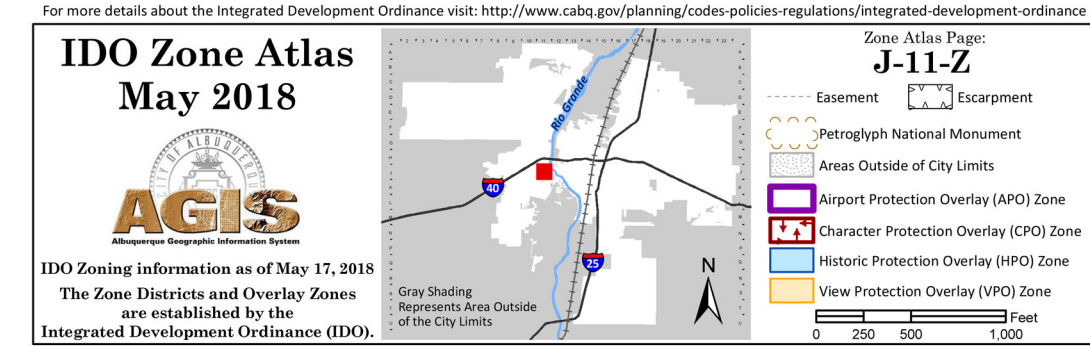
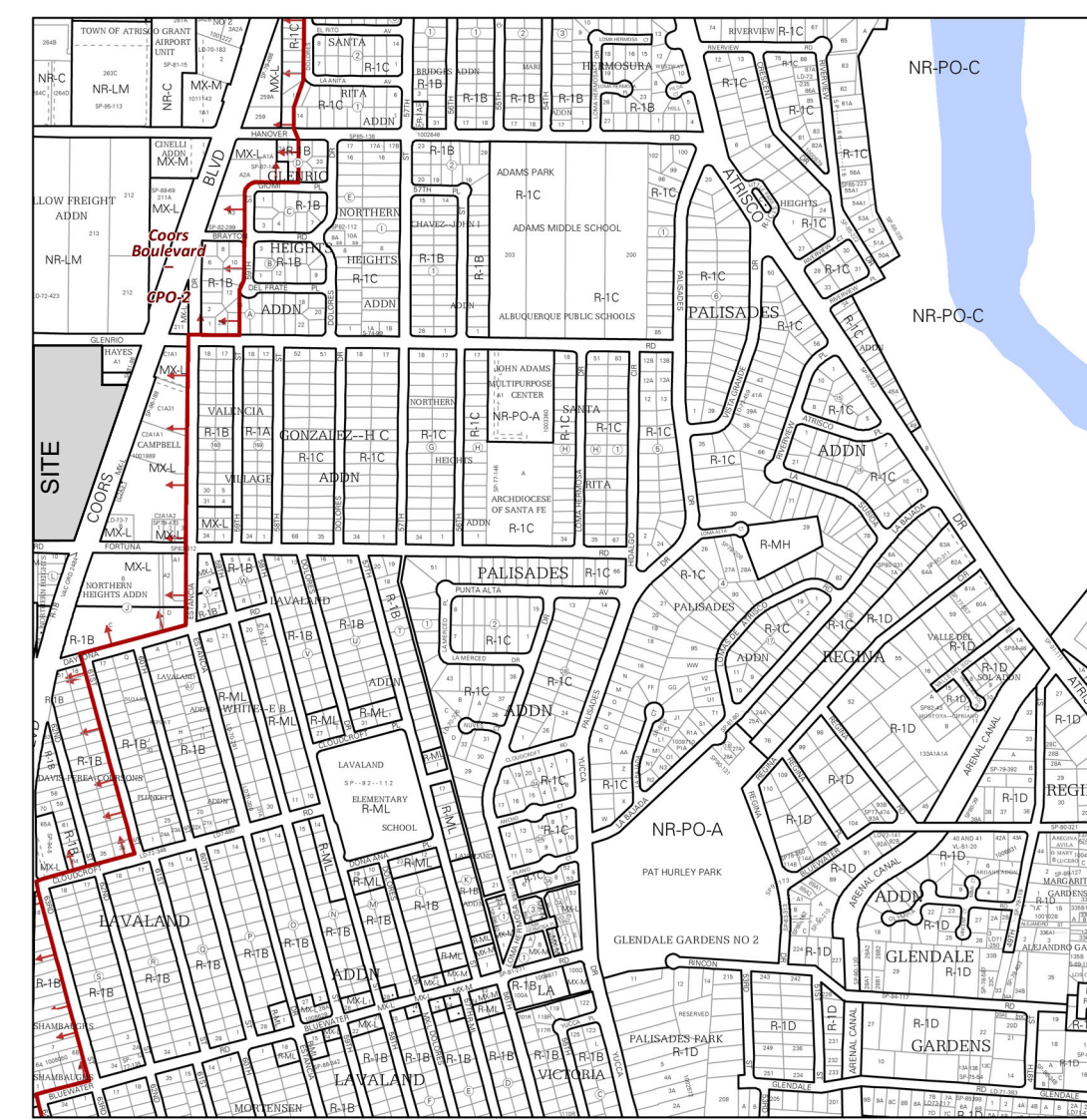


ZONE ATLAS



PROJECT NUMBER:	
Application Number:	
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [Date], and the Findings and Conditions in the Official Notification of Decision are satisfied.	
Is an Infrastructure List required? () Yes () No If yes, then a set of approved IDO plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DET SITE DEVELOPMENT PLAN APPROVAL:	
Traffic Engineering, Transportation Division	Date
ABC/WUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

KEYED NOTES:

1. New Accessible Sidewalks - See Detail 9/TCL2.0
2. Monument Sign - Signs shall be permitted separately. They shall not be animated, shall not emit smoke, visible vapors, particles or odor, shall not rotate or move in any manner. Additionally, they shall not have flashing lights incorporated as part of their design and performance. See detail 26/AS2.0.
3. Accessible Unit
4. Hearing Impaired Unit
5. ADA Van Accessible Parking w/ Precast Concrete Wheel Stops - Please See Detail 5 & 8/TCL2.0 For Parking Space Dimensions
6. Garbage Enclosure with Gates - See Details 1-4/TCL2.0 For Garbage Enclosure Notes & Dimensions.
7. New gated basketball court for kids 12 and older with warning sign.
8. New tot lot play structure for kids 5 and under with warning sign.
9. New play ground structure for kids 5-12 with warning sign.
10. Shaded Picnic Tables / BBQ Grill
11. Mail Center with lighting (lit dusk until dawn)
12. All Weather Permanent Mounted Bench w/ 30x48 Level Concrete Pad at One Side For ADA Access. See Detail 13/TCL2.0
13. 32 Bike Racks Arches (64 Spaces) - See 14 & 16/TCL2.0 For Details
14. Recycling Center Enclosure
15. Community Building main entry
16. Community Gardens w/ irrigation lines and yard hydrant.
17. Crosswalk connection to refuge enclosures and public way.
18. ADA Curb Ramp - See Detail 5 & 21 For Curb Ramp Slopes & Dimensions
19. Round - About
20. Fire Lane
21. New 8' rod iron fence at property perimeter w/ gray split face pilasters.
22. Gated dog park w/ shaded seating area.
23. Detention pond
24. Concrete Masonry Yard Walls for protection from head lights. See 25/TCL2.0 for Details
25. Location of future YDI Building on Adjacent Lot.
26. Street trees per IDO
27. Electric Vehicle Parking & Charging Spaces
28. Asphalt Driveway - Drive Aisle 25' Asphalt Pavement Over 4" Compacted Roadway
29. Basecourse. Drive Shall Be Designed & Constructed Capable of Supporting Three Imposed Load of Fire Apparatus Weighing At Least 75,000 Lbs Drive Shall Not Exceed 10% Grade - See Detail 18/TCL2.0
30. Building Identifier Sign To Be Illuminated From Dusk To Dawn - See 22/TCL2.0
31. Sight Triangle Per DPM Table 7.5.10
32. Landscaping, Fencing & Signage Will Not Interfere w/ Clear Sight Requirements. Therefore, Signs, Walls, Trees & Shrubbery Between 3 & 5 Feet Tall (As Measured From The Outer Pan) Will Not Be Acceptable If/ The Clear Sight Triangle.
33. Detectable Warning Strip & Public Curb Ramp. See 17/TCL2.1
34. New Stop Signage - See Detail 15/TCL2.0
35. Motorcycle Parking - See 1 & 11/TCL2.0 For Dimensions.
36. New 6'-0" High Chain Link Fence At Basketball Court & Dog Park Perimeter - See 24/TCL2.0
37. Transformer pad for EV Capable spaces, Provide capped cable raceway to every other parking space.
38. Detectable Warning Strip & Public Curb Ramp. See Detail 17/TCL2.1
39. Public Crosswalk
40. New Stop Signage - See Detail 15/TCL2.0
41. Entries into residential buildings.
42. New Public Sidewalk
43. New stop sign - See Detail 15/TCL2.0

PROJECT INFORMATION:

OCCUPANCY TYPE	R2 - 128 UNITS
CONSTRUCTION TYPE	TYPE 5A
AUTOMATIC SPRINKLER SYSTEM:	NFPA 13 R
BUILDING HEIGHT:	45'-0" MAX PER IDO
NUMBER OF FLOORS:	35 - 112' FEET ACTUAL
LOT AREA:	3 FLOORS
UNIT MIX	276,900 SF / 6.35 ACRES
NEW CONSTRUCTION:	
ONE BEDROOM	34
TWO BEDROOM	70
THREE BEDROOM	24
TOTAL UNITS	128

PARKING SPACES: PARKING REQUIREMENTS PER INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 9.5(B) APPLICABILITY. UPDATED PARKING REQUIREMENTS PER IDO 1.5 PARKING SPACE PER UNIT 25% OF TOTAL PARKING SPACES MAY BE COMPACT PER IDO STANDARDS REQUIRED: PROVIDED:

173 STANDARD SPACES	197 SPACES
22 HANDICAP SPACES	5 SPACES
10 ELECTRIC CHARGING STATIONS (5%)	6 SPACES
50 EV CAPABLE PARKING SPACES (25.4%)	20 SPACES
256 SPACES PROVIDED	64 SPACES

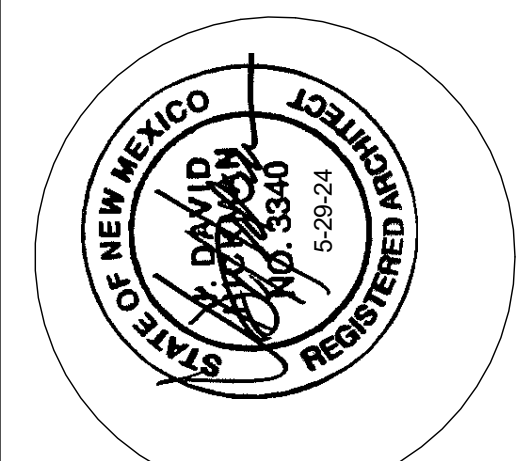
USABLE OPEN SPACE REQUIREMENTS: PER IDO TABLE 9.5-11	
1 BR: 225 SF	1 BR: 34 X 225 SF = 7,650 SF
2 BR: 285 SF	2 BR: 70 X 285 SF = 19,950 SF
3 BR: 350 SF	3 BR: 24 X 350 SF = 8,400 SF
REQUIRED OPEN SPACE	36,000 SF
PROVIDED OPEN SPACE	120,211 SF

MOTORCYCLE PARKING	
REQUIRED:	
PROVIDED:	
BIKE PARKING	
REQUIRED:	
PROVIDED:	

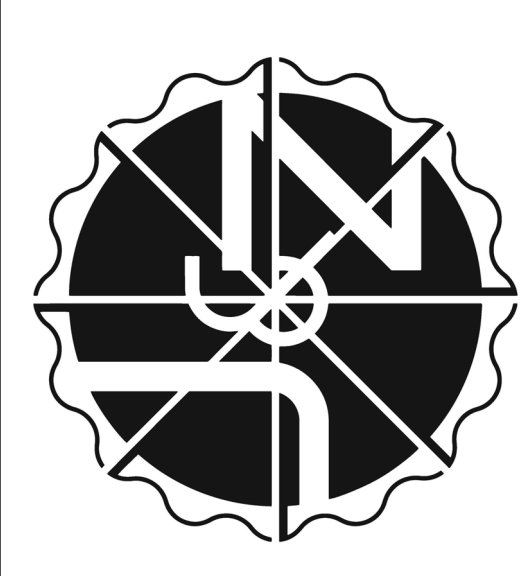
Property Line	
Accessible Path	
Concrete Sidewalk	
Clear Sight Triangle	

GENERAL NOTES:

- Site shall be developed in accordance with the Federal Clean Water Act and EPA best practices
- Site Grading and drainage shall be configured to drain away from buildings with ground water recharge as a goal.
- Retention basins shall be landscaped and made safe and attractive
- The total number of parking spaces provided exceeds the minimum off-street parking requirements of the CASO IDO.
- Accessible Units (Type A accessible units as described by the ANSI A117.1) are to exceed the minimum requirement of 5% of the total number of units. The total number of accessible units (20) shall be dispersed among the various unit types.
- All remaining units shall be Type B adaptable, shall have zero step entry, shall be located on an accessible route, and shall include 36" entry doors.
- Storm water shall be directed away from the buildings through the use of gutters, downsouths, and roof drains.
- Water shall be directed away from building edges and foundations by sloping grade to landscape areas for onsite water retention and reabsorption into ground water supply.
- A complete grading and drainage plan using best practices engineering shall be developed. Ponding areas shall be minimal depth, shall be landscaped and attractive. See Landscaping Plan for additional landscaping requirements.
- Buildings and Units to be individually marked with contrasting color signage. Signs shall be lit from dusk to dawn with the use of building and site lighting. Site Lighting package shall be Energy Star qualified.
- Hearing Impaired Units are to meet the minimum requirement of 2% of the total number of units. The total number of hearing impaired units (3) shall be dispersed among the various unit types.



JEEBS & ZUZU, LLC.
Architecture
Construction
Design-Build
5924 ANAHEIM AVENUE SUITE A
ALBUQUERQUE, NM 87113
P. 505-797-1318



job no: -
drawn: J&Z
checked: J&Z
date: Sep. 20, 2024

West Mesa Ridge
701 COORS BLVD NW ALBUQUERQUE NM 87121
sheet no: **AS1.1**