

PROJECT NUMBER: PR-2024-010931

Application Number: SP-2025-00005

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division

ABCWUA

Parks and Recreation Department

Hydrology

Code Enforcement

* Environmental Health Department (conditional)

Solid Waste Management

Planning Department

Date

Date

Date

Date

Date

Date

Date

BUILDING AREA TOTALS BY PHASE

PHASE 1 34,200 SF
PHASE 2 16,338 SF
PHASE 3 10,891 SF
FULL BUILD OUT 61,428 SF

PARKING CALCULATIONS

PROPOSED BUILDINGS (PHASES 1 AND 2); (27 CLASSROOMS)
EDUCATION AT 2 SPACES/CLASSROOM= 54 SPACES REQUIRED
TOTAL 54 PARKING SPACES REQUIRED.
PARKING PROVIDED 54 STANDARD SPACES PROVIDED
4 ADA ACCESSIBLE SPACES PROVIDED
3 MOTORCYCLE SPACES REQUIRED, 3 MOTORCYCLE SPACES PROVIDED
11 BICYCLE SPACES REQUIRED, 12 BICYCLE SPACES PROVIDED

GENERAL SHEET NOTES

- A. CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS TO REMAIN INCLUDING, BUT NOT LIMITED TO, BUILDINGS, PAVINGS, CURBS, SITE WALLS, FOUNDATIONS AND UTILITIES. EXISTING FOUNDATIONS SHALL MAINTAIN THEIR ORIGINAL STRUCTURAL INTEGRITY AS THEY WERE DESIGNED.
- B. GENERAL CONTRACTOR SHALL PATCH, REPAIR AND/OR REPLACE ITEMS TO REMAIN THAT HAVE BEEN DAMAGED DURING CONSTRUCTION, TO THE OWNER'S SATISFACTION AND AT NO COST TO THE OWNER.
- C. CONTRACTOR SHALL ENSURE THAT UTILITY SERVICE TO EXISTING BUILDINGS TO REMAIN SHALL BE OPERATIONAL DURING CONSTRUCTION.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY MEASURES TO PROTECT PEDESTRIANS AND VEHICLES DURING CONSTRUCTION.
- E. CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- F. ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
- G. SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- H. CONSTRUCTION AREA INCLUDED TREES AND PLANTS TO REMAIN.
- I. ALBUQUERQUE COLLEGIATE CHARTER SCHOOL SHALL HAVE A STAFF MEMBER PRESENT DURING DROP-OFF AND PICK UP TIMES TO HELP STUDENTS SAFELY CROSS THE DRIVE AISLE WHEN DOUBLE STAKING IS IMPLEMENTED WITHIN THE DRIVE AISLE.
- J. STAFF AT ALBUQUERQUE COLLEGIATE CHARTER SCHOOL SHOULD GET FAMILIARIZED WITH THE EPA IDLE-FREE SCHOOLS TOOL-KIT TO MINIMIZE ANY IDLING OF VEHICLES.
- K. SEE PUBLIC WORK ORDER PLANS FOR CONSTRUCTION WITHIN PUBLIC ROW.

SHEET KEYED NOTES

- 1. EXISTING ASPHALT TO REMAIN.
- 2. EXISTING CURB AND GUTTER TO REMAIN.
- 3. EXISTING CONCRETE CURB ACCESS RAMP TO REMAIN.
- 4. CONCRETE PAVEMENT PER DETAIL D4/C501.
- 5. STANDARD CURB AND GUTTER PER DETAIL A5/C501.
- 6. CONCRETE CURB ACCESS RAMP PER DETAIL A1/C502.
- 7. LAYDOWN DEPRESSED CURB AND GUTTER PER DETAIL A5/C501.
- 8. DEPRESSED CURB AND GUTTER PER DETAIL A5/C501.
- 9. CONCRETE SIDEWALK PER DETAIL B4/C501.
- 10. FIRE LANE WITH ASPHALT PAVEMENT PER DETAIL D1/C-501.
- 11. CONCRETE BANCHEO PER DETAIL C3/C501.
- 12. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C501.
- 13. CONCRETE PARKING BLOCK PER DETAIL F2/C501.
- 14. HEADER CURB PER DETAIL A5/C501.
- 15. ADA RESERVED PARKING STALL, PER DETAIL A3/C502.
- 16. ADA RESERVED PARKING SIGN PER DETAIL D3/C502 AND E6/C-502.
- 17. ADA VAN ACCESSIBLE RESERVED SIGN PER DETAIL D3/C502 AND E6/C-502.
- 18. CONCRETE STOOP PER DETAIL C1/C501.
- 19. 4" WIDE WHITE TRAFFIC PARKING.
- 20. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- 21. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 1/2" AND 6" TALL.
- 22. ASPHALT PAVEMENT PER DETAIL D1/C501.
- 23. STORMWATER MANAGEMENT POND. SEE GRADING PLANS.
- 24. MOTORCYCLE PARKING SPACE WITH SIGN AND 12" TALL "MC" LETTERS.
- 25. BIKE RACK PER DETAIL F3/C-501.
- 26. 12" LONG AND 6" TALL, MONUMENT SIGN PER DETAIL A3/C-501 WITH 8" TALL LETTERS "ALBUQUERQUE COLLEGIATE".
- 27. REFUSE ENCLOSURE PER DETAIL C5/C-502 WITH TWO PAIRS OF ENCLOSURE GATES PER DETAIL D1/C-502.
- 28. SWING GATES TO CLOSE OFF FIRE LANE, PER CITY OF ALBUQUERQUE STD DWG 2251.
- 29. HALF STREET SECTION PER DRC PLANS.
- 30. CONCRETE RAMP WITH HANDRAILS PER DETAILS C3/C-504 AND D1/C-504.
- 31. CONCRETE STAIRS WITH HANDRAILS PER DETAILS C3/C-504 AND D1/C-504.
- 32. CONCRETE MECHANICAL EQUIPMENT PAD.
- 33. 6" TALL CMU SCREEN WALL PER DETAIL C4/C-502.
- 34. TURF AREA. SEE LANDSCAPING PLANS.
- 35. 3" WIDE WROUGHT IRON PERSONNEL GATE IN 6" WALL PER DETAIL C4/C-504.
- 36. 6" TALL WROUGHT IRON FENCE.
- 37. RIPRAP EROSION PROTECTION PER DETAIL D3/C-501.
- 38. LIGHT POLE. SEE ELECTRICAL PLANS.
- 39. 18" TALL CONCRETE RETAINING WALL.
- 40. CONCRETE RUNDOWN PER DETAIL C2/C-501.
- 41. CONCRETE SIDEWALK CULVERT PER DETAIL E3/C-501.

LEGEND

- PROPERTY LINE
- EASEMENT
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT

ZONE ATLAS PAGE

STUDIO SW ARCHITECTS

ARCHITECT/ENGINEER

ALBUQUERQUE COLLEGIATE CHARTER SCHOOL
SUNSET GARDENS AND 90TH
ALBUQUERQUE, NM

90% CONSTRUCTION DOCUMENTS

REVISION DATE

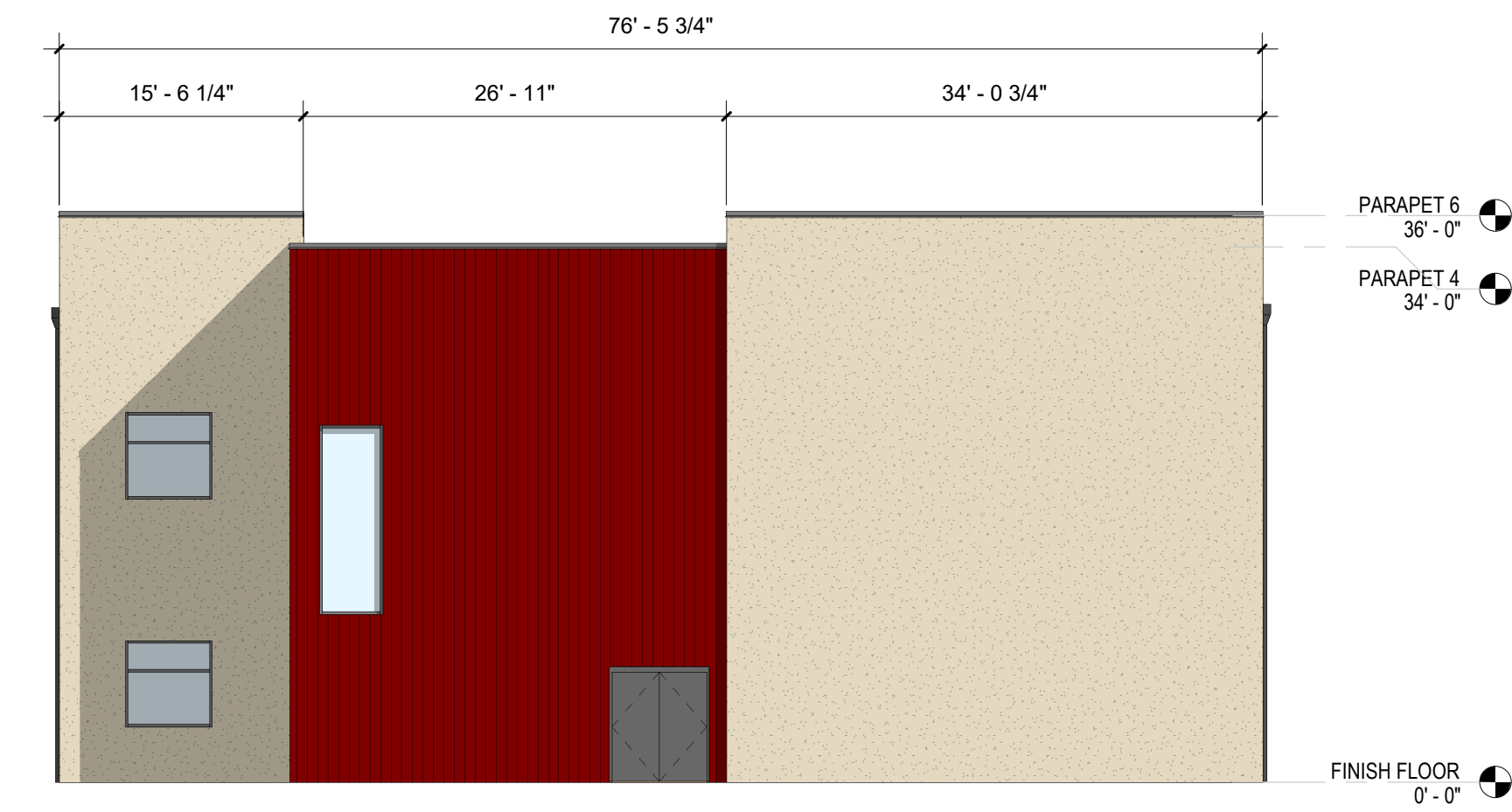
DATE 1-30-25

PROJECT NO

SITE PLAN - DFT

SHEET NO.

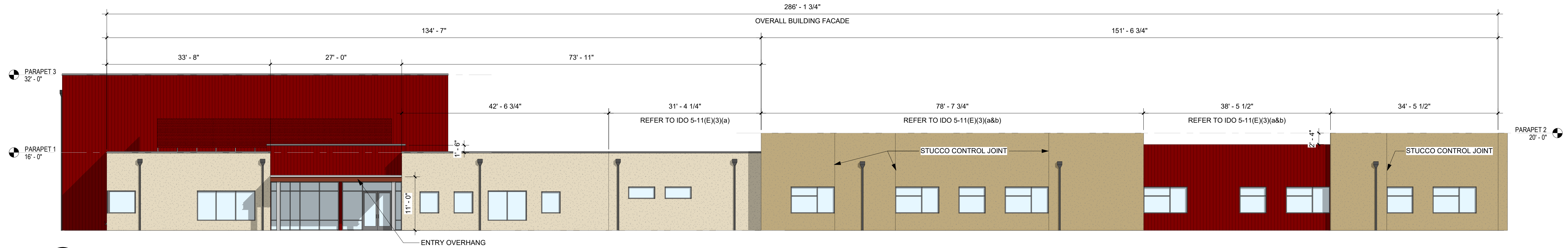
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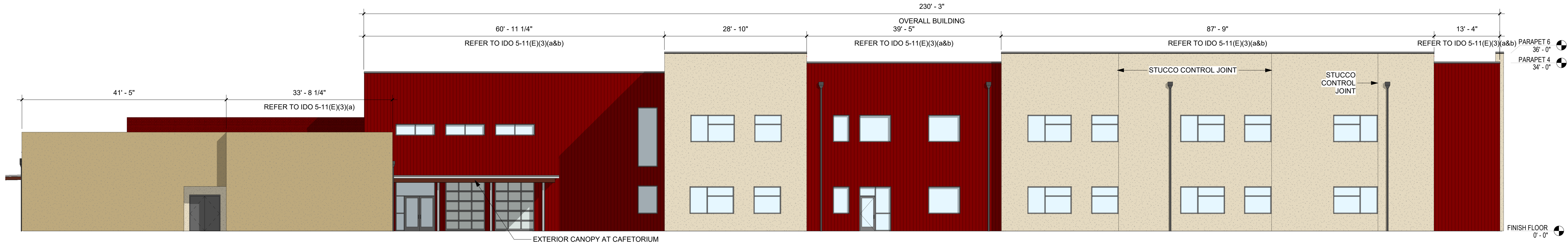
D1 NORTH ELEVATION
3/32" = 1'-0"

LEGEND

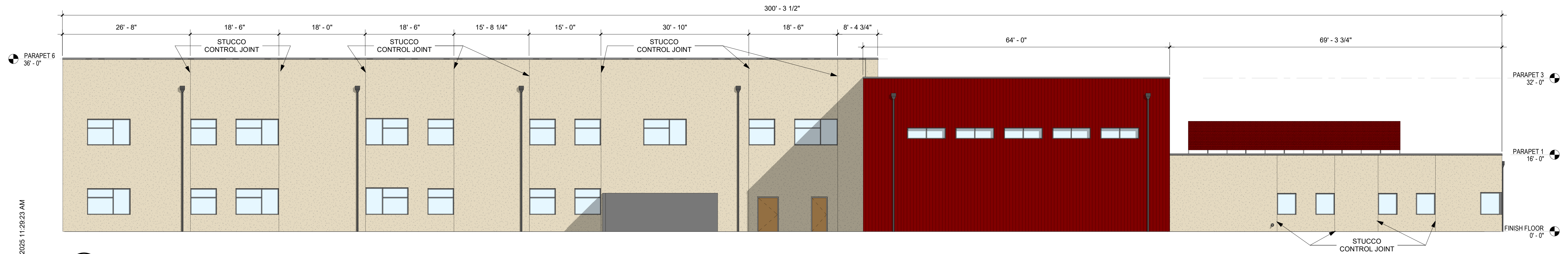
- 3 COAT STUCCO SYSTEM; STUCCO COLOR 1
- 3 COAT STUCCO SYSTEM; STUCCO COLOR 1
- CONCEALED FASTENING METAL PANEL SYSTEM: SHADOWRIB BY MBCI, CONTINUOUS HEIGHT, RUN FLUTES VERTICALLY
- PERFORATED CORRUGATED METAL PANEL SCREEN: BWC374 .125 ON, 216" FOR 35.3% OPEN AREA BY HENDRICK ARCHITECTURAL THICKNESS = .040" COLOR TO BE CUSTOM TO MATCH METAL WALL PANEL SYSTEM



C1 SOUTH ELEVATION
3/32" = 1'-0"



B1 EAST ELEVATION
3/32" = 1'-0"



A1 WEST ELEVATION
3/32" = 1'-0"

DFT
SUBMISSION

REVISION DATE

DATE 9/16/25

PROJECT NO 2424

DFT ELEVATIONS

SHEET NO.

DFT-201



I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE CONDITIONS FOR THE PROPOSED ALBUQUERQUE COLLEGIATE CHARTER SCHOOL. THE SITE IS LOCATED AT THE NORTH WEST CORNER OF SUNSET GARDENS SW, AND 90TH STREET, SW, IN SOUTHWEST ALBUQUERQUE. THE ZONE ATLAS PAGE FOR THE SITE IS L-09-Z.

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED ON THE NORTHWEST CORNER OF SUNSET GARDENS AND 90TH STREET SW.

THE SITE IS CURRENTLY UNDEVELOPED WITH PARTIALLY DEVELOPED STREETS TO THE EAST AND SOUTH. PARCELS TO THE NORTH AND WEST ARE DEVELOPED.

III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON CHAPTER 6, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL RELEASED 2020. TABLES WITHIN CHAPTER 6, WERE USED TO AID IN THE STUDY OF THE SITE HYDROLOGY.

IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-24HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 1 (WEST OF RIO GRANDE).

V. EXISTING DRAINAGE CONDITIONS

THE SITE IS CURRENTLY UNDEVELOPED GENERALLY DRAINS FROM THE WEST TO THE EAST. THE PARCELS TO THE NORTH AND WEST ARE FULLY DEVELOPED. NO OFF-SITE FLOW WERE IDENTIFIED DURING THE SITE VISIT.



A4 FEMA FIRMETTE
NOT TO SCALE



A5 ZONE ATLAS PAGE L-09-Z
NOT TO SCALE



ARCHITECT/ENGINEER



ALBUQUERQUE COLLEGIATE
CHARTER SCHOOL
SUNSET GARDENS AND 90TH
ALBUQUERQUE, NM

SITE PLAN - DFT

REVISION DATE

DATE 11-17-24

PROJECT NO

CONCEPTUAL
EXISTING
CONDITION
DRAINAGE
PLAN

SHEET NO.

CD-1



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 12-03-2024
BY: [Signature]
Hydro-Team: L09D032
THIS PLAN AND/OR REPORT ARE
CONCEPTUAL ONLY. MORE INFORMATION MAY
BE NEEDED IN THE FUTURE AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.



VI. PROPOSED DRAINAGE CONDITIONS
THE PURPOSE OF THIS CONCEPTUAL GRADING AND DRAINAGE PLAN IS TO SHOW THE FULLY DEVELOPED SITE WILL HAVE SUFFICIENT PONDING TO RESTRICT FLOW TO BELOW HISTORIC RATES AS WELL AS TO PROVIDE THE NECESSARY WATER QUALITY VOLUME.
THE SITE GENERALLY DRAINS FROM WEST TO EAST. AS SERIES OF DRAINAGE PONDS WILL BE CONSTRUCTED ALONG THEE SOUTHERN AND EASTER BOUNDARIES. EACH POND WILL HAVE A MAXIMUM DEPTH OR 18" DEEP.
OVERALL VOLUME AVAILABLE IN PONDS A-E IS 24,207 CUBIC FEET.
WITH THIS PONDING VOLUME THE PEAK FLOW RATE WILL BE REDUCED FROM THE INCOMING RATE OF 27.65CFS DOWN TO 11.00CFS.

VII. CONCLUSIONS
THIS PLAN IS SHOWING THE FULL BUILDOUT FOR THE CAMPUS. PONDS HAVE BEEN CREATED TO CONTAIN THE FULL WATER QUALITY VOLUME OF 6,458CF. PEAK FLOW RATE WILL BE REDUCED FROM 17.65CFS TO 11CFS AFTER THE WATER IS ROUTED THROUGH THE STORM WATER MANAGEMENT PONDS.

MATERIAL LEGEND

[Pattern]	ASPHALT PAVEMENT
[Pattern]	HEAVY DUTY CONCRETE
[Pattern]	CONCRETE SIDEWALK
[Pattern]	RIPRAP EROSION PROTECTION
[Pattern]	EARTHEN POND, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
[Pattern]	LANDSCAPING AREA

Drainage Summary

Project:	Albuquerque Collegiate Charter School
Project Number:	240x AGCS
Date:	08/15/24
By:	DAA
Site Location:	
Precipitation Zone:	1 Per COA DPM Chapter 6
Existing summary:	
Basin Name:	Ex Basin 1
Area (sf):	350684.85
Area (acres):	8.05
%A Land treatment:	0
%B Land treatment:	100
%C Land treatment:	0
%D Land treatment:	0
Soil Treatment (acres):	
Area "A":	0.00
Area "B":	8.05
Area "C":	0.00
Area "D":	0.00
Excess Runoff (acre-feet):	
100yr. 6hr.:	0.4897 acre-ft
10yr. 6hr.:	0.1744 acre-ft
2yr. 6hr.:	0.0087 acre-ft
100yr. 24hr.:	0.4897 acre-ft
Peak Discharge (cfs):	
100 yr.:	17.39 cfs
10yr.:	6.52 cfs
2yr.:	0.16 cfs

Pond Routing and Volumes		Full Buildout
Incoming Flow Rate	Qin	27.65 cfs
Allowable Discharge Rate	Qout	11 cfs
Hydrology Zone		1 per Figure A-1
Area Total	At	8.051 acres
Area Type A	Aa	0%
Area Type B	Ab	35%
Area Type C	Ac	0%
Area Type D Impervious	Ad	65%
Excess runoff rates		
	A	0.55
	B	0.73
	C	0.95
	D	2.24
Weighted E (Excess Runoff)		1.71
Time of Concentration		0.219 hours
Time to Peak		0.219 hours
$= 0.7 \cdot T_c + ((1.6 \cdot (Ad \cdot At) / Y12) + 2.07 \cdot E \cdot Au / Q_p \cdot (25 \cdot Ad \cdot At))$		
Time of Base		0.888 hours
Duration of Peak		0.163 hours
Time for end of peak		0.382 hours
Time when storage begins		0.087 hours
Time incoming is less than discharge		0.689 hours
Volume Required during storm	acre-inch	6.652 acre inch
Volume Required during storm	cf	24148 cubic feet
Volume Stored in Pond during storm	cf	24207 cubic feet

Proposed summary

Basin Name:	Overall Site
Area (sf):	350684.85
Area (acres):	8.051
%A Land treatment:	0
%B Land treatment:	35
%C Land treatment:	0
%D Land treatment:	65
Soil Treatment (acres):	
Area "A":	0.00
Area "B":	2.82
Area "C":	0.00
Area "D":	5.23
Excess Runoff (acre-feet):	
100yr. 6hr.:	1.1482 acre-ft
10yr. 6hr.:	0.6846 acre-ft
2yr. 6hr.:	0.4035 acre-ft
100yr. 24hr.:	1.3575 acre-ft
100yr. 10day:	1.9026 acre-ft
Peak Discharge (cfs):	
100 yr.:	27.65 cfs
10yr.:	15.73 cfs
2yr.:	8.22 cfs
Water Quality Ponding Volume (cf)	6458.4 cf
Water Quality Acre Feet	0.1483 acre-ft

ALBUQUERQUE COLLEGIATE
CHARTER SCHOOL
SUNSET GARDENS AND 90TH
ALBUQUERQUE, NM

SITE PLAN - DFT

REVISION DATE

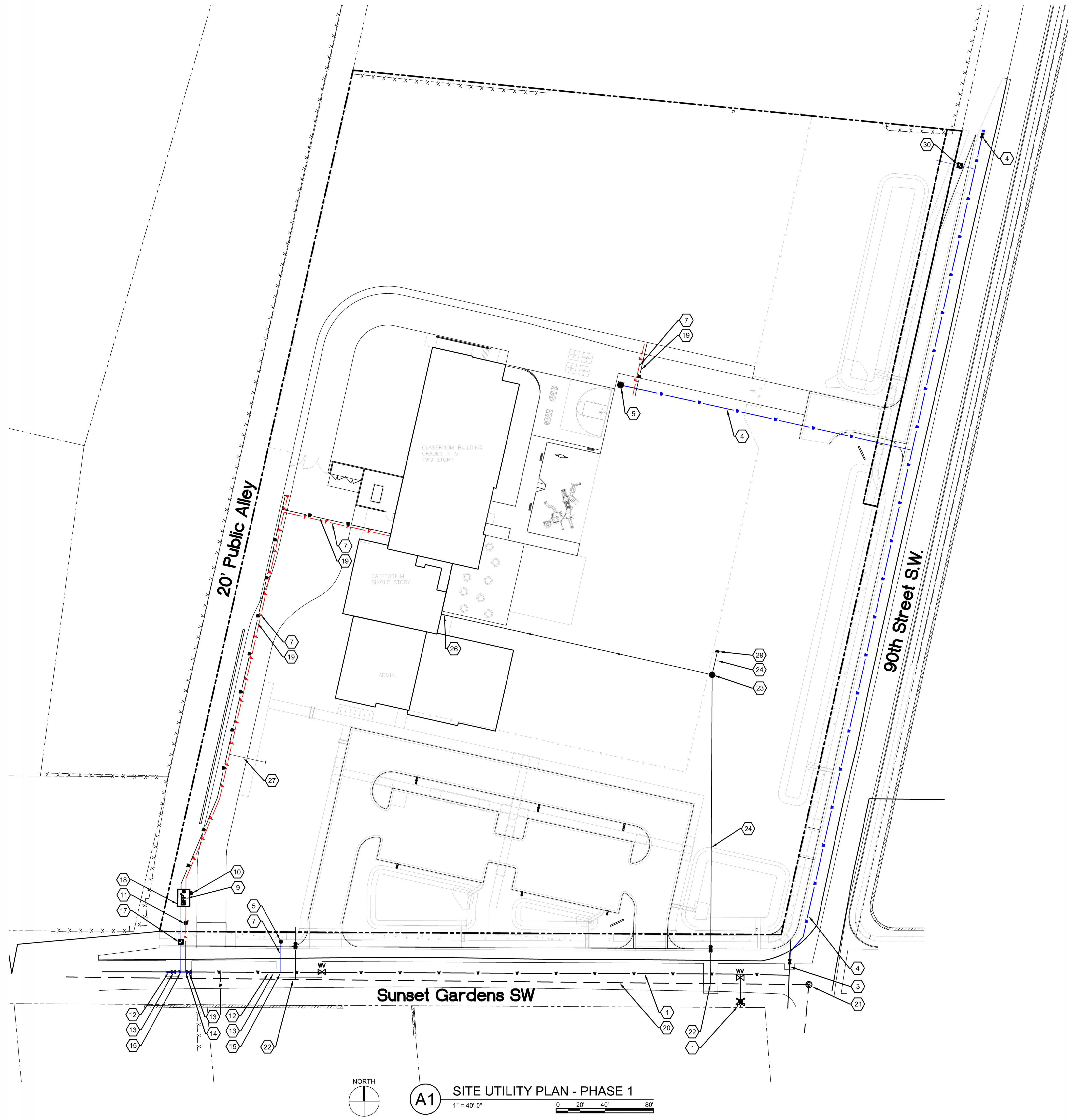
DATE 11-17-24

PROJECT NO

CONCEPTUAL
DEVELOPED
CONDITIONS
DRAINAGE
PLAN

SHEET NO.

CD-2



GENERAL SHEET NOTES

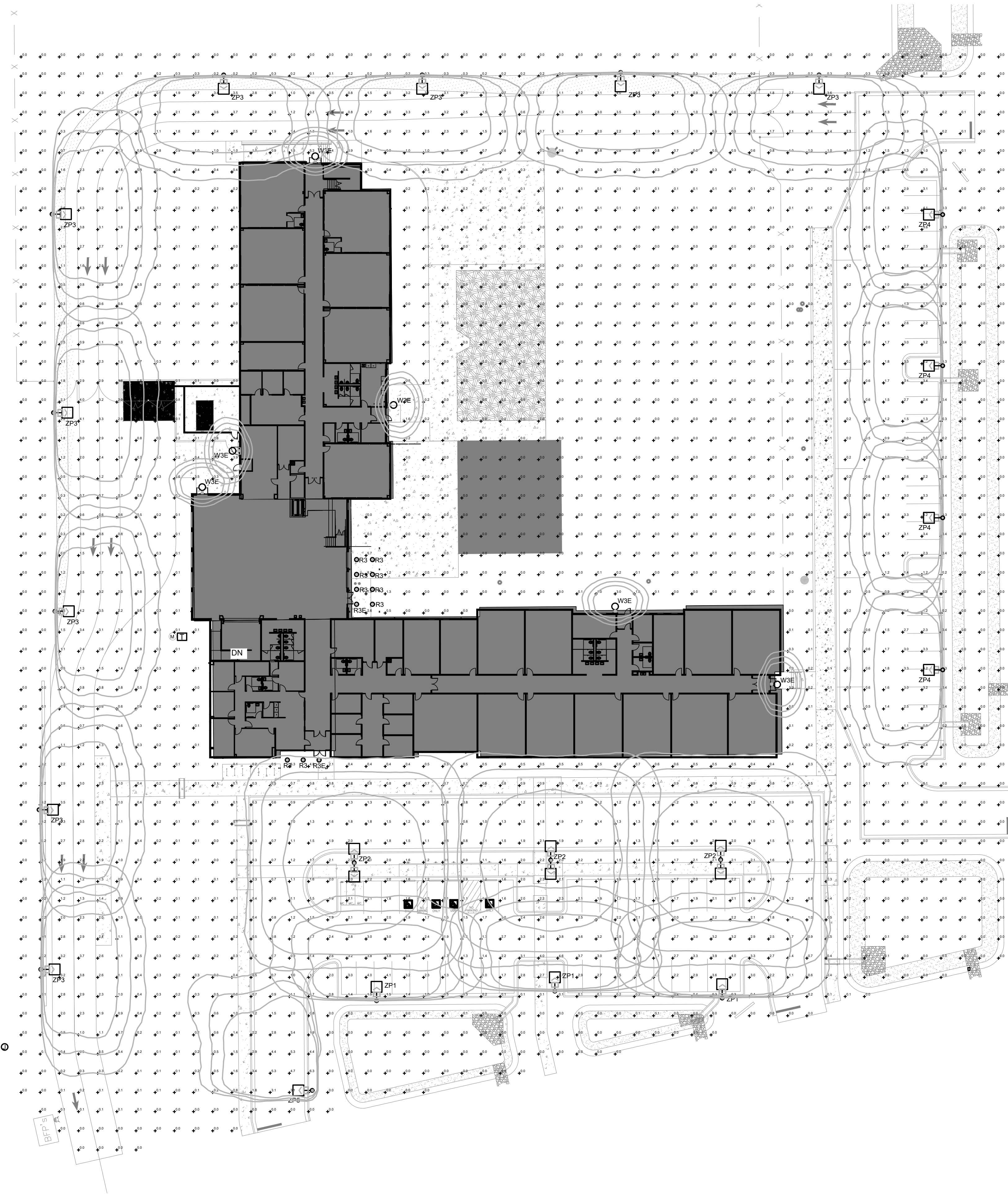
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3. CONTRACTOR SHALL ENSURE THAT UTILITY SERVICE TO EXISTING BUILDINGS TO REMAIN SHALL BE OPERATIONAL DURING CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY MEASURES TO PROTECT PEDESTRIANS AND VEHICLES DURING CONSTRUCTION.
5. CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
6. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
- 7.

SHEET KEYED NOTES

1. EXISTING 12" PVC C900 WATERLINE.
2. EXISTING FIRE HYDRANT.
3. EXISTING 8" PVC C900 STUB OUT.
4. 8" PVC C900 PUBLIC WATERLINE EXTENSION. SEE PUBLIC WORK ORDER PACKAGE.
5. FIRE HYDRANT. SEE PUBLIC WORK ORDER PACKAGE.
6. 8" GATE VALVE AND VALVE BOX. SEE PUBLIC WORK ORDER PACKAGE.
7. 6" PVC C900 FIRE SUPPRESSION LINE
8. 6" GATE VALVE AND VALVE BOX. SEE PUBLIC WORK ORDER PACKAGE.
9. 6" BACKFLOW PREVENTER IN INSULATED ENCLOSURE.
10. FIRE DEPARTMENT CONNECTION
11. POST INDICATOR VALVE
12. 12" TRANSITION COUPLING. SEE PUBLIC WORK ORDER PACKAGE.
13. 12" GATE VALVE AND VALVE BOX. SEE PUBLIC WORK ORDER PACKAGE.
14. 12"x12"x6" TEE. SEE PUBLIC WORK ORDER PACKAGE.
15. 12" PVC C900 WATERLINE. SEE PUBLIC WORK ORDER PACKAGE.
16. 2" TAPPING SADDLE. SEE PUBLIC WORK ORDER PACKAGE.
17. 2" DOMESTIC WATER METER AND TRAFFIC RATED BOX PER ABCWUA STANDARD DETAILS 2363. SEE PUBLIC WORK ORDER PACKAGE.
18. 2" RPZ BACKFLOW PREVENTER ON DOMESTIC LINE.
19. 3" PEX DOMESTIC WATERLINE.
20. EXISTING PUBLIC SANITARY SEWER LINE.
21. EXISTING SANITARY SEWER MANHOLE.
22. 8" SANITARY SEWER SERVICE PER COA STD DWGS. SEE PUBLIC WORK ORDER PACKAGE.
23. 4" SANITARY SEWER MANHOLE PER DETAIL.
24. SANITARY SEWER LINE, 6"Ø PVC SCHEDULE 40, PER DETAIL D2/C503.
25. SANITARY SEWER LINE, 4"Ø PVC SCHEDULE 40, PER DETAIL D2/C503.
26. DOUBLE CLEANOUT, CONNECT SANITARY SEWER LINE ONTO BUILDING SEWER LINES. SEE PLUMBING SHEETS.
27. 1.5" TAPPING SADDLE AND DOMESTIC STUB FOR FUTURE KINDERGARTEN BUILDING.
28. 4" PVC SANITARY SEWER.
29. CAP LINE FOR FUTURE USE.
30. 1.5" IRRIGATION WATER METER PER ABCWUA STANDARD DETAILS 2363. SEE PUBLIC WORK ORDER PACKAGE.

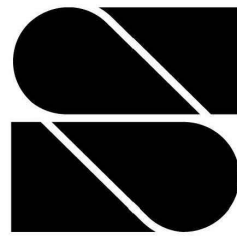
LEGEND

- PROPERTY LINE
- EASEMENT



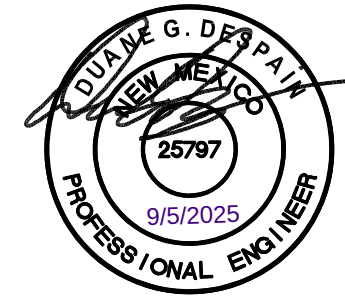
NOTES:

1. ALL CALCULATION POINTS SET AT GRADE LEVEL 0'.
2. ALL "W3E, R3, AND "R3E" MOUNTED AT 9' ABOVE GRADE.
3. ALL "ZP4" MOUNTED AT 16' ABOVE GRADE.
4. ALL "ZP1, ZP2, AND ZP3" MOUNTED AT 18' ABOVE GRADE.



scout
ARCHITECTURE + DESIGN

ARCHITECT/ENGINEER



ALBUQUERQUE COLLEGIATE
CHARTER SCHOOL - PHASE 1

90TH ST. AND SUNSET GARDENS RD SW
ALBUQUERQUE, NM 87121

REVISION DATE

DATE 1/31/25
PROJECT NO 2424

ELECTRICAL SITE
PLAN - DFT

SHEET NO.

ES-DFT-1



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Table 5-8-2: Lighting Designations by Zone District																			
NDZ = Natural Dark Zone		Lz0 = Light Zone 0					Lz1 = Light Zone 1			Lz2 = Light Zone 2			Lz3 = Light Zone 3						
Zone District		Residential					Mixed-Use					Non-residential							
ANSI/IES Lighting Designation		R-A	R-1	R-T	R-MC	R-ML	R-MH	MX-T	MX-L	MX-M	MX-H	NR-C	NR-BP	NR-LM	NR-GW	NR-PO			
																A	B	C	D
NDZ																	X ^[1]	X ^[1]	
Lz0		X ^[3]	X ^[3]	X ^[3]	X ^[3]	X ^[3]		X ³		X ^[4]	X ^[4]					X ^[2]	X ^[2]	X ^[2]	X ^[2]
Lz1		X	X	X	X	X	X ^{[3], [4]}	X	X ^[4]	X ^[4]	X ^[4]	X	X	X	X				X
Lz2							X			X ^[5]	X ^[5]				X ^[5]		X ^[6]		
Lz3										X ^[5]	X ^[5]					X ^[7]			

Notes:

[1] NDZ is required in NR-PO zones for open space where no anthropogenic light is allowed.

[2] Lz0 is required in NR-PO zones for open space where some anthropogenic light is needed in hours of darkness, parks with minimal amenities, and parks or open space adjacent to low-density residential uses.

[3] A lower lighting zone is required on subject properties with sensitive lands.

[4] A lower lighting zone is required on subject properties adjacent to low-density residential uses.

[5] In UC-MS-PT-MT areas, a higher lighting zone is allowed, unless the subject property is adjacent to any Residential zone district.

[6] Lz2 is allowed in parks with high pedestrian activity and many amenities.

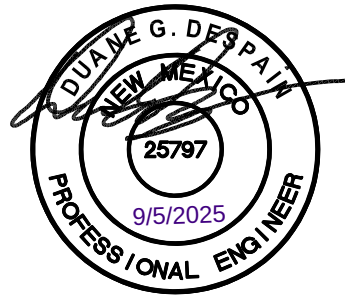
[7] Lz3 is allowed in parks containing nighttime stadiums or entertainment activities.

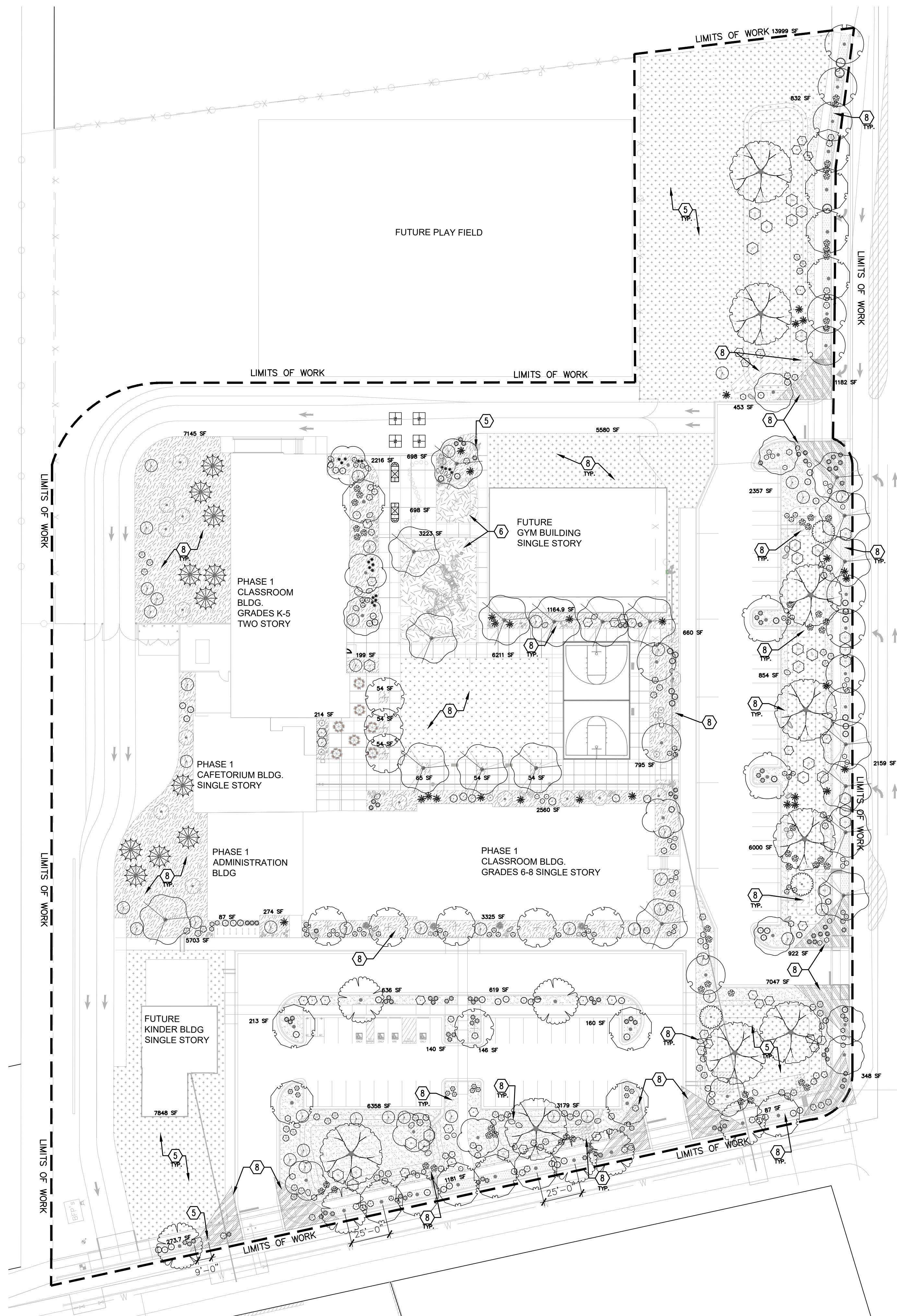
Table 5-8-1: Maximum Height for Light Poles	
Location, Development Type, or Type of Light	Maximum Height (ft.)
Bollard and pathway luminaires	4 ft.
Residential zone districts and HPO zones	12 ft.
Within 100 feet of Residential zone districts	16 ft.
Mixed-use development or allowable uses in the Offices and Services Sub-category of Table 4-2-1	20 ft.
Allowable uses in Table 4-2-1 in the following categories:	
• Civic and Institutional Uses • Commercial Uses other than the Offices and Services Sub-category • Industrial Uses	25 ft.

Table 5-8-3: Light Trespass Limits by Lighting Designation					
	NDZ	Lz0	Lz1	Lz2	Lz3
Foot Candles (fc)	0.02	0.05	0.1	0.3	0.8
Lux (lx)	0.2	0.5	1.0	3.0	8
Luminance (cd/m²)	0	1	20	40	80

Schedule																			
Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot								
	R3		9	LDN6 30/05 LO6AR LSS	6IN LDN, 3000K, 500LM, CLEAR, SEMI-SPECULAR REFLECTOR, CR180	NO B-U-G RATING, UGR = 0 SEE CUTSHEET TOTAL LUMENS FROM R3 = 4689	1	521	1	5.83		Max: 541cd							
	R3E		2	LDN6 30/05 LO6AR LSS	6IN LDN, 3000K, 500LM, CLEAR, SEMI-SPECULAR REFLECTOR, CR180	NO B-U-G RATING, UGR = 0 SEE CUTSHEET TOTAL LUMENS FROM R3E = 1042	1	521	1	5.83		Max: 541cd							
	W3E		6	WDGE1 LED P1 30K 80CRI VW	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC	B0-U0-G0 TOTAL LUMENS FROM W3E = 6978	1	1163	1	10.0002		Max: 877cd							
	ZP1		3	DSX0 LED P4 30K 70CRI BLC3	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 70 CRI Type 3 Extreme Backlight Control	B0-U0-G2 TOTAL LUMENS FROM ZP1 = 23,304	1	7768	1	93.04		Max: 7977cd							
	ZP2		3	DSX0 LED P2 30K 70CRI T5M	D-Series Size 0 Area Luminaire P2 Performance Package 3000K CCT 70 CRI Type 5 Medium	B3-U0-G2 TOTAL LUMENS FROM ZP2 = 18,576	1	6192	1	90.28		Max: 3397cd							
	ZP3		9	DSX0 LED P4 30K 70CRI BLC3	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 70 CRI Type 3 Extreme Backlight Control	B0-U0-G2 TOTAL LUMENS FROM ZP3 = 69,912	1	7768	1	93.04		Max: 7977cd							
	ZP4		4	DSX0 LED P3 30K 70CRI BLC3	D-Series Size 0 Area Luminaire P3 Performance Package 3000K CCT 70 CRI Type 3 Extreme Backlight Control	B0-U0-G2 TOTAL LUMENS FROM ZP4 = 24,556	1	6139	1	66.95		Max: 6304cd							
	ZP5		1	DSX0 LED P4 30K 70CRI LCCO	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 70 CRI Left Corner Cutoff Extreme Backlight Control	B1-U0-G2 TOTAL LUMENS FROM ZP1 = 7838	1	7838	1	93.04		Max: 12135cd							

TOTAL SITE LUMENS ALLOWED NONRESIDENTIAL DEVELOPMENT			
LIGHTING ZONE		Lz1	
SITE AREA	AREA (SF)	ALLOWED LUMENS/SF	ALLOWED LUMENS
SIDEWALKS	21,138	1.25	26423
PAVING	66,445	1.25	83056
LANDSCAPED	137,790	1	137790
BUILDING	38,131	0	0
TOTAL ALLOWED LUMENS			247269
TOTAL DESIGNED LUMENS			165885
REMAINING ALLOWED LUMENS			81374
REFERENCE TABLES 5-8-5 FROM 2025 IDO UPDATE			





A1 DFT LANDSCAPE PLAN
SCALE: 1"=40'-0"
0 40' 80'
NORTH

○ PLANTING KEYED NOTES

SYMBOL	CODE	DESCRIPTION
	1	7/8" 'SANTA FE BROWN' ROCK MULCH, AS AVAILABLE FROM JPR GRAVEL (505-892-8869), OR APPROVED EQUAL, INSTALLED AT A 3" DEPTH OVER FILTER FABRIC.
	2	2"-4" 'COYOTE MIST' ROCK MULCH, AS AVAILABLE FROM JPR GRAVEL (505-892-8869), OR APPROVED EQUAL, INSTALLED AT A 4" DEPTH OVER FILTER FABRIC.
	3	ACCENT BOULDER SHALL BE 'MARBLE BOULDERS ROSE GOLD/JUST GOLD BLEND' AS AVAILABLE FROM JPR GRAVEL (505-503-7766).
	4	DRILL SEED ON FINISH GRADE. SEED MIX SHALL BE A BLEND OF 'SANTA FE TRAIL' INSTALLED AT A RATE OF 2 LBS PER 1,000 SF AND 'SHOWY PLAINS AND JUNIPER HILLS WILDFLOWER MIXTURE' INSTALLED AT A RATE OF 1 LB PER 1,000 SF, AS AVAILABLE FROM CURTIS AND CURTIS (877-907-1806). NATIVE SEED MIX FOR SLOPE STABILIZATION DURING PHASE ONE. FUTURE PHASES WILL HAVE LANDSCAPING AND MULCH. DO NOT USE FILTER FABRIC.
	5	FIRE HYDRANT
	6	FURNISH AND INSTALL 12" DEPTH ENGINEERED WOOD FIBER PLAYGROUND SURFACING.
	7	SOD
	8	CLEAR SIGHT TRIANGLE
	9	FURNISH AND INSTALL 'FOREST FLOOR' WOOD MULCH AS AVAILABLE FROM SOLUTIONS.
	10	BLEND OF 40% FINES, 30% 7/16", AND 30% 7/8" 'SANTA FE BROWN' ROCK MULCH, AS AVAILABLE FROM JPR GRAVEL (505-892-8869), OR APPROVED EQUAL, INSTALLED AT A 4" DEPTH OVER FILTER FABRIC.

LANDSCAPE CALCULATIONS

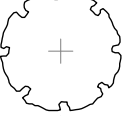
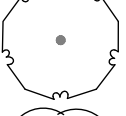
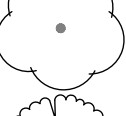
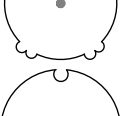
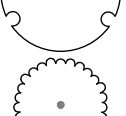
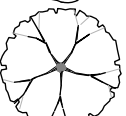
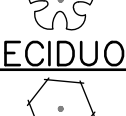
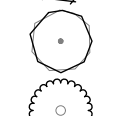
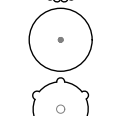
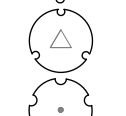
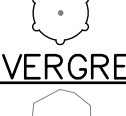
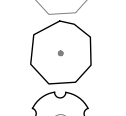
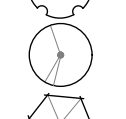
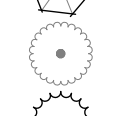
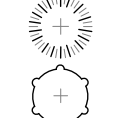
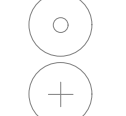
GENERAL LANDSCAPE REQUIREMENTS:	
GROSS LOT AREA(MINUS EASEMENT):	346,976 SF
PHASE ONE AREA OF DISTURBANCE:	263,512 SF
PHASE ONE BUILDING COVERAGE:	38,131 SF
PHASE ONE NET LOT AREA:	225,381 SF
REQUIRED LANDSCAPE IS 15% OF PHASE ONE NET LOT AREA	
TOTAL LANDSCAPE AREA REQUIRED:	33,807 SF
LANDSCAPE AREA PROVIDED:	108,738 SF
REQUIRED VEGETATIVE COVERAGE (75% OF THE REQUIRED LANDSCAPE AREA):	
VEGETATIVE COVER REQUIRED:	25,355 SF
VEGETATIVE COVER PROVIDED:	74,776 SF
REQUIRED GROUND LEVEL VEGETATIVE COVERAGE (25% OF THE REQUIRED LANDSCAPE AREA):	
VEGETATIVE GROUND COVER REQUIRED:	8,881 SF
VEGETATIVE GROUND COVER PROVIDED:	8,971 SF
MULCH PROVIDED:	
ORGANIC MULCH REQUIRED (MIN. 15% OF THE TOTAL LANDSCAPE AREA PROVIDED):	5,929 SF
ORGANIC MULCH PROVIDED:	29,295 SF
ROCK MULCH ALLOWED (NOT TO EXCEED 75% OF LANDSCAPE AREA):	29,644 SF
ROCK MULCH PROVIDED:	18,298 SF
TOTAL PARKING LOT REQUIREMENTS :	
TOTAL PARKING STALLS: 57	32,750 SF
TREES REQUIRED (1 TREE PER 10 STALLS):	6
TREES PROVIDED:	11
10% OF TOTAL PARKING LOT SHALL BE LANDSCAPED:	3,275 SF
LANDSCAPE AREA PROVIDED:	3,516 SF
STREET TREE REQUIREMENTS : SHADE TREES PLANTED AT 25' O.C. ON PEDESTRIAN PATHWAYS.	
TOTAL LINEAR FOOT PEDESTRIAN PATHWAYS	825 LF
TREES REQUIRED (1 TREE PER 25' KEEPING SITE TRIANGLE CLEAR):	33
TREES PROVIDED:	33

PLANT SCHEDULE

SEE SHEET LP501 FOR FULL PLANTING SCHEDULE.

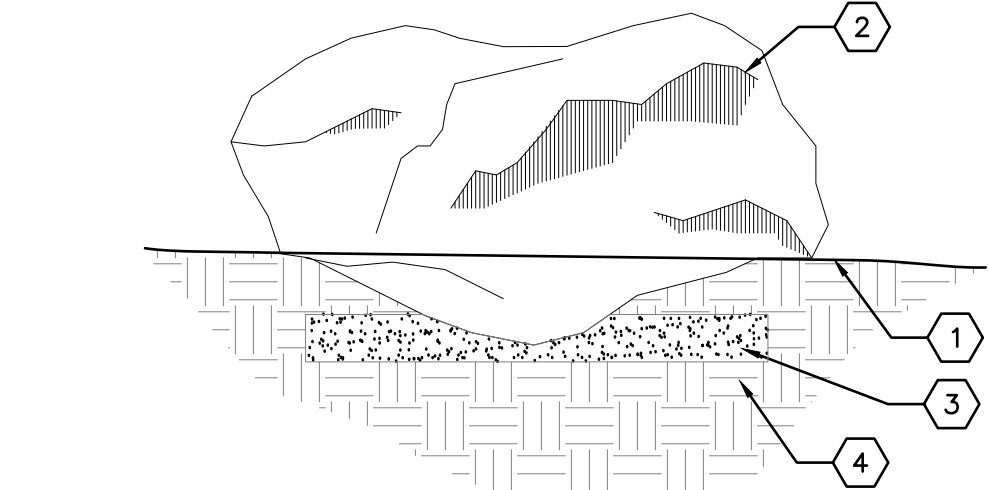
SYMBOL	COMMON NAME	BOTANICAL NAME	DESERT ACCENTS	
TREES				BEARGRASS
	ALLEE LACEBARK ELM	ULMUS PARVIFOLIA 'EMER II' TM		COMMON SOTOL
	CHINESE PISTACHE	PISTACIA CHINENSIS		DESERT DUSK®RED YUCCA
	COMMON HACKBERRY	CELTIS OCCIDENTALIS		SPINELESS PRICKLEY PEAR
	DESERT DIVA DESERT WILLOW	CHILOPSIS LINEARIS 'LOPUR' DESERT DIVA	EVERGREEN SHRUBS	
	EMERALD SUNSHINE ELM	ULMUS PROPINQUA 'JFS-BIEBERICH' TM		ARIZONA ROSEWOOD
	FRONTIER ELM	ULMUS X 'FRONTIER'		DESERT SAGE
	GOLDEN RAIN TREE	KOELREUTERIA PANICULATA		DWARF RABBITBRUSH
	GREEN VASE SAWLEAF ZELKOVA	ZELKOVA SERRATA 'GREEN VASE'		GREEN CLOUD TEXAS SAGE
	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA		PRARIE SAGE
	PURPLE ROBE LOCUST	ROBINIA PSEUDOCACACIA 'PURPLE ROBE'		ROSEMARY
	RIO GRANDE COTTONWOOD	POPULUS DELTOIDES WISLIZENII		SILVER SAGEBRUSH
EVERGREEN TREES				TURPENTINE BUSH
	PINON PINE	PINUS EDULIS	PERENNIALS	
	BLONDE AMBITION BLUE GRAMA	BOUTELLOUA GRACILIS 'BLONDE AMBITION'		AUTUMN SAGE
	DEER GRASS	MUHLENBERGIA RIGENS		CATMINT
DECIDUOUS SHRUBS				COMPACT CREEPING GERMANDER
	APACHE PLUME	FALLUGIA PARADOXA		DWARF PLUMBAGO
	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS		MOONSHINE YARROW
	CREEPING THREE-LEAF SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'		
	GOLDEN CURRANT	RIBES AUREUM		
	GRO-LOW SUMAC	RHUS AROMATICA 'GRO-LOW'		
	LEADPLANT	AMORPHA CANESCENS		
	WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'		

PLANT SCHEDULE

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	HT.	SPD.	INSTALLED SIZE
TREES							
	20	ALLEE LACEBARK ELM	ULMUS PARVIFOLIA 'EMER II'™	2" CAL.	50'	35'	2" CAL. 8'-10' HT.
	9	CHINESE PISTACHE	PISTACIA CHINENSIS	2" CAL.	30'	30'	2" CAL. 6'-8' HT.
	14	COMMON HACKBERRY	CELTIS OCCIDENTALIS	2" CAL.	30'	30'	2" CAL. 12'-14' HT.
	7	DESERT DIVA DESERT WILLOW	CHILOPSIS LINEARIS 'LOPUR' DESERT DIVA	36" BOX	30'	30'	8'-10' HT.
	7	FRONTIER ELM	ULMUS X 'FRONTIER'	2" CAL.	40'	30'	2" CAL. 8'-10' HT.
	2	GOLDEN RAIN TREE	KOELREUTERIA PANICULATA	2" CAL.	30'	30'	8'-10' HT.
	13	GREEN VASE SAWLEAF ZELKOVA	ZELKOVA SERRATA 'GREEN VASE'	24" BOX	35'	25'	2" CAL., 10'-12' HT.
	6	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	24" BOX	15'	15'	2" CAL. 6'-8' HT.
	6	PURPLE ROBE LOCUST	ROBINIA PSEUDOACACIA 'PURPLE ROBE'	2" CAL.	35'	25'	2" CAL., 10'-12' HT.
	9	RIO GRANDE COTTONWOOD	POPULUS DELTOIDES WISLIZENII	B&B	40'	40'	2" CAL., 12'-14' HT.
EVERGREEN TREES							
	11	PINON PINE	PINUS EDULIS	2" CAL.	15'	15'	6'-8' HT.
GRASSES							
	19	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	3 GAL.	2'	2'	MIN. 8" HT.
	54	DEER GRASS	MUHLENBERGIA RIGENS	5 GAL.	3'	4'	MIN. 18" SPD.
DECIDUOUS SHRUBS							
	39	APACHE PLUME	FALLUGIA PARADOXA	5 GAL.	6'	6'	MIN. 18" SPD.
	6	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	5 GAL.	5'	5'	MIN. 12" HT.
	3	CREEPING THREE-LEAF SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'	5 GAL.	1'	6'	MIN. 18" SPD.
	2	GOLDEN CURRANT	RIBES AUREUM	5 GAL.	5'	5'	18" H X 16" W
	32	GRO-LOW SUMAC	RHUS AROMATICA 'GRO-LOW'	5 GAL.	3'	8'	MIN. 18" SPD.
	41	LEADPLANT	AMORPHA CANESCENS	5 GAL.	3'	3'	MIN. 12" HT.
	39	WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	2'	4-6'	MIN. 18" SPD.
DESERT ACCENTS							
	28	BEARGRASS	NOLINA MICROCARPA	5 GAL.	5'	5'	MIN. 12" HT.
	4	COMMON SOTOL	DASYLIRION WHEELERI	5 GAL.	4'	4'	MIN. 12" HT.
	51	DESERT DUSK®RED YUCCA	HESPERALOE PARVIFLORA 'MSWNPERMA' DESERT DUSK	1 GAL.	2'-6"	3'	MIN. 12" SPD.
	11	SPINELESS PRICKLEY PEAR	OPUNTIA ELLISIANA	5 GAL.	4'	4'	MIN 18" HT
EVERGREEN SHRUBS							
	13	ARIZONA ROSEWOOD	VAUQUELINIA CALIFORNICA	15 GAL.	12'	10'	1" CAL. 4'-6' HT.
	44	DESERT SAGE	SALVIA DORRII	1 GAL.	2'	3'	12" H X 12" W
	65	DWARF RABBITBRUSH	CHRYSOETHAMNUS NAUSEOSUS NAUSEOSUS	5 GAL.	3'	3'	MIN. 12" HT.
	44	GREEN CLOUD TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	10 GAL.	6'	6'	4' HEIGHT
	12	PRARIE SAGE	ARTEMISIA LUDOVICIANA	5 GAL.	3'	3'	MIN. 12" HT.
	7	ROSEMARY	ROSMARINUS OFFICINALIS	3 GAL.	4'	4'	24" H X 18" W
	25	SILVER SAGEBRUSH	ARTEMISIA CANA	3 GAL.	4'	4'	18" H X 20" W MIN.
	35	TURPENTINE BUSH	ERICAMERIA LARICIFOLIA	3 GAL.	3'	4'	MIN 18" HT
PERENNIALS							
	41	AUTUMN SAGE	SALVIA GREGGII	5 GAL.	2'	3'	MIN. 6" SPD.
	12	CATMINT	NEPETA FAASSENII	1 GAL.	1'	3'	MIN. 6" SPD.
	11	COMPACT CREEPING GERMANDER	TEUCRIUM CHAMAEDRYS 'PROSTRATUM'	1 GAL.	6"	1'-6"	MIN. 6" SPD.
	17	DWARF PLUMBAGO	CERATOSTIGMA PLUMBAGINOIDES	1 GAL.	1'	1'-6"	MIN. 6" SPD.
	40	MOONSHINE YARROW	ACHILLEA X 'MOONSHINE'	1 GAL.	2'	2'	MIN. 6" SPD.

GENERAL PLANTING NOTES

CODE	DESCRIPTION
GP-01	IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT LEGEND AND THOSE SHOWN ON THE PLANTING PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION. NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT LIST.
GP-02	IF THERE IS A DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE CONTAINER SIZE CALLED OUT UNDER "REMARKS" AND HEIGHT & SPREAD CALLED OUT UNDER "INSTALLED SIZE", THE SPECIFIED PLANT MUST MEET HEIGHT & SPREAD REQUIREMENTS SPECIFIED UNDER "INSTALLED SIZE", EVEN IF A LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS, AT NO ADDITIONAL COST TO THE OWNER.
GP-03	FILTER FABRIC SHALL BE MIN. 4 OZ. NON-WOVEN NEEDLE-PUNCHED POLYPROPYLENE (MIRAFI OR EQUIVALENT). OVERLAP ENDS 3" AND TURN DOWN EDGES 6".
GP-04	THE TOP OF MULCH SHALL BE 1" BELOW TOP OF ADJACENT CONCRETE SURFACES.
GP-05	THE CONTRACTOR SHALL PRUNE LOWER BRANCHES OF DECIDUOUS TREES AS DIRECTED BY LANDSCAPE ARCHITECT IN THE FIELD.
GP-08	THE CONTRACTOR SHALL INSTALL TREES PER DETAIL A6/LP501.
GP-09	THE CONTRACTOR SHALL INSTALL SHRUBS PER DETAIL E6/LP501.
GP-10	THE CONTRACTOR SHALL INSTALL BOULDERS PER DETAIL A4/LP501
GP-11	AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. THE SYSTEM WILL BE CONTROLLED BY AN AUTOMATIC CONTROLLER. PLANTS WILL BE IRRIGATED BY LOW WATER USE BUBBLERS. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE INSTALLED IN A HEATED ENCLOSURE TO PROTECT THE DOMESTIC WATER SUPPLY FROM CROSS-CONTAMINATION.
GP-12	THE OWNER WILL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF THE LANDSCAPE.
GP-13	VISIBILITY, LANDSCAPING, FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE LOCATED IN THE CLEAR SIGHT TRIANGLE.
GP-14	GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
GP-15	PER 5-13 (B)(7)(a) LANDSCAPING, SCREENING AND BUFFERING AREAS SHALL BE MAINTAINED IN COMPLIANCE WITH ARTICLES 6-6 AND 9-8 OF ROA 1994 (TREES, VEGETATION, LANDSCAPING WEEDS, LITTER AND SNOW) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE).
GP-16	ALL LANDSCAPED AREAS SHALL BE MAINTAINED WITH A NEAT AND ORDERLY APPEARANCE, WHICH INCLUDES PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED PLANTS AND TREES, DISPOSAL OF LITTER, REPAIR OF DAMAGED WALLS AND HARD SURFACE AREAS, AND UPKEEP OF IRRIGATION SYSTEMS.
GP-17	PER 5-13(B)(7)(e) WHERE LANDSCAPING WAS INSTALLED PURSUANT TO A SITE PLAN OR DEVELOPMENT APPROVAL, THE LANDSCAPING SHALL BE REPLACED ACCORDING TO ANY LANDSCAPING AND MAINTENANCE PLAN UNDER THAT APPROVAL.
GP-18	PER 5-13(B)(7)(e) TREES OR PLANTS THAT DIE SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 CALENDAR DAYS AFTER NOTICE FROM THE CITY. THE REPLACEMENT OF DEAD VEGETATION IS THE RESPONSIBILITY OF THE PROEPERTY OWNER.
GP-19	PER 5-13 (B)(7)(f) STREET TREES SHALL BE MAINTAINED ALIVE AND HEALTHY. MAINTAINING AND REPLACING STREET TREES OR OTHER TREES PLANTED IN THE PUBLIC RIGHT-OF-WAY ARE THE RESPONSIBILITY OF ABUTTING PROPERTY OWNERS.
GP-20	PER 5-6(C)(5)(A), ALL VEGETATED MATERIAL REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE PLANTED IN UNCOMPACTED SOIL.
GP-21	PER 5-6(C)(5)(B), IF USED, WEED BARRIERS SHALL BE PERMEABLE TO OPTIMIZE STORMWATER INFILTRATION AND PREVENT RUNOFF.
GP-22	PER 5-6(C)(5)(D), A MINIMUM OF 2 INCHES OF ORGANIC MULCH IS REQUIRED IN ALL PLANTING AREAS. WITH 3-4 INCHES RECOMMENDED.
GP-23	PER 5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
GP-24	PER 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.
GP-25	PER 5-6(C)(9)(C), WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, THE APPLICANT SHALL INSTALL AN ADEQUATE IRRIGATION SYSTEM THAT MEETS THE MINIMUM TECHNICAL REQUIREMENTS IN ARTICLE 6-6 OF ROA 1994 (TREES, VEGETATION AND LANDSCAPING) AND THE DPM, WITH A SEPARATE METER FOR THE LANDSCAPE AREA IN THE PUBLIC RIGHT-OF-WAY, OR A SEPARATE VALVE(S) AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY. DRIP IRRIGATION SYSTEMS AND ARTIFICIAL TURF SHALL NOT BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY.
GP-26	PER 5-6(C)(15)(C) ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE ABUTTING PROPERTY OWNER OR THE PROPERTY OWNER'S AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF ANY LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT SHALL BE THE RESPONSIBILITY OF SUCH PROPERTY OWNER. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWTH OF PLANT MATERIALS THAT HAVE BEEN APPROVED BY THE APPLICABLE PUBLIC UTILITY AS PART OF A PLAN FOR LANDSCAPING, SCREENING, OR BUFFERING ON THE PUBLIC RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY. IF A PUBLIC UTILITY DISTURBS LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF THE PLANT MATERIALS DIE DESPITE THOSE EFFORTS, IT IS THE OBLIGATION OF THE ABUTTING PROPERTY OWNER TO REPLACE THE PLANT MATERIALS.
GP-27	PER 5-6(C)(15)(D) PROPERTY OWNERS ACKNOWLEDGE THAT APPROVED LANDSCAPING AND TREES INSTALLED AND MAINTAINED IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT ABUTTING PRIVATE PROPERTIES ARE THE PROPERTY OF THE CITY, AND THAT THAT THE CITY RESERVES THE RIGHT TO REMOVE THEM IF NECESSARY FOR A TRANSPORTATION PROJECT WITHOUT COMPENSATION, BUT AT NO COST TO THE PROPERTY OWNER. LANDSCAPING INSTALLED IN AN ABUTTING PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT BY PROPERTY OWNERS AND LATER REMOVED BY THE CITY SHALL NOT IMPACT PREVIOUSLY APPROVED NET LOT AREA CALCULATIONS FOR REQUIRED LANDSCAPING.
GP-28	PER 5-6(C)(14)(A), IRRIGATION SYSTEMS SHALL COMPLY WITH SECTION 8 OF THE ABCWUA LEGISLATION AND ORDINANCES (CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE).
GP-29	PER 5-6(C)(14)(B), ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
GP-30	PER 5-6(C)(14)(D), THE IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, DRIVE AISLES, STREETS, AND PARKING AND LOADING AREAS.
GP-31	PER 5-6(C)(4)(G), ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6- 6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY(ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.
GP-32	PER 5-6(C)(4)(H), ALL REQUIRED PLANT MATERIALS SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ASNA) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
GP-33	PER 5-6(C)(5)(E), ORGANIC MULCH SHALL BE USED AS GROUND COVER UNDER ALL TREES. MULCH SHALL BE INSTALLED IN A 5-FOOT RADIUS AROUND THE TREE TRUNK, BUT NOT DIRECTLY AGAINST THE TRUNK. WEED BARRIER FABRIC IS PROHIBITED IN THESE AREAS. SEE DETAIL A3/LP501.
GP-34	PER 5-6(C)(5)(E), ORGANIC MULCH SHALL BE USED AS GROUND COVER UNDER ALL TREES. MULCH SHALL BE INSTALLED IN A 5-FOOT RADIUS AROUND THE TREE TRUNK, BUT NOT DIRECTLY AGAINST THE TRUNK. WEED BARRIER FABRIC IS PROHIBITED IN THESE AREAS. SEE DETAIL A3/LP501.



KEYED NOTES

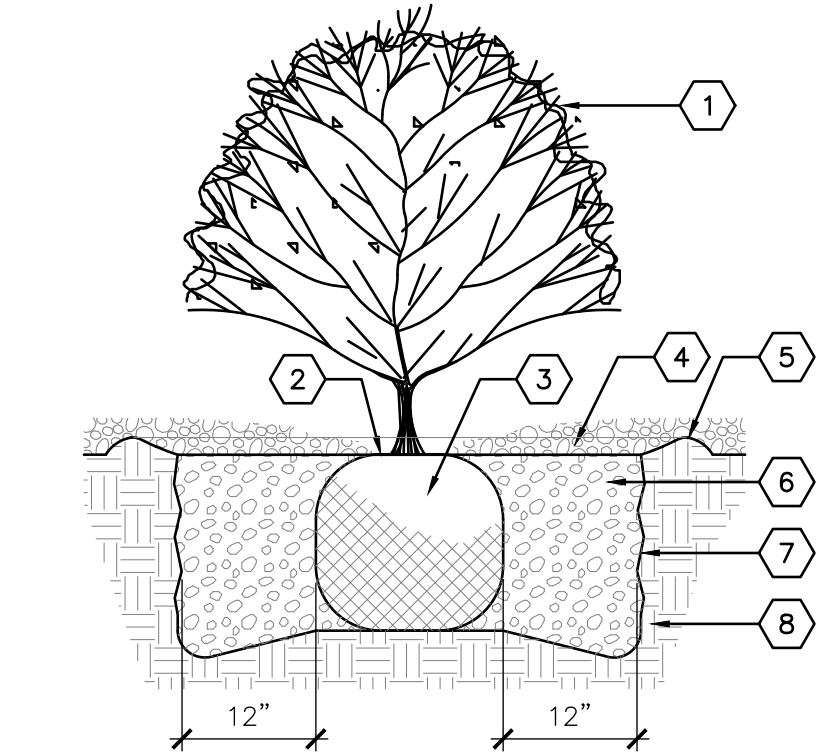
1. FINISH GRADE (MATERIAL VARIES) – ¼ TO ½ OF BOULDER SHALL BE BURIED BELOW FINISH GRADE.
2. BOULDERS SHALL BE 12 TO 18 CU. FT.
3. 2" MIN. SAND SETTING BED
4. COMPACTED SUBGRADE.

GENERAL NOTES

- A. ACCENT BOULDERS SHALL BE SOURCED FROM A LOCAL QUARRY, SEE SPECIFICATIONS.

A4 ACCENT BOULDER

NOT TO SCALE

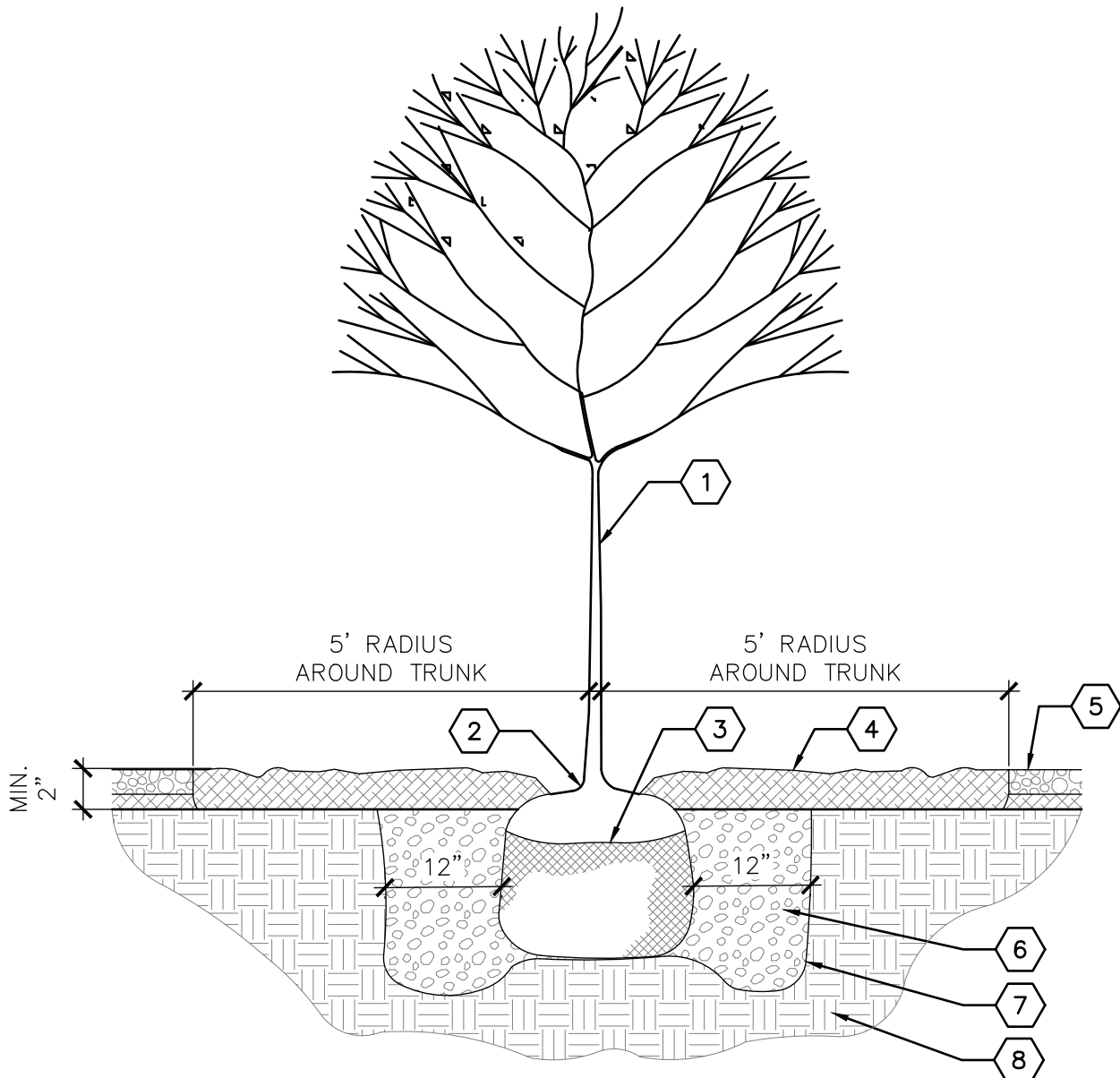


KEYED NOTES

1. SHRUB – SEE PLAN FOR SPECIES AND LOCATION.
2. PLANT AT SAME DEPTH AS MAINTAINED AT NURSERY.
3. PLACE SHRUB IN HOLE AND STRAIGHTEN.
4. MULCH – SEE PLAN. HOLD BACK 2" FROM SHRUB STEMS.
5. EARTHEN BERM, 6" HEIGHT
6. THOROUGHLY MIX BACKFILL AND SOIL AMENDEMENTS PRIOR TO INSTALLATION – SEE SPECIFICATIONS.
7. SCARIFY EDGE OF PLANTING HOLE, CONTINUOUS ALL SIDES
8. UNDISTURBED SUBGRADE

E6 SHRUB PLANTING

NOT TO SCALE



KEYED NOTES

1. TREE – SEE PLAN FOR SPECIES AND LOCATION.
2. REMOVE EXISTING SOIL FROM NURSERY AS NEEDED TO EXPOSE ROOT FLARE.
3. INSTALL WITH ROOT FLARE 2"-3" ABOVE GRADE.
4. PLACE TREE IN HOLE AND STRAIGHTEN. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE AND/OR ROPE, AND BURLAP PRIOR TO BACKFILL.
4. INSTALL ORGANIC MULCH AT 5' RADIUS AROUND TREE TRUNK. AVOID MULCH INSTALLATION 4"-6" FROM TREE TRUNK.
5. GRAVEL MULCH OVER ORGANIC MULCH – SEE DETAIL A3/LP501.
6. THOROUGHLY MIX BACKFILL AND SOIL AMENDEMENTS PRIOR TO INSTALLATION – SEE SPECIFICATIONS.
7. SCARIFY EDGE OF PLANTING HOLE, CONTINUOUS ALL SIDES.
8. UNDISTURBED SUBGRADE

A6 TREE PLANTING

NOT TO SCALE

