 ACRES)



GRAPHIC SCALE



SCALE: 1"=40'

SAMANA APARTMENTS
MASTER UTILITY PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
202420.DWG	SH-B	03-05-2025	1

LAST REVISION: 3-5-2025



SOLID WASTE

