

# **RE: Sensitive Lands example copy**

1 message

Mon, Sep 22, 2025 at 1:52 PM

To: "Ortiz, Annette" <annetteortiz@cabq.gov>, Scott Anderson <scott@scaarchitects.com>

Cc: "Zamora, Renee C." <rczamora@cabq.gov>, "Webb, Robert L." <rwebb@cabq.gov>, "Chen, Tiequan" <tchen@cabq.gov>

Good afternoon all,

I can confirm that Scott's Sensitive Land Analysis he sent us earlier this morning that's attached to this message will suffice, and it confirms that no Sensitive Lands will be affected by the Samana Apartments development.

<u>Tiequan</u>, you can sign Form SP for this project provided that there are no other issues preventing you from signing the Form.



# Jay Rodenbeck

Planning Manager

**Development Review Services** 

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

Our POSSE and AVOLVE systems have been replaced with our new software system, ABQ-PLAN. POSSE and AVOLVE users can create an ABQ-PLAN account with the same email address to access their data. We have a <u>user guide</u>, <u>video tutorials in English and Spanish</u>, and other resources to help you get up to speed. For more information about ABQ-PLAN please visit <u>cabq.gov/planning/abq-plan</u>

From: Ortiz, Annette <annetteortiz@cabq.gov> Sent: Monday, September 22, 2025 9:20 AM To: Scott Anderson <scott@scaarchitects.com>

**Subject:** Sensitive Lands example copy

Attached is a copy example from another applicant. Links below are for the document, and information for submitting. Hope this helps. Sensitive Lands info: Spec 1014 PDF-https://documents.cabq.gov/planning/DevelopmentReviewServices/DRC/Section%201014% 20Specification.pdf Templates and info-https://www.cabq.gov/planning/development-review-services/design-review-construction-forms Forms page, including sensitive lands

Robert Webb forwarded the information below. I just wanted to forward to you so you have.



https://www.cabq.gov/planning/download-forms-applications

## **ANNETTE V. ORTIZ**

senior admin/navigator

- 505-924-3623
- e annetteortiz@cabq.gov

cabq.gov/planning

guide, video tutorials in English and Spanish, and other resources to help you get up to speed. For more information about ABQ-PLAN please visit <u>cabq.gov/planning/abq-plan</u>



Sensitive Lands Analysis.pdf 7039K

## Samana Apartments

# Sensitive Lands Analysis

The proposed site plan for the subject site would not disturb any sensitive lands as defined in by IDO Section 5-2C.

- Arroyos: There are no existing arroyos on the subject site. (ref attached topo and aerial photos)
- Floodplains and Special Flood Hazard Ares: The subject site is not in a floodplain and is defined by FEMA as being withing Zone X. (ref attached FEMA map)
- Irrigation facilities (acequias): There are no acequias on the subject property.
- Large stands of mature trees: There are no large stands of mature trees. (ref attached street level photo and aerial photo)
- Riparian area: There are no existing riparian areas on the site.
- Rock outcroppings: There are no rock outcroppings on the site. (ref attached street level photo and aerial photo)
- Significant archeological sites: There are no archeological sites on the subject property. (see attached archeological report)
- Steep slopes: There are no steep slopes on the subject property. (ref attached topographical survey)
- Wetlands: There are no wetlands on the subject property.

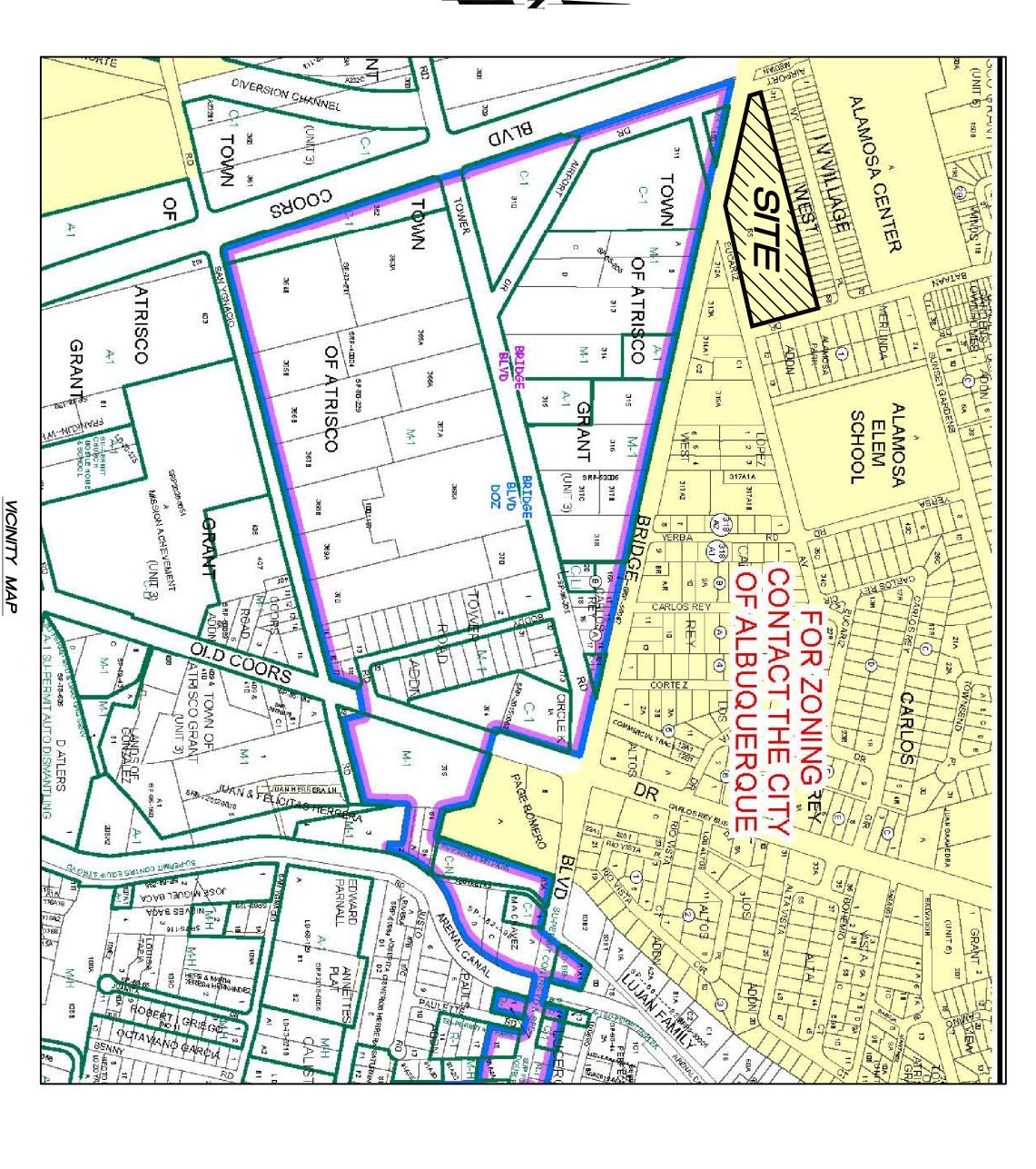


Aerial photo





Street View



- from an INIT 6 OF CITY OF Garry P. annury 3,
- at were set are either a concrete nail with se indicated hereon.

"HUGG 9750"

- $MX{-}T$  as shown and designated Pages L-10 and L-11, dated May

<u>S7C</u>	STORM SEWER MANHOLES AND INLETS	SAN	SANITARY SEWER MANHOLES
1	RIM ELEV.= 5014.28	<b>(A)</b>	RIM ELEV.= 5019.09
N	RIM ELEV.= 5016.53	(B)	RIM ELEV.= 5014.14
4		0	RIM ELEV.= 5020.03
7	10F OF GRAILE 5014.35	0	RIM ELEV.= 5024.90
4	TOP OF GRATE= 5014.46		RIM ELEV.= 5028.90
ח			RIM ELEV.= 5033.47
C	101 01 GVA 1E- 0014.10	(n)	RIM ELEV.= 5034.54
Q	TOP OF GRATE= 5014.11	( <u>I</u> )	RIM ELEV.= 5035.92
1		<u></u>	RIM ELEV.= 5033.91
	IOF OF GRAILE SOUGLES	<b>(</b> X)	RIM ELEV.= 5016.17
00	RIM ELEV.= 5015.16		Approximate Sewer service locations per construction plans
			and field notes for Atrisco Grant Unit 6. Sanitary Sewer

THE RETAINING OF A PRIVATE UTILITY LINE—SPOTTING COMPANY MAY BE NECESSARY FOR COMPLETE UTILITY LINE—SPOTTING OF A SUBJECT PROPERTY.

PAINT MARKS AND FLAGGING SET ON THE GROUND BY UTILITY COMPANIES AND OTHERS ARE USED TO DESIGNATE UNDERGROUND UTILITIES AS SHOWN HEREON: RED FOR ELECTRIC, BLUE FOR WATER, YELLOW FOR GAS, ORANGE FOR COMMUNICATIONS, GREEN FOR SEWER.

ANY PIPE SIZES OR MATERIAL TYPES SHOWN HEREON WERE DERIVED FROM ASBUILT PLANS AS PROVIDED BY THE VARIOUS UTILITY COMPANIES.

SURV—TEK, INC. MAKES NO REPRESENTATION THAT SAID INFORMATION IS CURRENT OR CORRECT.

ARCHITECT, ENGINEER, AND CONTRACTOR WILL BE RESPONSIBLE FOR VERIFICATION OF SAID INFORMATION DURING THEIR DESIGN PROCESS.

QUALIFIED SUBSURFACE UTILITY ENGINEERING (SUE) SERVICES MAY BE REQUIRED.

UTILITIES LABELED WITH AN ASTERISK (\*) ARE DERIVED OR TRANSCRIBED FROM PROVIDED PLANS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY.

UTILITIES LABELED WITH AN POUND SIGN (#) ARE ASSUMED UTILITY LOCATIONS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY. SOURCE INFORMATION FROM PLANS AND MARKINGS HAVE BEEN BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

NM 811 LOCATE REQUEST TICKET NUMBER 24MY210096, CREATION DATE: 05/21/24.

THERE MAY BE PRIVATE UNDERGROUND UTILITY LINES NOT MITHIN DOCUMENTED EASEMENTS THAT WERE NOT MARKED OUT BY UTILITY LINE—SPOTTING COMPANIES NOTIFIED BY NM811

THIS PROJECT WAS CALLED IN TO NM811 AS A "DESIGN LOCATE". SOME UTILITY LINE—SPOTTING COMPANIES NOTIFIED BY NM811 CONSIDER "DESIGN LOCATE" CALLS AS LOW PRIORITY AND IN SOME CASES DELAY RESPONSE, PARTIALLY COMPLETE OR NOT RESPOND AT ALL.

# SCHEDULE B, PART II As contained in the Title Commi Old Republic National Title Insura 22402092, Effective Date: April EXCEPTIONS for this property by ommitment Number

- $(\phi)$ Reservations contained in the Patent from the United States of America, recorded August 21, 1905 in Book 35, Page 91, records of Bernalillo County, New Mexico. (Affects subject property— not plottable)
- 11. 70. Existing easements and rights of way. (Affects subject property— No Easements are cited in therefore none are plotted hereon)
- (i)Pro rata charges for water, sewer, and/or standby charges and any possible assessments for paving, sidewalk, sewer and water extensions which are or might be a lien by law but have not yet been filed for record in the Office of the County Clerk of Bernalillo County, New Mexico.

  (Affects subject property— Non survey matter) All title and interest in and to oil, gas, coal and all other minerals within and underlying the premises, together with all other rights, privileges and immunities relating thereto.
  (Affects subject property— Non survey matter)

# DOCUMENTS USED IN PREPARATION OF THIS SURVEY:

- Jnrecorded Plat of Survey entitled "PLAT OF SURVEY TRACT 155, JNIT 6 OF VARIOUS TRACTS ALLOTTED FROM THE TOWN OF ATRISCO SRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" serformed by Garry P. Hugg, New Mexico Professional Surveyor Number 5823, dated January 3, 1991.
- Plat entitled "AMENDED I.V. VILLAGE WEST A SUBDIVISION, ALBUQUERQUE, NEW MEXICO", filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 9, 1980 in Volume C17, Folio 61.
- Title Commitment prepared for this property by Old Republic National Title Insurance Company Commitment Number 22402092, Effective Date: April 29, 2024.
- Plat entitled "MERLIDA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING A SUBDIVISION OF TRACTS 200-201-202 & WESTERLY PORTION OF TRACT 203, UNIT NO. SIX OF LANDS ALLOTTED FROM TOWN OF ATRISCO GRANT", filed in the Office of the County Clerk of Bernalillo County, New Mexico on October 4, 1946 in Volume B1, Folio 113.
- Certificate of Survey entitled "SURVEY OF TRACT 154, UNIT NO. ATRISCO GRANT", filed in the Office of the County Clerk of Berna County, New Mexico on July 31, 1970 in Volume A3, Folio 14.
- Plat entitled "LOTS 25-30 & 66-58, I.V. VILLAGE WEST BEING A REPLAT OF TRACT 154-A, OF THE AMENDED I.V. VILLAGE WEST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 12, 1982 in Volume C20, Folio 14.
- Construction Plans entitled "DEVELOPMENT PLANS FOR CONSTRUCTION OF SOUTHWEST ISD OFFICE WATERLINE", prepared by Jean Bordenave, NM PE & PS no. 5110, dated April 11, 2008.
- Construction Plans entitled "SPECIAL ASSESSMENT DISTRICT 221, EUCARIZ AVENUE S.W.", prepared by Steven Metro, NM PE No. 8220, dated November 3, 1992. Construction Plans entitled "ATRISCO TRUNK MASTER PLAN WATER prepared by Boyle Engineering Corp. dated May 13, 1997.

# The subject property lies within a Zone X (Area of minimal flood hazard) flood hazard area as shown on the National Flood Insurance Program, Flood Insurance Rate Maps Panel 35001C0329 H, dated August 16, 2012.

W	UGE	— G —	— <u>I</u> E	!	——САВ —	——сом —	—— ЭНО ——					##	——SS——	SAS	<b>A</b>	(S)	)	(S)			
Mater line	Under Ground Electric	Gas Line	lelephone Line		Cable Television Line	Communications Line	Overhead Wires	Guy Wire		Hiah Voltage Tower	Power Pole	Storm Drain Inlet	Storm Sewer Line	Sanitary Sewer Line	Manhole Unknown Utility	as shown on provided plans — Not Found	Sanitary Sewer Manhole	Sanitary Sewer Manhole	plans - Not Found	Storm Drain Manhole as shown on provided	
		HC	0	0			°	° (	•	<b>(3)</b>	0		     							$\boxtimes$	
	Wall	Handicap Parking Sign	Sign	Fiber Optic Pedestal	Utility Pedestal	Gas Meter	concrete symbol			Light Pole w/2' conc base	Guard Rail		Chain Link Fence	Utility Box	PedestrianTraffic Light Pos	Traffic Light Post		Telephone Pedestal	Traffic Pull Box	Electric Transformer	

VARIOUS TH THE TOWN

S ALLOTTED ATRISCO GRANT

TRACT

155

UNIT

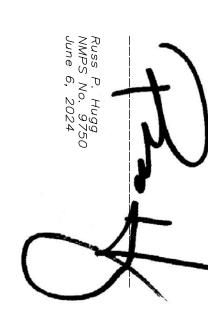
PROJECTED SECTIONS 26 AND 2 OWNSHIP 10 NORTH , RANGE 2 EA NEW MEXICO PRINCIPAL MERIDIAN

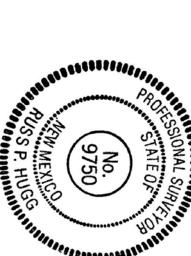
XICO

N.15 deg.06' W, 307.70 f Bataan Road to the Nort! S.74 deg.54' W, 1009.61 i 18 deg.23' E, 53.86 feet along the Easterly righ irport Road to the Southwest corner; thence, herein described, , R.2E., N.M.P.M., ning thence h-of-way line of

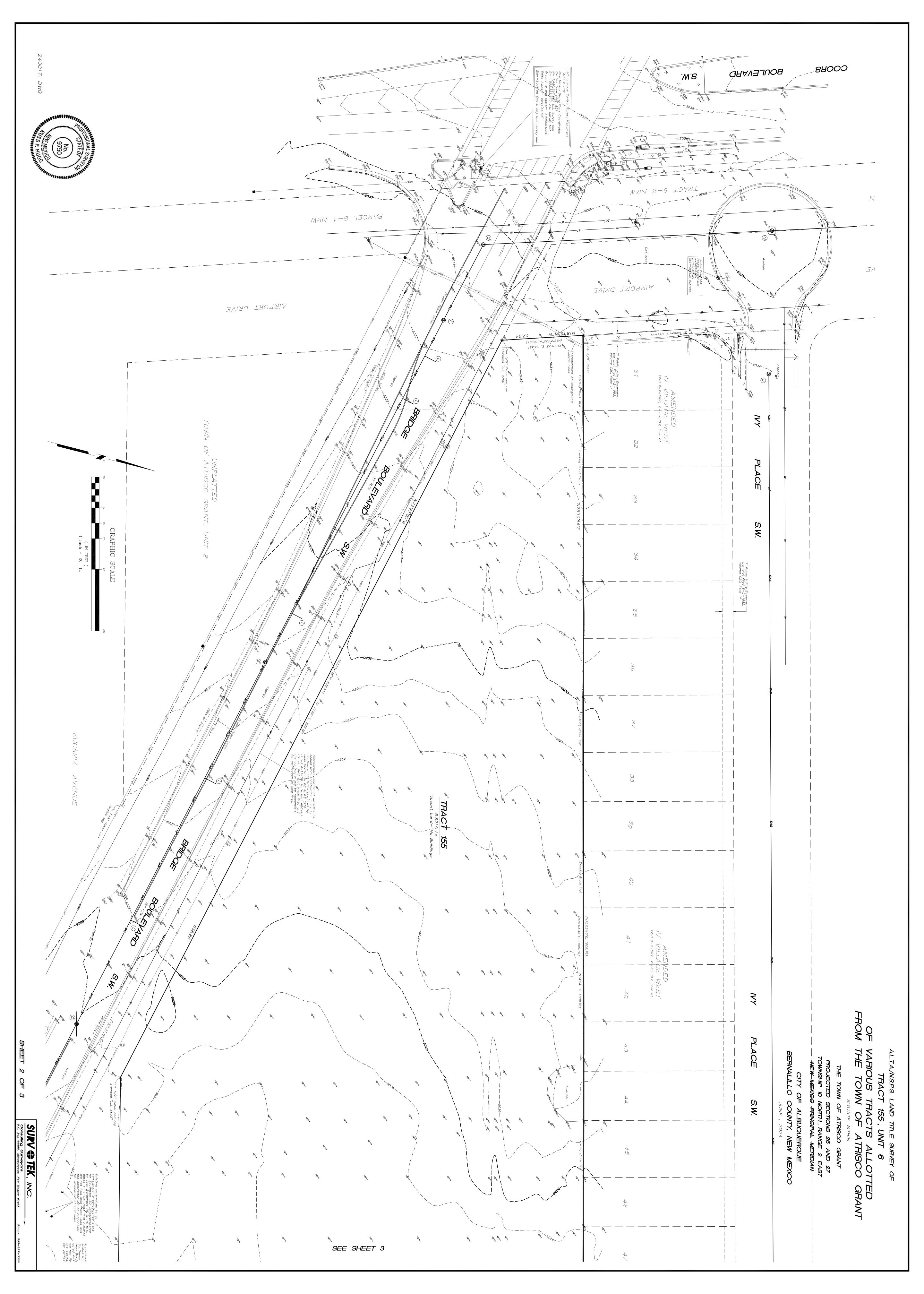
N 77°27'00"W , 538.85 feet along said Northerly right of way line of Bridge Boulevard S.W. to a point of intersection with said Easterly right of way line of Airport Drive S.W.; Thence, 15°00'21"E , 305.75 feet along said W taan Drive S.W. to a point of intersection y line of Eucariz Avenue S.W.; Thence, 529.07 feet along said Northerly right of way line of to a point of intersection with the Northerly right lge Boulevard S.W. (a 5/8" Rebar and cap stamped place); Thence, aid Easterly right of way line of beginning of the parcel herein ne common to said Tract 155 Westerly right of way line of corner of the parcel herein stamped "L.S. 5823" found in esterly right of way line of with the Northerly right of 5 ( a 5/8" Rebar ne of Airport Drive lage West as the ed "AMENDED I.V. f Bernalillo County, io 61, whence the s S 43°36'52" W,

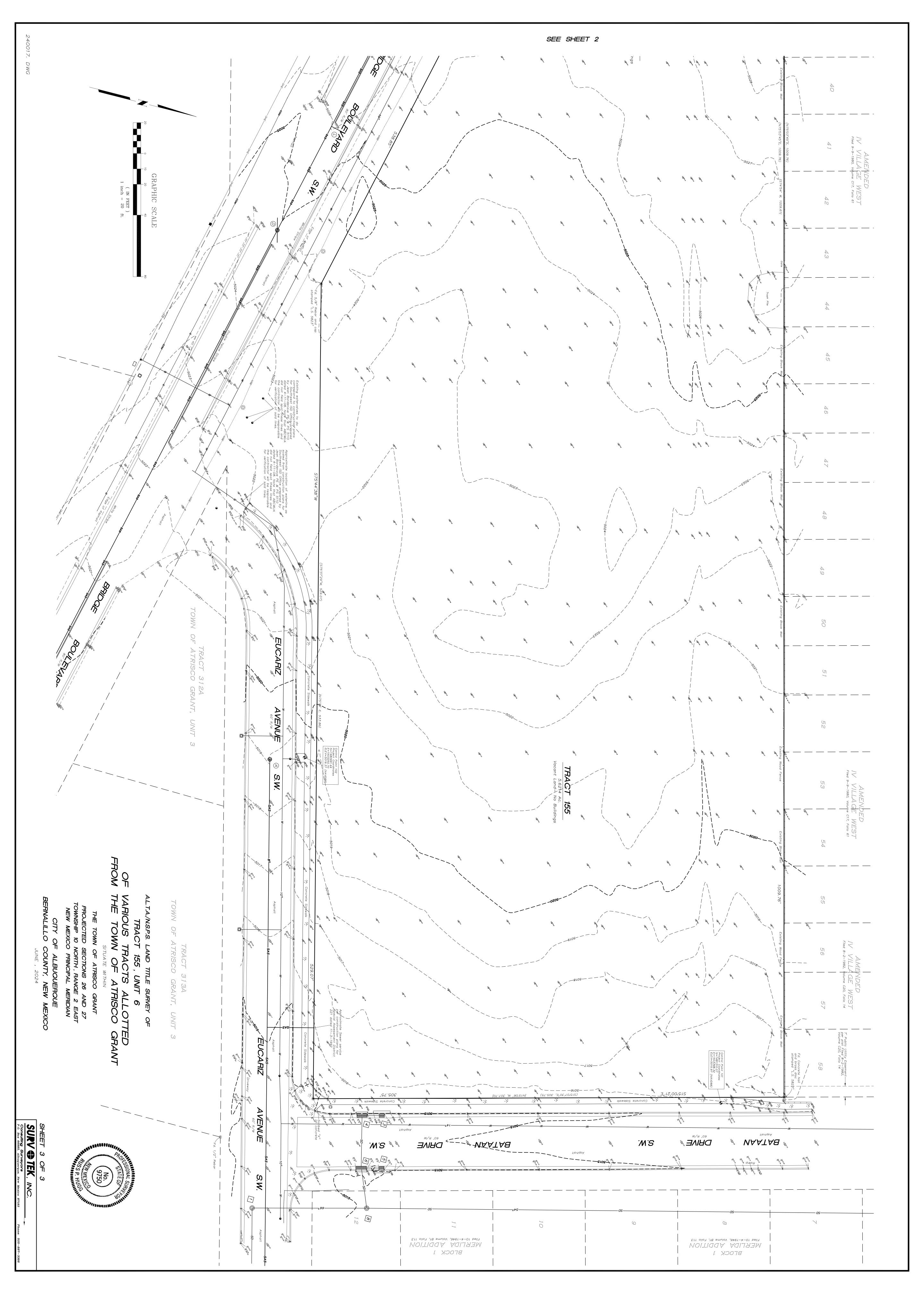
on which it is based um Standard Detail intly established and 3, 4, 5, 6(a), 7(a), 8, The field work was mpany; Southside and Old Republic





1 OF 3







# Tim Keller, Mayor Sarita Nair, CAO

Douglas H. M. Boggess, MA, RPA Date Senior Principal Investigator Acting City Archaeologist

Lone Mountain Archaeological Services, Inc.

# City of Albuquerque

P.O. Box 1293 Albuquerque, NM 87103

# **Planning Department**

Alan Varela, Interim Director

DATE: September 8, 2025									
SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation									
Case Number(s): Agent: Applicant: Legal Description: Zoning: Acreage: Zone Atlas Page(s):	PR-2024-010887, AC-2025-00017 Scott Anderson Jay Shah Tract 155 Unit 6 Atrisco Grant MX-T 5.86 L-10-Z and L-11-Z								
CERTIFICATE OF NO EFFECT:   ✓ Yes  No  CERTIFICATE OF APPROVAL:  Yes  ✓ No									
SUPPORTING DOCUMENTATION: Historic Google Earth Images and ARMS/NMCRIS reocrds									
SITE VISIT: N/A									
RECOMMENDATIONS: The property has been surveyed under NMCRIS 159295 with no finds. Therefore:  CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 1 "an archaeological investigation has been conducted"									
SUBMITTED BY:		SUBMITTED TO: Planning, Development Services							