
RE: Sensitive Lands example copy

1 message

Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Mon, Sep 22, 2025 at 1:52 PM

To: "Ortiz, Annette" <annetteortiz@cabq.gov>, Scott Anderson <scott@scaarchitects.com>

Cc: "Zamora, Renee C." <rczamora@cabq.gov>, "Webb, Robert L." <rwebb@cabq.gov>, "Chen, Tiequan" <tchen@cabq.gov>

Good afternoon all,

I can confirm that Scott's Sensitive Land Analysis he sent us earlier this morning that's attached to this message will suffice, and it confirms that no Sensitive Lands will be affected by the Samana Apartments development.

Tiequan, you can sign Form SP for this project provided that there are no other issues preventing you from signing the Form .

**Jay Rodenbeck**

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

Our POSSE and AVOLVE systems have been replaced with our new software system, ABQ-PLAN. POSSE and AVOLVE users can create an ABQ-PLAN account with the same email address to access their data. We have a [user guide](#), [video tutorials in English and Spanish](#), and other resources to help you get up to speed. For more information about ABQ-PLAN please visit cabq.gov/planning/abq-plan

From: Ortiz, Annette <annetteortiz@cabq.gov>**Sent:** Monday, September 22, 2025 9:20 AM**To:** Scott Anderson <scott@scaarchitects.com>**Cc:** Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Zamora, Renee C. <rczamora@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>**Subject:** Sensitive Lands example copy

Scott,

Robert Webb forwarded the information below. I just wanted to forward to you so you have.

Attached is a copy example from another applicant. Links below are for the document, and information for submitting. Hope this helps.

Sensitive Lands info:

Spec 1014 PDF--

<https://documents.cabq.gov/planning/DevelopmentReviewServices/DRC/Section%201014%20Specification.pdf>

Templates and info--

<https://www.cabq.gov/planning/development-review-services/design-review-construction-forms>

Forms page, including sensitive lands

<https://www.cabq.gov/planning/download-forms-applications>



ANNETTE V. ORTIZ

senior admin/navigator

o 505-924-3623

e annetteortiz@cabq.gov

cabq.gov/planning

Our (LMS) POSSE and (E-PLAN) AVOLVE systems have been replaced with our new software system, ABQ-PLAN. (LMS) POSSE and (E-PLAN) AVOLVE users can create an ABQ-PLAN account with the same email address to access their data. We have a [user](#)

[guide](#), [video tutorials in English and Spanish](#), and other resources to help you get up to speed. For more information about ABQ-PLAN please visit cabq.gov/planning/abq-plan



Sensitive Lands Analysis.pdf

7039K

Samana Apartments
Sensitive Lands Analysis

The proposed site plan for the subject site would not disturb any sensitive lands as defined in by IDO Section 5-2C.

- Arroyos: There are no existing arroyos on the subject site. (ref attached topo and aerial photos)
- Floodplains and Special Flood Hazard Ares: The subject site is not in a floodplain and is defined by FEMA as being withing Zone X. (ref attached FEMA map)
- Irrigation facilities (acequias): There are no acequias on the subject property.
- Large stands of mature trees: There are no large stands of mature trees. (ref attached street level photo and aerial photo)
- Riparian area: There are no existing riparian areas on the site.
- Rock outcroppings: There are no rock outcroppings on the site. (ref attached street level photo and aerial photo)
- Significant archeological sites: There are no archeological sites on the subject property. (see attached archeological report)
- Steep slopes: There are no steep slopes on the subject property. (ref attached topographical survey)
- Wetlands: There are no wetlands on the subject property.



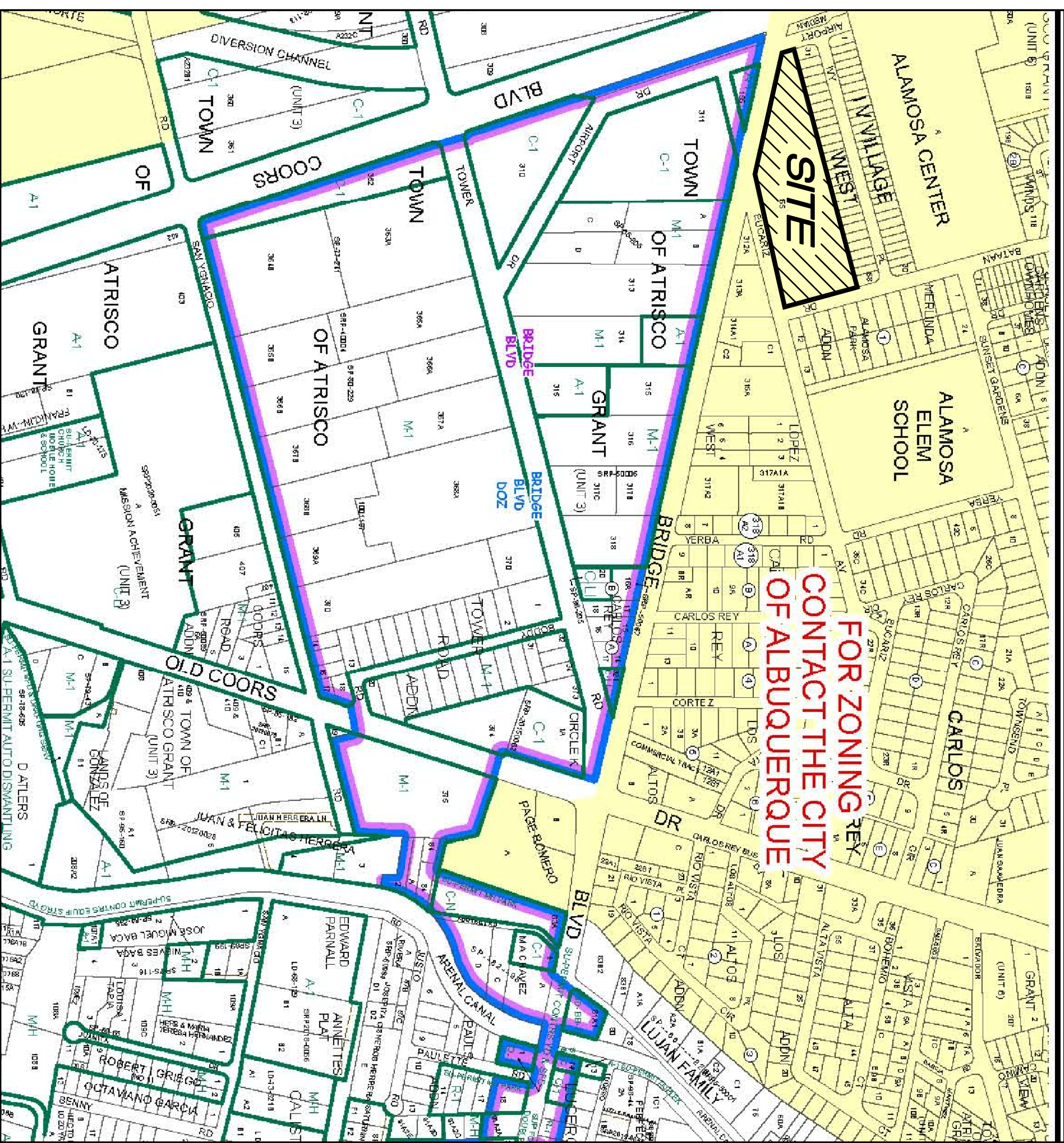
Aerial photo



FEMA map



Street View



GENERAL NOTES

VICINITY MAP

- [illegible]

STORM SEWER MANHOLES AND INLETS

- | | |
|---|------------------------|
| 1 | RIM ELEV. = 5014.28 |
| 2 | RIM ELEV. = 5016.53 |
| 3 | TOP OF GRATE = 5014.35 |
| 4 | TOP OF GRATE = 5014.46 |
| 5 | TOP OF GRATE = 5014.18 |
| 6 | TOP OF GRATE = 5014.11 |
| 7 | TOP OF GRATE = 5036.25 |
| 8 | RIM ELEV. = 5015.16 |

SANITARY SEWER MANHOLES

- (A) RM ELEV = 5019.09
- (B) RM ELEV = 5014.4
- (C) RM ELEV = 5020.03
- (D) RM ELEV = 5024.90
- (E) RM ELEV = 5028.90
- (F) RM ELEV = 5033.47
- (G) RM ELEV = 5034.54
- (H) RM ELEV = 5035.92
- (I) RM ELEV = 5033.91
- (J) RM ELEV = 5016.17
- (K) RM ELEV = 5016.17
- (L) Approximate Sewer service locations per construction plans and field notes for Airtape Extension S45-S3=27' dated 10-15-1971.

UTILITY DISCLAIMER

[illegible]

SCHEDULE B, PART II - EXCEPTIONS

9. Reservations contained in the *Fort from the United States of America, recorded August 21, 1904*, in *Book 35, Page 91*, records (Affects subject property—*not locatable*)
10. Existing easements and rights of way (Affects subject property—No easements are cited in *Sanborn B.* therefore none are plotted there)
11. All title and interest in and to all, old, good and all other minerals within and underlying the premises, together with all other rights, privileges and immunities relating thereto. (Affects subject property—*no survey motes*)
12. *Pro rata charges for water, sewer, and/or standby charges and assessments, which are or might be a lien by law but have not yet been levied, recorded in the Office of the County Clerk of Bernallillo.* (Affects subject property—*no survey motes*)

DOCUMENTS USED IN PREPARATION OF THIS SURVEY:

- [illegible]

FLOOD ZONE DETERMINATION

The subject property lies within a Zone X (Area of minimal flood hazard) flood hazard area as shown on the National Flood Insurance Program, Flood Insurance Rate Maps Panel 35001C0329 H dated August 16, 2012.

LEGEND

- | | | | |
|--|--------------------------|--|----------------------------|
| | Storm drain | | Electric Transformer |
| | Storm drain, manhole | | Traffic rule box |
| | Manhole | | Telephone handset |
| | Sanitary sewer manhole | | Traffic light post |
| | Manhole, cover provided | | Passenger/cargo light post |
| | Manhole, utility utility | | Utility box |
| | Sanitary sewer line | | Cable link, fence |
| | Storm sewer line | | Guard rail |
| | Storm drain inlet | | Light pole w/ 2 cone bases |
| | Power pole | | Rebar |
| | Guy wire | | Concrete symbol |
| | Overhead wire | | Gas meter |
| | Communications line | | Utility pedestal |
| | Cable television line | | Furn. optic pedestal |
| | Telephone line | | Sign |
| | Gas line | | Handicap parking sign |
| | Water drain electric | | Man |
| | Water line | | Telephone manhole |
| | Sanitary sewer clean-out | | Water manhole |
| | Water valve | | Electric manhole |
| | Hydrant | | |
| | Cable pedestal | | |
| | Electric pedestal | | |

ALTA/NSPS, LAND TITLE SURVEY OF
TRACT 155, UNIT 6
OF VARIOUS TRACTS ALLOTTED
FROM THE TOWN OF ATRISCO GRANT

THE TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 26 AND 27
TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JUNE , 2024

[illegible]

As contained in the Title Commitment prepared for this property by Dia Republic National Title Insurance Company Commitment Number 22402092, Effective Date: April 29, 2024.

[illegible]

On the North by land now or formerly of L
On the East by Botton Todd;
On the South by Wye and King Roads, and
On the West by Airport Road.

AS SURVEYED LEGAL DESCRIPTION

[illegible][illegible]

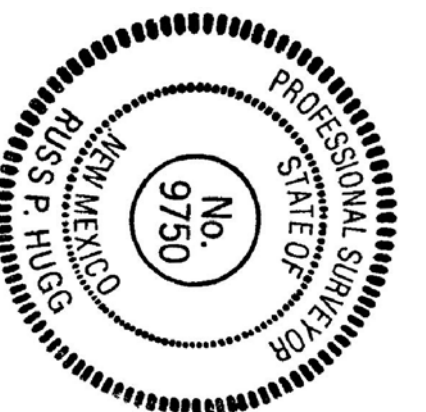
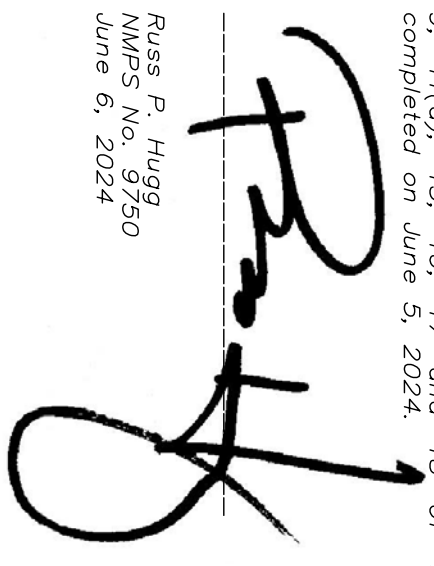
Said parcel contains 5.6214 Acres, more or less.

SURVEYORS CERTIFICATION

To: J & K Adventures LLC, a New Mexico limited liability company, Southside Church of God, a New Mexico non-profit corporation and Old Republic National Title Insurance Company

This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established on 9/10/01, 13, 16, 17 and 18 of Table A thereof. The field work was completed on June 5, 2024.

Russ P. Hugg
NMPS No. 9750
June 6, 2024



SITUATE WITHIN

JUNE , 2024

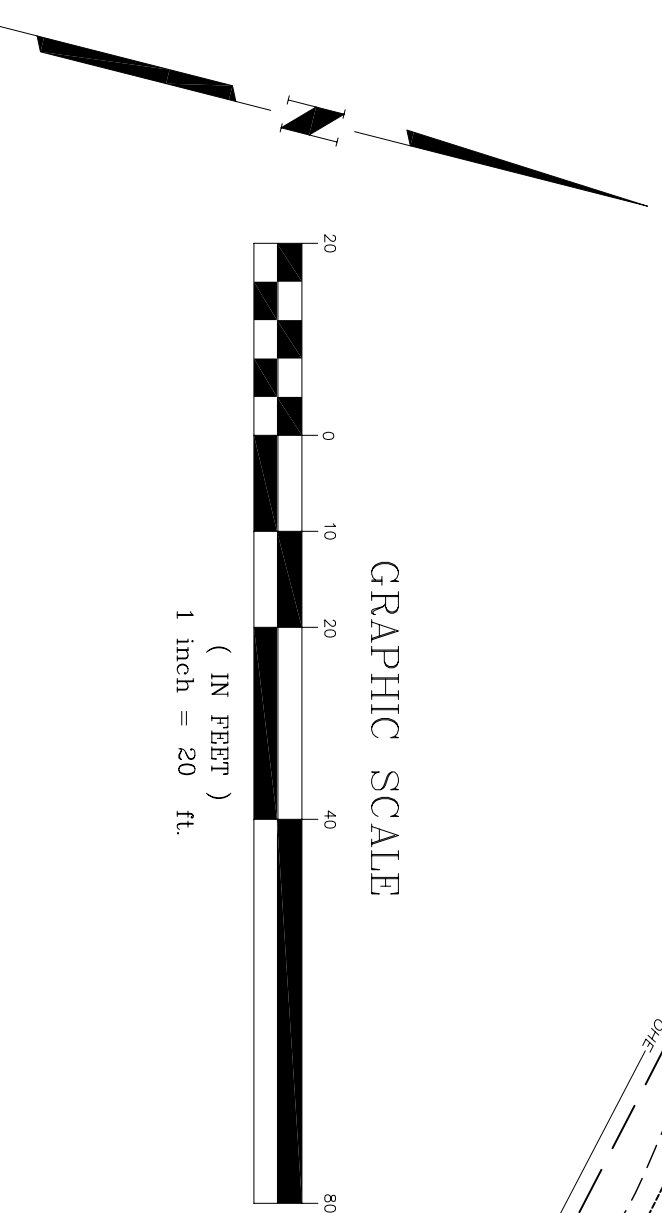


A circular professional engineer seal for Russ P. Hugg, State of New Mexico, No. 9750. The seal features the text "PROFESSIONAL ENGINEER" at the top, "STATE OF NEW MEXICO" on the left, and "No. 9750" in the center.

(IN FEET)
1 inch = 20 ft

SHEET 2 OF 3

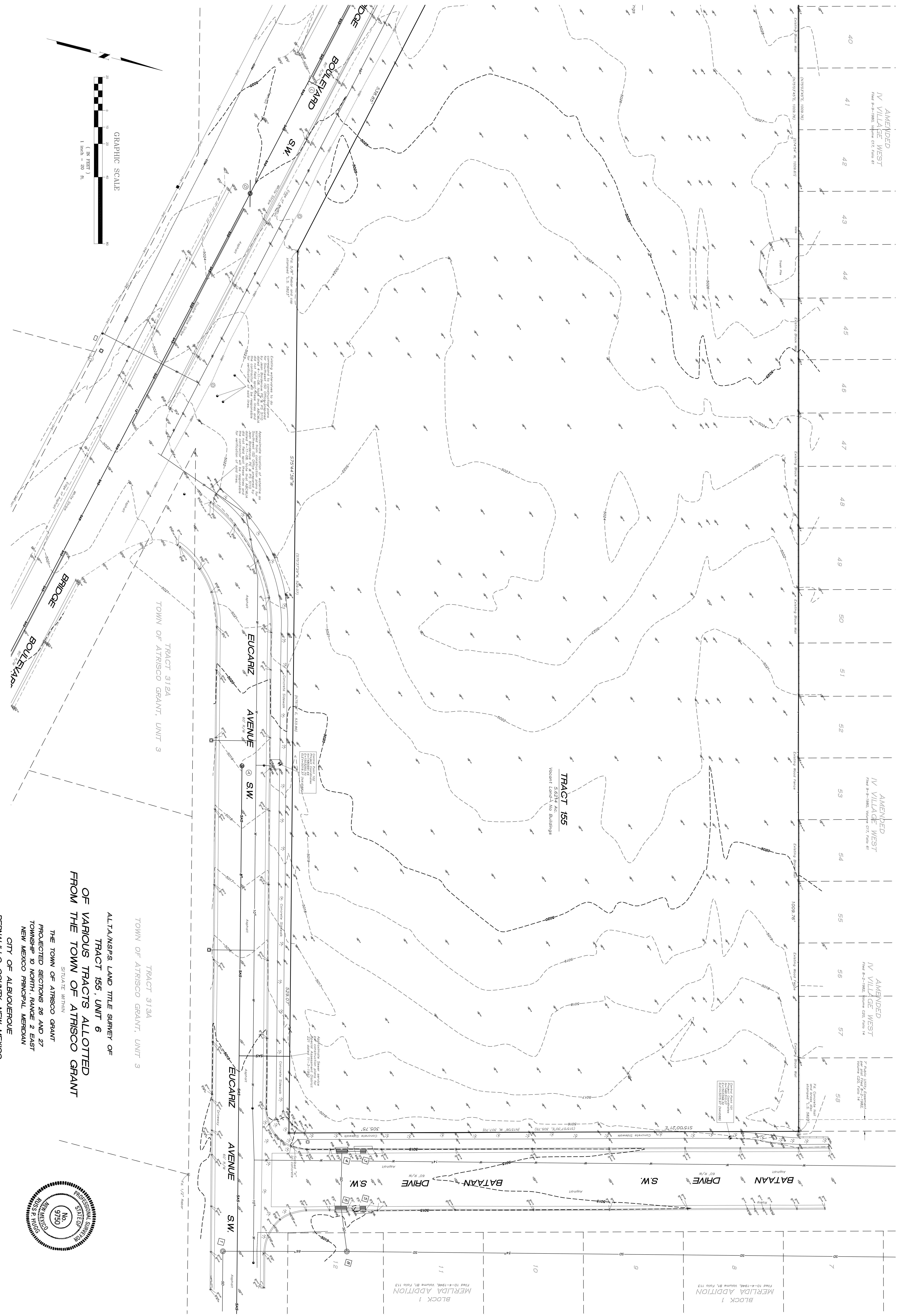
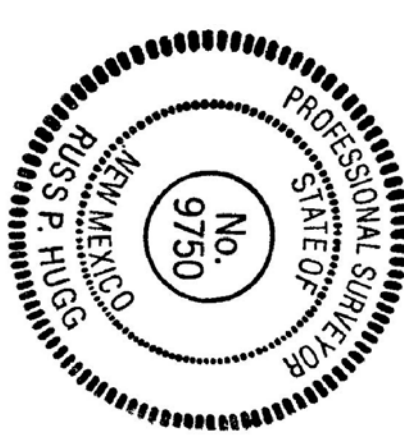
SURV  TEK, INC.

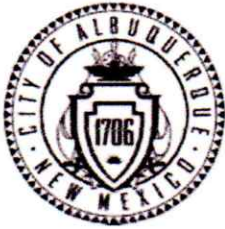


GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

ALTAMERPS LAND TITLE SURVEY OF
TRACT 155, UNIT 6
OF THE TOWN OF ATRISCO GRANT
FROM THE TOWN OF ATRISCO GRANT

THE TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 26 AND 27
TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE , 2024





Tim Keller, Mayor
Sarita Nair, CAO

City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

DATE: September 8, 2025

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2024-010887, AC-2025-00017
Agent: Scott Anderson
Applicant: Jay Shah
Legal Description: Tract 155 Unit 6 Atrisco Grant
Zoning: MX-T
Acreage: 5.86
Zone Atlas Page(s): L-10-Z and L-11-Z

CERTIFICATE OF NO EFFECT: ☒ Yes ☐ No

CERTIFICATE OF APPROVAL: ☐ Yes ☒ No

SUPPORTING DOCUMENTATION:

Historic Google Earth Images and ARMS/NMCRIS records

SITE VISIT: N/A

RECOMMENDATIONS:

The property has been surveyed under NMCRIS 159295 with no finds. Therefore:

CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 1 "an archaeological investigation has been conducted..."

SUBMITTED BY:

Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

9-8-2025

SUBMITTED TO:

Planning, Development Services