

DRAINAGE PLAN

LEGAL DESCRIPTION: THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BERNALILLO, STATE OF NEW MEXICO, AND IS DESCRIBED AS FOLLOWS: THAT CERTAIN PARCEL OF LAND SITUATE WITHIN SECTIONS 14 AND 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO, AND BEING IDENTIFIED AS PORTIONS OF TRACTS 132 AND 163 AND ALL OF TRACTS 164 AND 165 IN THE AIRPORT UNIT OF THE TOWN OF ATRISCO GRANT, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS SAID TRACTS ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 5, 1944.

SITE AREA: 6.55 AC

FLOOD HAZARD STATEMENT: F.E.M.A FLOODWAY BOUNDARY AND FLOODWAY MAPS DATE NOVEMBER 04, 2016 (PANEL NO. 35001C0327.J) INDICATES MINIMAL FLOOD HAZARD ZONES WITHIN THE SITE BOUNDARY.

EXISTING DRAINAGE CONDITION:
THE DRAINAGE ANALYSIS FOR THIS SITE IS IN ACCORDANCE WITH CHAPTER 6, ARTICLE 6-2, SECTION 6-2(A), ENTITLED "PROCEDURE FOR 40-ACRE AND SMALLER BASINS." THE DESIGN STORM USED FOR BOTH THE UNDEVELOPED AND DEVELOPED CONDITIONS IS THE 100-YEAR, 6-HOUR STORM EVENT FOR RUNOFF. THE SITE IS LOCATED IN ZONE 1 SO THE 100-YEAR, 6-HOUR STORM EVENT IS 2.17 INCHES. UNDER EXISTING CONDITIONS, THE PROPERTY IS PARTIALLY DEVELOPED WITH AN UNPAVED PARKING AREA.

PHASE 1 IS LOCATED ON THE SOUTHWEST CORNER OF GLENRIO RD AND CCORS BLVD. THE TRACT IS MOSTLY VACANT AND HAS A GATED IN PARKING AREA THAT IS NOT PAVED. GLENRIO RD IS A CROWNED ROADWAY AND THE SOUTH HALF FLOWS INTO THE SITE. THE NORTHERN HALF OF GLENRIO RD FLOWS WEST TO 64TH STREET. WEST MESA RIDGE HIGH SCHOOL IS THE PROPERTY WEST OF THE SITE. WEST MESA HIGH SCHOOL RETAINS ALL ONSITE FLOWS IN A DETENTION POND THAT TIES INTO THE 84" STORM DRAIN THAT RUNS SOUTH TO NORTH ALONG 64TH STREET. THIS STORM DRAIN CONTINUES NORTH AND OUTLETS AT THE WEST MESA DIVERSION SYSTEM. THIS EXISTING SYSTEM IS AT CAPACITY. BOTH FORTUNA RD AND COORS BLVD FLOW TO THE SOUTH AND IS COLLECTED IN A STORM DRAIN THAT RUN EAST OF THE SITE.

DEVELOPED DRAINAGE CONDITION:
THE PROPERTY WILL BE DEVELOPED INTO A AN AFFORDABLE HOUSING APARTMENT COMPLEX. THIS TRACT IS NOT PART OF A MASTER DRAINAGE PLAN. THEREFORE ALL FLOWS WILL BE CONTAINED ON SITE. ALL THE NORTHERN AND HALF THE WESTERN PARKING AREAS WILL FLOW TO A SIDEWALK CULVERT THAT'S LOCATION HALFWAY OF THE NORTHERN PARKING AREA. THIS FLOW WILL CONTINUE TO POND 1, POND 1, 2, 3, AND 4 WILL ALL HAVE EQUALIZER PIPES THAT WILL OUTLET TO THE SOUTHERN PARKING AREA. THE REST OF THE PARKING AREAS WILL FLOW TO THE SOUTHERN PARKING AREA WHERE ALL THE FLOW WILL BE CAPTURED IN A STORM INLET AND STORED IN UNDERGROUND STORAGE.

VOLUME REQUIRED: 57,533 CF POND STORAGE: 26,999 CF UNDERGROUND STORAGE: 31,000 CF TOTAL VOLUME PROVIDED: 57,999 CF

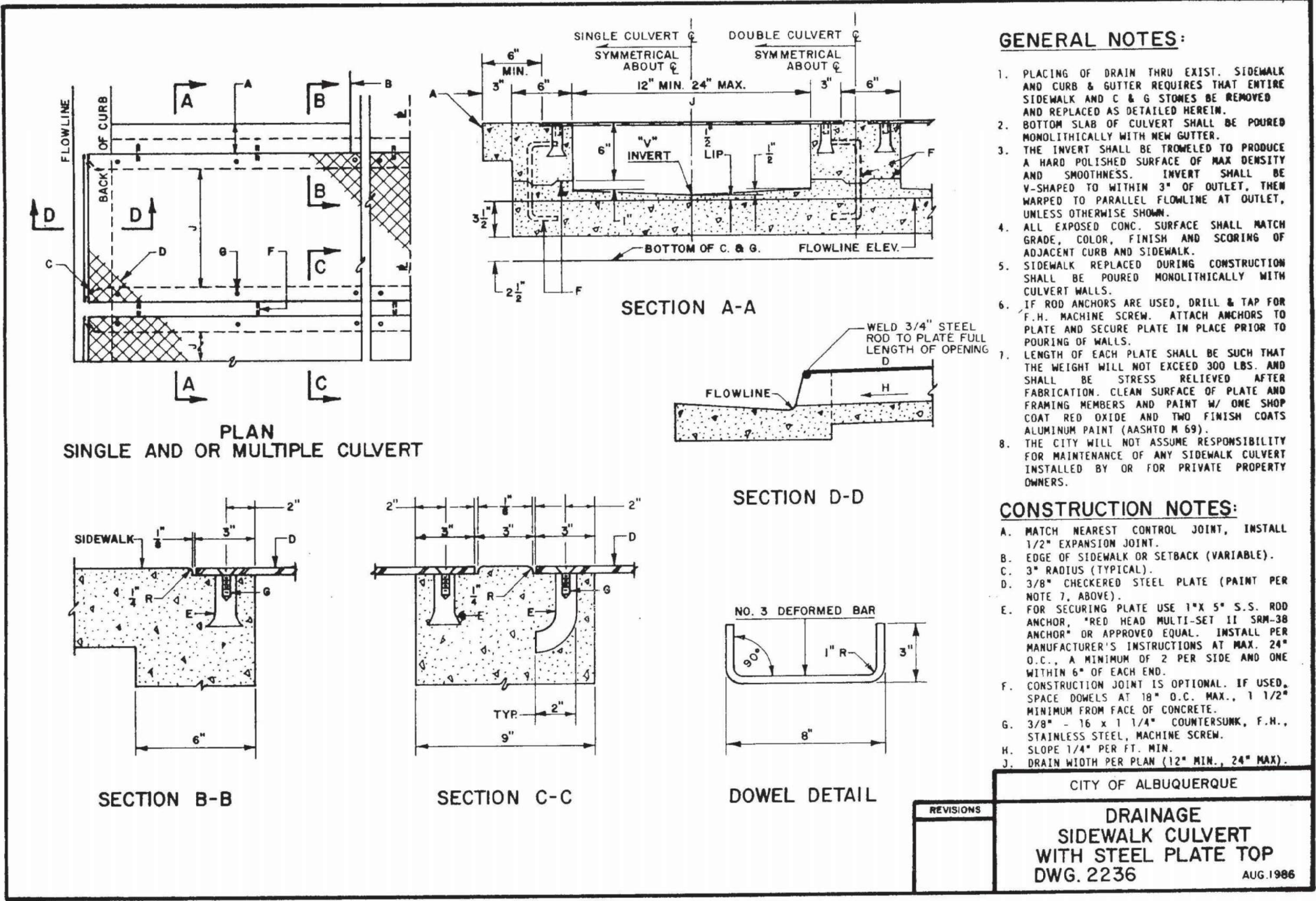
THE FUTURE PHASES WILL BE CONTAINED WITH A MIXTURE OF UNDERGROUND STORAGE AND A DETENTION POND THAT OVERFLOWS TO THE EXISTING STORM INLET LOCATED ON 64TH ST.

WATER QUALITY VOLUME = (0.42IN/12INFT) x (16.55 x 7.17) x 43.5609F/AC = 7,160 CF REQUIRED.
WATER QUALITY VOLUME PROVIDED FROM BASIN 1 = 2,200 CF
WATER QUALITY VOLUME PROVIDED FROM BASIN 2 = 11,416 CF
WATER QUALITY VOLUME PROVIDED FROM BASIN 3 = 11,416 CF
WATER QUALITY VOLUME PROVIDED FROM BASIN 4 = 1,967 CF
WATER QUALITY VOLUME PROVIDED FROM UNDERGROUND STORAGE = X CF
TOTAL WATER QUALITY VOLUME PROVIDED = CF

SIDEWALK CULVERT CAPACITY, WEIR EQUATION = (2.7) x (2FT) x (SIN(12INFT))^{1.5} = 1.45 CFS

MAINTENANCE PLAN

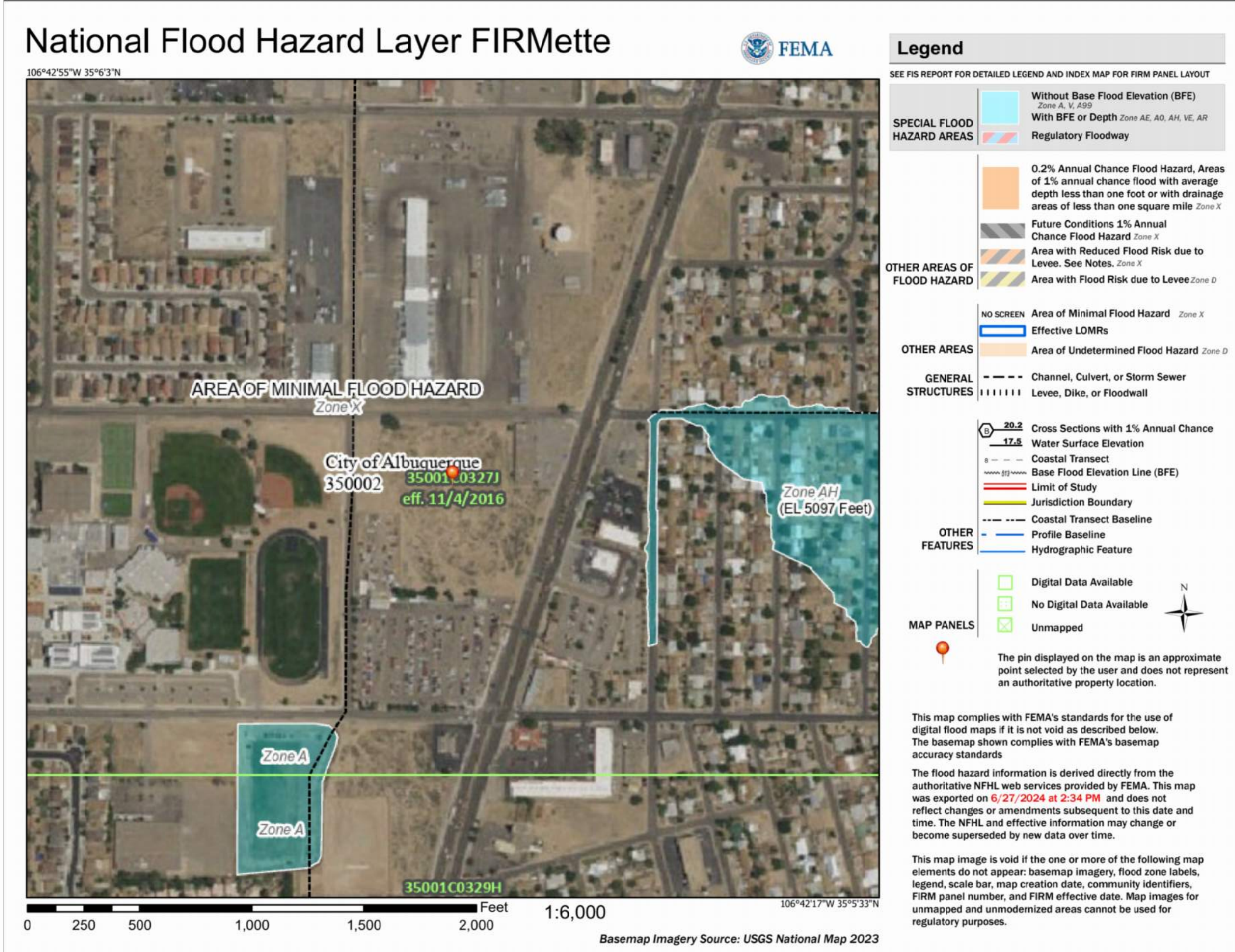
ALL PONDS AND CULVERTS ARE TO BE INSPECTED AND MAINTAINED YEARLY.



100-YEAR HYDROLOGIC CALCULATIONS										
LAND TREATMENT						100-YEAR PRECIPITATION				
BASIN #	AREA (acre)	A (%)	B (%)	C (%)	D (%)	WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (10-day) (acre-ft)	V (10-day) (cu-ft)
EXISTING CONDITIONS										
PHASE 1	6.55	82.43	0	16.69	0.88	0.63	0.34	15018.00	1.29	56151.34
FULL DEVELOPMENT CONDITIONS										
PHASE 1	6.55	8.64	0.00	24.31	67.05	1.78	0.97	42330.59	1.92	83463.94
EXCESS PRECIP.		0.55	0.73	0.95	2.24	Ei (in)				
PEAK DISCHARGE	1.54	2.16	2.87	4.12	Qpi (cfs)					

WEIGHTED E (in) = (E_A)(%A) + (E_B)(%B) + (E_C)(%C) + (E_D)(%D)
V_{6hr} (acre-ft) = (WEIGHTED E)(AREA)/12
V_{10DAY} (acre-ft) = V_{6hr} + (A₀)(P_{10DAY} - P_{6hr})/12
Q (cfs) = (Q_{pi})(A₀) + (Q_{pi})(A₀) + (Q_{pi})(A₀) + (Q_{pi})(A₀)

ZONE = 1
P_{6hr} (in.) = 2.17
P_{10DAY} (in.) = 3.9



- PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR
- BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY THE DMD CONSTRUCTION SERVICES DIVISION.
 - AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION HEALTH AND SAFETY.
 - PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE "CONFLICT" CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE 85%.
 - MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 - WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
 - FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES.

FOR INFORMATION ONLY

Preliminary Grading & Drainage Plan

West Mesa Ridge

sheet no:

GP1.0



JEEBS & ZUZU, LLC.

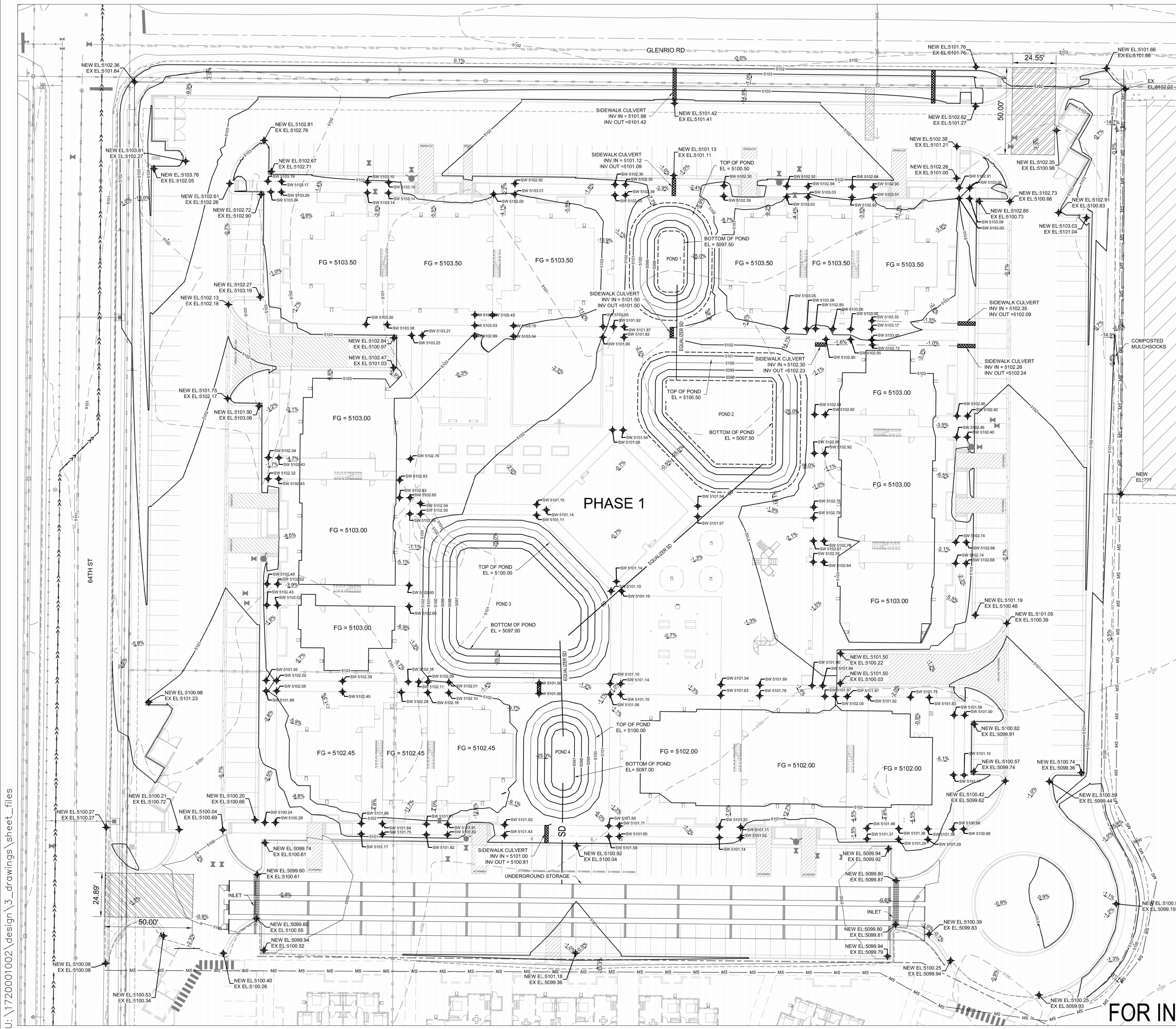
Architecture
Construction
Design-Build

5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P-505-797-1318



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GRADING AND DRAINAGE LEGEND

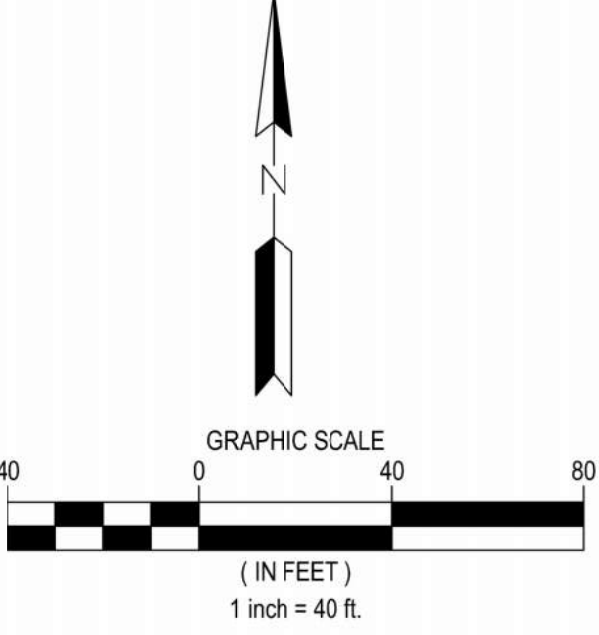
- PROPERTY BOUNDARY
- EXISTING EASEMENT
- 1000.00 EXISTING MINOR CONTOUR
- 1000.50 EXISTING MAJOR CONTOUR
- EXISTING STORM SEWER
- 901 PROPOSED MINOR CONTOUR
- 900 PROPOSED MAJOR CONTOUR
- SD FUTURE STORM SEWER
- STORM CATCH BASIN

EROSION CONTROL LEGEND

- OFFSITE TRACKING PREVENTION
- CURB INLET PROTECTION - MULCH SOCKS
- MS COMPOSTED MULCHSOCK
- FLOW DIRECTION

POND SUMMARY:

- POND 1: BOTTOM OF POND = 5097.50, TOP OF POND = 5100.50, BOTTOM OF POND = 6.3' X 26.7', DEPTH = 3' + 1" OF FREEBOARD, VOLUME = 2,200 CF
- POND 2: BOTTOM OF POND = 5097.50, TOP OF POND = 5100.50, BOTTOM OF POND = 6.3' X 26.7', DEPTH = 3' + 1" OF FREEBOARD, VOLUME = 11,416 CF
- POND 3: BOTTOM OF POND = 5097.00, TOP OF POND = 5100.00, BOTTOM OF POND = 6.6' X 47.4', DEPTH = 3' + 1" OF FREEBOARD, VOLUME = 11,416 CF
- POND 4: BOTTOM OF POND = 5096.25, TOP OF POND = 5099.25, BOTTOM OF POND = 6.8' X 26.7', DEPTH = 3' + 1" OF FREEBOARD, VOLUME = 1,967 CF



WARNING:
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checked: CR

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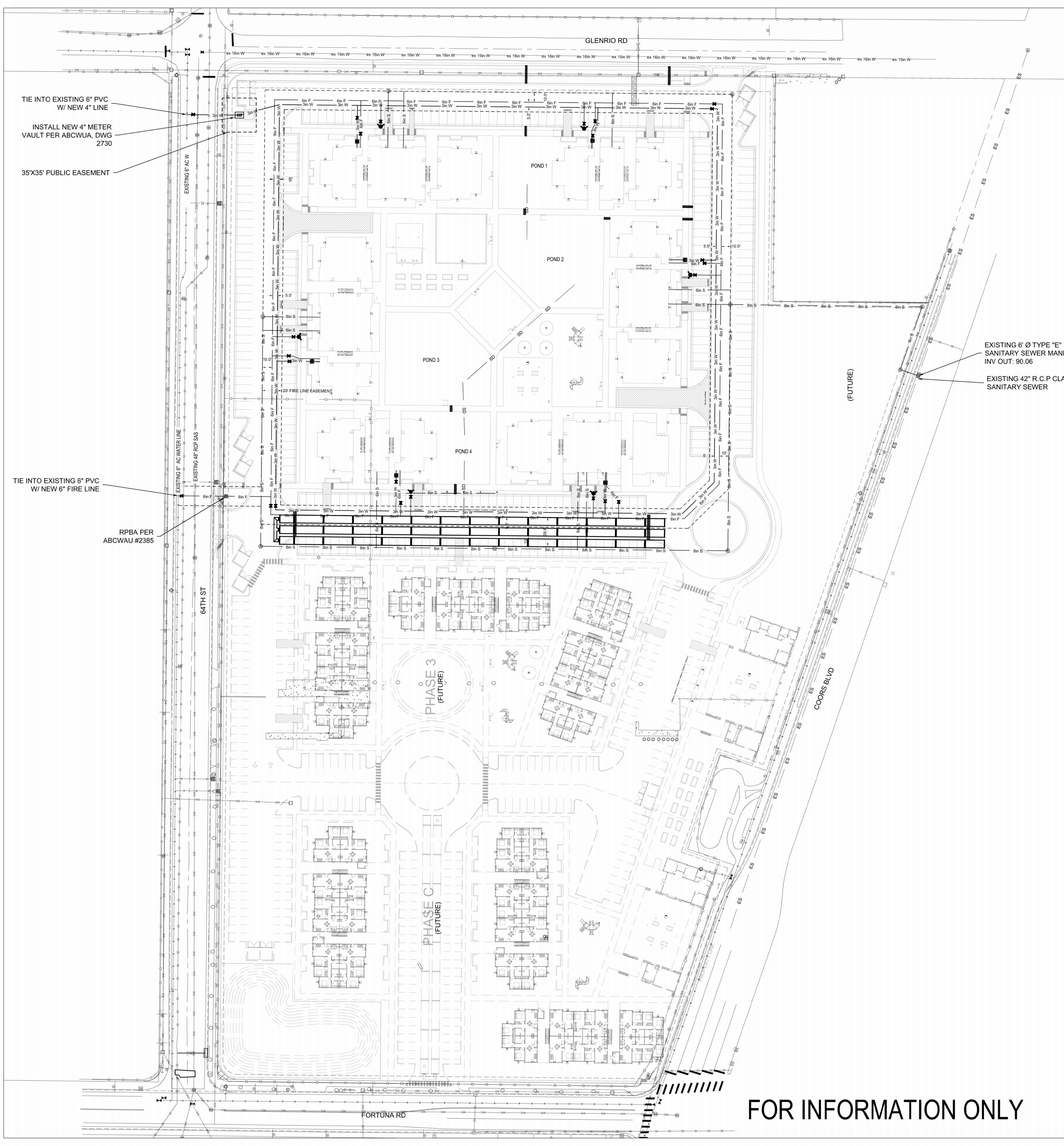
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West Mesa Ridge

701 COORS BLVD NW ALBUQUERQUE NM 87121

sheet no: GP1.0

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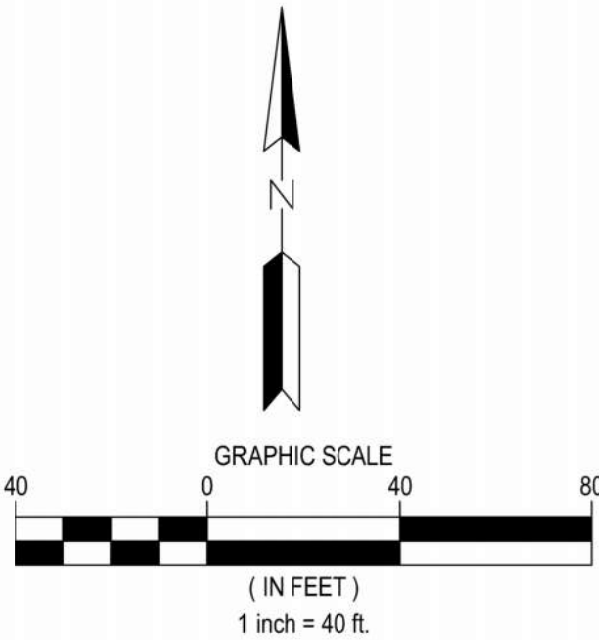


UTILITY PLAN LEGEND

	EXISTING 16" WATER LINE
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING TELEPHONE PEDESTAL
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	EXISTING PULL BOX
	EXISTING SIGN
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING TREE
	EXISTING TRAFFIC SIGNAL
	EXISTING BOLLARD
	NEW FIRE HYDRANT
	NEW WATER METER
	NEW WATER VALVE
	NEW SANITARY SEWER MANHOLE
	NEW STORM DRAIN LINE
	NEW 3" WATER SERVICE LINE
	NEW 3" WATER LINE
	NEW 6" FIRE LINE
	NEW 6" SEWER SERVICE LINE
	NEW 6" SEWER MAIN LINE SIZE

NOTES:

- COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
- COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.
- ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE ABUTTING PROPERTY OWNER OR THE PROPERTY OWNER'S AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF ANY LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT SHALL BE THE RESPONSIBILITY OF SUCH PROPERTY OWNER. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWTH OF PLANT MATERIALS THAT HAVE BEEN APPROVED BY THE APPLICABLE PUBLIC UTILITY AS PART OF A PLAN FOR LANDSCAPING, SCREENING, OR BUFFERING ON THE PUBLIC RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY. IF A PUBLIC UTILITY DISTURBS LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF THE PLANT MATERIALS DIE DESPITE THOSE EFFORTS, IT IS THE OBLIGATION OF THE ABUTTING PROPERTY OWNER TO REPLACE THE PLANT MATERIALS.



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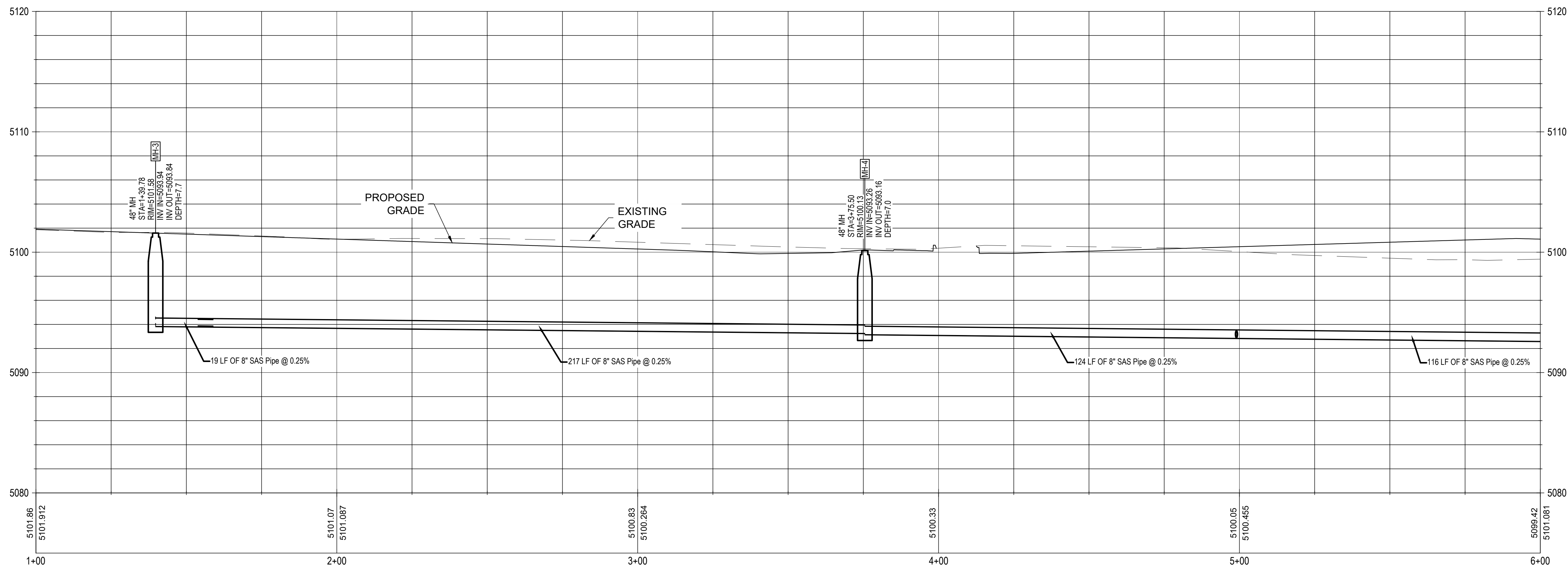
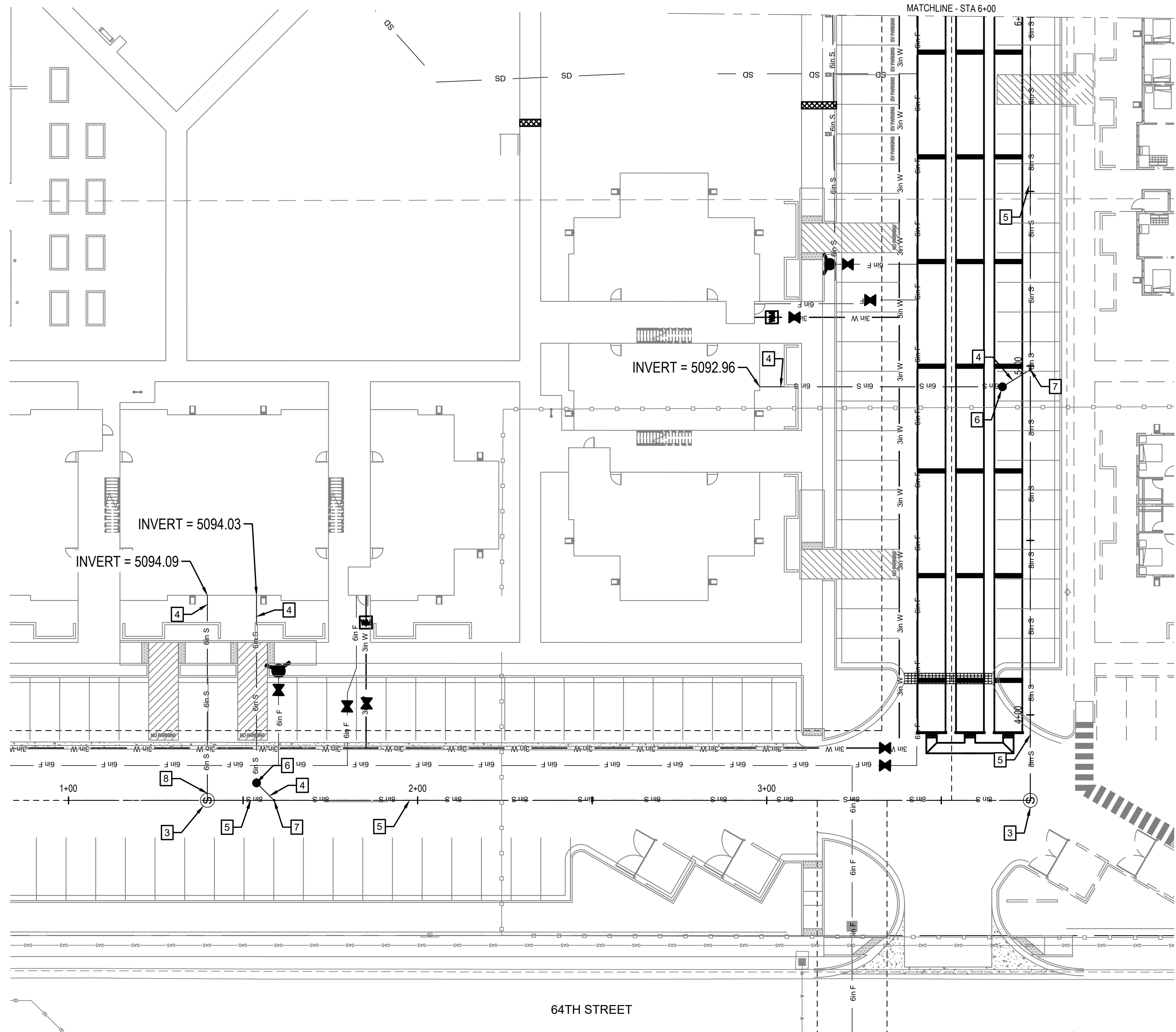


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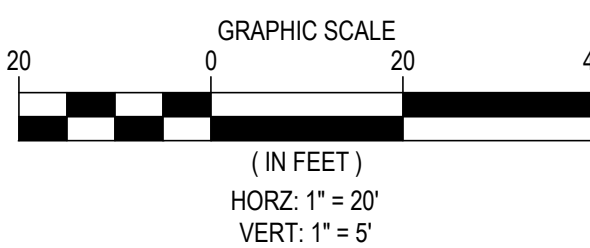
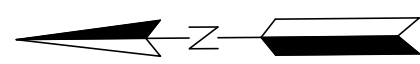


KEYNOTES

- EXISTING 8" SEWER MAIN.
- CONNECT TO EXISTING SANITARY MANHOLE.
- BUILD 4' DIAMETER SAS MANHOLE TYPE E PER COA STD DWG 2102.
- INSTALL 6" SANITARY SEWER LINE.
- INSTALL 8" SANITARY SEWER LINE.
- INSTALL DOUBLE CLEANOUT.
- INSTALL 6"x8" WYE.
- CONNECT SERVICE LINE TO MANHOLE PER COA STD DWG 2118.

LEGEND

---	PROPERTY BOUNDARY
---	EXISTING EASEMENT
---	EXISTING STORMDRAIN
---	EXISTING WATERLINE
---	EXISTING OVERHEAD POWERLINE
---	EXISTING SANITARY SEWER
---	PROPOSED 8" SANITARY SEWER
---	PROPOSED 3" WATERLINE
---	PROPOSED 6" FIRELINE
---	PROPOSED GATE VALVE
---	PROPOSED HYDRANT
---	PROPOSED SANITARY MANHOLE
---	EXISTING SANITARY MANHOLE
---	PROPOSED WATER METER



NOTES

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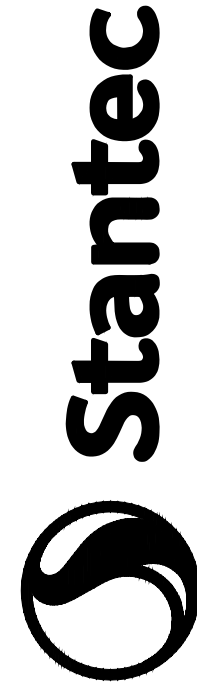
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JEEBS & ZUZU, LLC.

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Architecture
Construction
Design-Build



job no: 1720001002

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Sanitary Sewer Plan and Profile

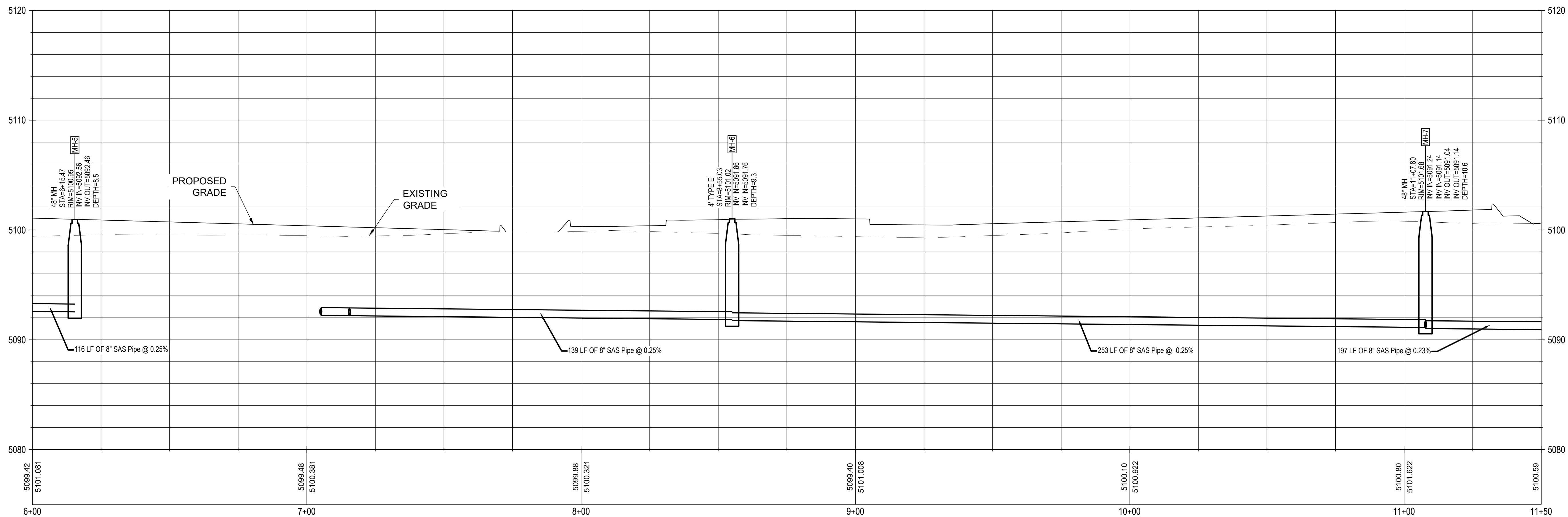
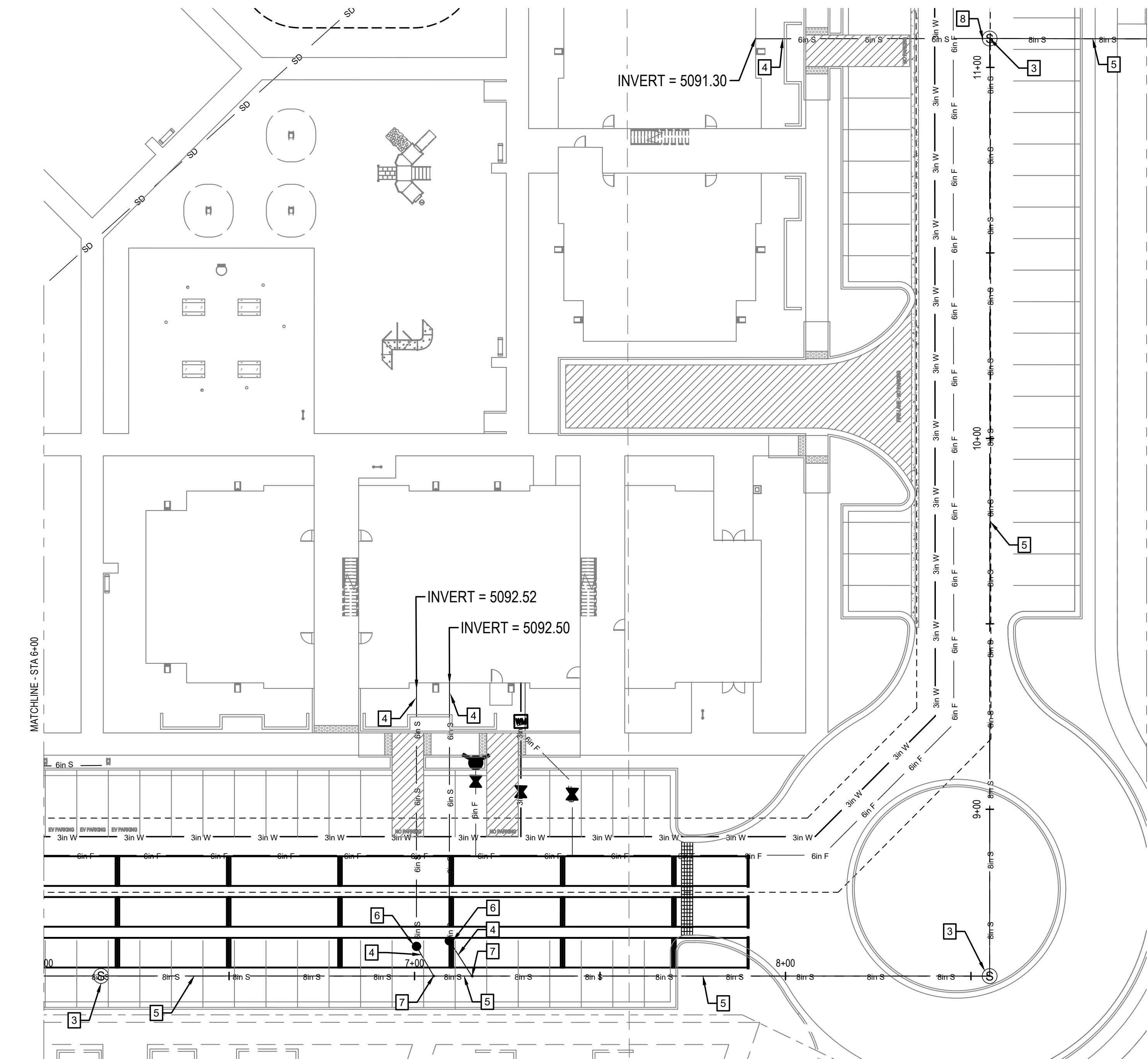
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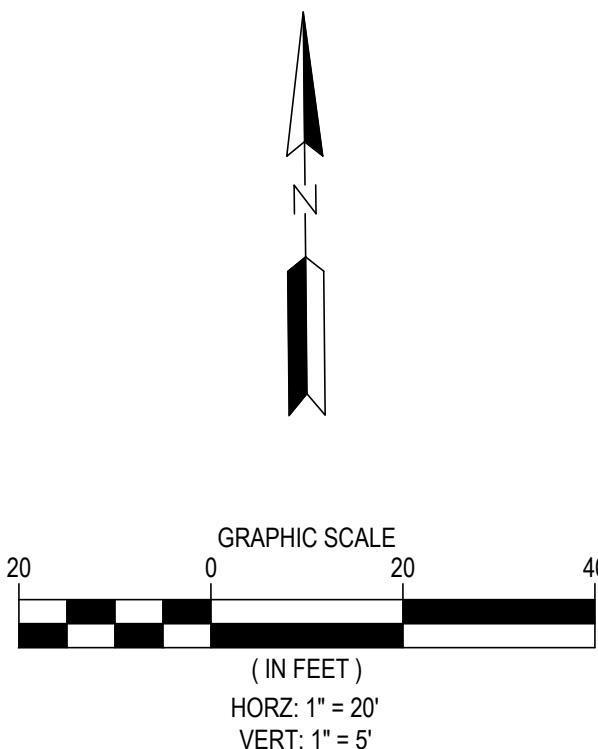


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- INSTALL 6" SANITARY SEWER LINE.
- INSTALL 8" SANITARY SEWER LINE.
- INSTALL CLEANOUT PER COA STD DWG 2125.
- INSTALL 6"x8" WYE.
- CONNECT SERVICE LINE TO MANHOLE PER COA STD DWG 2118.

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Sanitary Sewer Plan and Profile

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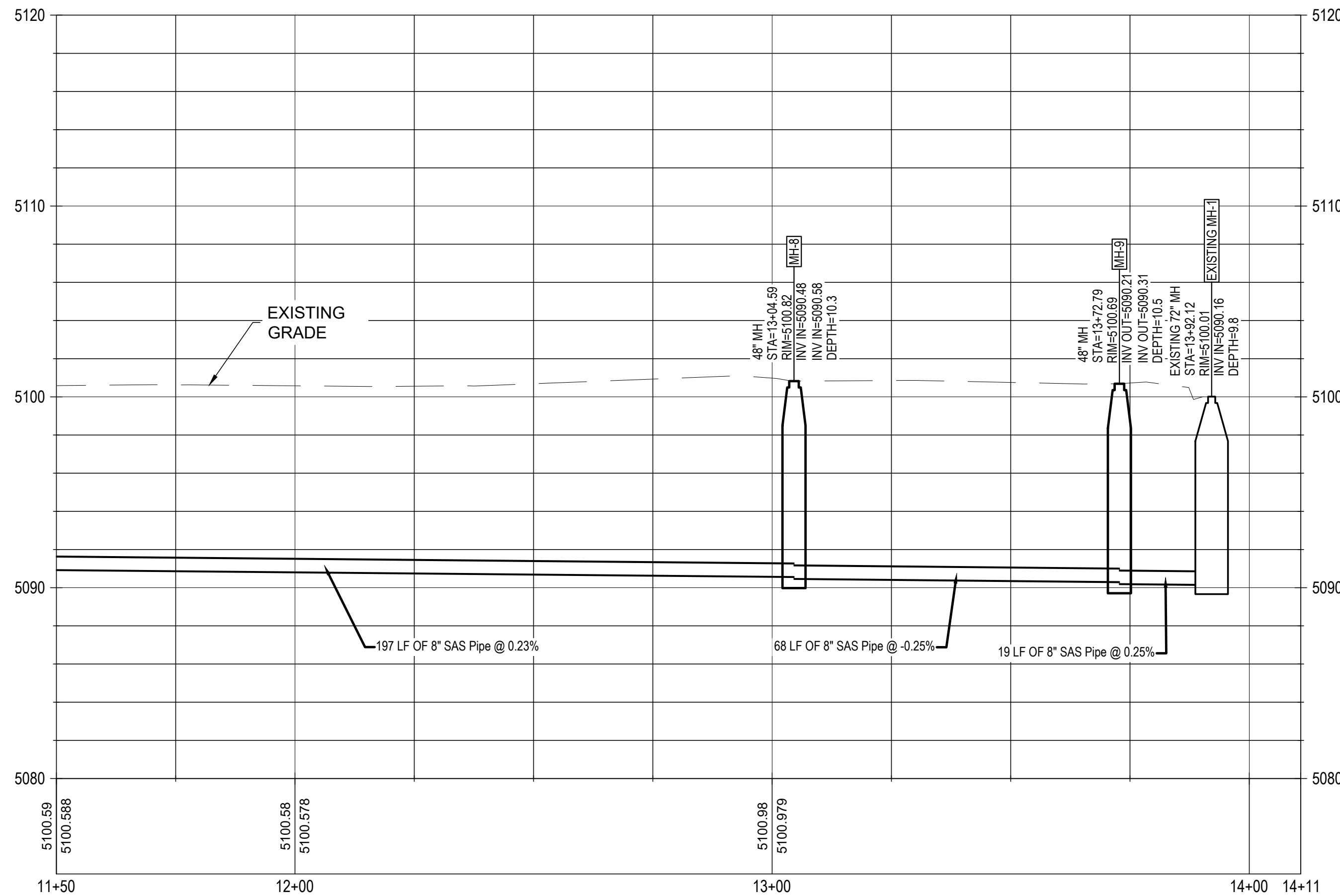
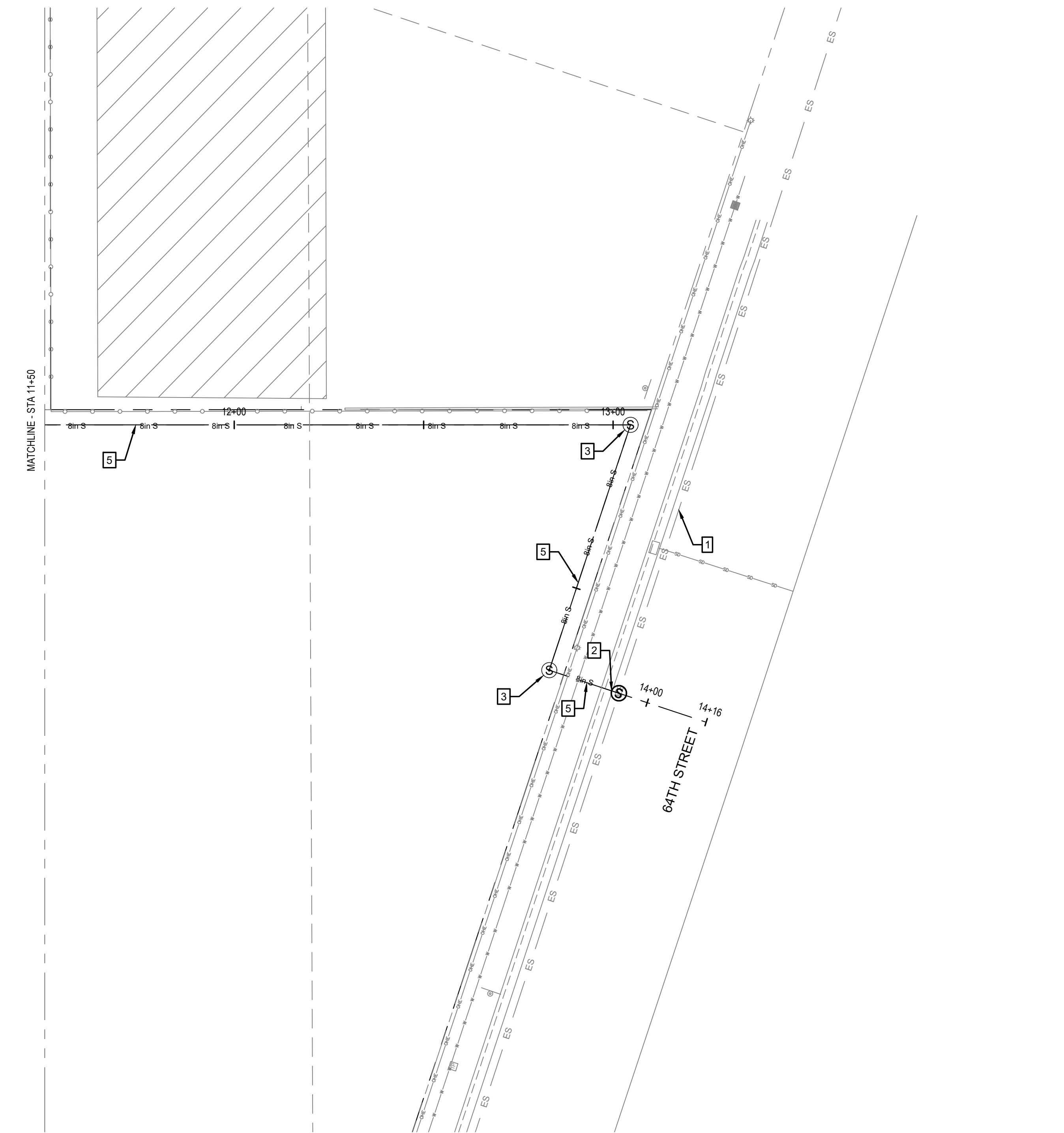
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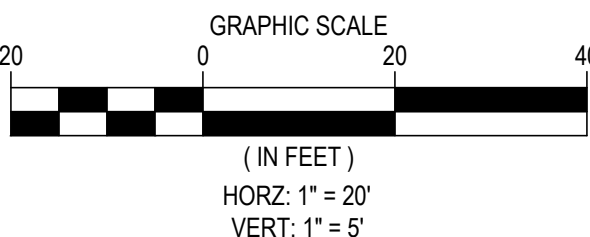


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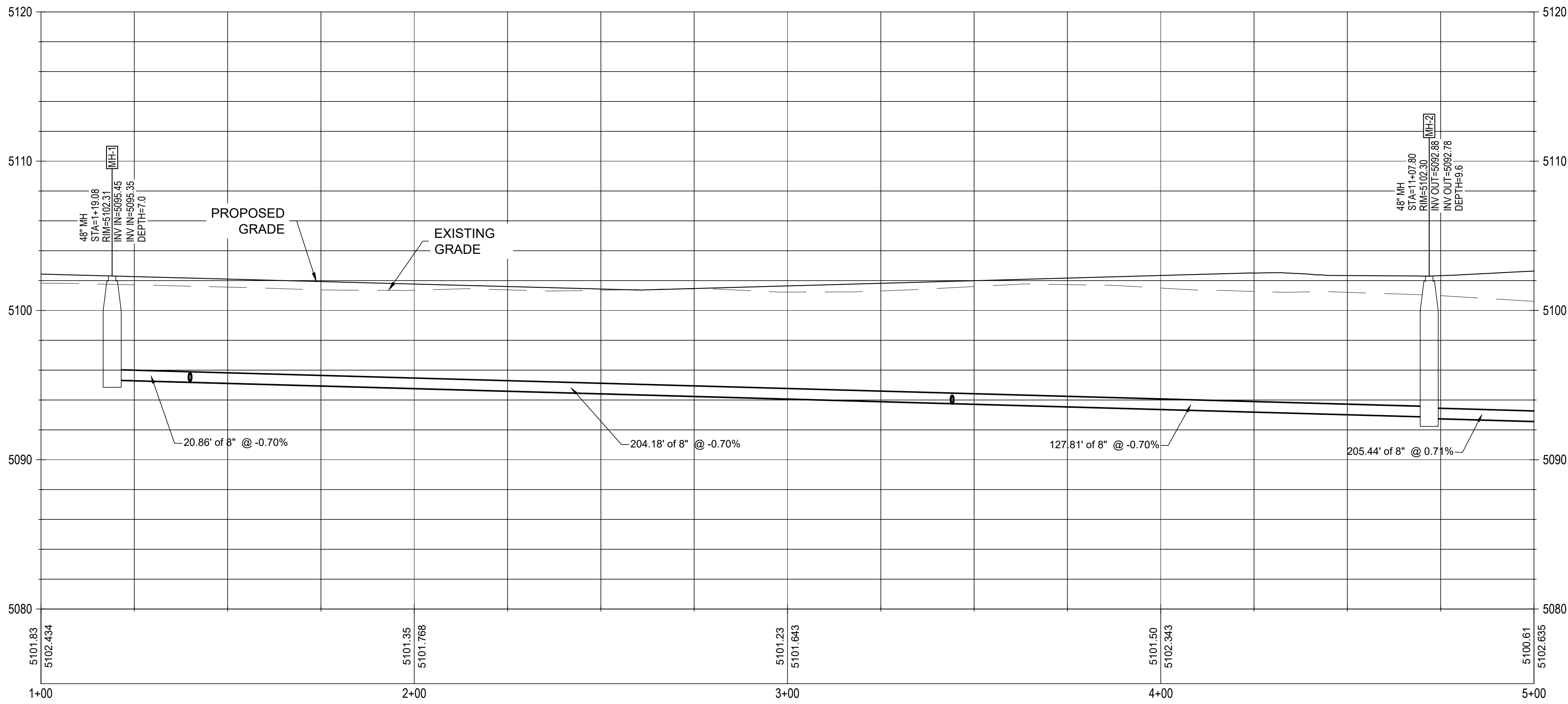
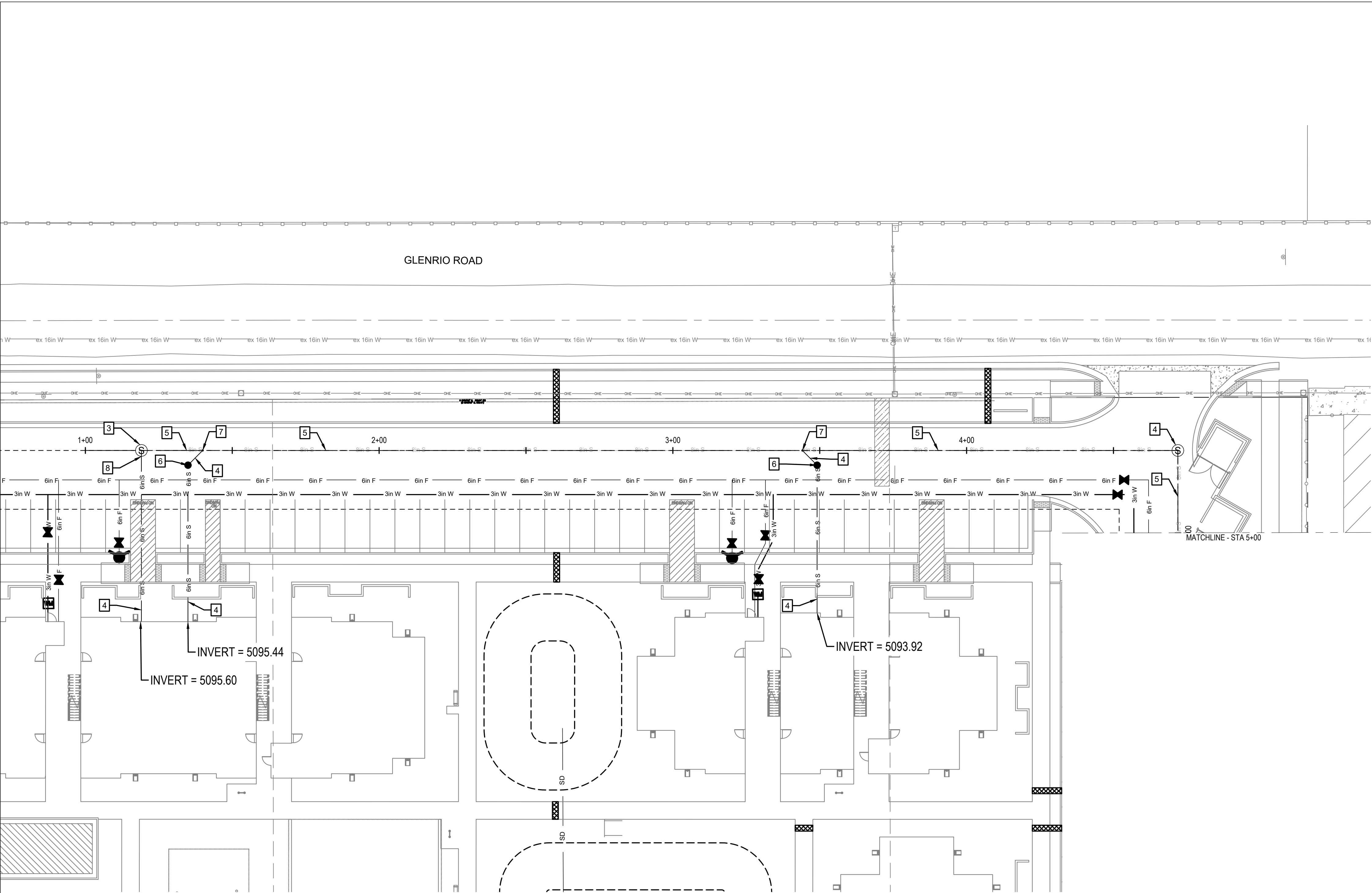
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701 COORS BLVD NW ALBUQUERQUE NM 87121

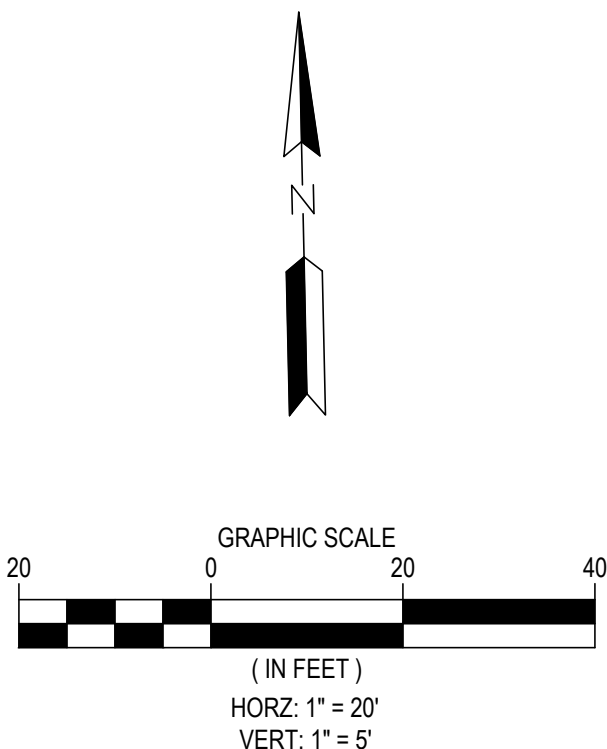
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- NOTES
- EXISTING 8" SEWER MAIN.
 - CONNECT TO EXISTING SANITARY MANHOLE
 - BUILD 4' DIAMETER SAS MANHOLE TYPE E PER COA STD DWG 2102.
 - INSTALL 6" SANITARY SEWER LINE.
 - INSTALL 8" SANITARY SEWER LINE.
 - INSTALL CLEANOUT PER COA STD DWG 2125.
 - INSTALL 6"x8" WYE.
 - CONNECT SERVICE LINE TO MANHOLE PER COA STD DWG 2118.

- LEGEND
- | | |
|---------|-----------------------------|
| --- | PROPERTY BOUNDARY |
| - - - - | EXISTING EASEMENT |
| --- | EXISTING STROMDRAIN |
| --- | EXISTING WATERLINE |
| --- | EXISTING OVERHEAD POWERLINE |
| --- | EXISTING SANITARY SEWER |
| --- | PROPOSED 8" SANITARY SEWER |
| --- | PROPOSED 3" WATERLINE |
| --- | PROPOSED 6" FIRELINE |
| --- | PROPOSED GATE VALVE |
| --- | PROPOSED HYDRANT |
| --- | PROPOSED SANITARY MANHOLE |
| --- | EXISTING SANITARY MANHOLE |
| --- | PROPOSED WATER METER |



- NOTES
- CONTRACTOR SHALL VERIFY LOCATION, SIZE, INVERT, AND MATERIAL OF ALL UTILITY CONNECTIONS TO UTILITY MAIN, STUBS, AND BUILDING SYSTEMS PRIOR TO CONSTRUCTION.
 - COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTRACT THE CROSS CONNECTION SECTION AT 505-289-3454.
 - COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3494.

WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.
THE CONTRACTOR SHALL CONTACT NM11 (811 OR 1-800-321-2537) AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLE, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



FOR INFORMATION ONLY

5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P.505-797-1318

JEEBS & ZUZU, LLC.

Architecture
Construction
Design-Build

job no: 1720001002

drawn: BL

checked: CR

date: Oct. 8, 2024

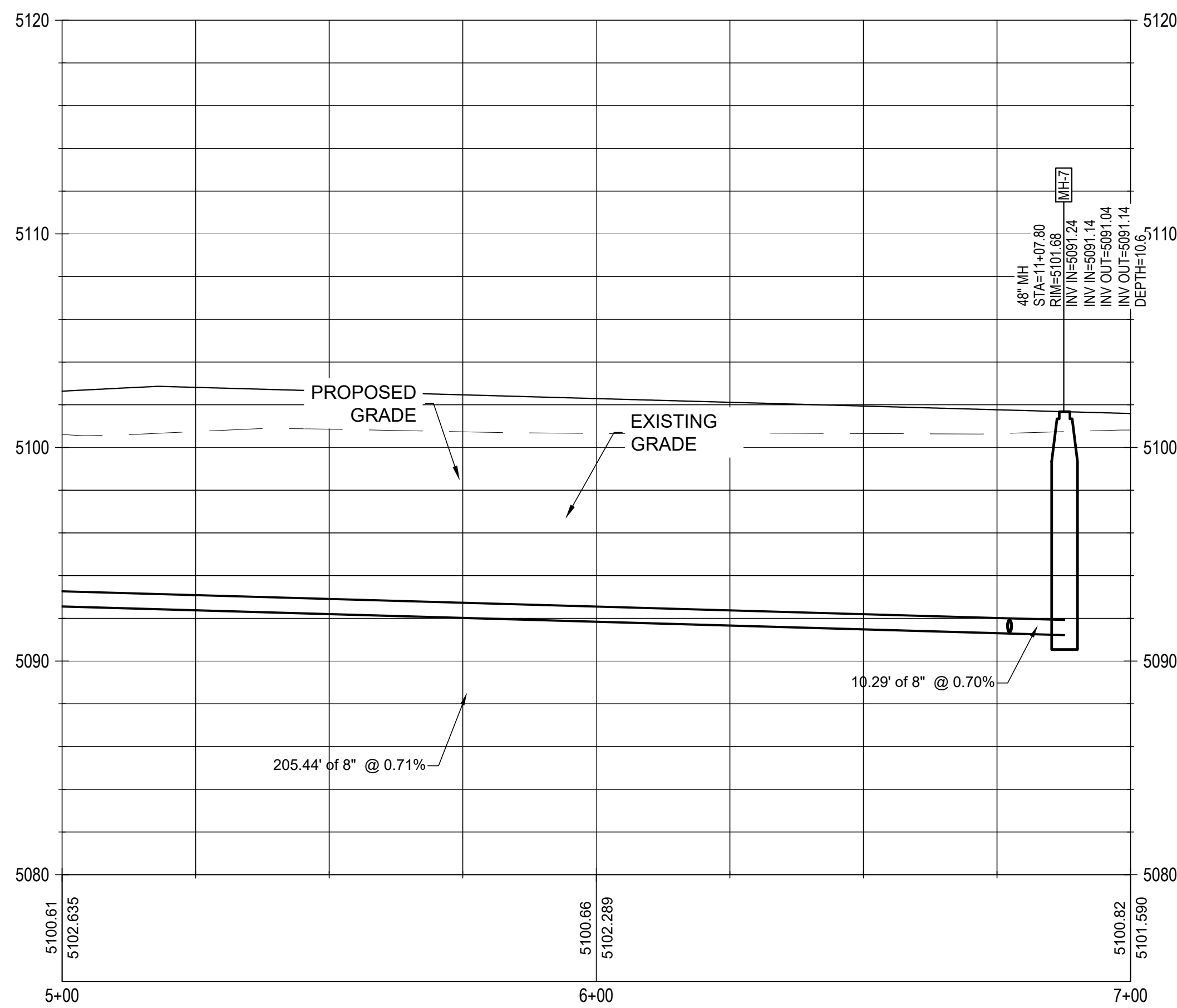
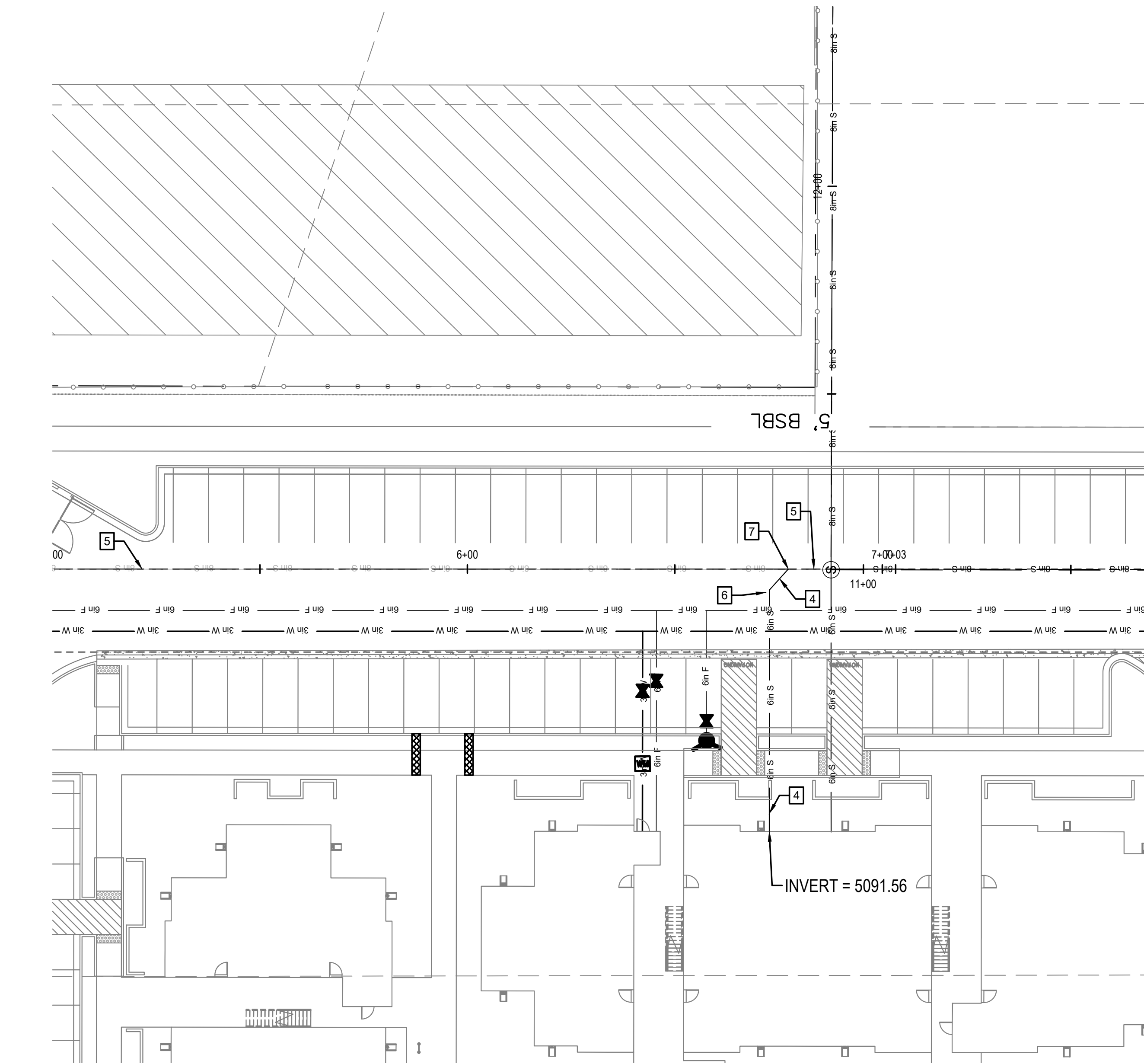
Sanitary Sewer Plan and Profile

West Mesa Ridge

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sheet no: U1.3

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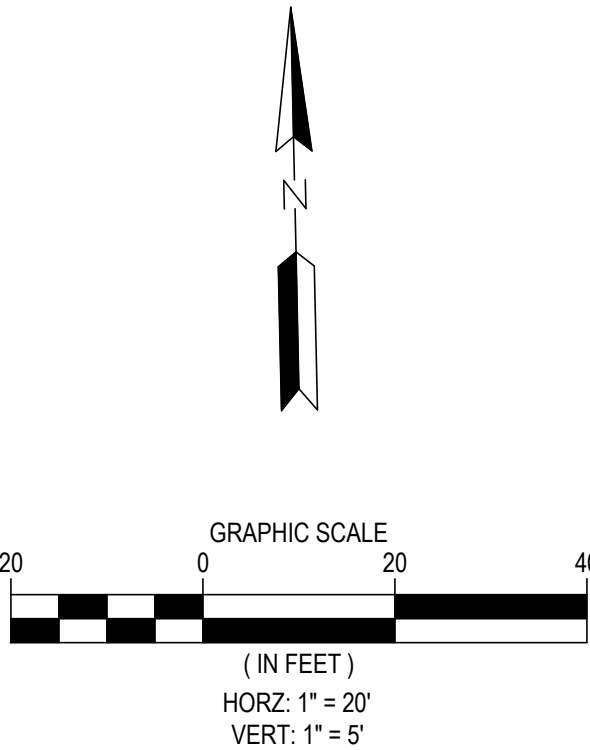


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LEGEND

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---	EXISTING SANITARY SEWER
8in S	PROPOSED 8" SANITARY SEWER
3in W	PROPOSED 3" WATERLINE
6in F	PROPOSED 6" FIRELINE
⬇	PROPOSED GATE VALVE
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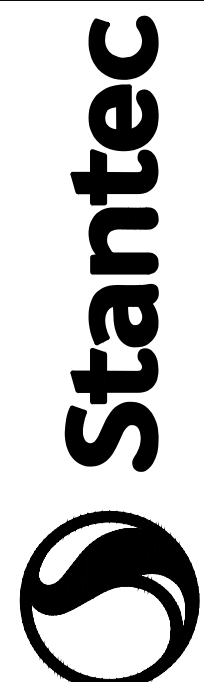
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