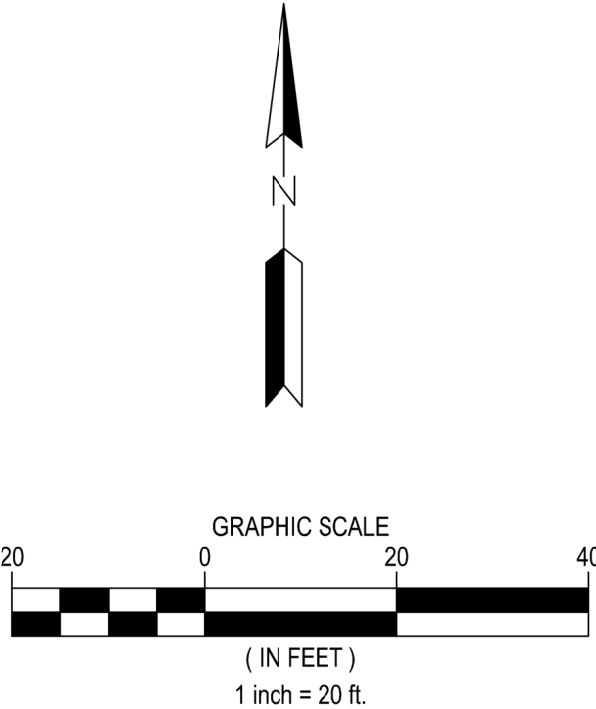


UTILITY PLAN LEGEND

	EXISTING STORMDRAIN
	EXISTING WATERLINE
	EXISTING OVERHEAD POWERLINE
	EXISTING SANITARY SEWER
	EXISTING GAS LINE
	EXISTING 16" WATER LINE
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING TELEPHONE PEDESTAL
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	EXISTING PULL BOX
	EXISTING SIGN
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING TREE
	EXISTING TRAFFIC SIGNAL
	EXISTING BOLLARD
	NEW FIRE HYDRANT
	NEW WATER METER
	NEW WATER VALVE
	NEW SANITARY SEWER MANHOLE
	NEW STORM DRAIN LINE
	NEW 3" WATER SERVICE LINE
	NEW 3" WATER LINE
	NEW 6" FIRE LINE
	NEW 8" SEWER MAIN LINE SIZE
	NEW 6" SEWER SERVICE LINE
	PROPOSED ROW

NOTES:

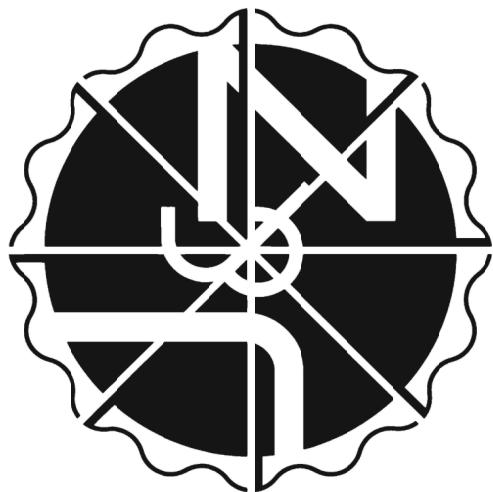
- COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
- COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.
- ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE ABUTTING PROPERTY OWNER OR THE PROPERTY OWNER'S AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF ANY LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT SHALL BE THE RESPONSIBILITY OF SUCH PROPERTY OWNER. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWTH OF PLANT MATERIALS THAT HAVE BEEN APPROVED BY THE APPLICABLE PUBLIC UTILITY AS PART OF A PLAN FOR LANDSCAPING, SCREENING, OR BUFFERING ON THE PUBLIC RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY. IF A PUBLIC UTILITY DISTURBS LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF THE PLANT MATERIALS DIE DESPITE THOSE EFFORTS, IT IS THE OBLIGATION OF THE ABUTTING PROPERTY OWNER TO REPLACE THE PLANT MATERIALS.



WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT NM11 (811 OR 1-800-321-2537) AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLE, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



To: Jay
City of Albuquerque

From: Colleen M. Ruiz
Albuquerque

Project/File: 1720001002

Date: September 21, 2025

Reference: PR-2024-010951 aka PR-2024-010617 SP-2025-00061 – SITE PLAN DFT Civil Engineering Comment Response

All or a portion of: Lot/Tract 165, TOWN OF ATRISCO GRANT AIRPORT UNIT zoned MX-M, MX-L, located at 724 64TH ST NW. (J-10)

REQUEST: Site Plan Administrative Approval of Phase 1 of the development to be known as West Mesa Ridge. This is a 128-unit workforce housing multifamily residential development to be constructed with partial funding from the City of Albuquerque. We are requesting approval of the Infrastructure List for Phase One in this application as well

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY

1. Availability Statement 250205 provides conditions for service.

- a. A public extension is required as part of the overall development and must be constructed or financially guaranteed prior to final sign off.

RESPONSE:

- i. A 20' wide public sewer easement is now shown across Tract C to Coors Blvd.
- ii. Improvements on Glenrio will be included in the Phase 2 plans to be approved with future Phase 2 DFT.
- b. Please include the required infrastructure on the infrastructure list. Currently the infrastructure list only includes private infrastructure which needs to be removed and include the necessary infrastructure noted on the executed Availability Statement.

RESPONSE:

- i. Phase 1 Infrastructure List includes including public water connections on 64th and a public sewer main extension across Tract C
- ii. Phase 2 Infrastructure List will include Glenrio required improvements will be tied to the Phase 2 DFT approval.

2. Utility Plan:

- a. Provide a utility plan that indicates the location of proposed services.

RESPONSE: See attached utility plan for proposed service locations.

- b. Show existing public water and public sewer mains and any associated easements on the utility plan.

RESPONSE: See attached utility plan for existing and proposed public water and sewer mains.

- c. Dimension the public water and public sewer easements on the utility plan.

RESPONSE: See attached updated utility plan for dimensioned public utility easements.

- d. There shall be no trees, parallel fences/sidewalks/curbs, or structures within the public water and public sewer easement. Please revise accordingly.

RESPONSE: See attached updated utility plan for easements outside of fences, trees, curb and gutter, and structures.

- e. Please add the following notes to the Master Utility Plan

Reference: PR-2024-010951 aka PR-2024-010617 SP-2025-00061 – SITE PLAN DFT

- i. Coordination with Water Authority Cross Connection Section will be required to ensure proper backflow containment is in place prior to release of meter for the site. Contact the Cross Connection Section at 505-289-3454.
- ii. Coordination with the Water Authority Pre-Treatment Engineer is required to ensure the site complies with Water Authority Sewer Use Ordinance. Contact the Pre-Treatment Engineer at 505-289-3439.

RESPONSE: The above notes have been added to the attached updated Utility Plan.

HYDROLOGY:

1. Hydrology has an approved Conceptual Grading & Drainage Plan (HT#J11D048)
2. Hydrology needs to approve the Grading & Drainage Plan prior to Building Permit.
3. Hydrology has no objection to approval of Phase 1 of the development

RESPONSE TO HYDROLOGY: Thank you for approval. A final Grading and Drainage Plan will be provided with Building Permit submittal. Thank you for approval

TRANSPORTATION:

1. As a reminder a full TCL will be required prior to building permit. No objection

RESPONSE TO TRANSPORTATION: Per clarification during DFT meeting a full TCL will not be required for Phase 1 approval during building permit. Thank you for approval.

Regards,

Stantec Consulting Services Inc.



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[stantec.com](https://www.stantec.com)