

PARADISE RV-PARK

Avalon Road / 102nd Street NW

Albuquerque, NM. 87120

(EPC) Submittal

Site Development Plan For Building Permit

Project No. 1008830

July 2012

(Revised 2022)

(Revised 2024)

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PROJECT DATA

LEGAL DESCRIPTION

TRACTS 5
ROW TWO (2), UNIT A WEST OF WESTLAND
WITHIN THE TOWN OF ATRISCO GRANT SECT. 20, T10N, R2E, NMPM
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

AREA SUMMARY:

GROSS BUILDING AREA: 5 PRE- FAB LOG CABINS @ 468SF=2340 SF
GROSS BUILDING AREA: LODGE 2 STORY BUILDING = 26360.5 SF
GROSS DENSITY OF RV IS 15 RV'S PER ACRE

CODE INFORMATION:

INTERNATIONAL BUILDING CODE, IBC-2009
* NFPA 1194:
STANDARD FOR RECREATIONAL VEHICLE PARKS
AND CAMPGROUNDS 2011 EDITION
* THE DEVELOPMENT SHALL COMPLY WITH THE
AREA LIGHTING REGULATIONS, 14-16-3-9 OF
THE ZONING CODE.
EXISTING ZONE: SU-1 C2 INCLUDING CAMP
GROUND
ZONING: SU-1
ZONE ATLAS MAP: K-8-Z

PROPOSED ZONE

SU-1 FOR MIXED USE TO INCLUDE RV- PARK
LODGE & RV STORAGE

PHASE II

- (52'-0") LARGE RV SPACES (L) = 0
- (38'-6") MEDIUM RV SPACES (M) = 75
- (30'-0") SMALL RV SPACES (S) =

TOTAL = 75

RV STORAGE = 9 SPACES
LOG CABINS = 5

GROSS BUILDING AREA:
5 PRE- FAB LOG CABINS @ 468SF=4680 SF

PARKING TABULATION

CAR PARKING SPACES = 40 TOTAL
ADA PARKING SPACES = 3
BIKE RACK = 4 BIKES
RV STORAGE = 9
LOG CABINS = 5
MOTORCYCLE PARKING = 5

PHASE III

LODGE:

14 EFFICIENCIES + 2 ADA= 16 EFFICIENCIES

18 SUITES+ 2 ADA= 20 SUITES

TOTAL = 36 UNITS

GROSS BUILDING AREA:
LODGE 2 STORY BUILDING = 26360.5 SF

PARKING TABULATION

CAR PARKING SPACES = 40 TOTAL

APPROVED - AEHD

SIGNATURE

DATE

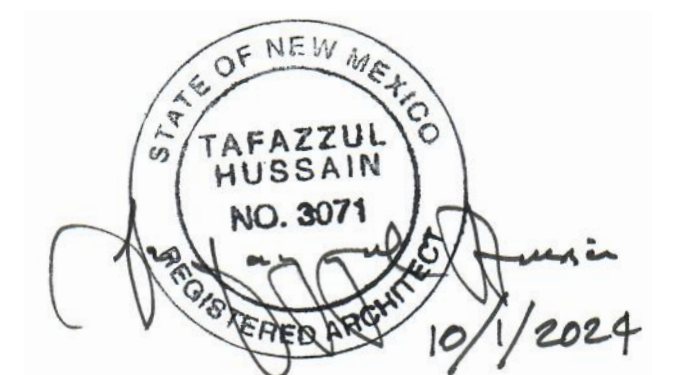
PROJECT TEAM

ARCHITECT: TAFAZZUL HUSSAIN
AFRA CONSTRUCTION AND DESIGN
2501 YALE BLVD, SUITE 102
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email: adil1424@yahoo.com

LANDSCAPE: MITCHELL ASSOCIATES INC
CELL: (505) 639-9583

CONTACT: DANNY MITCHELL
email: danny@mitchellassociatesinc.com



COVER SHEET

Afra Construction & Design

2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1745
Fax 505.242-1737

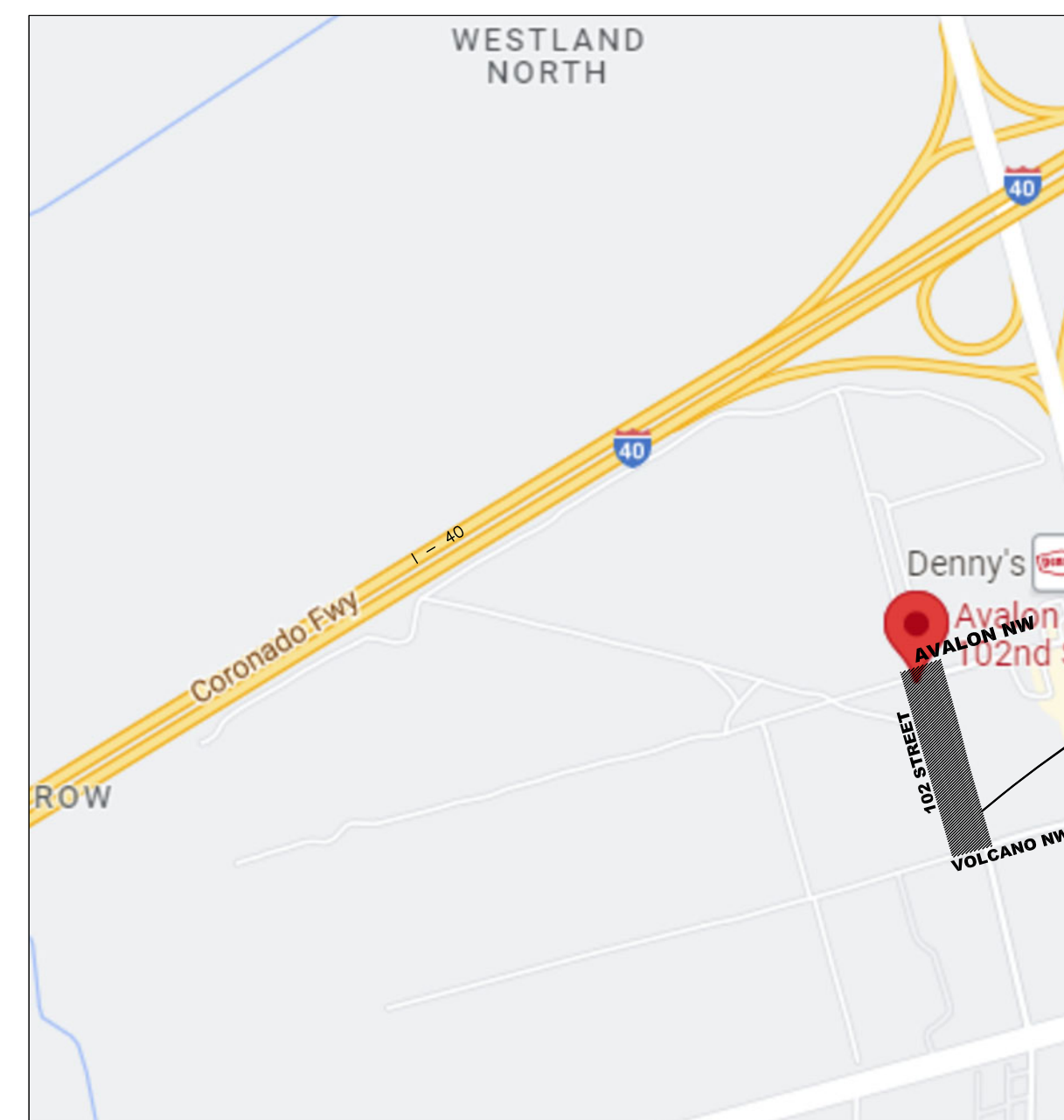
Paradise RV Park

Avalon Rd/ Leonidas Ln, NW
Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

CS-1

MARCH / 2024



SITE
LOCATION

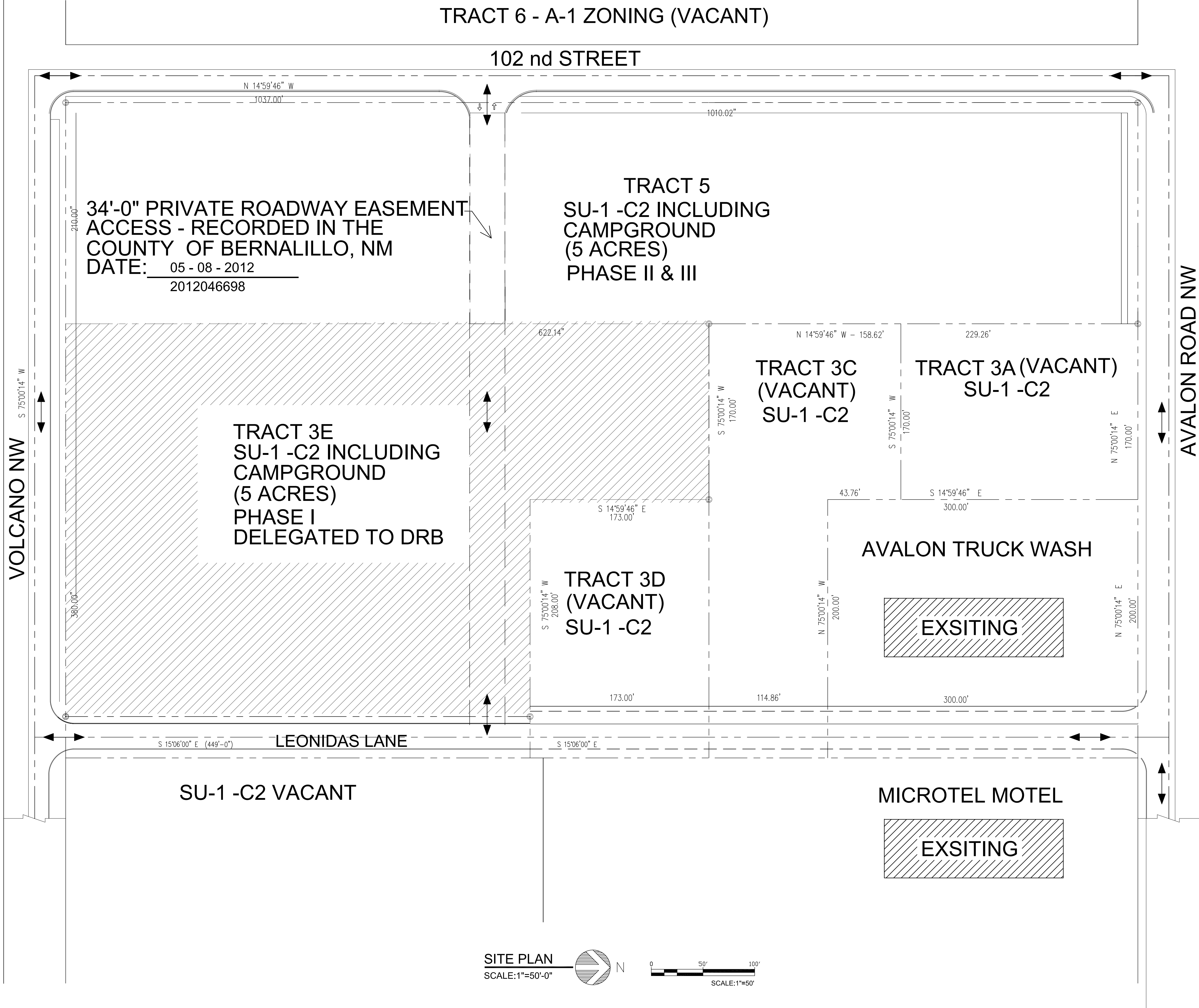
LOCATION MAP

ZONE ATLAS: K-8-Z

N.T.S



AFRA CONSTRUCTION & DESIGN 2501 Yale Blvd. SE Suite 102 Albuquerque, NM 87106 505-242-1745



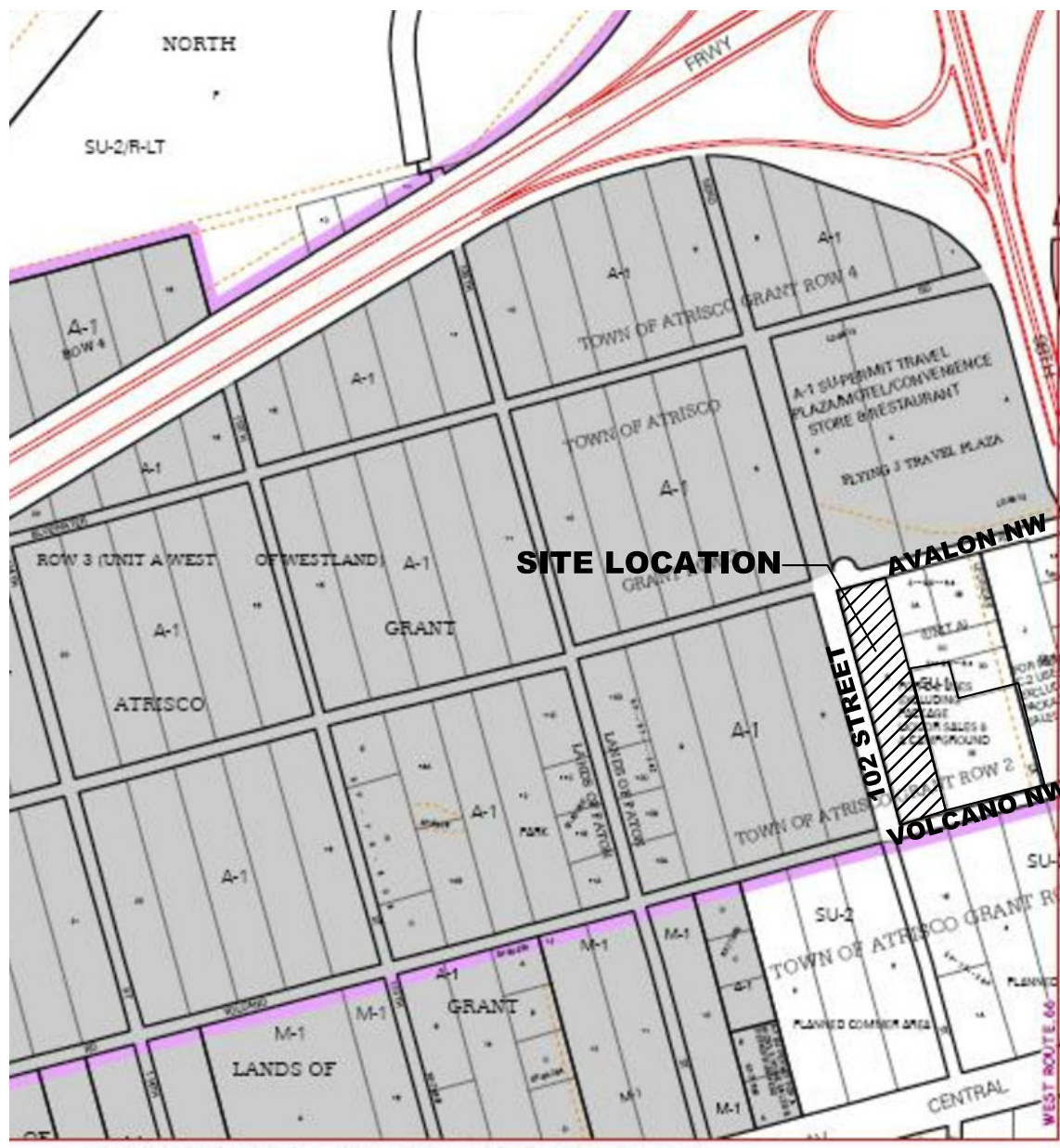
SITE PLAN
SCALE: 1"=50'-0"

0 50' 100'
SCALE: 1"=50'

GENERAL NOTES

PROPOSED ROUTES
VEHICULAR INGRESS/EGRESS POINTS

PROPERTY LINE



VICINITY MAP

ZONE ATLAS: K-8-Z N.T.S.

PROJECT NUMBER: 1008830

APPLICATION NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
CODE ENFORCEMENT	DATE

SITE DEVELOPMENT FOR BUILDING
PERMIT APPROVAL
EXISTING ZONING + LAND USE



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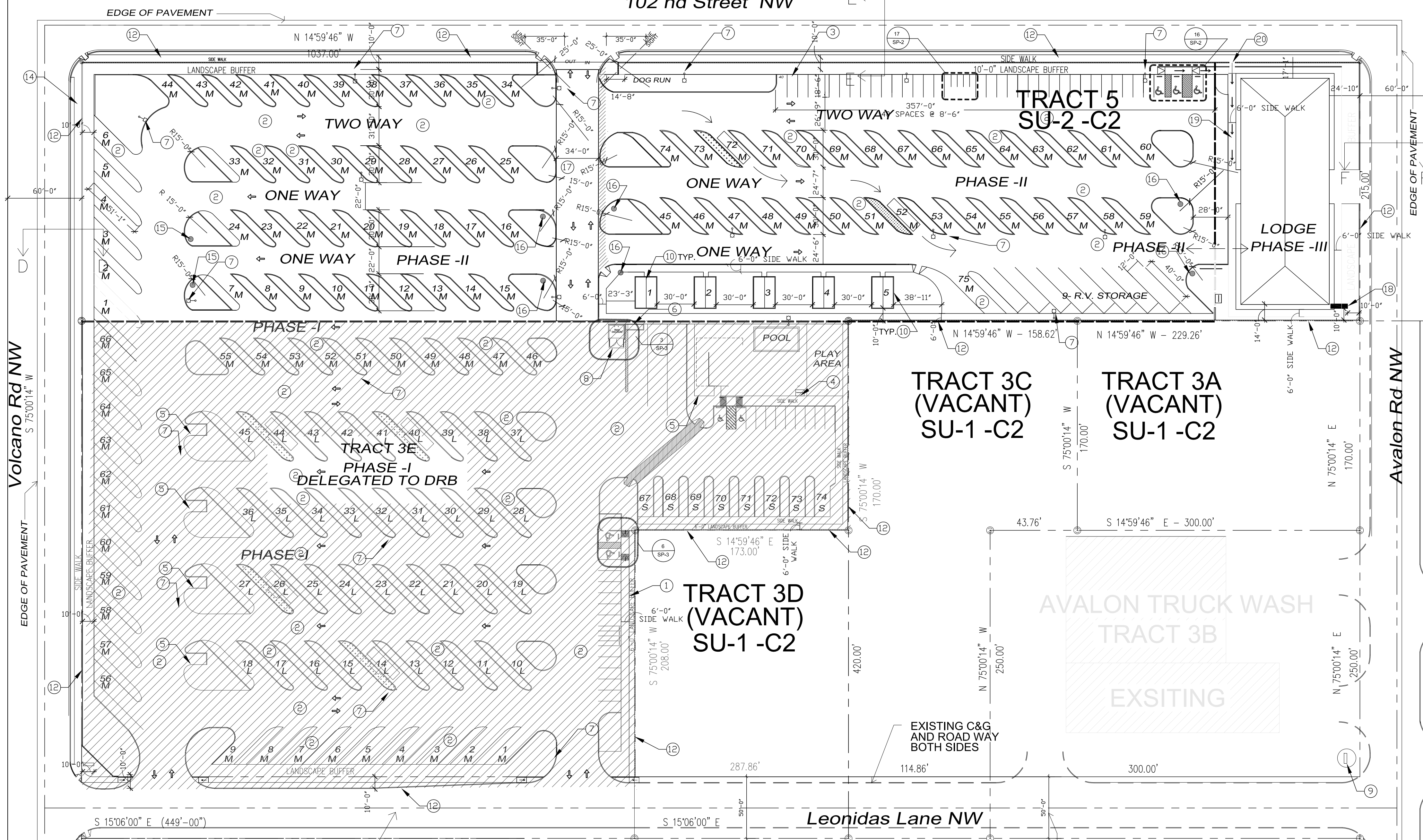
REV	DATE	DESCRIPTION	APVD
1			
2			
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SP-1

MARCH / 2024

TRACT 6 (VACANT)

102 nd Street NW



KEYED NOTES

1. CONCRETE CURB- SEE DETAIL 2/SP-03 PART OF PHASE I CONSTRUCTION.
2. ASPHALT PAVING PART OF PHASE I CONSTRUCTION.
3. ADA PARKING SEE 6/SP-03 PART OF PHASE I CONSTRUCTION.
4. BIKE RACK FOR 4 BIKES - SEE DETAIL 1/SP-03 PART OF PHASE I CONSTRUCTION.
5. PARKING SPACE.
6. RECYCLE PAD 5'-0"x15'-0", FENCED PART OF PHASE I CONSTRUCTION.
7. PARKING LOT LIGHTING -SEE DETAIL 4/SP-03 PART OF PHASE I CONSTRUCTION.
8. TRASH ENCLOSURE - SEE DETAIL 3/SP-03 PART OF PHASE I CONSTRUCTION.
9. EXISTING PYLON SIGN SEE DETAIL 9/SP-03 PART OF PHASE I CONSTRUCTION.
10. PRE- FABRICATED LOG HOUSE 468 SF EA ON PERMANENT FOUNDATION REF. TO 1/A-01 & 2/A-01 FOR ELEV.
11. LODGE -REFER TO 1/A02 & 2/A02 FOR ELEVATIONS
12. 8" CMU FENCE WALL 6'-0" TALL SEE DETAIL 12/SP-03
13. CONCRETE CURB.
14. 10'-0" UTILITY EASEMENT
15. DO NOT ENTER SIGNAGE
16. ONE WAY SIGNAGE
17. 34'-0" PRIVATE ACCESS EASEMENT DOC 2012046658 05/08/201218.
18. NEW PYLON SIGN TWO FACES SEE DETAIL 9/SP-03.
19. 6'-0" WIDE ADA ACCESSIBLE PATHWAY FROM ADA PARKING STALLS TO THE BUILDING G ENTRANCE.
20. 6'-0" WIDE OPENING WITH SLIDING GATE TO REMAIN UNLOCKED DURING BUSINESS HOURS.

DPM STANDARD NOTE:

1. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT NOT LIMITED TO SIDEWALKS (STD. DWG. 2430), DRIVEWAYS (STD. DWG. 2425), PRIVATE ENTRANCES (STD. DWG. 2426) AND WHEEL CHAIR RAMPS (STD. DWG.2441).

PHASE II

1. (52'-0") LARGE RV SPACES (L) = 0
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- TOTAL = 75

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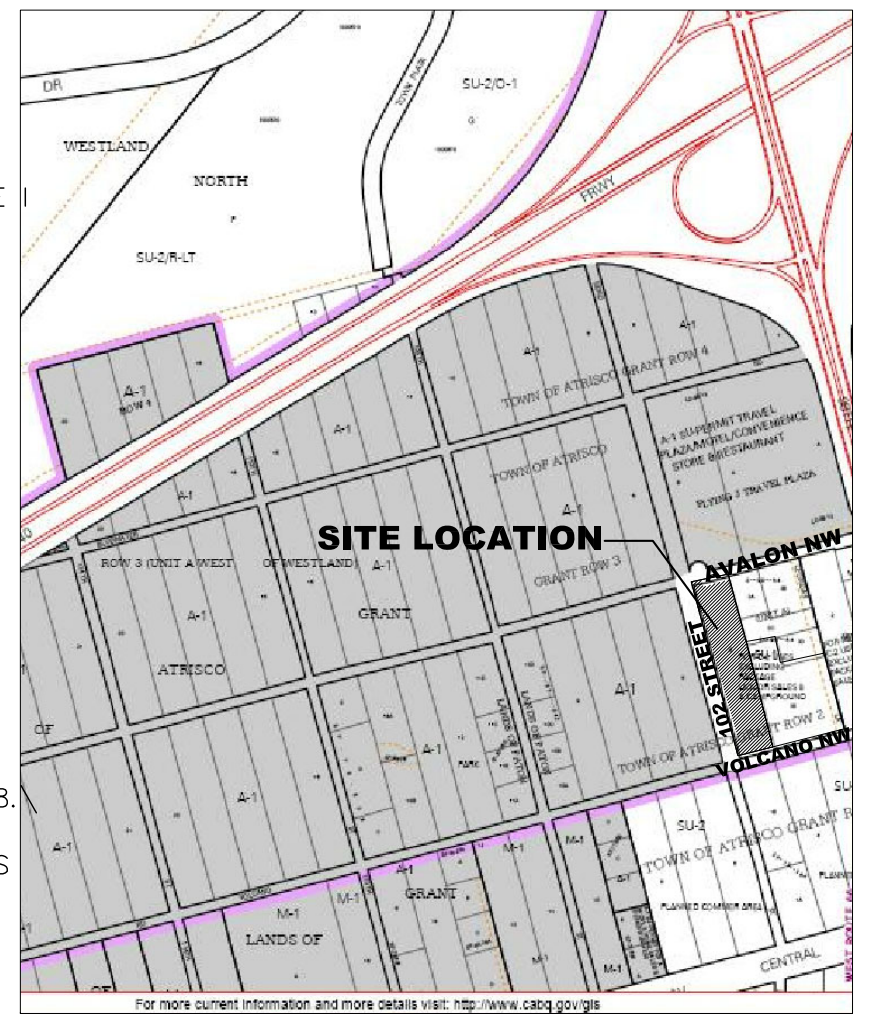
GROSS BUILDING AREA:
LODGE 2 STORY BUILDING
= 26360.5 SF

PARKING TABULATION

36 UNITS WITH 1 BATHROOM EACH
1.25 PARKING PER UNIT.
36 UNITS X 1.25 = 45 PARKING SPACES REQD.
45 PARKING SPACES PROVIDED.

GENERAL NOTES

1. RV USERS SHALL NOT EXCEED MAXIMUM OF 21 DAYS OF STAY.
2. THE CLUB HOUSE FACILITIES BUILT UNDER PHASE I IS ADEQUATE FOR PHASE II RV USERS.



LOCATION MAP
ZONE ATLAS: K-8-Z

PROJECT NUMBER 1008830

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WATER UTILITY DEPARTMENT	DATE
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CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
CODE ENFORCEMENT	DATE

NOTE:
MAINTENANCE OF PUBLIC OPEN SPACE AMENITIES SHALL BE THE RESPONSIBILITY OF THE OWNER.

NOTE:
SITE LIGHTING TO COMPLY WITH AREA LIGHTING REGULATIONS 14-16-3-9- OF THE ZONING CODE.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT PHASE I, II & III

Afra Construction & Design

2501 Yale Blvd, Suite 102
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Tel 505.242.1745
Fax 505.242.1737

Paradise RV Park

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Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

SP-2

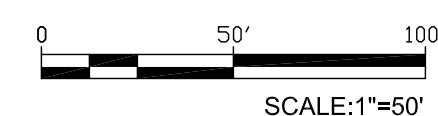
MARCH 10, 2024

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

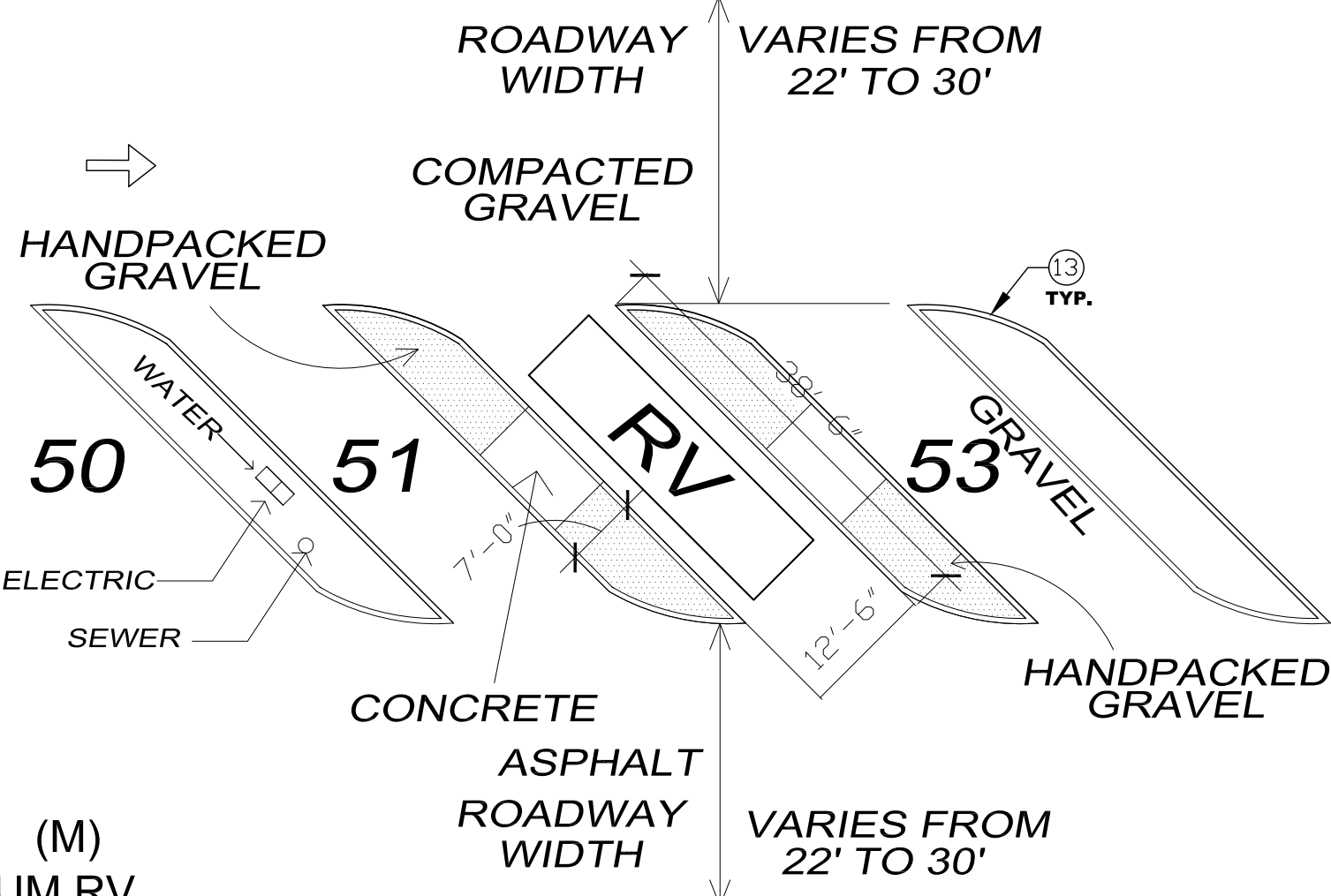
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GRAPHIC SCALE



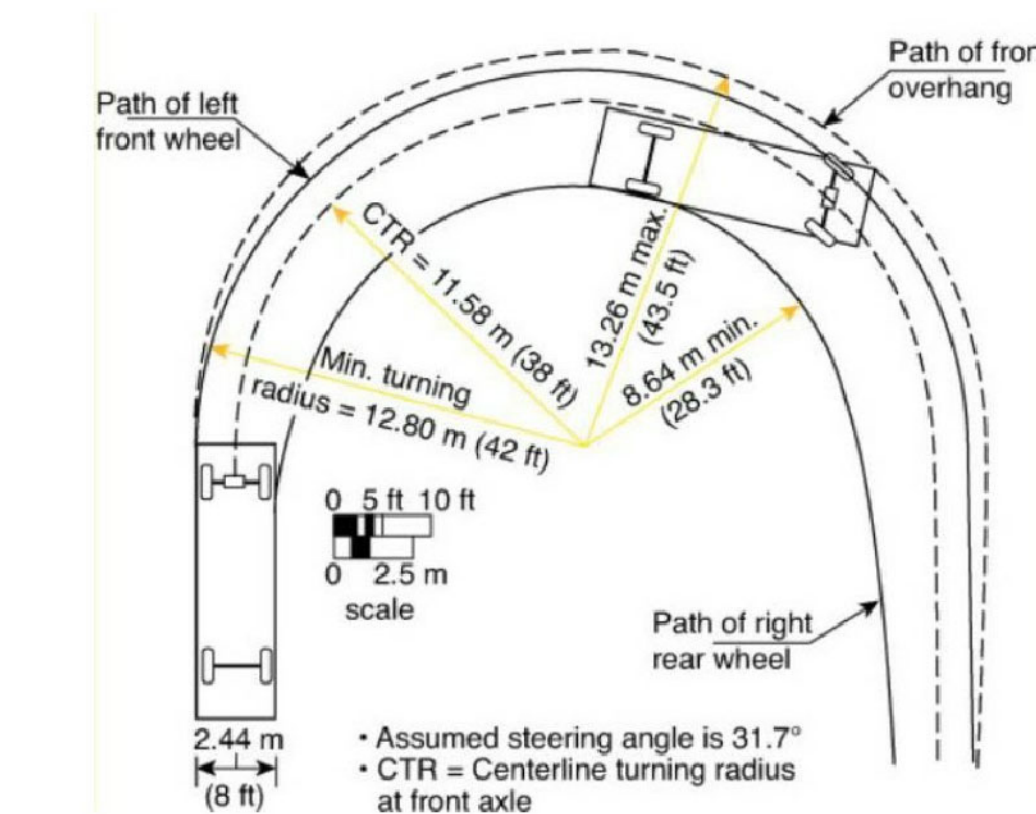
SCALE:1"=50'



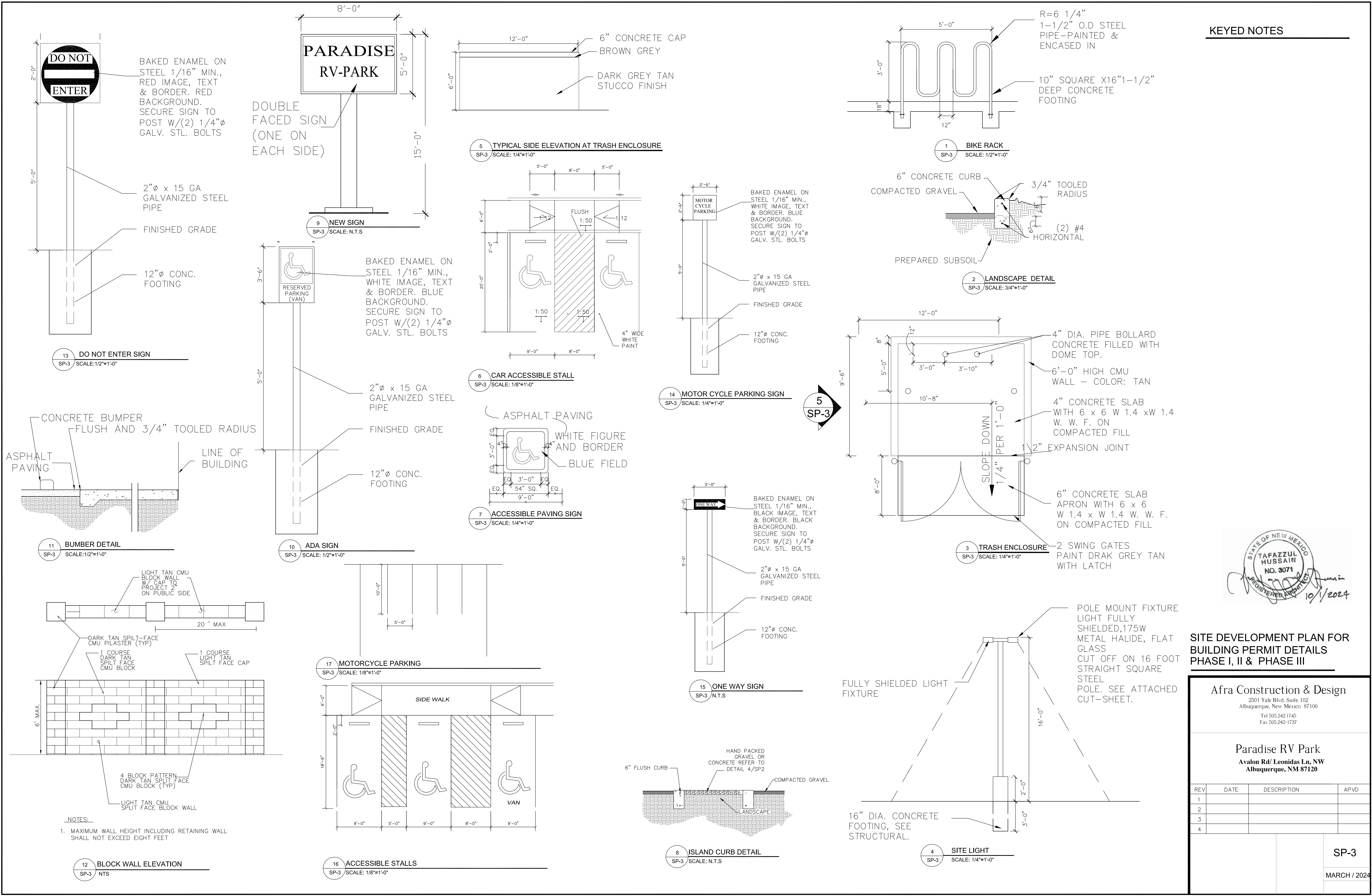
(M)
MEDIUM RV
TOTAL R.V AREA = 800 SF
SCALE:1/16"=1'-0"

50' PRIVATE ACCESS, PUBLIC WATER SEWER AND DRAINAGE EASEMENT. SEE SECTION A-A FOR TYPICAL SECTION DETAIL

RECORDED ON 10/01/1998
DOC # 1998126535
BOOK 98c, PAGE -291
SHEET 2 OF 2



1 RV CENTERLINE TURNING RADIUS
SP-2 N.T.S TEMPLATE



KEYED NOTES

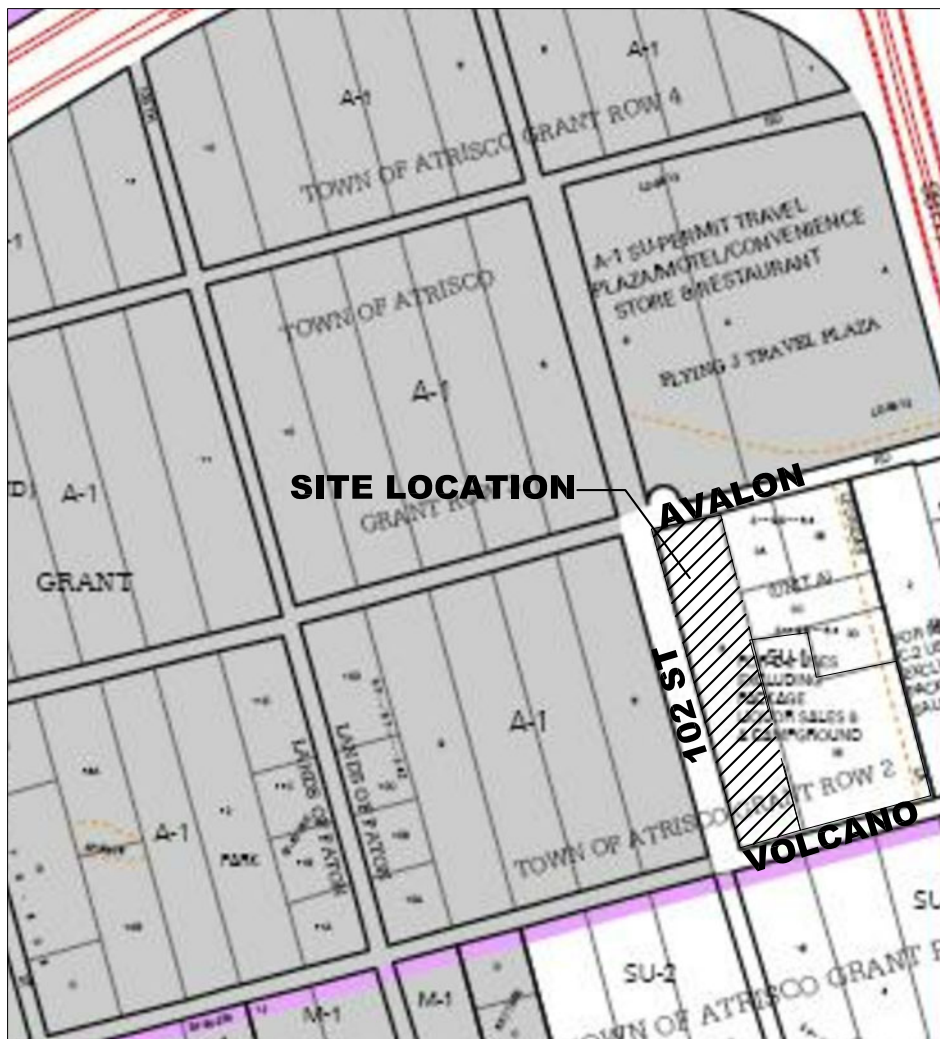
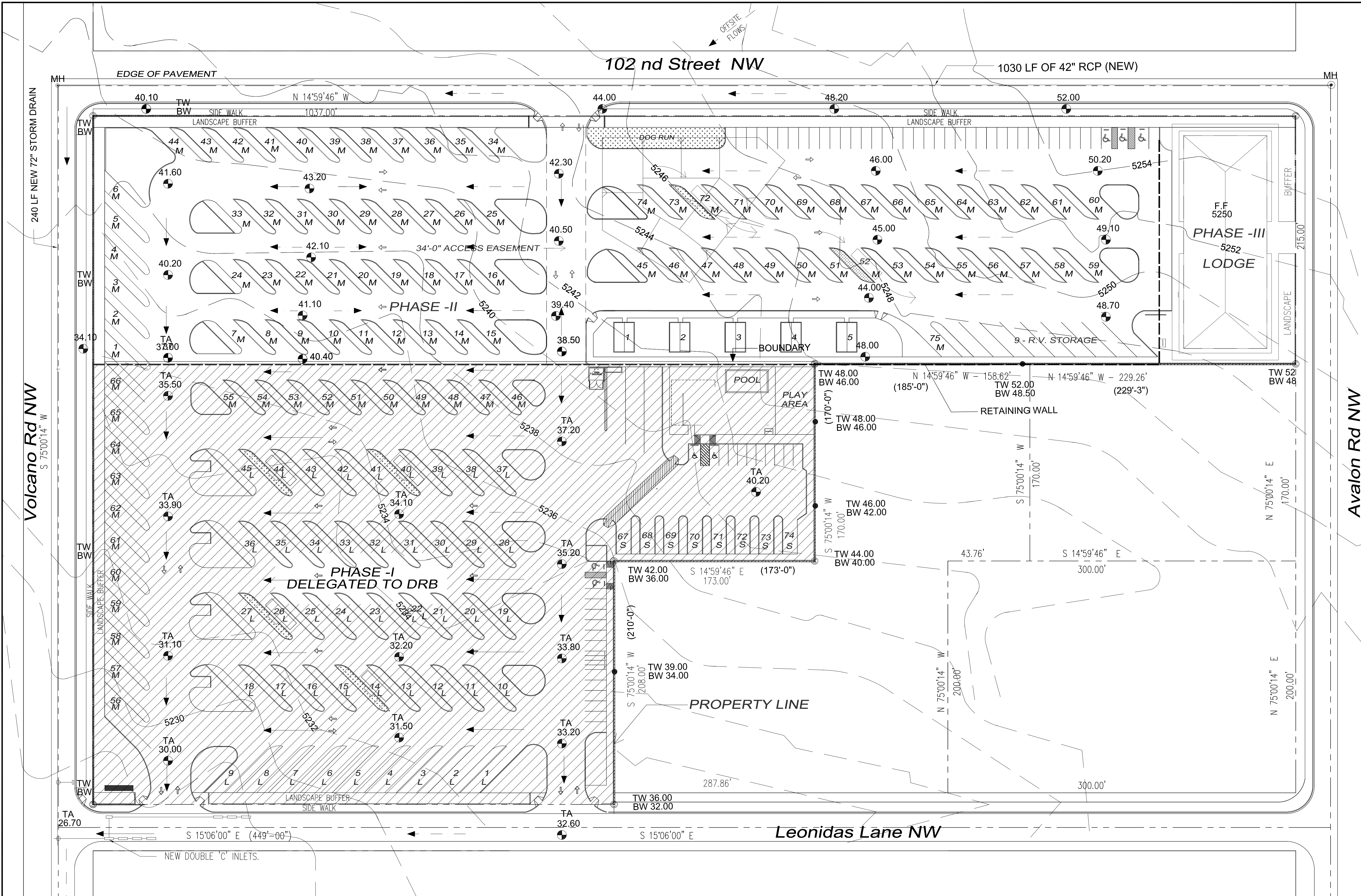
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT DETAILS PHASE I, II & PHASE III

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1			
2			
3			
4			

SP-3
MARCH / 2024



VICINITY MAP ZONE ATLAS K-8

LEGEND

- PROPERTY LINE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- PROPOSED DIRECTION OF FLOW
- SPOT ELEVATION (5245)
- EXISTING CONTOUR LINE
- RETAINING WALL
- PROPOSED CURB + GUTTER
- PHASE 1 - CONSISTING 74 RV UNITS AND CLUB HOUSE DELEGATED TO DRB FOR SITE DEVELOPMENT PLAN

CONCEPTUAL GRADING PLAN

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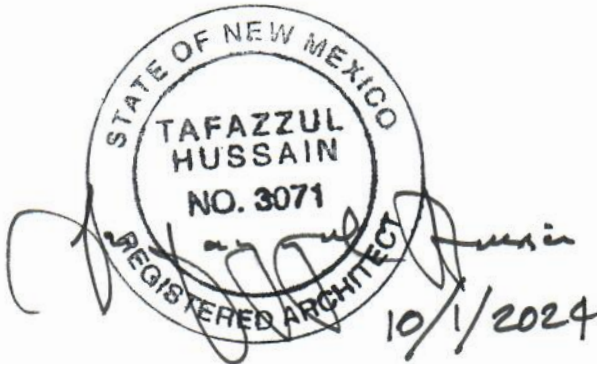
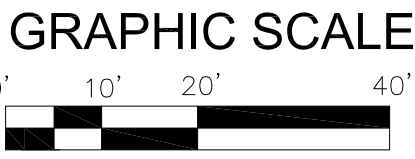
Paradise RV Park
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REV	DATE	DESCRIPTION	APVD
1			
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C-01

04.20.2012

SITE PLAN
SCALE: 1"=40'-0"



KEY NOTE

- (A) NEW 8" SAS
(B) NEW 10" WATER LINE
(C) NEW 6" SAS
(D) NEW 4"- 6" WATER LINE
(E) EXISTING 10" WATER LINE
(F) EXISTING 8" SAS
(G) NEW 4"-6" SAS

LEGEND

- MANHOLE
● CLEAN OUT
▨ PHASE I NOT PART OF THIS SUBMITTAL

CONCEPTUAL UTILITY PLAN

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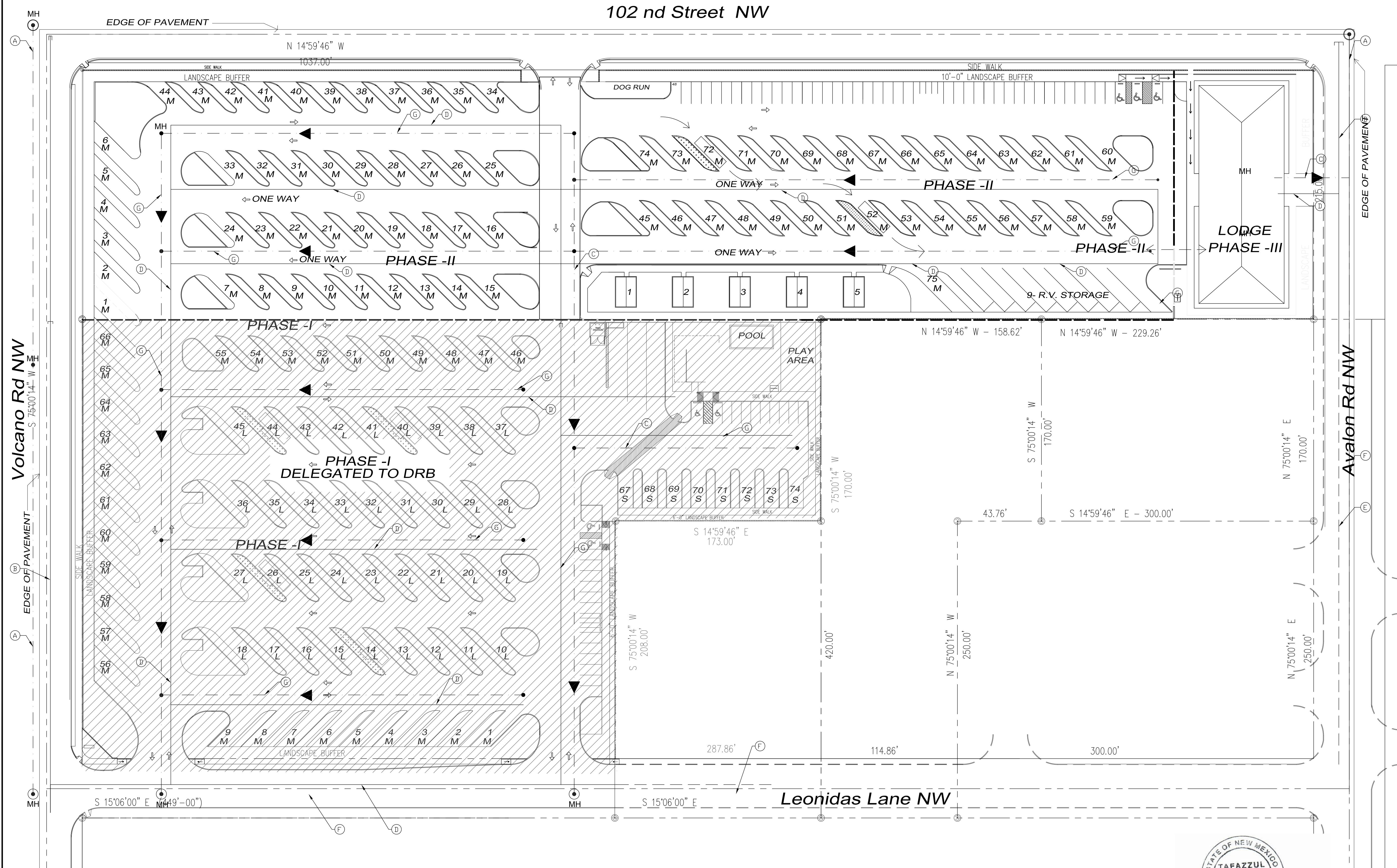
Paradise RV Park

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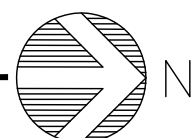
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C-02

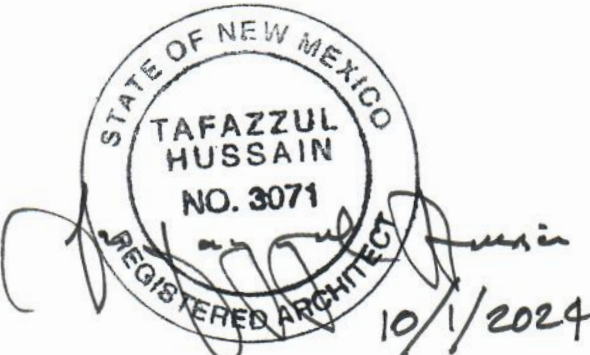
04.20.2012

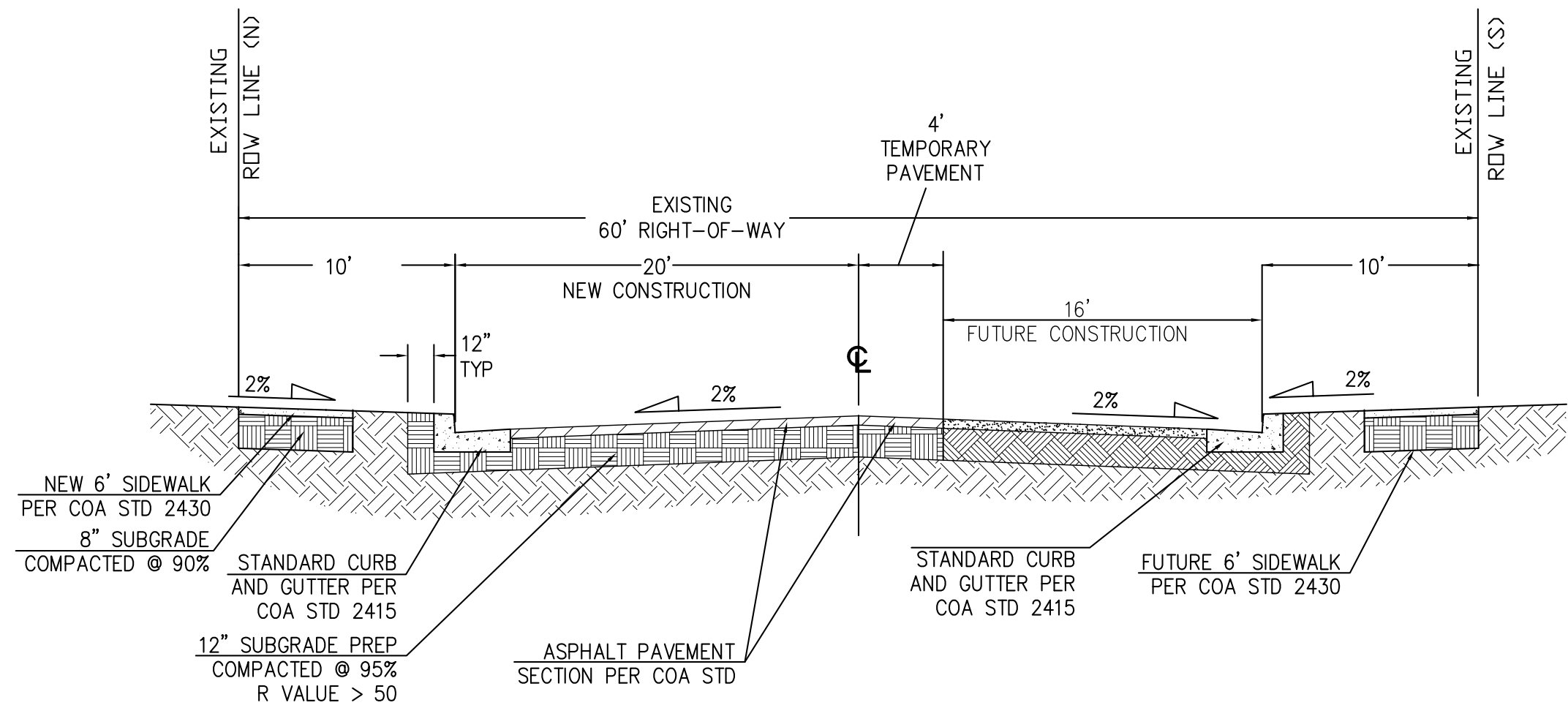


SITE PLAN
SCALE:1"=40'-0"



GRAPHIC SCALE

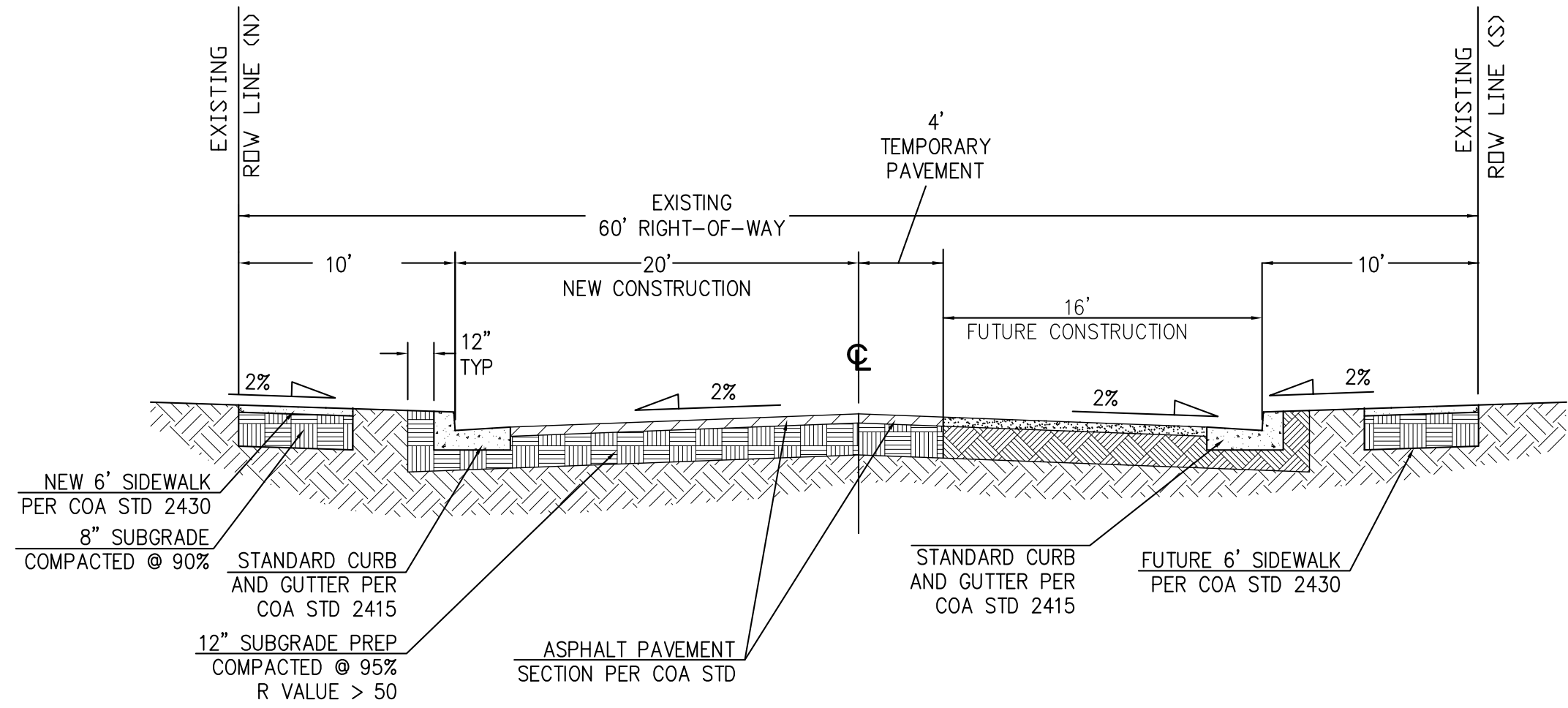




VOLCANO ROAD NW FROM WEST PROPERTY LINE OF TRACT 3E TO CENTER OF 102nd STREET

N. T. S. SECTION D-D

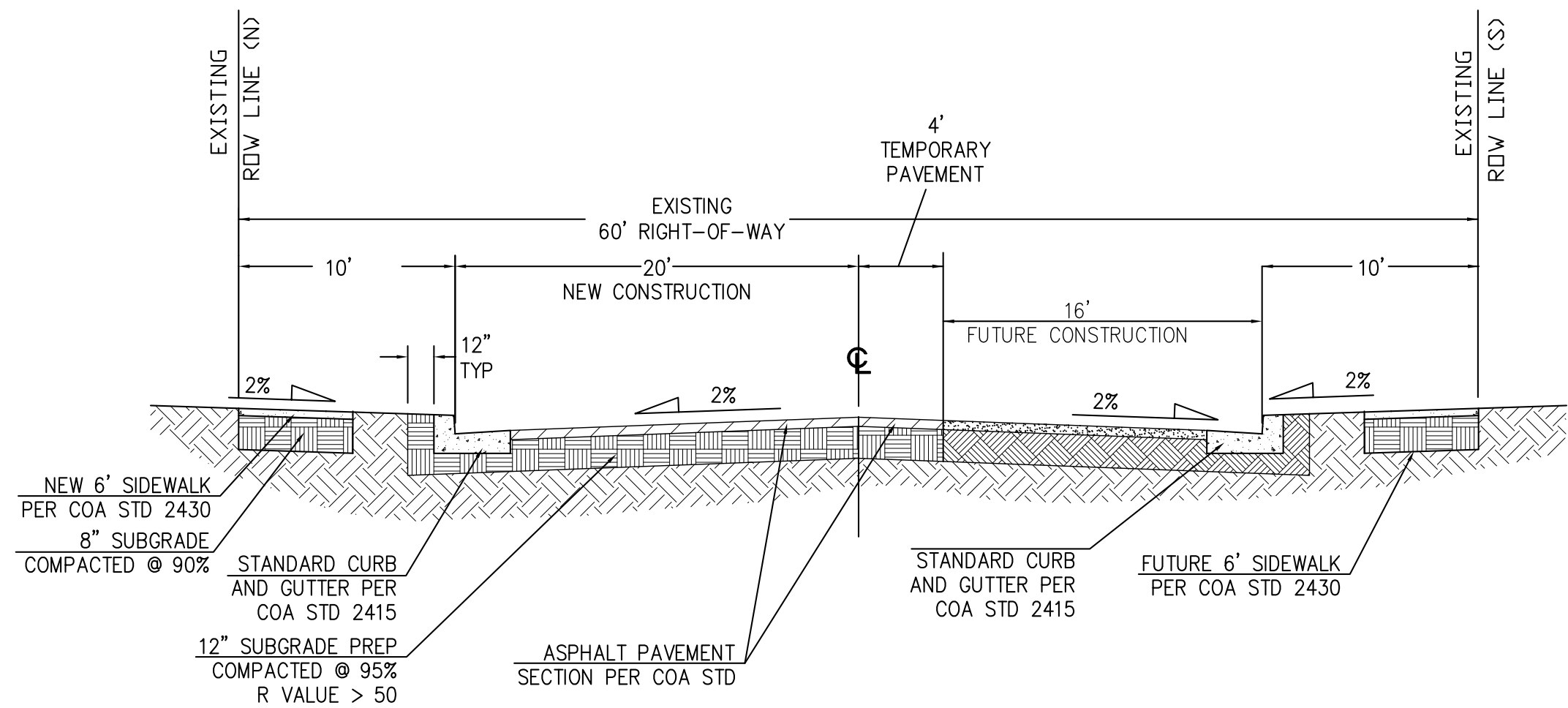
PHASE II & IIII



102nd STREET FROM VOLCANO AVE TO AVALON AVE.

N. T. S. SECTION E-E

PHASE II & IIII



AVALON ROAD FROM 102nd ST TO EAST PROPERTY LINE OF TRACT 5

N. T. S. SECTION F-F

PHASE II & IIII



TYPICAL OFFSITE ROADWAY SECTIONS

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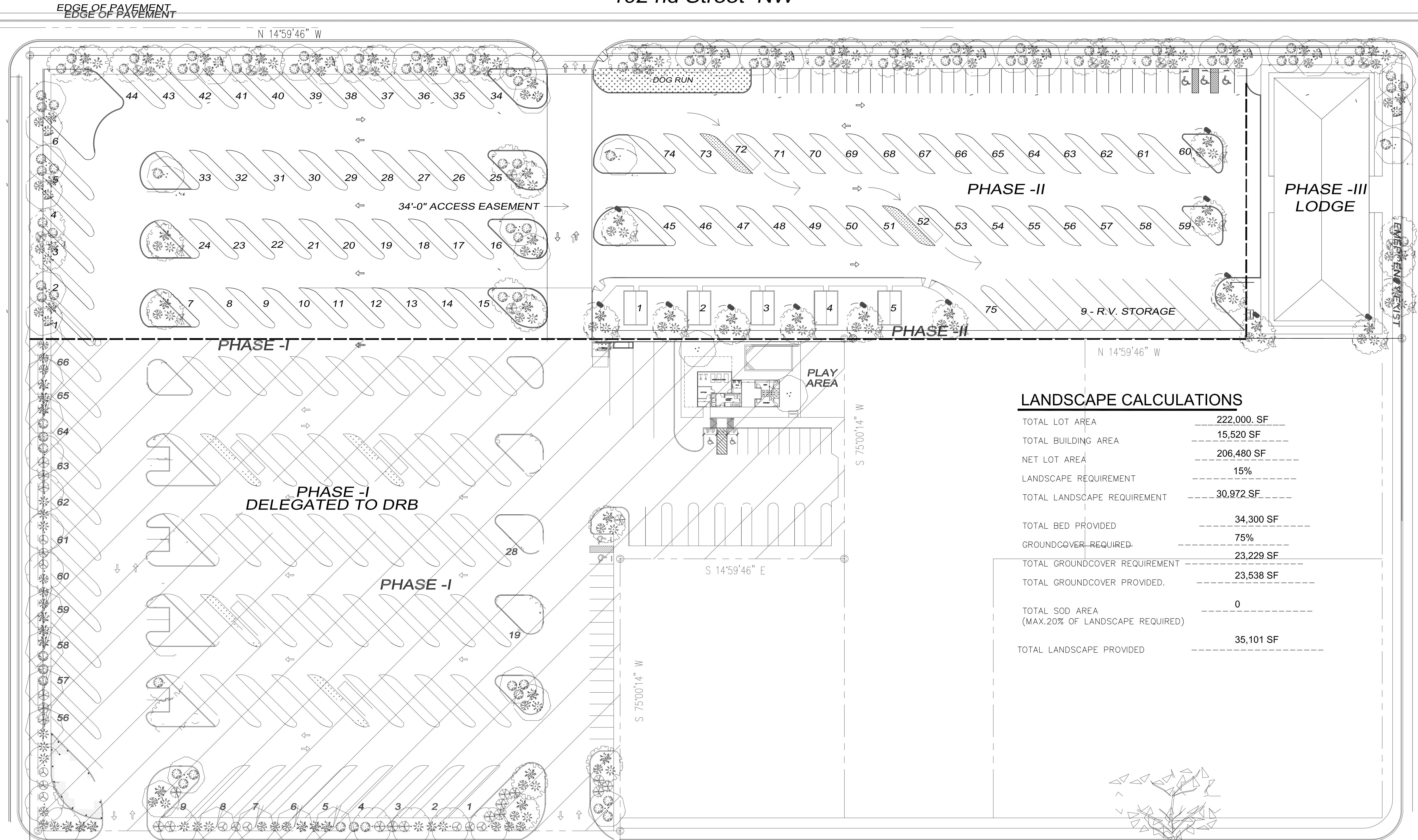
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C-03

05.05.2011



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	222,000. SF
TOTAL BUILDING AREA	15,520 SF
NET LOT AREA	206,480 SF
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	30,972 SF
TOTAL BED PROVIDED	34,300 SF
GROUNDCOVER REQUIRED	75%
TOTAL GROUNDCOVER REQUIREMENT	23,229 SF
TOTAL GROUNDCOVER PROVIDED	23,538 SF
TOTAL SOD AREA (MAX.20% OF LANDSCAPE REQUIRED)	0
TOTAL LANDSCAPE PROVIDED	35,101 SF

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

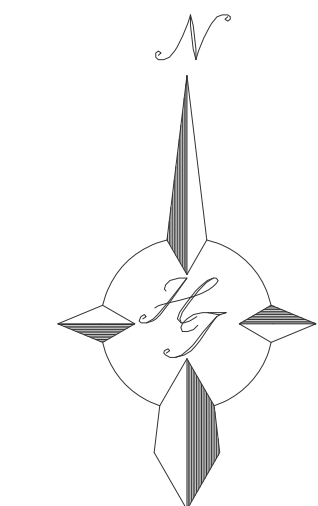
- COMMON HACKBERRY
Celtis occidentalis
2" Cal., 12'-14' Inst./40' x 40' maturity
Water (M) Allergy (L) Osf
- CHITALPA
Chilopsis x Catalpa
2" Cal., 12'-14' Inst./30' x 30' maturity
Water (M) Allergy (L) Osf
- AUTUMN BLAZE MAPLE
Acer x Freemanii 'Autumn Blaze'
2" Cal., 12'-14' Inst./40' x 50' maturity
Water (M) Allergy (L) Osf
- SYCAMORE
Platanus spp.
2" Cal., 12'-14' Inst./60' x 70' maturity
Water (M+) Allergy (H) Osf

GROUNDCOVERS

- BUFFALO JUNIPER
Juniperus sabinia 'Buffalo'
5 Gal., 24"-4' Inst./2' x 8' maturity
Water (L+) Allergy (L) 64sf
- WINTER JASMINE
Jasminum nudiflorum
1 Gal., 6'-15" Inst./4' x 12' maturity
Water (L+) Allergy (L) 144sf
- TRUMPET VINE
Campsis radicans
1 Gal., 8'-15" Inst./climbing to 40'
Water (M) Allergy (L)
Unstaked-Groundcover
- BLUE CHIP JUNIPER
Juniperus horizontalis 'Blue Chip'
5 Gal., 24"-4' Inst./10' x 8' maturity
Water (L+) Allergy (H) 64sf
- LADY BANKS ROSE
Rosa banksiae
5 Gal., 24"-4' Inst./3' x 20' maturity
Water (M) Allergy (L) 400sf
Unstaked Groundcover
- HONEYSUCKLE
Lonicera japonica 'Halliana'
1 Gal., 6'-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf

HARDSCAPES

- COMMERCIAL GRADE
STEEL EDGE
- 3/4" GRAY GRAVEL
WITH FILTER FABRIC
TO A MINIMUM 3" DEPTH
- SOD TURF WITH
POP-UP HEADS
- * DENOTES EVERGREEN PLANT MATERIAL



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

GRAPHIC SCALE



SCALE: 1"=40'

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: LEONIDAS

Required 10 Provided 10

Name of Street: VOLCANO

Required 20 Provided 20

Name of Street: 102nd

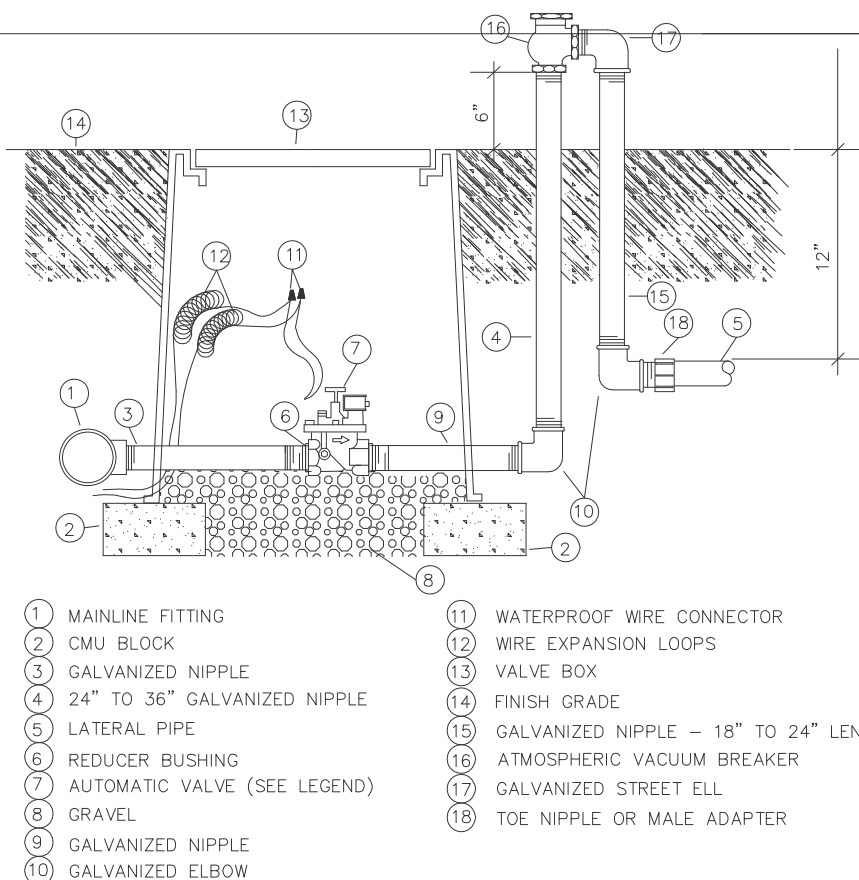
Required 32 Provided 32

Name of Street: AVALON

Required 4 Provided 4

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

Leonidas Ln



TREE PLANTING DETAIL

NTS

GENERAL NOTES:

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- TREE
- BACKFILL WITH EXISTING SOIL.
- 3" DEPTH OF GRAVEL MULCH.
- UNDISTURBED SOIL.

Afra Construction & Design

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Paradise RV Park

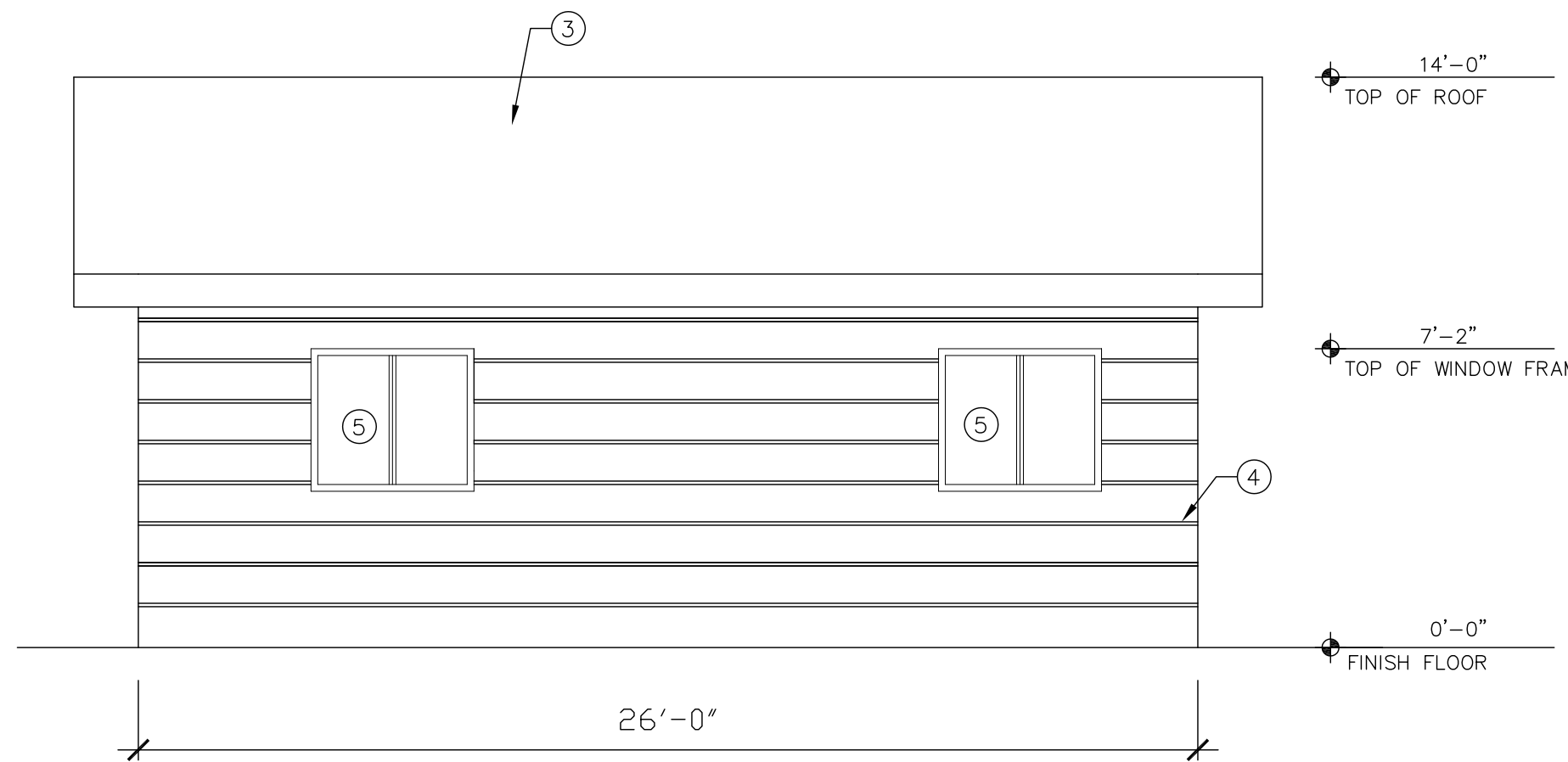
Avalon Rd/ Leonidas Ln
Albuquerque, NM 87120

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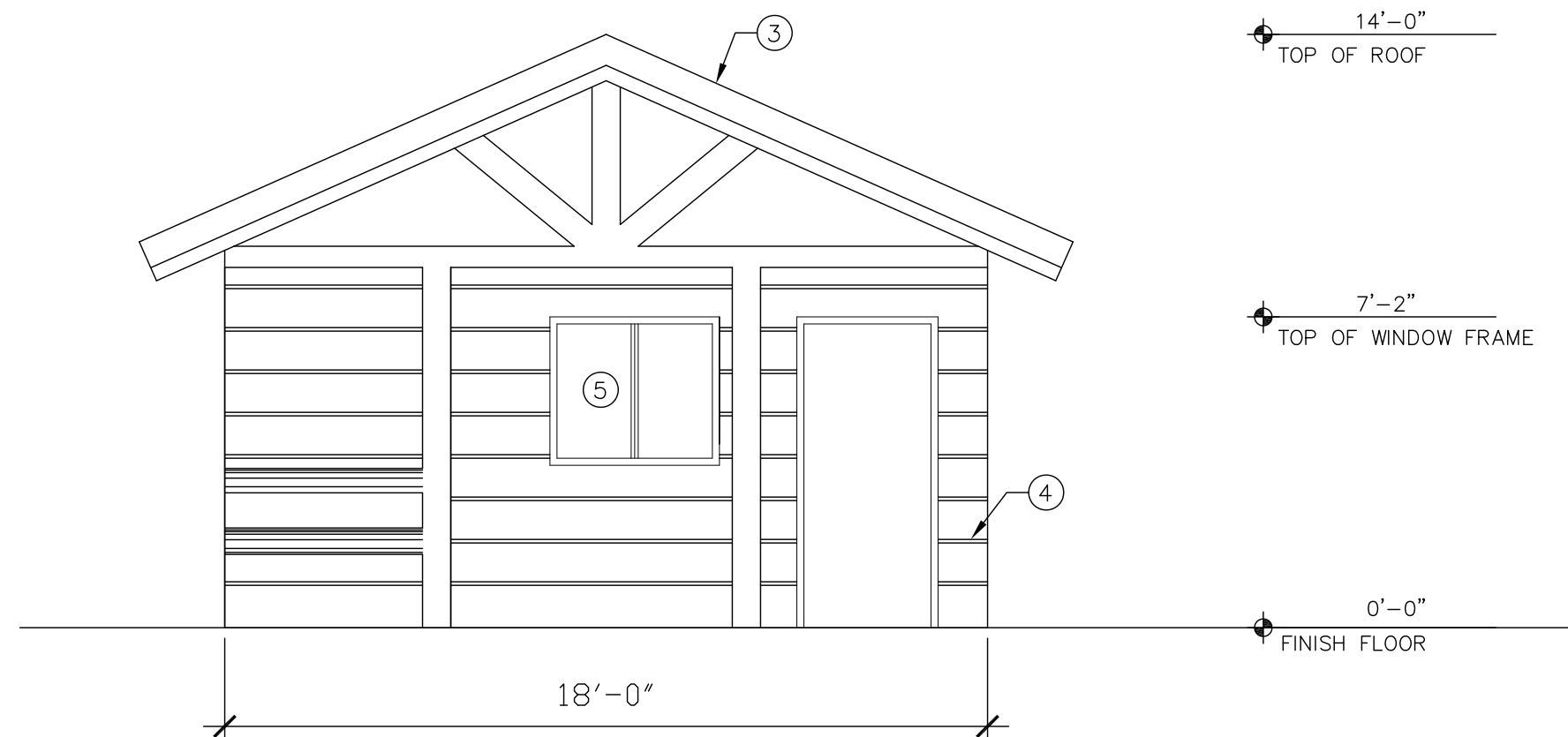
L1

○ KEYED NOTES

1. ASPHALT SHINGLES BEIGE COLOR
2. CLEAR SEALED WOOD LOGS
3. WOOD SHAKES-SEALED
4. WOOD LOGS-CLEAR SEALD
5. INSULATED GLAZING IN WOOD FRAME

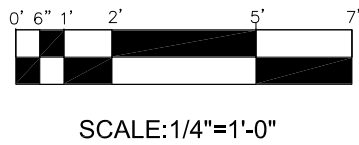


2 LOG CABIN SIDE ELEVATION
A-01 SCALE:1/4"=1'-0"



3 LOG CABIN FRONT ELEVATION
A-01 SCALE:1/4"=1'-0"

GRAPHIC SCALE



CABIN LOGS
BUILDING ELEVATIONS

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Albuquerque, NM 87120

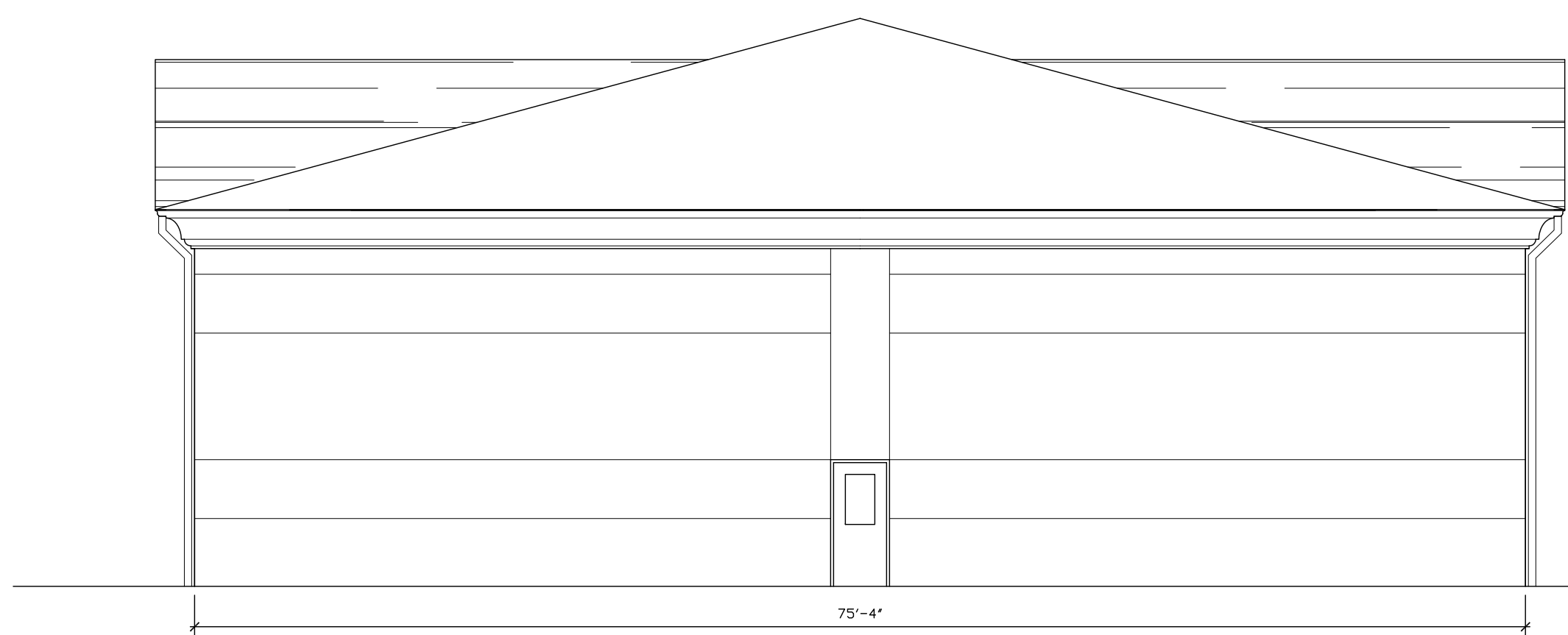
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A-01

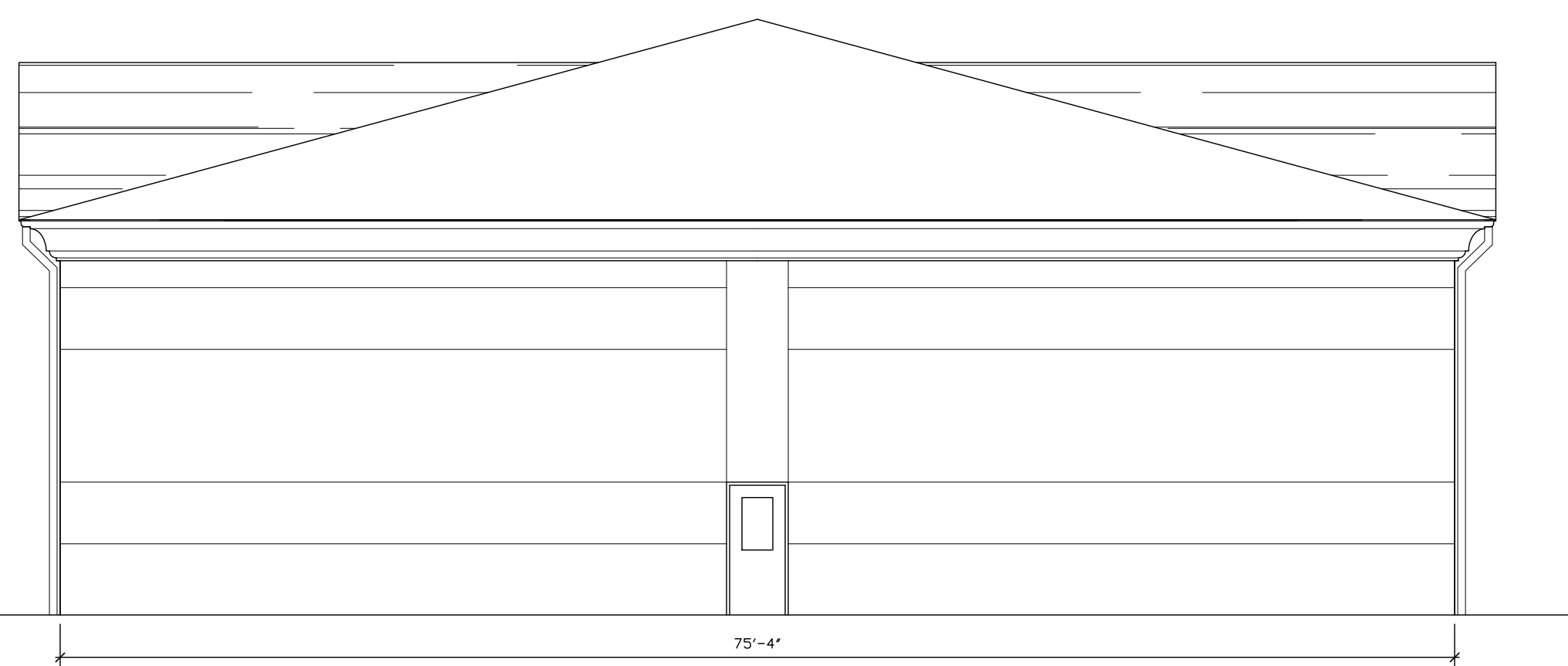
MARCH / 2024



1 SOUTH ELEVATION
A-02 / SCALE: 1/8"=1'-0"



3 WEST ELEVATION
A-02 / SCALE: 1/8"=1'-0"



2 EAST ELEVATION
A-02 / SCALE: 1/8"=1'-0"



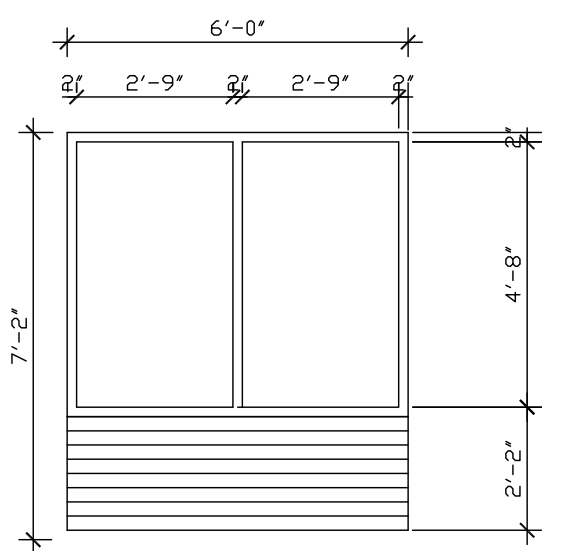
4 NORTH ELEVATION
A-02 / SCALE: 1/8"=1'-0"

KEYED NOTES

- STUCCO SYSTEM - 3 COAT, 17 GA. STUCCO WIRE, 15# BUILDING PAPER, 7/16" APA RATED SHEATHING.
- 3'-0"x7'-0" HOLLOW METAL INSULATED DOOR FRAME, PRIME, PAINT TO MATCH STUCCO COLO, TEMPERED GLAZING.
- ASPHALT SHINGLES.

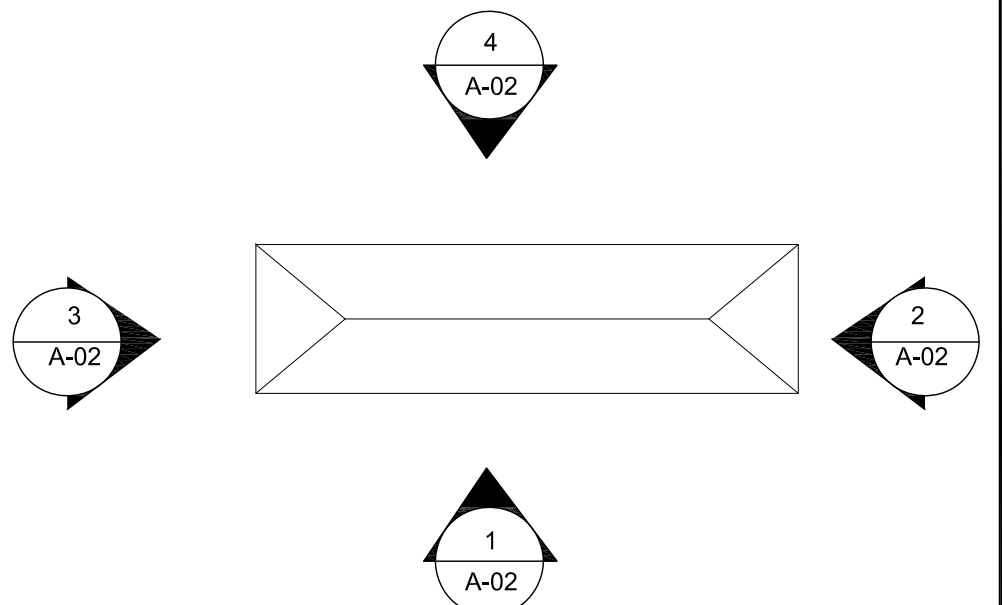
STUCCO COLOR

- A. DARK GREY TAN STUCCO .
B. BROWN GREY STUCCO.
C. DARK GREY- ASPHALT SHINGLES.



FRAME : ALUMINUM
FINISH COLOR
GLAZING : FIXED
INSULATED
THERMAL BREAK,
CLEAR

5 WINDOW DETAILS
A-02 / SCALE: 1/8"=1'-0"



KEY MAP

N.T.S

ELEVATIONS

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Paradise RV Park

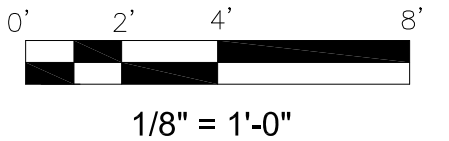
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A-02

MARCH / 2024

GRAPHIC SCALE



1/8" = 1'-0"