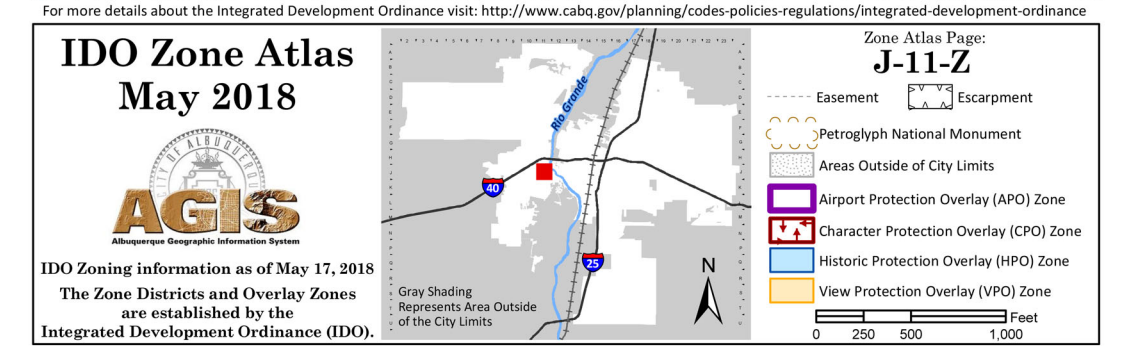
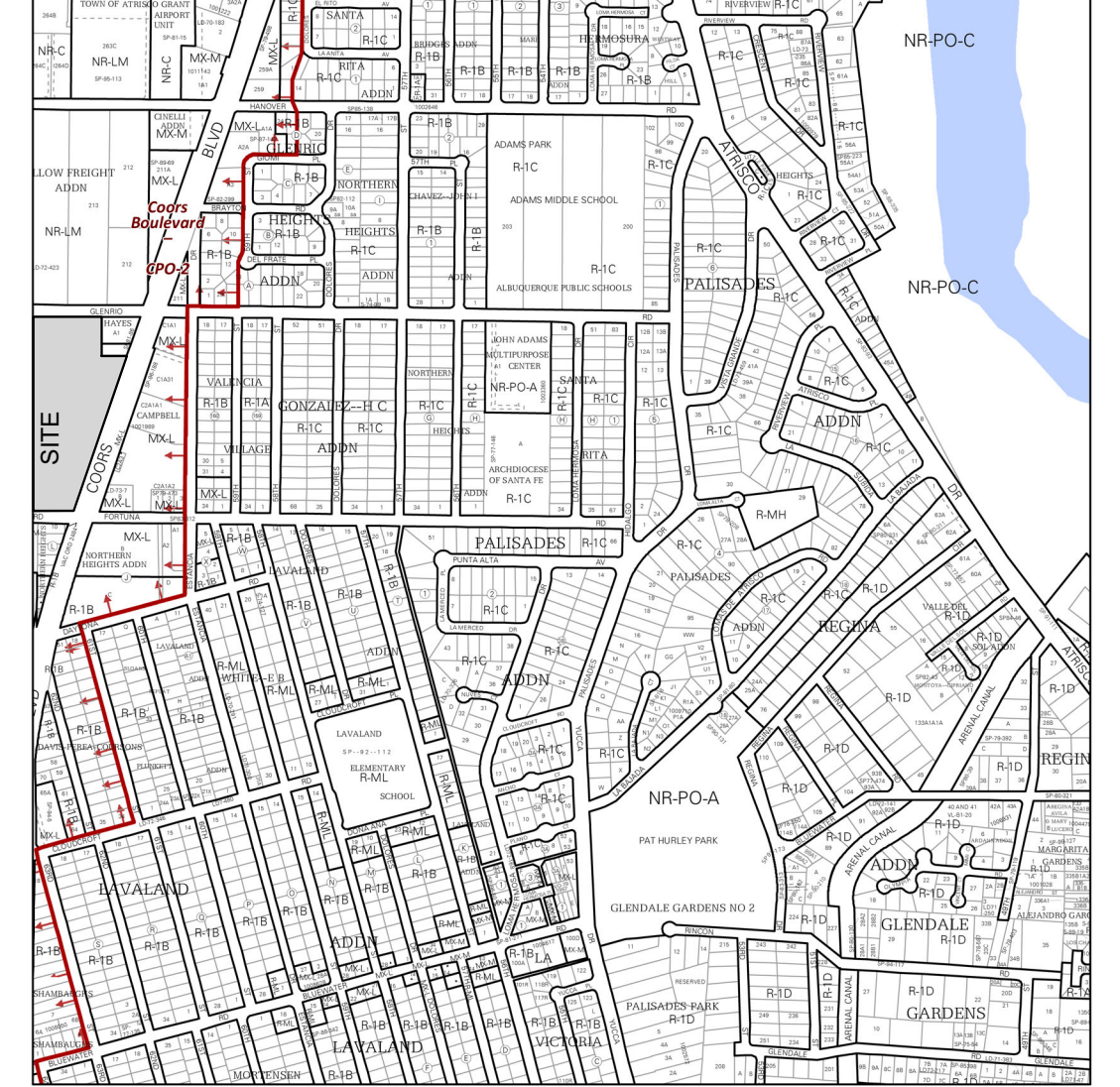


ZONE ATLAS



- GENERAL NOTES:**
- Site shall be developed in accordance with the Federal Clean Water Act and EPA best practices
 - Site Grading and drainage shall be configured to drain away from buildings with ground water recharge as a goal
 - Retention basins shall be landscaped and made safe and attractive
 - The total number of parking spaces provided exceeds the minimum off-street parking requirements of the CASO IDO.
 - Accessible Units (Type A accessible units as described by the ANSI A117.1) to exceed the minimum requirement of 5% of the total number of units. The total number of accessible units (20) shall be dispersed among the various unit types.
 - All remaining units shall be Type B adaptable, shall have zero step entry, shall be located on an accessible route, and shall include 36" entry doors.
 - Storm water shall be directed away from the buildings through the use of gutters, downspouts, and roof drains.
 - Water shall be directed away from building edges and foundations by sloping grade to landscape areas for onsite water retention and reabsorption into ground water supply.
 - A complete grading and drainage plan using best practices engineering shall be developed. Ponding areas shall be minimal depth, shall be landscaped and attractive. See Landscaping Plan for additional landscaping requirements.
 - Buildings and Units to be individually marked with contrasting color signage. Signs shall be lit from dusk to dawn with the use of building and site lighting. Site Lighting package shall be Energy Star qualified.
 - Hearing Impaired Units are to meet the minimum requirement of 2% of the total number of units. The total number of hearing impaired units (3) shall be dispersed among the various unit types.

KEYED NOTES:

1. New Accessible Sidewalks - See Detail 9/TCL2.0
2. Monument Sign - Signs shall be permitted separately. They shall be designed and constructed to meet IDO requirements and shall not be animated, shall not emit smoke, visible vapors, particles or odor, shall not rotate or move in any manner. Additionally, they shall not have flashing lights incorporated as part of their design and performance. See detail 26/AS.0.
3. Accessible Unit
4. Hearing Impaired Unit
5. ADA & Van Accessible Parking w/ Precast Concrete Wheel Stops - Please See Detail 5 & 8/TCL2.0 For Parking Space Dimensions
6. Garbage Enclosure with Gates - See Details 1-4/TCL2.0 For Garbage Enclosure Notes & Dimensions
7. New gated basketball court for kids 12 and older with warning sign.
8. New tot lot play structure for kids 5 and under with warning sign.
9. New play ground structure for kids 5-12 with warning sign.
10. Seated Picnic Tables / BBQ Grill
11. Mail Center with Lighting (lit dusk until dawn)
12. All Weather Permanent Mounted Bench w/ 30x48 Level Concrete Pad At One Side For ADA Access - See Detail 13/TCL2.0
13. 32 Bike Racks Arches (64 Spaces) - See 14 & 16/TCL2.0 For Details
14. Recycling Center Enclosure
15. Community Building main entry
16. Community Gardens w/ irrigation lines and yard hydrant.
17. Curbwalk connection to refuse enclosures and public way.
18. ADA Curb Ramp - See Detail 5 & 21 For Curb Ramp Slopes & Dimensions
19. Round - About
20. Fire Lane
21. New 6" rod iron fence at property perimeter w/ gray split face
22. Gated dog park w/ shaded seating area.
23. Detention pond
24. Concrete Masonry Yard Walls for protection from head lights. See 25/TCL2.0 for Details.
25. Location of future YDI Building on Adjacent Lot
26. Street trees per IDO
27. Electric Vehicle Parking & Charging Spaces
28. Asphalt Driveway - Drive Aisle 2.5" Asphalt Pavement Over 4" Compacted Roadway Basecourse. Drive Shall Be Designed & Constructed Capable of Supporting The Imposed Load of Fire Apparatus Weighing At Least 75,000 Lbs Drive Shall Not Exceed 10% Grade - See Detail 18/TCL2.0
29. Building Identifier Sign To Be Illuminated From Dusk To Dawn - See 22/TCL2.0
30. Sight Triangles Per DPM Table 7.5.60 - Landscaping, Fencing & Signage Will Not Interfere w/ Clear Sight Requirements. Therefore, Signs, Walls, Trees, & Shrubby Between 3 & 8 Feet Tall (As Measured From The Curb Line) Will Not Be Applicable In The Clear Sight Triangle.
31. Detectable Warning Strip & Public Curb Ramp. See 1/TCL2.1
32. New Stop Signage - See Detail 15/TCL2.0
33. Motorcycle Parking - See 6 & 11/TCL2.0 For Dimensions
34. New 6'-0" High Chain Link Fence At Basketball Court & Dog Park Perimeter - See 24/TCL2.0
35. Transformer pad for EV capable spaces. Provide capped cable raceway to every other parking space.
36. Detectable Warning Strip & Public Curb Ramp. See Detail 1/TCL2.1
37. Public Crosswalk
38. New Stop Signage - See Detail 15/TCL2.0
39. Entries into residential buildings.
40. New Public Sidewalk
41. New stop signage - See Detail 15/TCL2.0

PROJECT INFORMATION:

OCCUPANCY TYPE: RESIDENTIAL
CONSTRUCTION TYPE: TYPE 5A
AUTOMATIC SPRINKLER SYSTEM: NFPA 13 R
BUILDING HEIGHT: 45'-0" MAX PER IDO
35' - 9 1/2" FEET ACTUAL
NUMBER OF FLOORS: 3 FLOORS
LOT AREA: 276,900 SF / 6.35 ACRES
UNIT MIX
NEW CONSTRUCTION:
ONE BEDROOM 34
TWO BEDROOM 70
THREE BEDROOM 24
TOTAL UNITS 128

PARKING SPACES:
PARKING REQUIREMENTS PER INTEGRATED DEVELOPMENT ORDINANCE (IDO)
SECTION 5/5(B) APPLICABILITY:
UPDATED PARKING REQUIREMENTS PER IDO 1.5 PARKING SPACE PER UNIT
25% OF TOTAL PARKING SPACES MAY BE COMPACT PER IDO STANDARDS
REQUIRED:
PROVIDED:
197 SPACES
173 STANDARD SPACES
22 HANDICAP SPACES
10 ELECTRIC CHARGING STATIONS (5%)
50 EV CAPABLE PARKING SPACES (25.4%)
256 SPACES PROVIDED

MOTORCYCLE PARKING
REQUIRED:
PROVIDED:
BICYCLE PARKING
REQUIRED:
PROVIDED:
5 SPACES
6 SPACES
20 SPACES
64 SPACES

USEABLE OPEN SPACE REQUIREMENTS:
PER IDO TABLE 2-3.11
1 BR: 225 SF 1 BR: 34 X 225 SF = 7,650 SF
2 BR: 285 SF 2 BR: 70 X 285 SF = 19,950 SF
3 BR: 350 SF 3 BR: 24 X 350 SF = 8,400 SF
TOTAL: 36,000 SF
REQUIRED OPEN SPACE 36,000 SF
PROVIDED OPEN SPACE 120,231 SF

Property Line
Accessible Path
Concrete Sidewalk
Clear Sight Triangle¹

JEEBS & ZUZU, LLC.
Architecture
Construction
Design-Build

5974 ANAHEIM AVENUE SUITE A
ALBUQUERQUE, NM 87113
P. 505-797-1318

job no: -

drawn: J&Z

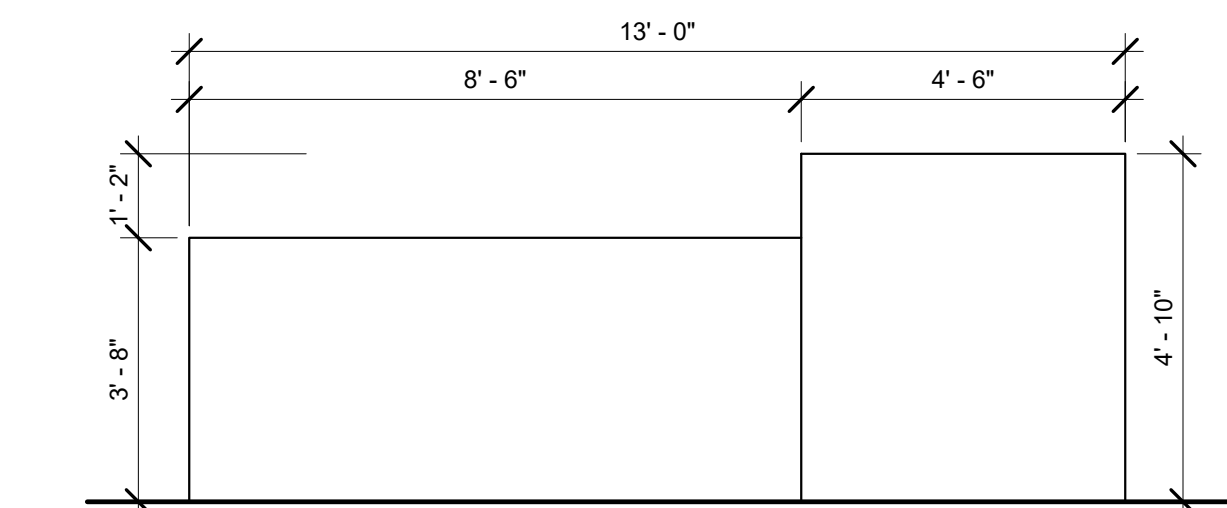
checked: J&Z

date: Sep. 20, 2024

West Mesa Ridge

701 COORS BLVD NW ALBUQUERQUE NM 87121

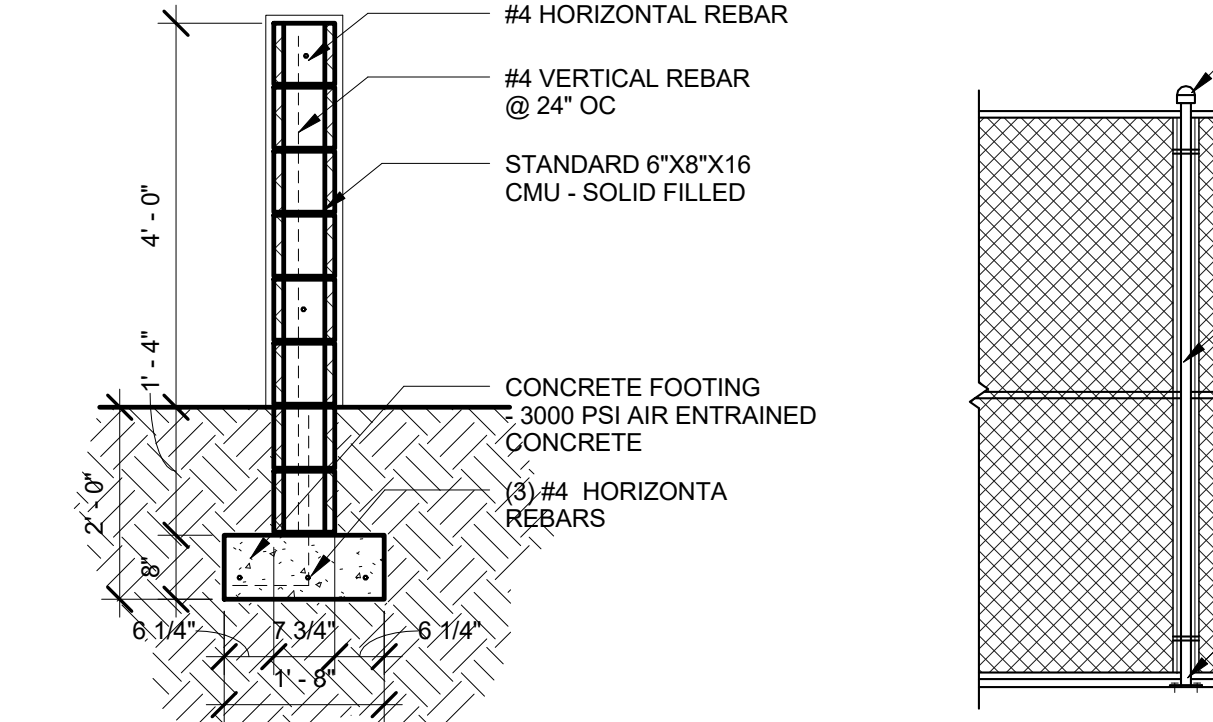
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26 Monument Sign Diagram
3/8" = 1'-0"

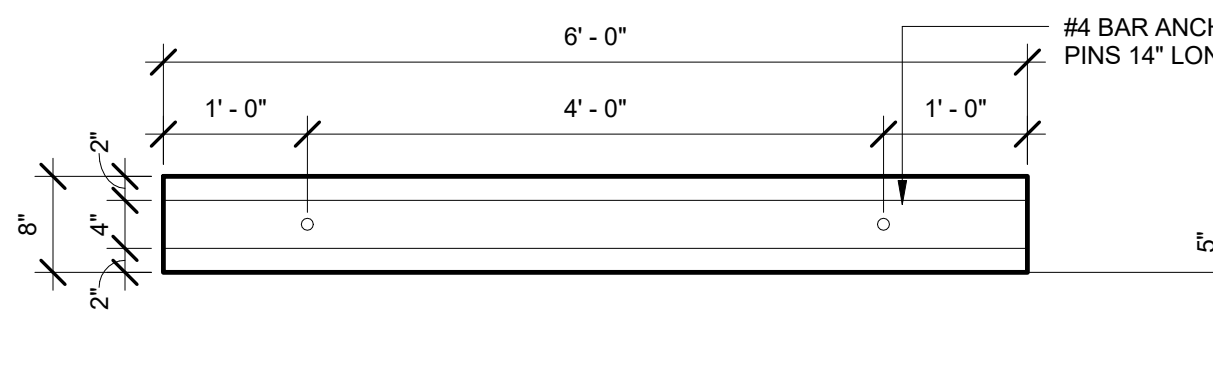
GENERAL NOTES:

1. ENSURE THAT ALL WALLS BE 6'-0" IN HEIGHT OR LESS.

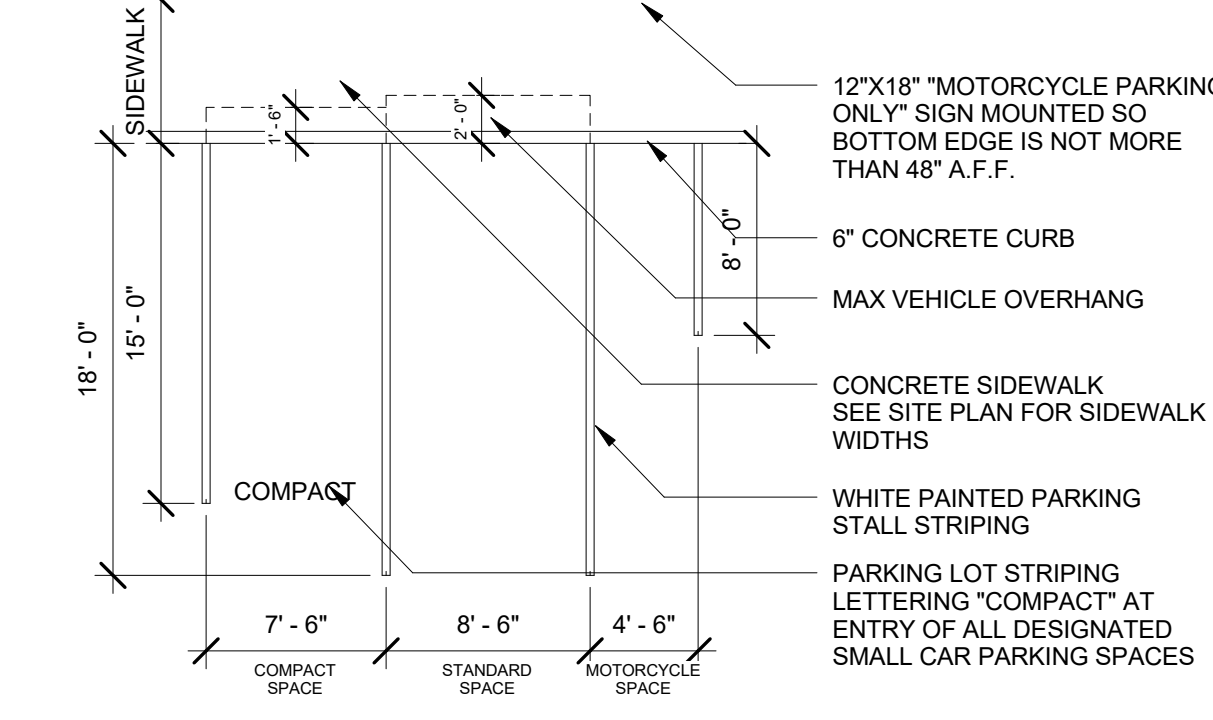


25 CMU Wall Section
1/2" = 1'-0"

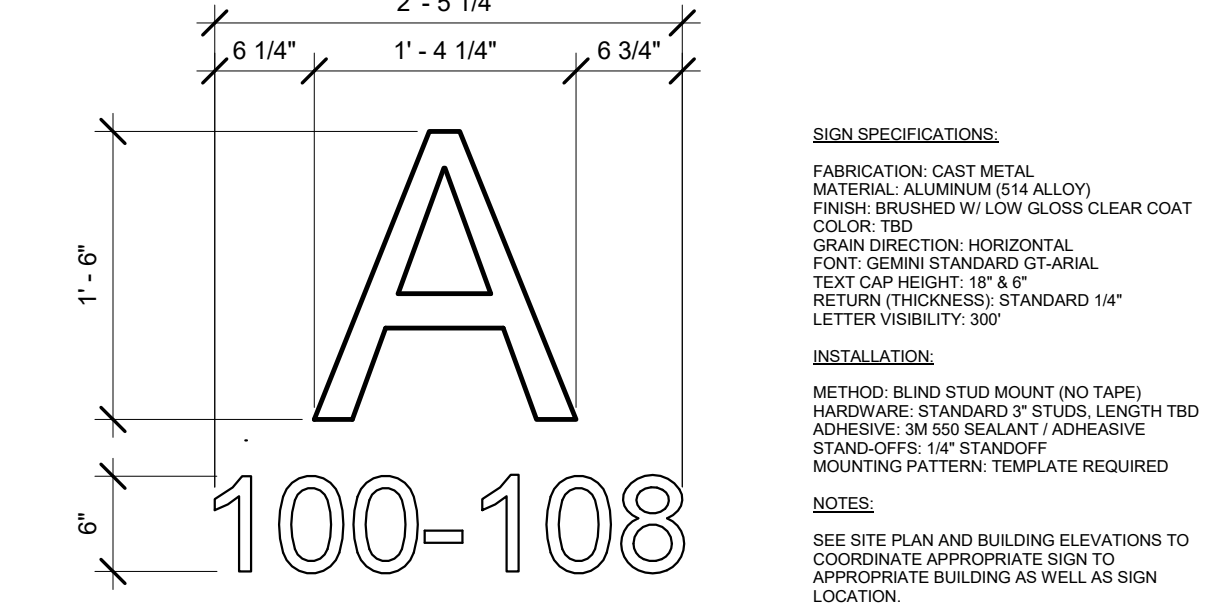
24 Chain Link Fence
1/4" = 1'-0"



10 Concrete Bumper Detail
3/4" = 1'-0"



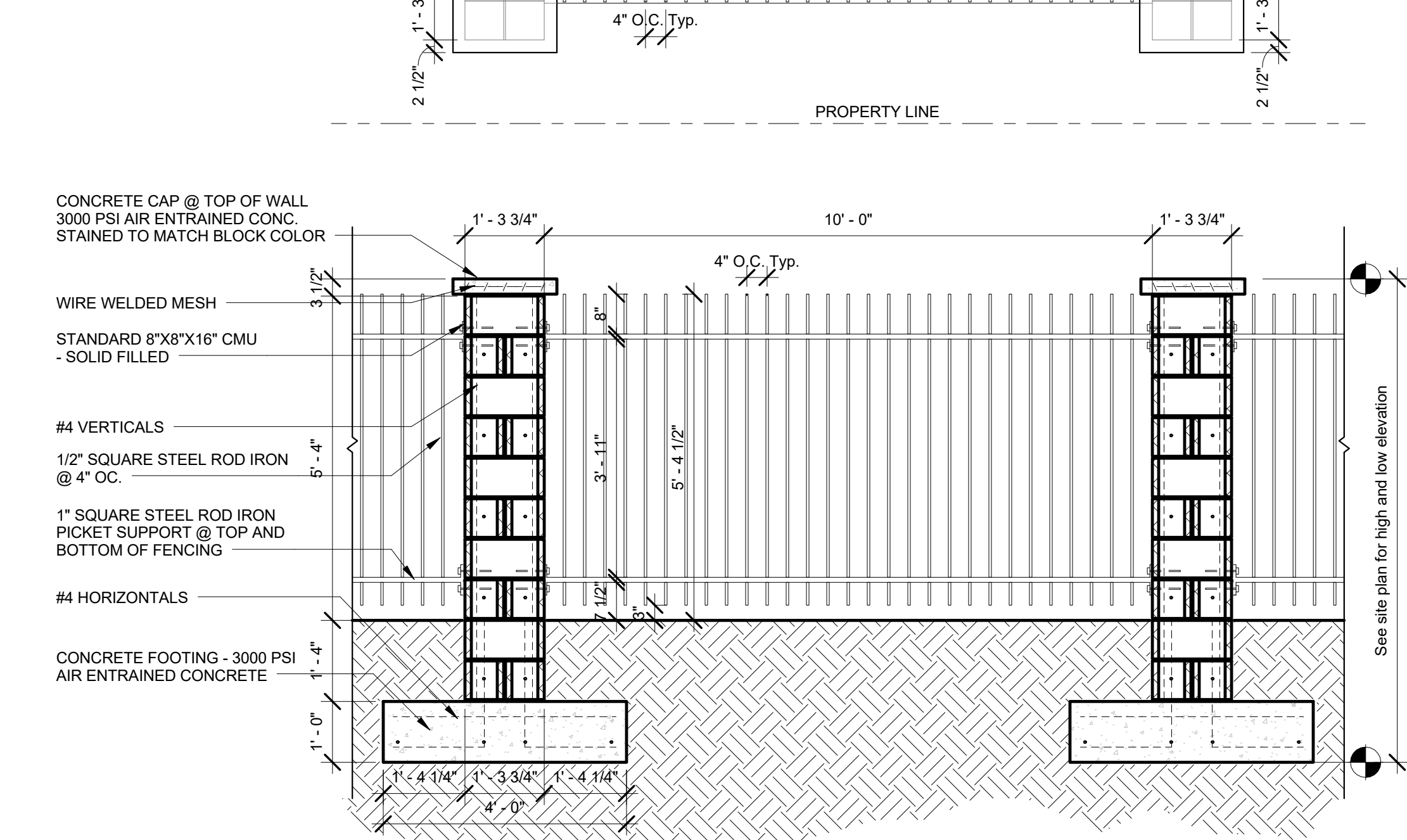
11 Parking Detail
1/8" = 1'-0"



22 BUILDING SIGNAGE DETAIL
1" = 1'-0"

GENERAL NOTES:

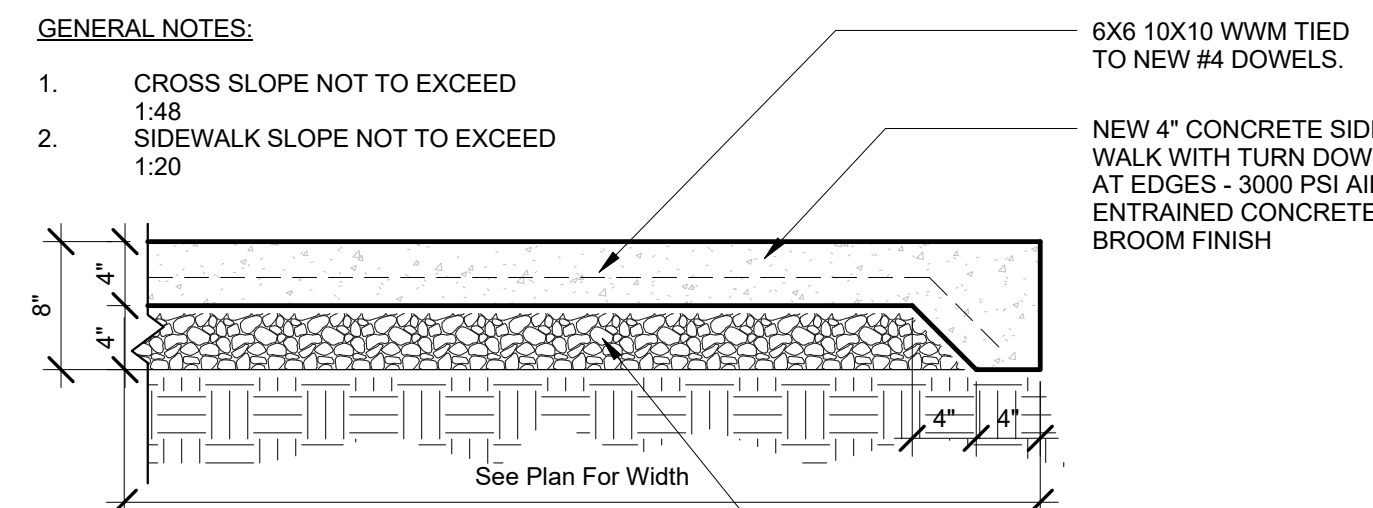
1. ENSURE THAT ALL WALLS BE 6'-0" IN HEIGHT OR LESS.



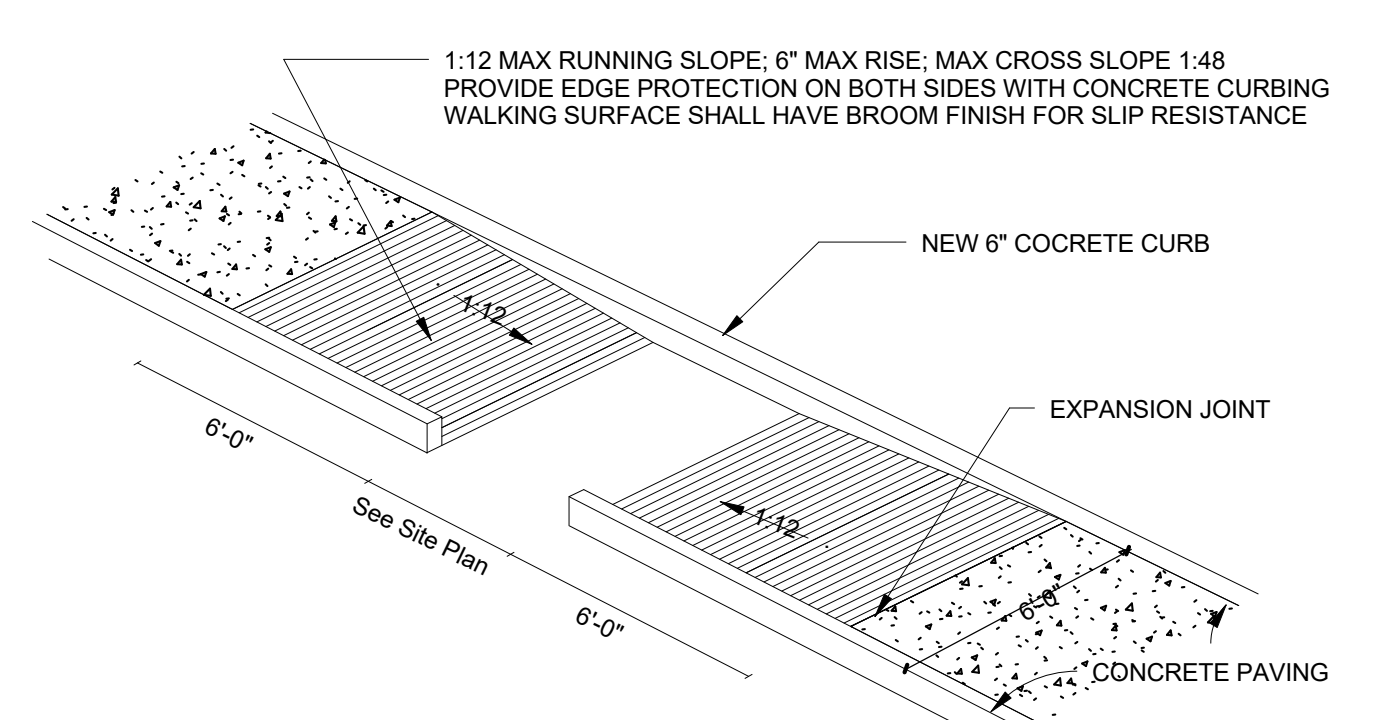
23 Perimeter Wall - Type 1
1/2" = 1'-0"

GENERAL NOTES:

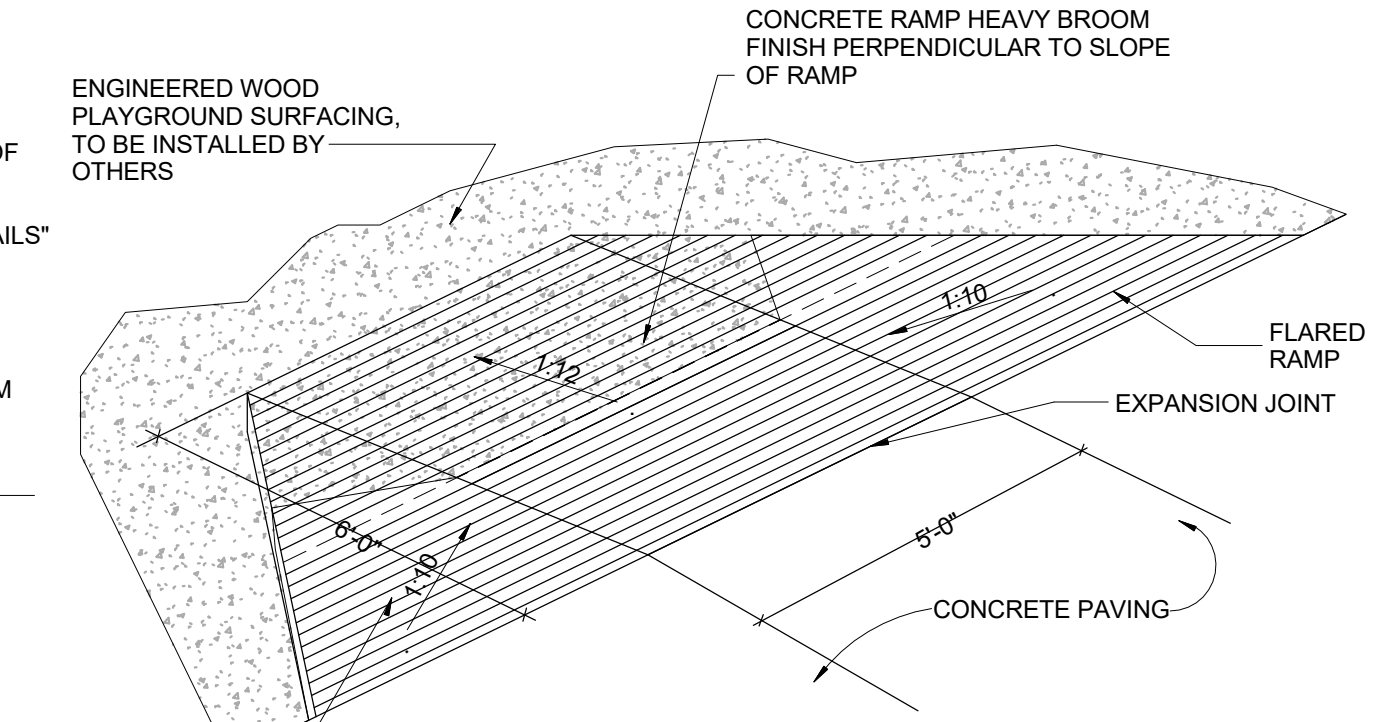
1. Signs shall be permitted separately. They shall be designed and constructed to meet IDO requirements and shall not be animated, shall not emit smoke, visible vapors, particles or odor, shall not rotate or move in any manner. Additionally, they shall not have flashing lights incorporated as part of their design and performance.
2. Monument signs shall not exceed 75 sq. ft. shall not exceed 9 feet in height above grade. Building mounted signs shall comply with sign standards in IDO Table 5-12.2 and shall not exceed the building height. Illuminated signs shall not blink or flash or change brightness. Building mounted signs shall not cover or intrude on any architectural features of the buildings.



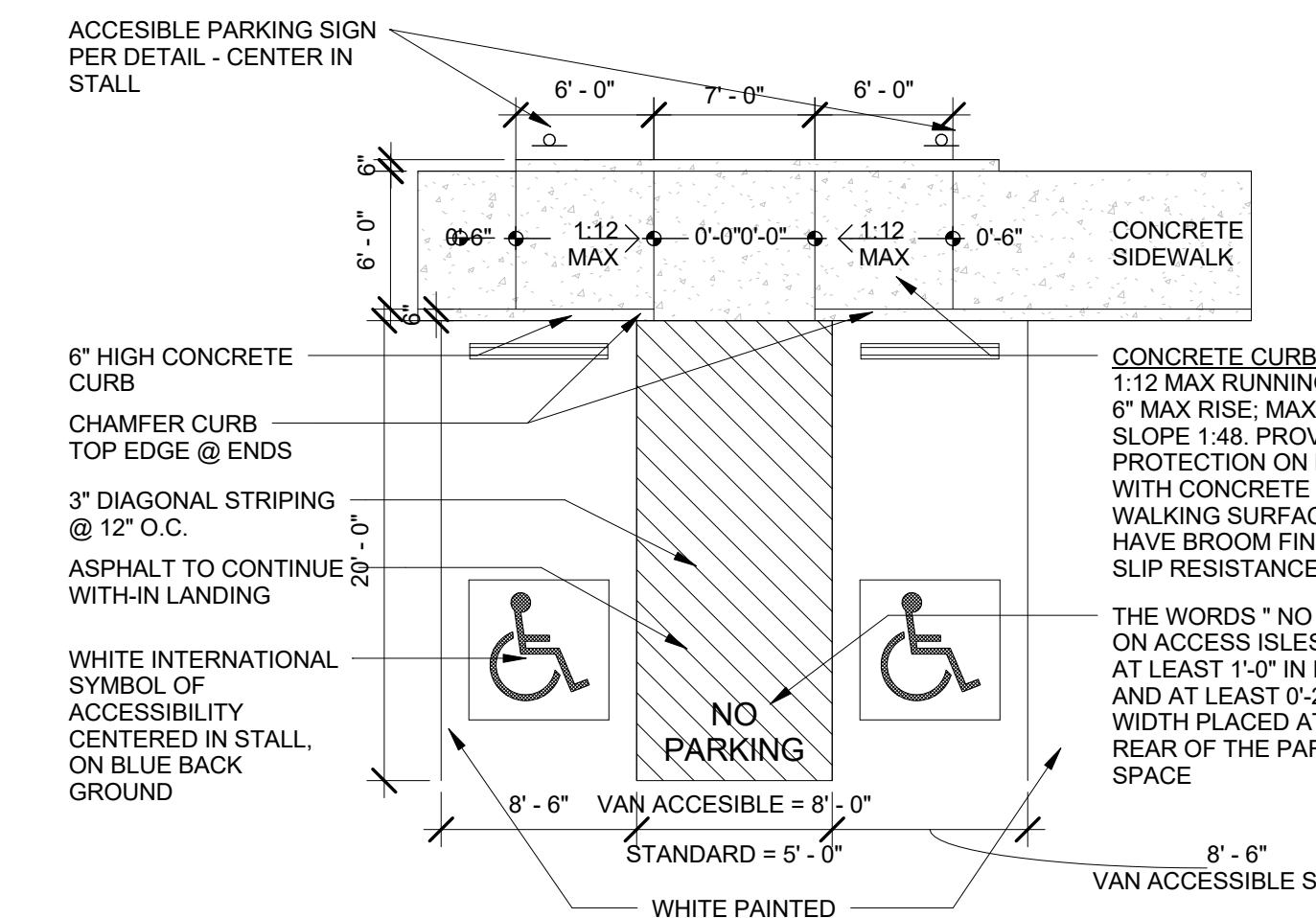
9 Sidewalk Detail
1" = 1'-0"



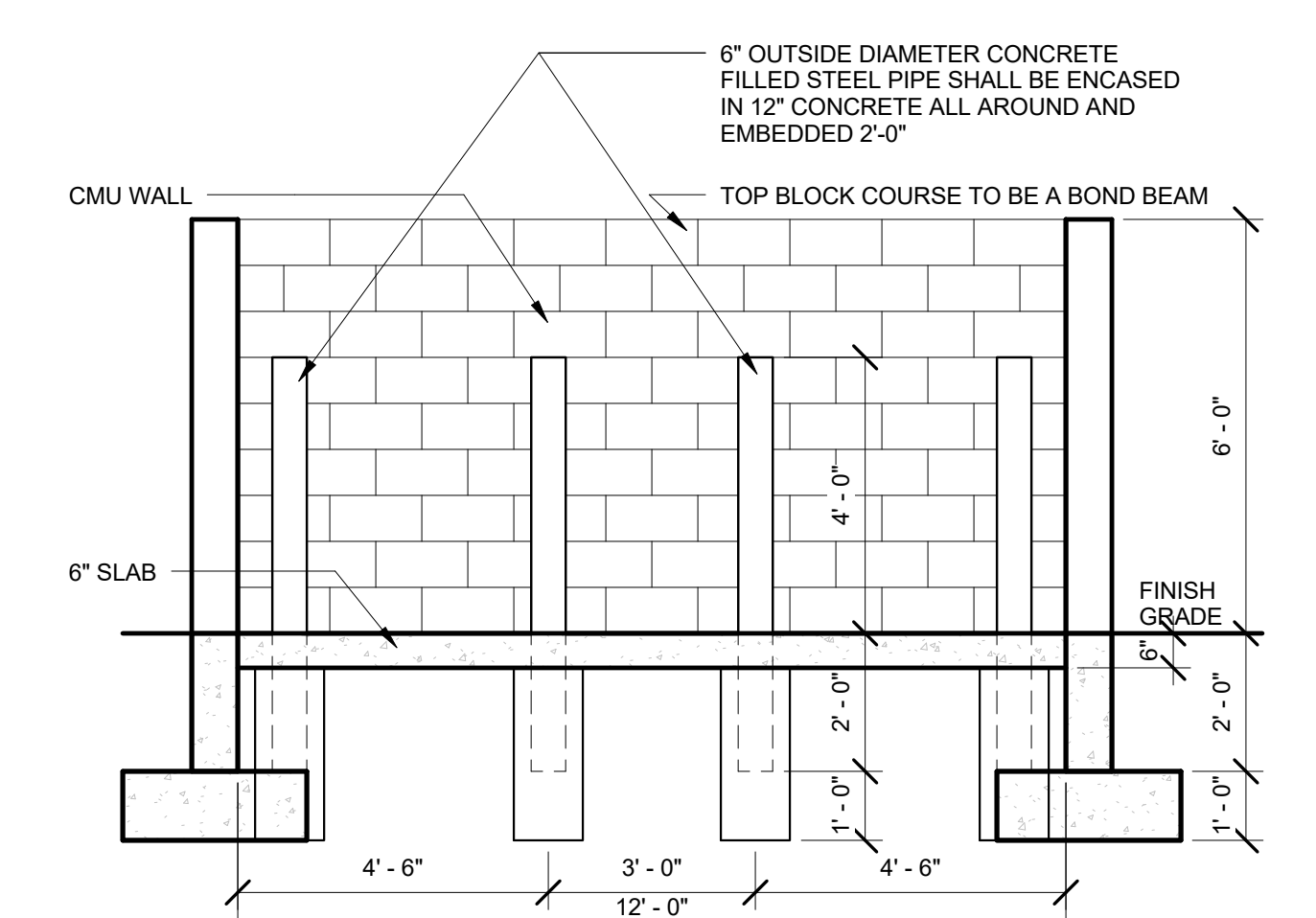
21 CURB RAMP DETAIL
1/4" = 1'-0"



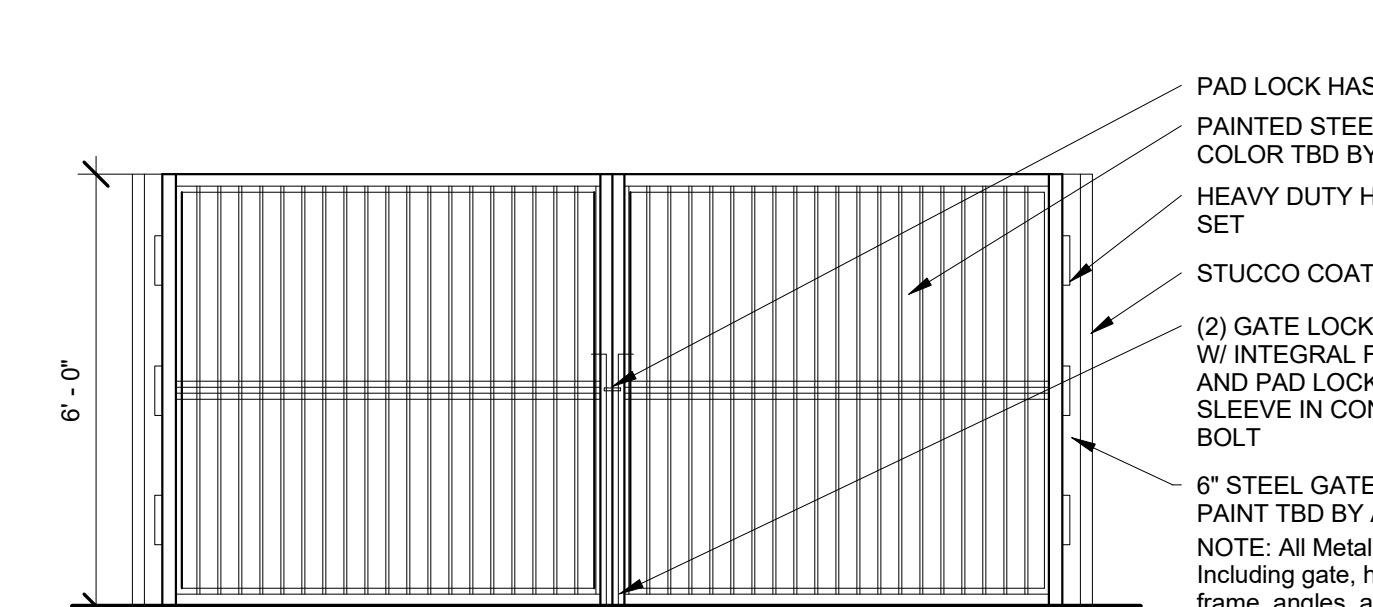
20 RAMP INTO PLAY AREA
3/8" = 1'-0"



5 ADA Parking Detail
1/8" = 1'-0"

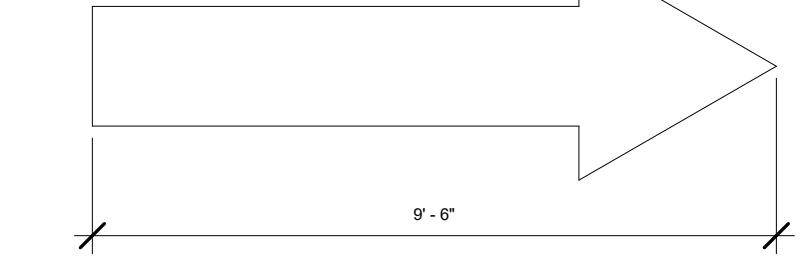


4 Trash Enclosure Section Detail
3/8" = 1'-0"

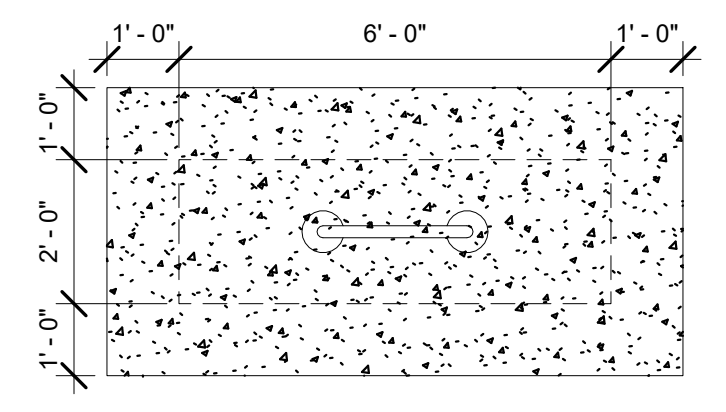


3 Trash Enclosure Gate Elevation
3/8" = 1'-0"

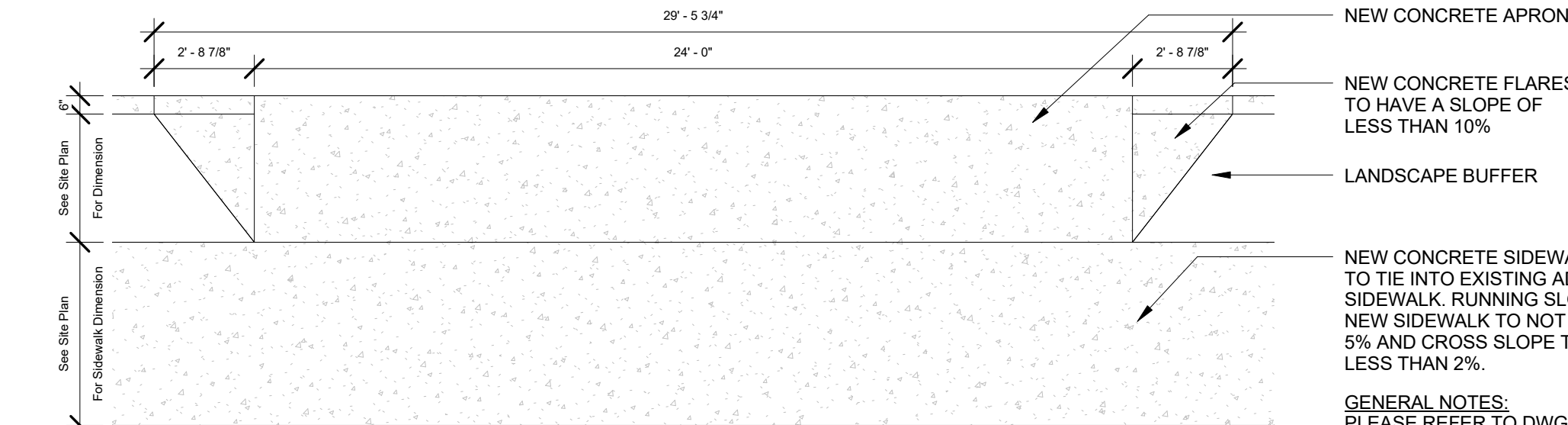
NOTES:
STRIPED DIRECTIONAL ARROW TO MEET CITY OF ALBUQUERQUE SIGNAGE REQUIREMENTS PER "PAVEMENT MARKING DETAILS" DWG 2600-105



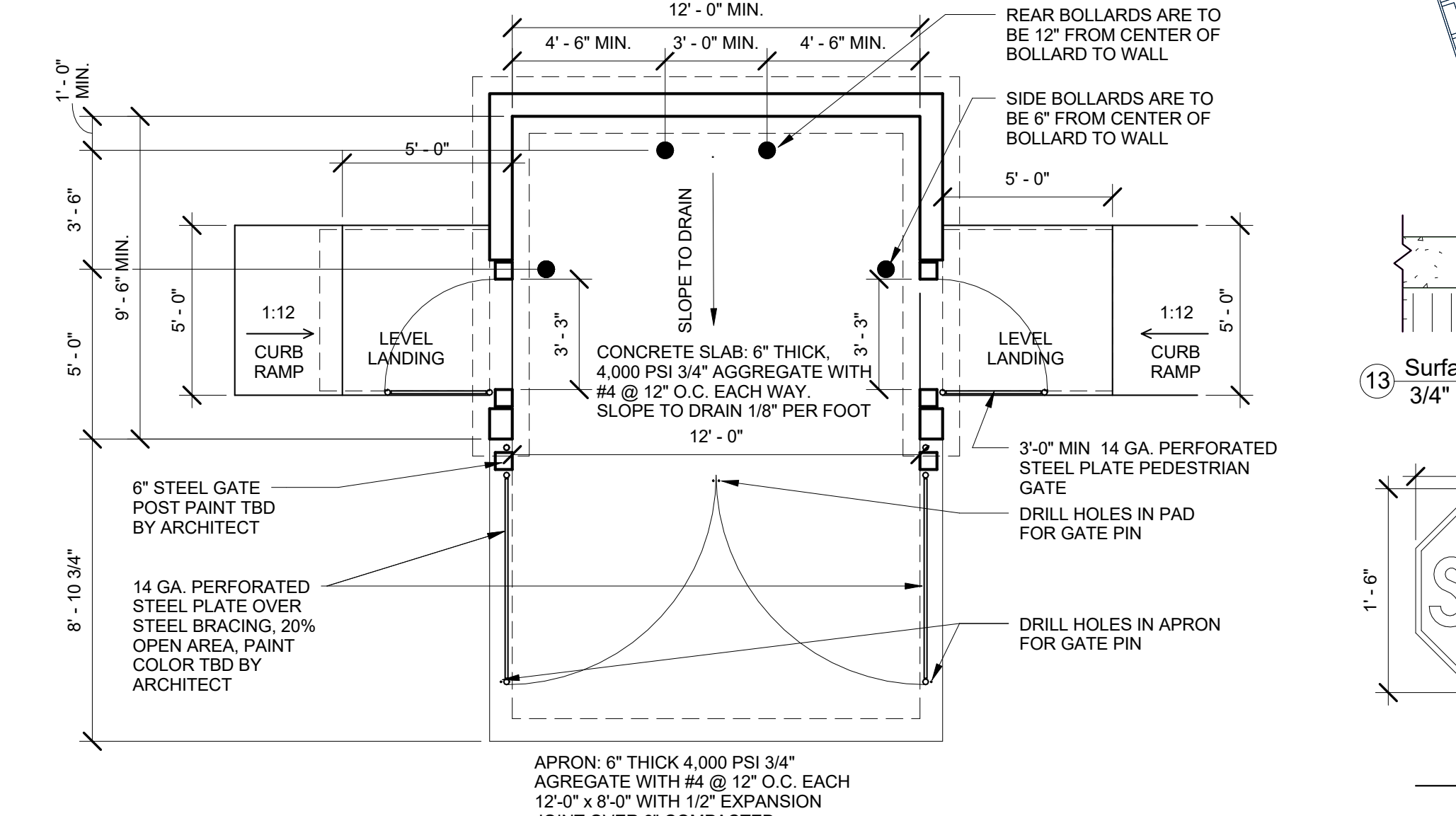
17 Arrow Asphalt Striping
3/8" = 1'-0"



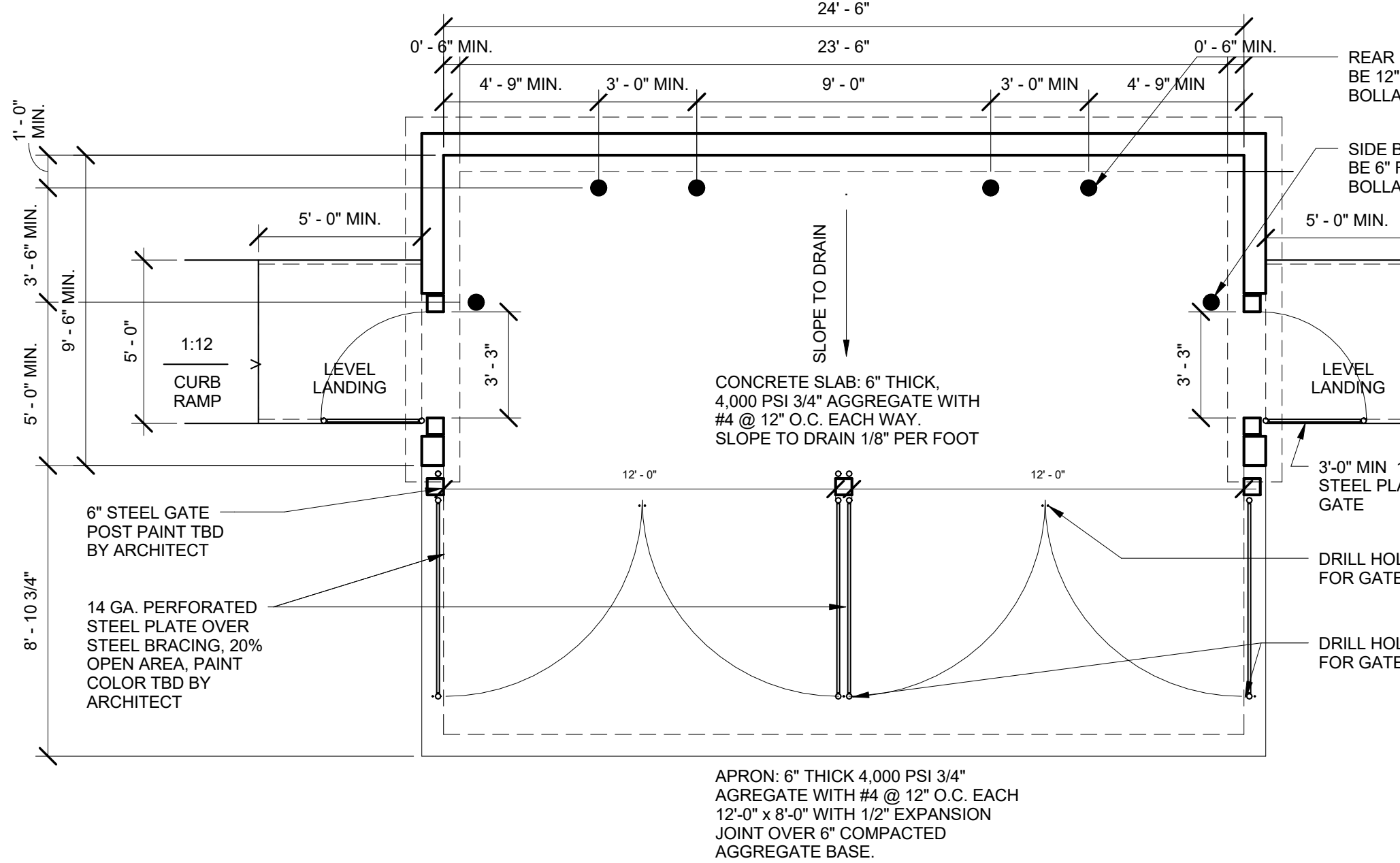
16 Bike Rack Plan
3/8" = 1'-0"



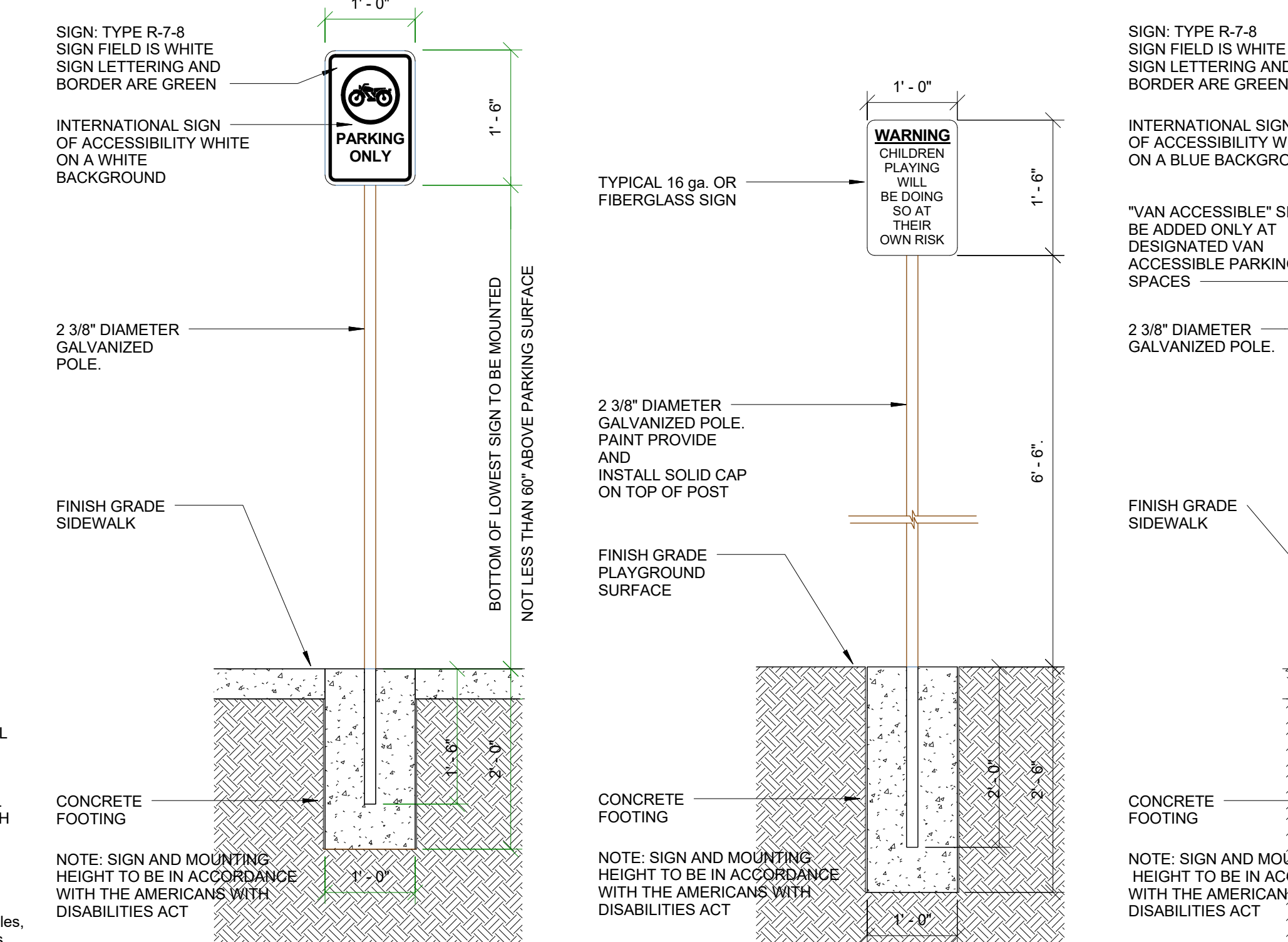
19 Concrete Driving Pad
1/4" = 1'-0"



2 Single Refuse Enclosure Detail
1/4" = 1'-0"



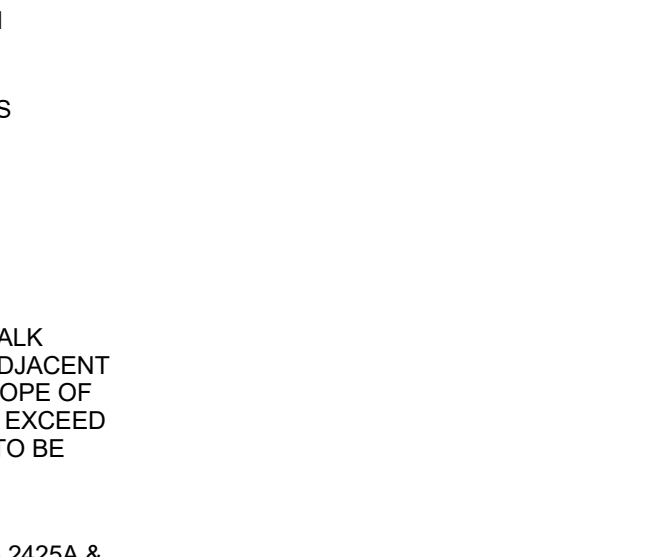
1 Double Refuse Enclosure Detail
1/4" = 1'-0"



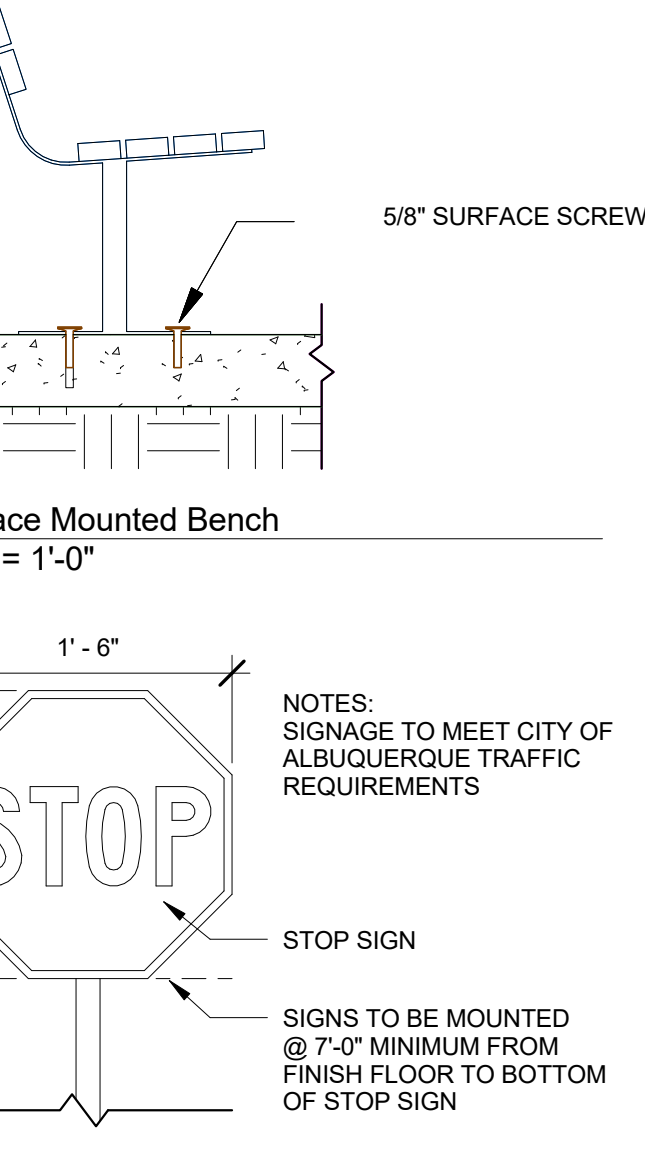
6 Motorcycle Parking Sign
3/4" = 1'-0"

7 Playground Warning Sign
3/4" = 1'-0"

8 Handicap Parking Sign
3/4" = 1'-0"



13 Surface Mounted Bench
3/4" = 1'-0"



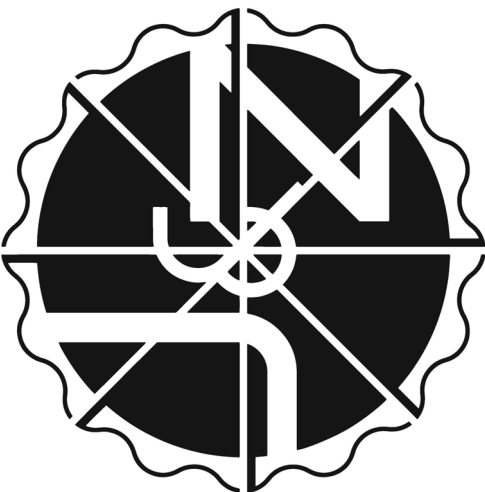
15 Stop Sign Detail
1" = 1'-0"



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5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P. 505-797-1318

**Architecture
Construction
Design-Build**



job no:

drawn: Author

checked: Checker

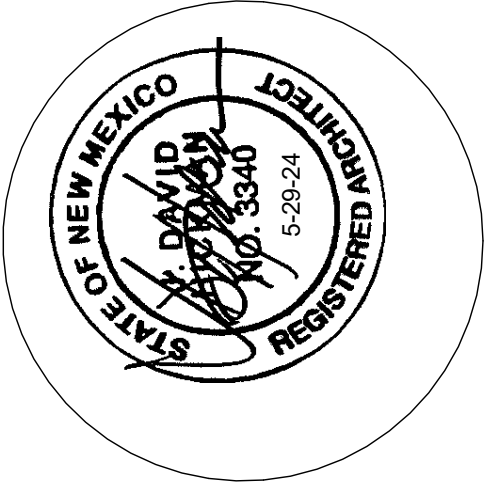
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West Mesa Ridge

701 COORS BLVD NW ALBUQUERQUE NM 87121

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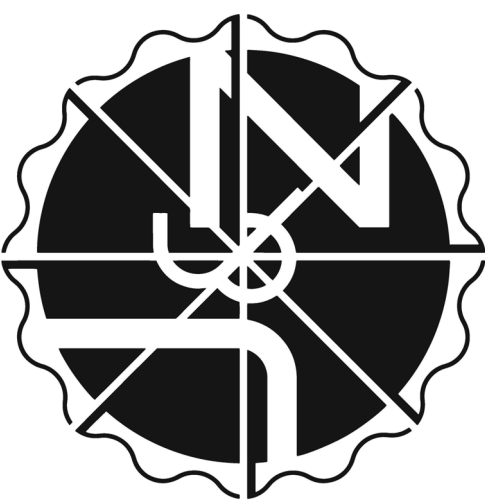
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P. 505-797-1318

**Architecture
Construction
Design-Build**



job no:	-
drawn:	EAM
checked:	J&Z
date:	Sep. 20, 2024

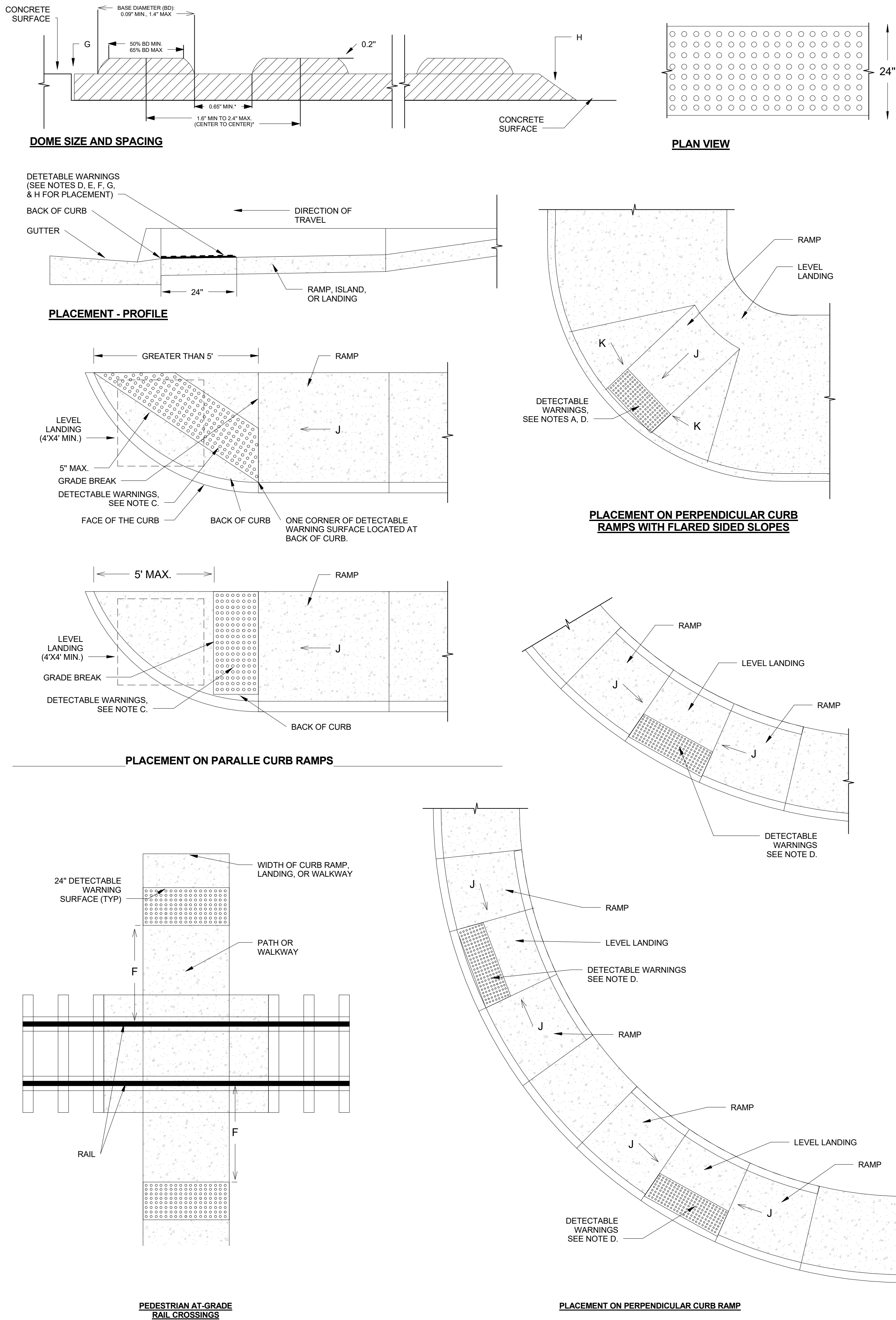
West Mesa Ridge	701 COORS BLVD NW ALBUQUERQUE NM 87121
AS2.1	

sheet no:

SITE DETAILS

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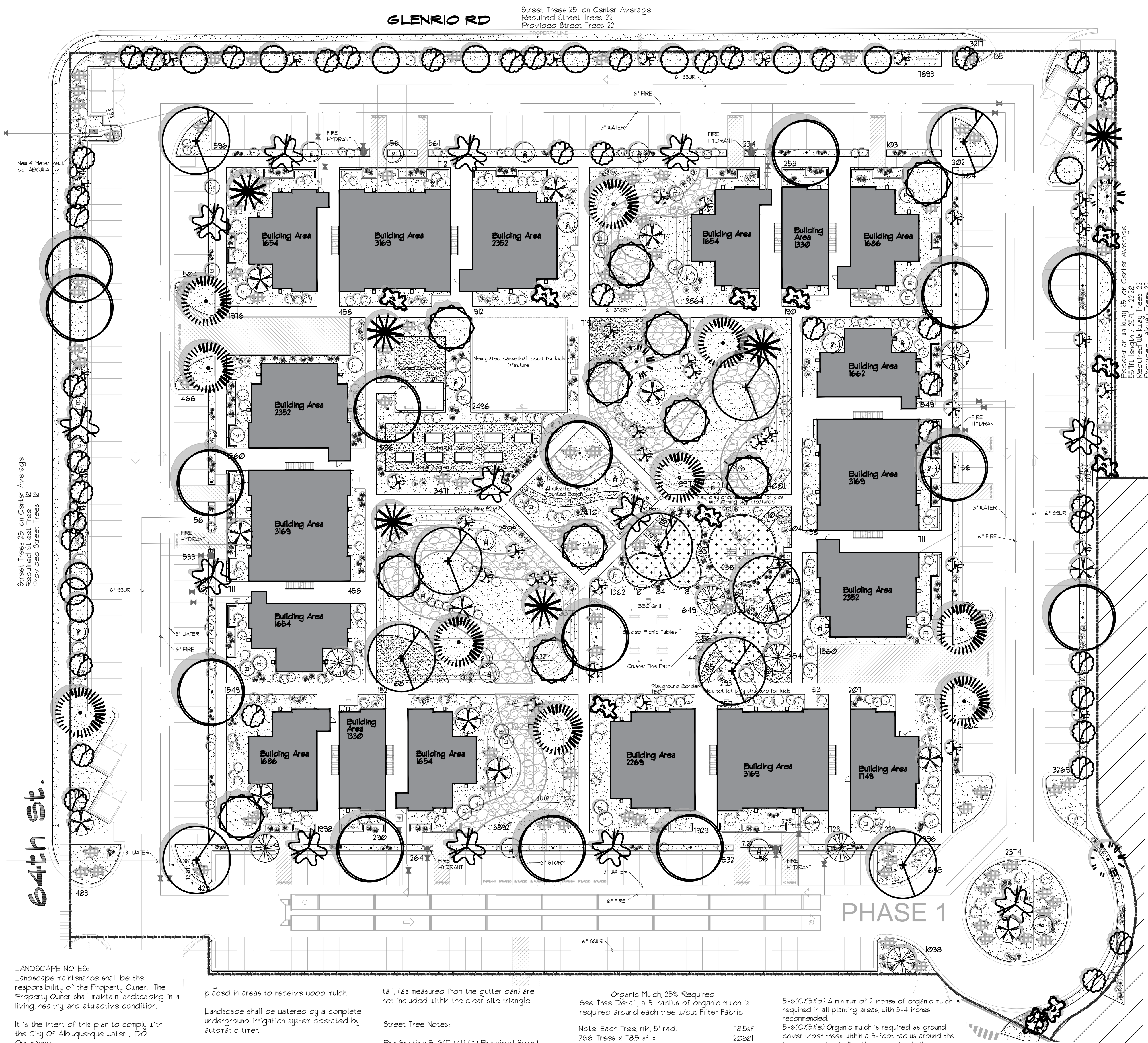


GENERAL NOTES FOR DWG 2446:

1. PROVIDE DETECTABLE WARNINGS ON ANY CURB RAMP OR LANDING WHERE THE ACCESSIBLE ROUTE CROSSES A PUBLIC STREET. DETECTABLE WARNINGS ARE NOT REQUIRED AT DRIVEWAYS UNLESS THE DIVEWAY IS PROVIDED WITH TRAFFIC CONTROL DEVICES OR IS PERMITTED TO OPERATE LIKE A PUBLIC STREET AS DETERMINED BY THE CITY ENGINEER.
2. SELECT A DETECTABLE WARNING SURFACE THAN CONTRASTS VISUALLY (LIGHT-ON-DARK OR DARK-ON-LIGHT) WITH ADJACENT SURFACES.
3. IN NEW CONSTRUCTION, INSTALL CAST-IN-PLACE REPLACEABLE DETECTABLE WARNING PLATES, PANELS, TILES, OR PAVERS. IN RETROFITS, INSTALL SURFACE-APPLIED DETECTABLE WARNING PANELS SHALL BE MECHANICALLY ANCHORED.

CONSTRUCTION NOTES:

- A. INSTALL DETECTABLE WARNING SURFACE SO THAT IT EXTENDS 24" IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH (NOT INCLUDING SIDE FLARES) OF THE RAMP OR LANDING.
- B. PLACE DETECTABLE WARNINGS SO THAT THE ROWS OF TRUNCATED DOMES ARE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP OR LANDING AND THE ROADWAY
- C. ON PARALLEL CURB RAMPS, PLACE DETECTABLE WARNINGS ON THE RAMP SURFACE AT THE GRADE BREAK IF GRADE BREAK IS WITHING 5' FROM BACK OF CURB. IF THE GRADE BREAK IS GREATER THAN 5' FROM BACK OF CURB, PLACE DETECTABLE WARNINGS AT A DIAGONAL USING A MAXIMUM DISTANCE OF 5' FROM FACE OF CURB.
- D. ON PERPENDICULAR CURB RAMPS, PLACE DETECTABLE WARNINGS AT THE BACK OF CURB.
- E. ON CUT-THROUGH ISLANDS, PLACE DETECTABLE WARNINGS IN LINE WITH THE BACK OF CURB IF DETECTABLE WIRNINGS SUREFACES ON THE ENTRANCE AND EXIT SIDES OF THE ISLAND CAN BE SEPARATED BY 2' MIN. OF WALKWAY. IF NECESSARY TO ACHIEVE 2' MIN. SEPERATION, PLACE DETECTABLE WARNINGS IN LINE WITH THE FACE OF CURB. IF THE ISLAND HAS NO CURB, PLACE DETECTABLE WARNINGS AT THE EDGE OF ROADWAY. SEE COA STD DWG. 2448.
- F. PLACE DETECTABLE WARNINGS AT RAIL CROSSINGS SO THAT THE EDGE NEAREST THE RAIL IS 6' TO 15' FROM THE CENTERLINE OF THE NEAREST RAIL ALIGH ROWS OF TRUNCATED DOMES PARALLEL TO THE DIRECTION OF TRAVEL.
- G. RECESS OR CAST-IN DETECTABLE WARNINGS SO THAT THE SURFACE TO WHICH THE TRUNCATED DOMES ARE ATTACHED IS FLUSH WITH ADJACENT CONCRETE.
- H. IN RETROFITS, DETECTABLE WARNING MAT MAY BE MECHANICALLY ANCHORED TO THE SURFACE OF THE CONCRETE IF THE MAT EDGE IS BEVELED WITH A MAXIMUM SLOPE OF 2H: 1V.
- J. 8.3% MAX SLOPE, 7% PREFERRED SLOPE.



LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain landscaping in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water, IDO Ordinance.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Water management is the sole responsibility of the Property Owner.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.

Contractor shall supply to the owner samples and prices of various gravel samples for approval prior to installing.

25% of landscape area shall be covered with organic mulch. Mulch shall be a minimum of 4" as shown on planting details. Landscape maintenance shall ensure that all wood mulch areas are maintained and refreshed on a regular basis. Filter Fabric shall not be

placed in areas to receive wood mulch.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer.

Trees and shrubs shall be zoned separately.

Point of connection for irrigation system is unknown at current time and shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.

Landscape shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.

No substitutions or alterations to this plan without the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit set.

Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3' and 8 feet

GLENRIO RD

Street Trees 25' on Center Average
Required Street Trees 22
Provided Street Trees 22

Street Tree Notes:

Per Section 5-6(D) (1) (a) Required Street Trees.
Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

Section 6-6-2-5 Street Trees (A)

1. Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing and larger trees will require greater spacing. ... Spacing shall be approved as part of the plan approval process.

2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

Organic Mulch 25% Required
See Tree Detail, a 5' radius of organic mulch is required around each tree w/out Filter Fabric

Note: Each Tree, min. 5' rad.
266 Trees x 18.5 sf = 18,550 sf
Note: Each Shrub, min. 25' rad.
1730 Shrubs x 12.56 sf = 21,728.8 sf
Total Mulch Provided 42,610
Total Mulch Required 37,313

NOTE: organic mulch is only used as a requirement of the City of Albuquerque, IDO. Wood mulch will need to be refreshed often as it is washed, and blown away and will result in a negative impact on the health of the plant material. Additionally, historically, wood mulch in commercial applications has clogged storm sewers creating damage to commercial properties, lawsuits, and damages assessed to landscape architects and contractors. Designer assumes no responsibility for flooding or erosion as the result of the use of Wood Mulch as required by the City of Albuquerque.

5-6(C)(5)(d) A minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended.

5-6(C)(5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk but not directly against the tree in these areas, used barrier fabric is prohibited.

5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 15 percent of any landscaped area, or 50 percent in DT-UC-HS areas.

Parking Lot Landscape Area Calculation

Total Parking	191 spaces
Required	
One tree every 10 spaces	20 trees
75% deciduous with min 25ft canopy	15 trees
Provided	
deciduous with 25ft canopy	51 trees
	16 trees

IDO 4-3(B)(8) Dwelling, Multi-Family (landscape requirements)

4-3(B)(8)(c) In other areas, this use shall meet all of the following landscape standards, in addition to all applicable standards in Section 14-16-5-6 (Landscaping, Buffering, and Screening).

- This use shall provide, somewhere on the lot, at least 1 tree per ground floor dwelling unit and at least 1 tree per second floor dwelling unit; no additional trees are required for additional dwelling units on the third or higher floors.
- Twenty-five (25) percent of the net lot area shall contain landscaping: playgrounds, sports courts, swimming pools, or similar features may count up to 10 percent of net lot landscaping. Tree canopies and ground-level plants shall cover a minimum of 15 percent of the total landscaped area, and the maximum a tree canopy shall count toward this requirement is 600 square feet.
- Cool season grasses are restricted to 20 percent of the landscape area. Warm season grasses may cover up to an additional 10 percent of the landscape area.

4-3(B)(8)(d) At least 50 percent of the trees required by Subsection (b) or (c) above shall be deciduous canopy-style shade trees or coniferous trees capable of attaining a mature canopy diameter of at least 25

IDO 14-16-5-13(B) MAINTENANCE STANDARDS

5-13(B)(7) Landscaping, Buffering, and Screening

5-13(B)(7)(b) Landscaping, screening and buffering areas shall be maintained in compliance with Articles 6-6 and 9-9 of ROA 1994 (Trees, Vegetation, and Landscaping and Weeds, Litter, and Snow) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWA) Legislation and Ordinances (Water Waste Reduction Ordinance).

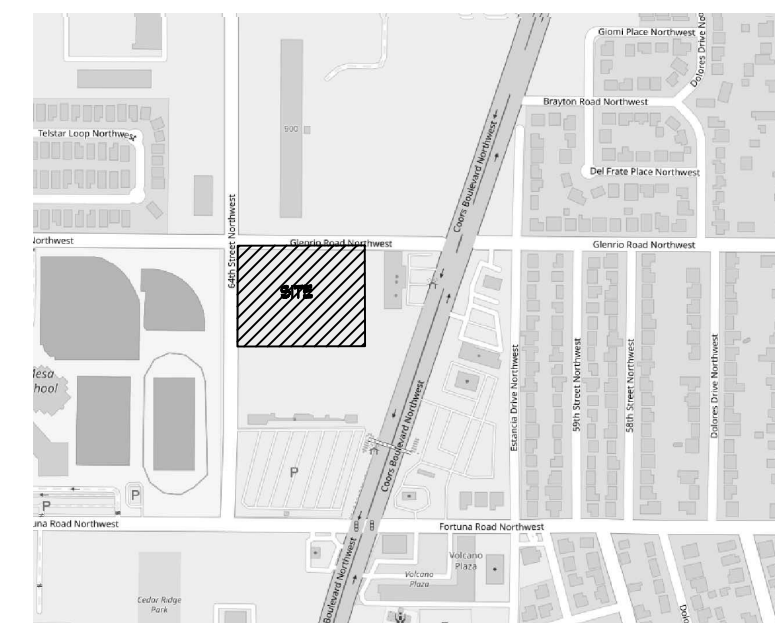
5-13(B)(7)(c) All landscaped areas shall be maintained with a neat and orderly appearance, which includes pruning, removal and replacement of dead or diseased plants and trees, disposal of litter, repair of damaged walls and hard surface areas, and upkeep of irrigation systems.

5-13(B)(7)(c) Landscaped areas that become bare shall be re-vegetated to avoid erosion.

5-13(B)(7)(d) Where landscaping was installed pursuant to a Site Plan or development approval, the landscaping shall be replaced according to any landscaping and maintenance plan under that approval.

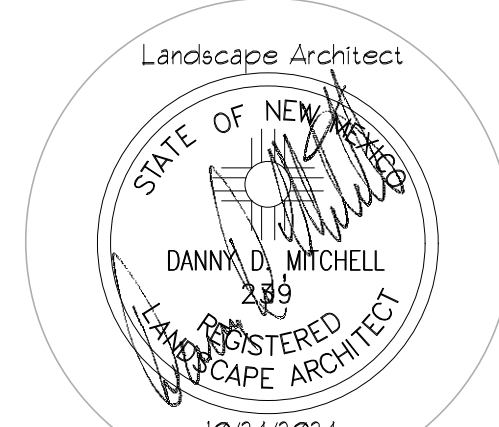
5-13(B)(7)(e) Trees or plants that die shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 calendar days after notice from the City. The replacement of dead vegetation is the responsibility of the property owner.

5-13(B)(7)(f) Street trees shall be maintained alive and healthy. Maintaining and replacing street trees or other trees planted in the public right-of-way are the responsibility of abutting property owners.



Vicinity Map

easy as pie



JEEBS & ZUZU, LLC.
Architecture
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5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P: 505-797-1318

job no:

drawn:

checked: DM

date: 10/24/2024

West Mesa Ridge
701 COORS BLVD NW ALBUQUERQUE
NM 87121

sheet no: **LS-101**
PROJECT NO:2024-057

Phase 1

GRAPHIC SCALE



SCALE: 1" = 30'-0"

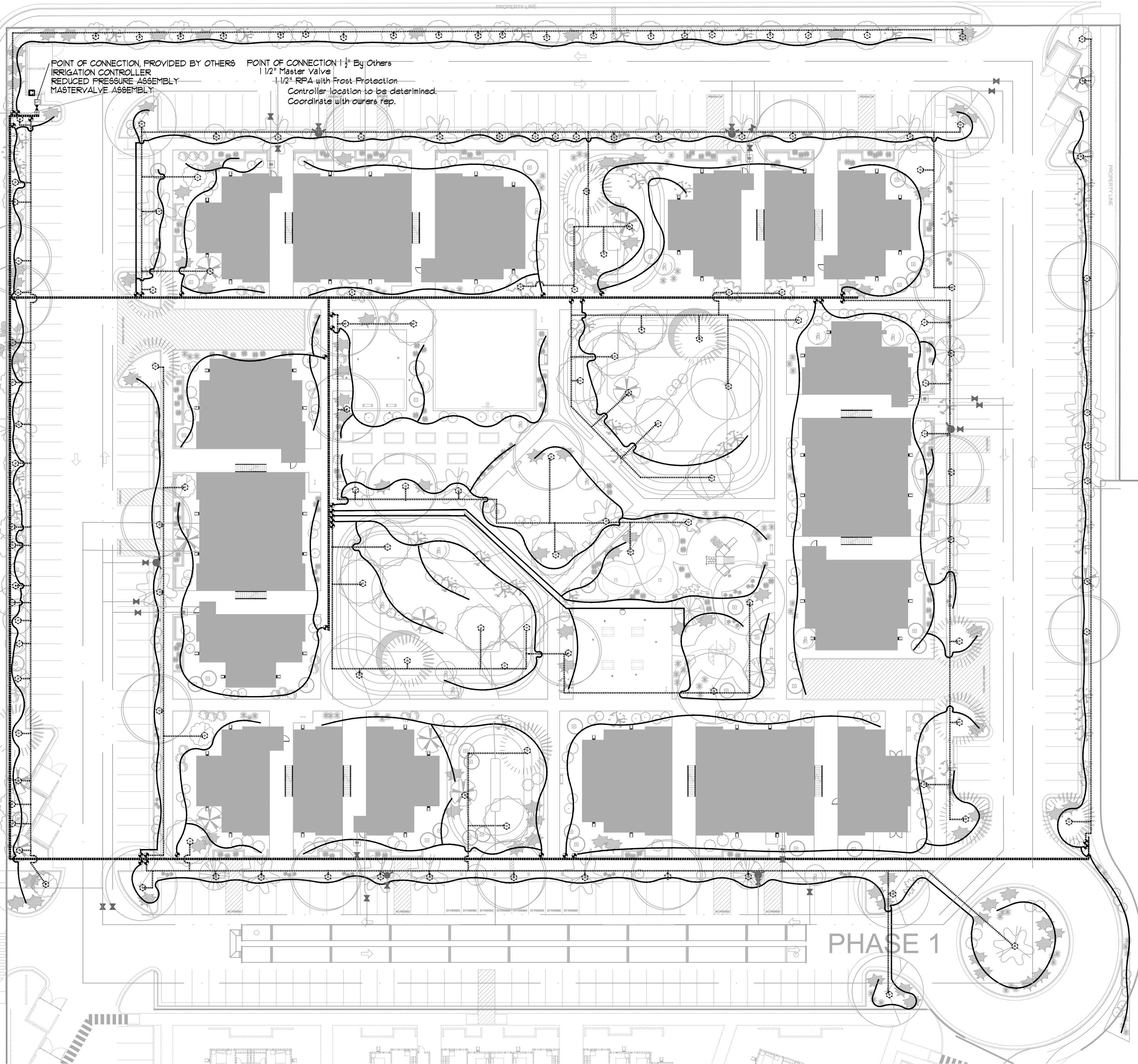


danmy@mitchellassociatesinc.com 505.639.9583

64th St.

GLENRIO RD

GLENRIO RD



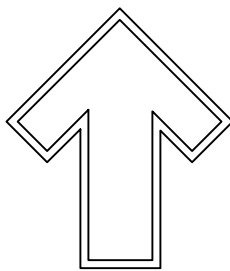
IRRIGATION LEGEND

COMPONENT	MANUFACTURE	SIZE / NOTES
POINT OF CONNECTION PROVIDED BY OTHERS	SEE CIVIL PLANS	1 1/2" Adapter, 10psi required
IRRIGATION CONTROLLER	HUNTER	As Required
AIR AND VACUUM BREAKER	TESCO (OR EQUAL)	1 1/2" Cover, Provide Freeze Protection
MASTERVAVE ASSEMBLY	HUNTER	2"
MAINLINE	50' 40' PVC	3/4" with Pressure Regulation and Y Filter
ELECTRIC ZONE VALVE	HUNTER	1 1/2"
SLEEVES	Class 200 PVC	2 SIZES LARGER THAN PIPE TO BE SLEEVED.
Drip Line, Tree Nutrin Rings	Class 200 PVC	1 1/2"
Drip Line, Break Drip Emittor Line	Polyline	3/4", 1"
Tree Drip Emittor	RAUNDO,	SEE DETAIL

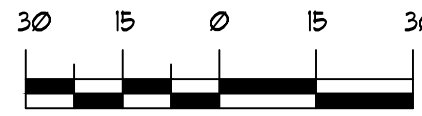
Size Equipment As Required for Flow Rate

IRRIGATION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
- THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION
- EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- IRRIGATION LATERAL LINES, MAIN LINES, AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
- SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNER. BACKFLOW PREVENTOR TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER.
- IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM.
- TREES AND SHRUBS SHALL BE ON SEPARATE VALVES.
- POINT OF CONNECTION FOR IRRIGATION SYSTEM SHALL BE AS INDICATED ON THE UTILITY PLAN. CIVIL DRAWINGS. LANDSCAPE CONTRACTOR POINT OF CONNECTION AND RESPONSIBILITY SHALL BEGIN DOWNSTREAM OF THE POINT OF CONNECTION.
- IRRIGATION WILL BE OPERATED BY SMART IRRIGATION SYSTEM AUTOMATIC CONTROLLER, CAPABLE OF MULTI-PROGRAMMING ABILITY.
- LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY THE OWNER.
- IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- WATER AND POWER SOURCE FOR IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.



GRAPHIC SCALE



SCALE: 1" = 30'-0"



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JEEBS & ZUZU, LLC.

**Architecture
Construction
Design-Build**

5924 ANAHEIM AVENUE SUITE A
ALBUQUERQUE, NM 87113

P: 505-797-1318

job no:

drawn:

DM

checked:

DM

date:

10/24/2024

West Mesa Ridge

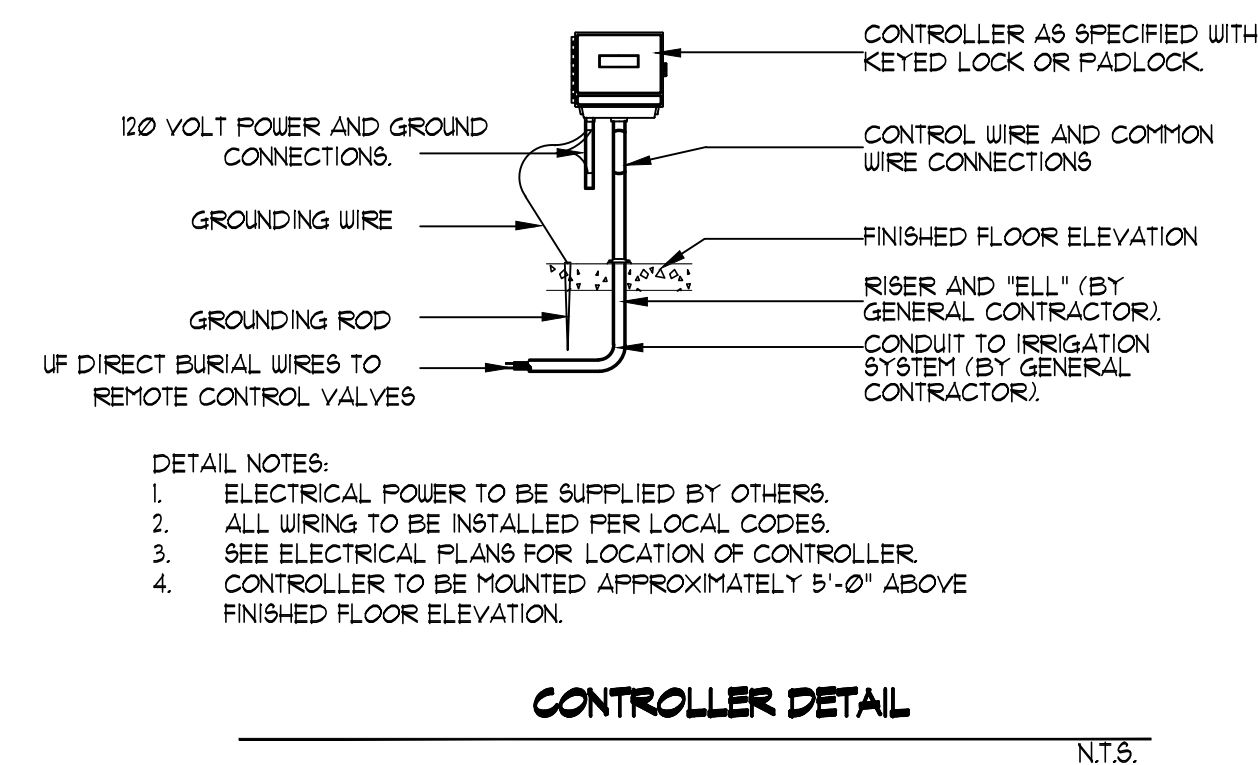
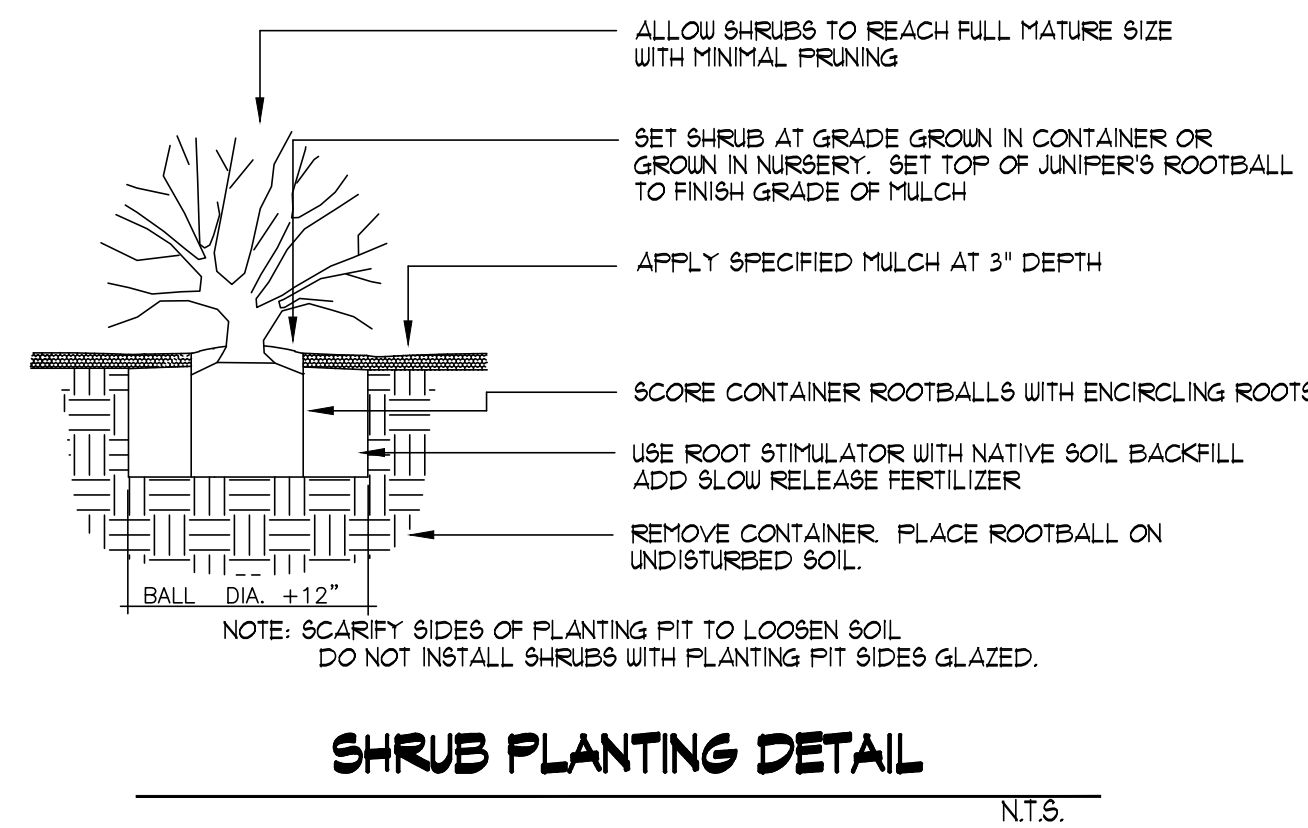
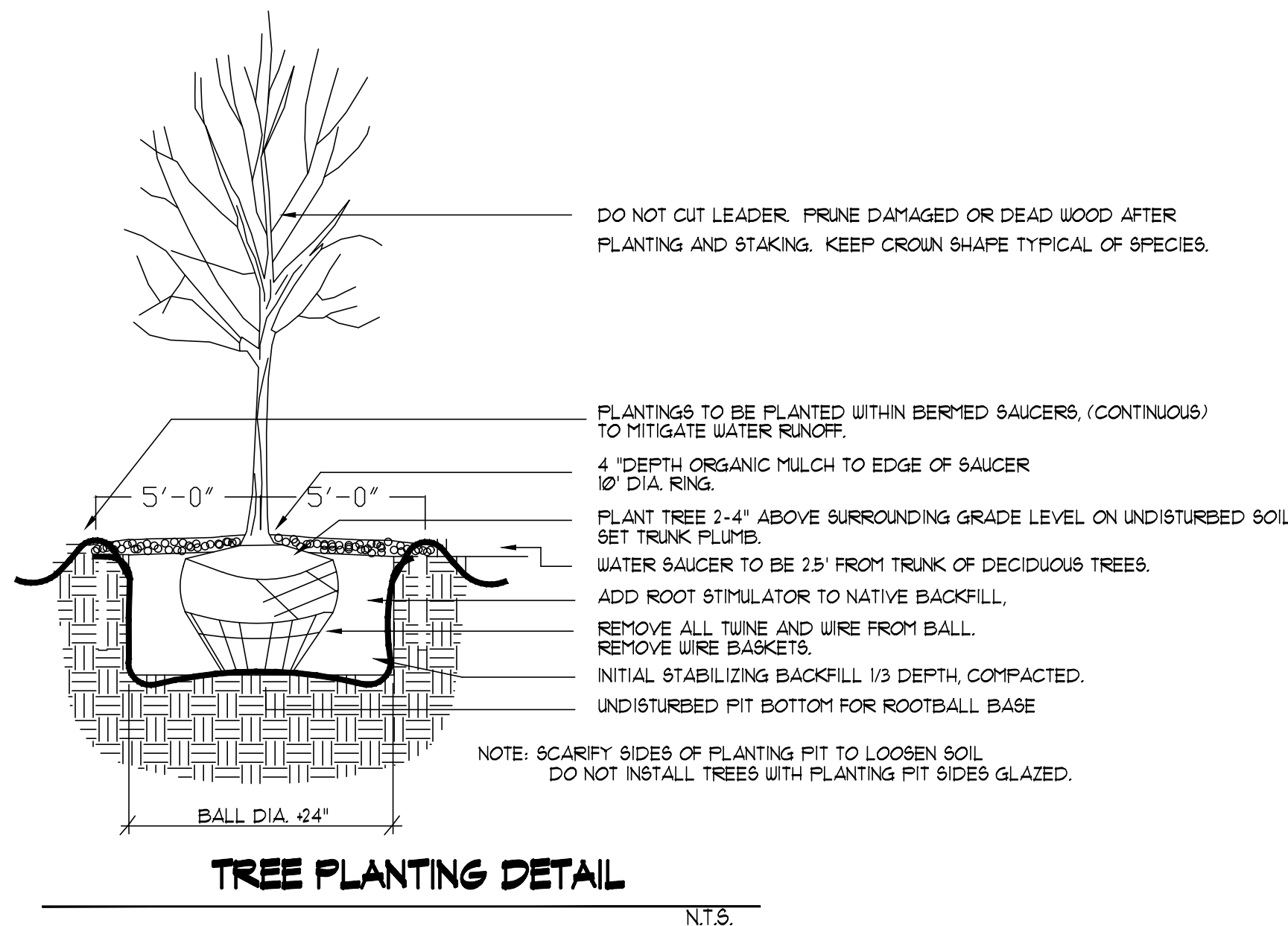
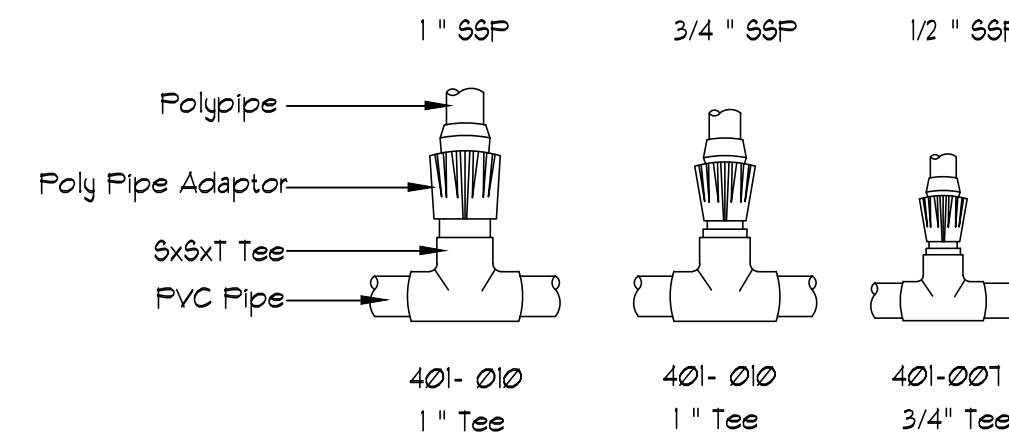
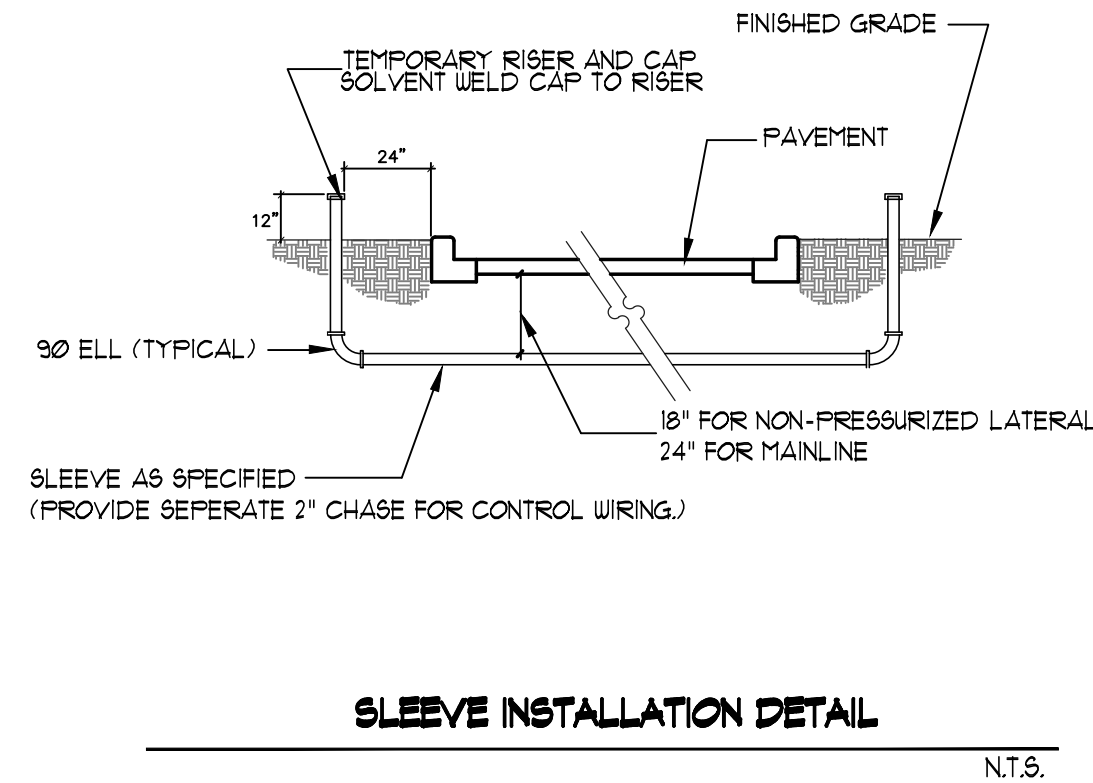
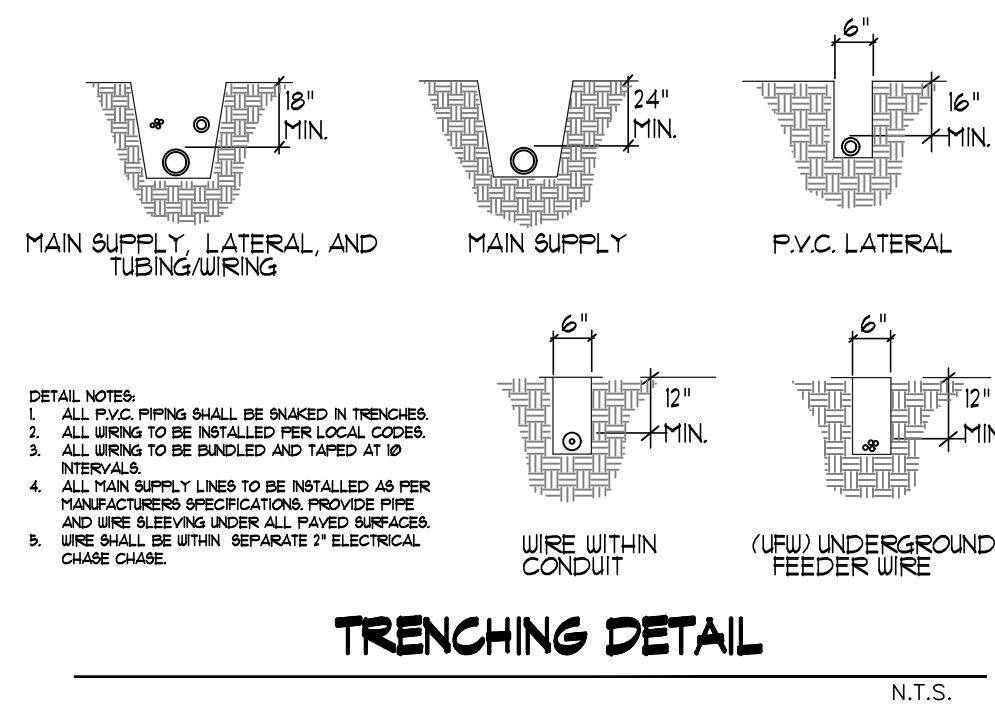
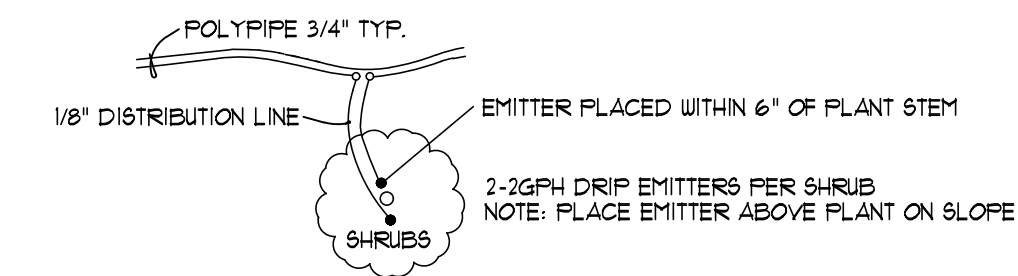
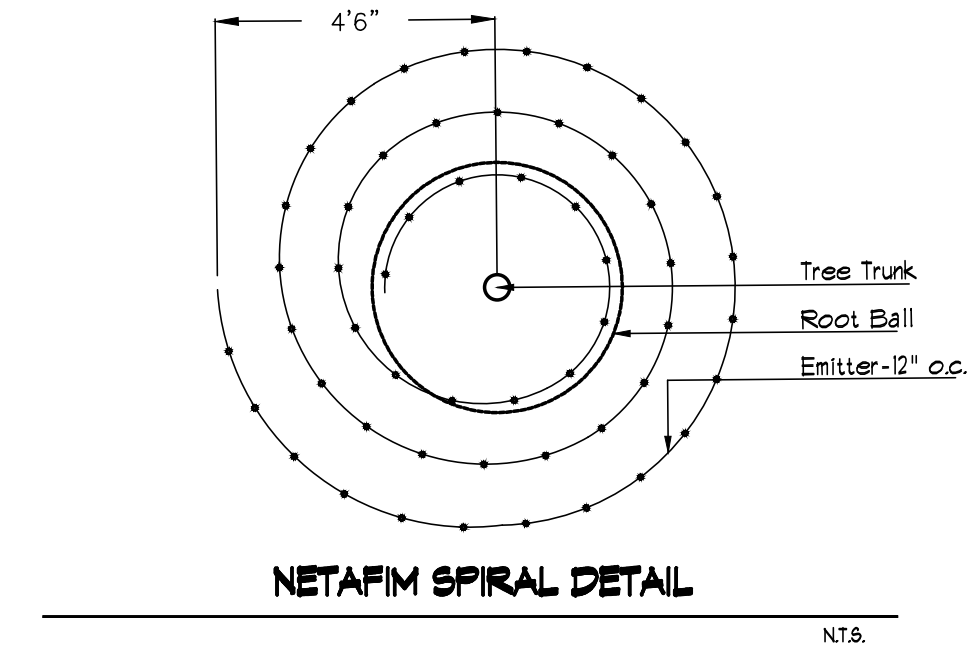
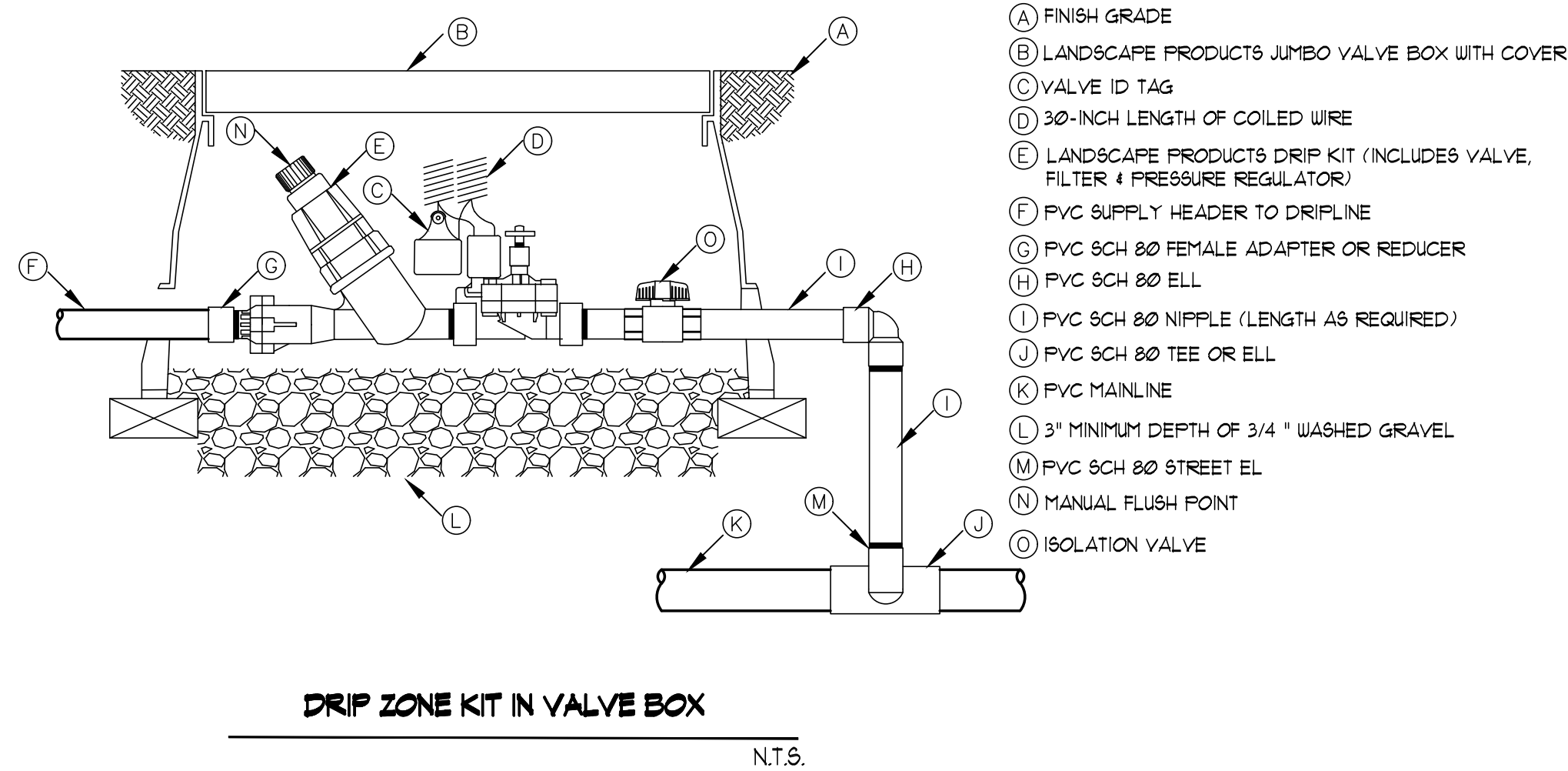
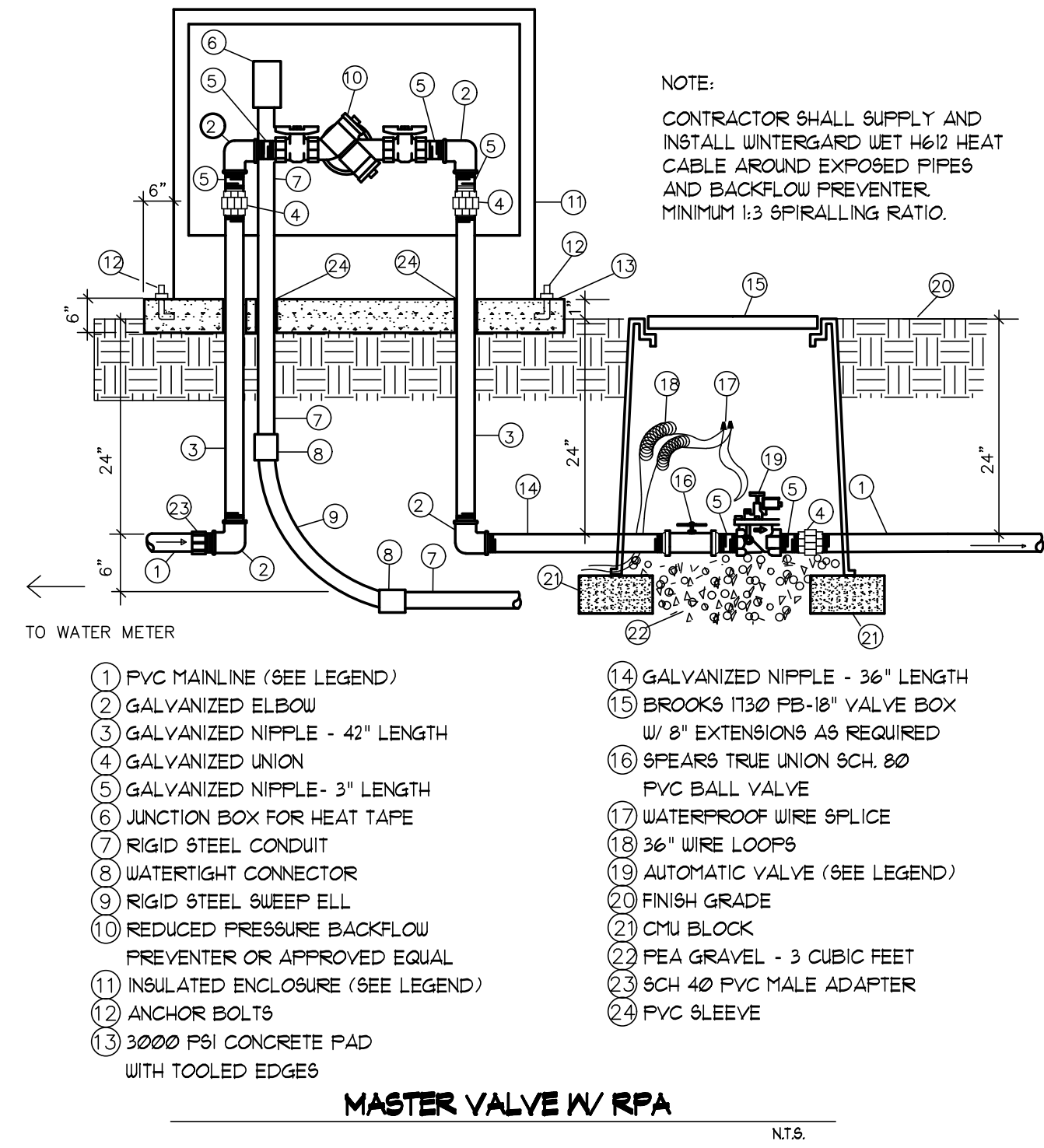
701 COORS BLVD NW ALBUQUERQUE NM 87121

Irrigation Plan

sheet no:

LS-102

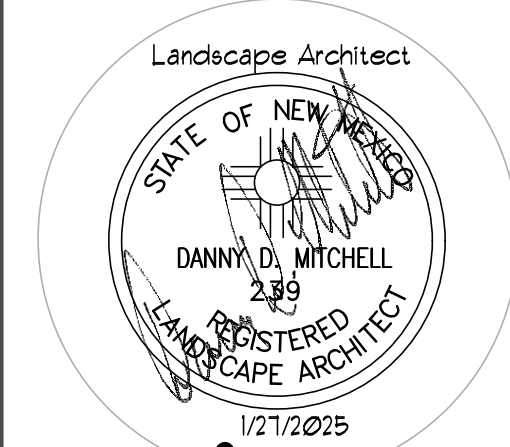
PROJECT NO: 2024-057



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easy as pie



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date:

1/27/2025

West Mesa Ridge
701 COORS BLVD NW ALBUQUERQUE NM 87121

sheet no:

LG-103
PROJECT NO:2024-057

City of Albuquerque Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided for Reference

5-6(A) PURPOSE
This Section 14-16-5-6 regulates landscaping to ensure visually attractive, sustainable design, landscapes that aid in the creation of a quality public realm. The City recognizes landscape as a visual component to quality environments that enhance Albuquerque's overall appearance and provide other public benefit through:

- 5-6(A1) Providing visual relief from urbanization.
- 5-6(A2) Establishing a consistent and attractive streetscape that generates a sense of continuity and a strong positive city image.
- 5-6(A3) Improving the aesthetic appearance of commercial, industrial, and multi-family residential development to protect and enhance public and private investments and property values.
- 5-6(A4) Ensuring the use of native and/or adapted, low water-use, or xeric species and regionally appropriate, sustainable design and maintenance techniques to conserve water resources.
- 5-6(A5) Contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscape should be designed to retain soil moisture, prevent erosion, encourage the growth of abutting plantings, and mitigate urban heat-island effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and glare.
- 5-6(A6) Providing screening of some types of facilities, structures, and equipment.
- 5-6(A7) Providing shade and comfort for pedestrians and visually narrowing streets, which has been shown to reduce vehicle speeding and accidents.

5-6(B) APPLICABILITY
5-6(B1) The provisions of this Section 14-16-5-6 shall apply to any of the following, unless specified otherwise this IDO:
5-6(B1)(a) Construction of a new building containing multi-family, mixed-use, or non-residential development, or an accessory parking structure.
5-6(B1)(b) Construction of a new parking lot containing 25 or more spaces, or expansion of an existing parking lot by 25 spaces or more.
5-6(B1)(c) Expansion of the gross floor area of an existing building containing multi-family, mixed-use, or non-residential development by 2500 square feet or more, or 25 percent or more, whichever is less.
5-6(B1)(d) Renovation or redevelopment of an existing building containing multi-family, mixed-use, or non-residential development, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, indicated by building permits, is \$500,000 or more.
5-6(B2) In the case of walls provided for buffering or screening requirements with conflicting standards in this Section 14-16-5-6, Section 14-16-5-5 (Parking and Loading), and Section 14-16-5-9 (Neighborhood Edges), the highest specified wall height allowance prevails.
5-6(B3) Requirements for walls provided to meet buffering and screening requirements prevail over maximum wall height regulations in Section 14-16-5-7 (Walls and Fences), but shall be subject to any other applicable material and design requirements in Section 14-16-5-7(E).

5-6(C) GENERAL LANDSCAPING STANDARDS
The following standards apply to all landscaping, screening, or buffering required by this Section 14-16-5-6.
5-6(C1) Landscape Plan Required
A landscape plan and/or site plan for landscaped areas shall be submitted as a part of all development applications where landscaping, buffering, or screening is required, unless the relevant decision-making body determines that compliance with the provisions of this Section 14-16-5-6 can be demonstrated without the use of a landscape plan. A landscape plan may be combined with other required application materials if compliance with this Section 14-16-5-6 can be demonstrated.
Landscaping shall be maintained pursuant to the requirements of Subsection 14-16-5-13(B)(6).

5-6(C2) Minimum Landscape Area
5-6(C2)(a) Except as noted in Subsection (b) below, a minimum of 15 percent of the net lot area for each development shall contain landscaping.
5-6(C2)(b) In DT-UC-M5-FT areas, a minimum of 10 percent of the net lot area of each development shall contain landscaping. In these areas, landscaping required to meet this requirement need not be at ground level. (See figure below.)

5-6(C2)(c) The mature realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows:
1. Tree canopies and ground-level plants shall provide a minimum of 15 percent of the total landscape area as measured by canopy width or the area beneath the drip-line of the mature.
2. Size of the actual vegetation of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the mature size of the actual vegetation. (See figure below.)
5-6(C2)(d) See also Subsections 14-16-5-6(D) (Street Frontage Landscaping), 5-6(C2)(e) (Edge Buffer Landscaping), and 14-16-5-6(F) (Parking Lot Landscaping) for additional landscaping requirements.

5-6(C3) Overlapping Requirements
5-6(C3)(a) If areas required to be landscaped by 2 or more provisions of this Section 14-16-5-6 overlap each other, the provision requiring the greater amount of landscaping shall apply, and landscaping provided that meets the greater requirement shall count toward fulfilling the overlapping requirements.

- 1. See Subsection 14-16-5-6(C)(2) (Existing Vegetation Credit).
 - 2. See Subsection 14-16-5-6(C)(3) (Stormwater Management Features).
 - 3. See Subsection 14-16-5-6(D) (Street Frontage Landscaping).
 - 4. See Subsection 14-16-5-6(E) (Edge Buffer Landscaping).
 - 5. See Subsection 14-16-5-6(F) (Parking Lot Landscaping).
- 5-6(C3)(b) Landscaped areas may count toward satisfying usable open space requirements specified for Residential zone districts in Table 5-1-1 and for Mixed-use zone districts in Table 5-1-2.
- 5-6(C3)(c) Gardens and community gardens provided may count toward satisfying the requirements of Subsection 14-16-5-6(C)(2) (Minimum Landscape Area).

5-6(C3)(d) Any landscaping provided to meet requirements in Subsection 14-16-5-21 (Major Arroyo Standards) may count toward any required landscaping in this Section 14-16-5-6 but shall be subject to Subsection 14-16-5-6(C) (General Landscaping Standards).

5-6(C3)(e) Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-16-5-11(E)(3) (Outdoor Seating and Gathering Areas) may count toward up to 1/3 of required landscaping in Section 14-16-5-6 but shall be subject to standards in Subsection 14-16-5-6(C) (General Landscaping Standards).

5-6(C4) Required Plant Materials and Site Amenities
5-6(C4)(a) A minimum of 10 species must be used in the landscaped area.
5-6(C4)(b) Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards), except that, upon presentation of evidence, the relevant decision-making body may authorize alternative species or cultivars that meet all of the following requirements:
1. Meet the intended purpose of that type of landscaping.
2. Are not hazardous.
3. Are not identified as invasive on a City or State plant list.
4. Are not listed in the City's Weeds Identification Handbook.
5. Are equally hardy to the New Mexico climate.
5-6(C4)(c) Installation of any trees, shrubs, or other vegetation included in a State list of prohibited or invasive species or listed as noxious weeds in the City's Weeds Identification Handbook is prohibited.
5-6(C4)(d) No more than 10 percent of required landscape areas shall be cool season grass species.
5-6(C4)(e) Irrigated cool season grass shall not be planted on slopes exceeding 1/4 rise/run or planted in narrow or irregularly shaped areas (10 feet or less in any dimension) in order to avoid water waste.

5-6(C4)(f) Any new grass irrigated with sprinklers shall be installed at least 2 feet in any direction from any impermeable hard surface. A buffer using organic mulch can be used when planting grass adjacent to impermeable surface.
5-6(C4)(g) Landscaping abutting arroyos shall consist of native plants that are included on the Official Albuquerque Plant Palette.
5-6(C4)(h) Artificial turf/grass shall not be counted as living vegetative material or to meet the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards).
5-6(C4)(i) All vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6-6-2 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABQWA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.
5-6(C4)(j) All required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ANSI) of the American Nursery and Landscape Association.
5-6(C4)(k) Shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. The walkway is less than 25 feet long at least one tree is required, or where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided.
5-6(C4)(l) In DT-UC-M5 areas, landscaped areas other than street frontage shall include pedestrian furniture, pedestrian amenities, or trash receptacles to encourage pedestrian use.
5-6(C4)(m) See also Subsection 14-16-5-6(D) (Street Frontage Landscaping) for additional landscaping requirements.

5-6(C5) Soil Condition and Planting Beds
5-6(C5)(a) All vegetated material required by this Section 14-16-5-6 shall be planted in uncompacted soil.
5-6(C5)(b) If used, weed barriers shall be permeable to optimize stormwater infiltration and prevent runoff.
5-6(C5)(c) The use of gravel or crusher fines as ground cover is limited to 15 percent of any landscaped area, or 50 percent in DT-UC-M5 areas.
5-6(C5)(d) A minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended.
5-6(C5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk but not directly against the trunk. In these areas, weed barrier fabric is prohibited.
5-6(C5)(f) All landscaped areas shall be protected from vehicular encroachment by curbs or wheel stops located 2 feet outside the landscaped area with openings to accommodate surface collection of stormwater runoff in vegetated areas and stormwater infiltration areas.

5-6(C6) Minimum Plant Sizes at Installation
All vegetation required by this Section 14-16-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO.
5-6(C7) Plant Material Spacing
5-6(C7)(a) Vegetation required by this Section 14-16-5-6 shall be located at least 3 feet in any direction from any fire hydrant, valve vaults, hose bibs, manholes, hydrants, and fire department connections.
5-6(C7)(b) Where tree planting requirements are based on the length of the street frontage, areas occupied by driveways and drive aisles shall be included when calculating the number of trees required to be planted, and all trees that would otherwise be required in driveways or drive aisles shall be planted in those landscaped front yard areas.
5-6(C7)(c) The Planning Director may authorize adjustments to any spacing requirements when required due to topography, drainage, utilities or obstructions, provided that the total amount of required landscaping is not reduced.

Table 5-6-1: Minimum Plant Sizes

Plant material type (see footnotes)	Minimum size
Deciduous Street Trees	2 in. caliper 6 in. above grade
Deciduous Accent Trees	1.5 in. caliper 6 in. above grade or 6 in. in height
Evergreen Trees	6 in. in height
Multi-trunk Tree	Minimum 2 trunks with a combined caliper of 2 in.
Shrub	2 in. in height
Ground cover and turf	Adequate to provide general ground cover within 1 growing season after planting

5-6(C8) Protecting Clear Sight Triangle
The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

5-6(C9) Planting in or over the Public Right-of-Way
5-6(C9)(a) All planting of vegetative material or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repairs, or liability for all the landscaping installed in or over the public right-of-way.
5-6(C9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8 foot clearance over the sidewalk, any trees that overhang a public street shall be trimmed to maintain a 9 foot clearance above the street surface.
5-6(C9)(c) Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way.

5-6(C10) Planting near Utilities
5-6(C10)(a) Trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced.
5-6(C10)(b) Trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line.
5-6(C10)(c) Trees or shrubs planted within utility easements shall comply with the standards of the utility provider to minimize effects on facilities maintenance and repair.
5-6(C10)(d) If overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 25 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.

5-6(C10)(e) All screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crews and public during maintenance and repair.
5-6(C10)(f) Trees shall not be planted near existing or proposed street light poles.
5-6(C10)(g) Standards in the DPM may apply to tree planting in or near utility easements, such as gas lines.

5-6(C11) Parking on Landscaped Areas: Prohibited
Parking of automobiles, trucks, trailers, boats, recreational vehicles, or other motor vehicles is prohibited on any required landscaping or buffer area.
5-6(C12) Existing Vegetation Credit
5-6(C12)(a) If existing non-prohibited vegetation meets the location requirements and intent of landscaping, buffering, or screening required by this Section 14-16-5-6, that existing vegetation may be credited toward the landscaping, buffering, or screening materials required by this Section 14-16-5-6.
5-6(C12)(b) All existing vegetation preserved and used for credit against the requirements for new vegetation shall be protected during construction by a fence erected one foot beyond the drip line of the vegetation.
5-6(C12)(c) Trees may be credited only 1 time toward any one buffer, screen, or other landscape requirement.
5-6(C12)(d) Trees shall be credited in accordance with Table 5-6-2.

Table 5-6-2: Credits for Preserving Trees

Diameter at Breast Height (in.)	Number of Trees Credited
>25	8
21.3 and <25	6
18 and <13	4
14 and <8	2
<4	1
[1] Prohibited trees are those that do not appear on the Official Albuquerque Plant Palette and may appear on the City or State list of prohibited or invasive species	

5-6(C13) Stormwater Management Features
5-6(C13)(a) Required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation.
5-6(C13)(b) Required landscape and buffer areas shall be designed pursuant to the DPM and the City Standard Specifications for Public Works Construction.
5-6(C13)(c) In the R-ML, R-MH, Mixed-use, and NR-SU zone districts, and on lots containing multi-family dwellings or non-residential uses in the R-A, R-L, R-MC, and R-T zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collection areas that are located in landscape areas and that meet all applicable standards in the DPM.
5-6(C13)(d) Areas created to meet stormwater management requirements of the City or a governmental entity and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in those areas, provided that the area includes vegetation required by this Section 14-16-5-6.
5-6(C13)(e) Where pedestrian walkways and multi-use trails cross required landscape areas, permeable paving may be used and may count toward satisfying the requirements of Subsection 14-16-5-6(C)(2) (Minimum Landscape Area).

5-6(C14) Irrigation Systems
5-6(C14)(a) Irrigation systems shall comply with Section 8 of the ABQWA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).
5-6(C14)(b) All irrigation systems shall be designed to minimize the use of water.
5-6(C14)(c) All non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.
5-6(C14)(d) The irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.

5-6(C15) Installation
5-6(C15)(a) All landscaping material used to meet the requirements of this Section 14-16-5-6 shall be installed in accordance with the planting procedures established by the American Nursery and Landscape Association.
5-6(C15)(b) All required landscaping, street trees, screening, and buffering shall be installed prior to the issuance of a final certificate of occupancy. If there is more than one primary building on the site, the landscaping, screening, and buffering related to each building shall be installed prior to the issuance of a final certificate of occupancy.
5-6(C15)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of plant materials that have been approved by the applicable public utility as part of a plan for landscaping, screening, or buffering on the public right-of-way shall be the responsibility of such public utility. If a public utility disturbs landscaping, screening, or buffering in a public right-of-way, private way, or easement, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If the plant materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials.
5-6(C15)(d) Property owners acknowledge that approved landscaping and trees installed and maintained in a public right-of-way, private way, or easement abutting private properties are the property of the City, and that the City reserves the right to remove them if necessary for a transportation project without compensation, but at no cost to the property owner. Landscaping installed in an abutting public right-of-way, private way, or easement by property owners and later removed by the City shall not impact previously approved net lot area calculations for required landscaping.

5-6(C16) Alternative Landscape Plans
The Planning Director may approve alternative landscape plans that do not meet the specific requirements stated in this Section 14-16-5-6 if the Planning Director determines that the alternatives meet all of the following criteria:
5-6(C16)(a) Are consistent with the purposes of this Section 14-16-5-6.
5-6(C16)(b) Do not include invasive vegetation included in a City or State list of prohibited or noxious species or listed as a noxious weed in the City's Weeds Identification Handbook.
5-6(C16)(c) Do not include a reduction of tree planting requirements.
5-6(C16)(d) Provide equal or superior buffering of adjacent properties from anticipated impacts of the proposed development.
5-6(C16)(e) Provide equal or superior visual appearance of the property when viewed from the street.
5-6(C16)(f) Provide equal or superior carbon dioxide absorption and heat island reductions.

5-6(D) STREET FRONTAGE LANDSCAPING
5-6(D1) Required Street Trees
5-6(D1)(a) All development shall comply with 6-6-2 of ROA 1994 (Street Trees) and any standards developed by the Parks and Recreation Department, or other City department, to implement that Ordinance. Trees are generally required along street frontages every 25 feet on center unless specified otherwise in Part 6-6-2 of ROA 1994 (Street Trees). Along street frontages where street trees are required, trees that are planted within 20 feet of the back of curb of the abutting street may fulfill this requirement.
5-6(D1)(b) Only trees selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(D) (Street Frontage Landscaping), except that existing trees that are 8 inch caliper or larger may count toward street tree requirements, regardless of whether they appear on one of those lists.
5-6(D1)(c) Planting areas necessary for trees in the street frontage shall meet the minimum size requirements in Table 5-6-3 unless specified otherwise in this IDO. Tree grates may be used in constrained locations to accommodate pedestrian circulation, to allow the required planting areas to have a walkable surface.

Table 5-6-3: Minimum Planting Area by Tree Height at Maturity

Maturity	Tree Height at Maturity (ft.)	Minimum Planting Area (ft.)
0-20	4 x 4	
20-40	8 x 8	
>40	6 x 6	

5-6(D2) Additional Frontage Landscaping
5-6(D2)(a) General For buildings with a footprint of more than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.
5-6(D2)(b) Downtown, Urban Centers, and Main Street and Premium Transit Areas City (50) percent of any front setback area not used for pedestrian access to the building or improved with pedestrian furniture and amenities shall be landscaped, and no part of the front setback area surface shall be asphalt.

5-6(E) EDGE BUFFER LANDSCAPING

5-6(E1) General Requirements
5-6(E1)(a) Landscaped edge buffers and/or edge buffer walls are required between properties to mitigate the impacts of significant differences in property use, size, or scale through standards specified in Subsections (2) through (5) below.
5-6(E1)(b) If a landscaped edge buffer is required and a wall is required or will be provided, the wall shall be provided on the property line between the two properties unless specified otherwise in this IDO.
5-6(E1)(c) Required edge buffering is not required to be installed along any portion of the lot line covered by an access easement between adjacent lots, but an equivalent amount of landscaping shall be installed on remaining portions of the side or rear lot line, as applicable.
5-6(E1)(d) For the purposes of this Subsection 14-16-5-6(E), "industrial development" refers to the zone districts and uses indicated in Subsection 14-16-5-6(E)(4)(a) (Industrial Development Adjacent to Non-Industrial Development).
5-6(E1)(e) Additional buffering may be required for specific uses, pursuant to any use-specific standards for those uses in Section 14-16-4-3 or Neighborhood Edge standards in Section 14-16-5-9.

Table 5-6-4: Edge Buffer - Development Type Summary^[1]

Development Type	Development Specifics	General Buffering	Buffering in DT-UC-M5-FT
Industrial	Non-industrial development	14-16-5-6(E)(4)	Landscaped buffer area 125 ft.
Multi-family	Multi-family development	14-16-5-6(E)(4)	Landscaped buffer area 20 ft.
Mixed-use or other non-residential	R-ML or R-MH	14-16-5-6(E)(3)	Landscaped buffer area 20 ft.
Multi-family, mixed-use or other non-residential	R-A, R-L, R-MC, R-T, or R-ML	14-16-5-6(E)(3)	Landscaped buffer area 115 ft.

[1] See Subsections 14-16-5-6(E)(4)(a), 14-16-5-6(E)(4)(b), and 14-16-5-6(E)(4)(c) for complete buffer standards.

5-6(E2) Development Next to Low-Density Residential Zone Districts
Where multi-family, mixed-use, or non-residential development other than industrial development occurs on a lot abutting or across an alley from a lot containing low-density residential development in an R-A, R-L, R-MC, R-T, or R-ML zone district, a buffer shall be provided along the lot line, as specified in Subsection 14-16-5-6(E) and for the relevant area below.

5-6(E3) General
A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties.
1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 25 feet along the wall, with spacing designed to minimize sound and light impacts on the adjacent property.
2. If no wall is provided or exists, 1 tree at least 6 feet tall at the time of planting and at least 25 feet tall at maturity and 3 shrubs per 25 feet shall be provided for every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts.
5-6(E3)(b) Downtown, Urban Centers, and Main Street and Premium Transit Areas
1. A landscaped edge buffer area at least 6 feet wide shall be provided. For buildings over 30 feet in height, the edge buffer area shall be at least 10 feet wide.
2. An opaque wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and all of the following requirements shall be met:
a. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
b. The side facing the low-density residential development shall be at least as finished in appearance as the side facing the multi-family, mixed-use, or non-residential development.

5-6(E4) Industrial Development Adjacent to Non-Industrial Development
5-6(E4)(a) Landscaped buffer areas are required to separate off-street parking and circulation areas from front, side, and rear boundaries of premises.
5-6(E4)(b) Where a parking lot is abutting an R-A, R-L, R-MC, or R-T zone district, provisions related to parking area in Subsection 14-16-5-9(D) (Parking, Drive-through Or Drive-up Facilities, and Loading) shall apply.
5-6(E4)(c) Where development is coordinated on 2 or more abutting sites, or where multiple parking areas are located on a single lot, or on planned development areas controlled by Site Plans, these requirements shall be based on the entire development area unless otherwise approved by the decision-making body.
5-6(E4)(d) Landscaped buffers may be crossed by drive aisles connecting to abutting lots.
5-6(E4)(e) No parking is allowed within a required landscape buffer area.
5-6(E4)(f) Landscaping approved within the abutting public right-of-way or private way may be counted toward this requirement if there is no existing or planned public sidewalk between such landscape and the premises, but in no case shall the width of the on-site landscape be less than 5 feet.
5-6(E4)(g) The landscape area may be reduced by up to 25 percent if the surface of the parking or vehicle circulation area is of a permeable material with approval from the Planning Director.

5-6(E5) Development Next to a Multi-Family Residential Zone District
Where mixed-use or non-residential development other than industrial development occurs on any lot abutting or across an alley from a lot in the R-ML or R-MH zone districts with townhouse development, or multi-family residential development, a buffer shall be provided along the lot line, as specified in Table 5-6-4 and for the relevant area below.
5-6(E5)(a) General
An edge buffer area shall be provided on the subject property along the property line between the two properties.
1. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
2. If no wall is provided or exists, 1 tree at least 6 feet tall at the time of planting and at least 25 feet tall at maturity and 3 shrubs per 25 feet shall be provided for every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts.

5-6(E5)(b) Downtown, Urban Centers, and Main Street and Premium Transit Areas
1. An opaque wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and both of the following requirements shall be met:
a. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
b. The side facing the multi-family development shall be at least as finished in appearance as the side facing the mixed-use, or non-residential development.
2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(3)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E6) Industrial Development Adjacent to Non-Industrial Development
5-6(E6)(a) Applicability
An edge buffer shall be provided as specified in Table 5-6-4 and for the relevant area below in Subsections (b) and (c) below in all of the following locations:
1. Where a lot with industrial zoning or development is adjacent to a lot with non-industrial zoning or development, including but not limited to both of the following locations:
a. Where any development in an NR-ML or NR-GT zone district is adjacent to any lot that is not in an NR-ML or NR-GT zone district.
b. Where light manufacturing (heavy manufacturing) special manufacturing, natural resource extraction non-linear portions of an electric utility, drainage facility, or other major utility or any primary use in the waste and Recycling category in Table 4-2-1 is developed on a lot abutting a vacant lot or a lot with a use other than one of these specified uses.
2. Where multi-family residential development is adjacent to a lot with industrial development.
5-6(E6)(b) General
A landscaped edge buffer area shall be provided on the subject property along the property line between the two adjacent properties. For drainage facilities, a landscaped edge buffer area at least 15 feet wide shall be provided on the subject property along the property line between the two adjacent properties, unless a smaller edge buffer area is approved by the City Engineer as necessary on a particular lot.
1. If a wall at least 3 feet in height is provided or exists along the landscaped edge buffer area, 1 of the following requirements shall be met:

- a. If the wall is located on the property line, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
- b. Where the edge buffer area is across the street from the lot with non-industrial zoning or development, the wall may be set back from the property line if both of the following requirements are met:
1. Landscaping that meets the requirements in Subsection 2. below shall be provided between the wall and the street.
2. The landscaping shall be maintained by the owner of the subject property.
- c. If no wall is provided or exists, 1 tree at least 8 feet high at the time of planting and 5 shrubs per 25 feet shall be provided for every 20 feet along the lot line with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
- d. 5-6(E1)(c) Downtown, Urban Centers, and Main Street and Premium Transit Areas An opaque wall or fence at least 6 feet tall shall be provided on the subject property along any lot line abutting or across an alley from the non-industrial development.
1. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
- 2. The side of the wall facing the non-industrial development shall be at least as finished in appearance as the side facing the industrial use.
- 3. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(4)(c) if it meets, or is improved to meet, the height and design standards above.
- e. 5-6(E5) Area of Change Next to Area of Consistency where a premises partially or completely in an Area of Change is abutting or across an alley from a premises partially or completely in an Area of Consistency (per City Development Areas in the ABC Comp Plan, as amended), the following standards shall apply on the lot(s) adjacent to the premises partially or completely in the Area of Consistency, regardless of the proposed land use on that lot or premises, unless specified otherwise in this IDO.

Table 5-6-5: Edge Buffer - Development Area Summary^[1]

Lot in Area of Change Next to	Specific Standards	General Buffering	Buffering in DT-UC-M5-FT
Area of Consistency in R-A, R-L, R-MC, or R-T	14-16-5-6(E)(2)	Landscaped buffer area 235 ft.	Wall, fence, or vegetative screen 26 ft.
Area of Consistency in R-ML or R-MH	14-16-5-6(E)(3)	Landscaped buffer area 235 ft.	Wall, fence, or vegetative screen 26 ft.
Area of Consistency in Mixed-Use, NR-C, or NR-SU	14-16-5-6(E)(4)	Landscaped buffer area 235 ft.	Wall, fence, or vegetative screen 26 ft.

[1] See Subsections 14-16-5-6(E)(4)(a), 14-16-5-6(E)(4)(b), and 14-16-5-6(E)(4)(c) for complete buffer standards.

5-6(E6)(b) If the lot in the Area of Consistency is in an R-A, R-L, R-MC, or R-T zone district, the requirements of Subsections 14-16-5-6(E)(1) and 14-16-5-6(E)(2) shall apply.
5-6(E6)(b) If the lot in the Area of Consistency is in an R-ML or R-MH zone district, the requirements of Subsections 14-16-5-6(E)(1) and 14-16-5-6(E)(3) shall apply.
5-6(E6)(b) If the lot in the Area of Consistency is in any Mixed-use, NR-C, or NR-RP zone district, the requirements of Subsections 14-16-5-6(E)(1) and 14-16-5-6(E)(4) shall apply.

5-6(F) PARKING LOT LANDSCAPING

5-6(F1) Parking Lot Edges
5-6(F1)(a) Landscaped buffer areas are required to separate off-street parking and circulation areas from front, side, and rear boundaries of premises.
5-6(F1)(b) Where a parking lot is abutting an R-A, R-L, R-MC, or R-T zone district, provisions related to parking area in Subsection 14-16-5-9(D) (Parking, Drive-through Or Drive-up Facilities, and Loading) shall apply.
5-6(F1)(c) Where development is coordinated on 2 or more abutting sites, or where multiple parking areas are located on a single lot, or on planned development areas controlled by Site Plans, these requirements shall be based on the entire development area unless otherwise approved by the decision-making body.
5-6(F1)(d) Landscaped buffers may be crossed by drive aisles connecting to abutting lots.
5-6(F1)(e) No parking is allowed within a required landscape buffer area.
5-6(F1)(f) Landscaping approved within the abutting public right-of-way or private way may be counted toward this requirement if there is no existing or planned public sidewalk between such landscape and the premises, but in no case shall the width of the on-site landscape be less than 5 feet.
5-6(F1)(g) The landscape area may be reduced by up to 25 percent if the surface of the parking or vehicle circulation area is of a permeable material with approval from the Planning Director.

5-6(F2) Landscaping buffers are required in the following locations, with minimum widths and design requirements as specified below:
1. Front Lot Edges
a. General
Any parking lot located within 30 feet of the front lot line shall be screened from the street either by a masonry wall constructed of a material similar in appearance and color to the street-facing facade of the primary building (but excluding exposed CMU blocks) at least 3 feet tall but not more than 4 feet in height, or by a landscape buffer at least 10 feet in width with a continuous line of evergreen shrubbery 3 feet in height, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.
b. Downtown, Urban Centers, and Main Street and Premium Transit Areas
Any parking lot located within 30 feet of the front lot line shall be screened from the street by a masonry wall as described in Subsection a above. Openings in the masonry wall no more than 4 feet wide to allow passage of bicycles and pedestrians from the street into the parking lot are allowed.
c. Side and Rear Lot Edges Where no side or rear lot line buffer is required by Subsection 14-16-5-6(E) above, the following standards apply where the side or rear lot line abuts a public street.
a. General
Any parking lot located within 20 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 1 tree and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.
b. Downtown, Urban Centers, and Main Street and Premium Transit Areas
Any parking lot located within 20 feet of a side or rear lot line shall be screened by a landscaped buffer at least 5 feet wide containing one tree and 3 shrubs per 25 feet of the parking lot edge closest to the lot line, or by a masonry wall constructed of a material other than cement block, at least 3 feet but not more than 4 feet tall.

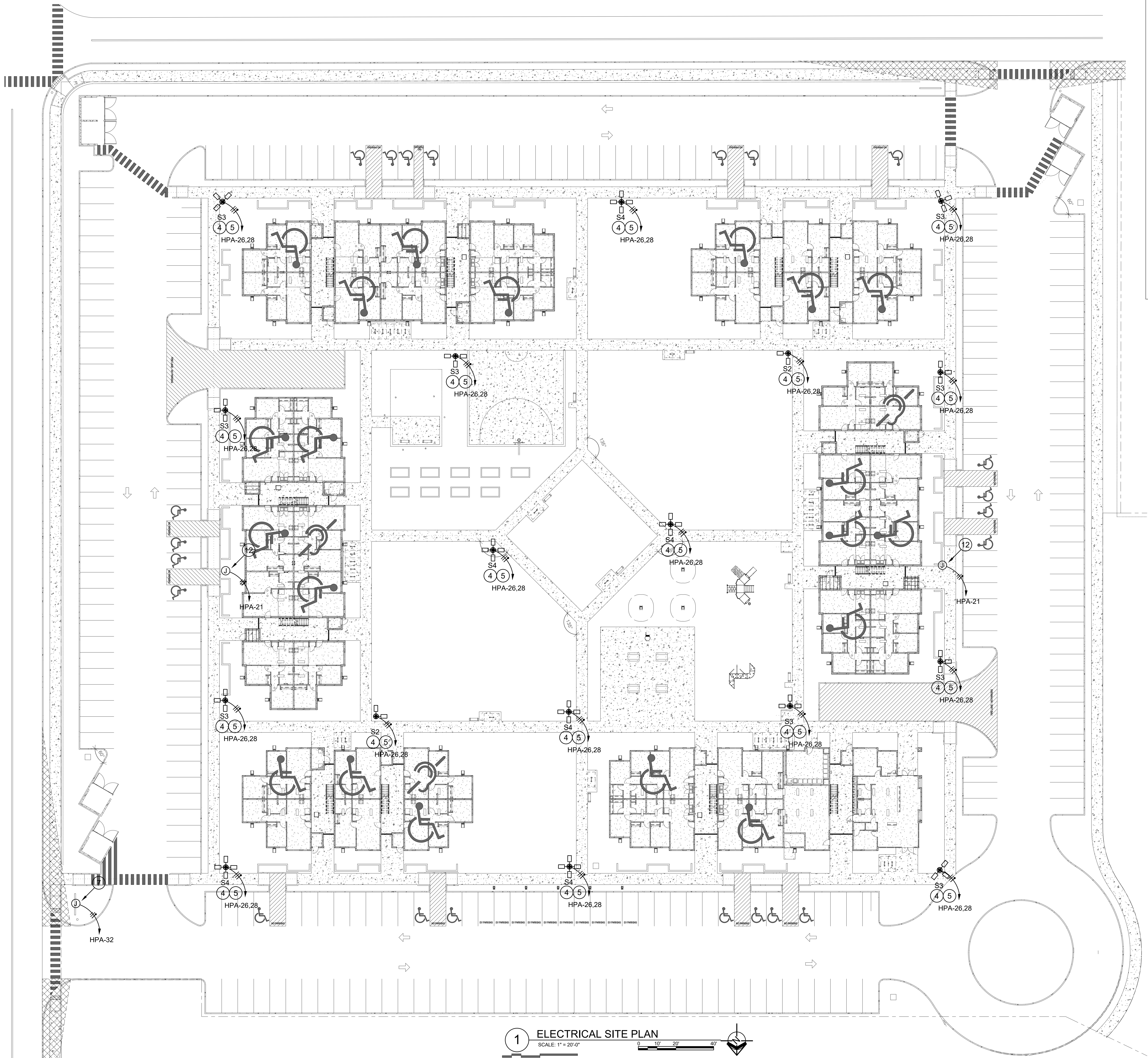
5-6(F2)(a) Parking Lot Interior
5-6(F2)(a) General
At least 10 percent of the parking lot area of lots containing 50 or fewer spaces, and at least 15 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped.
5-6(F2)(b) Downtown, Urban Centers, and Main Street and Premium Transit Areas At least 5 percent of the parking lot area of lots containing 50 or fewer spaces, and at least 10 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped.
5-6(F2)(c) Tree Requirements
1. One (1) tree is required per 10 parking spaces.
2. No parking space may be more than 100 feet in any direction from a tree trunk.
3. At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.

5-6(F2)(d) Location and Dimension of Landscaped Areas
The minimum size of tree planters within off-street parking areas shall be 60 square feet per tree. This requirement may be reduced to 36 square feet if the surface of a parking or vehicle circulation area abutting the tree planter is of a permeable material and, combined with the tree planter area, meets the 60 square foot per tree requirement.
2. In parking areas of 100 spaces or more, the ends of parking aisles shall be defined as landscaped islands no narrower than 8 feet in any dimension.

5-6(F3) Abutting Arroyos or Major Public Open Space
When a parking lot is located abutting a major arroyo or any Major Public Open Space, screening shall be provided via 1 of the following options:
5-6(F3)(a) Walls or fencing a minimum of 6 feet high fencing requires landscaping with evergreen shrubs or vines to form a screen at least 75 percent opaque.
5-6(F3)(b) Shrubs and trees sufficient to act as a screen at least 4 feet high and at least 75 percent opaque.

5-6(G) SCREENING OF MECHANICAL EQUIPMENT AND SUPPORT AREAS

Site areas listed below shall comply with the following standards. In any case where a decorative wall or fence is required or installed, chain



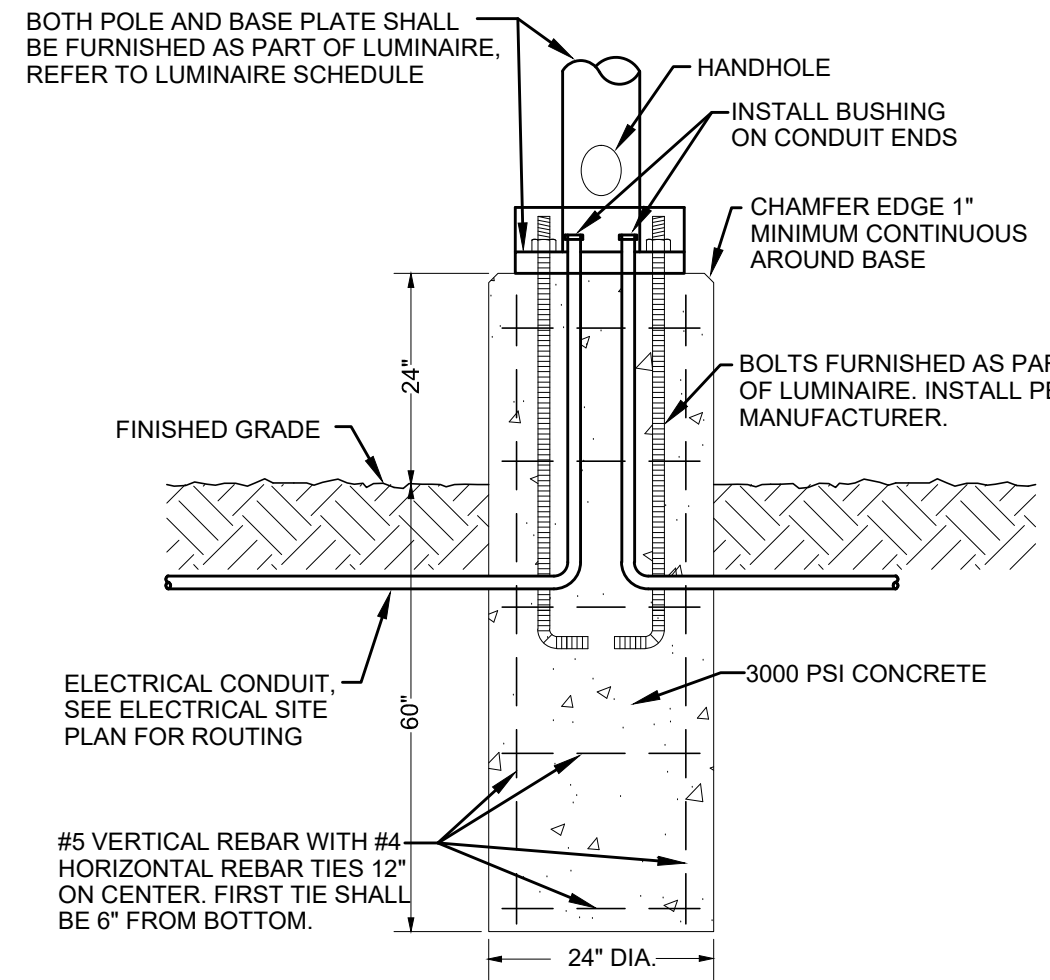
1 ELECTRICAL SITE PLAN
SCALE: 1" = 20'-0"

0 10' 20' 40'

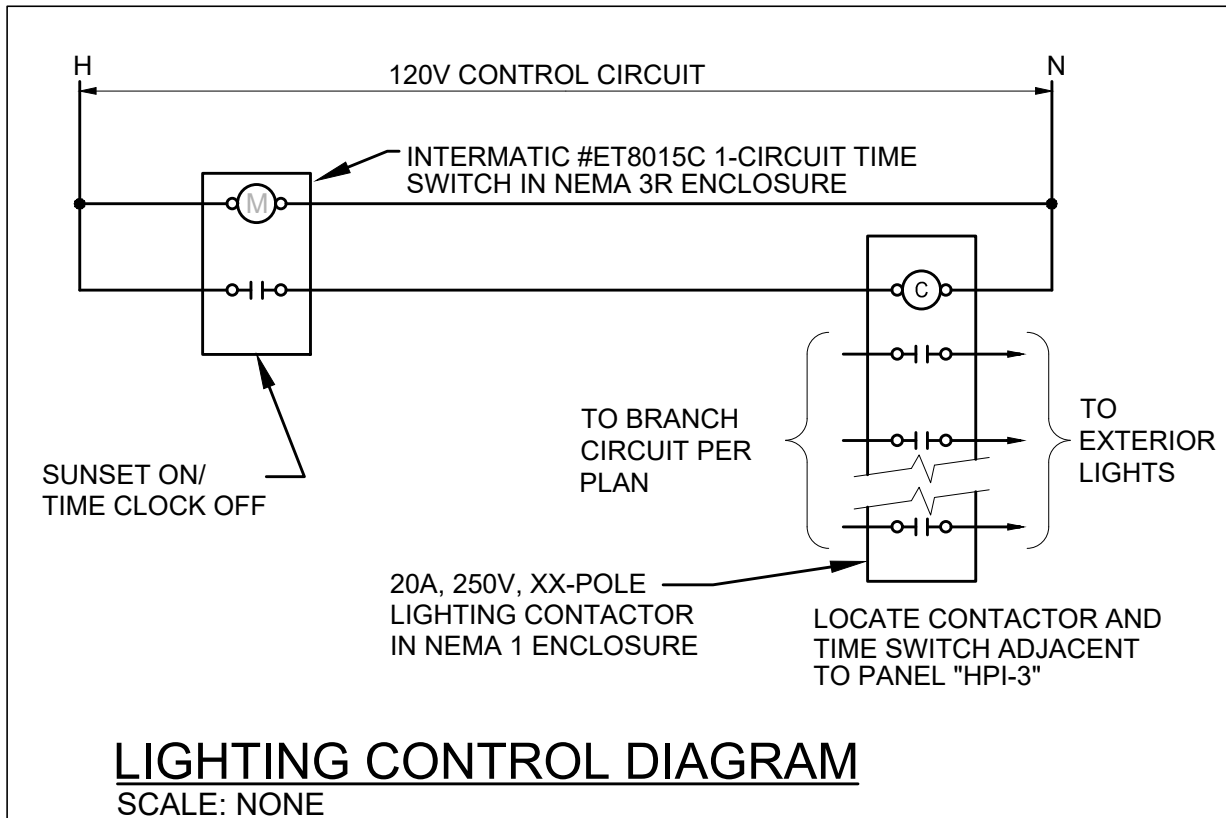
S	LS1	MRS LED 6L SIL 3 UNV DIM 40 TCCR XX WITH HAPCO SSS20B4	1	63	L.E.D. PARKING LOT LIGHT	120	60	POLE	20' TEXTURED BRONZE POLE. SEE POLE BASE DETAIL. BUG: B3-U6-G2
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POLE BASE NOTES:

- A. ALL LIGHT POLE CONCRETE BASES SHOULD BE VERIFIED WITH STRUCTURAL ENGINEER FAMILIAR WITH THE SOIL AND WIND CONDITIONS OF THIS PROJECT.
- B. G.C. TO PROVIDE AND INSTALL ENTIRE POLE BASE.
- C. LIGHTING FIXTURES SHALL BE OF TYPE INDICATED ON DRAWINGS.



POLE BASE MOUNTING DETAIL
SCALE: NONE



LIGHTING CONTROL DIAGRAM
SCALE: NONE

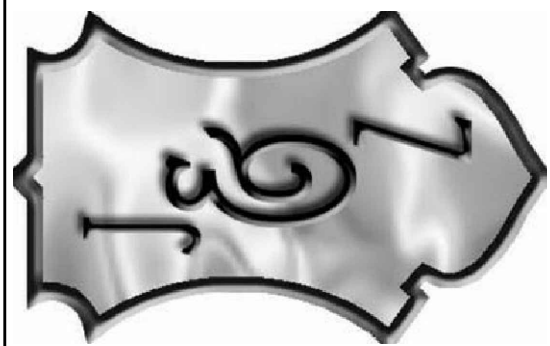
GENERAL NOTES:

- A. REFER TO ARCHITECTURAL AND CIVIL SITE PLANS FOR ADDITIONAL SITE UTILITY INFORMATION.

ELECTRICAL KEYED NOTES: ○

- METER CENTER LOCATION, REFER TO POWER RISER DIAGRAM.
- GENERAL LOCATION FOR SERVICE TRANSFORMER TO SERVE BUILDING INDICATED. COORDINATE EXACT LOCATION WITH POWER UTILITY REPRESENTATIVE.
- TELEPHONE CABINET, REFER TO COMMUNICATIONS RISER DIAGRAM.
- PARKING LOT LIGHTING FIXTURE ON 20' POLE, REFER TO POLE BASE MOUNTING DETAIL.
- EXTEND TO CIRCUIT INDICATED THROUGH LIGHTING CONTROLS USING #10 CONDUCTORS.
- EXTEND PRIMARY DUCT TO UTILITY SERVICE POINT PER UTILITY REQUIREMENTS.
- MONUMENT SIGN, VERIFY EXACT LOCATION WITH ARCHITECTURAL DRAWINGS. CONNECT TO DEDICATED 120V CIRCUIT INDICATED THROUGH PHOTOCELL FOR DUSK-TO-DAWN OPERATION. USE #10 WIRING.
- ASSUMED TELEPHONE SERVICE POINT, VERIFY WITH CENTURYLINK REPRESENTATIVE.
- 4" SCHEDULE 80 PVC TELEPHONE SERVICE CONDUIT PER PROVIDER STANDARDS. FIELD VERIFY ROUTING WITH LOCAL COMMUNICATIONS REPRESENTATIVE.
- MAIN TELEPHONE BACKBOARD, REFER TO COMMUNICATIONS RISER DIAGRAM.
- FURNISH P.I.V. TEMPER AND FLOW SWITCHES IN EACH FIRE RISER ROOM. FIRE ALARM PANEL TO BE LOCATED AT THE COMMUNITY BUILDING (B). COORDINATE WITH ARCHITECTURAL AND FIRE PROTECTION DESIGN PROFESSIONAL.
- PROVIDE POWER FOR WAY-FINDING SIGN.
- PROVIDE POWER FOR FIRE PROTECTION HOT BOX.

JEEBS & ZUZU, LLC.
ARCHITECTS & CONTRACTORS
MAKING HOUSE CALLS



job no: 2024.23

drawn: SA

checked: SA

date: 12/2/2024 8:57 PM

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WEST MESA RIDGE
APARTMENT COMPLEX

sheet no:
ES-100

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Albuquerque, NM 87121

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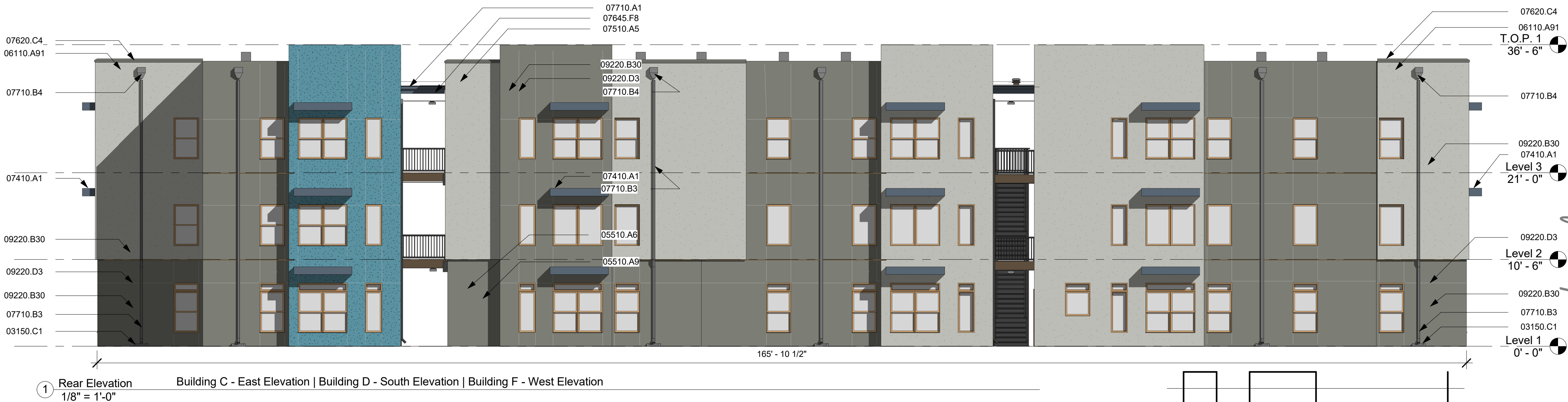
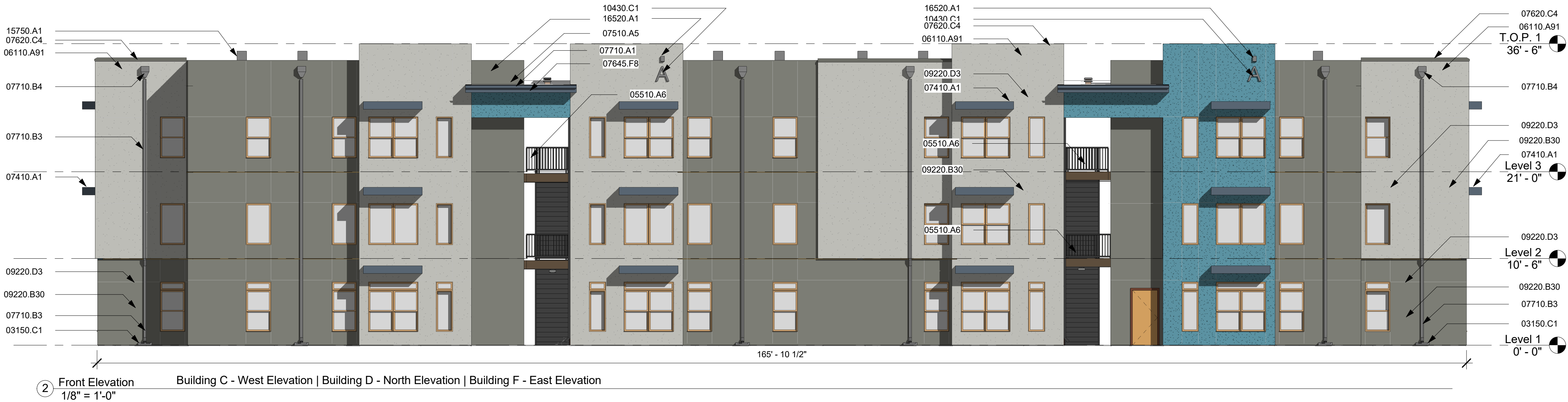
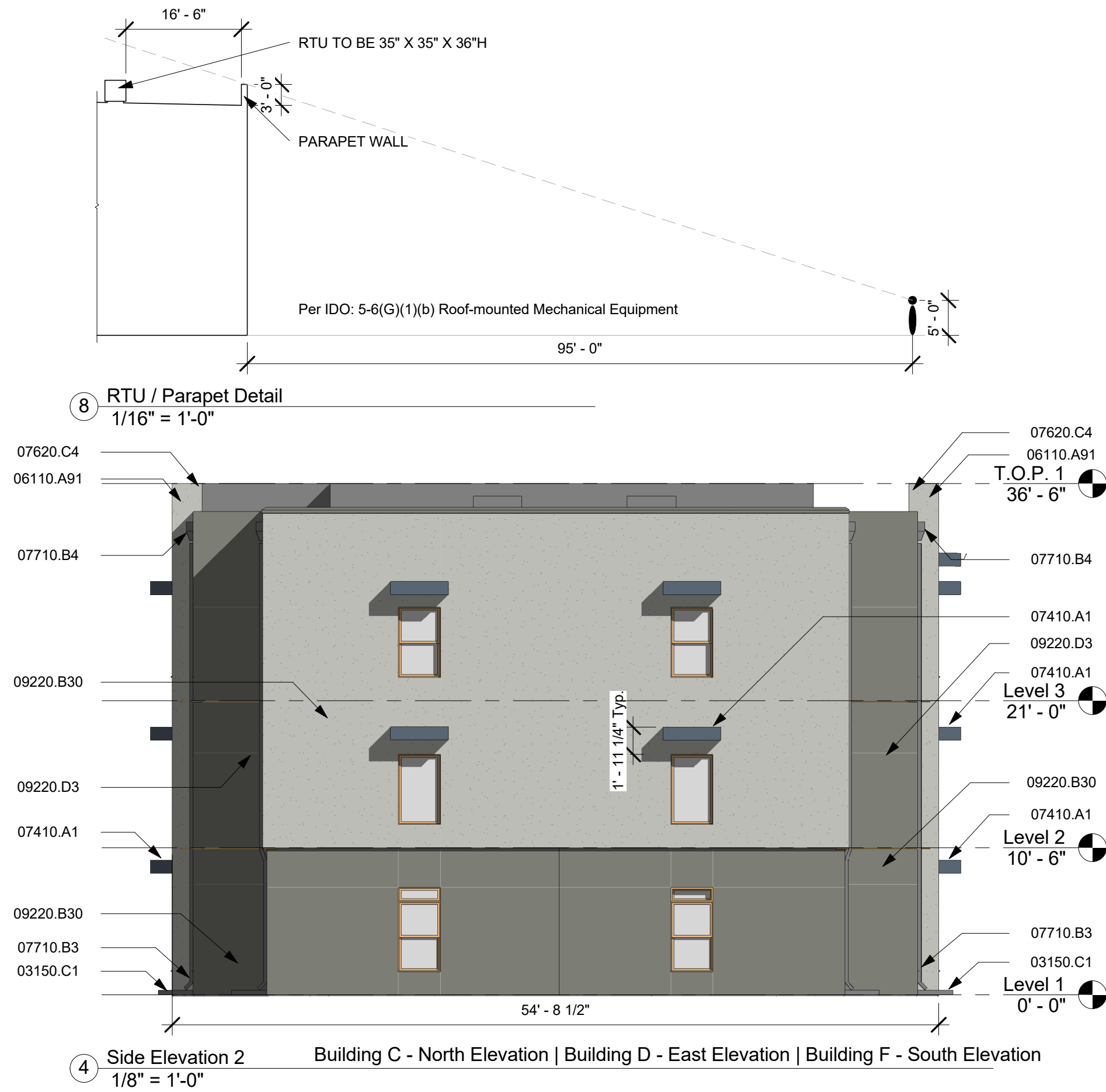
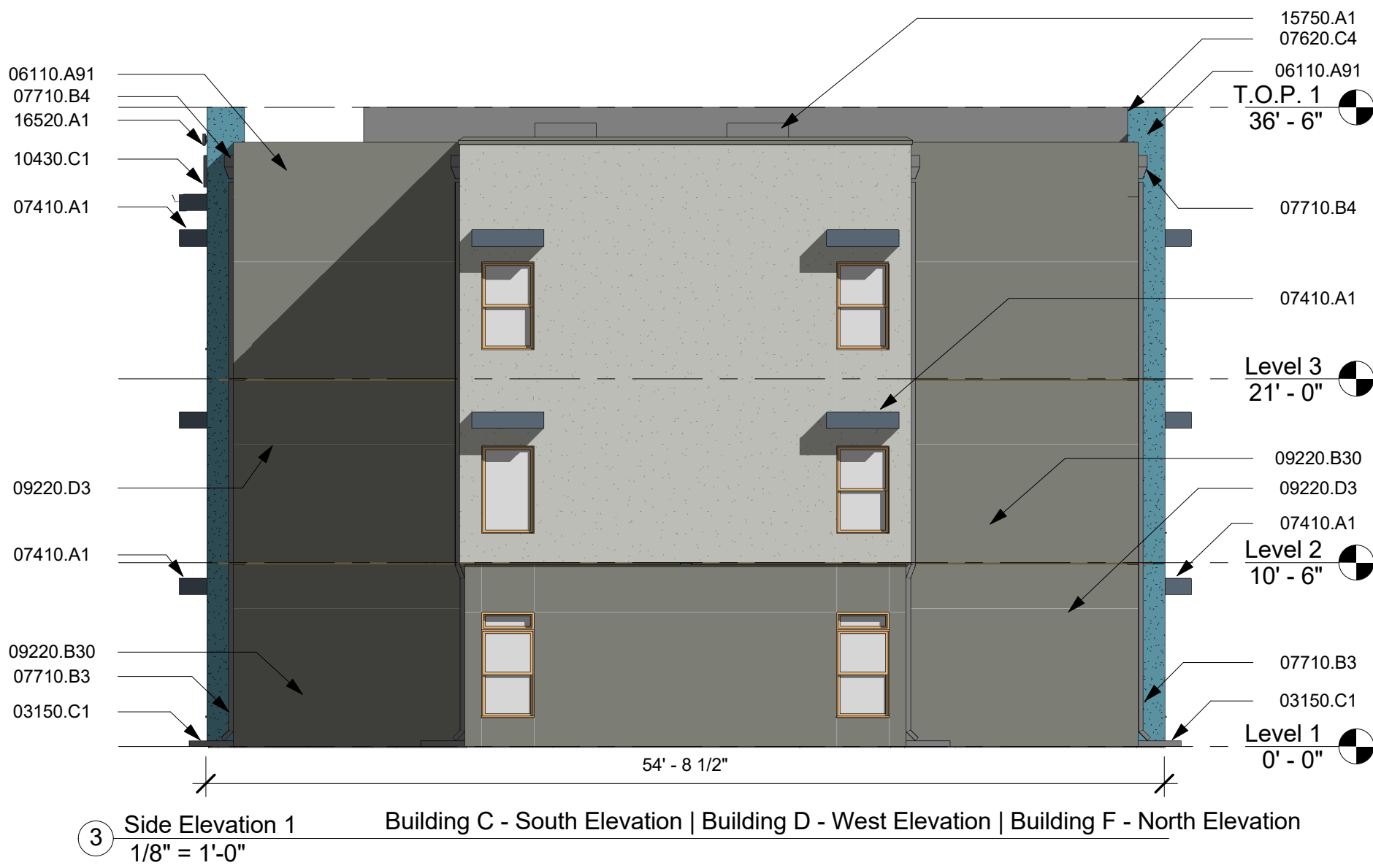
Keynotes:	
Key Value	Keynote Text
03150.C1	Standard Prefab Concrete Splash Block
05510.A6	New 42" High Steel Painted Railing - See Structural
05510.A9	Steel Channel Stringers w/ Precast Concrete Treads - See Structural
06110.A91	New 2x Framed Parapet Wall
07410.A1	Corrugated Metal Roof Awning - See Details
07510.A5	Single Ply TPO 60 mil Roofing Installed Per Manufacturers Specifications
07620.C4	Metal Parapet Cap Flashing - Finish To Match Fascia
07645.F8	Metal Fascia
07710.A1	Gutter
07710.B3	Downspout
07710.B4	Leader Head
07710.C4	Roof Access Hatch
09220.B30	2-Coat Synthetic Stucco With Integrated Krack-Master System
09220.D3	Stucco Expansion Joint Typ.
10430.C1	Aluminum Cast Letter
15750.A1	Roof Top Combo Unit - See Mechanical
16520.A1	Wall Mounted Exterior Light Fixture

GENERAL NOTES:

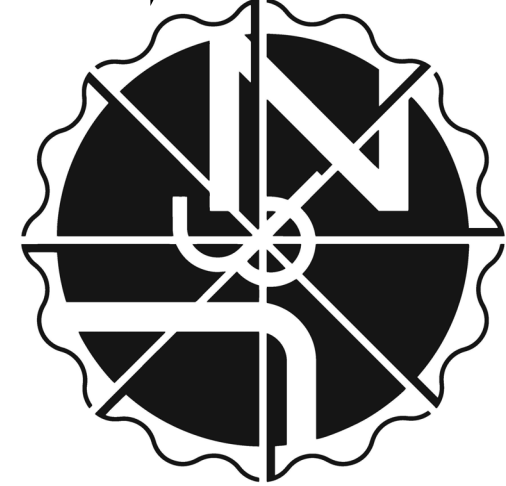
- NO STUCCO SURFACE SHALL EXCEED 120 SF OF SURFACE AREA WITHOUT STUCCO EXPANSION JOINT.
- ALL OPERABLE WINDOWS AT 2ND AND 3RD LEVELS THAT DO NOT OPEN TO A BALCONY MUST HAVE A WINDOW OPENING CONTROL DEVICE COMPLYING WITH ASTM F 2090.
- CONTRACTOR TO REFER TO NOTE 1 AND APPROVED PERMIT SET FOR STUCCO EXPANSION JOINT LOCATIONS AND PATTERN.
- ALL EXTERIOR WINDOW JAMBS TO BE WHITE VINYL.
- ALL STOREFRONT MULLIONS TO BE A MATTE WHITE ALUMINUM.
- EXTERIOR METAL DOORS AND JAMBS TO BE PAINTED GRAY.
- ROOF TOP UNITS IN COMMUNITY BUILDING ARE APROXIMATELY 35"x35"x38"H
- ALL WINDOWS TO BE RECESSED A MINIMUM OF 2" FROM EXTERIOR FINISH SURFACE.

MATERIAL SURFACE AREAS:

STUCCO	FRONT	REAR	SIDE 1	SIDE 2
COLOR #1 - BLUE	486 SF	486 SF	108 SF	0 SF
COLOR #3 - D GRAY	2,342 SF	2,738 SF	614 SF	1,104 SF
COLOR #4 - L GRAY	2,784 SF	2,388 SF	1,156 SF	774 SF
TOTAL	5,612 SF	5,612 SF	1,878 SF	1,878 SF
COLOR #2 TO BE A MINIMUM OF 10% OF TOTAL FASCIADE AREA	8%	8%	5%	0%



JEEBS & ZUZU, LLC.
Architecture
Construction
Design-Build
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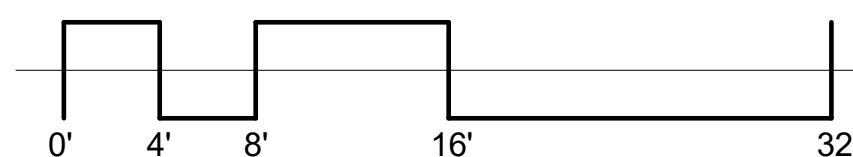
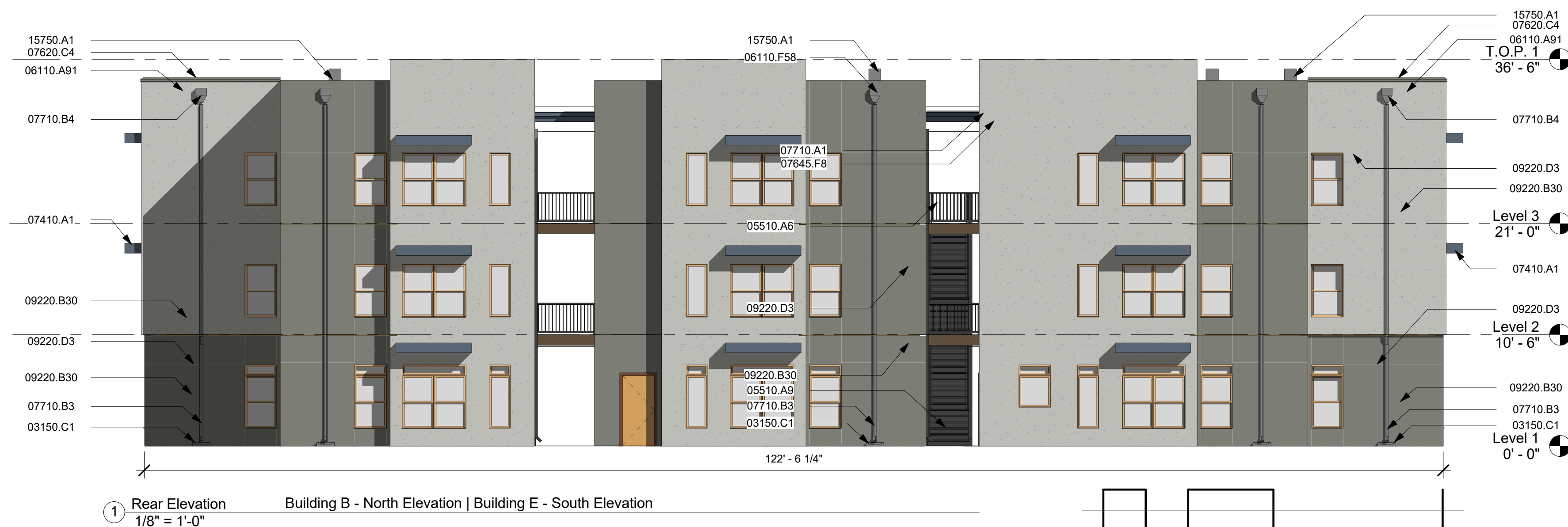
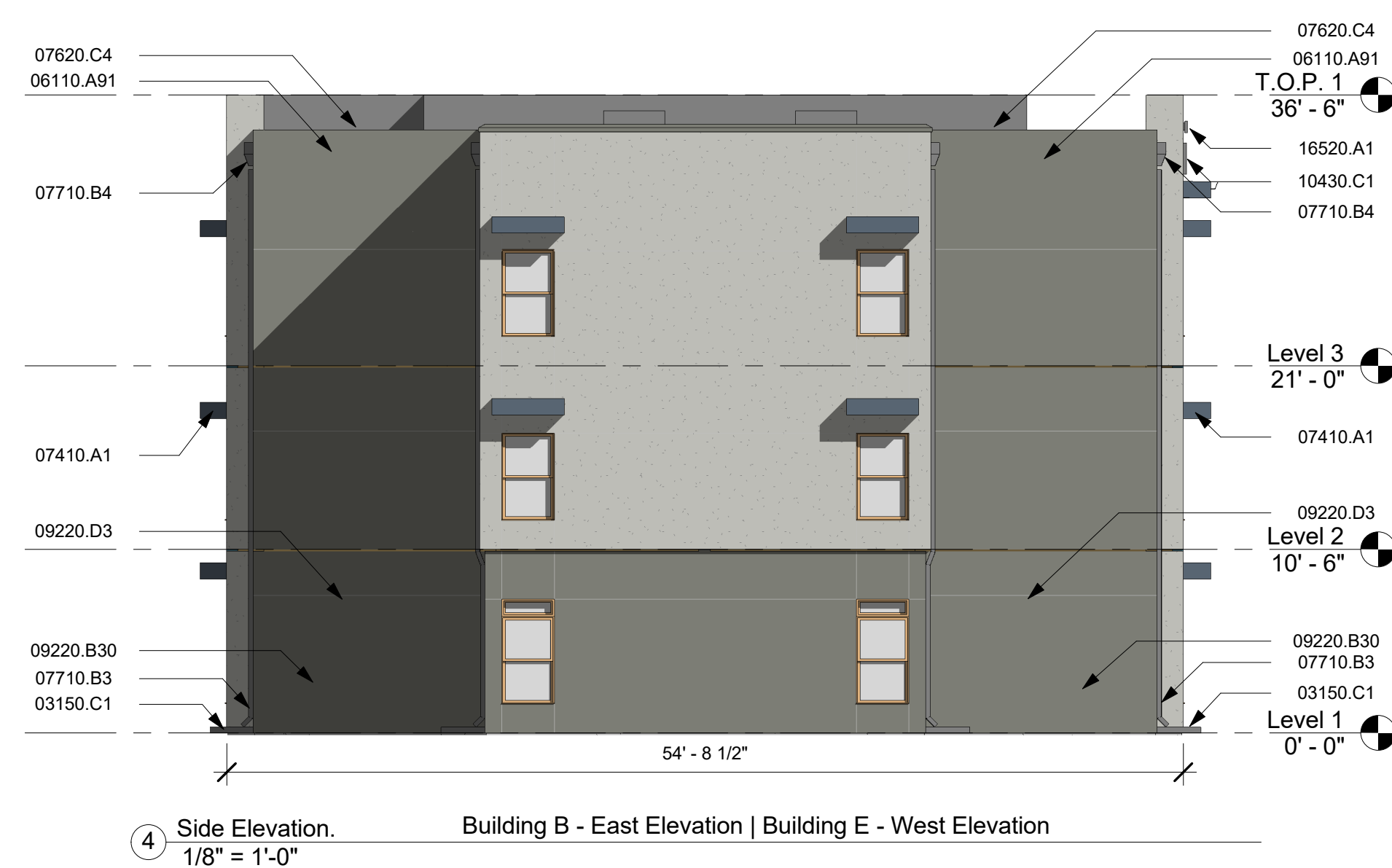
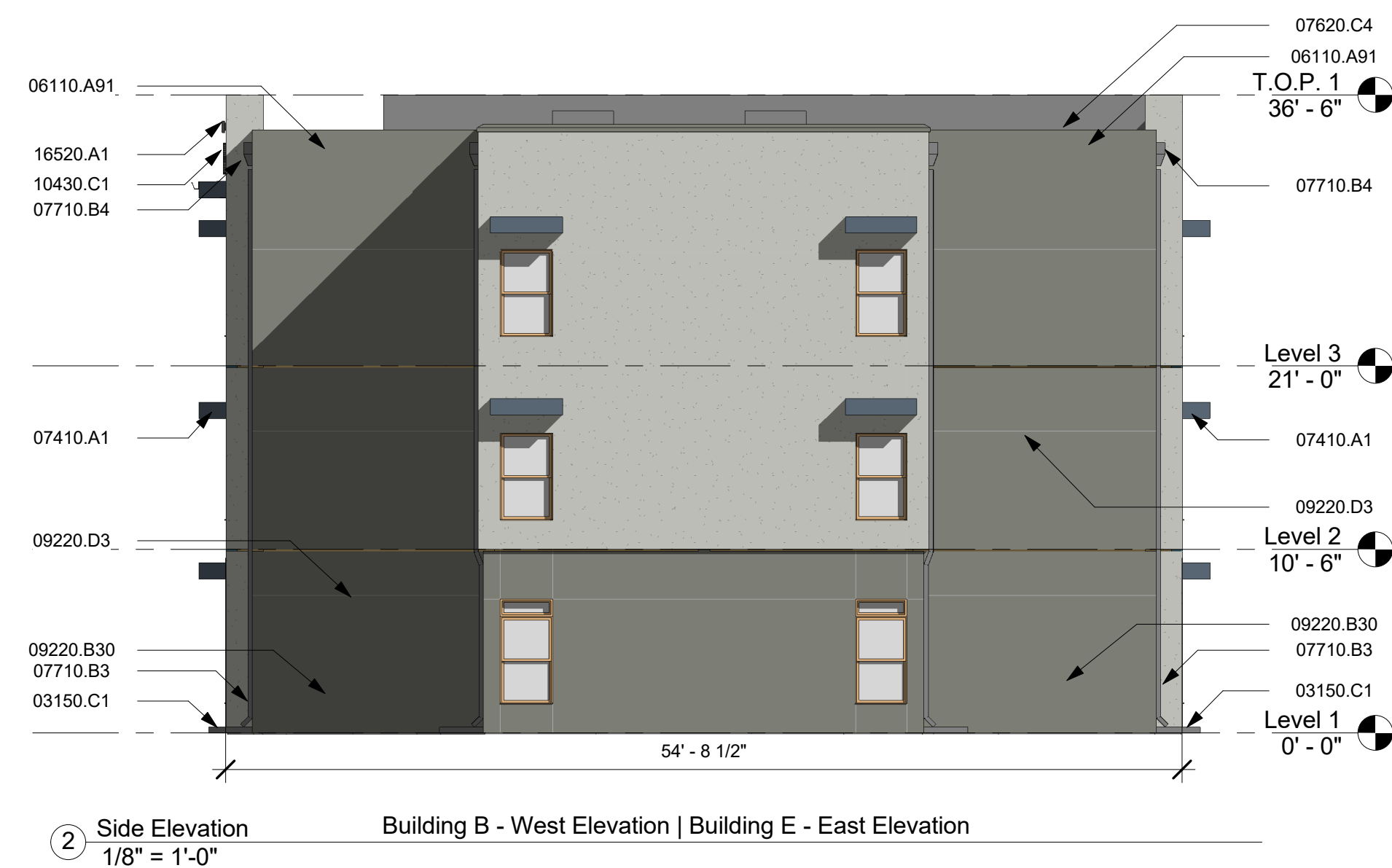
job no: 24-013
drawn: EAM
checked: J&Z
date: Dec. 6, 2024

West Mesa Ridge
Southeast Corner Of 64th St. & Glenrio Rd.
Albuquerque NM, 87121

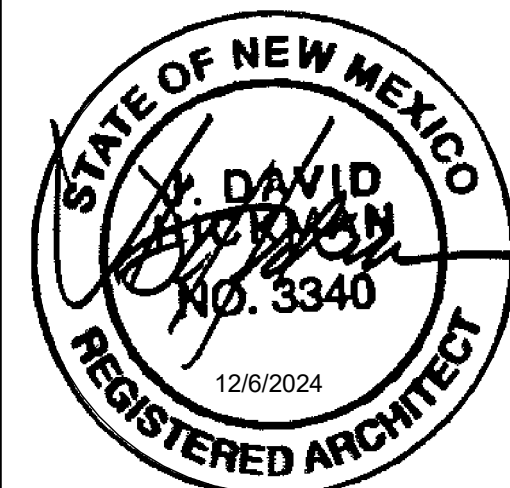
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<u>MATERIAL SURFACE AREAS:</u>				
STUCCO	FRONT	REAR	SIDE 1	SIDE 2
COLOR #1 - BLUE	0 SF	0 SF	0 SF	0 SF
COLOR #3 - D GRAY	2,331 SF	2,082 SF	614 SF	614 SF
COLOR #4 - L GRAY	1,583 SF	1,832 SF	1,264 SF	1,264 SF
TOTAL	3,914 SF	3,914 SF	1,878 SF	1,878 SF
COLOR #2 TO BE A MINIMUM OF 10% OF TOTAL FASCADE AREA				
	0%	0%	0%	0%

1. NO STUCCO SURFACE SHALL EXCEED 120 SF OF SURFACE AREA WITHOUT STUCCO EXPANSION JOINT.
2. ALL OPERABLE WINDOWS AT 2ND AND 3RD LEVELS THAT DO NOT OPEN TO A BALCONY MUST HAVE A WINDOW OPENING CONTROL DEVICE COMPLYING WITH ASTM F 2090.
3. CONTRACTOR TO REFER TO NOTE 1 AND APPROVED PERMIT SET FOR STUCCO EXPANSION JOINT LOCATIONS AND PATTERN.
4. ALL EXTERIOR WINDOW JAMBS TO BE WHITE VINYL.
5. ALL STOREFRONT MULLIONS TO BE A MATTE WHITE ALUMINUM.
6. EXTERIOR METAL DOORS AND JAMBS TO BE PAINTED GRAY.
7. ROOF TOP UNITS IN COMMUNITY BUILDING ARE APPROXIMATELY 35"x35"x38"H
8. ALL WINDOWS TO BE RECESSED A MINIMUM OF 2" FROM EXTERIOR FINISH SURFACE.



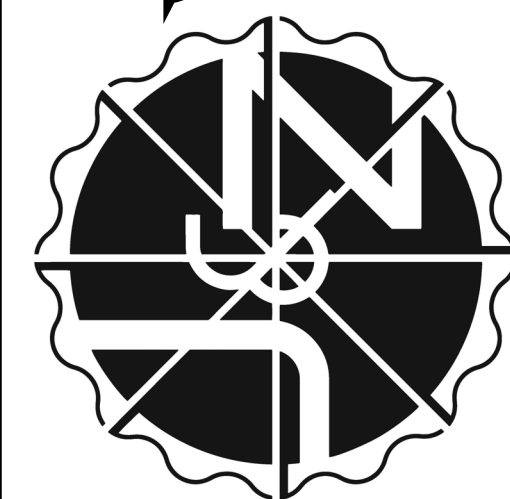
easy as pie



JEEBS & ZUZU, LLC.

5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P: 505-797-1318

**Architecture
Construction
Design-Build**



job no: 24-013

drawn: EAM

checked: |&Z

date: Dec. 6, 2024

BIDDING 2 - BUILDING ELEVATIONS

West Mesa Ridge

Santa Fe, NM 87507

sheet no:

A1.23

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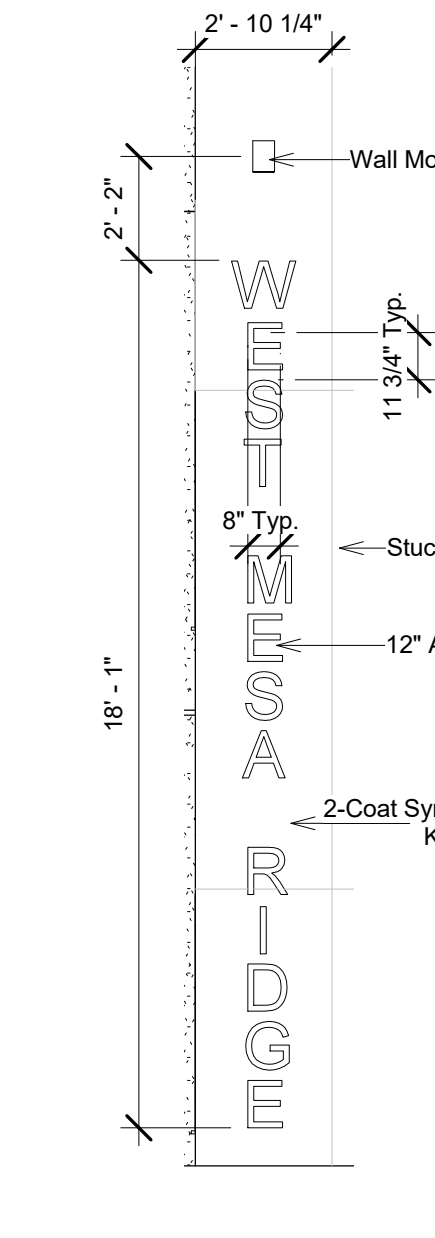
Keynotes:	
Key Value	Keynote Text
03150.C1	Standard Prefab Concrete Splash Block
05505.D1	Custom Steel Shade Structure
05510.A6	New 42" High Steel Painted Railing - See Structural
05510.A9	Steel Channel Stringers w/ Precast Concrete Treads - See Structural
06110.A91	New 2x Framed Parapet Wall
07410.A1	Corrugated Metal Roof Awning - See Details
07620.C4	Metal Parapet Cap Flashing - Finish To Match Fascia
07645.F8	Metal Fascia
07710.A1	Gutter
07710.B3	Downspout
07710.B4	Leader Head
08410.E4	Aluminum Storefront Glazing System
09220.B30	2-Coat Synthetic Stucco With Integrated Krack-Master System
09220.D3	Stucco Expansion Joint Typ.
10430.C1	Aluminum Cast Letter
10430.C5	12" Aluminum Cast Lettering
15750.A1	Roof Top Combo Unit - See Mechanical
16520.A1	Wall Mounted Exterior Light Fixture

MATERIAL SURFACE AREAS:				
STUCCO	FRONT	REAR	SIDE 1	SIDE 2
COLOR #1 - BLUE	486 SF	486 SF	82 SF	0 SF
COLOR #3 - D GRAY	2,354 SF	2,354 SF	614 SF	1,104 SF
COLOR #4 - L GRAY	2,544 SF	2,544 SF	1,182 SF	774 SF
TOTAL	5,384 SF	5,384 SF	1,878 SF	1,878 SF
COLOR #2 TO BE A MINIMUM OF 10% OF TOTAL FASCIADE AREA	9%	9%	4%	0%

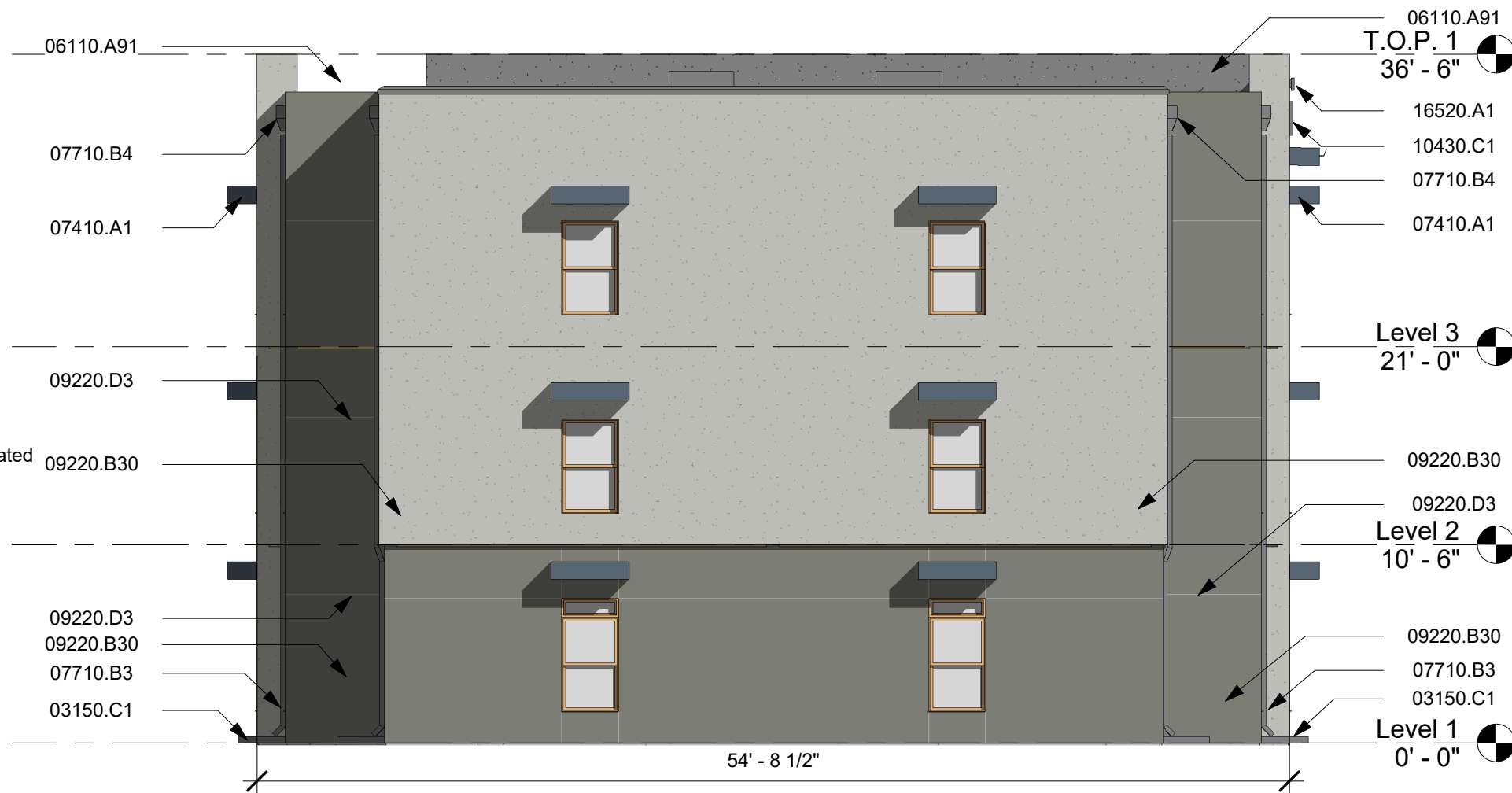
- GENERAL NOTES:
- NO STUCCO SURFACE SHALL EXCEED 120 SF OF SURFACE AREA WITHOUT STUCCO EXPANSION JOINT.
 - ALL OPERABLE WINDOWS AT 2ND AND 3RD LEVELS THAT DO NOT OPEN TO A BALCONY MUST HAVE A WINDOW OPENING CONTROL DEVICE COMPLYING WITH ASTM F 2090.
 - CONTRACTOR TO REFER TO NOTE 1 AND APPROVED PERMIT SET FOR STUCCO EXPANSION JOINT LOCATIONS AND PATTERN.
 - ALL EXTERIOR WINDOW JAMBS TO BE WHITE VINYL.
 - ALL STOREFRONT MULLIONS TO BE A MATTE WHITE ALUMINUM.
 - EXTERIOR METAL DOORS AND JAMBS TO BE PAINTED GRAY.
 - ROOF TOP UNITS IN COMMUNITY BUILDING ARE APPROXIMATELY 35"x35"x38"H
 - ALL WINDOWS TO BE RECESSED A MINIMUM OF 2" FROM EXTERIOR FINISH SURFACE.
 - SIGNAGE AREA TO BE APPROXIMATELY 14 SF



2 Building A East Elevation
1/8" = 1'-0"



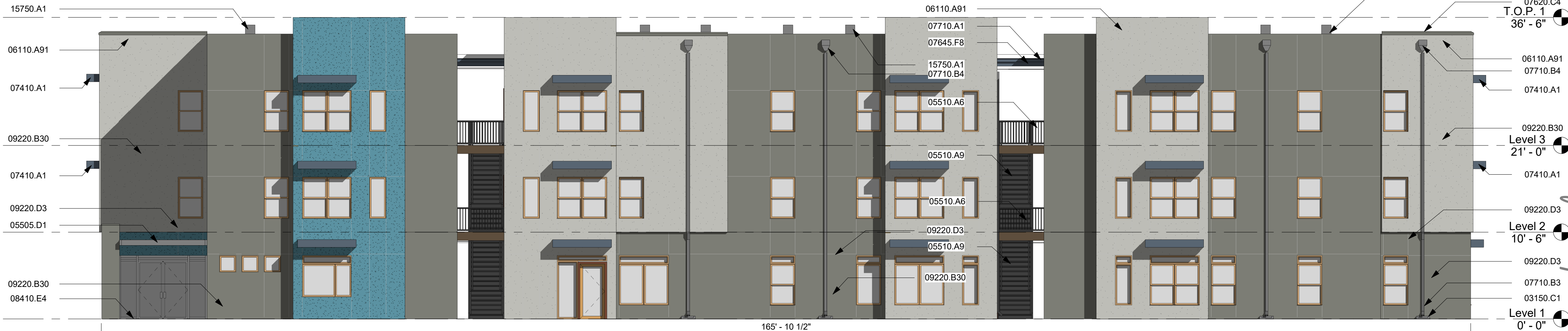
5 Side Elevation - Callout 1
1/4" = 1'-0"



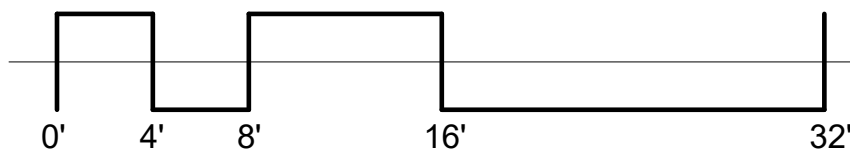
4 Building A West Elevation
1/8" = 1'-0"



3 Building A South Elevation
1/8" = 1'-0"

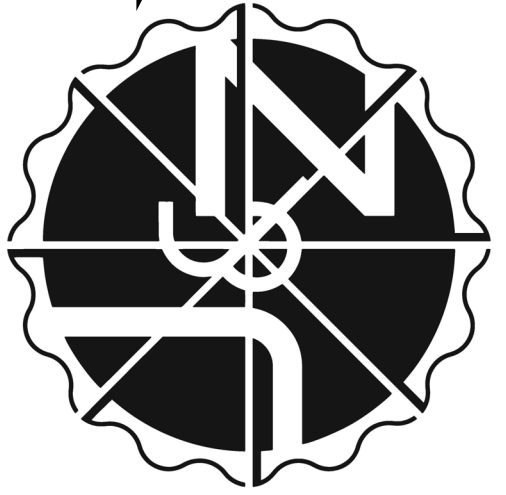


1 Building A North Elevation
1/8" = 1'-0"



JEEBS & ZUZU, LLC.
*Architecture
Construction
Design-Build*

5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P: 505-797-1318



job no: 24-013
drawn: EAM
checked: J&Z
date: Dec. 6, 2024

West Mesa Ridge Apartments

sheet no:
A1.34

BLDG 3 - BUILDING ELEVATIONS

Southeast Corner Of 64th St. & Glenrio Rd.
Albuquerque NM, 87121

Project Reference: PR-2024-010951 Project Name: WEST MESA RIDGE COORS BLVD/GLENRIO RD/FORTUNA RD RESPONSE TO COMMENTS DATED 10/2/2024

Number	Review Cycle	Department	Comment	Response 1	Response 2
1	1	Planning	Per 2-4(C) Mixed-Use - Medium Intensity Zone District (MX-M) ; Ensure all dimensional standards are being adhered to and are clearly called out on the plans.	Usable Open Space requirements have been exceeded in the proposed development plan and exceed 225 sf per 1 bedroom, 285 sf per 2 bedroom, and 350 sf per 3 bedroom unit. Setbacks are greater than 5 feet for front and street sides, and meet the 15 feet rear lot dimension. Building heights are less than 48 feet in all cases. Please see AS1.1 for Open Space Requirement Calculations.	Usable Open Space has been shown and calculated on sheet AS1.0.
2	1	Planning	Per 3-4(C) (3)(b) Setback from Coors Boulevard ; 1. Setback from the public right-of-way of Coors Boulevard between Central Avenue and Western Trail or Namaste Road, minimum: 15'	None of the lot lines of this property front Coors. Nevertheless, all street side setbacks are equal to or greater than 15 feet.	No Response Needed.
3	1	Planning	Per 3-4(C) (5)(c) Landscaping in Setback along Coors Blvd ; 1. Vegetative coverage is required for a minimum of 50% of the required setback area.	On front and sides, the landscape depths exceed 5 feet. On the rear, the landscape depth exceeds 7.5 feet meeting all requirements. See landscape plan.	Not applicable (not along Coors Blvd)
4	1	Planning	Per 3-4(C) (5)(c) Landscaping in Setback along Coors Blvd ; 2. A combination of walls or decorative fences and a vegetative screen that visually screens vehicular circulation areas, parking lots, and parked cars from Coors Boulevard	This tract does not face Coors. These requirements will be applicable to Tracts B, C, and D. The requirements will be employed in the development of these tracts at a later date.	Not applicable (not along Coors Blvd)
5	1	Planning	Per 3-4(C) (5)(e) Architectural Design and Details ; 1. The use of colors that contrast with the predominant color of the building is limited to 10% of each façade. Confirm compliance. The green panel color may need to be reduced if greater than 10% of facade; a muted green or more harmonious color palette should be considered	The colors of the buildings has been adjusted such that the percentage of accent colors does not exceed 10% in any case. Please see elevation sheets which show a table showing percentage of accent colors.	No Response Needed.
6	1	Planning	Per 3-4(C) (5)(e) Architectural Design and Details ; 3. Mechanical equipment shall be screened from public view from streets adjacent to the lot or from adjacent properties.	All mechanical equipment will be located on building roofs and will be screened by building parapets. Please see detail on sheet A1.13. Please see elevations which show diagram illustrating how mechanical equipment will not be visible.	No Response Needed.
7	1	Planning	Per 3-4(C) (5)(f) Signs ; 1b. Any sign type or design is prohibited that: is in any way animated (including twinkling or wind activated movable parts), emits smoke, visible vapors, particles or odor, or rotates or moves in any manner. c. Has flashing lights incorporated as part of its design and performance	Monument Signs shall be permitted separately. They shall be designed and constructed to meet IDO requirements and shall not be animated, shall not emit smoke, visible vapors, particles or odor, shall not rotate or move in any manner. c. Additionally, they shall not have flashing lights incorporated as part of their design and performance. Please see keyed note 2 on AS1.1 and detail 26 on AS2.0.	No Response Needed.
8	1	Planning	Per 3-4(C) (5)(f) Signs ; 2. On-premises signs in Mixed-use and Non-residential zone districts shall comply with all of the following standards. a. Where 1 freestanding sign is allowed by the underlying zone district, a second freestanding sign is allowed on sites 5 acres or larger on any street frontage longer than 1,500 feet. b. The size of freestanding and projecting signs shall comply with the sign standards in Table 5-12-2, but not exceed 75 square feet. c. The height of freestanding signs in the area north of Western Trail/Namaste Road shall comply with the sign standards in Table 5-12-2, but not exceed 9 feet in height above grade. d. The height of building-mounted signs shall comply with the sign standards in Table 5-12-2, but not exceed the height of the building. e. No illuminated sign, or any illuminated element of any sign, shall flash, blink, or change its brightness. f. No sign shall be erected, relocated, or maintained in such a manner as to cover or intrude upon any architectural features of a building such as windows, columns, moldings, or any major decoration or structural feature.	Monument Signs shall be permitted separately and shall be designed and constructed to meet the requirements of the IDO. Monument signs and wayfinding signs are intended to be located at each site entry point. See Development Site Plan. Such signs shall not exceed 75 sf, shall not exceed 9 feet in height above grade. Building mounted signs shall comply with sign standards in Table 5-12.2 and shall not exceed the building height. Illuminated signs shall not blink or flash or change brightness. Building mounted signs shall not cover or intrude on any architectural features of the buildings. Please see keyed note 2 on AS1.1 and detail 26 on AS2.0.	No Response Needed.
9	1	Planning	Per 4-3(B)(8)(a) Dwelling, Multi-Family ; No more than 40 percent of required usable open space can be private to a household or occur on upper stories of the project buildings unless the site is located in a DT-UC-MS-PT area or is 660 feet or less in any direction of an NR-PO zone district or Major Public Open Space. Confirm compliance with this code	The usable open space provided is not private to a household. Upper floor usable open space has not been included in the calculations given for usable open space. As such 100% of the usable open space provided is non-private. Please see useable open space table on AS1.1	No Response Needed.
10	1	Planning	Per 4-3(B)(8)(c) Dwelling, Multi-Family ; In other areas, this use shall meet all of the following landscape standards, in addition to all applicable standards in Section 14-16-5-6 (Landscaping, Buffering, and Screening). 1. This use shall provide, somewhere on the lot, at least 1 tree per ground floor dwelling unit and at least 1 tree per second floor dwelling unit; no additional trees are required for additional dwelling units on the third or higher floors. Confirm Compliance with this code 2. Twenty-five (25) percent of the net lot area shall contain landscaping; playgrounds, sports courts, swimming pools, or similar features may count up to 10 percent of net lot landscaping. <u>Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscaped area, and the maximum a tree canopy shall count toward this requirement is 600 square feet.</u> Confirm compliance with this code	The requirements for numbers of trees, the requirements for 25% net lot area for landscaping and outdoor activity spaces, the required percentages for tree canopy and ground level plants are confirmed. Calculations have been provided on sheet LS-101 Open space calc. / tree calcs. / on sheet -	Calculated trees for 1 per 1st floor and 1 per 2nd floor unit. Please see calculations on LS.101

11	1	Planning	Per 5-1 Dimensional Standards Provide the usable open space calculations on the landscaping plan	Usable Open Space requirements have been exceeded in the proposed development plan and exceed 225 sf per 1 bedroom, 285 sf per 2 bedroom, and 350 sf per 3 bedroom unit. Setbacks are greater than 5 feet for front and street sides, and meet the 15 feet rear lot dimension. Building heights less than 48 feet in all cases. Calculations have been provided on sheet LS-101	No Response Needed.
12	1	Planning	Per 5-5 (C)(6)(a) Electric Vehicle Charging Station Credit ; Each electric vehicle charging station with a rating of 240 volts or higher installed in an off-street parking space shall count as 2 vehicle parking spaces toward the satisfaction of minimum off street parking requirements. Distinguish various EV spaces as identified above (refer to IDO definitions to clarify). Confirm that project is providing at least 5% EV charging stations and 25% EV capable parking spaces.	EV parking space requirements have been met and shown on parking calculation and have been graphically described on site plan. The project also shows a minimum of 25% of required parking spaces (50 spaces) to be EV capable parking spaces. Add math - percentages. See Note #35 and EV spaces labeled on site. EV Capable / EV Charging	No Response Needed.
13	1	Planning	Per 5-5(D) Motorcycle Parking ; Motorcycle parking spaces are shown on the conceptual TCL as both keyed note 33 and keyed note 35. Please clear this up using only one keyed note to annotate motor cycle parking on future submissions.	Motorcycle parking note was corrected. Note 35 was deleted and all motorcycle parkings are noted as "33". Please see correction on sheet AS1.0.	No Response Needed.
14	1	Planning	Per 5-5(E) Bicycle Parking ; Bicycle parking is shown on keyed note 13 as (32 bike rack arches (64 spaces)). Planning staff counts 8 instances where this note appears on the TCL. Please clear up the phrasing to show how many bike racks will be installed per keyed note.	Funding for this project requires 64 total bicycle spaces, far exceeding the requirements of the IDO. Accordingly, 32 bicycle parking loops will be provided. Each building will receive 5 loops with an additional 2 loops located near the community space. See Site Development Plan, Note #13.	No Response Needed.
15	1	Planning	Per 5-6(C)(5)(e) Soil Condition and Planting Beds ; Organic mulch is required as ground cover under trees, not including street trees, within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. (See figure below.) Please modify your tree planting detail to reflect this requirement. The organic mulch used under the trees can be counted towards non gravel mulch used on the site under 5-6(C)(5)(c); 5-6(C)(5)(c): The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area, or 50 percent in DT-UC-MS areas.	Confirmed, IDO general notes and requirements sheet added to plan set Small note correction-	<i>Added note to planting detail and notes to plan. Please see Sheet LS. 103</i>
16	1	Planning	Per 5-6(C)(7)(a) Plant Material Spacing ; Vegetation required by this Section 14-16-5-6 shall be located the following distances at least 3 feet in any direction from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections: 1. Shrubs: 3 feet 2. Trees: 15 feet Confirm that shrubs and trees will be the required distance away from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections.	Confirmed, IDO general notes and requirements sheet added to plan set Add water lines to Irrigation plan	<i>Added dimensions to trees and shrubs close to utility equipment</i>
17	1	Planning	Per 5-6(C)(10)(b) Planting near Utilities ; Trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line. Confirm that there will be no trees planted within 10' of the centerline of any sewer or water lines.	Confirmed, trees will not be planted within 10 feet of the centerline of a sewer or water line. IDO general notes and requirements sheet added to plan set Add sewer lines too	<i>Added dimensions to trees close to water and sewer lines. See sheet LS.102</i>
18	1	Planning	Per 5-6(C)(10)(f) Planting near Utilities ; Trees shall not be planted near existing or proposed street light poles. Confirm clearance of trees from any proposed light poles.	Confirmed, trees will not be planted near existing or proposed street lights. IDO general notes and requirements sheet added to plan set Add site lighting layout - key notes	<i>Added dimensions to trees close to water and sewer lines. See sheet LS.102</i>
19	1	Planning	Per 5-6(C)(12)(a) Existing Vegetation Credit ; If existing non-prohibited vegetation meets the location requirements and intent of landscaping, buffering, or screening required by this Section 14-16-5-6, that existing vegetation may be credited toward the landscaping, buffering, or screening materials required by this Section 14-16-5-6. Is there any existing vegetation that will be retained on site? If needed, the City Forestry Team will be able to make a site visit to determine viability of trees and plants to remain for credits.	Not Applicable. There is no existing vegetation on this tract to be retained. Not really a street. Coverage of 100'	No Response Needed.
20	1	Planning	Per 5-6(D)(1)(a) Required Street Trees ; All development shall comply with Part 6-6-2 of ROA 1994 (Street Trees) and any standards developed by the Parks and Recreation Department or other City department to implement that Ordinance. Trees are generally required along street frontages every 25 feet on center unless specified otherwise in Part 6-6-2 of ROA 1994 (Street Trees). Along street frontages where street trees are required, trees that are planted within 20 feet of the back of curb of the abutting street may fulfill this requirement. Will there be trees planted along the middle row of parking spaces directly west of the roundabout closest to Coors?	Street Trees will be planted at 64th and Glenrio at the distances required. See Landscaping Plan. The requirement for trees associated with the parking spaces described in this comment are more correctly described in comment #22 below.	<i>Added trees. Please see on LS.101</i>

21	1	Planning	<p>Per 5-6(D)(1)(b) Required Street Trees; Only trees selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(D) (Street Frontage Landscaping), except that existing trees that are 8 inch caliper or larger may count toward street tree requirements, regardless of whether they appear on one of those lists.</p> <p>Tree palletete meets the standards laid out in the IDO; however please consider swapping out the Chinese Pistache with a different variety of trees as the Forestry team is recommending the city cut back on the planting of this variety of tree.</p>	Confirmed	No Reponse Needed.
22	1	Planning	<p>Per 5-6(F)(2)(c) Tree Requirements;</p> <ol style="list-style-type: none"> One (1) tree is required per 10 parking spaces. No parking space may be more than 100 feet in any direction from a tree trunk. At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet. <p>Please show relevant calculations to demonstrate compliance with the above-mentioned code.</p>	<p>The tree requirement of IDO 4-3(B)(8)© exceeds this requirement. [128 units / 3 floors x 1st and second floors = 86 trees. 255 parking spaces / 10 = 26 trees] Both are met. [128 trees provided]. No parking space is more than 100' from a tree. 75% of parking area trees are deciduous and will achieve the canopy area requirement. Additionally, the realignment of the lots includes a cross parking/cross access agreement and the parking spaces provided on the south border of this tract are for the intended joint use of Tract B and Tract D. Further tree planting will take place in the future development of these tracts to meet IDO requirements. Calcs. 75% deciduous-</p>	Calculations edited. Please see on LS.101
23	1	Planning	<p>Per 5-6(G)(1)(b) Roof-mounted Mechanical Equipment; In any R-ML, R-MH, Mixed-use, NR-C, NR-BP, NR-SU, or NR-PO zone district, roof-mounted mechanical equipment shall be screened by a parapet wall or similar feature that is an integral part of the building's architectural design. The parapet wall or similar feature shall be sufficient to screen the mechanical equipment from all sides when viewed from 5 feet above ground level at any property line abutting a City Park or trail, Major Public Open Space, major arroyo, or public street classified as a collector, arterial, or interstate highway. Is there any rooftop equipment planned for installation? If so, please call this out on future submissions and provide drawings showing compliance with the above-mentioned standard.</p>	All mechanical equipment will be located on building roofs and will be screened by building parapets. Please see detail on sheet A1.13	No Reponse Needed.
24	1	Planning	<p>Per 5-6(G)(3)(e) Screening;</p> <p>Where it is not practicable to locate the loading, service, and refuse areas pursuant to Subsections (c) and (d) above, they shall be screened from view by an opaque decorative wall or fence at least 6 feet tall but not more than 8 feet tall that incorporates at least 1 of the primary materials and colors of the nearest wall of the primary building (but excluding exposed CMU block) or a vegetative screen planted along the full length of the area to be screened and at least 8 feet high at the time of planting.</p> <p>Ensure that all landscaping and buffering/screening requirements are being adhered to.</p>	All refuse areas to be screened by 6' tall CMU wall and iron gate. All vegetative screen planting along the screening areas to be at least 8' high at the time of planting. Please see refuse enclosure details on sheet AS2.0.	Screening requirements are correct.
25	1	Planning	<p>Per 5-11(D)(1) Building Entrances;</p> <p>Primary pedestrian entrances to each primary building shall be emphasized and provide weather protection through variations in the façade, porticos, roof variations, recesses or projections, or other integral building forms.</p>	Building perspectives have been included on building elevations sheets to show pedestrian entries into the unit corridors and that they are all weather protected. Add roof @ front elevations-	Elements to define building entry have been added to all buildings. Please see building elevations.
26	1	Planning	<p>Per 5-11(D)(2)(a) Windows; 2. Windows on the upper floors shall be recessed or projected not less than 2 inches and/or shall be surrounded by a window casing or frame not less than 2 inches wide, except for portions of the façade that are storefront window systems or curtain walls. Workforce housing is exempt from this requirement. 3. Windows facing west shall use heat mitigation features. On the elevations sheet please update the titles to callout which cardinal direction is being depicted on the building renderings. Through site plan notes and/or a comment response memo, detail in your application how the façade requirements are met.</p>	All windows will be recessed 2 inches from the plane of the wall. A general note has been provided on the exterior elevations	No Reponse Needed.
27	1	Planning	<p>Per 5-11(D)(3) Roof Design;</p> <p>Rooflines longer than 60 horizontal feet shall include at least one vertical or horizontal elevation change of at least 2 feet. Roofs with a pitch of less than 2:12 shall be screened by a parapet wall.</p> <p>Confirm that building façade standards are met.</p>	The building façade standards by the IDO have been met in our project. Please see elevations.	No Reponse Needed.
28	1	Planning	<p>Per 5-6(C)(4)(g); all vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6-6-2 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.</p>	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	IDO landscape sections shown on sheet
29	1	Planning	<p>Per 5-6(C)(4)(h); all required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ASNA) of the American Nursery and Landscape Association.</p>	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	IDO landscape sections shown on sheet
30	1	Planning	<p>Per 5-6(C)(5)(a); all vegetated material required by this Section 14-16-5-6 shall be planted in uncompacted soil.</p>	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	IDO landscape sections shown on sheet

31	1	Planning	Per 5-6(C)(5)(b) ; if used, weed barriers shall be permeable to optimize stormwater infiltration and prevent runoff.	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	IDO landscape sections shown on sheet
32	1	Planning	Per 5-6(C)(5)(d) ; a minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended.	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	IDO landscape sections shown on sheet
33	1	Planning	Per 5-6(C)(9)(a) ; All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of way.	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	IDO landscape sections shown on sheet
34	1	Planning	Per 5-6(C)(9)(b) ; Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8-foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 9-foot clearance over the street surface.	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	IDO landscape sections shown on sheet
35	1	Planning	Per 5-6(C)(9)(c) ; where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements In Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way.	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	IDO landscape sections shown on sheet
36	1	Planning	Per 5-6(C)(14)(a) ; irrigation systems shall comply with Section 8 of the ABCWUA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	IDO landscape sections shown on sheet
37	1	Planning	Per 5-6(C)(14)(b) ; all irrigation systems shall be designed to minimize the use of water.	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	IDO landscape sections shown on sheet
38	1	Planning	Per 5-6(C)(14)(c) ; all non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	IDO landscape sections shown on sheet
39	1	Planning	Per 5-6(C)(14)(d) ; the irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	IDO landscape sections shown on sheet
40	1	Planning	Per 5-6(C)(15)(c) ; Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of plant materials that have been approved by the applicable public utility as part of a plan for landscaping, screening, or buffering on the public right of way shall be the responsibility of such public utility. If a public utility disturbs landscaping, screening, or buffering in a public right-of-way, private way, or easement, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If the plant materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials.	Stantec added a note to address ownership of any damage done during construction.	No Response Needed.
41	1	Planning	Per 5-6(C)(15)(d) ; Property owners acknowledge that approved landscaping and trees installed and maintained in a public right-of-way, private way, or easement abutting private properties are the property of the City, and that that the City reserves the right to remove them if necessary for a transportation project without compensation, but at no cost to the property owner. Landscaping installed in an abutting public right-of-way, private way, or easement by property owners and later removed by the City shall not impact previously approved net lot area calculations for required landscaping.	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	IDO landscape sections shown on sheet
42	1	Planning	Per 5-13(B)(7)(a) ; Landscaping, screening and buffering areas shall be maintained in compliance with Articles 6-6 and 9-8 of ROA 1994 (Trees, Vegetation, and Landscaping and Weeds, Litter, and Snow) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance).	Confirmed. Notes added to the Landscape Plan	IDO maintenance notes added to landscape plan. Please see LS.101
43	1	Planning	Per 5-13(B)(7)(b) ; All landscaped areas shall be maintained with a neat and orderly appearance, which includes pruning, removal and replacement of dead or diseased plants and trees, disposal of litter, repair of damaged walls and hard surface areas, and upkeep of irrigation systems.	Confirmed. Notes added to the Landscape Plan	IDO maintenance notes added to landscape plan. Please see LS.101
44	1	Planning	Per 5-13(B)(7)(d) ; Where landscaping was installed pursuant to a Site Plan or development approval, the landscaping shall be replaced according to any landscaping and maintenance plan under that approval.	Confirmed. Notes added to the Landscape Plan	IDO maintenance notes added to landscape plan. Please see LS.101

45	1	Planning	Per 5-13(B)(7)(e) ; Trees or plants that die shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 calendar days after notice from the City. The replacement of dead vegetation is the responsibility of the property owner.	Confirmed. Notes added to the Landscape Plan	IDO maintenance notes added to landscape plan. Please see LS.101
46	1	Planning	Per 5-13(B)(7)(f) ; Street trees shall be maintained alive and healthy. Maintaining and replacing street trees or other trees planted in the public right-of-way are the responsibility of abutting property owners.	Confirmed. Notes added to the Landscape Plan	IDO maintenance notes added to landscape plan. Please see LS.101
47	1	ABCWUA	1. Availability Statement 240411 provides conditions for service. a. Routine connections are available.	Stantec reviewed the availabilty statement and provided connection as required by the statement.	No Reponse Needed.
48	1	ABCWUA	2. Utility Plan: a. Provide a utility plan that indicates the location of proposed services.	Stantec added service lines to the utility plan.	No Reponse Needed.
49	1	ABCWUA	2b. Show existing public water and public sewer mains and any associated easements on the utility plan.	Stantec reviewed the availability statement and provided connection as required by the statement. There are no associated easements per surveyor.	No Reponse Needed.
50	1	ABCWUA	2c. Dimension the public water and public sewer easements on the utility plan.	Stantec added service lines to the utility plan.	No Reponse Needed.
51	1	ABCWUA	2d. There shall be no trees, parallel fences/sidewalks/curbs, or structures within the public water and public sewer easement. Please revise accordingly.	There will be no trees, parallel fences/sidewalks/curbs, or structures within the water and sewer easments.	No Reponse Needed.
52	1	ABCWUA	2e. Please add the following notes to the Master Utility Plan i. Coordination with Water Authority Cross Connection Section will be required to ensure proper backflow containment is in place prior to release of meter for the site. Contact the Cross Connection Section at 505-289-3454. ii. Coordination with the Water Authority Pre-Treatment Engineer is required to ensure the site complies with Water Authority Sewer Use Ordinance. Contact the Pre-Treatment Engineer at 505-289-3439.	Stantec added the notes to the utility plan.	No Reponse Needed.
53	1	Parks and Recreation	Please coordinate with City Forestry regarding the selected tree species.	Confirmed	No Reponse Needed.
54	1	Parks and Recreation	Parking lot landscaping calculations per IDO 5-6 must be provided on the landscape plan.	Calculations have been added to the landscape plan.	No Reponse Needed.
55	1	Parks and Recreation	Per 5-6(F)(1)(i) ; 2. Side and Rear Lot Edges Where no side or rear lot line buffer is required by Subsection 14-16-5-6(E) above, the following standards apply where the side or rear lot line abuts a public street. c. Any parking lot located within 20 feet of a side or rear lot line shall be screened by a landscaped buffer area strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	No Reponse Needed.
56	1	Parks and Recreation	Any ponding areas must comply with Section 1013: Slope Stabilization and Seeding requirements or better.	See landscape plans for seeding and slope stabilization.	No Reponse Needed.
57	1	Parks and Recreation	Confirm compliance with 4-3(B)(8) Dwelling, Multi-family landscaping requirements.	See reponse to comments #9 and 10 above.	No Reponse Needed.
58	1	Parks and Recreation	Per IDO 5-6 ; street trees 25' OC are required along Coors Blvd and Fortuna Rd. Calculations must be provided on the Landscape Plan. Per 5-6(C)(7)(b) ; Where tree planting requirements are based on the length of the street frontage, areas occupied by driveways and drive aisles shall be included when calculating the number of trees required to be planted, and all trees that would otherwise be required in driveways or drive aisles shall be planted in other landscaped front yard areas.	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	No Reponse Needed.
59	1	Parks and Recreation	Per 5-6(C)(5)(e) ; Organic mulch is required as ground cover under trees, within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. A tree planting detail must be provided to reflect this requirement.	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	No Reponse Needed.
60	1	Parks and Recreation	Per 5-6(C)(4)(k) ; Shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or, where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided.	Confirmed. Notes added to the General Information and Requirements sheet in the drawings.	Shade trees and calculations added to pedestrian walkway along the east