PLANNING DEPARTMENT URBAN DESIGN & DEVELOPMENT DIVISION 600 2nd Street NW Room 190 Albuquerque, NM 87102 Tel: (505) 924-3320



POST EPC MEMORANDUM

TO: CABQ Development Facilitation Team (DFT)

FROM: William Steele, Senior Planner

DATE: 05/08/25

RE: PR-2024-011052, SI-2024-01468 – Site Plan – EPC

The Agent, Tierra West, for Pitre Holdings LLC c/o Robert G. Pitre, has worked with Staff to fulfill post EPC requirements to meet Conditions of Approval 1-10, for a Major Amendment to a Site Plan – EPC, for an approximately 6.3-acre subject site, which is legally described as all or a portion of Tract B-1 Plat of Tract B-1 and B-2; and Tract C-1 Subdivision Plat Map, all for Adobe Wells Subdivision, located at 9640 Eagle Ranch Rd. NW, between Irving Blvd. NW and Westside Dr. NW. See EPC Notice of Decision (NOD) dated November 21, 2024.

The applicant provided a letter which shall be included with the DFT submittal describing how each condition has been satisfied or will be met moving forward. Updated Site Plan drawings have been provided incorporating the Conditions of Approval.

Unapproved Changes:

 The LANDSCAPE IDO sheet (LS-104) is noted as "For Reference Only" and is included in the Post EPC review set. It is acceptable to leave in the set of drawings although not approved by EPC. It will not be reviewed by the EPC Staff Planner because it is not part of the EPC's Conditions of Approval in the November 21, 2024 NOD.

*Please contact Parks and Recreation - Urban Forestry to verify that the revised LANDSCAPE PLAN sheets (LS-101, LS-102, LS-103, LS-104) meet their conditions and comments. Or the applicant shall provide proof that the sheets have been reviewed and approved by Urban Forestry.

- 2. The following sheet was approved by the EPC and is missing from the Post EPC drawing set. Please restore the sheet to the drawing set.
 - a. SUN & SHADE ANALYSIS (A2.2)
- 3. The EXTERIOR ELEVATIONS sheet (A2.1) has additional dimensions and new "Keyed Notes" (i.e., 18-25) added to the drawing. These new notes and dimensions add clarity to the drawings. It is acceptable to leave on the drawing although not approved by EPC. The additional keyed notes and dimensions will not be reviewed by the EPC Staff Planner, because they are not part of the EPC's Conditions of Approval in the November 21, 2024 NOD.

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4. Two new elevations have been added to the EXTERIOR ELEVATIONS sheet (A2.1): Partial North Elevation @ Service Addition and Partial South Elevation @ Vehicle Delivery. These new elevations provide clarity to the drawings. It is acceptable to leave the elevations on the drawing although not approved by EPC. The new elevations will not be reviewed by the EPC Staff Planner because they are not part of the EPC's Conditions of Approval in the November 21, 2024 NOD.

NOD CONDITIONS OF APPROVAL, PR-2024-011052 - Major Amendment to Site Plan - EPC

1. Pursuant to IDO §14-16-6-4(O)(4), any conditions shall be met within 1 year of the approval, unless stated otherwise in the approval. If any conditions are not met within that time, the approval is void. The Planning Director may extend the time limit up to an additional 1 year.

Condition 1 has been met or is agreed to by the applicant: The applicant has agreed to meeting the Conditions of Approval within a year.

2. The applicant shall coordinate with the Staff Planner to ensure that all Conditions of Approval are met and then submit a vetted, final version to the Staff Planner for filing at the Planning Department.

Condition 2 has been met or is agreed to by the applicant: The applicant has provided a vetted final version of the site plan, required documents and accompanied letter describing how the Conditions of Approval are met.

3. After coordinating with the Staff Planner, the applicant shall submit the final version to the Development Facilitation Team (DFT) for final sign-off. Pursuant to IDO §14-16-6-6(I)(2)(m), Site Plans shall be reviewed administratively for compliance with conditions of approval, DPM, and zoning standards prior to the issuance of a building permit. The reviewer shall ensure that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.

Condition 3 has been met or is agreed to by the applicant: The applicant has agreed to submitting the final version of the Site Plan to the DFT for review and signal final sign off.

4. Hydrology:

A Grading and Drainage Plan & Report must be approved by Hydrology prior to review/sign-off of the Site Plan by the DFT.

Stormwater Quality Volume (SWQV) - The total required SWQV calculation must be included on the Grading and Drainage Plan along with Calculation of the portion of the SWQV for which payment-in-lieu is requested. Payment shall be made at the following steps in the City review/decision process:

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- 1. Multi-family Development: Prior to the issuance of a building permit.
- 2. *Commercial Development: Prior to the issuance of a building permit.* [emphasis added]
- 3. Single-family Subdivision: Prior to recording the Final Plat and prior to the issuance of a work order.

Condition 4 has been met: The Grading and Drainage Plan and Report has been approved by Hydrology. Please see the approved plan and letter from the Hydrology Engineer dated December 19, 2024.

- 5. CABQ Parks and Rec. Urban Forestry:
 - Landscape Plan shall be stamped and signed by a licensed Landscape Architect.
 - Revise the Landscape Plan to clearly show what is existing and what is to remain.
 - Per Street Tree Ordinance 6-6-2-4 REQUIRED STREET TREES (1) All applicants for building permits for construction of a new building or building addition of 200 square feet or more shall submit a street tree plan for those parts of the lot abutting a major street, a major local street, or another street where street trees are required.
 - Show street trees 25 feet on center along Westside Boulevard.
 - Revise the Landscape Plan to select a tree species other than ash trees, which are overplanted and struggling in current climate conditions.
 - Work with Urban Forestry to revise the Landscape Plan to identify the shrubs to be replaced and maintained.

*Condition 5 is contingent on the review and approval of the LANDSCAPE PLAN sheets (LS-101, LS-102, LS-103, LS-104) by Urban Forestry or the applicant shall provide proof that Urban Forestry has reviewed and approved the landscape drawings.

The LANDSCAPE PLAN sheets (LS-101, LS-102, LS-103, LS-104) have been stamped and signed; Existing and remaining trees were noted; street trees were added and noted; various types of trees were added.

A LANDSCAPE PLAN (EXISTING) sheet (LS-101) was added to the drawing set to clearly identify what landscaping is existing on the site.

LANDSCAPE PLAN sheet (LS-102) replaced and revised the EPC approved LANDSCAPE PLAN sheet (LS-1). This revised sheet contains an updated Plant Schedule, Landscape Notes and Overall Landscape Calculations. Irrigation Notes were added to this sheet.

6. AMAFACA: Remove reference to AMAFCA and replace with "City of Albuquerque" on the existing 68 foot permanent underground drainage easement, which AMAFCA quitclaimed to the City of Albuquerque in 2000.

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Condition 6 has been met: The reference to AMAFCA was replaced with "City of Albuquerque" on the existing 68 foot permanent underground drainage easement.

7. Site Plan: Conditions 7A and 7B have been met.A. Add the legal description to this sheet.

The legal description has been added to the SITE PLAN sheet (AS1.1).

B. The Site Plan shall comply with the General Regulations of the IDO and all other applicable design regulations, except as specifically approved by the EPC.

This this text (7B) has been added to the GENERAL NOTES as note #5 on the SITE PLAN sheet (AS1.1).

8. The site lighting shall come into compliance with the Outdoor and Site Lighting standards of IDO §14-16-5-8 or the applicant shall show how the existing outdoor lighting complies with the IDO. A site lighting plan shall be provided to city staff prior to sign off. If the applicant is unable to comply with IDO §14-16-5-8 they shall return to EPC for an outdoor and site lighting performance analysis.

Condition 8 has been met. The applicant has added a GENERAL NOTES, LEGEND, FIXTURE SCHEDULE & IECC CALCS sheet (E0.1) to the drawing to meet the Outdoor and Site Lighting standards.

The applicant has provided an ELECTRICAL SITE PLAN sheet (ES1.0) which the existing and relocated locations of the electrical equipment, lighting (site lighting) and signs are shown on the site. Pull Box and Pole Base Mounting details are shown on the plan.

- 9. Landscape Plan: Conditions 9A and 9B have been met.
 - A. The asphalt paving limits shall be modified to accurately show the new paving limits around the proposed addition.

The landscape plan identifies the new paving limits around the proposed addition.

B. The new plantings on the southeast corner of the proposed addition shall be identified.

The new plantings on the southeast corner of the proposed addition have been identified on LANDSCAPE PLAN sheet (LS-1).

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- 10. Exterior Elevations Sheet: Condition 10A has not been met. Condition 10B has been met.
 - A. The missing "Parts" sign on the East (Side) Elevation for Keyed Note #14 shall be added to this sheet.

The "Parts" sign is not shown on the East Elevation. Note #14 is pointing to the wall above a small garage door. Please show the "Parts" sign on the elevation sheet.

B. The North (Front) Elevation of the proposed addition with the 57'-0" façade shall incorporate 1 required feature every 40'-0" to adhere to the required total of 2 features along 30 percent of the length of the façade pursuant to \$14-16-5-11(E)(2)(a)-(g).

A planter has been incorporated along the 57' façade (proposed addition) of the North Elevation to meet the requirement of 1 feature every 40'-0". The new planter is also shown on the Site Plan sheet.

The Agent (Tierra West LLC.) for Pitre Holdings LLC c/o Robert G Pitre has satisfied Conditions 1-4, 6-9 and 10B for the NOD dated November 21, 2024. **Condition 5 being met is contingent on Urban Forestry review and approval. Or the applicant shall provide proof that the sheets have been reviewed and approved by Urban Forestry.* All conditions that have not been met (i.e., Condition 10A) and Unauthorized Changes (i.e., 1-4) shall be coordinated with DFT staff prior to receiving final sign-off.

William Steele

William Steele, Senior Planner Current Planning, Urban Design & Development City of Albuquerque Planning Department

Site Plan – EPC Major Amendment Pitre Kia

Submitted concurrently with a Zone Map Amendment – EPC **October 2024**



PREPARED FOR:

Pitre Kia

PREPARED BY:

<u> Vierra West</u>

Tierra West, LLC 5571 Midway Park Place NE Albuquerque, NM 87109

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October 9, 2024

Mr. Jonathan R. Hollinger, Chair Environmental Planning Commission City of Albuquerque P.O. Box 1293 Albuquerque, NM 87103

RE: SITE PLAN – EPC MAJOR AMENDMENT 9640 EAGLE RANCH RD NW, ABQ, NM, 87114 TRACT B-1 PLAT OF TRACT B-1 AND B-2 OF ADOBE WELLSSUBDIVISION CONT 5.8965 AC AND TR C-1 SUBD PLAT MAP FOR ADOBE WELLS SUBD CONT 19,079 SQ FT ZONE ATLAS PAGE B-13-Z

Dear Mr. Hollinger,

On behalf of Pitre Holdings LLC C/O Robert G Pitre LLC, I am writing to respectfully request your approval for a Site Plan – EPC, Major Amendment for an approximately 6-acre site, legally described as Tract B-1 Plat of Tract B-1 and B-2 Adobe Wells Subdivision & and Tract C-1 Subd Plat Map for Adobe Wells Subdivision, located at 9797 Eagle Ranch Rd NW (the subject site).

The subject site is currently dual-zoned, NR-BP and MX-M, and we are seeking to correct this to NR-C concurrently through a separate application. The site is owned and operated by Pitre Holdings, LLC as a car dealership, which includes light vehicle sales, repair, rental, and storage.

The proposed Major Amendment involves a 5,700 square foot addition that will expand the dealership facility by adding 12 new service bays, as well as enlarging the showroom by 268 square feet. This request exceeds the allowable minor amendment thresholds, which limit changes to the building's gross floor area to 10%. The controlling pre-IDO site plan (Project #1003100/03EPC01921) permitted a 16,000 square foot car sales facility. The new site plan proposes an increase of 5,968 square feet, resulting in a total gross floor area of 21,968 square feet, representing a 37% increase.

On behalf of Pitre Holdings LLC, Tierra West LLC, requests your review and approval.

If you have any questions, please feel free to reach out. Thank you for considering our request.

Sincerely,

Donna Sandoval Planner JN: 2024019 Cc: Ds/sl/rrb/at

1. Executive Summary

Tierra West, on behalf of Pitre Holdings, LLC, is requesting approval for a Major Amendment to a Site Plan for an approximately 6-acre site legally described as Tract B-1 Plat of Tract B-1 and B-2 Adobe Wells Subdivision & and Tract C-1 Subd Plat Map for Adobe Wells Subdivision, located at 9797 Eagle Ranch Rd NW, currently home to the Pitre Kia car dealership. The proposed amendment seeks to expand the dealership's facilities by adding a 5,700 square foot addition that will include 12 new service bays and an expansion of the showroom by 268 square feet. This expansion will increase the total gross floor area to 21,968 square feet, which represents a 37% increase, exceeding the allowable 10% threshold for minor amendments.

The site has dual zoning: NR-BP (Non-Residential – Business Park) and MX-M (Mixed-Use Medium Intensity). The initial site development plan was approved under the C-2 zoning of the previous zoning code and approved by EPC. The IDO created a floating zoning that recently came to the owner's attention. Concurrently, the application includes a request to correct the zoning discrepancies of a floating zone line on the property. The existing uses of the site include light vehicle sales, rental and repair services, and storage.

The planning context highlights that the subject site falls within the Northwest Mesa Community Planning Area, designated as an Area of Consistency. It is also located within a Character Protection Overlay Zone along Coors Blvd and is in proximity to major transit corridors. The surrounding area features a mix of residential, non-residential, and mixed-use zones, with commercial services being a predominant use within half a mile.

Historically, the site was vacant until 2003 when it received approval for Westside Kia Auto-Dealership Site Development Plan from the Albuquerque Environmental Planning Commission (EPC). This plan allowed for a 16,000 square foot car sales facility, which was later constructed in 2004. The original approval garnered support from the City Planning Department and faced no opposition.

The Major Amendment aligns with several city planning goals and policies. It supports Goal 5.1 (Centers and Corridors) by enhancing connectivity and service availability near the Coors/ Paseo del Norte activity center to the south and the Cottonwood employment center to the north. Additionally, it captures regional growth patterns, helping to shape a sustainable built environment in an area that historically has had less commercial development.

The proposal is consistent with Policy 5.2.1 (Land Uses), which aims to create healthy, sustainable communities with a mix of uses accessible to surrounding neighborhoods. The location is within walking distance of residential areas and major transit routes, encouraging access to goods and services in the area while utilizing the subject site. Moreover, it promotes infill development that complements existing structures and utilizes previously underutilized land efficiently, adhering to the goals of compact development.

The request mitigates any significant adverse impacts on the surrounding community, ensuring compatibility with existing land uses and zoning regulations and aims to foster economic development by providing additional job opportunities in the area, supporting local entrepreneurship, and enhancing the quality of life for residents.

The EPC-Site Plan, Major Amendment requests development approval to expand the dealership's facilities by adding a 5,700 square foot addition that will include twelve (12) new service bays and an expansion of the showroom by 268 square feet. The proposed development would create direct and indirect jobs for a range of vocational workers with varying skills and salary ranges on the West Side. The request will modernize and expand a facility that both the community needs and meets regulatory standards, aligning with broader city planning objectives for sustainable development, economic growth, and improved service accessibility. The proposal will improve community connectivity to amenities while also having a minimal impact on the surrounding traffic network.

2. Request

Tierra west on behalf of Pitre Holdings, LLC respectfully request approval for a Site Plan – EPC, Major Amendment for an approximately 6-acre site, legally described as Tract B-1 Plat of Tract B-1 And B-2 Adobe Wells Subdivision, and Tract C-1 Subd Plat Map for Adobe Wells Subdivision, located at 9797 Eagle Ranch Rd NW (the subject site). The subject site has dual zoning, NR-BP and MX-M, which we are seeking to correct concurrently as a separate application.

The subject site is owned and operated by Pitre Kia as a car dealership (light vehicle sales), a repair and service center (light vehicle rental, repair and storage). The Major Amendment proposes a 5,700 square foot addition which will expand the facility with 12 new service bays as well as the expansion of a showroom by 268 square feet. The request exceeds the allowable minor amendment thresholds which limits changes to the building gross floor area to 10%. The controlling pre-IDO site plan (Project #1003100/ 03EPC01921) permitted a 16,000 square foot car sales facility. The proposed site plan will increase the square footage by 5,968 square feet (a 37% increase) for a total of 21,968 square feet of the building's gross floor area.

Per IDO subsection 14-16-6-4(Y)(1)(b)1, major amendments shall be reviewed and decided by the decision-making body that issued the permit or approval being amended, following the procedures for the most closely equivalent decision in Part 14-16-6 (Administration and Enforcement). The EPC was the original decision-making body, as such, the procedures described in IDO 14-16-6-6(I) Site Plan – EPC shall be followed.

3. Planning Context

Zoning – Subject site and surrounding.

The subject site contains two parcels, one of which is wholly zoned NR-BP (Non-Residential – Business Park), the larger westerly portion of the subject site is zoned NR-BP and MX-M (Mixed-Use Medium Intensity). Tierra West requests approval of a Site Plan-EPC and Zone Map

Amendment to NR-C for a Pitre Kia Car Dealership used for light vehicle sales, rental and repair, and storage.

The Light vehicle sales, repair, rental and storage are a permissive primary use to the NR-BP and MX-M zoning districts. The land use for the parcels is designated as commercial. Both falling entirely within the Northwest Mesa Community Planning Area (CPA) and designated as an Area of Consistency. The subject site is located within the Character Protection Overlay Zone of Coors Blvd (CPO-2) and is 800 feet away from the Coors Blvd Major Transit Corridor.

The subject site is situated between Western Dr NW and Irving Blvd NW on Eagle Ranch Rd NW. The surrounding area is characterized by a mix of zoning and land uses, primarily consisting of Residential, Non-Residential and Mixed-Use zones with commercial services as the primary use within 1/2 mile of the subject site. To the north of the property, there are a variety of zones, including MX-M, NR-LM, NR-PO-B, PD, R-1B, R-1C, R-ML, and R-T, and includes a mix of residential and commercial uses. To the east, there is MX-L, MX-M, NR-C, NR-PO-B, R-A, and UNCL zones, with a mix of commercial, residential, and vacant land use designations. South of the site, the zoning includes MX-L, MX-M, MX-T, NR-BP, NR-C, R-1B, R-A, and UNCL zones, and includes a variety of residential and commercial uses. To the west, there are MX-L, MX-M, MX-T, NR-PO-A, R-1B, and UNCL zones, with a mix of commercial uses. To the west, there are MX-L, MX-M, MX-T, NR-PO-A, R-1B, and UNCL zones, with a mix of commercial uses. To the west, there are MX-L, MX-M, MX-T, NR-PO-A, R-1B, and UNCL zones, with a mix of commercial uses. To the west, there are MX-L, MX-M, MX-T, NR-PO-A, R-1B, and UNCL zones, with a mix of commercial, residential, and vacant land use designations. See

Figure 1 & Table 1 below for zoning information within $\frac{1}{2}$ Mile of the subject site, and Figure 2 & Table 2 for land uses with $\frac{1}{2}$ Mile of the subject site.



Figure 1 - Zoning within $\frac{1}{2}$ Mile of the Pitre Kia Site

Zoning Table			
Location	Zoning		
Subject Site (Controlling Site Plan)	NR-BP & MX-M		
North	MX-M, NR-LM, NR-PO-B, PD, R-1B, R-1C, R-		
JIII	ML, R-T		
East	MX-L, MX-M, NR-C, NR-PO-B, R-A, UNCL		
South	MX-L, MX-M, MX-T, NR-BP, NR-C, R-1B, R-A,		
South	UNCL		
West	MX-L, MX-M, MX-T, NR-PO-A, R-1B,		

Table 1 - Zoning within 1/2 Mile of the Pitre Kia Site

Figure 2 - Land Use within $\frac{1}{2}$ Mile of the Pitre Kia Site



Land Use			
Location Land Use			
Subject Site (Development Area)	Commercial Services		
	01 Low-Density Residential		
	02 Multi-family		
	03 Commercial Retail		
	04 Commercial Services		
North	06 Industrial		
	10 Transportation		
	12 Parks and Open Space		
	14 Drainage		
	15 Vacant		
	01 Low-Density Residential		
	03 Commercial Retail		
East	04 Commercial Services		
	14 Drainage		
	15 Vacant		
	01 Low-Density Residential		
	02 Multi-family		
	03 Commercial Retail		
South	04 Commercial Services		
	05 Office		
	14 Drainage		
	15 Vacant		

	17 Community.
	01 Low-Density Residential
	03 Commercial Retail
	04 Commercial Services
West	05 Office
west	06 Industrial
	13 Parks and Open Space
	15 Vacant
	16 Utilities

Table 2 - Land Use within 1/2 Mile of the Pitre Kia Site

4. History

The subject site was vacant up until 2003 when a Site Development Plan (SDP) Building Permit application (Project #1003100/ 03EPC-01921) was reviewed and approved by the Albuquerque Environmental Planning Commission (EPC) on December 18, 2003. The application did not encounter any known opposition and received support from the City Planning Department. Prior to the IDO, the subject site was zoned SU-1 for C-2 uses.

At the time of approval, the site was subject to the West Side Strategic Plan, the Coors Corridor Plan, and the Comprehensive Plan. Staff found the request to be compatible with the relevant plans and recommended approval of the site plan, with conditions. Following the EPC's approval, the site plan secured all necessary signatures and approvals for the project (#1003100) by March 19, 2004, and construction started that same year.

5. Controlling Site Plan

As mentioned above, the controlling site plan (Project #1003100/ 03EPC01921) was heard and approved by the EPC on December 18, 2003, with conditions. The site development plan for building permit noted two phases. Phase 1 encompasses the northern portion of the subject site and contained the primary use of light vehicle sales. Phase 2 encompasses the southern portion of the subject site and was primarily shown to be parking and outdoor light vehicle storage, which supports the primary use. The original controlling site plan is included as part of this submittal packet.

The subject site has two access points, one on the north off Western Dr NW and the second on the west side off Eagle Ranch Rd NW. The dealership building is approximately 6.4% of the lot area and the original landscaping covers 17% of the required 15% net lot area.

6. Notification Requirements and Facilitated Meeting Request

All notification requirements outlined in the IDO have been met. A Pre-submittal Neighborhood Meeting was offered on August 23, 2024, and no neighborhood associations requested to hold a meeting. Furthermore, all property owners within 100' of the site and all neighborhood association representatives were notified of this submittal by October 10, 2024. No questions or comments have been received from members of the public regarding this request.

7.1 Chapter 5 – Land Use

Goal 5.1 – Centers and Corridors: Grow as a community of strong Centers connected by a multimodal network of Corridors.

The request is consistent with Goal 5.1 Centers and Corridors because it would support the Coors/Paseo del Norte activity center to the south and the Cottonwood employment center to the north grow as a community of strong centers connected by a multi-modal network of corridors. The subject site is located approximately 140-ft from the Coors Blvd Major Transit Corridor boundary and 300-ft from a bus stop on Eagle Ranch. The approval of the request would support the development of strong centers connected by multi-modal networks by providing service amenities not currently available in an area that would be in close proximity to the Coors Blvd corridor, bus stops and in between an activity center and employment center. The request furthers Goal 5.1.

Policy 5.1.1 – Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

- The request is consistent with Policy 5.1.1 Desired Growth because it captures the pattern of regional growth between the Coors/Paseo del Norte activity center to the south, the Cottonwood employment center to the north, and the Coors Blvd corridor to the east; helping shape the built environment into a sustainable development pattern. The subject site is also located with the Northwest CPA, which is typically characterized by a disproportionate amount of single-family residential development as opposed to commercial development. This area specifically is characterized by mixed-use development including light vehicle sales, multi-family dwellings, and commercial services. The approval of the request would support desired growth by capturing the regional growth of nearby centers and corridors to help shape the built environment into sustainable development patterns. The request furthers Policy 5.1.1.
- c) Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to accommodate growth over time and discourage the need for development at the urban edge.
 - The request is consistent with Policy 5.1.1 Desired Growth section c) because it encourages employment density, compact development, redevelopment, and infill in an appropriate area between Centers and Corridors to accommodate growth over time and discourages the need for development at the urban edge. The building addition project will provide employment opportunities and light vehicle services atypical of the Northwest CPA while promoting compact development, redevelopment and infill in an area frequented for commercial services. The approval of the request would encourage employment density, compact development, and infill in appropriate areas to accommodate growth over time and discourage the need for development at the urban edge. The request furthers Policy 5.1.1.c

Goal 5.2 – Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

 The request is consistent with Goal 5.2 – Complete Communities because it would foster communities where residents can live, work, learn, shop and play together. The subject site is located within the Northwest CPA which is typically characterized by residential dwellings, it is also within a half mile of the Cottonwood employment center and within a quarter-mile of the Coors/Paseo del Norte activity center and community Eagle Ranch Park. The approval of the request would provide residents and community members with the option of several nearby activities and commercial services to engage in while servicing their vehicle, fostering communities where residents can live, work, learn, shop and play together. The request furthers Goal 5.2.

Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

- The request is consistent with Policy 5.2.1 Land Uses because it creates a healthy, sustainable, and distinct community with a mix of uses that are conveniently accessible from surrounding neighborhoods. As mentioned earlier, the subject site is located in a community characterized by residential dwellings as well as within a half mile of an employment center, and within a quarter mile of an activity center, and major transit corridor. This area specifically is characterized by mixed-use development including light vehicle sales, multi-family dwellings, and commercial services. The approval of the request would support the creation of healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods. The request furthers Policy 5.2.1.
- a) Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.
 - The request is consistent with Policy 5.2.1 Land Uses section a) because it encourages development and redevelopment that brings goods, services, and amenities within walking and biking distance of westside neighborhoods and promotes good access for all residents. The subject site is within 300-ft of a public bus stop, fronts existing and proposed bike baths off Eagle Ranch Rd and is within a half mile of low-density and multi-family residential land use. The approval of the request encourages redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods while promoting good access for all residents. The request furthers Policy 5.2.1.a
- b) Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development. [ABC]
 - The request is consistent with Policy 5.2.1 Land Uses section h) because it encourages infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development. The subject sites current land use is light vehicle sales, rental and storage. With the proposed building addition, the land use would remain as light vehicle sales, rental and storage. The approval of the request would encourage infill development that adheres to design standards in the IDO which ensure compatible form/scale of the building to the immediately surrounding development. The request furthers Policy 5.2.1.h
- c) Encourage more productive use of vacant lots and under-utilized lots, including surface parking.
 - The request is consistent with Policy 5.2.1 Land Uses section n) because it encourages more productive use of an under-utilized lot, including surface parking. Approval of the building addition will create complementary light vehicle commercial service uses to a lot that can be optimized to provide more productive services to the westside community. The request furthers Policy 5.2.1.n

Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

• The request is consistent with Goal 5.3 Efficient Development patterns because the subject site is in an area with existing infrastructure and public facilities. The subject site also promotes the use of transit, a public amenity, as it is located within 140-feet of the Coors Blvd Major Transit Corridor and is within an area of consistency as designated in the ABC Comp Plan. The request is consistent with Goal 5.3 Efficient Development Patterns.

Policy 5.3.1 – Infill Development: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

 The requested site plan furthers Policy 5.3.1 – Infill development as it promotes development patterns that maximize the utility of existing infrastructure. The subject site is in the Northwest Mesa CPA, and within a developed area of the city with established infrastructure and public facilities. The development of the building addition would encourage the efficient use of land and thus supports the public good. The request furthers Policy 5.3.1.

Goal 5.4 Jobs-Housing Balance: Balance jobs and housing by encouraging residential growth near employment across the region and prioritizing job growth west of the Rio Grande.

• The requested site plan furthers Goal 5.4 Jobs-Housing Balance as it prioritized job growth west of Rio Grande on the Northwest Mesa CPA that is characterized by many residential dwellings. The site also includes residential zoning to the west and south within a half mile of the site. The development of the building addition prioritizes job growth west of the Rio Grande. The request furthers Goal 5.4.

Policy 5.4.2 West Side Jobs: Foster employment opportunities on the West Side. [ABC]

- The requested site plan furthers Policy 5.4.2 West Side Jobs as it fosters new employment opportunities on the West Side by encouraging infill development close to existing employment and activity centers. The development of the building addition prioritizes new amenities and employment opportunities on the West Side. The request furthers Policy 5.4.2
- a) Ensure adequate capacity of land zoned for commercial, office, and industrial uses west of the Rio Grande to support additional job growth.
 - The requested site plan amendment and concurrent zone map amendment furthers Policy 5.4.2 a as it will correct zoning to ensure adequate capacity of land zoned for commercial uses on the west side of the Rio Grande to support additional job growth. The request will ensure the availability of commercial uses for improved light vehicle sales, rental and storage while optimizing the capacity for commercial zoned land on the west side. The request furthers Policy 5.4.2 a.

7.2 Chapter 8 – Economic Development

Goal 8.1 – Placemaking: Create places where businesses and talent will stay and thrive.

• The proposed development would create jobs for a range of vocational workers with varying skills and salary ranges. The request also continues and encourages commercial development within the Kia Westside Auto Dealership site plan, which was approved in 2003 by the EPC. This request establishes development and stability and creates places

where businesses and talent will stay and thrive. The request is consistent with Goal 8.1 – Placemaking.

Policy 8.1.2 Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

• The proposed site plan amendment would encourage an economic development effort that would improve the quality of life for new and existing residents by allowing a range of land uses at the appropriate location, scale, intensity, and density. The subject site is located between the Coors/Paseo del Norte activity center to the south, the Cottonwood employment center to the north, and the Coors Blvd corridor to the east and within an area of consistency. Development within the site would foster a robust, resilient, and diverse economy because the request would provide a needed high-quality use that would benefit the community. Further, the development would be an infill development and would maximize existing infrastructure and resources such as public transit, and would provide opportunity for new jobs, thus ensuring a resilient economy. The request furthers Policy 8.1.2 – Resilient Economy.

Goal 8.2 – Entrepreneurship: Foster a culture of creativity and entrepreneurship and encourage private businesses to grow.

• The approval of this request would encourage private business to grow because it consists of the expansion of commercial services proposed within the Kia Westside Auto Dealership Site Plan approved in 2033. The expansion development of this site shows the growth potential and need for additional light vehicle service amenities in the Northwest Mesa CPA. The request is consistent with Goal 8.2 – Entrepreneurship.

8. Site Plan – EPC – Major Amendment – Review and Decision Criteria

6-6(I)(3)(a): The Site Plan is consistent with the ABC Comp Plan, as amended.

As discussed above, the requested Site Pan - Major Amendment will benefit the surrounding neighborhood because it is consistent with the ABC Comp Plan and the applicable Goals and Policies therein and clearly facilitating the implementation of the ABC Comp Plan as shown in the previous analysis. The analysis describes how the proposed Site Plan Amendment and concurrent Zone Map Amendment is consistent with Goals and Policies regarding Centers and Corridors, Land Uses, Infill Development, Efficient Development Patterns, West Side Jobs, and Entrepreneurship. These Goals and policies are supported because the request will provide much needed high density, and infill development on the westside where services are needed and desired. Further, the subject site is within 880-feet from a Major Transit Corridor – Coors Blvd, and within an area of consistency. The request meets criterion a.

6-6(I)(3)(b): The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

• The site plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and related development agreements and/or regulations. The request meets criterion b.

6-6(I)(3)(c): The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

• The subject site is beholden to the Kia Westside Auto Dealership, Site Plan from 2003. Following the approval of this request, development will comply with all applicable provisions of the IDO, the DPM, and other City regulations and the terms established in the original approval. The request meets criterion c.

6-6(I)(3)(d): The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

• The City's existing infrastructure has adequate capacity for the proposed development. We will be making all required submittals to Hydrology, Transportation, etc. The request meets criterion d.

6-6(I)(3)(e): The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

• The request mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable. The Major Amendment would expand a current use to the existing Kia Westside Auto Dealership site plan. The spirit of the existing, controlling site plan, which was approved in 2003, is maintained. The proposed subject site is within the boundary of the Coors Boulevard Character Protection Overlay Zone and is within an area of consistency. Not only are adverse impacts mitigated, but the request will also be a benefit to the surrounding area and communities by efficiently developing a service through the use of existing infrastructure and public facilities. The request meets criterion e.

6-6(I)(3)(f): If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

• The subject site is not within any Master Development Plan boundaries. However, the subject site is beholden to the Kia Westside Auto Dealership Site Plan, and the IDO. The proposed site plan amendment adheres to the controlling site plan, and the IDO and relevant standards applicable to the zone district the subject property is in. The request meets criterion f.

6-6(I)(3)(g): If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative

Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

• A cumulative impact analysis is not required in this location because it does not fall within a Railroad and Spur Small Area. The request meets criterion g.

6-6(I)(3)(h): If an outdoor or site lighting performance analysis is requested, the proposed lighting design must prove it will not adversely affect the lighting requirements of Section 14-16-5-2(E) without sufficient mitigation and benefits that outweigh the expected impacts.

• The outdoor lighting is beholden to the Kia Westside Auto Dealership Site Plan of 2003. This Site plan limits the site lighting to an off-site luminance no greater than 1000-foot lamberts and the mounting height of luminaries in vehicular and/or storage areas to no higher than 20 feet. The request meets criterion h.

9. Conclusion

In conclusion, the proposed development expansion for light vehicle service repair center and showroom expansion with storage is a highly suitable project for the Northwest Mesa Community Planning Area. The project aligns with the NR-BP and NR-C zoning requirements, leverages existing infrastructure, and fulfills a critical need for non-residential amenities on the Westside. By promoting infill development and sustainable growth, it enhances the utility of the Westside and supports the broader goals of the ABC Comprehensive Plan. The request also aligns with the controlling Westside Kia Auto-Dealership Site Plan adopted prior to the adoption of the IDO.

This development will foster economic growth by creating jobs and encouraging further business activity in an existing lot used for light vehicle sales, repair, rental and storage. It will improve the quality of life for residents by providing much-needed services on the westside, thereby strengthening the community's identity and resilience.

The proposed amendment furthers a preponderance of Goals and Polices (5.1, 5.1.1, 5.2, 5.2.1, 5.3, 5.3.1, 5.4, 5.4.2, 8.1, 8.1.2, 8.2) regarding community connectivity, sustainable development, and job growth, particularly in the Northwest Mesa Community Planning Area, and others. These Goals and policies are supported because the request would provide much needed high density, infill development near major transit corridors and within an area characterized by NR-BP development. Further, the subject site expansion of 5968 square feet shows the growth potential and need for additional light vehicle service amenities in the Northwest Mesa CPA and encourages private business to grow and expand commercial services, within an area of consistency.

Tierra West LLC, on behalf of Pitre Holdings LLC C/O Robert G Pitre LLC, respectfully seeks that this Site Plan Major Amendment for the subject site, currently operated as a car dealership and service center is considered and approved by the Environmental Planning Commission. The

proposed expansion includes a 5,968 square foot addition, which exceeds the allowable minor amendment thresholds, necessitating this request for a major amendment. We are committed to following the appropriate procedures outlined in the IDO and controlling Site Plan of 2003. We appreciate your consideration in this matter.

Sincerely,

Donna Sandoval Planner

Cc: Ron Cambell, Robert Pitre, Scott Simkins

JN: 2024019 DS/sl/rrb/at

ERRA

August 28. 2024

Mr. Jonathan R. Hollinger, Chair Environmental Planning Commission City of Albuquerque P.O. Box 1293 Albuquerque, NM 87103

RE: ALL EPC SUBMITTALS 9640 EAGLE RANCH RD NW, ABQ, NM, 87114 TRACT B-1 PLAT OF TRACT B-1 AND B-2 OF ADOBE WELLSSUBDIVISION CONT 5.8965 AC AND TR C-1 SUBD PLAT MAP FOR ADOBE WELLS SUBD CONT 19,079 SQ FT ZONE ATLAS PAGE B-13-Z

Dear Mr. Hollinger:

The purpose of this letter is to authorize Tierra West, LLC to act as agent on behalf of Pitre Holdings LLC C/O Robert G Pitre LLC pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

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Print Name	
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Date	

FORM SP: PRE-APPROVALS/SIGNATURES

Legal Description & Location: TRACT B-1 PLAT OF TRACT B-1 AND B-2, and TRACT C-1 ADOBE WELLS SUBDIVISION 9640 EAGLE RANCH RD NW

Request Description: <u>EPC</u> Site Plan - Major Amendment to add additional service bay.

□ <u>Hydrology</u>:

 Sensitive Lands Analysis (5-2(C)) Grading and Drainage Plan AMAFCA Bernalillo County NMDOT MRGCD 	Approved Approved Approved Approved Approved Approved Approved	NA NA NA NA NA NA NA
Hydrology Department	Date	
 Traffic Circulations Layout (TCL) Traffic Impact Study (TIS) Neighborhood Impact Analysis (NIA) Bernalillo County MRCOG NMDOT MRGCD Ernest Ornigo Transportation Department 	X Approved Approved Approved Approved Approved Approved Approved 6/10/2025 Date	×NA×NA×NA×NA×NA×NA×NA

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

	•	Request for Availability submitted?	Yes	No	NA
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- Availability Statement/Serviceability Letter Number_ •
- Note: Commitment for service is required prior to application approval. •

ABCWUA	Date	
Infrastructure Improvements Agre	ement (IIA*)	Approved
Solid Waste Department Signatur	re on the Plan	Approved
Fire Marshall Signature on the Pla	an	Approved

•	0	()	!!	
olid Waste Department Sig	gnature on	i the Plan	Approved	NA
re Marshall Signature on t	he Plan		Approved	NA

NA

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

FORM SP: PRE-APPROVALS/SIGNATURES

NA

Legal Description & Location: TRACT B-1 PLAT OF TRACT B-1 AND B-2, and TRACT C-1 ADOBE WELLS SUBDIVISION 9640 EAGLE RANCH RD NW

Request Description: EPC Site Plan - Major Amendment to add additional service bay.

□ <u>Hydrology:</u>

 Sensitive Lands Analysis (5-2(C)) Grading and Drainage Plan AMAFCA Bernalillo County NMDOT MRGCD 	Approved	NA
□ <u>Transportation:</u>		
 Traffic Circulations Layout (TCL) Traffic Impact Study (TIS) Neighborhood Impact Analysis (NIA) Bernalillo County MRCOG NMDOT MRGCD 	Approved	NA NA NA NA NA NA NA
Transportation Department	Date	
Albuquerque Bernalillo County Water	r Utility Authority (ABCWUA)	:
 Request for Availability submitted? Availability Statement/Serviceability Lett Note: Commitment for service is required 	YesNoNA er Number	-
ABCWUA	Date	
 Infrastructure Improvements Agreement (IIA Solid Waste Department Signature on the F 		NA NA

Fire Marshall Signature on the Plan
 Approved

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

FORM SP: PRE-APPROVALS/SIGNATURES

Legal Description & Location: TRACT B-1 PLAT OF TRACT B-1 AND B-2, and TRACT C-1 ADOBE WELLS SUBDIVISION 9640 EAGLE RANCH RD NW

Request Description: EPC Site Plan - Major Amendment to add additional service bay.

□ <u>Hydrology:</u>

•	Sensitive Lands Analysis (5-2(C)) Grading and Drainage Plan	Approved	NA
•	AMAFČA	Approved	NA
•	Bernalillo County NMDOT	Approved Approved	NA NA
•	MRGCD	Approved	NA

Hydrology Department

Date

□ <u>Transportation</u>:

٠	Traffic Circulations Layout (TCL)	Approved	NA
•	Traffic Impact Study (TIS)	Approved	NA
•	Neighborhood Impact Analysis (NIA)	Approved	NA
•	Bernalillo County	Approved	NA
•	MRCOG	Approved	NA
•	NMDOT	Approved	NA
٠	MRGCD	Approved	NA

Transportation Department

Date

Albuguergue Bernalillo County Water Utility Authority (ABCWUA):

•	Request for Availability submitted?	<u> </u>	No	NA
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Availability Statement/Serviceability Letter Number 240915

• Note: Commitment for service is required prior to application approval.

alveston Begaye ABCWUA

06/10/2025 Date

Infrastructure Improvements Agreement (IIA*)	Ap
Solid Waste Department Signature on the Plan	n Ap

Fire Marshall Signature on the Plan

Approved	NA
Approved	NA
Approved	NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)



ACCESSIBLE PARKING SPACES: 9' x 20' ACCESSIBLE PARKING ACCESS AISLES: 8' x 20' MOTORCYCLE PARKING SPACES: 4' x 8' 4' x 8' SECTION 5-11 IS NOT APPLICABLE TO THIS PROJECT. PROJECT CONSISTS OF AN ADDITION TO AN EXISTING BUILDING, LESS

PD ____ RANCH

THAN 50% OF EXISTING BUILDING AREA & LESS THAN 15,000 SF EXISTING BUILDING IS NOT LISTED ON OR ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES OR THE STATE REGISTER OF CULTURAL PROPERTIES.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way











GENERAL NOTES

- ALL EXTERIOR FINISHES, MATERIALS, COLORS, SIGNAGE & GRAPHICS AS PER KIA CORPORATE DESIGN STANDARDS. CONSTRUCTION DRAWINGS ARE IN PROGRESS AT THE TIME OF THIS SUBMITTAL. SOME ASSEMBLIES, CONDITIONS, DETAILS AND/OR DIMENSIONS MAY BE SUBJECT TO MINOR MODIFICATIONS AS THE
- CONSTRUCTION DRAWINGS ARE FINALIZED. PLEASE REFER TO BUILDING PERMIT DRAWINGS FOR COMPLETED DESIGN.
- ROOF-MOUNTED HVAC UNITS SERVING SHOWROOM & OFFICES ARE ENTIRELY CONCEALED BEHIND PARAPETS & NOT VISIBLE FROM THE STREET.

KEYED NOTES

- ALUMINUM STOREFRONT GLAZING SYSTEM & DOORS, CLEAR ANODIZED FINISH. CLEAR LOW-IRON LOW-E INSULATED GLAZING.
- ALUMINUM COMPOSITE PANEL SYSTEM ALPOLIC / FR. COLOR: TOB BLACK.
- ALUMINUM COMPOSITE PANEL SYSTEM ALPOLIC / FR. COLOR: BSX SILVER METALLIC.
- DRYVIT "OUTSULATION PLUS MD" EIFS WITH MOISTURE DRAINAGE. COLOR: TO MATCH BENJAMIN MOORE BM HC-169 COVENTRY GRAY. REPAINT EXISTING METAL BUILDING WALL PANELS & CMU WALLS. COLOR: BENJAMIN MOORE BM HC-169
- COVENTRY GRAY. PAINT NEW & EXISTING HOLLOW METAL DOORS & FRAMES & METAL ROLL-UP DOORS. COLOR: BENJAMIN
- MOORE BM HC-169 COVENTRY GRAY. NEW METAL BUILDING WALL PANELS. MATCH COLOR OF REPAINTED EXISTING METAL BUILDING PANELS.
- EG-1 FRONT LOGO, METALLIC SILVER FINISH, 2" DEEP
- LETTERS WITH BACKLIT 1" STAND-OFF, 12'-9" Ŵ x 3'-0" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS. EG-2 SIDE LOGO, METALLIC SILVER FINISH, 2" DEEP LETTERS WITH BACKLIT 1" STAND-OFF, BACKLIT, 12'-9" W x 3'-0" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- 0. EG-3 DEALER NAME SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 7'-10" W x 2'-0" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-4 SERVICE SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 8'-3" W x 1'-6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-4 EXPRESS SIGN, 3" DEEP LETTERS, DIE-CUT METAL, 2'-11" W x 6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-5 DELIVERY SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 10'-2" W x 1'-6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- I. PARTS SIGN, CONSTRUCTION TO MATCH EG-4 EXPRESS SIGN. 3'-0" W \times 8" HIGH. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- ROOF MOUNTED EVAPORATIVE COOLERS ON STANDS, LOCATED AT REAR OF FACILITY, NOT VISIBLE FROM STREET.





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	46	HELICTOTRICHON	BLUE AV
	100	SALVIA GREGGII	CHERRY
	66	LAVANDULA	LAVENDE
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DRAINAGE SUMMARY:

THE SITE IS LOCATED WITHIN TRACT B-1 AND C-1 OF THE ADOBE WELLS SUBDIVISION. THE IMPROVEMENTS TO THE 6.4 ACRE PROPERTY (TWO TRACTS) INCLUDES A 5,700 SF BUILDING EXPANSION ALONG THE SE CORNER OF THE EXISTING BUILDING. AS PART OF THIS EXPANSION, 11 PARKING SPACES WILL BE REMOVED AND A PARING ISLAND WILL BE RELOCATED ACCORDINGLY. AS PART OF THESE ADDITIONS, THERE WILL BE ASSOCIATED PARKING STALL RELOCATING AND RESTRIPING AS WELL AS AN EXTENSION TO THE PAVED ACCESS ROAD THAT WILL WRAP AROUND THE SE CORNER OF THE BUILDING.

THE PROPOSED ADDITIONS TO THE SITE WILL ENCUMBER 5,230 SQUARE FEET OF LAND AREA THAT WAS PREVIOUSLY COMPOSED OF LAND TREATMENT C. THIS PREVIOUSLY PERVIOUS AREA WILL NOW BE COMPLETELY IMPERVIOUS AND WILL BE COMPOSED OF LAND TREATMENT D PER CHAPTER 6 OF THE CITY OF ALBUQUERQUE (COA) DEVELOPMENT PROCESS MANUAL (DPM). LYING WITHIN ZONE 1, THIS ADDITIONAL IMPERVIOUS AREA WILL ACCOUNT FOR A SUPPLEMENTARY VOLUME OF STORM WATER RUNOFF DURING THE 100-YEAR, 6-HOUR STORM EVENT. THIS ADDITIONAL ONSITE FLOW WILL BE CONVEYED TO ONE OF TWO EXISTING WATER QUALITY INLETS LOCATED AT THE SOUTHERN EDGE OF THE SITE TO MATCH HISTORIC RUNOFF PATTERNS FOR THIS DEVELOPMENT. THE ASSOCIATED STORM WATER QUALITY VOLUME INCREASE FOR THIS ADDITION TO THE IMPERVIOUS AREA WILL BE 113.3 CUBIC FEET PER THE REQUIREMENTS LAID OUT IN THE DPM. A PAYMENT-IN-LIEU WILL BE REQUESTED AS A WAIVER TO ONSITE STORM WATER QUALITY VOLUME INFRASTRUCTURE IMPROVEMENTS DUE TO THE EXISTING SITE CONSTRAINTS AND MINIMAL SITE MODIFICATIONS PROPOSED. EXISTING FACILITY 5054.40 15053.95 +5053.51 45056.06 -EX_SD_MH#962 WITH GRATED LID 1.00%IM=5047.65 INV(SW)=5037. ·2·2 05-00 3.00% 1.87% 2.00% <u>4.65%</u> /5053.08V(NE)=5037. 5057.43 5053.60 5053.04 5053.96 5055.54 50/52.35 2.80% -5056.55 🔨 🗡 5056.57 EOP 5056.17 `⊄EOP _____s___ +5052.74 5052.28 - EX WATER QUALITY INLET \$5054.25 EX SD MH TYPE "E RIM=5052.28 GRATE=5051.60 INV(SE,SW)=5037.80 INV(NE)=5037.70 +5054.00 5054.61 5051.60 5052.06 5051. 5053.50 ____w_____ts* w___ 5053.07 5051.80 5052.21 5052.6<u>4</u> 5046.32 bow

EROSION CONTROL NOTES:

. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

NOTES:

1. TIE TO PROJECT BENCHMARK ACS MONUMENT "2-B13" 894.97' N 17' 58' 31" E @ X:377098.54, Y:1525859.94; ELEV:5068.204(NGVD29)

2. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

3. ALL SLOPE TIES MAXIMUM OF 3:1.



NOTICE TO CONTRACTORS

- 1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

<u>se</u>

(IN FEET)

1 inch = 40 ft.

- 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



From:	Office of Neighborhood Coordination
To:	Donna Sandoval
Subject:	9640 EAGLE RANCH RD NW _Public Notice Inquiry Sheet Submission
Date:	Monday, August 12, 2024 11:49:26 AM
Attachments:	image001.png 2024019 ZoneAtlasPage_8-13-Z.pdf

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

		First	Last						Mobile	
Association Name	Association Email	Name	Name	Email	Address Line 1	City	State	Zip	Phone	Phone
					6005 Chaparral Circle					
Paradise Hills Civic Association	phcassoc@gmail.com	Elizabeth	Haley	elizabethkayhaley@gmail.com	NW	Albuquerque	NM	87114	5054074381	
Paradise Hills Civic Association	phcassoc@gmail.com	Kym	Fleck	kym.fleck@gmail.com	10216 La Paz Dr NW	Albuquerque	NM	87114		5052708886
					5515 Palomino Drive					
Westside Coalition of Neighborhood Associations		Rene	Horvath	aboard111@gmail.com	NW	Albuquerque	NM	87120	5059852391	5058982114
					6005 Chaparral Circle					
Westside Coalition of Neighborhood Associations		Elizabeth	Haley	elizabethkayhaley@gmail.com	NW	Albuquerque	NM	87114	5054074381	

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: <u>devhelp@cabq.gov</u>, or visit: https://www.cabq.gov/planning/online-planning-permitting-applications with those types of questions.

Please note the following:

• You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.

- Please use this online link to find the required forms you will need to submit your permit application. <u>https://www.cabq.gov/planning/urban-design-development/public-notice</u>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
 The Administrative Decision form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
 The Administrative Decision form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-form-2019.pdf.
- Princ Administrative Decision form you need for industrying neighborhood associations can be found here. <a href="https://documents.cade.gov/panimig/online-forms/robic-
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): http://www.caba.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table

Thank you,

Suzie



Suzie Flores

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque (505) 768-3334 Office E-mail: <u>suzannaflores@cabq.gov</u> Website: <u>www.caba.gov/neighborhoods</u>

From: webmaster@cabq.gov <webmaster@cabq.gov> Sent: Monday, August 12, 2024 11:13 AM To: Office of Neighborhood Coordination <dsandoval@tierrawestllc.com> Cc: Office of Neighborhood Coordination <onc@cabq.gov> Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For: Environmental Planning Commission If you selected 'Other' in the question above, please describe what you are seeking a Public Notice Inquiry for below: Contact Name Doma Sandoval Telephone Number Telephone Number 5058583100 Email Address <u>dsandoval@tierrawestllc.com</u> Company Name Tierra West, LLC Tierra west, Lee Company Address 5571 Midway Park Place NE City Albuquerque State NM ZIP 87109 Legal description of the subject site for this project: TRACT B-1 PLAT OF TRACT B-1 AND B-2 ADOBE WELLSSUBDIVISION CONT 5.8965 AC Physical address of subject site 9640 EAGLE RANCH RD NW ALBUOUEROUE NM 87114 Subject site cr Subject site cross streets: Eagle Ranch RD NW and Westside Dr NW Other subject site identifiers: West side Pitre KIA Car Dealership This site is located on the following zone atlas page: B-13-Z Captcha x

From:	Donna Sandoval				
То:	phcassoc@gmail.com; elizabethkayhaley@gmail.com; kym.fleck@gmail.com; aboard111@gmail.com; elizabethkayhaley@gmail.com				
Cc:	<u>Sergio Lozoya; Amadeo Trujillo</u>				
Subject:	[#2024019] REQUEST FOR NEIGHBORHOOD MEETING				
Date: Friday, August 23, 2024 10:25:21 AM					
Attachments:	1. CABQ Public Notice Checklist.pdf				
	2. Emailed-Mailed-Notice-PublicHearing-Print&Fill.pdf				
	3. Zone Atlas Map B-13-Z.pdf				
	4. Pitre Kia Albuquerque Schematic Designpdf				
	5. ONC Contact Sheet.pdf				

REQUEST FOR NEIGHBORHOOD MEETING

Date: 08/23/2024

To Whom This May Concern:

I am requesting approval from the Environmental Planning Commission within the City of Albuquerque for a Major Site Plan - EPC. The Pitre Kia dealership will be building an addition of 5700 square feet. This consists of more than a 10% increase in building footprint and makes it a Major Site Plan - EPC

Property owner: Pitre Holdings LLC C/O Robert G Pitre Agent: Tierra West, LLC Property Address: 9640 Eagle Ranch Rd NW, Albuquerque Nm 87114

See attached proposed site plan with elevations, zone atlas map and public notice of a hearing forms. This letter is an offer to meet with you to provide additional information. If you wish to meet, please respond within 15 days. If you do not want to meet, or you support the proposal, please let me know.

Please note: "You may submit written comments to the Zoning Hearing Examiner up to 6 days before the hearing (5pm on the Wednesday before the hearing). Written comments received after that deadline will not be taken into consideration for this application.

Respectfully, Donna Sandoval Planner 5571 Midway Park Pl., NE Albuquerque, NM 87109 505-858-3100 505-858-1118 (fax) DSandoval@tierrawestllc.com www.tierrawestllc.com



OFFICIAL PUBLIC NOTIFICATION FORM FOR MAILED OR ELECTRONIC MAIL NOTICE CITY OF ALBUQUERQUE PLANNING DEPARTMENT



Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following: Application Type: Site Plan - EPC Decision-making Body: Environmental Planning Commission (EPC) Pre-Application meeting required: OYesONo Neighborhood meeting required: OYesONo Bailed Notice required: OYesONo Is this a Site Plan Application: OYesONo Is this a Site Plan Application: OYesONo Note: if yes, see second page PART II – DETAILS OF REQUEST Address of property listed in application: 9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114 Name of property owner: PITRE HOLDINGS LLC C/O ROBERT G PITRE Name of applicant: Agent - Donna Sandoval, Tierra West LLC Date, time, and place of public meeting or hearing, if applicable: November 21st, 8:40AM, Agenda/meeting materials: http://www.cabq.gov/planning/boards-commissions Address, phone number, or website for additional information: Agent - Donna Sandoval, Tierra West LLC - dsandoval@tierrawestlc.com, 505-858-3100 PART II - ATTACHMENTS REQUIRED WITH THIS NOTICE Constant and page indicating subject property. Constant and proventy including explanations of this request. Summary of pre-submittal neighborhood meeting, if applicable. Commary of pre-submittal neighborhood meeting, if applicable. Commary of request, including explanations of deviations, variances, or waivers. IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO IDO §14-16-6-4(K). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	PART I - PROCESS					
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PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON	IMPORTANT:					
	PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO IDO §14-16-6-4(K).					
	PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON					
	APPLICATION.					

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Donna Sandova	Digitally signed by Donna Sandoval		8/23/24	
	Date: 2024.08.23 09:08:25 -06'00'	(Applicant signature)		(Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO §14-16-6-9(B)(3) and may lead to a denial of your application.

CITY OF ALBUQUERQUE, PLANNING DEPARTMENT, 600 2ND ST. NW, ALBUQUERQUE, NM 87102 505.924.3860

www.cabq.gov Printed 6/5/2024



OFFICIAL PUBLIC NOTIFICATION FORM FOR MAILED OR ELECTRONIC MAIL NOTICE CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN & LC APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

✓ a. Location of proposed buildings and landscape areas.

 \checkmark b. Access and circulation for vehicles and pedestrians.

✓ c. Maximum height of any proposed structures, with building elevations.

d. For residential development: Maximum number of proposed dwelling units.

✓ e. For non-residential development:

✓ Total gross floor area of proposed project.

Gross floor area for each proposed use.

www.cabq.gov Printed 6/5/2024



Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

Notificación de Acceso Lingüístico. Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102. 語言輔助通知。我們提供免費口譯 服務,以幫助你與我們溝通。如果 你需要幫助,你可以在我們部門的 任何服務台請求口譯,服務台位於 Plaza Del Sol大樓,600 2nd Street NW,阿爾伯克基,NM 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102. Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

Date of Notice*: 8/23/24

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) <u>§14-16-6-4(K) Public Notice</u>. This notice is being provided to *(mark as relevant)*:



Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.¹

Property Owners within 100 feet of the Subject Property.

Information Required by IDO §14-16-6-4(K)(1)(a)

- 1. Subject Property Address* 9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114 Location Description At the intersection of Eagle Ranch Rd NW & Westside Dr NW
- 2. Property Owner* PITRE HOLDINGS LLC C/O ROBERT G PITRE
- 3. Agent/Applicant* [if applicable] Agent Donna Sandoval, Tierra West LLC
- 4. Application Type(s)²* per IDO <u>Table 6-1-1</u>

~	Site Plan – EPC	
	Subdivision	_ (Minor or Major or Bulk Land)
	Vacation	_ (Easement/Private Way or Public Right-of-way)
\square	Variance – EPC	
	Waiver	(DHO or Wireless Telecommunication Facility)
~	Other:	

Summary of project/request^{3*}:

Pitre Kia Dealership building addition of 5700 SF to service 12 additional cars in the service bay

5. This application will be decided at a public meeting or hearing by*:

Development Hearing Officer (DHO)

Landmarks Commission (LC)

Environmental Planning Commission (EPC)

¹ If this box is marked, the Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination must be included as an attachment.

² Applications for the Zoning Hearing Examiner require a public notice form available here:

https://www.cabq.gov/planning/boards-commissions/zoning-hearing-examiner. Otherwise, mark all that apply. ³ Attach additional information, as needed to explain the project/request.
Hearing Date/Time*: November 21st at 8:40AM
Location ^{*4} : https://cabq.zoom.us/j/88163635817
Agenda/meeting materials: <u>http://www.cabq.gov/planning/boards-commissions</u>
To contact staff, email <u>devhelp@cabq.gov</u> or call the Planning Department at 505-924-3860 and
select the option for "Boards, Commissions, and ZHE Signs."
6. Where more information about the project can be found*:
Preferred project contact information:
Name: Agent - Donna Sandoval, Tierra West LLC
Email: dsandoval@tierrawestllc.com
Phone: 505-858-3100
 Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination* Others: CABQ Public Notice Form, Proposed Site Plan drawings
Online website or project page:
Project Information Required for Mail/Email Notice by <u>IDO §14-16-6-4(K)(1)(b)</u> :
1. Zone Atlas Page(s)* ⁵ B-13-Z
2. Project Illustrations, as relevant ^{*6}
Architectural drawings
Elevations of the proposed building(s)
✔ Other illustrations of the proposed application
See attachments or the website/project page noted above for the items marked above.
3. The following exceptions to IDO standards have been requested for this project*:
Deviation(s) Variance(s) Waiver(s)
Explanation*: N/A

⁴ Physical address or Zoom link

⁵ Available online here: <u>http://data.cabq.gov/business/zoneatlas</u>

⁶ While not required for applications other than Site Plan – EPC, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project. For Site Plan – EPC, see additional attachments required below.

A Pre-submittal Neighborhood Meeting was required by <u>Table 6-1-1</u>: Yes No
 Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

- 5. *For Site Plan Applications only**, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. For residential development*: Maximum number of proposed dwelling units.
 - e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information from IDO Zoning Map⁷:

- 1. Area of Property [typically in acres] 6.3345
- 2. IDO Zone District NR-BP
- 3. Overlay Zone(s) [if applicable] CPO-2
- 4. Center or Corridor Area [if applicable]

Current Land Use(s) [vacant, if none] Commercial Services, Light vehicle sales and rental

NOTE: Pursuant to <u>IDO §14-16-6-4(L)</u>, property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at <u>devhelp@cabq.gov</u> or 505-924-3860 and select option for "Boards, Commissions, and ZHE Signs."

Useful Links

Integrated Development Ordinance (IDO): <u>https://ido.abc-zone.com</u> IDO Interactive Map: <u>https://tinyurl.com/idozoningmap</u>

⁷ Available here: <u>https://tinyurl.com/idozoningmap</u>

ALBUQUE Planning

Language Access Notice:

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Notificación de Acceso Lingüístico. Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102. 語言輔助通知。我們提供免費口譯 服務,以幫助你與我們溝通。如果 你需要幫助,你可以在我們部門的 任何服務台請求口譯,服務台位於 Plaza Del Sol大樓,600 2nd Street NW,阿爾伯克基,NM & 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102. Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.









PROPOSED SOUTH ELEVATION

PROPOSED EAST ELEVATION



PROPOSED NORTH ELEVATION

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PROPOSED WEST ELEVATION





OVERALL VIEW FROM NORTHEAST



SHOWROOM/VEHICLE DELIVERY VIEW FROM NORTHEAST



SHOWROOM/VEHICLE DELIVERY CLOSE-UP VIEW FROM NORTHEAST







OVERALL VIEW FROM NORTHWEST

SHOWROOM/SERVICE RECEPTION VIEW FROM NORTHWEST

SHOWROOM CLOSE-UP VIEW FROM NORTHWEST



From:	Office of Neighborhood Coordination
To:	Donna Sandoval
Subject:	9640 EAGLE RANCH RD NW _Public Notice Inquiry Sheet Submission
Date:	Monday, August 12, 2024 11:49:26 AM
Attachments:	image001.png 2024019 ZoneAtlasPage_8-13-Z.pdf

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

		First	Last						Mobile	
Association Name	Association Email	Name	Name	Email	Address Line 1	City	State	Zip	Phone	Phone
					6005 Chaparral Circle					
Paradise Hills Civic Association	phcassoc@gmail.com	Elizabeth	Haley	elizabethkayhaley@gmail.com	NW	Albuquerque	NM	87114	5054074381	
Paradise Hills Civic Association	phcassoc@gmail.com	Kym	Fleck	kym.fleck@gmail.com	10216 La Paz Dr NW	Albuquerque	NM	87114		5052708886
					5515 Palomino Drive					
Westside Coalition of Neighborhood Associations		Rene	Horvath	aboard111@gmail.com	NW	Albuquerque	NM	87120	5059852391	5058982114
					6005 Chaparral Circle					
Westside Coalition of Neighborhood Associations		Elizabeth	Haley	elizabethkayhaley@gmail.com	NW	Albuquerque	NM	87114	5054074381	

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: <u>devhelp@cabq.gov</u>, or visit: https://www.cabq.gov/planning/online-planning-permitting-applications with those types of questions.

Please note the following:

• You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.

- Please use this online link to find the required forms you will need to submit your permit application. <u>https://www.cabq.gov/planning/urban-design-development/public-notice</u>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
 The Administrative Decision form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
 The Administrative Decision form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-form-2019.pdf.
- Princ Administrative Decision form you need for industrying neighborhood associations can be found here. <a href="https://documents.cade.gov/panimig/online-forms/robic-
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): http://www.caba.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table

Thank you,

Suzie



Suzie Flores

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque (505) 768-3334 Office E-mail: <u>suzannaflores@cabq.gov</u> Website: <u>www.caba.gov/neighborhoods</u>

From: webmaster@cabq.gov <webmaster@cabq.gov> Sent: Monday, August 12, 2024 11:13 AM To: Office of Neighborhood Coordination <dsandoval@tierrawestllc.com> Cc: Office of Neighborhood Coordination <onc@cabq.gov> Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For: Environmental Planning Commission If you selected 'Other' in the question above, please describe what you are seeking a Public Notice Inquiry for below: Contact Name Doma Sandoval Telephone Number Telephone Number 5058583100 Email Address <u>dsandoval@tierrawestllc.com</u> Company Name Tierra West, LLC Tierra west, Lee Company Address 5571 Midway Park Place NE City Albuquerque State NM ZIP 87109 Legal description of the subject site for this project: TRACT B-1 PLAT OF TRACT B-1 AND B-2 ADOBE WELLSSUBDIVISION CONT 5.8965 AC Physical address of subject site 9640 EAGLE RANCH RD NW ALBUOUEROUE NM 87114 Subject site cr Subject site cross streets: Eagle Ranch RD NW and Westside Dr NW Other subject site identifiers: West side Pitre KIA Car Dealership This site is located on the following zone atlas page: B-13-Z Captcha x

From:	Donna Sandoval
То:	phcassoc@gmail.com; elizabethkayhaley@gmail.com; kym.fleck@gmail.com; aboard111@gmail.com; elizabethkayhaley@gmail.com
Cc:	<u>Sergio Lozoya; Amadeo Trujillo</u>
Subject:	RE: [#2024019] REQUEST FOR NEIGHBORHOOD MEETING
Date:	Wednesday, September 4, 2024 1:43:31 PM
Attachments:	1. CABQ_Public_Notice_Checklist.pdf 3. Zone Atlas Map_B-13-Z.pdf 4. Pitre Kia Albuquerque Schematic Designpdf 5. ONC_Contact_Sheet.pdf 2.1 Emailed-Mailed-Notice-PublicHearing-Print&Fill - ZMA added.pdf Floating_Zoning_Line to be Amended.pdf

Good Afternoon,

I wanted to follow up on the notice below and update the Neighborhood Associations that a Zone Map Amendment will be included in the Site Plan – EPC, Major Amendment. Please see attached updated documents that will reflect this modification.

Respectfully, Donna Sandoval Planner 5571 Midway Park Pl., NE Albuquerque, NM 87109 505-858-3100 505-858-1118 (fax) DSandoval@tierrawestllc.com www.tierrawestllc.com

From: Donna Sandoval
Sent: Friday, August 23, 2024 10:25 AM
To: phcassoc@gmail.com; elizabethkayhaley@gmail.com; kym.fleck@gmail.com; aboard111@gmail.com; elizabethkayhaley@gmail.com
Cc: Sergio Lozoya <SLozoya@tierrawestllc.com>; Amadeo Trujillo <ATrujillo@tierrawestllc.com>
Subject: [#2024019] REQUEST FOR NEIGHBORHOOD MEETING

REQUEST FOR NEIGHBORHOOD MEETING

Date: 08/23/2024

To Whom This May Concern:

I am requesting approval from the Environmental Planning Commission within the City of Albuquerque for a Major Site Plan - EPC. The Pitre Kia dealership will be building an addition of 5700 square feet. This consists of more than a 10% increase in building footprint and makes it a Major Site Plan - EPC

Property owner: Pitre Holdings LLC C/O Robert G Pitre Agent: Tierra West, LLC Property Address: 9640 Eagle Ranch Rd NW, Albuquerque Nm 87114 See attached proposed site plan with elevations, zone atlas map and public notice of a hearing forms. This letter is an offer to meet with you to provide additional information. If you wish to meet, please respond within 15 days. If you do not want to meet, or you support the proposal, please let me know.

Respectfully, Donna Sandoval Planner 5571 Midway Park Pl., NE Albuquerque, NM 87109 505-858-3100 505-858-1118 (fax) DSandoval@tierrawestllc.com www.tierrawestllc.com

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

Date of Notice*: 8/23/24

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) <u>§14-16-6-4(K) Public Notice</u>. This notice is being provided to *(mark as relevant)*:



Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.¹

Property Owners within 100 feet of the Subject Property.

Information Required by IDO §14-16-6-4(K)(1)(a)

- 1. Subject Property Address* 9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114 Location Description At the intersection of Eagle Ranch Rd NW & Westside Dr NW
- 2. Property Owner* PITRE HOLDINGS LLC C/O ROBERT G PITRE
- 3. Agent/Applicant* [if applicable] Agent Donna Sandoval, Tierra West LLC
- 4. Application Type(s)²* per IDO <u>Table 6-1-1</u>

~	Site Plan – EPC	
	Subdivision	_ (Minor or Major or Bulk Land)
	Vacation	_ (Easement/Private Way or Public Right-of-way)
	Variance – EPC	
	Waiver	(DHO or Wireless Telecommunication Facility)
~	Other:	

Summary of project/request^{3*}:

Pitre Kia Dealership building addition of 5700 SF to service 12 additional cars in the service bay

5. This application will be decided at a public meeting or hearing by*:

Development Hearing Officer (DHO)

Landmarks Commission (LC)

Environmental Planning Commission (EPC)

¹ If this box is marked, the Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination must be included as an attachment.

² Applications for the Zoning Hearing Examiner require a public notice form available here:

https://www.cabq.gov/planning/boards-commissions/zoning-hearing-examiner. Otherwise, mark all that apply. ³ Attach additional information, as needed to explain the project/request.

Hearing Date/Time*: November 21st at 8:40AM	
Location*4: https://cabq.zoom.us/j/88163635817	
Agenda/meeting materials: <u>http://www.cabq.gov/planning/boards-commissions</u>	
To contact staff, email <u>devhelp@cabq.gov</u> or call the Planning Department at 505-	924-3860 and
select the option for "Boards, Commissions, and ZHE Signs."	
6. Where more information about the project can be found*:	
Preferred project contact information:	
Name: Agent - Donna Sandoval, Tierra West LLC	
Email: dsandoval@tierrawestllc.com	
Phone: <u>505-858-3100</u>	
Neighborhood Coordination* Others: <u>CABQ Public Notice Form, Proposed Site Plan drawings</u> Online website or project page:	
Project Information Required for Mail/Email Notice by <u>IDO §14-16-6-4(K)(1)(b)</u> : 1. Zone Atlas Page(s)* ⁵ B-13-Z	
 Project Illustrations, as relevant*⁶ 	
Architectural drawings	
Elevations of the proposed building(s)	
✓ Other illustrations of the proposed application	
See attachments or the website/project page noted above for the items marked ab	ove.
3. The following exceptions to IDO standards have been requested for this project*:	
Deviation(s) Variance(s) Waiver(s)	
Explanation*: N/A	

⁴ Physical address or Zoom link

⁵ Available online here: <u>http://data.cabq.gov/business/zoneatlas</u>

⁶ While not required for applications other than Site Plan – EPC, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project. For Site Plan – EPC, see additional attachments required below.

4. A Pre-submittal Neighborhood Meeting was required by <u>Table 6-1-1</u>: Yes No Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

- 5. *For Site Plan Applications only**, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. For residential development*: Maximum number of proposed dwelling units.
 - e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information from IDO Zoning Map⁷:

- 1. Area of Property [typically in acres] 6.3345
- 2. IDO Zone District NR-BP
- 3. Overlay Zone(s) [if applicable] CPO-2
- 4. Center or Corridor Area [if applicable] ____

Current Land Use(s) [vacant, if none] Commercial Services, Light vehicle sales and rental

NOTE: Pursuant to <u>IDO §14-16-6-4(L)</u>, property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at <u>devhelp@cabq.gov</u> or 505-924-3860 and select option for "Boards, Commissions, and ZHE Signs."

Useful Links

Integrated Development Ordinance (IDO): <u>https://ido.abc-zone.com</u> IDO Interactive Map: <u>https://tinyurl.com/idozoningmap</u>

⁷ Available here: <u>https://tinyurl.com/idozoningmap</u>

ALBUQUE Planning

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Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102. Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

Owner	Owner Address	Owner Address 2
GARCIA AGENCY INC A NM CORPORATION	9660 1 EAGLE RANCH RD NW	ALBUQUERQUE NM 87114
GUADALQUIVIR LLC	PO BOX 26207	ALBUQUERQUE NM 87125
SPARTON SOUTHWEST INC ATTN: ACCOUNTING	5612 JOHNSON LAKE RD	DE LEON SPRINGS FL 32174
WWT REALTY CJ LLC	PO BOX 35130	ALBUQUERQUE NM 87176-5130
DESIGN & DEVELOPMENT GROUP LLC	8504 WATERFORD PL NE	ALBUQUERQUE NM 87122-2962
PITRE HOLDINGS LLC C/O ROBERT G PITRE	9797 EAGLE RANCH RD NW	ALBUQUERQUE NM 87114
PITRE HOLDINGS LLC C/O ROBERT G PITRE	9797 EAGLE RANCH RD NW	ALBUQUERQUE NM 87114
SPARTON TECHNOLOGY INC ATTN: ACCOUNTS		
PAYABLE	PO BOX 788	DE LEON SPRINGS FL 32130-0788
ALBUQUERQUE US EMPLOYEES FEDERAL CREDIT		
UNION	PO BOX 129	ALBUQUERQUE NM 87103-0129
EAGLE VISTA LLC ATTN: BRAD B ALLEN	9201 MONTGOMERY BLVD NE BLDG 1	ALBUQUERQUE NM 87111-2468
WWT REALTY CJ LLC	PO BOX 35130	ALBUQUERQUE NM 87176
RANCHO VISTA MOBILE HOME PARK LLC	7001 CHAPINGO RD NE	RIO RANCHO NM 87144-5601
ASPEN RANCH PARTNERS LLC ATTN: CLUBHOUSE	9677 EAGLE RANCH RD NW	ALBUQUERQUE NM 87114
LB/VCC EAGLE RANCH C/O VENTURE CORPORATION		
ATTN: EDWIN SIDDONS	1271 SIXTH AVE FLOOR 38TH	NEW YORK NY 10020



PS Form 3811, July 2020 PSN 7530-02-000-9053	2. Article Number (Transfer from service label)	9590 9402 8772 3310 5666 11	ALBUQUERQUE NM 87114	9797 EAGLE RANCH RD NW	1. Article Addressed to: PITRE HOLDINGS LLC C/O ROBERT G	Attach this card to the back of the mailplece, or on the front if space permits.	Print your name and address on the reverse so that we can return the card to you.	Complete Items 1, 2, and 3.	SENDER: COMPLETE THIS SECTION
(over \$500) Domestic Return Rec	Restricted Delivery	3. Service Type Adult Signature A			D. is delivery address different from item 17 Yes If YES, enter delivery address below: No	B. Received by (Printed Name) C. Date of De	X D Agen	A. Signature	COMPLETE THIS SECTION ON DELIVERY

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SERRA OVEST. LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE NM 87109

hulphur PITRE H 9797 E. ALBUQ DONN 5571 M HOLDINGS AGLE RAN A BOHANNAN LE RAN

SERRA OVEST, LLC SETT MIDWAY PARK PLACE NE ALBUQUERQUE NM 87109

DONN/ 5571 MI ALBUQ SPA PO E dulul

STI MIDWAY PARK PLACE NE ALBUQUERQUE NM 87109















Print your name and address on the reverse		Addressee
o that we can return the card to you. ttach this card to the back of the mallplece, r on the front if space permits.	B. Received by (Printed Name)	C. Date of Delivery
Article Addressed to: ALBUQUERQUE US EMPLOYEES EDERAL CREDIT UNION PO BOX 129 ALBUQUERQUE NM 87103-0129	D. Is delivery address different from If YES, enter delivery address t	
9590 9402 8772 3310 5665 81	3. Service Type Aduit Signature Aduit Signature Restricted Delivery Certified Mail® Certified Mail® Certified Mail Restricted Delivery Collect on Delivery	Priority Mail Express® Registered Mail ^{Tol} Registered Mail Restricted Delivery Signature Confirmation TM Signature Confirmation
Article Number (Transfer from service label)	Collect on Delivery Restricted Delivery Insured Mail Insured Mail Restricted Delivery (over \$500)	Restricted Delivery
Form 3811, July 2020 PSN 7530-02-000-9053		Domestic Return Receipt



October 7th, 2024

Neighboring Property Owner

RE: 9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114, TRACT B-1 PLAT OF TRACT B-1 AND B-2 ADOBE WELLSSUBDIVISION, TR C-1 SUBD PLAT MAP FOR ADOBE WELLS SUBD CONT 19,079 SQ FT

Greetings

Tierra west on behalf of Pitre Holdings, LLC is submitting an application for a Site Plan – EPC, Major Amendment for an approximately 6-acre site, legally described as Tract B-1 Plat of Tract B-1 And B-2, Adobe Wells Subdivision, and Tract C-1 SUB Plat Map for Adobe Wells Subdivision, located at 9797 Eagle Ranch Rd NW (the subject site). The application is for the development of a service bay addition of 5700SF and to extend the showroom by 268SF, for a total of 5,968 SF. The subject site has dual zoning, NR-BP and MX-M, which we are seeking to correct concurrently as a separate application. We are seeking site zoning to be wholly NR-BP to be consistent with the site's current use of Light Vehicle Sales and Rental.

Please see attached items for more information.

Property Owner: <u>Pitre Holdings LLC C/O Robert G Pitre LLC</u> Agent: <u>Tierra West, LLC</u>

Hearing Date: November 21st

Sincerely,

Donna Sandoval Planner

JN: 2024019 DS/rrb/at/sl



Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

Date of Notice*: 10/9/24

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) <u>§14-16-6-4(K) Public Notice</u>. This notice is being provided to *(mark as relevant)*:



Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.¹

Property Owners within 100 feet of the Subject Property.

Information Required by IDO §14-16-6-4(K)(1)(a)

- 1. Subject Property Address* 9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114 Location Description At the intersection of Eagle Ranch Rd NW & Westside Dr NW
- 2. Property Owner*PITRE HOLDINGS LLC C/O ROBERT G PITRE
- 3. Agent/Applicant* [if applicable] Agent Donna Sandoval, Tierra West LLC
- 4. Application Type(s)^{2*} per IDO <u>Table 6-1-1</u>

~	Site Plan – EPC	
	Subdivision	_ (Minor or Major or Bulk Land)
	Vacation	_ (Easement/Private Way or Public Right-of-way)
	Variance – EPC	
	Waiver	_(DHO or Wireless Telecommunication Facility)
	Other:	

Summary of project/request^{3*}:

Pitre Kia Dealership building addition of 5700 SF to service 12 additional cars in the service bay

& 268 ft showroom expansion.

5. This application will be decided at a public meeting or hearing by*:

Development Hearing Officer (DHO)

Landmarks Commission (LC)

Environmental Planning Commission (EPC)

¹ If this box is marked, the Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination must be included as an attachment.

² Applications for the Zoning Hearing Examiner require a public notice form available here:

https://www.cabq.gov/planning/boards-commissions/zoning-hearing-examiner. Otherwise, mark all that apply. ³ Attach additional information, as needed to explain the project/request.

	Hearing Date/Time*: November 21st at 8:40AM
	Location*4: https://cabq.zoom.us/j/88163635817
	Agenda/meeting materials: <u>http://www.cabq.gov/planning/boards-commissions</u>
	To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860 and
	select the option for "Boards, Commissions, and ZHE Signs."
6.	Where more information about the project can be found*:
	Preferred project contact information:
	Name:Agent - Donna Sandoval, Tierra West LLC
	Email: dsandoval@tierrawestllc.com
	Phone: 505-858-3100
[Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination* Others: <u>CABQ Public Notice Form, Proposed Site Plan drawings</u> Online website or project page:
Projec	t Information Required for Mail/Email Notice by IDO §14-16-6-4(K)(1)(b):
1.	Zone Atlas Page(s)*5 B-13-Z
2.	Project Illustrations, as relevant ^{*6}
[Architectural drawings
[Elevations of the proposed building(s)
[Other illustrations of the proposed application
_	See attachments or the website/project page noted above for the items marked above.
3.	The following exceptions to IDO standards have been requested for this project*:
Γ	Deviation(s) Variance(s) Waiver(s)
-	Explanation*: N/A

⁴ Physical address or Zoom link

⁵ Available online here: <u>http://data.cabq.gov/business/zoneatlas</u>

⁶ While not required for applications other than Site Plan – EPC, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project. For Site Plan – EPC, see additional attachments required below.

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: • Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred: No meeting was requested

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

5. *For Site Plan Applications only**, attach site plan showing, at a minimum:



- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*
 - d. For residential development*: Maximum number of proposed dwelling units.
 - e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information from IDO Zoning Map⁷:

- 1. Area of Property [typically in acres] 6.3345
- 2. IDO Zone District NR-BP
- 3. Overlay Zone(s) [if applicable] CPO-2
- 4. Center or Corridor Area [if applicable] <u>N/A</u>

Current Land Use(s) [vacant, if none] Commercial Services, Light vehicle sales and rental

NOTE: Pursuant to <u>IDO §14-16-6-4(L)</u>, property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at <u>devhelp@cabq.gov</u> or 505-924-3860 and select option for "Boards, Commissions, and ZHE Signs."

Useful Links

Integrated Development Ordinance (IDO): <u>https://ido.abc-zone.com</u> IDO Interactive Map: <u>https://tinyurl.com/idozoningmap</u>

⁷ Available here: <u>https://tinyurl.com/idozoningmap</u>

ALBUQUE Planning

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Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102. Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.





R. Concentration

AS1.1









GENERAL NOTES

- ALL EXTERIOR FINISHES, MATERIALS, COLORS, SIGNAGE & GRAPHICS AS PER KIA CORPORATE DESIGN STANDARDS. CONSTRUCTION DRAWINGS ARE IN PROGRESS AT THE TIME OF THIS SUBMITTAL. SOME ASSEMBLIES, CONDITIONS, DETAILS AND/OR DIMENSIONS MAY BE SUBJECT TO MINOR MODIFICATIONS AS THE
- CONSTRUCTION DRAWINGS ARE FINALIZED. PLEASE REFER TO BUILDING PERMIT DRAWINGS FOR COMPLETED DESIGN.
- ROOF-MOUNTED HVAC UNITS SERVING SHOWROOM & OFFICES ARE ENTIRELY CONCEALED BEHIND PARAPETS & NOT VISIBLE FROM THE STREET.

KEYED NOTES

- ALUMINUM STOREFRONT GLAZING SYSTEM & DOORS, CLEAR ANODIZED FINISH. CLEAR LOW-IRON LOW-E INSULATED GLAZING.
- ALUMINUM COMPOSITE PANEL SYSTEM ALPOLIC / FR. COLOR: TOB BLACK.
- ALUMINUM COMPOSITE PANEL SYSTEM ALPOLIC / FR. COLOR: BSX SILVER METALLIC.
- DRYVIT "OUTSULATION PLUS MD" EIFS WITH MOISTURE DRAINAGE. COLOR: TO MATCH BENJAMIN MOORE BM HC-169 COVENTRY GRAY. REPAINT EXISTING METAL BUILDING WALL PANELS & CMU WALLS. COLOR: BENJAMIN MOORE BM HC-169
- COVENTRY GRAY. PAINT NEW & EXISTING HOLLOW METAL DOORS & FRAMES & METAL ROLL-UP DOORS. COLOR: BENJAMIN
- MOORE BM HC-169 COVENTRY GRAY. NEW METAL BUILDING WALL PANELS. MATCH COLOR OF REPAINTED EXISTING METAL BUILDING PANELS.
- EG-1 FRONT LOGO, METALLIC SILVER FINISH, 2" DEEP
- LETTERS WITH BACKLIT 1" STAND-OFF, 12'-9" Ŵ x 3'-0" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS. EG-2 SIDE LOGO, METALLIC SILVER FINISH, 2" DEEP LETTERS WITH BACKLIT 1" STAND-OFF, BACKLIT, 12'-9" W x 3'-0" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- 0. EG-3 DEALER NAME SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 7'-10" W x 2'-0" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-4 SERVICE SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 8'-3" W x 1'-6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-4 EXPRESS SIGN, 3" DEEP LETTERS, DIE-CUT METAL, 2'-11" W x 6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-5 DELIVERY SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 10'-2" W x 1'-6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- I. PARTS SIGN, CONSTRUCTION TO MATCH EG-4 EXPRESS SIGN. 3'-0" W \times 8" HIGH. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- ROOF MOUNTED EVAPORATIVE COOLERS ON STANDS, LOCATED AT REAR OF FACILITY, NOT VISIBLE FROM STREET.



Public Notice of a Hearing in the City of Albuquerque for a Policy Decision

Date of Notice*: 10/9/24

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) IDO §14-16-6-4(K).¹



Emailed / mailed notice to Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.*

Mailed notice to Property Owners within 100 feet of the Subject Property.

Information Required by IDO §14-16-6-4(K)(1)(a)

- 1. Subject Property Address*9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114 Location Description 9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114
- 2. Property Owner* At the intersection of Eagle Ranch Rd NW & Westside Dr NW
- 3. Agent/Applicant [if applicable] _____ Agent Donna Sandoval, Tierra West LLC
- 4. Application(s) Type* per IDO <u>Table 6-1-1</u> [mark all that apply]

~	Zoning Map Amendment	 (EPC or Council)
	Other:	

Summary of project/request²*:

We are requesting to correct the floating MX-M zone line and make the site

wholly zoned NR-BP

5. This application will be decided at a public hearing by*:	
OEnvironmental Planning Commission (EPC)	O City Council
This application will be first reviewed and recommended by:	
OEnvironmental Planning Commission (EPC)	O Landmarks Commission (LC)
Not applicable (Zoning Map Amendment – EPC only)	
Hearing Date/Time*: November 21, 2024	
Location*3: November 21st at 8:40AM	

¹ Please mark as relevant. See IDO Table 6-1-1 for notice requirements.

² Attach additional information, as needed to explain the project/request.

³ Physical address or Zoom link

Agenda/meeting materials: <u>http://www.cabq.gov/planning/boards-commissions</u>

To contact staff, email <u>devhelp@cabq.gov</u> or call the Planning Department at 505-924-3860 and select the option for "Boards, Commissions, and ZHE signs."

6. Where more information about the project can be found*:

Preferred project contact name: Donna Sandoval

Email: dsandoval@tierrawestllc.com

Phone: 505-858-3500

Online website or project page:_____

Attachments:_____

Information Required for Mail/Email Notice by <u>IDO §14-16-6-4(K)(1)(b)</u>:

- 1. Zone Atlas Page(s)*⁴ B-13-Z
- 2. A Pre-submittal Neighborhood Meeting was required by <u>Table 6-1-1</u>: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred: No meeting was requested

[Note: The meeting report is required to be provided in the application materials.]

Additional Information from IDO Zoning Map⁵:

- 1. Area of Property [typically in acres] approximately 6.5 acres
- 2. IDO Zone District NR-BP
- 3. Overlay Zone(s) [if applicable] CPO-2
- 4. Center or Corridor Area [*if applicable*] Commercial Services, Light vehicle sales and rental
- 5. Current Land Use(s) [vacant, if none]

NOTE: Pursuant to <u>IDO §14-16-6-4(L)</u>, property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting up to 15 calendar days before the public hearing date. Contact the Planning Department at <u>devhelp@cabq.gov</u> or 505-924-3860 and select the option for "Boards, Commissions, and ZHE signs."

Integrated Development Ordinance (IDO): <u>https://ido.abc-zone.com</u>

⁴ Available online here: <u>http://data.cabq.gov/business/zoneatlas</u>

⁵ Available here: <u>https://tinyurl.com/idozoningmap</u>

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Development Information

Build out/Implementation Year: 2025 Existing Use: Car/Truck Dealership

City of Albuquerque

Planning Department Development Review Services Division

Traffic Scoping Form (REV 05/2024)

MEN MEN	Trank Scoping Form (Rev 05/	B13D002D
Project Title: Pitre Kia Albuque	que Dealership Renovations	
Zone Atlas Page: B-13-Z		BP #:
Development Street Address: 964	0 Eagle Ranch Rd. NW, Albuque	erque, NM 87114
(If no City Address include a Vicini	ty Map with site highlighted and legibl	e street names)
Applicant: Pitre Kia Address: 9640 Eagle Ranch Rd	. NW, Albuquerque, NM 87114	Contact: Scott Simkins
Phone#: 505-899-4848	_{E-mail:} ssimkims@pitrer	im.com
evelopment Information uild out/Implementation Year: 2025 xisting Use: Car/Truck Dealershi		
escribe Proposed Development and U		

Describe Proposed Development and Uses: New 5700 square foot automotive service addition with 12-bays on the southeast side of the existing facility, expand parking capacity, and make improvements to the exisiting on-site grading and drainage infrastructure.

Days and Hours of Operation (if known): Monday thru Saturday, 9am-6pm

Facility

Building Size (sq. ft.): 5700 square feet
Number of Residential Units: 0
Number of Commercial Units: 1
Traffic Considerations
Expected Number of Daily Visitors/Patrons (if known):* Unknown
Expected Number of Employees (if known):* Unknown
Expected Number of Delivery Trucks/Buses per Day (if known):* Unknown
Trip Generations during PM/AM Peak Hour and ITE # (if known):* <u>AM=12 Trips</u> , PM=25 Trips - ITE 942 Auto. Care
Driveway(s) Located on: Street Name 1 Exist. on Westside Dr. and 1 Exist. on Eagle Ranch Rd.
Adjacent Roadway(s) Posted Speed: Street Name Westside Drive Speed_25

Street Name Eagle Ranch Rd.

* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.

Speed 35

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation (e.g. Main Street, Major Transit, N/A): https://acha.more.org/acha.more/web/maria.wor/index.html?id=52h6716081b1/d25221a7a9240ad61b
$\frac{100}{100} \frac{100}{100} 10$
Comprehensive Plan Center Designation (e.g. urban center, Downtown, N/A): N/A
https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b
Street Functional Classification (e.g. Principal Arterial, Collector): Eagle Ranch Rd. Minor Arterial & Westside Dr. Local Rd.
https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b
Jurisdiction of roadway (NMDOT, City, County): City of Albuquerque
Adjacent Roadway(s):
Name: Westside Drive Traffic Volume: Unknown Volume-to-Capacity Ratio (v/c): Unknown
Name: Eagle Ranch Rd. Traffic Volume: <u>15,817 AWDT</u> Volume-to-Capacity Ratio (v/c):_<0.5
Traffic Volume and V/C Ratio: https://www.mrcog-nm.gov/623/Traffic-Flow-Maps-and-Busiest-Intersecti and https://mrcog-nm.gov/574/Transportation-Analysis-and-Querying-App
Adjacent Transit Service(s) : City Bus RT 94 Nearest Transit Stop(s): 2
Is site within 660 feet of Premium Transit?: <u>No</u> https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b
Current/Proposed Bicycle Infrastructure : Proposed bike path and existing bike Lane on Eagle Ranch Rd.
Bikeways: https://mrcog-nm.gov/544/Long-Range-System-maps
Current/Proposed Sidewalk and buffer Infrastructure: Exist. sidewalks Eagle Ranch & Westside
Sidewalk and buffer width : DPM Table 7.2.29

Submit by email to Traffic Engineer Curtis Cherne: ccherne@cabq.gov. Email or call 505-924-3986 for information.

For City Personnel Use:

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No [X]

Thresholds Met? Yes [] No [X]

Mitigating Reasons for Not Requiring TIS and/or Notes:

ATTACHMENTS: SITE PLAN ITE TRIP GENERATION TABLE 7 EQUATIONS ITE LAND USE 942 DESCRIPTION The City concurs with the trips generated: ITE 942 AM Trips 12 PM Trips 25

Curtis A Cherne

TRAFFIC ENGINEER

9-13-24

DATE

VIERRA WEST

April 21, 2025 Willam Steele City of Albuquerque – Planning Department PO Box 1293 Albuquerque, NM. 87103

RE: Pitre KIA – Site Plan EPC

CONDITIONS OF APPROVAL-PR-2024-011052, SI-2024-01468 – Major Amendment to Site Plan – EPC

Dear Willam Steele,

Per the conditions of approval dated November 21st, 2024, please find the following responses addressing the comments listed below:

- Pursuant to IDO \$14-16-6-4(P)(4), any conditions shall be met within 1 year of the approval, unless stated otherwise in the approval. If any conditions are not met within that time, the approval is void. The Planning Director may extend the time limit up to an additional 1 year. *Applicant Response: Acknowledged*
- 2. The applicant shall coordinate with the Staff Planner to ensure that all Conditions of Approval are met and then submit a vetted, final version to the Staff Planner for filing at the Planning Department.

Applicant Response: Acknowledged

3. After coordinating with the Staff Planner, the applicant shall submit the final version to the Development Facilitation Team (DFT) for final sign-off. Pursuant to IDO §14-16-6-6(I)(2)(m), Site Plans shall be reviewed administratively for compliance with conditions of approval, DPM, and zoning standards prior to the issuance of a building permit. The reviewer shall ensure that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.

Applicant Response: Acknowledged

4. Hydrology:

A Grading and Drainage Plan & Report must be approved by Hydrology prior to review/signoff of the Site Plan by the DFT. Stormwater Quality Volume (SWQV) - The total required SWQV calculation must be included on the Grading and Drainage Plan along with Calculation of the portion of the SWQV for which payment-in-lieu is requested. Payment shall be made at the following steps in the City review/decision process:

1. Multi-family Development: Prior to the issuance of a building permit.

2. Commercial Development: Prior to the issuance of a building permit. [emphasis added]

3. Single-family Subdivision: Prior to recording the Final Plat and prior to the issuance of a work order.

Applicant Response: Hydrology approval received and attached to this response letter. All calculations referenced above can be found on the Grading and Drainage Plan as required.

- 5. CABQ Parks and Rec. Urban Forestry:
 - Landscape Plan shall be stamped and signed by a licensed Landscape Architect.
 - Revise the Landscape Plan to clearly show what is existing and what is to remain.

• Per Street Tree Ordinance 6-6-2-4 REQUIRED STREET TREES (1) All applicants for building permits for construction of a new building or building addition of 200 square feet or more shall submit a street tree plan for those parts of the lot abutting a major street, a major local street, or another street where street trees are required.

• Show street trees 25 feet on center along Westside Boulevard.

• Revise the Landscape Plan to select a tree species other than ash trees, which are overplanted and struggling in current climate conditions.

• Work with Urban Forestry to revise the Landscape Plan to identify the shrubs to be replaced and maintained.

Applicant Response: Updated Landscape Plan stamped and signed by a licensed Landscape Architect is attached to this letter. Plan addressed the various comments iterated above from the CABQ Parks and Rec. Urban Forestry.

6. AMAFACA: Remove reference to AMAFCA and replace with "City of Albuquerque" on the existing 68-foot permanent underground drainage easement, which AMAFCA quitclaimed to the City of Albuquerque in 2000.

Applicant Response: Reference to AMAFCA removed and replaced with City of Albuquerque accordingly.

7. Site Plan:

A. Add the legal description to this sheet.

Applicant Response: Updated Site Plan with legal description attached to this letter.

B. The Site Plan shall comply with the General Regulations of the IDO and all other applicable design regulations, except as specifically approved by the EPC.

Applicant Response: Updated Site Plan including the general note, "The Site Plan shall comply with the General Regulations of the IDO and all other applicable design regulations, except as specifically approved by the EPC."

8. The site lighting shall come into compliance with the Outdoor and Site and Light standards of IDO §14-16-5-8 or the applicant shall show how the existing outdoor lighting complies with the IDO. A site lighting plan shall be provided to city staff prior to sign off. If the applicant is unable to comply with IDO §14-16-5-8 they shall return to EPC for an outdoor and site lighting performance analysis.

Applicant Response: Site lighting sheets (E0.1 & ES1.0) in compliance with the IDO are attached to this letter.

9. Landscape Plan:

A. The asphalt paving limits shall be modified to accurately show the new paving limits around the proposed addition.

B. The new plantings on the southeast corner of the proposed addition shall be identified.

Applicant Response: Updated Landscape Plans stamped and signed by a licensed Landscape Architect is attached to this letter. Plan identifies the limits of the new paving around the proposed addition and details the plantings on the southeast corner of addition accordingly.

10. Exterior Elevations Sheet:

A. The missing "Parts" sign on the East (Side) Elevation for Keyed Note #14 shall be added to the sheet.

B. The North (Front) Elevation of the proposed addition with the 57'-0" façade shall incorporate 1 required feature every 40'-0" to adhere to the required total of 2 features along 30 percent of the length of the façade pursuant to \$14-16-5-11(E)(2)(a)-(g).

Applicant Response: Updated Elevation Sheet is attached to this letter, addressing the comments referenced above.

Please contact me with any questions or clarifications.

Thanks,

Sergio Lozoya Senior Planner

PN: 2024019 sl/at







CYCLE RACK. SEE DETAIL 2/AS1.2. KISTING CONCRETE VEHICLE DISPLAY PAD FLUSH WITH SPHALT - NO CURB. WIDE PEDESTRIAN WALKWAY FROM PUBLIC SIDEWALK TO JILDING ENTRANCE. PAINTED DIAGONAL STRIPING AS HOWN. EW LANDSCAPE ISLAND AS SHOWN. ECURE VEHICLE STORAGE AREA. KISTING 5' WIDE CONCRETE WALK FROM SIDEWALK TO ARKING LOT - PART OF 5' PEDESTRIAN WALKWAY TO JILDING. SEE KEYED NOTE 28 ABOVE. WIDE PEDESTRIAN WALKWAY FROM ACCESSIBLE PARKING D BUILDING ENTRANCE. KISTING CONCRETE WALK, FLUSH WITH ASPHALT AVEMENT. EW CURB & WALK - DIMENSIONS AS SHOWN. KISTING 2' HIGH STEEL POST-AND-CABLE FENCE TO EMAIN.
SPHALT - NO CURB. WIDE PEDESTRIAN WALKWAY FROM PUBLIC SIDEWALK TO JILDING ENTRANCE. PAINTED DIAGONAL STRIPING AS HOWN. EW LANDSCAPE ISLAND AS SHOWN. ECURE VEHICLE STORAGE AREA. KISTING 5' WIDE CONCRETE WALK FROM SIDEWALK TO ARKING LOT - PART OF 5' PEDESTRIAN WALKWAY TO JILDING. SEE KEYED NOTE 28 ABOVE. WIDE PEDESTRIAN WALKWAY FROM ACCESSIBLE PARKING D BUILDING ENTRANCE. KISTING CONCRETE WALK, FLUSH WITH ASPHALT AVEMENT. EW CURB & WALK - DIMENSIONS AS SHOWN. KISTING 2' HIGH STEEL POST-AND-CABLE FENCE TO
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AVEMENT. EW CURB & WALK - DIMENSIONS AS SHOWN. KISTING 2' HIGH STEEL POST-AND-CABLE FENCE TO
KISTING 2' HIGH STEEL POST-AND-CABLE FENCE TO
KISTING 6' WIDE CONCRETE SIDEWALK TO REMAIN.
KISTING PROPERTY LINE.
INI CLEAR SIGHT TRIANGLE, 11' x 11'.
CYCLE LANE, 5' WIDE.
EW "KIA CERTIFIED PRE-OWNED" INTERNALLY LIGHTED ONUMENT SIGN BY PATTISON SIGN GROUP, IN LOCATION F EXISTING SIGN. SEE SIGN DETAIL 4/AS1.2.
DJACENT STRUCTURE WITHIN 20' OF SITE BOUNDARY APPROXIMATELY 16' +/- FROM BOUNDARY).
AISED PLANTER. SEE SHEET AS2.1 & LANDSCAPE RAWINGS.
VAPORATIVE COOLER SUPPORTED BY METAL STAND ON ONCRETE PAD. SEE MECHANICAL.
ANDSCAPE AREA AS SHOWN.

Date Date
Date
Date


"KIA" MONUMENT SIGN - TO BE LOCATED BY EAGLE RANCH ROAD / WESTSIDE BLVD. INTERSECTION 3/AS1.2





4/AS1.2



Specifications



SCALE AS NOTED

and a second KIA CERTIFIED Existing Monument - To Be Removed Will attempt to reuse existing foundation Pattison ID to remove & scrap existing sign

SCALE: 1/2" = 1'-0"

2/AS1.2



BICYCLE PARKING RACK DETAIL

GENERAL NOTES

- THIS PROJECT CONSISTS OF RENOVATIONS & ADDITIONS TO AN EXISTING CAR DEALERSHIP. ALL SITE DEVELOPMENT IS EXISTING, MODIFIED ONLY AS REQUIRED TO ACCOMMODATE THE NEW SERVICE ADDITION. MODIFICATIONS ARE AS NOTED ON PLAN.
- SEE CIVIL DRAWINGS FOR GRADING/DRAINAGE, UTILITY & LANDSCAPING INFORMATION. CONSTRUCTION DRAWINGS ARE IN PROGRESS AT THE
- TIME OF THIS SUBMITTAL. SOME ASSEMBLIES, CONDITIONS, DETAILS AND/OR DIMENSIONS MAY BE SUBJECT TO MINOR MODIFICATIONS AS THE CONSTRUCTION DRAWINGS ARE FINALIZED. PLEASE REFER TO BUILDING PERMIT DRAWINGS FOR FINAL
- DESIGN. . EXISTING STREET & PARKING DIMENSIONS ARE BASED ON ORIGINAL 2004 DRB SITE DEVELOPMENT PLAN AS SUBMITTED FOR INITIAL CONSTRUCTION PROJECT.

KEYED NOTES

- EDGE OF ASPHALT. SEE CIVIL.
- MOTORCYCLE PARKING SIGNAGE.
- MOTORCYCLE PARKING SPACE 4' WIDE x 8' DEEP. BICYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
- 5. CONCRETE WALK & CURB. SEE CIVIL.
- BICYCLE RACK. SEE DETAIL 2/AS1.1.
- 2" DIA. SCH. 40 STEEL TUBE, PAINTED PROFILE AS SHOWN.
- TOP OF FOOTING FLUSH WITH TOP OF CONCRETE WALK.
- 9. SET TUBE LEGS 9" INTO CONCRETE FOOTING. 10. 12" DIA. x 12" DEEP 3,000 PSI CONCRETE FOOTING.













LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain landscaping in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque , IDO Ordinance.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.

Contractor shall match existing gravel.

25% of landscape area shall be covered with organic mulch. Mulch shall be a minimum of 4" deep in areas as shown on the plan. Landscape maintenance shall ensure that all organic mulch areas are maintained and freshened on a regular basis. Filter Fabric shall not be placed in areas to receive organic mulch.

Landscaping shall be installed according to the approved plan: Installation shall be completed within 60 days of the related building's occupancy.

No substitutions or alterations to this plan with out the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit set.

Clear Site Triangle Note: Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle. Street Tree Notes:

Per Section 5-6(D) (1) (a) Required Street Trees. Trees are <u>GENERALLY</u> required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

Section 6-6-2-5 Street Trees (A)

- l. Size of the trees at maturity should be in proportion to the planting space provided for them. <u>Smaller</u> species of trees will require closer spacing, and larger trees will require greater spacing, . Spacing shall be approved as part of the plan approval process.
- 2. On sites where evenly spaced street trees are not possible, or <u>do not conform to the overall design</u> objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

IRRIGATION NOTES

Irrigation shall be a complete underground system. Trees and shrubs shall be zoned separately.

Point of connection for irrigation system shall be as indicated on the Utility Plan, Civil drawings.

Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer

Trees shall have Netafim and shrubs shall have a minimum of 2 emitters per shrub. Irrigation will be operated by smart irrigation system

automatic controller, capable of multi-programming ability.

Location of controller to be field determined and power source for controller to be provided by the owner.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source for irrigation system shall be the responsibility of the Property Owner.

Water management is the sole responsibility of the Property Owner.

Note: New planting connected to the existing irrigation

Clear SIGHT TRIANGLE (NO PLANTINGS



TOTAL LOT AREA (sf) TOTAL BUILDING AREA (sf) TOTAL NET-LOT AREA (sf) LANDSCAPE REQUIREMENT

TOTAL LANDSCAPE REQUIRED (15%) TOTAL ON-SITE LANDSCAPE PROVIDED (EXISTING + Neu

TREE CANOPIES AND GROUND-LEVEL PLANTS REQUIR TREE CANOPIES AND GROUND-LEVEL PLANTS PROVID GROUND-LEVEL PLANTS REQUIRED (25% of Required Vegetation Coverage) GROUND-LEVEL PLANTS PROVIDED + EXISTING

Organic Mulch (refer to IDO sheet)

Note, Each Tree, min, 5' rad. 785 71 Trees x 78.5 sf = 5,574 See Tree Detail, a 5' radius of organic mulch is require each tree without Filter Fabric Note, Each Shrub, min, 2' rad. 12.56 258 Total Mulch Provided (area sf) Total Mulch Required (area sf)

Parking Lot Trees . 48 Parking Lot Required Parking Lot Trees Provided Parking Lot Trees Required



	261,360 SF
	-23,373 SF
	237,987 SF
	XØ.15 SF
	35,698 SF
ew)	31,646 SF
RED (75%)	26,739 SF
DED+ EXIST	ING 34,541 SF
	6,685 SF
	7,789 SF

ed around	- ,
3 Shrubs x 12.56 sf	8,814
	7,789

1

		LAN	dscape legend exis	BTING		
			Existing 1			
	QTY.	SIZE A∨ERA GE	COMMON/BOTANICAL NAME	DIMS (Average)	COVERAGE	TOTAL COVERAGE
\bigcirc	3Ø	Varies	Deciduous Trees To be preserved (De	15 esert willow, /	רדו Ash, Hawtho	531Ø rn)
TOTAL TREES:	3Ø					
			Existing shi	rubs		
	QTY.	SIZE Average	COMMON/BOTANICAL N	DIMS AME (Average) COVERAGE	TOTAL COVERAGE
\odot	99		Existing Shrubs To be preserved	5	6	594
TOTAL SHRUBS:	99					

PLANT SCHEDILLE

PLANT S	CHE	EDUL	_E		-		TOTAL
SYMBOL	QTY	SIZE	COMMON / BOTANICAL NAM	WATER USE		<u>COVERAGE</u>	<u>COVERAGE</u>
TREES							
South of the second sec	1	4'-6'	Austrian Pine Pinus nigra	Medium	35' x25'	491	491
0	21	4'-6'	Blue Arrow Juniper Juniperus scopulorum 'Blue Arrow'	Very low	12'×4'	13	273
	2	2" Cal.	Chinese Pistache Pistacia chinensis	Low – Medium	35'x45'	1530	31800
	5	2" Cal.	Emory Oak Quercus emoryi	Low - Medium	35'x35'	961	4805
	17	2" Cal.	Gambel Oak Quercus gambelii	Low - Medium	25' x25'	491	8347
	22	2" Cal.	Paul's Scarlet English Hawthorn Crataegus laevigata 'Paul's Scarlet'	Medium	15' x15'	רדו	3894
Total Trees	4 1 1	2" Cal.	Redbud Cercis occidentalis'Pink pom poms'	Very low – Medium	15' ×12'	113	452 21442
	7	5 gal.	Blue Mist Bluebeard Caryopteris x clandonensis 'Blue Mist'	Low - Medium	3' ×5'	2Ø	140
\bigcirc	54	5 gal.	Buffalo Juniper Juniperus sabina 'Buffalo'	Low	l' x8'	5Ø	2700
\bigotimes	2	5 gal.	Dwarf Butterfly Bush Buddleja davidii	Medium	3' x5'	20	40
•	24	5 gal.	Feather Reed Grass Calamagrostis arundinacea		2.5' ×2'	3	72
(+)	7	5 gal.	Fernbush Chamaebatiaria millefolium	Very low - Low	5' x6'	28	196
0	12	5 gal.	Indian Hawthorn Rhaphiolepis indica	Low	3' x5'	20	240
ŝ	11	5 gal.	Knock Out Rose Rosa shrub 'Knock Out'	Medium	4' ×4'	13	143
0	8	5 gal.	Palm Yucca Yucca faxoniana	Very low - Low	12' x6'	28	168
*	48	5 gal.	Parry's Agave Agave parryi	Low	2' ×2'	3	144
\otimes	57	5 gal.	Wintergreen Barberry Berberis julianae	Medium	5' x5'	2Ø	1140
A CONTRACTOR	28	5 gal.	Yellow Bird of Paradise Caesalpinia gilliesii	Low	10' x10'	er	2212
- Total Shrube	258						

To be placed at contractor discretion

31,152 SF





SCALE: |" = 30'-0"







<u>Netafim Spiral Detail</u>

SHRUB PLANTING DETAIL

NOTE: SCAR^IIFY SIDES OF PLANTING PIT TO LOOSEN SOIL DO NOT INSTALL SHRUBS WITH PLANTING PIT SIDES GLAZED.

- SCORE CONTAINER ROOTBALLS WITH ENCIRCLING ROOTS - USE ROOT STIMULATOR WITH NATIVE SOIL BACKFILL ADD SLOW RELEASE FERTILIZER - REMOVE CONTAINER. PLACE ROOTBALL ON UNDISTURBED SOIL.

N.T.S.

- APPLY SPECIFIED MULCH AT 3" DEPTH

- SET SHRUB AT GRADE GROWN IN CONTAINER OR GROWN IN NURSERY. SET TOP OF JUNIPER'S ROOTBALL TO FINISH GRADE OF MULCH

- ALLOW SHRUBS TO REACH FULL MATURE SIZE WITH MINIMAL PRUNING





City of Albuquerque Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided for Reference

This Section 14-16-5-6 regulates landscaping to ensure visually attractive, sustainable desert landscapes that aid in the creation of a quality public realm. The City recognizes landscape as a visual component to quality environments that enhance Albuquerque's overall appearance and provide other public benefit through: 5-6(A)(1) Providing visual relief from urbanization.

5-6(A)(2) Establishing a consistent, attractive streetscape that generates a sense of continuity and a strong, positive city image. 5-6(AX3) Improving the aesthetic appearance of commercial, industrial, and multi-family residential development to protect and enhance public and private investments and property values.

5-6(A)(4) Ensuring the use of native and/or adapted, low water-use, or xeric species and regionally appropriate, sustainable design and maintenance techniques to conserve water resources.

5-6(AX5) Contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscape should be designed to retain soil moisture, prevent erosion, encourage the growth of abutting plantings, and mitigate urban heat-island effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and glare. 5-6(AX6) Providing screening of some types of facilities, structures, and

5-6(A)(1) Providing shade and comfort for pedestrians and visually narrowing streets, which has been shown to reduce vehicle speeding and accidents.

5-6(B) APPLICABILITY 5-6(B)(1) The provisions of this Section 14-16-5-6 shall apply to any of the following, unless specified otherwise this IDO: 5-6(BXIXa) Construction of a new building containing multi-family, mixed-use,

or non-residential development or an accessory parking structure. 5-6(BXIXb) Construction of a new parking lot containing 25 or more spaces, or expansion of an existing parking lot by 25 spaces or more.

5-6(BX1Xc) Expansion of the gross floor area of an existing building containing multi-family, mixed-use, or non-residential development by 2,500 square feet or more, or 25 percent or more, whichever is less. 5-6(B)(1)(d) Renovation or redevelopment of an existing building containing

multi-family, mixed-use, or non-residential development, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, indicated by building permits, is \$500,000 or more. 5-6(B)(2) In the case of walls provided for buffering or screening requirements with conflicting standards in this Section 14-16-5-6, Section

14-16-5-5 (Parking and

Loading), and Section 14-16-5-9 (Neighborhood Edges), the highest specified wall height allowance prevails.

5-6(B)(3) Requirements for walls provided to meet buffering and screening requirements prevail over maximum wall height regulations in Section 14-16-5-(Walls and Fences), but shall be subject to any other applicable material and design requirements in Subsection 14-16-5-7(E). 5-6(C) GENERAL LANDSCAPING STANDARDS

The following standards apply to all landscaping, screening, or buffering required by this Section 14-16-5-6.

5-6(C)(1) Landscape Plan Required

A landscape plan with designed landscaped areas shall be submitted as a part of all development applications where landscaping, buffering, or screening is required, unless the relevant decision-making body determines that compliance with the provisions of this Section 14-16-5-6 can be demonstrated without the use of a landscape plan. A landscape plan may be combined with other required application materials if compliance with this Section 14-16-5-6 can be demonstrated in the combined materials. Landscaping shall be maintained pursuant to the requirements of Subsection 14-16-5-13(B)(6).

5-6(C)(2) Minimum Landscape Area $5-6(CX_2)(a)$ Except as noted in Subsection (b) below, a minimum of 15 percent of the net lot area of each development shall contain landscaping. 5-6(C)(2)(b) In DT-UC-MS-PT areas, a minimum of 10 percent of the net lot area of each development shall contain landscaping. In these areas, landscaping required to meet this requirement need not be at ground level. (See figure below.)

5-6(C)(2)(c) The mature realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows. Tree canopies and ground-level plants shall cover a minimum

of 75 percent of the total landscape area as measured by canopy width or the area beneath the dripline of the mature size of the actual vegetation. Of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs,

grasses, etc.) as measured of the mature size of the actual vegetation. (See figure below.) 5-6(C)(2)(d) See also Subsections 14-16-5-6(D) (Street Frontage Landscaping

14-16-5-6(E) (Edge Buffer Landscaping), and 14-16-5-6(F) (Parking Lot Landscaping) for additional landscaping requirements. 5-6(C)(3) Overlapping Requirements

5-6(CX3)(a) if areas required to be landscaped by 2 or more provisions of this Section 14-16-5-6 overlap each other, the provision requiring the greater amount of landscaping shall apply, and landscaping provided that meets the greater requirement shall count toward fulfilling the overlapping requirements. 1. See Subsection 14-16-5-6(C)(12) (Existing Vegetation Credit).

See Subsection 14-16-5-6(C)(13) (Stormwater Management Features).

See Subsection 14-16-5-6(D) (Street Frontage Landscaping) See Subsection 14-16-5-6(E) (Edge Buffer Landscaping). See Subsection 14-16-5-6(F) (Parking Lot Landscaping) 5-6(CX3Xb) Landscaped areas may count toward satisfying usable open space requirements specified for Residential zone districts in Table 5-1-1 and for Mixed-use zone districts in Table 5-1-2. 5-6(CX3)(c) Gardens and community gardens provided may count toward

satisfying the requirements of Subsection 14-16-5-6(C)(2) (Minimum Landscape 5-6(CX3)(d) Any landscaping provided to meet requirements in Subsection

16-5-2(1) (Major Arroyo Standards) may count toward any required landscaping in this Section 14-16-5-6 but shall be subject to Subsection

14-16-5-6(C) (General Landscaping Standards). 5-6(CX3)(e) Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-16-5-11(EX3) (Outdoor Seating and Gathering Areas) may count toward up to 1/3 of required landscaping in Section 14-16-5-6 but shall be subject to standards in Subsection 14-16-5-6(C) (General Landscaping Standards). 5-6(C)(4) Required Plant Materials and Site Amenities 5-6(CX4Xa) A minimum of 5 species must be used in the landscaped area. 5-6(CX4Xb) Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards), except that, upon presentation of evidence, the relevant decision-making body may authorize alternative species or cultivars that meet all of the following requirements: Meet the intended purpose of that type of landscaping.

Are not hazardous. Are not identified as invasive on a City or State plant list.

Are not listed in the City's Weed Identification Handbook Are equally hardy to the New Mexico climate.

5-6(C)(4)(c) Installation of any trees, shrubs, or other vegetation included in a State list of prohibited or invasive species or listed as noxious weeds in the City's Weed Identification Handbook is prohibited. 5-6(C)(4)(d) No more than 10 percent of required landscape areas shall be cool season grass species. Irrigated cool season grass shall not be planted on slopes exceeding 1:4 rise:run or planted in narrow or irregularly shaped areas (10 feet or less in any dimension) in order to avoid water waste. Any cool season grass shall be installed at

least 3 feet in any direction from any impermeable hard surface. (A buffer using organic mulch can be used when planting cool season grass adjacent to impermeable surface.) 5-6(CX4Xe) Landscaping abutting arroyos shall consist of native plants that

are included on the Official Albuquerque Plant Palette. 5-6(CX4)(f) Artificial turf/grass shall not be counted as living vegetative material or to meet the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards). 5-6(CX4Xg) All vegetation shall comply with Article 9-12 and Parts 6-1-1 and

6-6-2 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable. 5-6(C χ 4 χ h) All required plant materials shall be free of disease and insects

and shall conform to the American Standard for Nursery Stock (ASNA) of the American Nursery and Landscape Association. 5-6(C)(4)(i) Shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or, where there is insufficient

space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided. 5-6(CX4Xj) In DT-UC-MS areas, landscaped areas other than street frontage shall include pedestrian furniture, pedestrian amenities, or trash receptacles to encourage pedestrian use.

5-6(C)(4)(k) See also Subsection 14-16-5-6(D) (Street Frontage Landscaping) for additional landscaping requirements. 5-6(C)(5) Soil Condition and Planting Beds 5-6(C)(5)(a) All vegetated

material required by this Section 14-16-5-6 shall be planted in uncompacted 5-6(C)(5)(b) if used, weed barriers shall be permeable to optimize stormwater infiltration and prevent runoff.

5-6(CX5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area, or 50 percent in DT-UC-MS areas.5-6(C)(5)(d) A minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended. 5-6(C)(5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree

trunk, but not directly against the trunk. In these areas, weed barrier fabric is brohibited. 5-6(C(5)(f) All landscaped areas shall be protected from vehicular

encroachment by curbs or wheel stops located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated swales and stormwater infiltration areas.

5-6(C)(6) Minimum Plant Sizes at Installation. All vegetation required by this Section 14-16-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO.

Table 5-6-1: Minimum Plant Sizes								
Plant material type (ANSI types)	Minimum size							
Deciduous Street Trees	2 in. caliper 6 in. above grade							
Deciduous Accent Trees	1.5 in. caliper 6 in. above grade or 6 ft. in height							
Evergreen Tree	6 ft. in height							
Multi-trunk Tree	Minimum 2 trunks with a combined caliper of 2 in.							
Shrubs	1 gallon container size							
Ground cover and turf	Adequate to provide general ground cover within 1 growing season after planting							

5-6(C)(7) Plant Material Spacing 5-6(CXT)(a) Vegetation required by this Section 14-16-5-6 shall be located

at least 3 feet in any direction from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections. 5-6(CX1Xb) Where tree planting requirements are based on the length of the street frontage, areas occupied by driveways and drive aisles shall be included when calculating the number of trees required to be planted, and all trees that would otherwise be required in driveways or drive aisles shall be planted in other landscaped front yard areas.

5-6(CX1Xc) The Planning Director may authorize adjustments to any spacing requirements when required due to topography, drainage, utilities or obstructions, provided that the total amount of required landscaping is not 5-6(C)(8) Protecting Clear Sight Triangle

The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

5-6(C)(9) Planting in or over the Public Right-of-way 5-6(CX9Xa) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of way shall require the prior approval of the City. The property owner shall be

responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of way. 5-6(CX9Xb) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8 foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed

to maintain a 9 foot clearance over the street surface. <u>5-6(CX9Xc)</u> Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape

area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the

public right-of-way. 5-6(C)(10) Planting near Utilities

5-6(CXIOXa) Trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not

5-6(CX10Xb) Trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line.

5-6(CXIOXc) Trees or shrubs planted within utility easements shall comply with the standards of the utility provider to minimize effects on facilities naintenance and repair.

5-6(CXIQXd) If overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.

5-6(CXIOXe) All screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crews and public during maintenance and

5-6(CXIOXf) Trees shall not be planted near existing or proposed street

5-6(CXIOXq) Standards in the DPM may apply to tree planting in or near other utility easements, such as gas lines. 5-6(C)(11) Parking on Landscaped Areas Prohibited Parking of automobiles, trucks, trailers, boats, recreational vehicles, or other

motor vehicles is prohibited on any required landscape or buffer area. 5-6(C)(12) Existing Vegetation Credit 5-6(CX12Xa) If existing non-prohibited vegetation meets the location requirements and intent of landscaping, buffering, or screening required by

this Section 14-16-5-6, that existing vegetation may be credited toward the landscaping, buffering, or screening materials required by this Section 14-16-5-6. 5-6(CX12)(b) All existing vegetation preserved and used for credit against

the requirements for new vegetation shall be protected during construction by a fence erected one foot beyond the drip line of the vegetation. $5-6(C\tilde{X}12Xc)$ Trees may be credited only 1 time toward any one buffer,

screen, or other landscape requirement. 5-6(CX12)(d) Trees shall be credited in accordance with Table 5-6-2. water.

Diameter at Breast Height (in.)	Number of Trees Credited
≥25	8
≥13 and <25	б
≥8 and <13	4
≥4 and <8	2
<4	1
Prohibited trees 8 in. or greater ^[1]	1

5-6(C)(13) Stormwater Management Features

5-6(C)(13)(a) Required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation. 5-6(C)(13)(b) Required landscape and buffer areas shall be designed

pursuant to the DPM and the City Standard Specifications for Public Works Construction. 5-6(C)(13)(c) in the R-ML, R-MH, Mixed-use, and NR-SU zone districts, and on lots containing multi-family dwellings or non-residential uses in the R-A, R-1, R-MC, and R-T zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collection areas that

are located in landscape areas and that meet all applicable standards in the 5-6(C)(13)(d) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping

and buffering in those areas, provided that the area includes vegetation required by this Section 14-16-5-6. 5-6(CX13)(e) Where pedestrian walkways and multi-use trails cross required landscape areas, permeable paving may be used and may count toward

satisfying the requirements of Subsection 14-16-5-6(C)(2)(Minimum Landscape Area). 5-6(C)(14) Irrigation Systems

5-6(CX14Xa) Irrigation systems shall comply with Section 8 of the ABCWUA Legislation and Ordinances (Cross Connection Prevention and

Control Ordinance). 5-6(C)(14)(b) All irrigation systems shall be designed to minimize the use c

5-6(C)(14)(c) All non-residential landscape irrigation shall have automatic and/or programmable settings to avoid overwatering. 5-6(C)(14)(d) The irrigation system shall not spray or irrigate impervious

surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas. 5-6(C)(15) Installation

5-6(C)(15)(a) All landscaping material used to meet the requirements of this Section 14-16-5-6 shall be installed in accordance with the planting procedures established by the American Nursery and Landscape Association. shrubs shall be provided for every 25 feet along the lot line, 5-6(CX15Xb) All required landscaping, street trees, screening, and buffering with spacing designed to minimize sound, light, and noise shall be installed prior to the issuance of a final certificate of occupancy. If there is more than one primary building on the site, the landscaping, screening, and buffering related to each building

shall be installed prior to the issuance of a final certificate of

5-6(CX15Xc) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of plant materials that have been approved by the applicable public utility as part of a plan for landscaping, screening, or buffering on the public right of-way shall be the responsibility of such public utility. If a public utility disturbs landscaping, screening, or buffering in a public right-of-way, private way, or easement, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If the plant materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials. 5-6(CX15Xd) Property owners acknowledge that approved landscaping and trees installed and maintained in a public right-of-way, private way, or easement abutting private properties are the property of the City, and that that the City reserves the right to remove them if necessary for a transportation project without compensation, but at no cost to the property owner. Landscaping installed in an abutting public right-of-way, private way, or easement by property owners and later removed by the City shall not impact previously approved net lot area calculations for required

landscaping 5-6(C)(16) Alternative Landscape Plans The Planning Director may approve alternative landscape plans that do no meet the specific requirements stated in this Section 14-16-5-6 if the

Planning Director determines that the alternatives meet all of the following criteria: 5-6(CX16Xa) Are consistent with the purposes of this Section 14-16-5-6. list of prohibited or invasive species or listed as a noxious weed in the

City's Weed Identification Handbook. 5-6(CX16Xc) Do not include a reduction of tree planting requirements. 5-6(CX16Xd) Provide equal or superior buffering of adjacent properties from anticipated impacts of the proposed development. 5-6(CX16Xe) Provide equal or superior visual appearance of the property

when viewed from the street. 5-6(CXI6Xf) Provide equal or superior carbon dioxide absorption and heat island reductions.

5-6(D) STREET FRONTAGE LANDSCAPING 5-6(D)(1) Required Street Trees

5-6(DXIXa) All development shall comply with Part 6-6-2 of ROA 1994 (Street Trees) and any standards developed by the Parks and Recreation Department or other City department to implement that Ordinance. Trees are generally required along street frontages every 25 feet on center unless specified otherwise in Part 6-6-2 of ROA 1994 (Street Trees). Along street frontages where street trees are required, trees that are planted within 20 feet of the back of curb of the abutting street may fulfill this requirement. 5-6(DXIXb) Only trees selected from the Official Albuquerque Plant Palette 5-6(EXA) Industrial Development Adjacent to Non-industrial of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection

14 1/216 1/25-6(D) (Street Frontage Landscaping), except that existing trees that are 8 inch caliper or larger may count toward street tree requirements, regardless of whether they appear on one of those lists. 5-6(DXIXc) Planting areas necessary for trees in the street frontage shall

meet the minimum size requirements in Table 5-6-3 unless specified otherwise in this IDO. Tree grates may be used in constrained locations to accommodate pedestrian circulation, to allow the required planting areas to have a walkable surface.

Table 5-6-3: Minimum Planting Area by Tree Height at Maturity					
Tree Height at Maturity (ft.)	Minimum Planting Area (ft.)				
0-20	4 x 4				
>20-40	5 x 5				
>40	6 x 6				

5-6(D)(2) Additional Frontage Landscaping

5-6(DX2Xa) General For buildings with a footprint of more than 50,000 3 shrubs shall be planted every 30 feet along the length of any facade í City þark or trail, Major Public Oþen Space, or major arroyo 5-6(DX2Xb) Downtown, Urban Centers, and Main Street and Premium Transit areas Fifty (50) percent of any front setback area not used for pedestrian access to the building or improved with pedestrian furniture and amenities shall be landscaped, and no part of the front setback area surface landscaped edge buffer area, 1 of the following requirements shall be asphalt.

5-6(E) EDGE BUFFER LANDSCAPING

5-6(E)(1) General Requirements 5-6(EXIXa) Landscaped edge buffers and/or edge buffer walls are

required between properties to mitigate the impacts of significant differences in property use, size, or scale through standards specified in Subsections (2) through (5) below. 5-6(E)(1) b) if a landscaped edge buffer is required and a wall is required or will be provided, the wall shall be provided on the property line

between the two properties unless specified otherwise in this IDO. 5-6(E)(1)(c) Required edge buffering is not required to be installed along any portion of the lot line covered by an access easement between adjacent lots, but an equivalent amount of landscaping shall be installed on remaining portions of the side or rear lot line, as applicable. 5-6(E)(1)(d) For the purposes of this Subsection 14-16-5-6(E), "gindustrial development"h refers to the zone districts and uses indicated in Subsection 14-16-5-6(EX4Xa) (Industrial Development Adjacent to Non-industrial Development).

5-6(EXIXe) Additional buffering may be required for specific uses, pursuant to any Use-specific Standards for those uses in Section 14-16-4-3 or Neighborhood Edge standards in Section 14-16-5-9.

Development Type	Development Next to	Specific Standards	General Buffering	Buffering in DT-UC-MS-P				
Industrial	Non-industrial development	14-16-5- 6(E)(4) Landscaped						
Multi-family	Industrial development	14-16-5- 6(E)(4)	buffer area ≥25 ft.	14				
Vixed-use or other non- residential	R-ML or R-MH	14-16-5- 6(E)(3)	Landscaped buffer area ≥20 ft.	Wall, fence, or vegetative screen ≥6 ft.				
Multi-family, nixed-use, or other non- residential	R-A, R-1, R- MC, R-T, or R- ML	14-16-5- 6(E)(2)	Landscaped buffer area ≥15 ft.					

[1] See Subsections 14-16-5-6(E)(2), 14-16-5-6(E)(3), and 14-16-5-6(E)(4) for complete edge buffer standards. 5-6(EX2) Development Next to Low-density Residential Zone Districts Where multi-family, mixed-use, or non-residential development other than industrial development occurs on a lot abutting or across an alley from a lot containing low-density residential development in an R-A, R-I, R-MC, R-T, or

RML zone district, a buffer shall be provided along the lot line, as specified in Table 5-6-4 and for the relevant area below. 5-6(EX2Xa)General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two properties. If a wall at least 3 feet in height is provided or exists along the property line between the 2 properties, 1 tree at least 8 feet high at the time of planting shall be provided every for 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent

2. If no wall is provided or exists, I tree at least 6 feet tall at the time of planting and at least 25 feet tall at maturity and 3 impacts

5-6(EX2Xb) Downtown, Urban Centers, and Main Street and Premium Transit Areas 1. A landscaped edge buffer area at least 6 feet wide shall be provided. For buildings over 30 feet in height, the edge buffer

area shall be at least 10 feet wide. An opaque wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and all of the following requirements shall be met.

One (1) tree at least 8 feet high at the time of planting shall be provided every for 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed

development on the adjacent property. The side facing the low-density residential development shall be at least as finished in appearance as the side facing the multi-family, mixed-use, or non-residential developmen

If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(EX2Xb2 if it meets, or is improved to meet, the height and design standards above. 5-6(E)(3) Development Next to a Multi-family Residential Zone District Where mixed-use or non-residential development other than industrial development occurs on any lot abutting or across an alley from a lot in the R-ML or R-MH zone districts with townhouse development or multi-family residential development, a buffer shall be provided along the lot line, as specified in Table 5-6-4 and for the relevant area below. 5-6(EX3Xa)General

An edge buffer area shall be provided on the subject property along the property line between the two properties. If a wall at least 3 feet in height is provided or exists along the property line between the two properties, I tree at least 8 feet high at the time of planting shall be provided every for 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property

If no wall is provided or exists, I tree at least 6 feet tall at the 5-6(CX16Xb) Do not include invasive vegetation included in a City or State time of planting and at least 25 feet tall at maturity and 3 shrubs shall be provided for every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts. 5-6(EX3Xb) Downtown, Urban Centers, and Main Street and Premium

> Transit Areas An opaque wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and both of the following requirements shall be

One (1) tree at least 8 feet high at the time of planting shall be provided every for 15 feet along the wall, with

spacing designed to minimize sound and light impacts of the proposed development on the adjacent property. The side facing the multi-family development shall be at

least as finished in appearance as the side facing the mixed-use, or non-residential development If there is an existing wall between the two properties, it may

count toward satisfying the requirements of Subsection 14-16-5-6(\check{E} /3/b)1 if it meets, or is improved to meet, the height and design standards above.

Development 5-6(E)(4)(a) Applicability

An edge buffer shall be provided as specified in Table 5-6-4 and for the relevant areas in Subsections (b) and (c) below in all of the following

Where a lot with industrial zoning or development is adjacent to a lot with non-industrial zoning or development, including, but not limited to both of the following locations: Where any development in an NR-LM or NR-GM zone

district is adjacent to any lot that is not in an NR-LM or NRGM zone district. b. Where light manufacturing theavy manufacturing the special manufacturing[±] natural resource extraction[±] non-linear portions of an electric utility, drainage facility, or other major utility[±] or any primary use in the Waste and Recycling category in Table 4-2-1 is developed on a lot abutting a vacant lot or a lot with a use other than one of these specified uses. 2. Where multi-family residential development is adjacent to a lot with industrial development. 5-6(E)(4)(b) General

A landscaped edge buffer area shall be provided on the subject square feet in mixed-use or non-residential development, at least I tree and property along the property line between the two adjacent properties. For drainage facilities, a landscaped edge buffer area at least 15 feet wide shall be provided on the subject property along the property line between the two adjacent properties, unless a smaller edge buffer area is approved by the City Engineer as necessary on a particular lot. If a wall at least 3 feet in height is provided or exists along the

shall be met

a. If the wall is located on the property line, I tree at least 8 feet high at the time of planting shall be provided every for 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property. b. Where the edge buffer area is across the street from the lot with non-industrial zoning or development, the wall may be set back from the property line if both of the following requirements are met. Landscaping that meets the requirements in Subsection 2. below shall be provided between the wall and the street.

ii. The landscaping shall be maintained by the owner of the subject If no wall is provided or exists, I tree at least 8 feet high at the time of planting and 5 shrubs shall be provided for every 20 feet along the lot line, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property. 5-6(EX4Xc) Downtown, Urban Centers, and Main Street and Premium Transit Areas An opaque wall or fence at least 6 feet tall shall be provided on the subject property along any lot line abutting or across an alley from the non-industrial development

l. One (1) tree at least 8 feet high at the time of planting shall be provided every for 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent 2. The side of the wall facing the non-industrial development shall be at

least as finished in appearance as the side facing the industrial use. 3. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(E)(4)(c) if it meets, or is improved to meet, the height and design standards above. 5-6(E)(5) Area of Change Next to Area of Consistency Where a premises partially or completely in an Area of Change is abutting or across an alley from a premises partially or completely in an Area of Consistency (per City Development Areas in the ABC Comp Plan, as amended), the following standards shall apply on the lot(s) adjacent to the premises partially or completely in the Area of Consistency, regardless of the proposed land use on that lot or premises, unless specified otherwise in this

Lot in Area of Change Next to	General Bufferin	
Area of Consistency in R-A, R- 1, R-MC, or R-T	14-16-5-6(E)(2)	1000
Area of Consistency in R-ML or R-MH	14-16-5-6(E)(3)	Landscaped buffer area ≥15 fi
Area of Consistency in Mixed- use, NR-C, or NR-PO	14-16-5-6(+)(4)	

5-6(EX5Xa) If the lot in the Area of Consistency is in an R-A, R-I, R-MC, or R-T zone district, the requirements of Subsections 14-16-5-6(EXI) and 14-16-5-6(E)(2) shall apply.

5-6(E)(5)(b) If the lot in the Area of Consistency is in an R-ML or R-MH zone district, the requirements of Subsections 14-16-5-6(EX1) and 14-16-5-6(EX3) 5-6(EX5Xc) If the lot in the Area of Consistency is in any Mixed-use, NR-C, or NR-PO zone district, the requirements of Subsections 14-16-5-

6(EX1) and 14-16-5-6(EX4) shall apply. 5-6(F) PARKING LOT LANDSCAPING

5-6(F)(1) Parking Lot Edges 5-6(FXIXa) Landscape buffer areas are required to separate off-street

bremise 5-6(FX1Xb) Where a parking lot is abutting an R-A, R-1, R-MC, or R-T zone district, provisions related to parking area in Subsection 14-16-5-9(D)

(Parking, Drive-through Or Drive-up Facilities, and Loading) shall apply. 5-6(FXI)(c) Where development is coordinated on 2 or more abutting sites, or where multiple parking areas are located on a single lot, or on planned development areas controlled by Site Plans, these requirements shall be based on the entire development area unless otherwise approved by the

decision-making body. 5-6(FX1)(d) Landscape buffers may be crossed by drive aisles connecting to abutting land. 5-6(FX1)(e) No parking is allowed within a required landscape buffer area. 5-6(FXIXf) Landscape approved within the abutting public right-of-way or private way may be counted toward this requirement if there is no existing or planned public sidewalk between such landscape and the premises, but in no case shall the width of the on-site landscape buffer be less than 5 feet. 5-6(FX1Xg) The landscape area may be reduced by up to 25 percent if the surface of the parking or vehicle circulation area is of a permeable material

with approval from the Planning Director.

5-6(FX1)(h) Where walls are required, they shall integrate with building materials and colors. 5-6(FXIXi) Landscape buffers are required in the following locations, with minimum widths and design requirements as specified below. Front Lot Edge

General Any parking lot located within 30 feet of the front lot line shall be screened from the street either by a masonry wall constructed of a material similar in texture, appearance, and color to the street-facing façade of the primary building (but excluding exposed CMU block) at least 3 but not more than 4 feet in height, or by a landscape buffer at least 10 feet in width with a continuous line of evergreen

shrubbery 3 feet in height, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles b. Downtown, Urban Centers, and Main Street and Premium

Transit Areas Any parking lot located within 30 feet of the front lot line shall be screened from the street by a masonry wall as described in Subsection a above. Openings in the masonry wall no more than 4 feet wide to allow passage of bicycles and pedestrians from the street into the parking lot are

2. Side and Rear Lot Edges Where no side or rear lot line buffer is required by Subsection 14-16-5-6(E) above, the following standards apply where the side or rear lot line abuts a public street. a. General

Any parking lot located within 20 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles. b. Downtown, Urban Centers, and Main Street and Premium

Transit Areas Any parking lot located within 20 feet of a side or rear lot line shall be screened by a landscaped buffer at least 5 feet wide containing one tree and 3 shrubs per 25 feet of the parking lot edge closest to the lot line, or by a masonry wall constructed of a material other than cement block, at least 3 but not more than 4 feet tall. 5-6(F)(2) Parking Lot Interior

5-6(FX2Xa) General At least 10 percent of the parking lot area of lots containing 50 or fewer spaces, and at least 15 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped. 5-6(FX2)(b) Downtown, Urban Centers, and Main Street and Premium Transit Areas At least 5 percent of the parking lot area of lots containing 50 or fewer spaces, and at least 10 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped. 5-6(F)(2)(c) Tree Requirements One (1) tree is required per 10 parking spaces.

No parking space may be more than $1\overline{00}$ feet in any direction from a tree trunk. 3. At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.

DT-UC-MS-PT Wall, fence, or vegetative screen ≥6 ft.

parking and circulation areas from front, side, and rear boundaries of

5-6(FX2)(d) Location and Dimension of Landscaped Areas The minimum size of tree planters within off-street parking areas shall be 60 square feet per tree. This requirement may be reduced to 36 square feet if the surface of a parking or vehicle circulation area abutting the tree planter is of a permeable material and, combined with the tree planter area, meets the 60 square foot per tree requirement.

15-13(B(XT)(e) Trees or plants that die shall be replaced by the

owner as expeditiously as possible, but in no case longer than 60

calendar days after notice from the City. The replacement of dead

5-13(B)(7)(f) Street trees shall be maintained alive and healthy.

Maintaining and replacing street trees or other trees planted in the

public right-of-way are the responsibility of abutting property owners.

4-3(B)(8)(c) in other areas, this use shall meet all of the following

landscape standards, in addition to all applicable standards in

This use shall provide, somewhere on the lot, at least I tree per

ground floor dwelling unit and at least I tree per second floor

dwelling unit± no additional trees are required for additional

Twenty-five (25) percent of the net lot area shall contain

landscaping ± playgrounds, sports courts, swimming pools, or

similar features may count up to 10 percent of net lot

landscaping. Tree canopies and ground-level plants shall cover

a minimum of 75 percent of the total landscaped area, and the

maximum a tree canopy shall count toward this requirement is 600

Cool season grasses are restricted to 20 percent of the

4-3(BX8Xd) At least 50 percent of the trees required by

Subsection (b) or (c) above shall be deciduous canopy-style shade

trees or coniferous trees capable of attaining a mature canopy

Albuquerque, IDO. Wood mulch will need to be refreshed often as it

is washed, and blown away and will result in a negative impact on the

health of the plant material. Additionally, historically, wood mulch in

commercial applications has clogged storm sewers creating damage

5-6(C)(5)(d) A minimum of 2 inches of organic mulch is required in all

5-6($C\tilde{X}$ 5)(e) Organic mulch is required as ground cover under trees within

a 5-foot radius around the tree trunk, but not directly against the In these

5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited

5-13(BXT)(b) Landscaping, screening and buffering areas shall be

compliance with Articles 6-6 and 9-8 of ROA 1994 (Trees,

Vegetation, and Landscaping and Weeds, Litter, and Snow) and

Section 4 of the Albuquerque Bernalillo County Water Authority

5-13(B)(1)(b) All landscaped areas shall be maintained with a neat and

appearance, which includes pruning, removal and replacement of dead

or diseased plants and trees, disposal of litter, repair of damaged

5-13(B)(T)(c) Landscaped areas that become bare shall be

5-13(BX1Xd) Where landscaping was installed pursuant to a Site Plan

or development approval, the landscaping shall be replaced

according to any landscaping and maintenance plan under that

as expeditiously as possible, but in no case longer than 60 calendar

days after notice from the City. The replacement of dead vegetation

5-13(BXT)(f) Street trees shall be maintained alive and healthy.

Maintaining and replacing street trees or other trees planted in the

public right-of-way are the responsibility of abutting property

(ABCWUA) Legislation and Ordinances (Water Waste Reduction

walls and hard surface areas, and upkeep of irrigation systems.

to a maximum of 75 percent of any landscaped area, or 50 percent in

to commercial properties, lawsuits, and damages assessed to

responsibility for flooding or erosion as the result of the use of

landscape architects and contractors. Designer assumes no

Wood Mulch as required by the City of Albuquerque

planting areas, with 3-4 inches recommended.

IDO 14-16-5-13(B) MAINTENANCE STANDARDS

5-13(B)(7) Landscaping, Buffering, and Screening

areas, weed barrier fabric is prohibited.

DT-UC-MS areas.

maintained in

Ordinance)

abbroval

owners

by an opaque decorative wall or fence at least 6 feet tall but not more than 5-13(BXTXe) Trees or plants that die shall be replaced by the owner

re-vegetated to avoid erosion.

is the responsibility of the property owner.

NOTE: organic mulch is only used as a requirement of the City of

landscape area. Warm season grasses may cover up to an

vegetation is the responsibility of the property owner.

IDO 4-3(B)(8) Dwelling, Multi-Family (landscape requirements)

Section 14-16-5-6 (Landscaping, Buffering, and Screening).

dwelling units on the third or higher floors.

additional 70 percent of the landscape area.

square feet.

diameter of at least 25

shall be defined as landscaped islands no narrower than 8 feet in any

5-6(FX3Xa) Walls or fencing a minimum of 6 feet high \pm fencing requires

5-6(G) SCREENING OF MECHANICAL EQUIPMENT AND SUPPORT

landscaping with evergreen shrubs or vines to form a screen at least 75

5-6(F $\chi_3\chi_b$) Shrubs and trees sufficient to act as a screen at least 4 feet

Site areas listed below shall comply with the following standards. In any case

where a decorative wall or fence is required or installed, chain link fencing

5-6(G)(1)(a) No screening is required for rooftop solar energy equipment.

5-6(G)(1)(b) in any R-ML, R-MH, Mixed-use, NR-C, NR-BP, NR-SU, or NR-PO

architectural design. The parapet wall or similar feature shall be sufficient to

above ground level at any property line abutting a City park or trail, Major

ground-mounted mechanical equipment shall be located where it is not visible

from streets, City parks or trails, Major Public Open Space, or major arroyos

ground-mounted mechanical equipment shall be located where it is not visible

from streets, City parks or trails, Major Public Open Space, or major arroyos

adjacent to the lot or from adjacent properties with low-density residential

Where it is not practicable to locate ground-mounted mechanical equipment

from view by an opaque decorative wall or fence or a vegetative screen.

The vegetative screen shall be planted along the full length of

than the height of the equipment to be screened at the time of planting.

reduce the efficiency or effectiveness of the solar energy equipment is

5-6(GX2Xd) Safety Exemption Notwithstanding Subsections (a), (b), and (c)

above, screening is not required if it would violate any State or federal

All waste containers and dumpsters shall be in a roofed enclosure or be

5-6(G)(3)(b) Development Abutting Low-density Residential Where a lot is

abutting low-density residential development or lots zoned R-1, R-MC, or

R-T, dumpsters for solid waste, but not for recycling, are prohibited in any

required setback or landscape buffer area that is contiguous with the

5-6(GX3)(c) R-ML, R-MH, and Mixed-use Zone Districts Outdoor loading,

possible, or shall be located where they are not visible from streets, City

parks or trails, Major Public Open Space, or major arroyos adjacent to the

adjacent to the lot or from adjacent properties with low-density residential

Where it is not practicable to locate the loading, service, and refuse areas

pursuant to Subsections (c) and (d) above, they shall be screened from view

8 feet tall that incorporates at least 1 of the primary materials and colors of

the nearest wall o the primary building (but excluding exposed CMU block)

automobiles, trucks, trailers, recreational vehicles, boats, equipment, and/or

consecutive 1-day period, and that are adjacent to any Residential zone

district, a lot containing a residential use in any Mixed-use zone district, a

City park, Major Public Open Space, public trail, or major arroyo, shall be

screened from view by a vegetative screen or by an opaque decorative

at least 1 of the primary materials and colors of the nearest wall of the

High-temperature processes (such as combustion or welding), shall be

materials and colors of the nearest wall of the primary building (but

be screened and at least 8 feet high at the time of planting.

5-13(B)(7) Landscaping, Buffering, and Screening

screened from view by an opaque decorative wall or fence at least 6 feet

tall but not more than 8 feet tall that incorporates at least 1 of the primary

block) or a vegetative screen planted along the full length of the area to

For ground-mounted satellite dishes that are larger than 3 feet in diameter in

any Residential zone district, or that are larger than 6 feet in diameter in any

Mixed-use or Non-residential zone district, the base of the dish shall be

or major arroyo by a vegetative screen or an opaque wall or fence

primary building on the lot (but excluding exposed CMU block), to the

screened from view from a City park, Major Public Open Space, public trail,

constructed of 1 of the primary materials used on the nearest façade of the

maximum extent possible and consistent with the effective operation of the

] 5-13(B)(T)(a) Landscaping, screening and buffering areas shall be

(Trees, Vegetation, and Landscaping and Weeds, Litter, and Snow) and

5-13(B)(T)(d) Where landscaping was installed pursuant to a Site

Plan or development approval, the landscaping shall be replaced

maintained in compliance with Articles 6-6 and 9-8 of ROA 1994

Section 4 of the Albuquerque Bernalillo County Water Authority

(ABCWUA) Legislation and Ordinances (Water Waste Reduction

according to any landscaping and maintenance plan under that

wall or fence at least 7 feet and no more than 8 feet high that incorporates

or a vegetative screen planted along the full length of the area to be

5-6(G)(4) Outdoor Storage Areas for Vehicles, Equipment, and

Materials Areas where motor vehicles, including but not limited to

materials, are stored outside and are typically not moved within a

screened and at least 8 feet high at the time of planting.

primary building (but excluding exposed CMU block).

5-6(G)(5) Outdoor Activity

excluding exposed CMU

5-6(G)(6) Satellite Dishes

satellite dish.

Ordinance).

approva

service, and refuse areas shall be integrated into the building design if

lot or from adjacent properties to the maximum extent practicable.

5-6(G)(3)(d) NR-C, NR-BP, NR-SU, and NR-PO Zone Districts Outdoor

loading, service, and refuse areas shall be integrated into the building

design if possible, or shall be located where they are not visible from

streets, City parks, Major Public Open Space, trails, or major arroyos

equipped with and use a lid covering and shall be designed so that

3. No screening of ground-mounted solar energy equipment that would

the equipment to be screened and shall be of a height equal to or greater

The wall or fence shall be of a height equal to or greater that

at least 1 of the primary materials and colors of the nearest wall of the

pursuant to Subsections (a) and (b) above, such equipment shall be screened

he height of the mechanical equipment being screened and shall incorporate

adjacent to the lot or from adjacent properties to the maximum extent

5-6(G)(2)(b) NR-C, NR-BP, NR-SU, and NR-PO Zone Districts Outdoor

Public Open Space, major arroyo, or public street classified as a collector,

zone district, roof-mounted mechanical equipment shall be screened by a

parapet wall or similar feature that is an integral part of the building is

screen the mechanical equipment from all sides when viewed from 5 feet

screening shall be provided via 1 of the following options:

(with or without slats) shall not satisfy the requirement.

5-6(G)(2) Ground-mounted Mechanical Equipment

development to the maximum extent practicable.

primary building (but excluding exposed CMU block)

5-6(G)(3) Loading, Service, and Refuse Areas

stormwater runoff does not reach storm drain inlets.

development to the maximum extent practicable.

5-6(GX3)(e) Screening

5-6(G)(3)(a) Covering Waste Containers

low-density residential development.

5-6(G)(2)(a) R-ML, R-MH, and Mixed-use Zone Districts Outdoor

5-6(G)(1) Roof-mounted Mechanical Equipment

bercent obaque.

ARFAS

bracticable.

required.

safety rules.

5-6(G)(2)(c) Screening

high and at least 75 percent opaque.

arterial, or interstate highway.

5-6(F)(3) Abutting Arroyos or Major Public Open Space When a parking lot is located abutting a major arroyo or any Major Public Open Space,

In parking areas of 100 spaces or more, the ends of parking aisles



→ METAL BUILDING EAVE	 			 				 						 	 	
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						,								,		



← METAL BUILDING RIDGE 19'-2"









6/A2.1

GENERAL NOTES

- ALL EXTERIOR FINISHES, MATERIALS, COLORS, SIGNAGE & GRAPHICS AS PER KIA CORPORATE DESIGN STANDARDS AS DESCRIBED IN ChangeUp DESIGN INTENT DOCUMENT. SEE FINISH SCHEDULES & SPECIFICATIONS.
- ALL EXTERIOR SIGNAGE, ENTRY PORTAL & ACM PANELS TO BE SUPPLIED & INSTALLED BY PATTISON SIGN GROUP.
- CONSTRUCTION DRAWINGS ARE IN PROGRESS AT THE TIME OF THIS SUBMITTAL. SOME ASSEMBLIES, CONDITIONS, DETAILS AND/OR DIMENSIONS MAY BE SUBJECT TO MINOR MODIFICATIONS AS THE CONSTRUCTION DRAWINGS ARE FINALIZED. PLEASE REFER TO BUILDING PERMIT DRAWINGS FOR COMPLETED DESIGN.
- ROOF-MOUNTED HVAC UNITS SERVING SHOWROOM & OFFICES ARE ENTIRELY CONCEALED BEHIND PARAPETS & NOT VISIBLE FROM THE STREET.

KEYED NOTES

- ALUMINUM STOREFRONT GLAZING SYSTEM & DOORS, CLEAR ANODIZED FINISH. CLEAR LOW-IRON LOW-E INSULATED GLAZING.
- ALUMINUM COMPOSITE PANEL SYSTEM ALPOLIC / FR. COLOR: TOB BLACK.
- ALUMINUM COMPOSITE PANEL SYSTEM ALPOLIC / FR. COLOR: BSX SILVER METALLIC. DRYVIT "OUTSULATION PLUS MD" EIFS WITH MOISTURE DRAINAGE. COLOR: TO MATCH BENJAMIN MOORE BM
- HC-169 COVENTRY GRAY. REPAINT EXISTING METAL BUILDING WALL PANELS &
- CMU WALLS. COLOR: BENJAMIN MOORE BM HC-169 COVENTRY GRAY. PAINT NEW & EXISTING HOLLOW METAL DOORS & FRAMES & METAL ROLL-UP DOORS. COLOR: BENJAMIN
- MOORE BM HC-169 COVENTRY GRAY. NEW METAL BUILDING WALL PANELS. MATCH COLOR OF REPAINTED EXISTING METAL BUILDING PANELS. EG-1 FRONT LOGO, METALLIC SILVER FINISH, 2" DEEP
- LETTERS WITH BACKLIT 1" STAND-OFF, 12'-9" W x 3'-0" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS. EG-2 SIDE LOGO, METALLIC SILVER FINISH, 2" DEEP
- LETTERS WITH BACKLIT 1" STAND-OFF, BACKLIT, 12'-9" W x 3'-0" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- . EG-3 "ANYTOWN" DEALER NAME SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 7'-10" W x 2'-0" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-4 SERVICE SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 8'-3" W x 1'-6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-4 EXPRESS SIGN, 3" DEEP LETTERS, DIE-CUT METAL, 2'-11" W x 6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-5 DELIVERY SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 10'-2" W x 1'-6" H. SUPPLIED BY PATTISON SIGN GROUP, NO
- EXCEPTIONS. PARTS SIGN, CONSTRUCTION TO MATCH EG-4 EXPRESS SIGN. 3'-0" W x 8" HIGH. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- NEW ROOF MOUNTED EVAPORATIVE COOLER ON STEEL STAND, PAINTED. SEE MECHANICAL. NOTE: VIEW OF THESE UNITS FROM THE STREET IS COMPLETELY OBSCURED BY THE BUILDING.
- EXISTING ROOF MOUNTED EVAPORATIVE COOLER ON STEEL STAND. REPAINT STAND. NOTE: VIEW OF THIS UNIT FROM THE STREET IS COMPLETELY OBSCURED BY THE
- BUILDING. 7. PLANTER. SEE ARCHITECTURAL SITE PLAN. 18. RELOCATED GAS METER & SERVICE ENTRANCE. SEE
- CIVIL. 9. EXISTING ROOF RUNOFF DOWNSPOUT TO BE
- REPAINTED.
- 0. NEW ROOF RUNOFF DOWNSPOUT, PAINTED. SEE ROOF DETAILS (SHEET A6.1).
- EXISTING METAL BUILDING GUTTER & DOWNSPOUT. REPAIR AS REQUIRED, REPAINT. 22. RE-ROUTE EXISTING METAL BUILDING DOWNSPOUT TO
- ACCOMMODATE ADDITION. 23. NEW METAL BUILDING GUTTER & DOWNSPOUT. 24. NEW ROOF RUNOFF LEADER HEAD & DOWNSPOUT. SEE ROOF PLAN (SHEET A1.5) & ROOF DETAILS (SHEET
- A6.1). 5. ROOF OVERFLOW SCUPPER. SEE ROOF PLAN (SHEET A1.5) & ROOF DETAILS (SHEET A6.1).



	ELECTRICAL SY (ALL SYMBOLS SHOWN ARE NOT NEC	-	-
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	CROSSHATCHING DEPICTS ITEMS TO BE REMOVED (LIGHT FIXTURES, SWITCHES, RECEPTACLES, CONDUIT AND WIRING, ETC.)	J	CEILING JUNCTION BOX.
	HOME-RUN CONDUIT.	Q	WALL JUNCTION BOX.
ı ? ¶	CONDUCTOR TICK MARKS: NEUTRAL, PHASE, SWITCHED, AND GROUND CONDUCTORS RESPECTIVELY.	Φ#	DUPLEX RECEPTACLE, 18"AFF U.N.O. (#) INDICATES CIRCUIT.
]	CAPPED CONDUIT / CONDUIT STUB-OUT.		GFCI PROTECTED DUPLEX RECEPTACLE. RECEPTACLES WITH TRIP RESET SHALL BE IN READILY ACCESSIBLE LOCATION.
<u> </u>	CONDUIT SEAL.	₽™	TAMPER RESISTANT RECEPTACLE.
#	ELECTRICAL KEYED NOTE TAG.		QUADPLEX RECEPTACLE, 18" AFF TO CENTER.
1	KITCHEN ITEM TAG, SEE KITCHEN EQUIPMENT ELECTRICAL CONNECTION SCHEDULE.	(PP)	GROUND FAULT CIRCUIT INTERRUPTER (GFCI) DUPLEX RECEPTACLE WITH WEATHER-RESISTANT (WR) COVER.
B-2	MECHANICAL UNIT TAG (EXAMPLE: BOILER B-2 INDICATED), SEE MECHANICAL EQUIPMENT SCHEDULE.	₽ OR ₽ ^{CNT}	SPLIT-WIRED DUPLEX RECEPTACLE
O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED.	0	CEILING MOUNTED DUPLEX RECEPTACLE.
Е ^{ОН}	OVERHEAD PRIMARY ELECTRICAL LINE.	P OR P	SPECIAL RECEPTACLE, TYPE AS NOTED.
E _{UG}	PRIMARY ELECTRICAL UNDERGROUND FEEDER.	Ø	FLUSH FLOOR MOUNTED DUPLEX RECEPTACLE.
E.GR.	EQUIPMENT GROUND.	⊕ ıc	ISOLATED GROUND DUPLEX RECEPTACLE
AFF	ABOVE FINISH FLOOR.		DUPLEX RECEPTACLE WITH BUILT-IN USB CHARGER OUTLET.
AC	ABOVE COUNTER.	Ф₩ндмі	GANGABLE 3-COMPARTMENT MEDIA CENTER.
WR	WEATHER-RESISTANT.		CABLE TRAY.
GFCI	GROUND FAULT CIRCUIT INTERRUPTER.		MULTI-RECEPTACLE RACEWAY (PLUGMOLD).
AHJ	AUTHORITY HAVING JURISDICTION.		SURFACE MOUNTED PANELBOARD, REFER TO ASSOCIATED PANEL SCHEDULE.
UNO	UNLESS NOTED OTHERWISE.		FLUSH MOUNTED PANELBOARD, REFER TO ASSOCIATED PANEL SCHEDULE.
\$ \$ a	SINGLE-POLE WALL SWITCH. SUBSCRIPT DESIGNATES CONTROL OF PARTICULAR LIGHTING FIXTURES.		DISTRIBUTION POWER PANEL, REFER TO ASSOCIATED PANEL SCHEDULE.
\$ ³ \$ ⁴	THREE-WAY AND FOUR-WAY SWITCHES, RESPECTIVELY.	Т	DRY-TYPE, STEP-DOWN / STEP-UP TRANSFORMER.
\$ ^{WR}	WEATHER-RESISTANT SWITCH.	60/3	NON-FUSED DISCONNECT SWITCH, NEMA 3R IF OUTSIDE, AMPS / POLES INDICATED.
\$ ^ĸ	KEY-OPERATED SWITCH.	60/3/45 4	FUSED DISCONNECT SWITCH, NEMA 3R IF OUTSIDE, AMPS/ POLES / FUSE SIZE INDICATED.
\$ ^D	DIMMER SWITCH, 1200W MINIMUM WATTAGE.		MOTOR STARTER.
\$ ^{TT}	MECHANICALLY WOUND TWIST-TIMER SWITCH OR ELECTRONIC TIME SWITCH.	60/3/45 - K	COMBINATION MOTOR STARTER/FUSED DISCONNECT SWITCH, NEMA 3R IF OUTSIDE.
 \$ [™]	THERMAL SWITCH.	<u> </u>	MOTOR, HP SIZE AS INDICATED, "F" = FRACTIONAL HORSEPOWER.
\$ ⁰⁰	OCCUPANCY SENSOR SWITCH.	Ģ	CLOCK.
\$ ^{OCD}	DUAL-TECHNOLOGY OCCUPANCY DIMMER SWITCH.	 [©] <u>¥</u> 1	COMBINATION CLOCK/SPEAKER UNIT.
\$ ^{OCF}	DUAL-TECHNOLOGY OCCUPANCY SENSOR WITH FAN DELAY CONTROL.	S	SPEAKER, CEILING MOUNTED
\$ ^{30C}	3-WAY / MULTI-WAY OCCUPANCY SENSOR SWITCH.	S₫	SURFACE MOUNTED SOUND SYSTEM SPEAKER.
\$ ^{EC}	EVAPORATIVE COOLER SWITCH.		MICROPHONE OUTLET.
\$ ^F	PADDLE FAN / LIGHT CONTROL SWITCHES. SWITCHES ALLOW INDEPENDENT CONTROL OF FAN SPEED AND LIGHTING.	GS	CALL-IN SWITCH (PUSH-TO-CALL) FOR INTERCOM SYSTEM.
\$ ^P	PILOT SWITCH.	T	THERMOSTAT
63	LIGHTING CONTROL OCCUPANCY SENSOR, CEILING MOUNTED.	V	COMBINATION VOICE/DATA OUTLET, UP 18" U.N.O.
PC	PHOTOCELL.		FLUSH CEILING VOICE/DATA OUTLET.
•	DAYLIGHT HARVESTING PHOTOSENSOR, CEILING MOUNTED.		FLUSH FLOOR VOICE/DATA OUTLET.
\sim	2'X4' LAY-IN LIGHTING FIXTURE (TROFFER), TYPE INDICATED BY LETTER (TYPICAL).	ΤV	CATV OUTLET
	"EM" INDICATES LIGHTING FIXTURE IS SUPPLIED WITH AN EMERGENCY BATTERY PACK.		SURVEILLANCE CAMERA. PTZ = PAN, TILT, ZOOM. WEATHER-RESISTANT IF LOCATED ON BUILDING EXTERIOR.
	1'X4' SURFACE MOUNTED LIGHTING FIXTURE.	0	EMERGENCY PUSH BUTTON.
202	1'X4' RECESSED (FLANGED) MOUNTED LIGHTING FIXTURE.	 岱	PROJECTOR.
	2'X2' LAY-IN LIGHTING FIXTURE (TROFFER).		DOOR ACCESS CARD READER.
	UTILITY STRIP FIXTURE.	Ī	INTERCOM HEAD-END UNIT.
0	LINEAR PENDANT MOUNTED LIGHTING FIXTURE, LENGTH AS INDICATED.		DOORBELL SYSTEM PUSHBUTTON.
	4' WALL BRACKET MOUNTED LIGHTING FIXTURE.	B	DOORBELL/CHIME.
Q	WALL BRACKET LIGHTING FIXTURE.	M	MAGNETIC DOOR LOCK.
	POLE MOUNTED AREA LIGHTING FIXTURE, SINGLE-HEAD.	WAP	WIRELESS ACCESS POINT.
	POLE MOUNTED AREA LIGHTING FIXTURE, DOUBLE-HEAD.		DOOR OPERATOR PUSH-PAD UNIT (ADA COMPLIANT).
<u> </u>	RECESSED DOWNLIGHT FIXTURE.		MODULAR FURNITURE POWER CONNECTION POINT.
 	SURFACE MOUNTED DRUM TYPE LIGHTING FIXTURE.	○	MODULARY UNATION FOR SECURITY/INTRUSION ALARM SYSTEM.
 ©	BOLLARD LIGHTING FIXTURE.	<u> </u>	SECURITY/INTRUSION ALARM SYSTEM DOOR SWITCH.
<u> </u>	HIGH-BAY LIGHTING FIXTURE.		FIRE ALARM DUCT SMOKE DETECTOR.
 	LOW-BAY LIGHTING FIXTURE.		FIRE ALARM STROBE UNIT.
 	FLUSH IN-GROUND LIGHTING FIXTURE.	 □⊲ộ-	FIRE ALARM AUDIO/STROBE UNIT.
	WALL SCONCE LIGHTING FIXTURE.		FIRE PROTECTION SPRINKLER SYSTEM POST INDICATOR VALVE.
	STEP LIGHT LIGHTING FIXTURE.	2	FIRE ALARM SMOKE DETECTOR.
 ©	PENDANT HUNG DECORATIVE LIGHTING FIXTURE.	© ©	CEILING MOUNTED FIRE ALARM AUDIO/STROBE UNIT.
<u>କ</u>	GOOSENECK MOUNTED LIGHTING FIXTURE.	F	FIRE ALARM MANUAL PULL STATION.
	TRACK MOUNTED LIGHTING ASSEMBLY, ONE FIXTURE HEAD	FACP	FIRE ALARM CONTROL PANEL (FACP).
	INDICATED. TWIN-EYE EMERGENCY LIGHTING UNIT WITH BATTERY BACK-UP.		FIRE ALARM REMOTE ANNUNCIATOR (FARA).
L1-11	TYPE "EM", REFER TO LUMINAIRE SCHEDULE. EXTERIOR EMERGENCY LIGHTING UNIT WITH BATTERY BACK-UP.	FARA	RELAY INTERFACE
	TYPE "WEM", REFER TO LUMINAIRE SCHEDULE.		
Ŷ	EXIT SIGN, SINGLE FACE INDICATED BY SHADED QUADRANT.		
•	TYPE "EX", REFER TO LUMINAIRE SCHEDULE.	-	
• • • •	TYPE "EX", REFER TO LUMINAIRE SCHEDULE. EXIT SIGN, DOUBLE-FACED, DIRECTIONAL ARROWS INDICATED.		
•	TYPE "EX", REFER TO LUMINAIRE SCHEDULE.		

ELECTRICAL GENERAL NOTES

- A. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2020 NATIONAL ELECTRICAL CODE (NEC) AND REGULATIONS OF STATE AND LOCAL AUTHORITIES HAVING JURISDICTION (AHJ) IN A NEAT AND WORKMANLIKE MANNER.
- B. CONTRACTOR SHALL COORDINATE WITH SERVING UTILITY COMPANY NEW SERVICE DEPARTMENT AND OBTAIN A PROJECT SPECIFIC "STANDARDS LETTER" PRIOR TO BIDDING, ORDERING, OR COMMENCING WITH THE ELECTRICAL DISTRIBUTION PORTION OF THIS PROJECT.
- C. ALL REQUIREMENTS OF THE SERVING UTILITY COMPANY FOR ELECTRICAL SERVICE SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
- D. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PROVIDING TELEPHONE, CATV, AND INTERNET IN ORDER TO ASCERTAIN JOB SPECIFIC UTILITY REQUIREMENTS AND COMPLIANCE WITH THOSE REQUIREMENTS SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO ENSURE SERVICE TO EACH DEMARCATION.
- E. BY SUBMITTING A BID, THE CONTRACTOR AFFIRMS THEY HAVE FAMILIARIZED THEMSELVES WITH THE PROJECT SITE, PLANS, SPECIFICATIONS AND ALL APPLICABLE CODES IN ORDER TO PROVIDE A COMPREHENSIVE AND COMPLETE BID.
- F. ALL DEVICES SHALL BE WHITE WITH STAINLESS STEEL PLATES, INSTALLED FOR ADA COMPLIANCE UNLESS NOTED OTHERWISE. RECEPTACLES SHALL ALL BE RATED FOR THEIR INTENDED USE AND TAMPER RESISTANT AS REQUIRED BY NEC 406.
- G. ALL TELEPHONE, DATA, SECURITY, CATV, SOUND AND INTERCOM LOW VOLTAGE SYSTEMS ARE PROVIDED BY OTHERS UNLESS NOTED OTHERWISE. NOTE: * LOW VOLTAGE CONTRACTORS ARE REQUIRED TO OBTAIN INDEPENDENT PERMITS FROM THE AHJ PRIOR TO STARTING THEIR WORK.
- H. UTILIZE "DEEP" 4-SQUARES WHERE REQUIRED TO COMPLY WITH NEC 314.16 EXTRA CONSIDERATION SHALL BE GIVEN TO BOXES SUPPLYING HOME-RUNS.
- I. CONFIRM EXACT ROUGH-IN DIMENSIONS WITH ARCHITECTURAL DRAWINGS, AND APPLICABLE KITCHEN/APPLIANCE EQUIPMENT, AND FURNITURE/MILL-WORK PLAN(S). EXTRA CARE SHALL BE EXERCISED IN COORDINATING THE EXACT REQUIREMENT(S) OF SPECIALTY EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, PLUMBING EQUIPMENT, MEDICAL EQUIPMENT, OR PROCESSING EQUIPMENT.
- ALL PENETRATIONS IN FIRE RATED WALLS, PARTITIONS, FLOORS, OR CEILINGS SHALL BE SEALED WITH FIRE STOPPING MATERIAL OR OTHER APPROVED METHOD(S) TO MAINTAIN THE FIRE RATED ASSEMBLY PER NEC 300.21. REFER TO ARCHITECTURAL DRAWINGS FOR THE LOCATIONS OF WALL AND FLOOR ASSEMBLIES.
- ELECTRICAL DEVICES INSTALLATION SHALL COMPLY WITH ACCESSIBILITY (ADA) STATUTE ICC/ANSI 117.1 SECTION 308. SPECIFICALLY: MOUNT APPLICABLE SWITCHES, RECEPTACLES, AND ENVIRONMENTAL CONTROLS SO THAT THEY ARE LOCATED WITH THE TOP OF THE DEVICE NO HIGHER THAN 48" ABOVE FINISHED FLOOR (AFF) AND THE BOTTOM OF THE DEVICE NO LOWER THAN 15" AFF.

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- J. GENERAL CONTRACTOR TO SAW-CUT / REMOVE / PATCH EXISTING ARCHITECTURAL SURFACES INCLUDING BUT NOT LIMITED TO SLABS, WALLS AND ROOFS.
- K. SHARED NEUTRALS ARE NOT PERMISSIBLE UNLESS NOTED OTHERWISE.
- CONDUCTOR TICK MARKS, WHERE SHOWN, ARE SHOWN FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL CONDUCTORS WHETHER SHOWN OR NOT INCLUDING "TRAVELERS" AND DIMMING CONDUCTORS AS NECESSARY FOR COMPLETELY OPERATIONAL SYSTEMS.
- M. BRANCH CIRCUITING SHALL BE COPPER WIRE IN MC CABLE UNLESS SPECIFICALLY NOTED OTHERWISE. MINIMUM WIRE SIZE IS #12 AWG. WHEN CONDUIT IS UTILIZED, ALL FITTINGS SHALL BE COMPRESSION TYPE AND COLOR CODING VINYL BANDS IDENTIFYING DIFFERENT SYSTEMS SHALL BE AFFIXED AT EACH BOX, PANELBOARD, AND EVERY ACCESSIBLE 10'-0"
- N. THE ELECTRICAL CONTRACTOR SHALL INSTALL ALL CONDUIT REQUIRED FOR MECHANICAL SYSTEMS CONTROLS. ALL CONTROLS WIRING SHALL BE INSTALLED AND TERMINATED BY CONTROLS CONTRACTOR. COORDINATE LOCATION AND ROUTING OF CONTROLS CONDUIT WITH MECHANICAL PLANS AND WITH MECHANICAL SEQUENCE OF CONTROLS.
- O. ALL PANELS AND DISTRIBUTION BOARDS, NEW/EXISTING SHALL HAVE TYPEWRITTEN DIRECTORIES AND EQUIPMENT I.D. NAMEPLATES UPON COMPLETION OF ANY ELECTRICAL MODIFICATIONS UNDER THIS CONTRACT.
- P. CONTRACTOR SHALL CONSIDER AND MAKE ADJUSTMENTS IN CONDUIT/WIRE SIZE(S) TO ACCOUNT FOR VOLTAGE DROP PRIOR TO COMMENCING WITH WORK UNDER THIS CONTRACT. VOLTAGE DROP SHALL NOT EXCEED THE FOLLOWING IN ACCORDANCE WITH IECC 2018 C405.9:
- FEEDERS = 2% BRANCH WIRING = 3% Q. CONTRACTOR SHALL COMPLY WITH NEC 110.16. AFFIX PERMANENT ARC-FLASH HAZARD WARNING LABEL(S) ON ALL APPLICABLE ELECTRICAL EQUIPMENT MODIFIED OR INSTALLED UNDER THIS CONTRACT.
- R. FOR ELECTRICAL DISTRIBUTION SYSTEMS HAVING A MAIN DISCONNECT RATING OF 1,000-AMPS OR MORE, CONTRACTOR SHALL OBTAIN THIRD PARTY OVER-CURRENT PROTECTION STUDY. ALL OVER-CURRENT DEVICES SHALL BE "SET" OR ADJUSTED TO COMPLY WITH COORDINATION STUDY PRIOR TO FINAL COMMISSIONING. A FULL COPY OF THE COMPLETED STUDY ALONG WITH CONTRACTOR'S CERTIFICATION OF COMPLIANCE SHALL BE INCLUDED IN THE PROJECT'S "CLOSE-OUT" DOCUMENTATION.
- S. ALL EQUIPMENT AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT SHALL BE WARRANTABLE TO BE FREE FROM ANY DEFECT FOR A PERIOD EQUAL TO 1-YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.

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1.	C40	5.2
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LUMINAIRE SCHEDULE

								068 PITRE KIA ABQ RENO	VATION & ADD	ITION			-	•	•	
TYPE	-		LAMP(S), DRIVER(S), SETTING(S)													
	MANUFACTURER	CATALOG NUMBER	CRI	WATTS	TYPE	TEMP.	OUTPUT	DESCRIPTION	LOCATION	COLOR		APPROX. SIZE	VOLT.	LUMENS	MOUNTING	COMMENTS
Α	LF ILLUMINATION	EF 408D 40C 9240 N	92	40	LED	4000K	-	SPOTLIGHT CHANNEL	SHOWROOM	BLACK	N/A	5" DIA	UNV	3500	RECESSED	
В	LEDALITE	230 1 L 940 30 Q S 3 XX	90	10 W/FT	LED	4000K	-	LINEAR	VARIOUS GYP. CEILINGS	WHITE	N/A	1.75" X LENGTH PER PLANS	UNV	750/FT	RECESSED	
C2	FORUM	ARCD 33 95 40 WOL H REC VCC W/ROUND CORNERS	90+	9 W/FT	LED	4000K	-	RECTANGLE	FOCAL VEHICLE	SATIN ANODIZED / SILVER	N/A	15'-5" X 8'-9"	UNV	950/FT	SUSPENDED 10'-0"	WHITE MOUNTING CANOPY FINISH
D2	AMERLUX	E4.75R NC A17 T 16 VOLTS 0-10V SD FL 409	90+	16	LED	4000K	-	TRIMLESS DOWNLIGHT	VARIOUS GYP. CEILINGS	CLEAR	TRIMLESS	5" DIA.	UNV	1200	RECESSED	25 DEGREE
D3		E4.75R NC A17 T 16 VOLTS 0-10V SD FL 409	90+	29	LED	4000K	-	TRIMLESS DOWNLIGHT	VARIOUS GYP. CEILINGS	CLEAR	TRIMLESS	5" DIA.	UNV	2100	RECESSED	40 DEGREE
D4	AMERLUX	E2.9RD HP T 11 120 X 1-10VT CLC NF 40	80+	11	LED	4000K	-	DOWNLIGHT	MERCHANDISING AREA	CLEAR	TRIMLESS	3" DIA	UNV	700	RECESSED	20 DEGREE
F	FORUM	SAD 44 95 40 WOL H 20' UNV WH	80+	8.9 W/FT	LED	4000K	-	LINEAR	SERVICE RECEPTION	WHITE	N/A	4" X 4" X LENGTH PER PLAN	UNV	950/FT	SUSPENDED SYSTEM	
F1	LSI	LSI ALI2 2LEDSE18L LL W UNV 40 MHCH10	80+	118	LED	4000K	-	HIGH BAY	SERVICE BAYS	WHITE	N/A	2' X 1'	UNV	18,060	SUSPENDED	
F1-E	LSI	LSI ALI2 2LEDSE18L LL W UNV 40 EM20 MHCH10	80+	118	LED	4000K	-		SERVICE BAYS	WHITE	N/A	2' X 1'	UNV	18,060	SUSPENDED	
LT-2	A+R	BOLA SPHERE PENDANT	95	6	LED	50K	-	HANGING PENDANT	OFFICES	MATTE BLACK	N/A	12"	UNV	290	SUSPENDED	
M22	RAB	EZPANFA2X2/D10	81	30	LED	4000K	-	2X2 TROFFER	VARIOUS	WHITE	N/A	2'X4'	UNV	3810	RECESSED	EXISTING- SALVAGE FOR REUSE
RH	LITHONIA	ELMRWLP220T	-	-	LED	-	-	REMOTE EM EGRESS	VARIOUS	WHITE	N/A		UNV		SURFACE	CONNECT TO TYPE 'XEM'
XEM	LITHONIA	LHQM SWRG MVOLT NO M6	-	-	LED	-	-	EMERGENCY EGRESS	VARIOUS	WHITE	N/A	16.5" X 8.2"	UNV	-	SURFACE	BATTERY BACK-UP
EM	LITHONIA	ELM2LF	-	-	LED	-	-	EMERGENCY TWN-EYE UNIT	VARIOUS				UNV	-	SURFACE	BATTERY BACK-UP
NOTES:	1. ALL EMERGENCY BAL	LASTS SHALL BE FACTORY INSTALLED	UNLE	SS SCHED	ULED OT	HERMS		APPROVED.								03-2025
		CONFORM TO APPLICABLE CODES INC					HT SKY ACT	(S) AND ENERGY CONSERVATION S	TATUTES.							
	3. PROVIDE 0-10V DIMMING CAPABILITY AND APPROPRIATE CONTROLS FOR ALL LUMINAIRES.															
	4. PROVIDE HIGH CRI (80+) LEDS. 5. INCLUDE ALL SYTEM INTEGRATION ACCESSORIES (POWER SUPPLIES, FEED CABLES, MOUNTING HARDWARE, ETC.) AS NEEDED.															
			JOFFL		CABLLS		INGTIARDIN	ARE, ETG.) AS REEDED.								
	MANUFAC	CTURER REP AGENCIES AND DISTRIBUTO	RS CR	EDITED ARE	AS FOL	LOWS:										
	COMPANY: KING LIGHTING, IN. COMPANY: BR L					& CONTR	ROLS									
	NAME: MEGAN BLANEY		NAME: CLIFF BROOKS													
	P: 513-519-1986		P: 937-672-3064													

IECC ELECTRICAL & LIGHTING COMPLIANCE

THE ELECTRICAL DESIGN ILLUSTRATED BY THESE PLANS AND SPECIFICATIONS IS IN COMPLIANCE WITH THE 2021 INTERNATIONAL ENERGY CONSERVATION CODE SECTION(S) C405, C408, C501-5, CB103.3, CB103.8, 402.4.5, 402.4.6, R404, R501-5, AND R502, AS SPECIFICALLY APPLICABLE TO THIS AS FOLLOWS:

2 - LIGHTING CONTROLS (MANDATORY)

REFER TO LIGHTING PLAN(S) AND/OR DETAIL(S) FOR PROJECT REQUIREMENTS. **.3 - INTERIOR LIGHTING POWER REQUIREMENTS**

TABLE C405.3.2(1)

ALLOWABLE INTERIOR POWER FOR THE SCOPE OF THIS PROJECT IS: 10,491 WATTS ACTUAL INTERIOR POWER IS: 9,574 WATTS

- EXTERIOR LIGHTING POWER REQUIREMENTS (MANDATORY)

ABLE C405.5.2(1) - THIS PROVIDE IS IN LIGHTING ZONE # 2.

TABLE 405.5.2(2) BASE SITE ALLOWANCE: 400W PARKING AREAS AND DRIVES: 0.04 W/FT² - WALKWAYS/RAMPS < 10'-0" WIDE: 0.5W/LINEAR FT - WALKWAYS/RAMPS > 10'-0" WIDE,

PLAZA AREAS, SPECIAL FEATURE AREAS: 1.10 W/FT² - PEDESTRIAN AND VEHICULAR ENTRANCES AND EXITS: 14W/LINEAR FT - ENTRY CANOPIES: 0.25W/FT²

TABLE 405.5.2(3)

- BUILDING FACADES: 0.075W/FT OF GROSS ABOVE-GRADE WALL AREA ALLOWABLE EXTERIOR POWER FOR THIS PROJECT IS: 15,564 WATTS EXISTING EXTERIOR POWER IS: 10,050 WATTS REVISED EXTERIOR POWER IS: 6,270 WATTS

5.6 - ELECTRICAL TRANSFORMER (MANDATORY)

LOW VOLTAGE DRY-TYPE DISTRIBUTION ELECTRICAL TRANSFORMERS SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENTS AS TESTED AND RATED IN ACCORDANCE WITH DOE 10 CFR 431.

C405.7

- REFER TO SINGLE LINE DIAGRAM ON SHEET E-600 FOR TRANSFORMER(S) APPLICABLE TO THIS PROJECT.

5.10 - VOLTAGE DROP IN FEEDERS AND BRANCH CIRCUITS

REFER TO GENERAL NOTE "P" FOR PROJECT VOLTAGE DROP LIMITATIONS.

5.11 - AUTOMATIC RECEPTACLE CONTROL (MANDATORY)

REFER TO POWER PLAN(S) AND/OR DETAILS FOR PROJECT REQUIREMENTS. 5.13 - ELECTRIC VEHICLE POWER TRANSFER INFRASTRUCTURE.

TABLE C405.31.1 - REQUIRED EV POWER TRANSFER INFRASTRUCTURE. - REFER TO ELECTRICAL SINGLE LINE DIAGRAM ON SHEET E-600 FOR EVE AND EV CAPABLE REQUIREMENTS APPLICABLE TO THIS PROJECT.

8. C408.3 - FUNCTIONAL TESTING AND DOCUMENTATION OF LIGHTING CONTROLS.

A. THE CONTRACTOR OR FACTORY AUTHORIZED COMMISSIONING AGENT SHALL DELIVER TO THE ENGINEER OF RECORD EVIDENCE OF THE LIGHTING CONTROLS HAVING BEEN TESTED AND PERFORMING PROPERLY PRIOR TO OBTAINING FINAL INSPECTION FROM THE AHJ.

B. THE CONTRACTOR SHALL DELIVER TO THE OWNER, WITH A COMPLETE COPY DELIVERED TO THE ENGINEER OF RECORD, AS PART O ITS CLOSE-OUT PACKAGE FULLY DETAILED, LEGIBLE, AS-BUILT DRAWINGS AND THE FOLLOWING IN SATISFACTION OF THE ARTICLE(S) REFERENCED HEREIN:

- C408:3.2.1 - LIGHTING CONTROL DRAWINGS. - C408.3.2.2 - LIGHTING CONTROL MANUALS.

SCOPE OF WORK:

ALL EXISTING EXTERIOR AND LOFT STORAGE LIGHTING, DEVICES, CCTV, AND THE LIKE ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

REFER TO THE KIA DID FRANCHISE DRAWING(S) FOR SUPPLEMENTAL REQUIREMENTS CONVEYING THE INTENT OF FACILITY IMPROVEMENTS.

ADDITIVE ALTERNATE #IDO REMOVE / REPLACE ALL EXISTING EXTERIOR LIGHT FIXTURE(S), REFER TO SHEET(S) ED1.0 AND ES1.0 FOR REQUIREMENTS AND RETURN REMOVED FIXTURE(S) TO OWNER. AT THE OWNER'S DIRECTION REMOVED FIXTURES MAY BE DISCARDED BY THE CONTRACTOR.

ELECTRICAL SHEET INDEX



- C408.3.2.3 - LIGHTING CONTROL REPORT.





FIXTURE SCHEDULE & IECC CALCS



KEYED NOTES 🔿

- EXISTING MONUMENT SIGN. SAFE-GUARD EXISTING CIRCUIT FOR CONTINUED
 USE.
- EXISTING LIGHT POLE. SAFE-GUARD EXISTING WIRING FOR CONTINUED USE.
 ADDITIVE ALTERNATE #IDO REPLACE SINGLE-HEAD POLES WITH LITHONIA #DSXO-LED-P5-30K-70CRI-AFR-MVOLTXVOLT-SPAS-NLTAIR2 PIRHN-HS-COLOR TO
- MATCH POLE. REPLACE TWIN-HEAD POLES WITH LITHONIA #DSXO-LED-P5-30K-70CRI-T5W-MVOLTXVOLT-SPAS-NLTAIR2 PIRHN-COLOR TO MATCH POLE. UTILIZE EXISTING POLES, WIRING, AND CONTROLS.
- 3. EXISTING ELECTRIC VEHICLE CHARGER TO BE RELOCATED. INTERCEPT AND
- EXTEND EXISTING CIRCUIT TO NEW LOCATION AT BUILDING ADDITION.
 EXISTING LIGHT POLE TO BE RELOCATED. INTERCEPT EXISTING CIRCUIT AND REMOVE BACK TO ADJACENT LIGHT POLE IN ORDER TO RE-ROUTE AROUND NEW BUILDING ADDITION FOOT-PRINT, EXTEND EXISTING CIRCUIT TO NEW LOCATION AND REINSTALL LIGHT POLE. REPLACE HEADS AS PART OF ADDITIVE ALTERNATE #IDO REFER TO KEYED NOTE 2 ABOVE.
- 5. EXISTING PNM TRANSFORMER TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY AND PROVIDE NEW CONCRETE PAD, STEEL PROTECTION BOLLARD(S), AND CONDUIT(S) NECESSARY. REFER TO RISER DIAGRAM ON SHEET E6.0 FOR ADDITIONAL REQUIREMENT(S).
- 6. EXISTING PNM 15kV RADIAL FEED PRIMARY SERVING EXISTING TRANSFORMER.
- RELOCATED PNM 15kV RADIAL FEED PRIMARY CONDUIT.
 RELOCATED PNM TRANSFORMER AND 13-JAW METER.
- CONTRACTOR SHALL RE-FEED EXISTING ELECTRICAL SERVICE WITH NEW 480-VOLT SECONDARY FEEDER. REFER TO RISER DIAGRAM ON SHEET E6.0 FOR ADDITIONAL REQUIREMENT(S).
- RELOCATED ELECTRIC VEHICLE CHARGER.
 RELOCATED LIGHT POLE ON NEW CONCRETE BASE. REFER TO KEYED NOTE 4
- ABOVE.
- 12. EXISTING ELECTRICAL MAIN DISCONNECT TO BE RELOCATED.
- 13. EXISTING 480-VOLT ELECTRICAL SECONDARY FEEDER TO BE REMOVED. CONTRACTOR SHALL COORDINATE AND SEQUENCE THE WORK TO REMOVE OR SAFE-GUARD THE EXISTING FEEDER TO AVOID DAMAGE OR UNSCHEDULED POWER DISRUPTION(S).
- 14. RELOCATED ELECTRICAL MAIN DISCONNECT. REFER TO RISER DIAGRAM ON SHEET E6.0 FOR ADDITIONAL REQUIREMENTS.
- 15. EXISTING DATA UTILITY SERVICE PULL-BOX TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH THE SERVING UTILITY IN ORDER TO MODIFY THE DATA SERVICE ALLOWING FOR THE CONSTRUCTION OF THE NEW BUILDING ADDITION AND RECONNECTION OF SERVICE FOR CONTINUED USE.

POLE BASE NOTES:

- A ALL LIGHT POLE CONCRETE BASES SHOULD BE VERIFIED WITH STRUCTURAL ENGINEER FAMILIAR WITH THE SOIL AND WIND CONDITIONS OF THIS PROJECT.
- B G.C. TO PROVIDE AND INSTALL ENTIRE POLE BASE.
- C LIGHTING FIXTURES SHALL BE OF TYPE INDICATED ON DRAWINGS. BOTH POLE AND BASE PLATE SHALL

BOTH POLE AND BASE PLATE SHALL BE FURNISHED AS PART OF LUMINAIRE, REFER TO LUMINAIRE SCHEDULE



WARNING:

SCALE: NONE

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF TO THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY IT'S FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES, AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "NM ONE CALL" PROCEDURES, OR OTHERWISE.





CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

December 19, 2024

Amadeo Trujillo Tierra West, LLC 5571 Midway Park Place NE Albuquerque, NM, 87109

RE: Pitre Kia Westside Auto Dealership 9640 Eagle Ranch NW Grading and Drainage Plan Engineer's Stamp Date: 11/06/2024 Hydrology File: B13D002D

Dear Mr. Trujillo:

Based upon the information provided in your submittal received 12/10/2024, the Grading & Drainage Plans are approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293 PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, <u>jhughes@cabq.gov</u>, 505-924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 505-924-3314 or <u>rbrissette@cabq.gov</u>.

Sincerely,

anthe Mart

Anthony Montoya, Jr., P.E. Senior Engineer, Hydrology Planning Department, Development Review Services



City of Albuquerque

Planning Department Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Р	roject Title: Pitre Kia Westside Auto Deale	ership Hydrology File #					
		SSUBDIVISION CONT 5.8965 AC AND TR C-1 SUBD PLAT MAP FOR ADOBE WELLS SUBD CONT 19,079 SC	ג FT				
C	Tity Address, UPC, OR Parcel: 9640 EAGLE F	ANCH RD NW, ABQ, NM, 87114					
A	pplicant/Agent: Tierra West LLC	Contact: Amadeo Trujillo					
A	ddress: 5571 Midway Park PL NE	Phone: 505-858-3100					
E	mail: ATrujillo@tierrawestllc.com						
А	pplicant/Owner: Pitre Holdings LLC C/O Robert G	Pitre LLC Contact: Scott Simkins					
	Address: 9797 Eagle Ranch Rd NW, ABQ,NM,87114 Phone: 505-494-5063						
E	mail: ssimkins@pitrenm.com						
Т	YPE OF DEVELOPMENT: Plat (# of lots)	Single Family Home Image: All other Developments					
	RE-SUBMITT	AL: YES NO					
D	DEPARTMENT: TRANSPORTATION	HYDROLOGY/DRAINAGE					
C	heck all that apply under Both the Type of Submi	ttal and the Type of Approval Sought:	•				
Т	YPE OF SUBMITTAL:	TYPE OF APPROVAL SOUGHT:					
	Engineering / Architect Certification	Pad Certification					
	Conceptual Grading & Drainage Plan	Building Permit					
~	Grading & Drainage Plan, and/or Drainage	Grading Permit					
	Report	Paving Permit					
	Drainage Report (Work Order)	SO-19 Permit					
	Drainage Master Plan	Foundation Permit					
	Conditional Letter of Map Revision (CLOMR)	Certificate of Occupancy - Temp Perr	m				
	Letter of Map Revision (LOMR)	Preliminary / Final Plat					
	Floodplain Development Permit	Site Plan for Building Permit - DFT					
	Traffic Circulation Layout (TCL) – Administrative	Work Order (DRC)					
	Traffic Circulation Layout (TCL) – DFT	Release of Financial Guarantee (ROFG)					
	Approval	CLOMR / LOMR					
	Traffic Impact Study (TIS)	Conceptual TCL - DFT					
	Street Light Layout	OTHER (SPECIFY)					
~	OTHER (SPECIFY)SW Quality Waiver						

DATE SUBMITTED: <u>12.10.2024</u>

CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

WAIVER APPLICATION FROM STORMWATER QUALITY VOLUME MANAGEMENT ON-SITE

GENERAL INFORMATION

APPLICANT: Pitre Kia	<u>DATE:</u> 12/10/24
DEVELOPMENT: Pitre Kia Auto Dealershi	ip Expansion
LOCATION: Tract B-1 AND C-1 of Adobe	e Wells Subdivision
9640 Eagle Ranch Road NW, Alb	uquerque, NM
STORMWATER QUALITY POND VOLUME	

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 113.3 cubic feet

The provided volume is _____ cubic feet

The deficient volume is 113.3 cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
- b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
- 2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: The Pitre Kia Auto Dealership is an existing development that was constructed in 2003. A proposed building addition of 6,002 SF is to be added to the existing building. As part of this expansion, 11 parking spaces and a parking island will be removed to accommodate the addition. Additionally, a new paved driveway covering approximately 5,230 SF will surround the new addition and will increase the impervious area to the site respectively. This expansion to the impervious area will increase the storm runoff volume by approximately 113.3 cubic feet. Due to the existing site constraints and minimal site modifications proposed, we request to pay a fee in lieu for the required stormwater quality volume storage requirements that will not be met.

Amadeo Trujillo, PE Tierra West, LLC

Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU =

THIS SECTION IS FOR CITY USE ONLY

X Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.



Waiver is DENIED.

City of All

City of Albuquerque Hydrology Section



SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

- 1. LOCATION
 - A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
 - B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
 - C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.
- 3. PHYSICAL POSTING
 - A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
 - B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.
- 4. TIME

Signs must be posted from _____11/6/24_____To ____12/6/24_____

- 5. REMOVAL
 - A. The sign is not to be removed before the initial hearing on the request.
 - B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

) como ______ 10/9/24____ (Applicant or Agent) (Date) I issued _____ signs for this application, __ (Staff Member) (Date)

PROJECT NUMBER: _____



Development Information

Build out/Implementation Year: 2025 Existing Use: Car/Truck Dealership

City of Albuquerque

Planning Department Development Review Services Division

Traffic Scoping Form (REV 05/2024)

MEN MEN	Trank Scoping Form (Rev 05/	B13D002D
Project Title: Pitre Kia Albuque	que Dealership Renovations	
Zone Atlas Page: B-13-Z		BP #:
Development Street Address: 964	Eagle Ranch Rd. NW, Albuque	erque, NM 87114
(If no City Address include a Vicini	ty Map with site highlighted and legibl	e street names)
Applicant: Pitre Kia Address: 9640 Eagle Ranch Rd	. NW, Albuquerque, NM 87114	Contact: Scott Simkins
Phone#: 505-899-4848	_{E-mail:} ssimkims@pitrer	im.com
evelopment Information uild out/Implementation Year: 2025 xisting Use: Car/Truck Dealershi		
escribe Proposed Development and U		

Describe Proposed Development and Uses: New 5700 square foot automotive service addition with 12-bays on the southeast side of the existing facility, expand parking capacity, and make improvements to the exisiting on-site grading and drainage infrastructure.

Days and Hours of Operation (if known): Monday thru Saturday, 9am-6pm

Facility

Building Size (sq. ft.): 5700 square feet					
Number of Residential Units: 0					
Number of Commercial Units: 1					
Traffic Considerations					
Expected Number of Daily Visitors/Patrons (if known):* Unknown					
Expected Number of Employees (if known):* Unknown					
Expected Number of Delivery Trucks/Buses per Day (if known):* Unknown					
Trip Generations during PM/AM Peak Hour and ITE # (if known):* <u>AM=12 Trips</u> , PM=25 Trips - ITE 942 Auto. Care					
Driveway(s) Located on: Street Name 1 Exist. on Westside Dr. and 1 Exist. on Eagle Ranch Rd.					
Adjacent Roadway(s) Posted Speed: Street Name Westside Drive Speed_25					

Street Name Eagle Ranch Rd.

* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.

Speed 35

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation (e.g. Main Street, Major Transit, N/A): https://acha.more.org/acha.more/web/maria.wor/index.html?id=52h6716081b1/d25221a7a9240ad61b								
https://caoq.inaps.arcgis.com/apps/webappyrewet/index.intil?id=5501/16981014dz5a51e/az549c2d610								
Comprehensive Plan Center Designation (e.g. urban center, Downtown, N/A): N/A								
https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b								
Street Functional Classification (e.g. Principal Arterial, Collector): Eagle Ranch Rd. Minor Arterial & Westside Dr. Local Rd.								
https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b								
Jurisdiction of roadway (NMDOT, City, County): City of Albuquerque								
Adjacent Roadway(s):								
Name: Westside Drive Traffic Volume: Unknown Volume-to-Capacity Ratio (v/c): Unknown								
Name: Eagle Ranch Rd Traffic Volume: <u>15,817 AWDT</u> Volume-to-Capacity Ratio (v/c):<0.5								
Traffic Volume and V/C Ratio: https://www.mrcog-nm.gov/623/Traffic-Flow-Maps-and-Busiest-Intersecti and https://mrcog-nm.gov/574/Transportation-Analysis-and-Querying-App								
Adjacent Transit Service(s) : City Bus RT 94 Nearest Transit Stop(s): 2								
Is site within 660 feet of Premium Transit?: No https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b								
Current/Proposed Bicycle Infrastructure : Proposed bike path and existing bike Lane on Eagle Ranch Rd.								
Bikeways: https://mrcog-nm.gov/544/Long-Range-System-maps								
Current/Proposed Sidewalk and buffer Infrastructure: Exist. sidewalks Eagle Ranch & Westside								
Sidewalk and buffer width : DPM Table 7.2.29								

Submit by email to Traffic Engineer Curtis Cherne: ccherne@cabq.gov. Email or call 505-924-3986 for information.

For City Personnel Use:

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No [X]

Thresholds Met? Yes [] No [X]

Mitigating Reasons for Not Requiring TIS and/or Notes:

ATTACHMENTS: SITE PLAN ITE TRIP GENERATION TABLE 7 EQUATIONS ITE LAND USE 942 DESCRIPTION The City concurs with the trips generated: ITE 942 AM Trips 12 PM Trips 25

Curtis A Cherne

TRAFFIC ENGINEER

9-13-24

DATE

