

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT

URBAN DESIGN & DEVELOPMENT DIVISION

600 2<sup>nd</sup> Street NW Room 190

Albuquerque, NM 87102

Tel: (505) 924-3320



## POST EPC MEMORANDUM

TO: CABQ Development Facilitation Team (DFT)  
FROM: William Steele, Senior Planner  
DATE: 05/08/25  
RE: PR-2024-011052, SI-2024-01468 – Site Plan – EPC

The Agent, Tierra West, for Pitre Holdings LLC c/o Robert G. Pitre, has worked with Staff to fulfill post EPC requirements to meet Conditions of Approval 1-10, for a Major Amendment to a Site Plan – EPC, for an approximately 6.3-acre subject site, which is legally described as all or a portion of Tract B-1 Plat of Tract B-1 and B-2; and Tract C-1 Subdivision Plat Map, all for Adobe Wells Subdivision, located at 9640 Eagle Ranch Rd. NW, between Irving Blvd. NW and Westside Dr. NW. See EPC Notice of Decision (NOD) dated November 21, 2024.

The applicant provided a letter which shall be included with the DFT submittal describing how each condition has been satisfied or will be met moving forward. Updated Site Plan drawings have been provided incorporating the Conditions of Approval.

### Unapproved Changes:

1. The LANDSCAPE IDO sheet (LS-104) is noted as “For Reference Only” and is included in the Post EPC review set. It is acceptable to leave in the set of drawings although not approved by EPC. It will not be reviewed by the EPC Staff Planner because it is not part of the EPC’s Conditions of Approval in the November 21, 2024 NOD.

\*Please contact Parks and Recreation - Urban Forestry to verify that the revised LANDSCAPE PLAN sheets (LS-101, LS-102, LS-103, LS-104) meet their conditions and comments. Or the applicant shall provide proof that the sheets have been reviewed and approved by Urban Forestry.

2. The following sheet was approved by the EPC and is missing from the Post EPC drawing set. Please restore the sheet to the drawing set.
  - a. SUN & SHADE ANALYSIS (A2.2)
3. The EXTERIOR ELEVATIONS sheet (A2.1) has additional dimensions and new “Keyed Notes” (i.e., 18-25) added to the drawing. These new notes and dimensions add clarity to the drawings. It is acceptable to leave on the drawing although not approved by EPC. The additional keyed notes and dimensions will not be reviewed by the EPC Staff Planner, because they are not part of the EPC’s Conditions of Approval in the November 21, 2024 NOD.



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4. Two new elevations have been added to the EXTERIOR ELEVATIONS sheet (A2.1): Partial North Elevation @ Service Addition and Partial South Elevation @ Vehicle Delivery. These new elevations provide clarity to the drawings. It is acceptable to leave the elevations on the drawing although not approved by EPC. The new elevations will not be reviewed by the EPC Staff Planner because they are not part of the EPC's Conditions of Approval in the November 21, 2024 NOD.

#### NOD CONDITIONS OF APPROVAL, PR-2024-011052 – Major Amendment to Site Plan – EPC

1. Pursuant to IDO §14-16-6-4(O)(4), any conditions shall be met within 1 year of the approval, unless stated otherwise in the approval. If any conditions are not met within that time, the approval is void. The Planning Director may extend the time limit up to an additional 1 year.

*Condition 1 has been met or is agreed to by the applicant: The applicant has agreed to meeting the Conditions of Approval within a year.*

2. The applicant shall coordinate with the Staff Planner to ensure that all Conditions of Approval are met and then submit a vetted, final version to the Staff Planner for filing at the Planning Department.

*Condition 2 has been met or is agreed to by the applicant: The applicant has provided a vetted final version of the site plan, required documents and accompanied letter describing how the Conditions of Approval are met.*

3. After coordinating with the Staff Planner, the applicant shall submit the final version to the Development Facilitation Team (DFT) for final sign-off. Pursuant to IDO §14-16-6-6(I)(2)(m), Site Plans shall be reviewed administratively for compliance with conditions of approval, DPM, and zoning standards prior to the issuance of a building permit. The reviewer shall ensure that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.

*Condition 3 has been met or is agreed to by the applicant: The applicant has agreed to submitting the final version of the Site Plan to the DFT for review and signal final sign off.*

4. Hydrology:  
A Grading and Drainage Plan & Report must be approved by Hydrology prior to review/sign-off of the Site Plan by the DFT.

Stormwater Quality Volume (SWQV) - The total required SWQV calculation must be included on the Grading and Drainage Plan along with Calculation of the portion of the SWQV for which payment-in-lieu is requested. Payment shall be made at the following steps in the City review/decision process:



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1. Multi-family Development: Prior to the issuance of a building permit.
2. *Commercial Development: Prior to the issuance of a building permit. [emphasis added]*
3. Single-family Subdivision: Prior to recording the Final Plat and prior to the issuance of a work order.

*Condition 4 has been met: The Grading and Drainage Plan and Report has been approved by Hydrology. Please see the approved plan and letter from the Hydrology Engineer dated December 19, 2024.*

5. CABQ Parks and Rec. Urban Forestry:

- Landscape Plan shall be stamped and signed by a licensed Landscape Architect.
- Revise the Landscape Plan to clearly show what is existing and what is to remain.
- Per Street Tree Ordinance 6-6-2-4 REQUIRED STREET TREES (1) All applicants for building permits for construction of a new building or building addition of 200 square feet or more shall submit a street tree plan for those parts of the lot abutting a major street, a major local street, or another street where street trees are required.
- Show street trees 25 feet on center along Westside Boulevard.
- Revise the Landscape Plan to select a tree species other than ash trees, which are overplanted and struggling in current climate conditions.
- Work with Urban Forestry to revise the Landscape Plan to identify the shrubs to be replaced and maintained.

*\*Condition 5 is contingent on the review and approval of the LANDSCAPE PLAN sheets (LS-101, LS-102, LS-103, LS-104) by Urban Forestry or the applicant shall provide proof that Urban Forestry has reviewed and approved the landscape drawings.*

*The LANDSCAPE PLAN sheets (LS-101, LS-102, LS-103, LS-104) have been stamped and signed; Existing and remaining trees were noted; street trees were added and noted; various types of trees were added.*

*A LANDSCAPE PLAN (EXISTING) sheet (LS-101) was added to the drawing set to clearly identify what landscaping is existing on the site.*

*LANDSCAPE PLAN sheet (LS-102) replaced and revised the EPC approved LANDSCAPE PLAN sheet (LS-1). This revised sheet contains an updated Plant Schedule, Landscape Notes and Overall Landscape Calculations. Irrigation Notes were added to this sheet.*

6. AMAFACA: Remove reference to AMAFCA and replace with “City of Albuquerque” on the existing 68 foot permanent underground drainage easement, which AMAFCA quitclaimed to the City of Albuquerque in 2000.



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*Condition 6 has been met: The reference to AMAFCA was replaced with “City of Albuquerque” on the existing 68 foot permanent underground drainage easement.*

7. Site Plan: Conditions 7A and 7B have been met.

A. Add the legal description to this sheet.

*The legal description has been added to the SITE PLAN sheet (AS1.1).*

B. The Site Plan shall comply with the General Regulations of the IDO and all other applicable design regulations, except as specifically approved by the EPC.

*This this text (7B) has been added to the GENERAL NOTES as note #5 on the SITE PLAN sheet (AS1.1).*

8. The site lighting shall come into compliance with the Outdoor and Site Lighting standards of IDO §14-16-5-8 or the applicant shall show how the existing outdoor lighting complies with the IDO. A site lighting plan shall be provided to city staff prior to sign off. If the applicant is unable to comply with IDO §14-16-5-8 they shall return to EPC for an outdoor and site lighting performance analysis.

*Condition 8 has been met. The applicant has added a GENERAL NOTES, LEGEND, FIXTURE SCHEDULE & IECC CALCS sheet (E0.1) to the drawing to meet the Outdoor and Site Lighting standards.*

*The applicant has provided an ELECTRICAL SITE PLAN sheet (ES1.0) which the existing and relocated locations of the electrical equipment, lighting (site lighting) and signs are shown on the site. Pull Box and Pole Base Mounting details are shown on the plan.*

9. Landscape Plan: Conditions 9A and 9B have been met.

A. The asphalt paving limits shall be modified to accurately show the new paving limits around the proposed addition.

*The landscape plan identifies the new paving limits around the proposed addition.*

B. The new plantings on the southeast corner of the proposed addition shall be identified.

*The new plantings on the southeast corner of the proposed addition have been identified on LANDSCAPE PLAN sheet (LS-1).*



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10. Exterior Elevations Sheet: *Condition 10A has not been met. Condition 10B has been met.*

- A. The missing “Parts” sign on the East (Side) Elevation for Keyed Note #14 shall be added to this sheet.

*The “Parts” sign is not shown on the East Elevation. Note #14 is pointing to the wall above a small garage door. Please show the “Parts” sign on the elevation sheet.*

- B. The North (Front) Elevation of the proposed addition with the 57’-0” façade shall incorporate 1 required feature every 40’-0” to adhere to the required total of 2 features along 30 percent of the length of the façade pursuant to §14-16-5-11(E)(2)(a)-(g).

*A planter has been incorporated along the 57’ façade (proposed addition) of the North Elevation to meet the requirement of 1 feature every 40’-0”. The new planter is also shown on the Site Plan sheet.*

The Agent (Tierra West LLC.) for Pitre Holdings LLC c/o Robert G Pitre has satisfied Conditions 1-4, 6-9 and 10B for the NOD dated November 21, 2024. *\*Condition 5 being met is contingent on Urban Forestry review and approval. Or the applicant shall provide proof that the sheets have been reviewed and approved by Urban Forestry.* All conditions that have not been met (i.e., Condition 10A) and Unauthorized Changes (i.e., 1-4) shall be coordinated with DFT staff prior to receiving final sign-off.

*William Steele*

William Steele, Senior Planner  
Current Planning, Urban Design & Development  
City of Albuquerque Planning Department



# Site Plan – EPC Major Amendment

## Pitre Kia

Submitted concurrently with a Zone Map Amendment – EPC  
October 2024



### PREPARED FOR:

Pitre Kia

### PREPARED BY:



Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109



# Table of Contents

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<b>1. Executive Summary .....</b>	<b>4</b>
<b>2. Request .....</b>	<b>5</b>
<b>3. Planning Context .....</b>	<b>5</b>
<b>4. History .....</b>	<b>9</b>
<b>5. Controlling Site Plan .....</b>	<b>9</b>
<b>6. Notification Requirements and Facilitated Meeting Request .....</b>	<b>9</b>
<b>7. Site Plan – EPC – Major Amendment Justification.....</b>	<b>10</b>
7.1 Chapter 5 – Land Use .....	10
7.2 Chapter 8 – Economic Development .....	12
<b>8. Site Plan – EPC – Major Amendment – Review and Decision Criteria .....</b>	<b>13</b>
<b>9. Conclusion.....</b>	<b>15</b>

## List of Figures

---

Figure 1 - Zoning within ½ Mile of the Pitre Kia Site.....	7
Figure 2 - Land Use within ½ Mile of the Pitre Kia Site.....	8

## List of Tables

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Table 1 - Zoning within ½ Mile of the Pitre Kia Site .....	7
Table 2 - Land Use within ½ Mile of the Pitre Kia Site .....	9



October 9, 2024

Mr. Jonathan R. Hollinger, Chair  
Environmental Planning Commission  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: **SITE PLAN – EPC MAJOR AMENDMENT  
9640 EAGLE RANCH RD NW, ABQ, NM, 87114  
TRACT B-1 PLAT OF TRACT B-1 AND B-2 OF ADOBE WELLS SUBDIVISION CONT  
5.8965 AC AND TR C-1 SUBD PLAT MAP FOR ADOBE WELLS SUBD CONT 19,079  
SQ FT  
ZONE ATLAS PAGE B-13-Z**

Dear Mr. Hollinger,

On behalf of Pitre Holdings LLC C/O Robert G Pitre LLC, I am writing to respectfully request your approval for a Site Plan – EPC, Major Amendment for an approximately 6-acre site, legally described as Tract B-1 Plat of Tract B-1 and B-2 Adobe Wells Subdivision & and Tract C-1 Subd Plat Map for Adobe Wells Subdivision, located at 9797 Eagle Ranch Rd NW (the subject site).

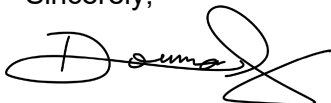
The subject site is currently dual-zoned, NR-BP and MX-M, and we are seeking to correct this to NR-C concurrently through a separate application. The site is owned and operated by Pitre Holdings, LLC as a car dealership, which includes light vehicle sales, repair, rental, and storage.

The proposed Major Amendment involves a 5,700 square foot addition that will expand the dealership facility by adding 12 new service bays, as well as enlarging the showroom by 268 square feet. This request exceeds the allowable minor amendment thresholds, which limit changes to the building's gross floor area to 10%. The controlling pre-IDO site plan (Project #1003100/03EPC01921) permitted a 16,000 square foot car sales facility. The new site plan proposes an increase of 5,968 square feet, resulting in a total gross floor area of 21,968 square feet, representing a 37% increase.

On behalf of Pitre Holdings LLC, Tierra West LLC, requests your review and approval.

If you have any questions, please feel free to reach out. Thank you for considering our request.

Sincerely,



Donna Sandoval

Planner

JN: 2024019

Cc: Ds/sl/rrb/at



# 1. Executive Summary

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Tierra West, on behalf of Pitre Holdings, LLC, is requesting approval for a Major Amendment to a Site Plan for an approximately 6-acre site legally described as Tract B-1 Plat of Tract B-1 and B-2 Adobe Wells Subdivision & and Tract C-1 Subd Plat Map for Adobe Wells Subdivision, located at 9797 Eagle Ranch Rd NW, currently home to the Pitre Kia car dealership. The proposed amendment seeks to expand the dealership's facilities by adding a 5,700 square foot addition that will include 12 new service bays and an expansion of the showroom by 268 square feet. This expansion will increase the total gross floor area to 21,968 square feet, which represents a 37% increase, exceeding the allowable 10% threshold for minor amendments.

The site has dual zoning: NR-BP (Non-Residential – Business Park) and MX-M (Mixed-Use Medium Intensity). The initial site development plan was approved under the C-2 zoning of the previous zoning code and approved by EPC. The IDO created a floating zoning that recently came to the owner's attention. Concurrently, the application includes a request to correct the zoning discrepancies of a floating zone line on the property. The existing uses of the site include light vehicle sales, rental and repair services, and storage.

The planning context highlights that the subject site falls within the Northwest Mesa Community Planning Area, designated as an Area of Consistency. It is also located within a Character Protection Overlay Zone along Coors Blvd and is in proximity to major transit corridors. The surrounding area features a mix of residential, non-residential, and mixed-use zones, with commercial services being a predominant use within half a mile.

Historically, the site was vacant until 2003 when it received approval for Westside Kia Auto-Dealership Site Development Plan from the Albuquerque Environmental Planning Commission (EPC). This plan allowed for a 16,000 square foot car sales facility, which was later constructed in 2004. The original approval garnered support from the City Planning Department and faced no opposition.

The Major Amendment aligns with several city planning goals and policies. It supports Goal 5.1 (Centers and Corridors) by enhancing connectivity and service availability near the Coors/ Paseo del Norte activity center to the south and the Cottonwood employment center to the north. Additionally, it captures regional growth patterns, helping to shape a sustainable built environment in an area that historically has had less commercial development.

The proposal is consistent with Policy 5.2.1 (Land Uses), which aims to create healthy, sustainable communities with a mix of uses accessible to surrounding neighborhoods. The location is within walking distance of residential areas and major transit routes, encouraging access to goods and services in the area while utilizing the subject site. Moreover, it promotes infill development that complements existing structures and utilizes previously underutilized land efficiently, adhering to the goals of compact development.



The request mitigates any significant adverse impacts on the surrounding community, ensuring compatibility with existing land uses and zoning regulations and aims to foster economic development by providing additional job opportunities in the area, supporting local entrepreneurship, and enhancing the quality of life for residents.

The EPC-Site Plan, Major Amendment requests development approval to expand the dealership's facilities by adding a 5,700 square foot addition that will include twelve (12) new service bays and an expansion of the showroom by 268 square feet. The proposed development would create direct and indirect jobs for a range of vocational workers with varying skills and salary ranges on the West Side. The request will modernize and expand a facility that both the community needs and meets regulatory standards, aligning with broader city planning objectives for sustainable development, economic growth, and improved service accessibility. The proposal will improve community connectivity to amenities while also having a minimal impact on the surrounding traffic network.

## **2. Request**

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Tierra west on behalf of Pitre Holdings, LLC respectfully request approval for a Site Plan – EPC, Major Amendment for an approximately 6-acre site, legally described as Tract B-1 Plat of Tract B-1 And B-2 Adobe Wells Subdivision, and Tract C-1 Subd Plat Map for Adobe Wells Subdivision, located at 9797 Eagle Ranch Rd NW (the subject site). The subject site has dual zoning, NR-BP and MX-M, which we are seeking to correct concurrently as a separate application.

The subject site is owned and operated by Pitre Kia as a car dealership (light vehicle sales), a repair and service center (light vehicle rental, repair and storage). The Major Amendment proposes a 5,700 square foot addition which will expand the facility with 12 new service bays as well as the expansion of a showroom by 268 square feet. The request exceeds the allowable minor amendment thresholds which limits changes to the building gross floor area to 10%. The controlling pre-IDO site plan (Project #1003100/ 03EPC01921) permitted a 16,000 square foot car sales facility. The proposed site plan will increase the square footage by 5,968 square feet (a 37% increase) for a total of 21,968 square feet of the building's gross floor area.

Per IDO subsection 14-16-6-4(Y)(1)(b)1, major amendments shall be reviewed and decided by the decision-making body that issued the permit or approval being amended, following the procedures for the most closely equivalent decision in Part 14-16-6 (Administration and Enforcement). The EPC was the original decision-making body, as such, the procedures described in IDO 14-16-6-6(I) Site Plan – EPC shall be followed.

## **3. Planning Context**

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Zoning – Subject site and surrounding.

The subject site contains two parcels, one of which is wholly zoned NR-BP (Non-Residential – Business Park), the larger westerly portion of the subject site is zoned NR-BP and MX-M (Mixed-Use Medium Intensity). Tierra West requests approval of a Site Plan-EPC and Zone Map



Amendment to NR-C for a Pitre Kia Car Dealership used for light vehicle sales, rental and repair, and storage.

The Light vehicle sales, repair, rental and storage are a permissive primary use to the NR-BP and MX-M zoning districts. The land use for the parcels is designated as commercial. Both falling entirely within the Northwest Mesa Community Planning Area (CPA) and designated as an Area of Consistency. The subject site is located within the Character Protection Overlay Zone of Coors Blvd (CPO-2) and is 800 feet away from the Coors Blvd Major Transit Corridor.

The subject site is situated between Western Dr NW and Irving Blvd NW on Eagle Ranch Rd NW. The surrounding area is characterized by a mix of zoning and land uses, primarily consisting of Residential, Non-Residential and Mixed-Use zones with commercial services as the primary use within 1/2 mile of the subject site. To the north of the property, there are a variety of zones, including MX-M, NR-LM, NR-PO-B, PD, R-1B, R-1C, R-ML, and R-T, and includes a mix of residential and commercial uses. To the east, there is MX-L, MX-M, NR-C, NR-PO-B, R-A, and UNCL zones, with a mix of commercial, residential, and vacant land use designations. South of the site, the zoning includes MX-L, MX-M, MX-T, NR-BP, NR-C, R-1B, R-A, and UNCL zones, and includes a variety of residential and commercial uses. To the west, there are MX-L, MX-M, MX-T, NR-PO-A, R-1B, and UNCL zones, with a mix of commercial, residential, and vacant land use designations. See



Figure 1 & Table 1 below for zoning information within ½ Mile of the subject site, and Figure 2 & Table 2 for land uses with ½ Mile of the subject site.

**Figure 1 - Zoning within ½ Mile of the Pitre Kia Site**

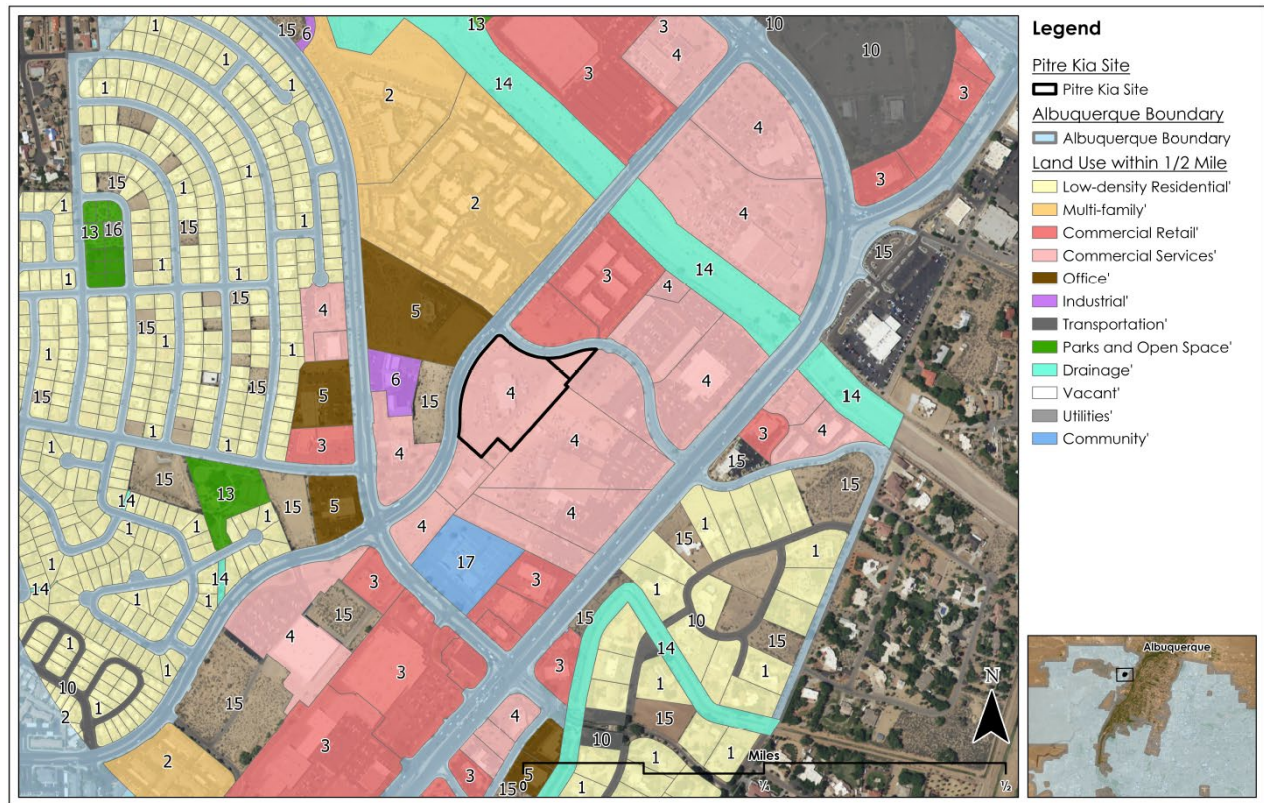


Zoning Table	
Location	Zoning
Subject Site (Controlling Site Plan)	NR-BP & MX-M
North	MX-M, NR-LM, NR-PO-B, PD, R-1B, R-1C, R-ML, R-T
East	MX-L, MX-M, NR-C, NR-PO-B, R-A, UNCL
South	MX-L, MX-M, MX-T, NR-BP, NR-C, R-1B, R-A, UNCL
West	MX-L, MX-M, MX-T, NR-PO-A, R-1B,

**Table 1 - Zoning within ½ Mile of the Pitre Kia Site**



**Figure 2 - Land Use within ½ Mile of the Pitre Kia Site**



Land Use	
Location	Land Use
Subject Site (Development Area)	Commercial Services
North	01 Low-Density Residential 02 Multi-family 03 Commercial Retail 04 Commercial Services 06 Industrial 10 Transportation 12 Parks and Open Space 14 Drainage 15 Vacant
East	01 Low-Density Residential 03 Commercial Retail 04 Commercial Services 14 Drainage 15 Vacant
South	01 Low-Density Residential 02 Multi-family 03 Commercial Retail 04 Commercial Services 05 Office 14 Drainage 15 Vacant



	17 Community.
West	01 Low-Density Residential 03 Commercial Retail 04 Commercial Services 05 Office 06 Industrial 13 Parks and Open Space 15 Vacant 16 Utilities

Table 2 - Land Use within ½ Mile of the Pitre Kia Site

## 4. History

The subject site was vacant up until 2003 when a Site Development Plan (SDP) Building Permit application (Project #1003100/ 03EPC-01921) was reviewed and approved by the Albuquerque Environmental Planning Commission (EPC) on December 18, 2003. The application did not encounter any known opposition and received support from the City Planning Department. Prior to the IDO, the subject site was zoned SU-1 for C-2 uses.

At the time of approval, the site was subject to the West Side Strategic Plan, the Coors Corridor Plan, and the Comprehensive Plan. Staff found the request to be compatible with the relevant plans and recommended approval of the site plan, with conditions. Following the EPC's approval, the site plan secured all necessary signatures and approvals for the project (#1003100) by March 19, 2004, and construction started that same year.

## 5. Controlling Site Plan

As mentioned above, the controlling site plan (Project #1003100/ 03EPC01921) was heard and approved by the EPC on December 18, 2003, with conditions. The site development plan for building permit noted two phases. Phase 1 encompasses the northern portion of the subject site and contained the primary use of light vehicle sales. Phase 2 encompasses the southern portion of the subject site and was primarily shown to be parking and outdoor light vehicle storage, which supports the primary use. The original controlling site plan is included as part of this submittal packet.

The subject site has two access points, one on the north off Western Dr NW and the second on the west side off Eagle Ranch Rd NW. The dealership building is approximately 6.4% of the lot area and the original landscaping covers 17% of the required 15% net lot area.

## 6. Notification Requirements and Facilitated Meeting Request

All notification requirements outlined in the IDO have been met. A Pre-submittal Neighborhood Meeting was offered on August 23, 2024, and no neighborhood associations requested to hold a meeting. Furthermore, all property owners within 100' of the site and all neighborhood association representatives were notified of this submittal by October 10, 2024. No questions or comments have been received from members of the public regarding this request.



## 7. Site Plan – EPC – Major Amendment Justification

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### 7.1 Chapter 5 – Land Use

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**Goal 5.1 – Centers and Corridors:** Grow as a community of strong Centers connected by a multi-modal network of Corridors.

- *The request is consistent with Goal 5.1 Centers and Corridors because it would support the Coors/Paseo del Norte activity center to the south and the Cottonwood employment center to the north grow as a community of strong centers connected by a multi-modal network of corridors. The subject site is located approximately 140-ft from the Coors Blvd Major Transit Corridor boundary and 300-ft from a bus stop on Eagle Ranch. The approval of the request would support the development of strong centers connected by multi-modal networks by providing service amenities not currently available in an area that would be in close proximity to the Coors Blvd corridor, bus stops and in between an activity center and employment center. The request furthers Goal 5.1.*

**Policy 5.1.1 – Desired Growth:** Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

- *The request is consistent with Policy 5.1.1 Desired Growth because it captures the pattern of regional growth between the Coors/Paseo del Norte activity center to the south, the Cottonwood employment center to the north, and the Coors Blvd corridor to the east; helping shape the built environment into a sustainable development pattern. The subject site is also located with the Northwest CPA, which is typically characterized by a disproportionate amount of single-family residential development as opposed to commercial development. This area specifically is characterized by mixed-use development including light vehicle sales, multi-family dwellings, and commercial services. The approval of the request would support desired growth by capturing the regional growth of nearby centers and corridors to help shape the built environment into sustainable development patterns. The request furthers Policy 5.1.1.*
- c) Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to accommodate growth over time and discourage the need for development at the urban edge.
- *The request is consistent with Policy 5.1.1 Desired Growth section c) because it encourages employment density, compact development, redevelopment, and infill in an appropriate area between Centers and Corridors to accommodate growth over time and discourages the need for development at the urban edge. The building addition project will provide employment opportunities and light vehicle services atypical of the Northwest CPA while promoting compact development, redevelopment and infill in an area frequented for commercial services. The approval of the request would encourage employment density, compact development, redevelopment, and infill in appropriate areas to accommodate growth over time and discourage the need for development at the urban edge. The request furthers Policy 5.1.1.c*

**Goal 5.2 – Complete Communities:** Foster communities where residents can live, work, learn, shop, and play together.

- *The request is consistent with Goal 5.2 – Complete Communities because it would foster communities where residents can live, work, learn, shop and play together. The subject site is located within the Northwest CPA which is typically characterized by residential dwellings,*



*it is also within a half mile of the Cottonwood employment center and within a quarter-mile of the Coors/Paseo del Norte activity center and community Eagle Ranch Park. The approval of the request would provide residents and community members with the option of several nearby activities and commercial services to engage in while servicing their vehicle, fostering communities where residents can live, work, learn, shop and play together. The request furthers Goal 5.2.*

**Policy 5.2.1 Land Uses:** Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

- *The request is consistent with Policy 5.2.1 Land Uses because it creates a healthy, sustainable, and distinct community with a mix of uses that are conveniently accessible from surrounding neighborhoods. As mentioned earlier, the subject site is located in a community characterized by residential dwellings as well as within a half mile of an employment center, and within a quarter mile of an activity center, and major transit corridor. This area specifically is characterized by mixed-use development including light vehicle sales, multi-family dwellings, and commercial services. The approval of the request would support the creation of healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods. The request furthers Policy 5.2.1.*
- a) Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.
- *The request is consistent with Policy 5.2.1 Land Uses section a) because it encourages development and redevelopment that brings goods, services, and amenities within walking and biking distance of westside neighborhoods and promotes good access for all residents. The subject site is within 300-ft of a public bus stop, fronts existing and proposed bike paths off Eagle Ranch Rd and is within a half mile of low-density and multi-family residential land use. The approval of the request encourages redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods while promoting good access for all residents. The request furthers Policy 5.2.1.a*
- b) Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development. [ABC]
- *The request is consistent with Policy 5.2.1 Land Uses section h) because it encourages infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development. The subject sites current land use is light vehicle sales, rental and storage. With the proposed building addition, the land use would remain as light vehicle sales, rental and storage. The approval of the request would encourage infill development that adheres to design standards in the IDO which ensure compatible form/scale of the building to the immediately surrounding development. The request furthers Policy 5.2.1.h*
- c) Encourage more productive use of vacant lots and under-utilized lots, including surface parking.
- *The request is consistent with Policy 5.2.1 Land Uses section n) because it encourages more productive use of an under-utilized lot, including surface parking. Approval of the building addition will create complementary light vehicle commercial service uses to a lot that can be optimized to provide more productive services to the westside community. The request furthers Policy 5.2.1.n*



**Goal 5.3 Efficient Development Patterns:** Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

- *The request is consistent with Goal 5.3 Efficient Development patterns because the subject site is in an area with existing infrastructure and public facilities. The subject site also promotes the use of transit, a public amenity, as it is located within 140-feet of the Coors Blvd Major Transit Corridor and is within an area of consistency as designated in the ABC Comp Plan. The request is consistent with Goal 5.3 Efficient Development Patterns.*

**Policy 5.3.1 – Infill Development:** Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

- *The requested site plan furthers Policy 5.3.1 – Infill development as it promotes development patterns that maximize the utility of existing infrastructure. The subject site is in the Northwest Mesa CPA, and within a developed area of the city with established infrastructure and public facilities. The development of the building addition would encourage the efficient use of land and thus supports the public good. The request furthers Policy 5.3.1.*

**Goal 5.4 Jobs-Housing Balance:** Balance jobs and housing by encouraging residential growth near employment across the region and prioritizing job growth west of the Rio Grande.

- *The requested site plan furthers Goal 5.4 Jobs-Housing Balance as it prioritized job growth west of Rio Grande on the Northwest Mesa CPA that is characterized by many residential dwellings. The site also includes residential zoning to the west and south within a half mile of the site. The development of the building addition prioritizes job growth west of the Rio Grande. The request furthers Goal 5.4.*

**Policy 5.4.2 West Side Jobs:** Foster employment opportunities on the West Side. [ABC]

- *The requested site plan furthers Policy 5.4.2 West Side Jobs as it fosters new employment opportunities on the West Side by encouraging infill development close to existing employment and activity centers. The development of the building addition prioritizes new amenities and employment opportunities on the West Side. The request furthers Policy 5.4.2*

a) Ensure adequate capacity of land zoned for commercial, office, and industrial uses west of the Rio Grande to support additional job growth.

- *The requested site plan amendment and concurrent zone map amendment furthers Policy 5.4.2 a as it will correct zoning to ensure adequate capacity of land zoned for commercial uses on the west side of the Rio Grande to support additional job growth. The request will ensure the availability of commercial uses for improved light vehicle sales, rental and storage while optimizing the capacity for commercial zoned land on the west side. The request furthers Policy 5.4.2 a.*

## **7.2 Chapter 8 – Economic Development**

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**Goal 8.1 – Placemaking:** Create places where businesses and talent will stay and thrive.

- *The proposed development would create jobs for a range of vocational workers with varying skills and salary ranges. The request also continues and encourages commercial development within the Kia Westside Auto Dealership site plan, which was approved in 2003 by the EPC. This request establishes development and stability and creates places*



*where businesses and talent will stay and thrive. The request is consistent with Goal 8.1 – Placemaking.*

**Policy 8.1.2 Resilient Economy:** Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

- The proposed site plan amendment would encourage an economic development effort that would improve the quality of life for new and existing residents by allowing a range of land uses at the appropriate location, scale, intensity, and density. The subject site is located between the Coors/Paseo del Norte activity center to the south, the Cottonwood employment center to the north, and the Coors Blvd corridor to the east and within an area of consistency. Development within the site would foster a robust, resilient, and diverse economy because the request would provide a needed high-quality use that would benefit the community. Further, the development would be an infill development and would maximize existing infrastructure and resources such as public transit, and would provide opportunity for new jobs, thus ensuring a resilient economy. The request furthers Policy 8.1.2 – Resilient Economy.*

**Goal 8.2 – Entrepreneurship:** Foster a culture of creativity and entrepreneurship and encourage private businesses to grow.

- The approval of this request would encourage private business to grow because it consists of the expansion of commercial services proposed within the Kia Westside Auto Dealership Site Plan approved in 2033. The expansion development of this site shows the growth potential and need for additional light vehicle service amenities in the Northwest Mesa CPA. The request is consistent with Goal 8.2 – Entrepreneurship.*

## **8. Site Plan – EPC – Major Amendment – Review and Decision Criteria**

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**6-6(I)(3)(a):** The Site Plan is consistent with the ABC Comp Plan, as amended.

- As discussed above, the requested Site Plan - Major Amendment will benefit the surrounding neighborhood because it is consistent with the ABC Comp Plan and the applicable Goals and Policies therein and clearly facilitating the implementation of the ABC Comp Plan as shown in the previous analysis. The analysis describes how the proposed Site Plan Amendment and concurrent Zone Map Amendment is consistent with Goals and Policies regarding Centers and Corridors, Land Uses, Infill Development, Efficient Development Patterns, West Side Jobs, and Entrepreneurship. These Goals and policies are supported because the request will provide much needed high density, and infill development on the westside where services are needed and desired. Further, the subject site is within 880-feet from a Major Transit Corridor – Coors Blvd, and within an area of consistency. The request meets criterion a.*

**6-6(I)(3)(b):** The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

- The site plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and related development agreements and/or regulations. The request meets criterion b.*



**6-6(I)(3)(c):** The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

- *The subject site is beholden to the Kia Westside Auto Dealership, Site Plan from 2003. Following the approval of this request, development will comply with all applicable provisions of the IDO, the DPM, and other City regulations and the terms established in the original approval. The request meets criterion c.*

**6-6(I)(3)(d):** The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

- *The City's existing infrastructure has adequate capacity for the proposed development. We will be making all required submittals to Hydrology, Transportation, etc. The request meets criterion d.*

**6-6(I)(3)(e):** The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

- *The request mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable. The Major Amendment would expand a current use to the existing Kia Westside Auto Dealership site plan. The spirit of the existing, controlling site plan, which was approved in 2003, is maintained. The proposed subject site is within the boundary of the Coors Boulevard Character Protection Overlay Zone and is within an area of consistency. Not only are adverse impacts mitigated, but the request will also be a benefit to the surrounding area and communities by efficiently developing a service through the use of existing infrastructure and public facilities. The request meets criterion e.*

**6-6(I)(3)(f):** If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

- *The subject site is not within any Master Development Plan boundaries. However, the subject site is beholden to the Kia Westside Auto Dealership Site Plan, and the IDO. The proposed site plan amendment adheres to the controlling site plan, and the IDO and relevant standards applicable to the zone district the subject property is in. The request meets criterion f.*

**6-6(I)(3)(g):** If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative



Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

- *A cumulative impact analysis is not required in this location because it does not fall within a Railroad and Spur Small Area. The request meets criterion g.*

**6-6(I)(3)(h):** If an outdoor or site lighting performance analysis is requested, the proposed lighting design must prove it will not adversely affect the lighting requirements of Section 14-16-5-2(E) without sufficient mitigation and benefits that outweigh the expected impacts.

- *The outdoor lighting is beholden to the Kia Westside Auto Dealership Site Plan of 2003. This Site plan limits the site lighting to an off-site luminance no greater than 1000-foot lamberts and the mounting height of luminaries in vehicular and/or storage areas to no higher than 20 feet. The request meets criterion h.*

## 9. Conclusion

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In conclusion, the proposed development expansion for light vehicle service repair center and showroom expansion with storage is a highly suitable project for the Northwest Mesa Community Planning Area. The project aligns with the NR-BP and NR-C zoning requirements, leverages existing infrastructure, and fulfills a critical need for non-residential amenities on the Westside. By promoting infill development and sustainable growth, it enhances the utility of the Westside and supports the broader goals of the ABC Comprehensive Plan. The request also aligns with the controlling Westside Kia Auto-Dealership Site Plan adopted prior to the adoption of the IDO.

This development will foster economic growth by creating jobs and encouraging further business activity in an existing lot used for light vehicle sales, repair, rental and storage. It will improve the quality of life for residents by providing much-needed services on the westside, thereby strengthening the community's identity and resilience.

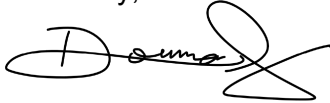
The proposed amendment furthers a preponderance of Goals and Policies (5.1, 5.1.1, 5.2, 5.2.1, 5.3, 5.3.1, 5.4, 5.4.2, 8.1, 8.1.2, 8.2) regarding community connectivity, sustainable development, and job growth, particularly in the Northwest Mesa Community Planning Area, and others. These Goals and policies are supported because the request would provide much needed high density, infill development near major transit corridors and within an area characterized by NR-BP development. Further, the subject site expansion of 5968 square feet shows the growth potential and need for additional light vehicle service amenities in the Northwest Mesa CPA and encourages private business to grow and expand commercial services, within an area of consistency.

Tierra West LLC, on behalf of Pitre Holdings LLC C/O Robert G Pitre LLC, respectfully seeks that this Site Plan Major Amendment for the subject site, currently operated as a car dealership and service center is considered and approved by the Environmental Planning Commission. The



proposed expansion includes a 5,968 square foot addition, which exceeds the allowable minor amendment thresholds, necessitating this request for a major amendment. We are committed to following the appropriate procedures outlined in the IDO and controlling Site Plan of 2003. We appreciate your consideration in this matter.

Sincerely,

A handwritten signature in black ink, appearing to read 'Donna Sandoval', with a stylized flourish at the end.

Donna Sandoval  
Planner

Cc: Ron Cambell, Robert Pitre, Scott Simkins

JN: 2024019

DS/sl/rrb/at





August 28, 2024

Mr. Jonathan R. Hollinger, Chair  
Environmental Planning Commission  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: ALL EPC SUBMITTALS  
9640 EAGLE RANCH RD NW, ABQ, NM, 87114  
TRACT B-1 PLAT OF TRACT B-1 AND B-2 OF ADOBE  
WELLSSUBDIVISION CONT 5.8965 AC AND TR C-1 SUBD PLAT MAP  
FOR ADOBE WELLS SUBD CONT 19,079 SQ FT  
ZONE ATLAS PAGE B-13-Z

Dear Mr. Hollinger:

The purpose of this letter is to authorize Tierra West, LLC to act as agent on behalf of Pitre Holdings LLC C/O Robert G Pitre LLC pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

BOB PITRE

Print Name

A handwritten signature in black ink, appearing to read "Bob Pitre", written over a horizontal line.

Signature

Exec. MGR

Title

8-30-24

Date



(Revised 10/26/23)

**Request Description:** EPC Site Plan - Major Amendment to add additional service bay.

• Sensitive Lands Analysis (5-2(C))	_____	Approved	_____	NA
• Grading and Drainage Plan	_____	Approved	_____	NA
• AMAFCA	_____	Approved	_____	NA
• Bernalillo County	_____	Approved	_____	NA
• NMDOT	_____	Approved	_____	NA
• MRGCD	_____	Approved	_____	NA

Date \_\_\_\_\_

• Traffic Circulations Layout (TCL)	<u>      </u>	Approved	<u>      </u>	NA
• Traffic Impact Study (TIS)	<u>      </u>	Approved	<u>      </u>	NA
• Neighborhood Impact Analysis (NIA)	<u>      </u>	Approved	<u>      </u>	NA
• Bernalillo County	<u>      </u>	Approved	<u>      </u>	NA
• MRCOG	<u>      </u>	Approved	<u>      </u>	NA
• NMDOT	<u>      </u>	Approved	<u>      </u>	NA
• MRGCD	<u>      </u>	Approved	<u>      </u>	NA

6/10/2025  
Date

- Request for Availability submitted? ☐ Yes ☐ No ☐ NA
- Availability Statement/Serviceability Letter Number \_\_\_\_\_
- Note: Commitment for service is required prior to application approval.

Date \_\_\_\_\_

- |   |                |          |
|---|----------------|----------|
| <input type="checkbox"/> Infrastructure Improvements Agreement (IIA*) | _____ Approved | _____ NA |
| <input type="checkbox"/> Solid Waste Department Signature on the Plan | _____ Approved | _____ NA |
| <input type="checkbox"/> Fire Marshall Signature on the Plan          | _____ Approved | _____ NA |

\* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)



(Revised 10/26/23)

**Request Description:** EPC Site Plan - Major Amendment to add additional service bay.

• Sensitive Lands Analysis (5-2(C))	<u>      </u>	Approved	<u>  X  </u>	NA
• Grading and Drainage Plan	<u>  X  </u>	Approved	<u>      </u>	NA
• AMAFCA	<u>      </u>	Approved	<u>  X  </u>	NA
• Bernalillo County	<u>      </u>	Approved	<u>  X  </u>	NA
• NMDOT	<u>      </u>	Approved	<u>  X  </u>	NA
• MRGCD	<u>      </u>	Approved	<u>  X  </u>	NA

6/11/2025  
Date

• Traffic Circulations Layout (TCL)	_____	Approved	_____	NA
• Traffic Impact Study (TIS)	_____	Approved	_____	NA
• Neighborhood Impact Analysis (NIA)	_____	Approved	_____	NA
• Bernalillo County	_____	Approved	_____	NA
• MRCOG	_____	Approved	_____	NA
• NMDOT	_____	Approved	_____	NA
• MRGCD	_____	Approved	_____	NA

Date \_\_\_\_\_

- Request for Availability submitted? ☐ Yes ☐ No ☐ NA
- Availability Statement/Serviceability Letter Number \_\_\_\_\_
- Note: Commitment for service is required prior to application approval.

Date \_\_\_\_\_

- |   |                |          |
|---|----------------|----------|
| <input type="checkbox"/> Infrastructure Improvements Agreement (IIA*) | _____ Approved | _____ NA |
| <input type="checkbox"/> Solid Waste Department Signature on the Plan | _____ Approved | _____ NA |
| <input type="checkbox"/> Fire Marshall Signature on the Plan          | _____ Approved | _____ NA |

\* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)



**FORM SP: PRE-APPROVALS/SIGNATURES**

(Revised 10/26/23)

**Legal Description & Location:** TRACT B-1 PLAT OF TRACT B-1 AND B-2, and TRACT C-1 ADOBE WELLS SUBDIVISION  
9640 EAGLE RANCH RD NW

**Request Description:** EPC Site Plan - Major Amendment to add additional service bay.

☐ **Hydrology:**

• Sensitive Lands Analysis (5-2(C))	_____ Approved	_____ NA
• Grading and Drainage Plan	_____ Approved	_____ NA
• AMAFCA	_____ Approved	_____ NA
• Bernalillo County	_____ Approved	_____ NA
• NMDOT	_____ Approved	_____ NA
• MRGCD	_____ Approved	_____ NA

\_\_\_\_\_  
Hydrology Department

\_\_\_\_\_  
Date

☐ **Transportation:**

• Traffic Circulations Layout (TCL)	_____ Approved	_____ NA
• Traffic Impact Study (TIS)	_____ Approved	_____ NA
• Neighborhood Impact Analysis (NIA)	_____ Approved	_____ NA
• Bernalillo County	_____ Approved	_____ NA
• MRCOG	_____ Approved	_____ NA
• NMDOT	_____ Approved	_____ NA
• MRGCD	_____ Approved	_____ NA

\_\_\_\_\_  
Transportation Department

\_\_\_\_\_  
Date

☒ **Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Request for Availability submitted? ☒ Yes ☐ No ☐ NA
- Availability Statement/Serviceability Letter Number 240915
- Note: Commitment for service is required prior to application approval.

Galveston Begaye  
ABCWUA

06/10/2025

\_\_\_\_\_  
Date

- |   |                |          |
|---|----------------|----------|
| <input type="checkbox"/> Infrastructure Improvements Agreement (IIA*) | _____ Approved | _____ NA |
| <input type="checkbox"/> Solid Waste Department Signature on the Plan | _____ Approved | _____ NA |
| <input type="checkbox"/> Fire Marshall Signature on the Plan          | _____ Approved | _____ NA |

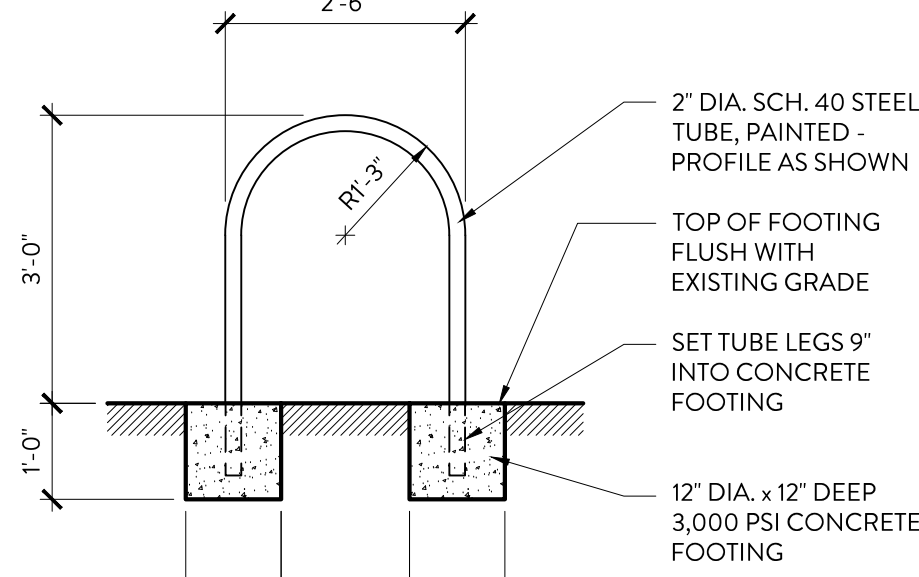
\* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)



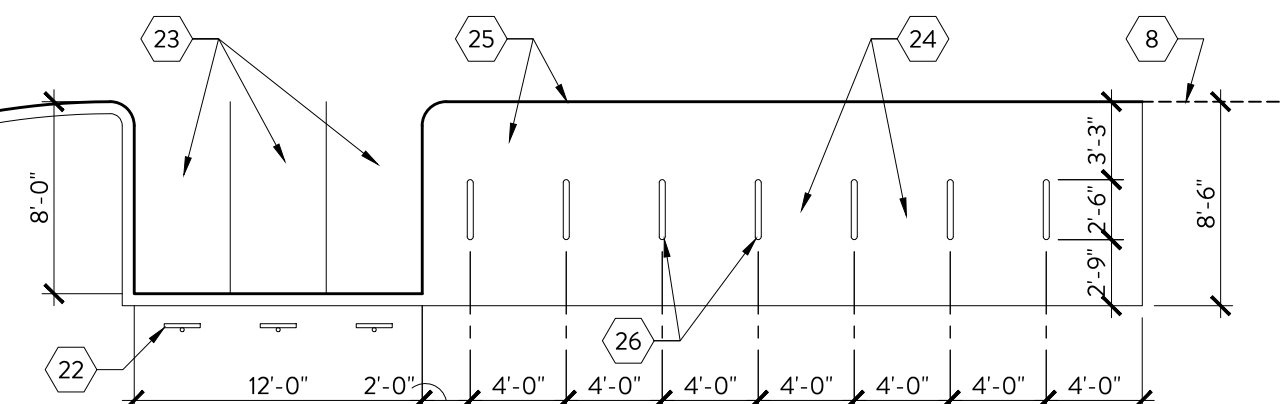


LEGEND	
---	PROPERTY LINE
---	EASEMENT LINE
---	SETBACK LINE
---	EDGE OF PAVEMENT
---	PEDESTRIAN WALKWAY
---	STREET LANE STRIPING
---	BICYCLE & TURN LANE STRIPING
---	STEEL POST-AND-CABLE FENCING, 2' HIGH
---	WIRE FENCING, 4' HIGH
---	CHAIN LINK FENCING, 6' HIGH
---	EXISTING FIRE HYDRANT
---	EXISTING STREET LIGHTING
---	EXISTING/RELOCATED SITE LIGHTING

KEYED NOTES	
1. EXISTING 6' CHAIN LINK FENCE TO REMAIN.	22. MOTORCYCLE PARKING SIGNAGE.
2. EXISTING STORM SEWER DROP INLET TO REMAIN. SEE CIVIL.	23. MOTORCYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
3. RELOCATE EXISTING PARKING LOT LIGHTING. SEE ELECTRICAL.	24. BICYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
4. EXTEND NEW 30' WIDE ASPHALT DRIVE AROUND SERVICE ADDITION.	25. CONCRETE WALK & CURB. SEE CIVIL.
5. RELOCATE ELECTRICAL SERVICE TRANSFORMER.	26. BICYCLE RACK. SEE DETAIL 2/AS1.1.
6. EV CHARGING STATION. SEE ELECTRICAL.	27. EXISTING CONCRETE VEHICLE DISPLAY PAD FLUSH WITH ASPHALT - NO CURB.
7. EXISTING 6' HIGH CMU DUMPSTER ENCLOSURE TO REMAIN. REPAINT.	28. 5' WIDE PEDESTRIAN WALKWAY FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE.
8. EDGE OF ASPHALT. SEE CIVIL.	29. NEW LANDSCAPE ISLAND AS SHOWN.
9. EXISTING FIRE HYDRANT TO REMAIN.	30. SECURE VEHICLE STORAGE AREA.
10. REMOVE 11 EXISTING PARKING SPACES & ISLAND.	31. EXISTING 5' WIDE CONCRETE WALK FROM SIDEWALK TO PARKING LOT - PART OF 5' PEDESTRIAN WALKWAY TO BUILDING. SEE KEYED NOTE 28 ABOVE.
11. REMOVE EXISTING ISLAND & CONCRETE WALK.	32. 5' WIDE PEDESTRIAN WALKWAY FROM ACCESSIBLE PARKING TO BUILDING ENTRANCE.
12. RELOCATE EXISTING GAS METER. SEE CIVIL.	33. EXISTING CONCRETE WALK, FLUSH WITH ASPHALT PAVEMENT.
13. EXISTING FLAG POLE TO REMAIN.	34. NEW CURB & WALK - DIMENSIONS AS SHOWN.
14. EXISTING 4' WIRE FENCE TO REMAIN.	35. EXISTING 2' HIGH STEEL POST-AND-CABLE FENCE TO REMAIN.
15. EXISTING DRAINAGE SWALE TO REMAIN.	36. EXISTING 6' WIDE CONCRETE SIDEWALK TO REMAIN.
16. EXISTING CONCRETE GUTTER TO REMAIN.	37. EXISTING PROPERTY LINE.
17. EXISTING DOUBLE 8' CHAIN LINK GATE TO REMAIN.	38. MINI CLEAR SIGHT TRIANGLE, 11' x 11'.
18. NEW INTERNALLY LIGHTED PYLON SIGN BY PATTON SIGN GROUP IN LOCATION OF EXISTING SIGN.	39. BICYCLE LANE, 5' WIDE.
19. EXISTING SITE LIGHTING TO REMAIN. 18' HIGH +/-.	
20. NEW BICYCLE PARKING - 7 SPACES. SEE ENLARGED PLAN (1/AS1.1) & RACK DETAIL (2/AS1.1).	
21. NEW MOTORCYCLE PARKING - 3 SPACES. SEE ENLARGED	



BICYCLE PARKING RACK DETAIL  
2/AS1.1

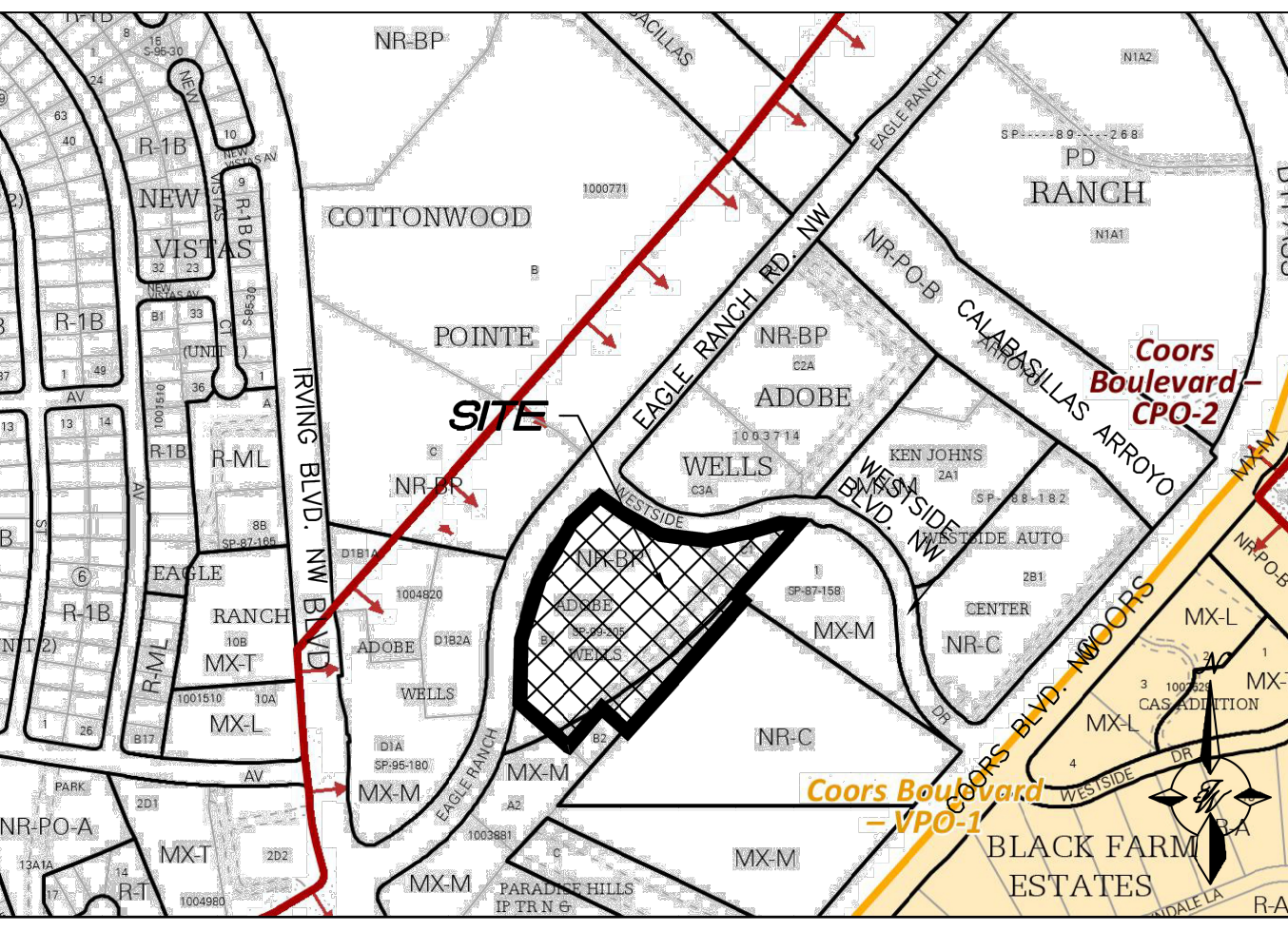


ENLARGED PLAN AT BICYCLE & MOTORCYCLE PARKING  
1/AS1.1

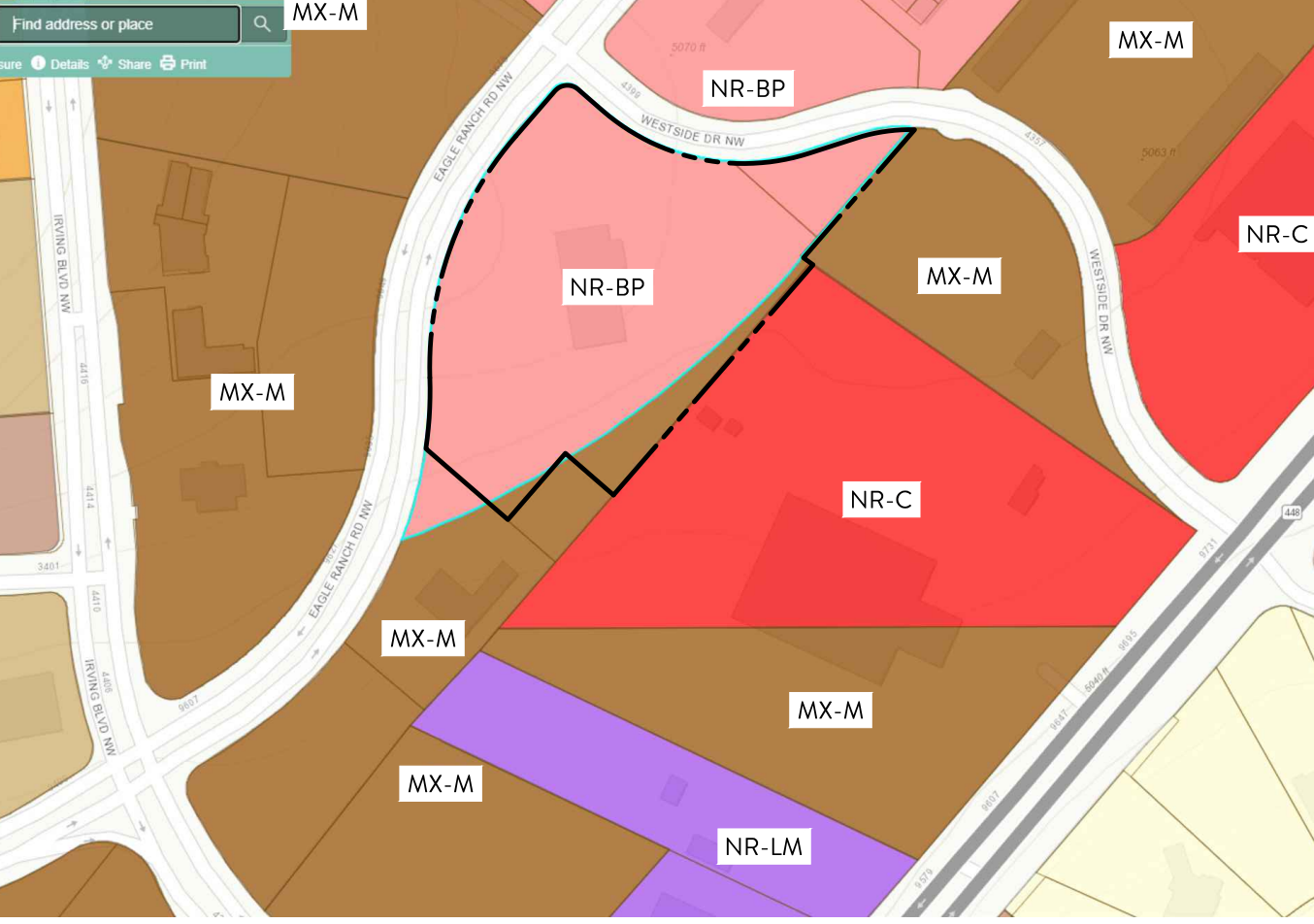
GENERAL NOTES	
1. THIS PROJECT CONSISTS OF RENOVATIONS & ADDITIONS TO AN EXISTING CAR DEALERSHIP. ALL SITE DEVELOPMENT IS EXISTING, MODIFIED ONLY AS REQUIRED TO ACCOMMODATE THE NEW SERVICE ADDITION. MODIFICATIONS ARE AS NOTED ON PLAN.	OF THIS SUBMITTAL, SOME ASSEMBLIES, CONDITIONS, DETAILS AND/OR DIMENSIONS MAY BE SUBJECT TO MINOR MODIFICATIONS AS THE CONSTRUCTION DRAWINGS ARE FINALIZED. PLEASE REFER TO BUILDING PERMIT DRAWINGS FOR FINAL DESIGN.
2. SEE CIVIL DRAWINGS FOR GRADING/DRAINAGE, UTILITY & LANDSCAPING INFORMATION.	4. EXISTING STREET & PARKING DIMENSIONS ARE BASED ON ORIGINAL 2004 DRB SITE DEVELOPMENT PLAN AS SUBMITTED FOR INITIAL CONSTRUCTION PROJECT.
3. CONSTRUCTION DRAWINGS ARE IN PROGRESS AT THE TIME	

IDO REQUIREMENTS	
<b>SITE &amp; BUILDING INFORMATION:</b> SITE AREA: TRACT B-1 0.0303 AC +/- TRACT C-1 0.4380 AC +/- TOTAL 0.4683 AC +/- BUILDING AREA (EXISTING + ADDITIONS): 23,682 SF	<b>ACCESSIBLE PARKING REQUIRED (NMAC 14.7.2.19(D), 11106.2):</b> 51-100 TOTAL PARKING SPACES: 4 ACCESSIBLE SPACES REQUIRED, 1 TO BE VAN ACCESSIBLE. <b>MINIMUM MOTORCYCLE PARKING (TABLE 5-5-4):</b> 51-100 SPACES: 3 MOTORCYCLE SPACES REQUIRED <b>MINIMUM BICYCLE PARKING (TABLE 5-5-5):</b> 10% OF OFF-STREET VEHICLE PARKING SPACES, 3 MIN. 67 / 10 = 6.7 7 BICYCLE SPACES REQUIRED <b>MINIMUM PARKING &amp; DRIVE DIMENSIONS PROVIDED:</b> DRIVING AISLES: 25' WIDE STANDARD VEHICLE PARKING SPACES: 8.5' x 18' COMPACT VEHICLE PARKING SPACES: 7.5' x 15' ACCESSIBLE PARKING SPACES: 9' x 20' ACCESSIBLE PARKING ACCESS AISLES: 8' x 20' MOTORCYCLE PARKING SPACES: 4' x 8' BICYCLE PARKING SPACES: 4' x 8' <b>BUILDING DESIGN:</b> SECTION 5-11 IS NOT APPLICABLE TO THIS PROJECT. PROJECT CONSISTS OF AN ADDITION TO AN EXISTING BUILDING, LESS THAN 50% OF EXISTING BUILDING AREA & LESS THAN 15,000 SF. EXISTING BUILDING IS NOT LISTED ON OR ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES OR THE STATE REGISTER OF CULTURAL PROPERTIES.
<b>ZONING CLASSIFICATION:</b> TRACT B-1: MX-M, NR-BP (ALL STRUCTURES LOCATED IN NR-BP ZONE) TRACT C-1: NR-BP OVERLAY ZONE (BOTH PARCELS): CPO-2	<b>MINIMUM LOT BUILDING COVERAGE: 50%</b> MINIMUM FRONT SETBACK: 20' MINIMUM SIDE SETBACK: 10' MINIMUM REAR SETBACK: 10' MAXIMUM BUILDING HEIGHT: 6'5'
<b>BUILDING RESTRICTIONS (UTILIZING NR-BP REQUIREMENTS):</b> MINIMUM LOT WIDTH: 100' MAXIMUM LOT BUILDING COVERAGE: 50% MINIMUM FRONT SETBACK: 20' MINIMUM SIDE SETBACK: 10' MINIMUM REAR SETBACK: 10' MAXIMUM BUILDING HEIGHT: 6'5'	<b>MINIMUM OFF-STREET PARKING (TABLE 5-5-1):</b> LIGHT VEHICLE SALES & RENTAL: 2 SPACES / 1,000 SF 23,682 SF / 1,000 +/- = 24 SPACES PARKING PROVIDED (EXCLUDING VEHICLE DISPLAY & INVENTORY): CUSTOMER PARKING 33 SERVICE PARKING 34 TOTAL 67 SPACES

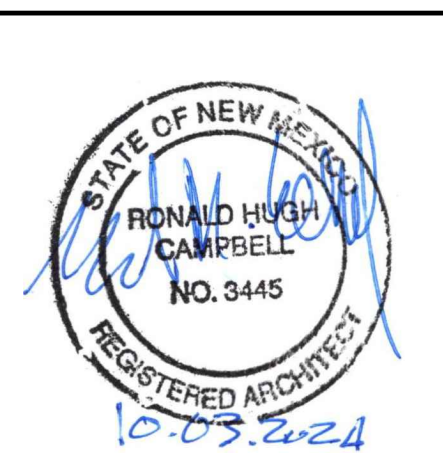
PROJECT NUMBER:	
Application Number:	
Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DFT SITE DEVELOPMENT PLAN APPROVAL:	
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date



VICINITY MAP



ZONING MAP



CAMPBELL  
ARCHITECTURE

DATE:	10.03.2024
ISSUE:	EPC SUBMITTAL
PROJECT:	PK ARQ AS1.1 SITE FOR EPC
REV.1:	
REV.2:	
REV.3:	
REV.4:	

PITRE KIA OF ALBUQUERQUE  
RENOVATIONS & ADDITIONS

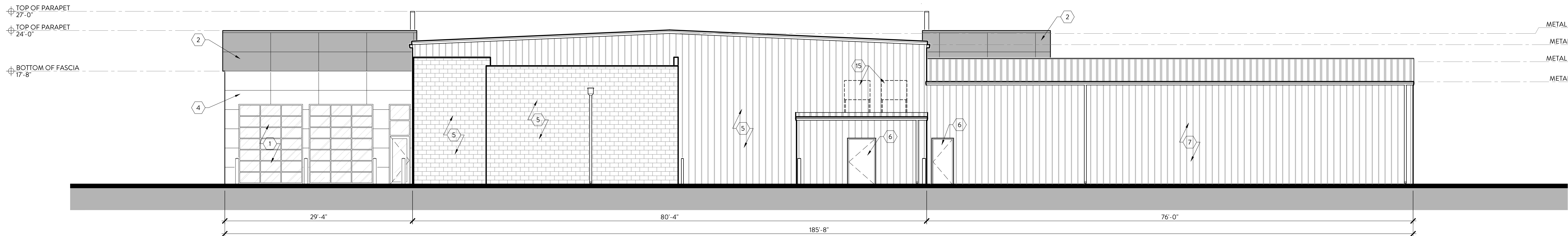
ARCHITECTURAL  
SITE PLAN

AS1.1

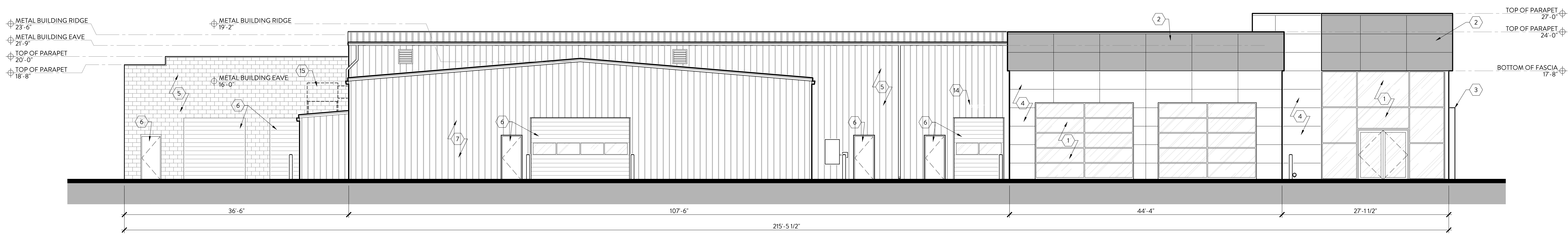
9640 EAGLE RANCH ROAD NW  
ALBUQUERQUE, NEW MEXICO 87114

575.496.3847  
www.campbellarch.com

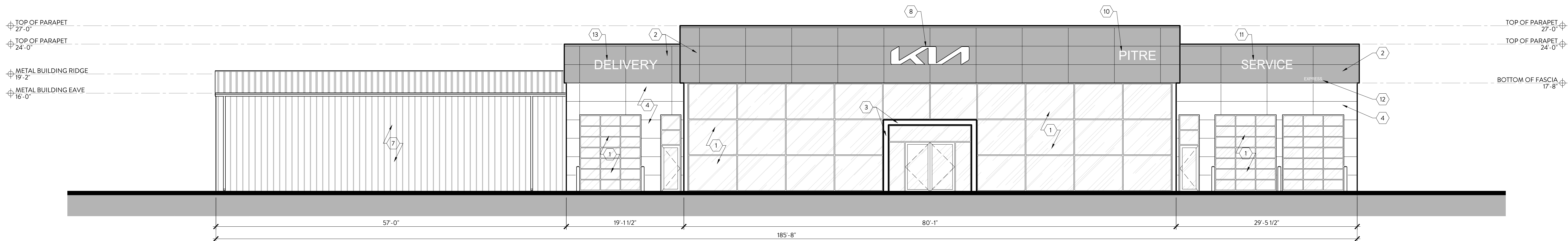




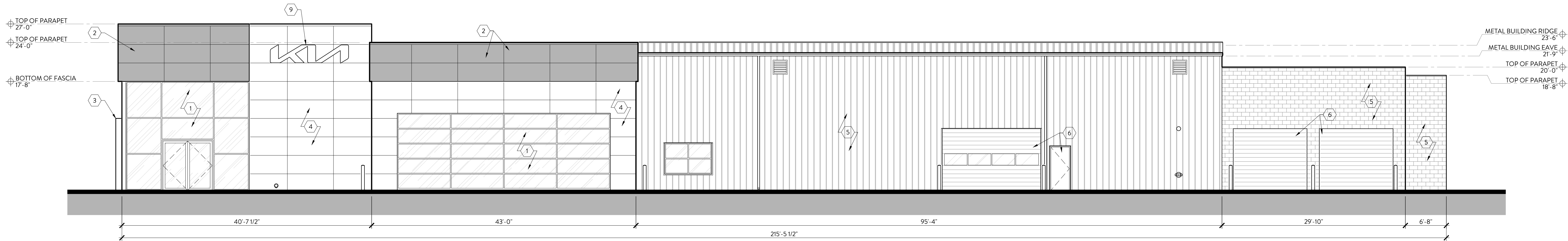
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

GENERAL NOTES

1. ALL EXTERIOR FINISHES, MATERIALS, COLORS, SIGNAGE & GRAPHICS AS PER KIA CORPORATE DESIGN STANDARDS.
2. CONSTRUCTION DRAWINGS ARE IN PROGRESS AT THE TIME OF THIS SUBMITTAL. SOME ASSEMBLIES, CONDITIONS, DETAILS AND/OR DIMENSIONS MAY BE SUBJECT TO MINOR MODIFICATIONS AS THE CONSTRUCTION DRAWINGS ARE FINALIZED. PLEASE REFER TO BUILDING PERMIT DRAWINGS FOR COMPLETED DESIGN.
3. ROOF-MOUNTED HVAC UNITS SERVING SHOWROOM & OFFICES ARE ENTIRELY CONCEALED BEHIND PARAPETS & NOT VISIBLE FROM THE STREET.

KEYED NOTES

1. ALUMINUM STOREFRONT GLAZING SYSTEM & DOORS, CLEAR ANODIZED FINISH. CLEAR LOW-IRON LOW-E INSULATED GLAZING.
2. ALUMINUM COMPOSITE PANEL SYSTEM - ALPOLIC / FR. COLOR: TCB BLACK.
3. ALUMINUM COMPOSITE PANEL SYSTEM - ALPOLIC / FR. COLOR: 85X SILVER METALLIC.
4. DRYVIT OUTSULATION PLUS MD EIFS WITH MOISTURE DRAINAGE. COLOR: TO MATCH BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
5. REPAINT EXISTING METAL BUILDING WALL PANELS & CMU WALLS. COLOR: BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
6. PAINT NEW & EXISTING HOLLOW METAL DOORS & FRAMES & METAL ROLL-UP DOORS. COLOR: BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
7. NEW METAL BUILDING WALL PANELS. MATCH COLOR OF REPAINTED EXISTING METAL BUILDING PANELS.
8. EG-1 FRONT LOGO, METALLIC SILVER FINISH, 2" DEEP LETTERS WITH BACKLIT T STAND-OFF, 12'-9" W x 5'-0" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
9. EG-2 SIDE LOGO, METALLIC SILVER FINISH, 2" DEEP LETTERS WITH BACKLIT T STAND-OFF, 12'-9" W x 3'-0" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
10. EG-3 DEALER NAME SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 7'-10" W x 2'-0" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
11. EG-4 SERVICE SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 8'-3" W x 1'-6" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
12. EG-4 EXPRESS SIGN, 3" DEEP LETTERS, DIE-CUT METAL, 2'-11" W x 6" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
13. EG-5 DELIVERY SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 10'-2" W x 1'-6" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
14. PARTS SIGN, CONSTRUCTION TO MATCH EG-4 EXPRESS SIGN. 3'-0" W x 8" HIGH, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
15. ROOF-MOUNTED EVAPORATIVE COOLERS ON STANDS, LOCATED AT REAR OF FACILITY, NOT VISIBLE FROM STREET.



CAMPBELL  
ARCHITECTURE

575.496.3847  
www.campbellarch.com

3237 Jupiter Road  
Las Cruces, NM 88012

DATE:	10.03.2024
ISSUE:	EPC SUBMITTAL
PROJECT:	PK ALBUQUERQUE ELEVATIONS FOR EPC
REV 1:	
REV 2:	
REV 3:	
REV 4:	

PITRE KIA OF ALBUQUERQUE  
RENOVATIONS & ADDITIONS

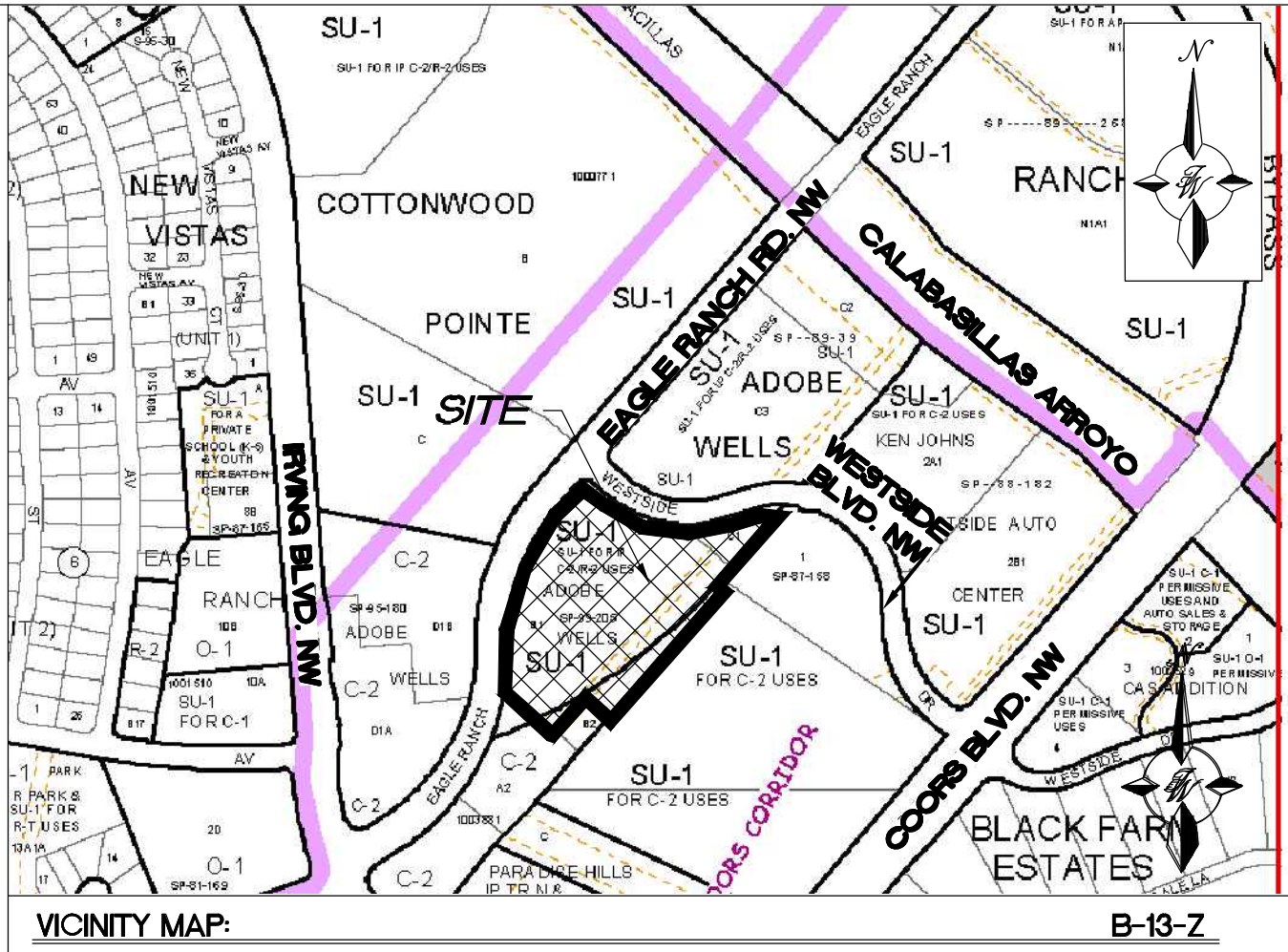
9640 EAGLE RANCH ROAD NW  
ALBUQUERQUE, NEW MEXICO 8714

EXTERIOR  
ELEVATIONS

A2.1



Z:\2024\2024019 Pitre Kia ABQ.dwg Construction\2024019\_LS.dwg Oct. 10, 2024 - 7:14am



LEGAL DESCRIPTION:  
TRACT B-1, ADOBE WELLS

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS ARE MULCHED WITH SANTA FE BROWN CRUSHER FINES AT 2"-3" DEPTH

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE

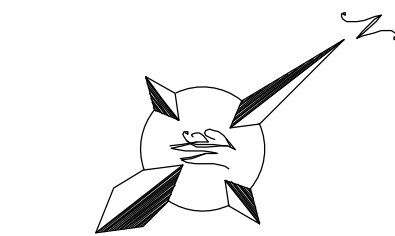
TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

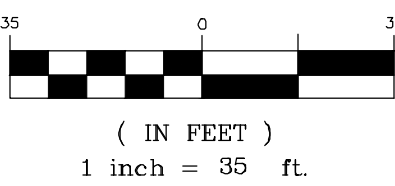
PLANTING RESTRICTIONS APPROACH



A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF



GRAPHIC SCALE



ENGINEER'S SEAL		KIA WESTSIDE AUTO DEALERSHIP	DRAWN BY RMG
<div><div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div><div> 08/07/2024</div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>			DATE 08/06/2024
		LANDSCAPE PLAN	SHEET #  LS-1
		<div><div></div><div>TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div></div>	JOB # 2024019

PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
FR	17	FRAXINUS OXY.	RAYWOOD ASH	2" CAL	H	*	9	MISCANTHUS SINENSIS	MAIDEN GRASS	1 GAL	M
FP	14	FRAXINUS PENN.	PATMORE ASH	2" CAL	H	*	41	HESPERALOE PARVIFLORA	RED YUCCA	1 GAL	M
PI	1	PISTACHIA	PISTACHE	2" CAL	H	*	19	PRUNUS BESSEYI	SAND CHERRY	1 GAL	M
	6	CRATAEGUS	HAWTHORN	15 GAL	M	*	46	HELIOTOTRICHON	BLUE AVENA GRASS	1 GAL	M
	6	CHILOPSIS	DESERT WILLOW	15 GAL	H	o	100	SALVIA GREGGII	CHERRY SAGE	1 GAL	M
	1	PINUS NIGRA	AUSTRIAN PINE	5'-6' HT.	M	o	66	LAVANDULA	LAVENDER	1 GAL	M
	6	COTONEASTER PARNEYI	CLUSTERBERRY	1 GAL	M	o	171	ROSMARINUS PRO.	CREEPING ROSEMARY	1 GAL	M
	61	JUNIPERUS SABINA	BUFFALO JUNIPER	1 GAL	M	*	66	MUHLENBERGIA	REGAL MIST GRASS	1 GAL	M
	115	RAPIHOLEPIS INDICA	INDIA HAWTHORN	1 GAL	M						
	5	CHRYSOTHAMNUS NAUSEOSUS	CHAMISA	1 GAL	L						
	5	BUDDLEIA DAVIDII	BUTTERFLY BUSH	1 GAL	M						
	28	CARYOPTERIS X CLADONENSIS	BLUE MIST	1 GAL	M						

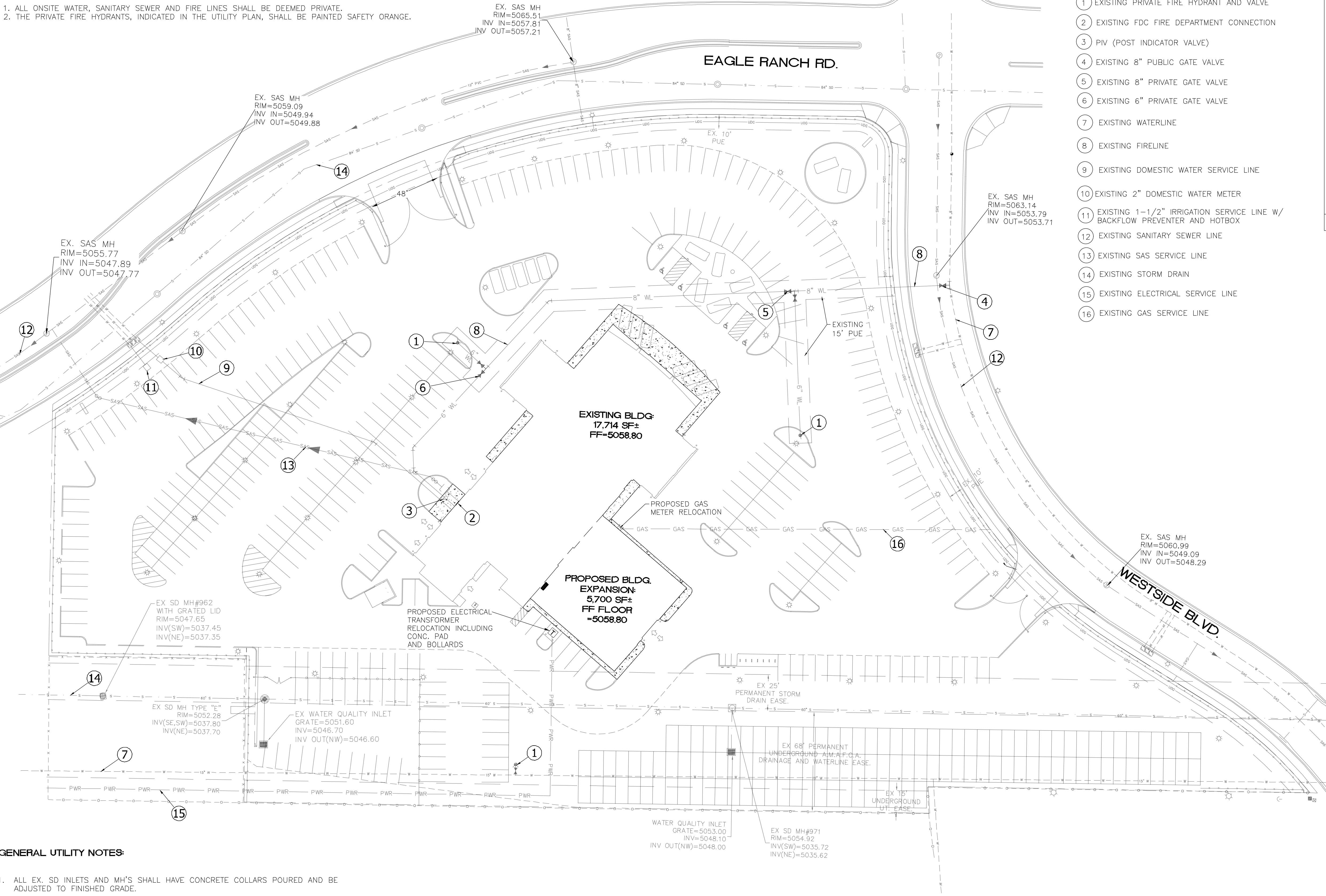
SITE DATA

GROSS LOT AREA	262,680 SF
LESS BUILDING	23,682 SF
NET LOT AREA	238,998 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	35,850 SF
EXISTING LANDSCAPE PERCENT OF NET LOT AREA	41,797 SF 17 %
STREET TREES PROVIDED AT 30' O.C. SPACING ALONG EAGLE RANCH RD.	17 PROVIDED (EXISTING)
PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES 84 SPACES/10	36 PROVIDED (EXISTING)



NOTES:

1. ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PRIVATE.  
2. THE PRIVATE FIRE HYDRANTS, INDICATED IN THE UTILITY PLAN, SHALL BE PAINTED SAFETY ORANGE.



GENERAL UTILITY NOTES:

1. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.  
2. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.  
3. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.  
4. PNM HAS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.  
5. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.  
6. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

INSPECTION NOTE

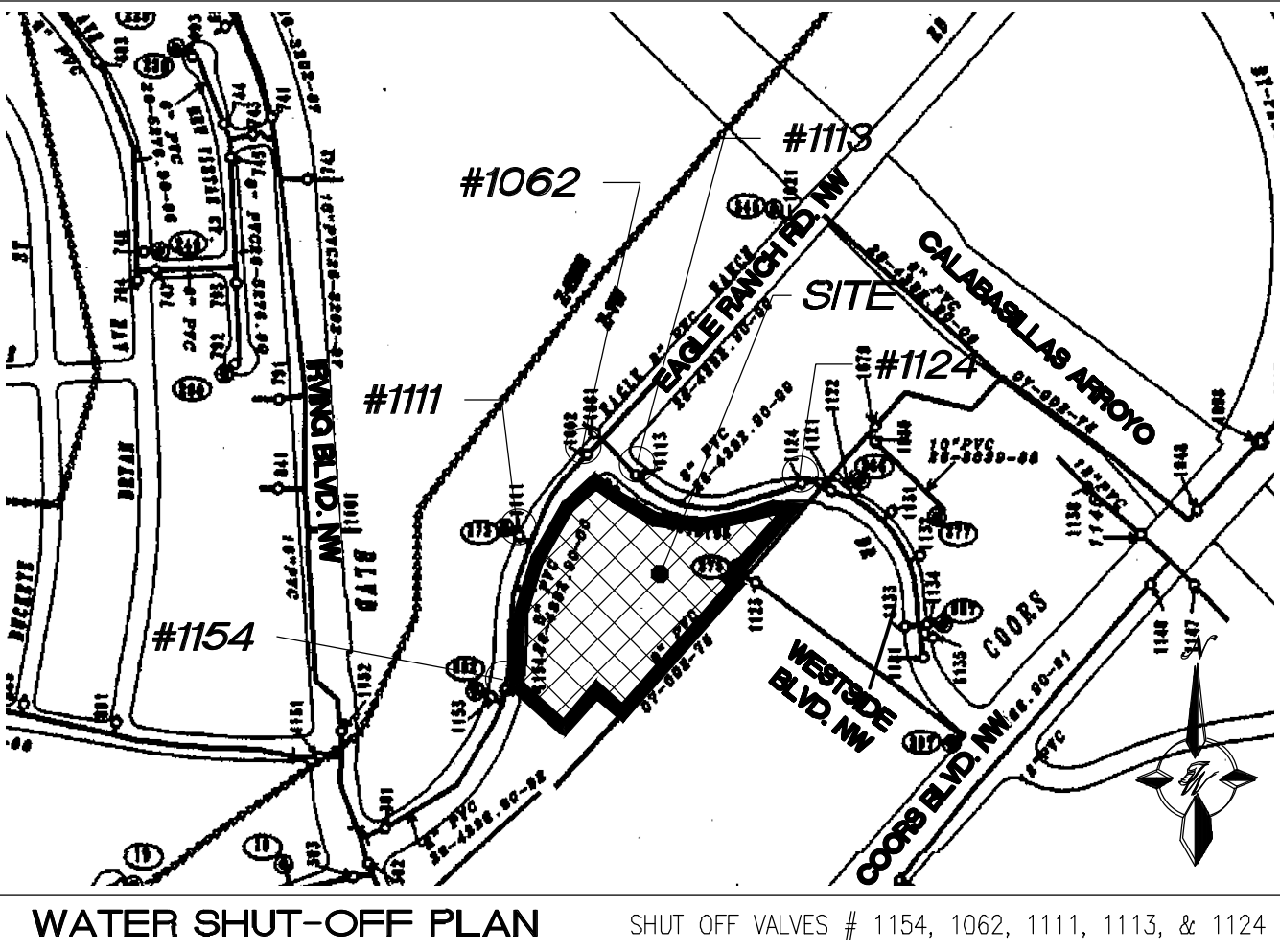
CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.  
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.  
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.  
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.  
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.  
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.  
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

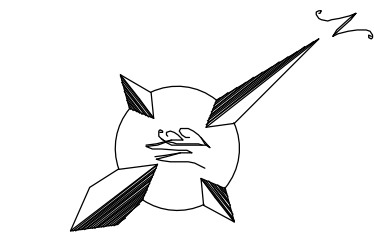
KEYED NOTES

- 1 EXISTING PRIVATE FIRE HYDRANT AND VALVE  
2 EXISTING FDC FIRE DEPARTMENT CONNECTION  
3 PIV (POST INDICATOR VALVE)  
4 EXISTING 8" PUBLIC GATE VALVE  
5 EXISTING 8" PRIVATE GATE VALVE  
6 EXISTING 6" PRIVATE GATE VALVE  
7 EXISTING WATERLINE  
8 EXISTING FIRELINE  
9 EXISTING DOMESTIC WATER SERVICE LINE  
10 EXISTING 2" DOMESTIC WATER METER  
11 EXISTING 1-1/2" IRRIGATION SERVICE LINE W/ BACKFLOW PREVENTER AND HOTBOX  
12 EXISTING SANITARY SEWER LINE  
13 EXISTING SAS SERVICE LINE  
14 EXISTING STORM DRAIN  
15 EXISTING ELECTRICAL SERVICE LINE  
16 EXISTING GAS SERVICE LINE

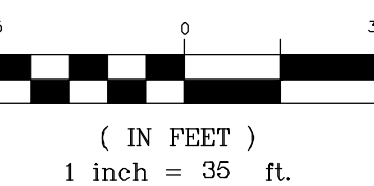


LEGEND

- CURB & GUTTER  
BOUNDARY LINE  
EASEMENT  
BUILDING  
SIDEWALK  
SITE LIGHTS  
EXISTING CURB & GUTTER  
EXISTING BOUNDARY LINE  
EXISTING SIDEWALK  
STORM SEWER LINE  
SAS—SAS—SAS— PROPOSED SANITARY SEWER LINE  
W—W—W— PROPOSED WATERLINE  
EX. 8" SAS— EXISTING SANITARY SEWER LINE  
V—V—V— EXISTING WATERLINE  
EXISTING HYDRANT  
EXISTING GATE VALVE  
EXISTING WATER METERS  
EXISTING FDC  
EXISTING SAS CLEANOUT  
EXISTING SAS DOUBLE CLEANOUT  
EXISTING FIBER OPTIC  
PWR—PWR— EXISTING POWER SUPPLY  
UBG— UTILITY UNDERGROUND  
GAS—GAS— EXISTING GAS LINE  
X—X—X—X— EXISTING CHAINLINK FENCE  
EXISTING WIRE FENCE  
T TRANSFORMER



GRAPHIC SCALE



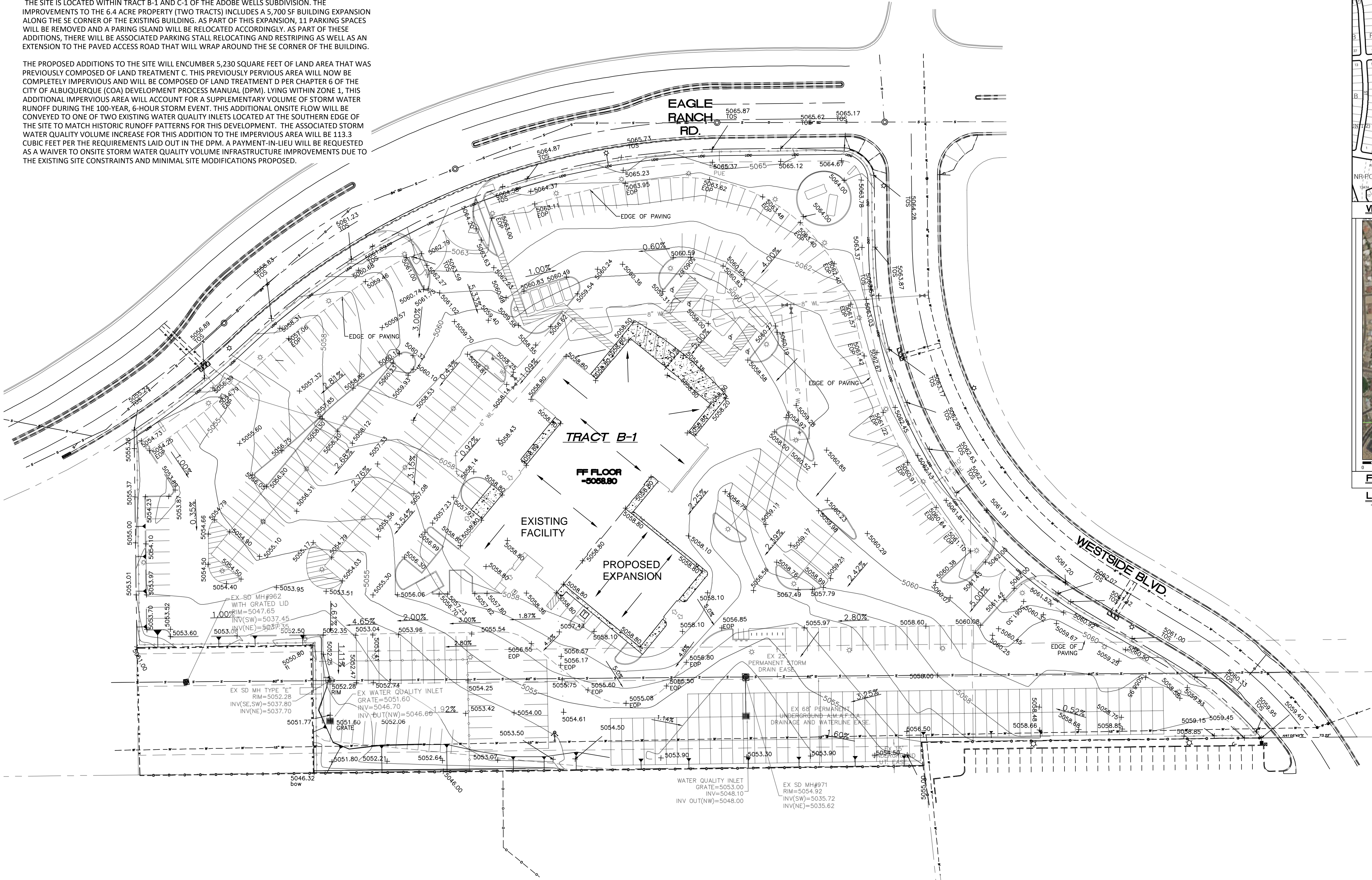
<div>ENGINEER'S SEAL</div> <div><div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div><div><div>08/07/2024</div></div><div>RONALD R. BOHANNAN P.E. #7868</div></div>	<div>KIA WESTSIDE AUTO DEALERSHIP</div> <div>MASTER UTILITY PLAN</div>	DRAWN BY RMG
		DATE 08/06/2024
	<div><div>TERRA WEST, LLC</div><div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div></div>	JOB # 2024019



DRAINAGE SUMMARY:

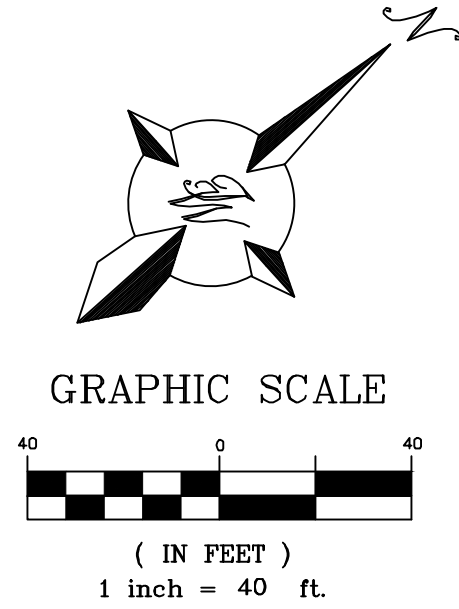
THE SITE IS LOCATED WITHIN TRACT B-1 AND C-1 OF THE ADOBE WELLS SUBDIVISION. THE IMPROVEMENTS TO THE 6.4 ACRE PROPERTY (TWO TRACTS) INCLUDES A 5,700 SF BUILDING EXPANSION ALONG THE SE CORNER OF THE EXISTING BUILDING. AS PART OF THIS EXPANSION, 11 PARKING SPACES WILL BE REMOVED AND A PARING ISLAND WILL BE RELOCATED ACCORDINGLY. AS PART OF THESE ADDITIONS, THERE WILL BE ASSOCIATED PARKING STALL RELOCATING AND RESTRIPING AS WELL AS AN EXTENSION TO THE PAVED ACCESS ROAD THAT WILL WRAP AROUND THE SE CORNER OF THE BUILDING.

THE PROPOSED ADDITIONS TO THE SITE WILL ENCUMBER 5,230 SQUARE FEET OF LAND AREA THAT WAS PREVIOUSLY COMPOSED OF LAND TREATMENT C. THIS PREVIOUSLY PERVIOUS AREA WILL NOW BE COMPLETELY IMPERVIOUS AND WILL BE COMPOSED OF LAND TREATMENT D PER CHAPTER 6 OF THE CITY OF ALBUQUERQUE (COA) DEVELOPMENT PROCESS MANUAL (DPM). LYING WITHIN ZONE 1, THIS ADDITIONAL IMPERVIOUS AREA WILL ACCOUNT FOR A SUPPLEMENTARY VOLUME OF STORM WATER RUNOFF DURING THE 100-YEAR, 6-HOUR STORM EVENT. THIS ADDITIONAL ONSITE FLOW WILL BE CONVEYED TO ONE OF TWO EXISTING WATER QUALITY INLETS LOCATED AT THE SOUTHERN EDGE OF THE SITE TO MATCH HISTORIC RUNOFF PATTERNS FOR THIS DEVELOPMENT. THE ASSOCIATED STORM WATER QUALITY VOLUME INCREASE FOR THIS ADDITION TO THE IMPERVIOUS AREA WILL BE 113.3 CUBIC FEET PER THE REQUIREMENTS LAID OUT IN THE DPM. A PAYMENT-IN-LIEU WILL BE REQUESTED AS A WAIVER TO ONSITE STORM WATER QUALITY VOLUME INFRASTRUCTURE IMPROVEMENTS DUE TO THE EXISTING SITE CONSTRAINTS AND MINIMAL SITE MODIFICATIONS PROPOSED.



NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

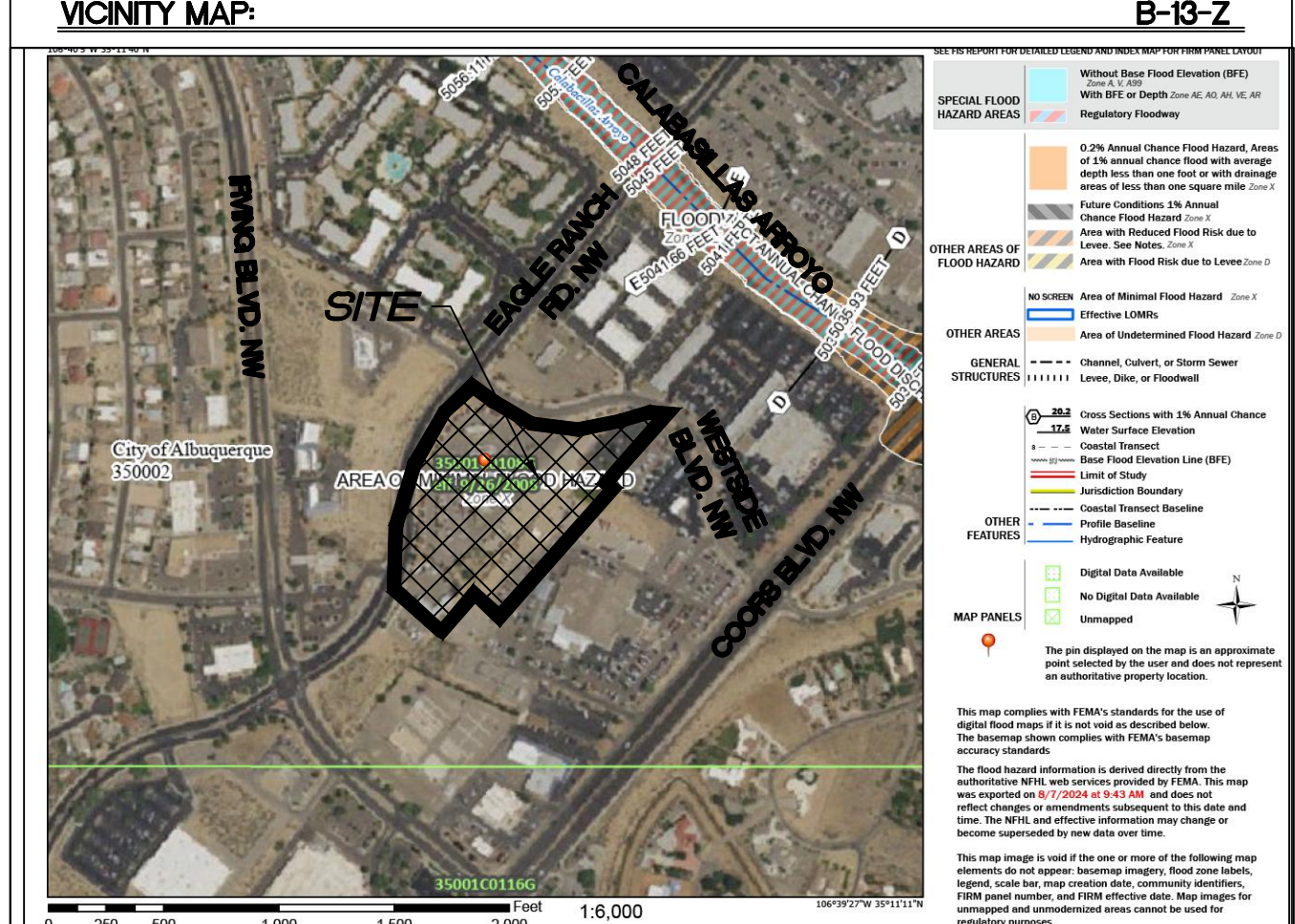
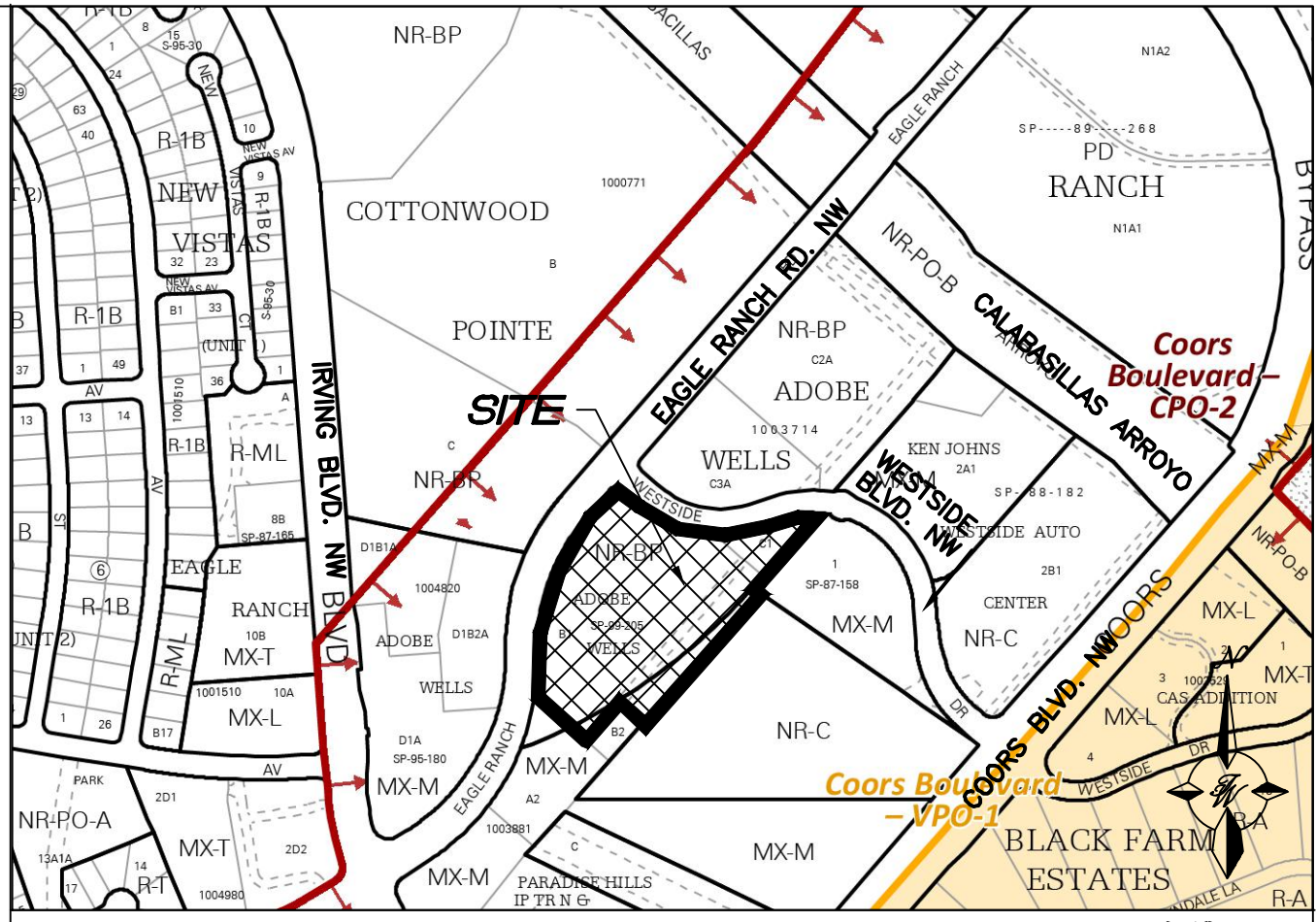


EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

NOTES:

1. TIE TO PROJECT BENCHMARK ACS MONUMENT "2-B13" 894.97' N 17° 58' 31" E @ X:377098.54, Y:1525859.94; ELEV:5068.204 (NGVD29)
2. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
3. ALL SLOPE TIES MAXIMUM OF 3:1.



FIRM MAP: 35001C0108G 9/26/2008

LEGAL DESCRIPTION:

TRACT B-1 AND C-1, ADOBE WELLS SUBDIVISION

LEGEND	DESCRIPTION
	24" RCP
	STORM SEWER LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	FLOW ARROW
	SLOPE TIE
	CENTERLINE
	RIGHT-OF-WAY
	EXISTING LOT LINES
	SETBACK LINE
	BENCH MARK
	STREET LIGHTS

ROUGH GRADING APPROVAL		DATE
	KIA WESTSIDE AUTO DEALERSHIP	DRAWN BY RMG
	GRADING AND DRAINAGE PLAN	DATE 08/06/2024
		SHEET # GR-1
		JOB # 2024019



From: Office of Neighborhood Coordination  
To: Donna Sandoval  
Subject: 9640 EAGLE RANCH RD NW \_Public Notice Inquiry Sheet Submission  
Date: Monday, August 12, 2024 11:49:26 AM  
Attachments: Image001.png  
20240119\_ZoneAtlasPage\_B-13-Z.pdf

PLEASE NOTE:  
The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Paradise Hills Civic Association	phcassoc@gmail.com	Elizabeth	Haley	elizabethkayhaley@gmail.com	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	
Paradise Hills Civic Association	phcassoc@gmail.com	Kym	Fleck	kym.fleck@gmail.com	10216 La Paz Dr NW	Albuquerque	NM	87114		5052708886
Westside Coalition of Neighborhood Associations		Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	5059852391	5058982114
Westside Coalition of Neighborhood Associations		Elizabeth	Haley	elizabethkayhaley@gmail.com	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form-2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf).
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>.
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores  
Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque  
(505) 768-3334 Office  
E-mail: [suzannaflores@cabq.gov](mailto:suzannaflores@cabq.gov)  
Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

From: [webmaster@cabq.gov](mailto:webmaster@cabq.gov) <[webmaster@cabq.gov](mailto:webmaster@cabq.gov)>  
Sent: Monday, August 12, 2024 11:13 AM  
To: Office of Neighborhood Coordination <[dsandoval@tierrawestllc.com](mailto:dsandoval@tierrawestllc.com)>  
Cc: Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>  
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Public Notice Inquiry For:  
Environmental Planning Commission  
If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:  
Contact Name  
Donna Sandoval  
Telephone Number  
5058583100  
Email Address  
[dsandoval@tierrawestllc.com](mailto:dsandoval@tierrawestllc.com)  
Company Name  
Tierra West, LLC  
Company Address  
5571 Midway Park Place NE  
City  
Albuquerque  
State  
NM  
ZIP  
87109  
Legal description of the subject site for this project:  
TRACT B-1 PLAT OF TRACT B-1 AND B-2 ADOBE WELLSSUBDIVISION CONT 5.8965 AC  
Physical address of subject site:  
9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114  
Subject site cross streets:  
Eagle Ranch RD NW and Westside Dr NW  
Other subject site identifiers:  
West side Pitre KIA Car Dealership  
This site is located on the following zone atlas page:  
B-13-Z  
Captcha  
x



**From:** [Donna Sandoval](#)  
**To:** [phcassoc@gmail.com](mailto:phcassoc@gmail.com); [elizabethkayhaley@gmail.com](mailto:elizabethkayhaley@gmail.com); [kym.fleck@gmail.com](mailto:kym.fleck@gmail.com); [aboard111@gmail.com](mailto:aboard111@gmail.com); [elizabethkayhaley@gmail.com](mailto:elizabethkayhaley@gmail.com)  
**Cc:** [Sergio Lozoya](#); [Amadeo Trujillo](#)  
**Subject:** [#2024019] REQUEST FOR NEIGHBORHOOD MEETING  
**Date:** Friday, August 23, 2024 10:25:21 AM  
**Attachments:** [1. CABQ Public Notice Checklist.pdf](#)  
[2. Emailed-Mailed-Notice-PublicHearing-Print&Fill.pdf](#)  
[3. Zone Atlas Map B-13-Z.pdf](#)  
[4. Pitre Kia Albuquerque Schematic Design..pdf](#)  
[5. ONC Contact Sheet.pdf](#)

---

## REQUEST FOR NEIGHBORHOOD MEETING

Date: 08/23/2024

To Whom This May Concern:

I am requesting approval from the Environmental Planning Commission within the City of Albuquerque for a Major Site Plan - EPC. The Pitre Kia dealership will be building an addition of 5700 square feet. This consists of more than a 10% increase in building footprint and makes it a Major Site Plan - EPC

Property owner: Pitre Holdings LLC C/O Robert G Pitre

Agent: Tierra West, LLC

Property Address: 9640 Eagle Ranch Rd NW, Albuquerque Nm 87114

See attached proposed site plan with elevations, zone atlas map and public notice of a hearing forms. This letter is an offer to meet with you to provide additional information. If you wish to meet, please respond within 15 days. If you do not want to meet, or you support the proposal, please let me know.

Please note: "You may submit written comments to the Zoning Hearing Examiner up to 6 days before the hearing (5pm on the Wednesday before the hearing). Written comments received after that deadline will not be taken into consideration for this application.

Respectfully,

Donna Sandoval

Planner

5571 Midway Park Pl., NE

Albuquerque, NM 87109

505-858-3100

505-858-1118 (fax)

[DSandoval@tierrawestllc.com](mailto:DSandoval@tierrawestllc.com)

[www.tierrawestllc.com](http://www.tierrawestllc.com)



**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART I - PROCESS**

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Site Plan - EPC

Decision-making Body: Environmental Planning Commission (EPC)

Pre-Application meeting required: ☐ Yes ☒ No

Neighborhood meeting required: ☐ Yes ☐ No

Mailed Notice required: ☒ Yes ☐ No

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☒ Yes ☐ No **Note: if yes, see second page**

**PART II – DETAILS OF REQUEST**

Address of property listed in application: 9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114

Name of property owner: PITRE HOLDINGS LLC C/O ROBERT G PITRE

Name of applicant: Agent - Donna Sandoval, Tierra West LLC

Date, time, and place of public meeting or hearing, if applicable:

November 21st, 8:40AM, Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

Address, phone number, or website for additional information:

Agent - Donna Sandoval, Tierra West LLC - [dsandoval@tierrawestllc.com](mailto:dsandoval@tierrawestllc.com), 505-858-3100

**PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE**

☒ Zone Atlas page indicating subject property.

☒ Drawings, elevations, or other illustrations of this request.

☐ Summary of pre-submittal neighborhood meeting, if applicable.

☒ Summary of request, including explanations of deviations, variances, or waivers.

**IMPORTANT:**

**PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [IDO §14-16-6-4\(K\)](#).  
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON  
APPLICATION.**

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

**Donna Sandoval**

Digitally signed by Donna  
Sandoval  
Date: 2024.08.23 09:08:25 -06'00'

**8/23/24**

(Applicant signature) \_\_\_\_\_ (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO §14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN & LC APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- ☒ a. Location of proposed buildings and landscape areas.
- ☒ b. Access and circulation for vehicles and pedestrians.
- ☒ c. Maximum height of any proposed structures, with building elevations.
- ☐ d. For residential development: Maximum number of proposed dwelling units.
- ☒ e. For non-residential development:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.



# Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

## **Notificación de Acceso Lingüístico.**

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

**語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。**

**Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.**

**Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.**



[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

Date of Notice\*: 8/23/24

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) §14-16-6-4(K) Public Notice. This notice is being provided to (mark as relevant):

☒ Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.<sup>1</sup>

☐ Property Owners within 100 feet of the Subject Property.

### Information Required by IDO §14-16-6-4(K)(1)(a)

1. Subject Property Address\* 9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114  
Location Description At the intersection of Eagle Ranch Rd NW & Westside Dr NW
2. Property Owner\* PITRE HOLDINGS LLC C/O ROBERT G PITRE
3. Agent/Applicant\* [if applicable] Agent - Donna Sandoval, Tierra West LLC
4. Application Type(s)<sup>2</sup>\* per IDO Table 6-1-1

- ☒ Site Plan – EPC
- ☐ Subdivision \_\_\_\_\_ (Minor or Major or Bulk Land)
- ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- ☐ Variance – EPC
- ☐ Waiver \_\_\_\_\_ (DHO or Wireless Telecommunication Facility)
- ☒ Other: \_\_\_\_\_

Summary of project/request<sup>3</sup>\*:

Pitre Kia Dealership building addition of 5700 SF to service 12 additional cars in the service bay

5. This application will be decided at a public meeting or hearing by\*:

- ☐ Development Hearing Officer (DHO)
- ☐ Landmarks Commission (LC)
- ☒ Environmental Planning Commission (EPC)

<sup>1</sup> If this box is marked, the Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination must be included as an attachment.

<sup>2</sup> Applications for the Zoning Hearing Examiner require a public notice form available here: <https://www.cabq.gov/planning/boards-commissions/zoning-hearing-examiner>. Otherwise, mark all that apply.

<sup>3</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

Hearing Date/Time\*: November 21st at 8:40AM

Location\*<sup>4</sup>: https://cabq.zoom.us/j/88163635817

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860 and select the option for “Boards, Commissions, and ZHE Signs.”

6. Where more information about the project can be found\*:

Preferred project contact information:

Name: Agent - Donna Sandoval, Tierra West LLC

Email: dsandoval@tierrawestllc.com

Phone: 505-858-3100



Attachments:



Neighborhood Association Representative Contact List from the City’s Office of Neighborhood Coordination\*



Others: CABQ Public Notice Form, Proposed Site Plan drawings



Online website or project page: \_\_\_\_\_

**Project Information Required for Mail/Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> B-13-Z

2. Project Illustrations, as relevant\*<sup>6</sup>



Architectural drawings



Elevations of the proposed building(s)



Other illustrations of the proposed application

*See attachments or the website/project page noted above for the items marked above.*

3. The following exceptions to IDO standards have been requested for this project\*:



Deviation(s)



Variance(s)



Waiver(s)

Explanation\*:

N/A

<sup>4</sup> Physical address or Zoom link

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas>

<sup>6</sup> While not required for applications other than Site Plan – EPC, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project. For Site Plan – EPC, see additional attachments required below.



[Note: Items with an asterisk (\*) are required.]

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

---

---

---

---

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*
- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development\***:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information from IDO Zoning Map<sup>7</sup>:**

- 1. Area of Property [typically in acres] 6.3345
- 2. IDO Zone District NR-BP
- 3. Overlay Zone(s) [if applicable] CPO-2
- 4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Commercial Services, Light vehicle sales and rental

**NOTE:** Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3860 and select option for “Boards, Commissions, and ZHE Signs.”

**Useful Links**

**Integrated Development Ordinance (IDO):** <https://ido.abc-zone.com>

**IDO Interactive Map:** <https://tinyurl.com/idozoningmap>

<sup>7</sup> Available here: <https://tinyurl.com/idozoningmap>



# Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

## **Notificación de Acceso Lingüístico.**

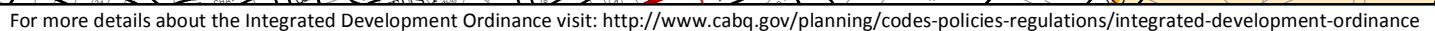
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**語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。**

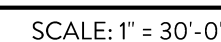
**Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.**

**Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.**





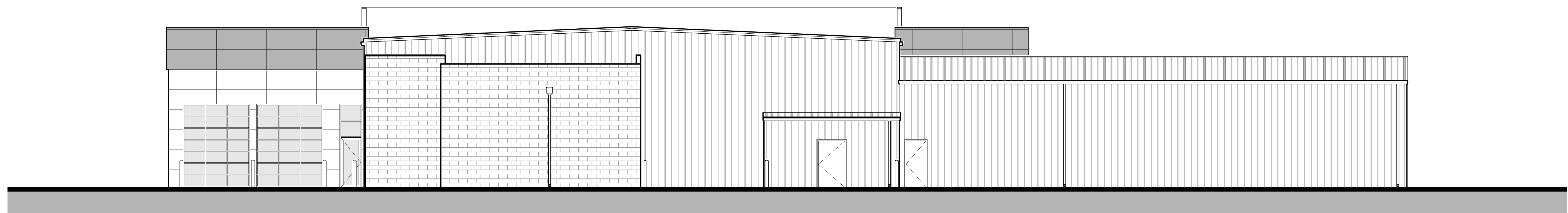






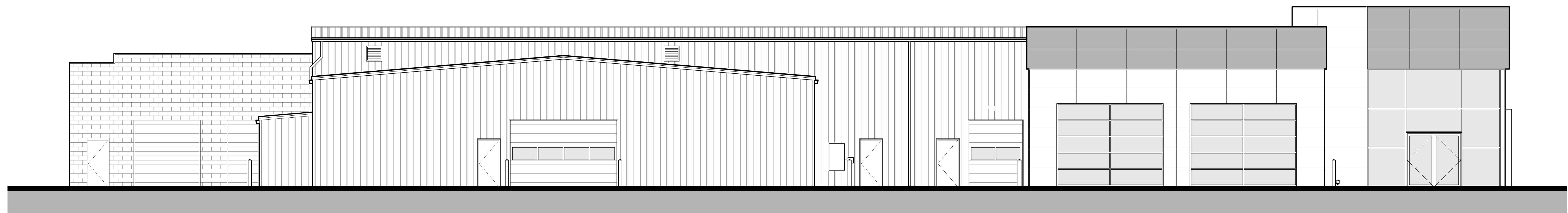
DATE:	05.03.2024
ISSUE:	KIA REVIEW SUBMITTAL REV 1
PROJECT:	PKAQ PRELIM REV 1/04/2023.05
REV 1:	PKAQ PRELIM REV 1/04/2023.05
REV 2:	
REV 3:	
REV 4:	

- ELEVATION NOTES
- ALL EXTERIOR SIGNAGE, ENTRY PORTAL & ACM PANELS TO BE SUPPLIED & INSTALLED BY PATTISON SIGN GROUP
  - ALL EXISTING NON-ACM WALLS TO BE PAINTED COLOR EP-1: BENJAMIN MOORE REGAL SELECT EXTERIOR LATEX PAINT, COLOR #HC-169 COVENTRY GRAY, EGGSHELL FINISH



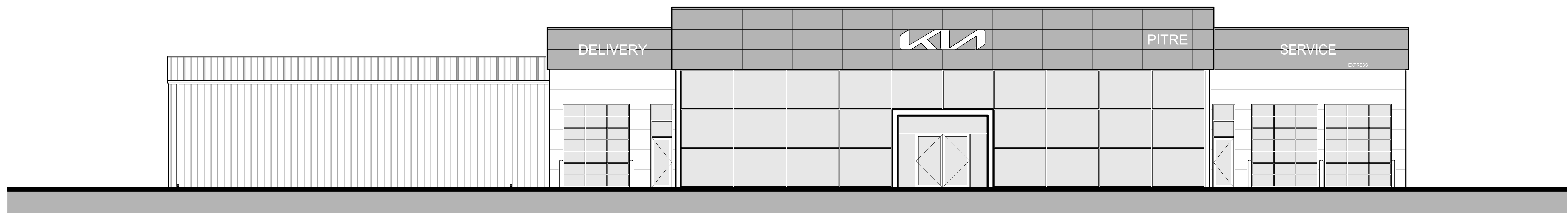
PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



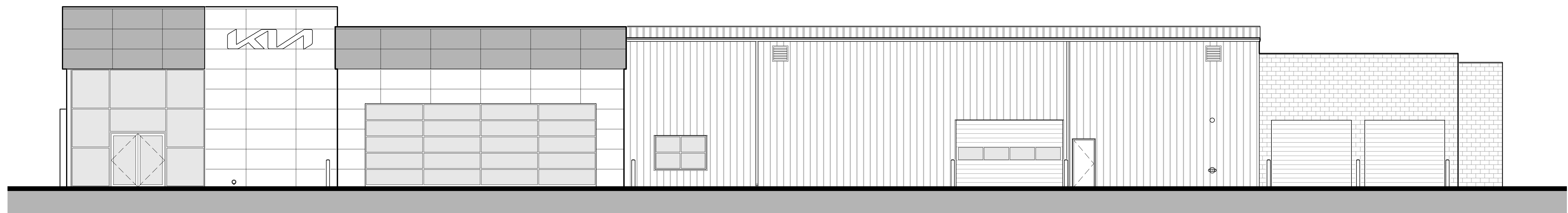
PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"





OVERALL VIEW FROM NORTHEAST



OVERALL VIEW FROM NORTHWEST



SHOWROOM/VEHICLE DELIVERY VIEW FROM NORTHEAST



SHOWROOM/SERVICE RECEPTION VIEW FROM NORTHWEST



SHOWROOM/VEHICLE DELIVERY CLOSE-UP VIEW FROM NORTHEAST



SHOWROOM CLOSE-UP VIEW FROM NORTHWEST

PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

CAMPBELL  
ARCHITECTURE

575.496.3847  
www.campbellarch.com

3237 Jupiter Road  
Las Cruces, NM 88002

DATE:	05.03.2024
ISSUE:	KIA REVIEW SUBMITTAL REV1
PROJ. #:	2023.05
FILE:	PKAQ PRELIM REV/DWG
REV. 1:	
REV. 2:	
REV. 3:	
REV. 4:	

PITRE KIA OF ALBUQUERQUE  
RENOVATIONS & ADDITIONS

9640 EAGLE RANCH ROAD NW  
ALBUQUERQUE, NEW MEXICO 8714

3D MODEL VIEWS

A2.2



From: Office of Neighborhood Coordination  
To: Donna Sandoval  
Subject: 9640 EAGLE RANCH RD NW \_Public Notice Inquiry Sheet Submission  
Date: Monday, August 12, 2024 11:49:26 AM  
Attachments: Image001.png  
20240119\_ZoneAtlasPage\_B-13-Z.pdf

PLEASE NOTE:  
The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Paradise Hills Civic Association	phcassoc@gmail.com	Elizabeth	Haley	elizabethkayhaley@gmail.com	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	
Paradise Hills Civic Association	phcassoc@gmail.com	Kym	Fleck	kym.fleck@gmail.com	10216 La Paz Dr NW	Albuquerque	NM	87114		5052708886
Westside Coalition of Neighborhood Associations		Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	5059852391	5058982114
Westside Coalition of Neighborhood Associations		Elizabeth	Haley	elizabethkayhaley@gmail.com	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form-2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf).
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>.
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores  
Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque  
(505) 768-3334 Office  
E-mail: [suzannaflores@cabq.gov](mailto:suzannaflores@cabq.gov)  
Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

From: [webmaster@cabq.gov](mailto:webmaster@cabq.gov) <[webmaster@cabq.gov](mailto:webmaster@cabq.gov)>  
Sent: Monday, August 12, 2024 11:13 AM  
To: Office of Neighborhood Coordination <[dsandoval@tierrawestllc.com](mailto:dsandoval@tierrawestllc.com)>  
Cc: Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>  
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Public Notice Inquiry For:  
Environmental Planning Commission  
If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:  
Contact Name  
Donna Sandoval  
Telephone Number  
5058583100  
Email Address  
[dsandoval@tierrawestllc.com](mailto:dsandoval@tierrawestllc.com)  
Company Name  
Tierra West, LLC  
Company Address  
5571 Midway Park Place NE  
City  
Albuquerque  
State  
NM  
ZIP  
87109  
Legal description of the subject site for this project:  
TRACT B-1 PLAT OF TRACT B-1 AND B-2 ADOBE WELLSSUBDIVISION CONT 5.8965 AC  
Physical address of subject site:  
9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114  
Subject site cross streets:  
Eagle Ranch RD NW and Westside Dr NW  
Other subject site identifiers:  
West side Pitre KIA Car Dealership  
This site is located on the following zone atlas page:  
B-13-Z  
Captcha  
x



**From:** [Donna Sandoval](#)  
**To:** [phcassoc@gmail.com](mailto:phcassoc@gmail.com); [elizabethkayhaley@gmail.com](mailto:elizabethkayhaley@gmail.com); [kym.fleck@gmail.com](mailto:kym.fleck@gmail.com); [aboard111@gmail.com](mailto:aboard111@gmail.com); [elizabethkayhaley@gmail.com](mailto:elizabethkayhaley@gmail.com)  
**Cc:** [Sergio Lozoya](#); [Amadeo Trujillo](#)  
**Subject:** RE: [#2024019] REQUEST FOR NEIGHBORHOOD MEETING  
**Date:** Wednesday, September 4, 2024 1:43:31 PM  
**Attachments:** [1. CABO Public Notice Checklist.pdf](#)  
[3. Zone Atlas Map B-13-Z.pdf](#)  
[4. Pitre Kia Albuquerque Schematic Design\\_.pdf](#)  
[5. ONC Contact Sheet.pdf](#)  
[2.1 Emailed-Mailed-Notice-PublicHearing-Print&Fill - ZMA added.pdf](#)  
[Floating Zoning Line to be Amended.pdf](#)

---

Good Afternoon,

I wanted to follow up on the notice below and update the Neighborhood Associations that a Zone Map Amendment will be included in the Site Plan – EPC, Major Amendment.  
Please see attached updated documents that will reflect this modification.

Respectfully,  
Donna Sandoval  
Planner  
5571 Midway Park Pl., NE  
Albuquerque, NM 87109  
505-858-3100  
505-858-1118 (fax)  
[DSandoval@tierrawestllc.com](mailto:DSandoval@tierrawestllc.com)  
[www.tierrawestllc.com](http://www.tierrawestllc.com)

---

**From:** Donna Sandoval  
**Sent:** Friday, August 23, 2024 10:25 AM  
**To:** [phcassoc@gmail.com](mailto:phcassoc@gmail.com); [elizabethkayhaley@gmail.com](mailto:elizabethkayhaley@gmail.com); [kym.fleck@gmail.com](mailto:kym.fleck@gmail.com); [aboard111@gmail.com](mailto:aboard111@gmail.com); [elizabethkayhaley@gmail.com](mailto:elizabethkayhaley@gmail.com)  
**Cc:** Sergio Lozoya <[SLozoya@tierrawestllc.com](mailto:SLozoya@tierrawestllc.com)>; Amadeo Trujillo <[ATrujillo@tierrawestllc.com](mailto:ATrujillo@tierrawestllc.com)>  
**Subject:** [#2024019] REQUEST FOR NEIGHBORHOOD MEETING

## REQUEST FOR NEIGHBORHOOD MEETING

Date: 08/23/2024

To Whom This May Concern:

I am requesting approval from the Environmental Planning Commission within the City of Albuquerque for a Major Site Plan - EPC. The Pitre Kia dealership will be building an addition of 5700 square feet. This consists of more than a 10% increase in building footprint and makes it a Major Site Plan - EPC

Property owner: Pitre Holdings LLC C/O Robert G Pitre  
Agent: Tierra West, LLC  
Property Address: 9640 Eagle Ranch Rd NW, Albuquerque Nm 87114



See attached proposed site plan with elevations, zone atlas map and public notice of a hearing forms. This letter is an offer to meet with you to provide additional information. If you wish to meet, please respond within 15 days. If you do not want to meet, or you support the proposal, please let me know.

Respectfully,

Donna Sandoval

Planner

5571 Midway Park Pl., NE

Albuquerque, NM 87109

505-858-3100

505-858-1118 (fax)

[DSandoval@tierrawestllc.com](mailto:DSandoval@tierrawestllc.com)

[www.tierrawestllc.com](http://www.tierrawestllc.com)



[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

Date of Notice\*: 8/23/24

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) §14-16-6-4(K) Public Notice. This notice is being provided to (mark as relevant):

☒ Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.<sup>1</sup>

☐ Property Owners within 100 feet of the Subject Property.

### Information Required by IDO §14-16-6-4(K)(1)(a)

1. Subject Property Address\* 9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114  
Location Description At the intersection of Eagle Ranch Rd NW & Westside Dr NW
2. Property Owner\* PITRE HOLDINGS LLC C/O ROBERT G PITRE
3. Agent/Applicant\* [if applicable] Agent - Donna Sandoval, Tierra West LLC
4. Application Type(s)<sup>2</sup>\* per IDO Table 6-1-1

- ☒ Site Plan – EPC
- ☐ Subdivision \_\_\_\_\_ (Minor or Major or Bulk Land)
- ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- ☐ Variance – EPC
- ☐ Waiver \_\_\_\_\_ (DHO or Wireless Telecommunication Facility)
- ☒ Other: \_\_\_\_\_

Summary of project/request<sup>3</sup>\*:

Pitre Kia Dealership building addition of 5700 SF to service 12 additional cars in the service bay

5. This application will be decided at a public meeting or hearing by\*:

- ☐ Development Hearing Officer (DHO)
- ☐ Landmarks Commission (LC)
- ☐ Environmental Planning Commission (EPC)

<sup>1</sup> If this box is marked, the Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination must be included as an attachment.

<sup>2</sup> Applications for the Zoning Hearing Examiner require a public notice form available here: <https://www.cabq.gov/planning/boards-commissions/zoning-hearing-examiner>. Otherwise, mark all that apply.

<sup>3</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

Hearing Date/Time\*: November 21st at 8:40AM

Location\*<sup>4</sup>: https://cabq.zoom.us/j/88163635817

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860 and select the option for “Boards, Commissions, and ZHE Signs.”

6. Where more information about the project can be found\*:

Preferred project contact information:

Name: Agent - Donna Sandoval, Tierra West LLC

Email: dsandoval@tierrawestllc.com

Phone: 505-858-3100



Attachments:



Neighborhood Association Representative Contact List from the City’s Office of Neighborhood Coordination\*



Others: CABQ Public Notice Form, Proposed Site Plan drawings



Online website or project page: \_\_\_\_\_

**Project Information Required for Mail/Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> B-13-Z

2. Project Illustrations, as relevant\*<sup>6</sup>



Architectural drawings



Elevations of the proposed building(s)



Other illustrations of the proposed application

*See attachments or the website/project page noted above for the items marked above.*

3. The following exceptions to IDO standards have been requested for this project\*:



Deviation(s)



Variance(s)



Waiver(s)

Explanation\*:

N/A

<sup>4</sup> Physical address or Zoom link

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas>

<sup>6</sup> While not required for applications other than Site Plan – EPC, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project. For Site Plan – EPC, see additional attachments required below.



[Note: Items with an asterisk (\*) are required.]

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☐ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*
- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development\***:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information from IDO Zoning Map<sup>7</sup>:**

- 1. Area of Property [typically in acres] 6.3345
  - 2. IDO Zone District NR-BP
  - 3. Overlay Zone(s) [if applicable] CPO-2
  - 4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Commercial Services, Light vehicle sales and rental
- 

**NOTE:** Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3860 and select option for “Boards, Commissions, and ZHE Signs.”

**Useful Links**

**Integrated Development Ordinance (IDO):** <https://ido.abc-zone.com>

**IDO Interactive Map:** <https://tinyurl.com/idozoningmap>

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<sup>7</sup> Available here: <https://tinyurl.com/idozoningmap>



# Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

## **Notificación de Acceso Lingüístico.**

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

**語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。**

**Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.**

**Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.**

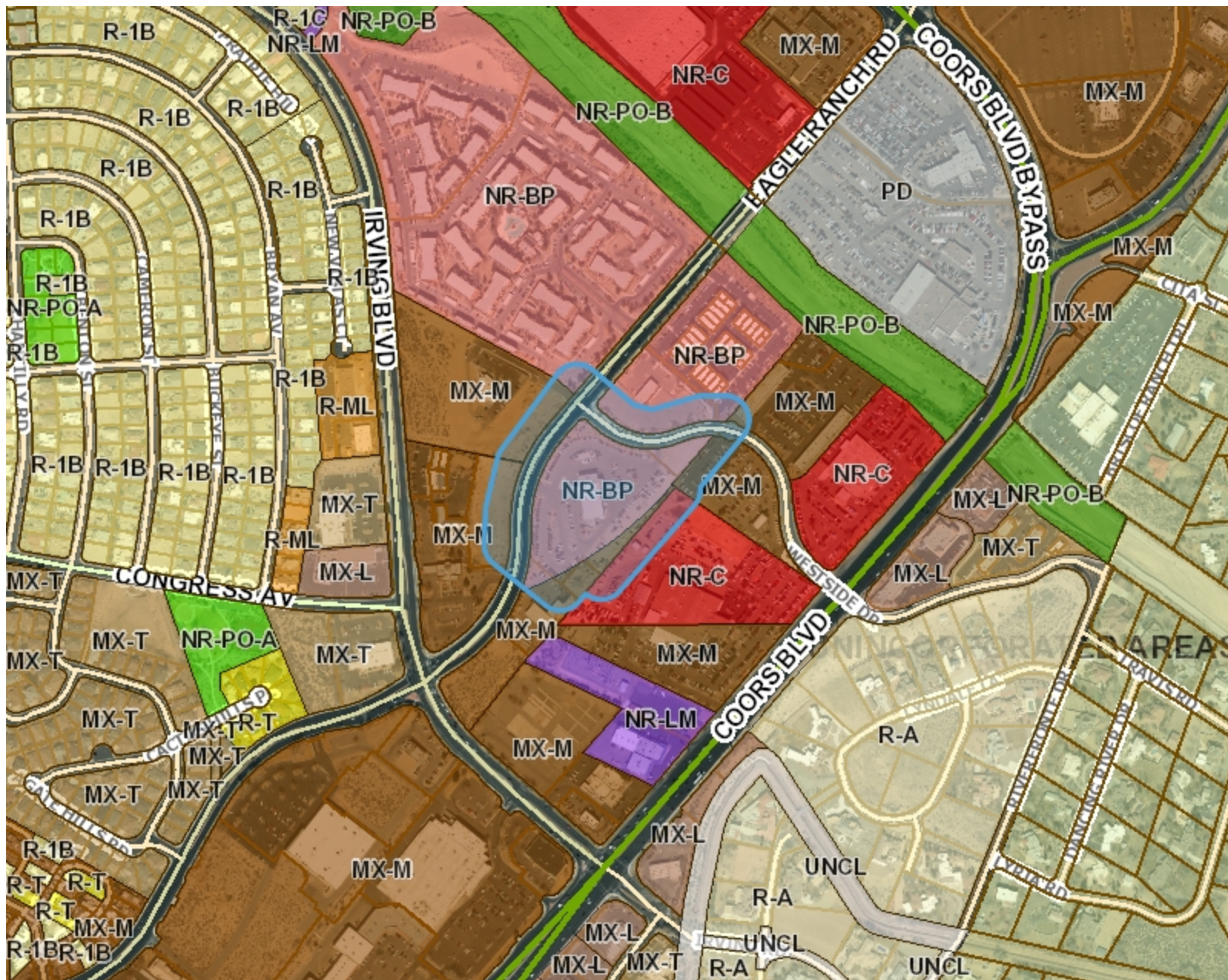


Owner	Owner Address	Owner Address 2
GARCIA AGENCY INC A NM CORPORATION	9660 1 EAGLE RANCH RD NW	ALBUQUERQUE NM 87114
GUADALQUIVIR LLC	PO BOX 26207	ALBUQUERQUE NM 87125
SPARTON SOUTHWEST INC ATTN: ACCOUNTING	5612 JOHNSON LAKE RD	DE LEON SPRINGS FL 32174
WWT REALTY CJ LLC	PO BOX 35130	ALBUQUERQUE NM 87176-5130
DESIGN & DEVELOPMENT GROUP LLC	8504 WATERFORD PL NE	ALBUQUERQUE NM 87122-2962
PITRE HOLDINGS LLC C/O ROBERT G PITRE	9797 EAGLE RANCH RD NW	ALBUQUERQUE NM 87114
PITRE HOLDINGS LLC C/O ROBERT G PITRE	9797 EAGLE RANCH RD NW	ALBUQUERQUE NM 87114
SPARTON TECHNOLOGY INC ATTN: ACCOUNTS PAYABLE	PO BOX 788	DE LEON SPRINGS FL 32130-0788
ALBUQUERQUE US EMPLOYEES FEDERAL CREDIT UNION	PO BOX 129	ALBUQUERQUE NM 87103-0129
EAGLE VISTA LLC ATTN: BRAD B ALLEN	9201 MONTGOMERY BLVD NE BLDG 1	ALBUQUERQUE NM 87111-2468
WWT REALTY CJ LLC	PO BOX 35130	ALBUQUERQUE NM 87176
RANCHO VISTA MOBILE HOME PARK LLC	7001 CHAPINGO RD NE	RIO RANCHO NM 87144-5601
ASPEN RANCH PARTNERS LLC ATTN: CLUBHOUSE	9677 EAGLE RANCH RD NW	ALBUQUERQUE NM 87114
LB/VCC EAGLE RANCH C/O VENTURE CORPORATION ATTN: EDWIN SIDDONS	1271 SIXTH AVE FLOOR 38TH	NEW YORK NY 10020





# City of Albuquerque



## Legend

### IDO Zoning

- R-A
  - R-1A
  - R-1B
  - R-1C
  - R-1D
  - R-T
  - R-MC
  - R-ML
  - R-MH
  - MX-T
  - MX-L
  - MX-M
  - MX-H
  - MX-FB-ID
  - MX-FB-FX
  - MX-FB-UD
  - NR-C
  - NR-BP
  - NR-LM
  - NR-GM
  - NR-SU
  - NR-PO-A
  - NR-PO-B
  - NR-PO-C
  - NR-PO-D
  - PD
  - PC
  - UNCL
- Bernalillo County Parcels
- Primary Streets

## Notes

100ft Buffer for TRACT B-1 PLAT OF TRACT B-1 AND B-2 ADOBE WELLSSUBDIVISION CONT 5.8965 AC

1,202 0 601 1,202 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
8/12/2024 © City of Albuquerque

1: 7,212

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THIS MAP IS NOT TO BE USED FOR NAVIGATION



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5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

ALBUQUERQUE NM 87114  
9797 EAGLE RANCH RD NW  
PITRE HOLDINGS LLC C/O ROBERT G PITRE  
ALBUQUERQUE, NM 87109

Donna Bohannan  
5571 Midway Park Pl. NE  
Albuquerque, NM 87109

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ALBUQUERQUE, NM 87109

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WWT REALTY CJ LLC  
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<p>■ Complete items 1, 2, and 3.</p> <p>■ Print your name and address on the reverse so that we can return the card to you.</p> <p>■ Attach this card to the back of the mailpiece, or on the front if space permits.</p>		<p>A. Signature <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Address</p> <p>B. Received by (Printed Name) C. Date of Delivery</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes <input type="checkbox"/> No If YES, enter delivery address below:</p>	
<p>1. Article Addressed to: ALBUQUERQUE US EMPLOYEES FEDERAL CREDIT UNION PO BOX 129 ALBUQUERQUE NM 87103-0129</p>		<p>Service Type</p> <p><input type="checkbox"/> Adult Signature <input type="checkbox"/> Registered Mail<sup>™</sup> <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail Restricted Delivery <input checked="" type="checkbox"/> Certified Mail<sup>®</sup> <input checked="" type="checkbox"/> Signature Confirmation<sup>™</sup> <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Insured Mail<sup>®</sup> <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</p>	
<p>2. Article Number (Transfer from service label) 9590 9402 8772 3310 5665 81</p>			
PS Form 3811, July 2020 PSN 7530-02-000-8053		Domestic Return Receipt	

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<p>■ Complete items 1, 2, and 3.</p> <p>■ Print your name and address on the reverse so that we can return the card to you.</p> <p>■ Attach this card to the back of the mailpiece, or on the front if space permits.</p>		<p>A. Signature <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Address</p> <p>B. Received by (Printed Name) C. Date of Delivery</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes <input type="checkbox"/> No If YES, enter delivery address below:</p>	
<p>1. Article Addressed to: RANCHO VISTA MOBILE HOME PARK LLC 7001 CHAPINGO RD NE RIO RANCHO NM 87144-5601</p>		<p>Service Type</p> <p><input type="checkbox"/> Adult Signature <input type="checkbox"/> Priority Mail Express<sup>®</sup> <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail<sup>™</sup> <input checked="" type="checkbox"/> Certified Mail<sup>®</sup> <input checked="" type="checkbox"/> Signature Confirmation<sup>™</sup> <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Insured Mail<sup>®</sup> <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</p>	
<p>2. Article Number (Transfer from service label) 9590 9402 8772 3310 5665 50</p>			
PS Form 3811, July 2020 PSN 7530-02-000-8053		Domestic Return Receipt	





October 7th, 2024

Neighboring Property Owner

**RE: 9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114, TRACT B-1 PLAT OF TRACT B-1 AND B-2 ADOBE WELLSUBDIVISION, TR C-1 SUBD PLAT MAP FOR ADOBE WELLS SUBD CONT 19,079 SQ FT**

Greetings

Tierra west on behalf of Pitre Holdings, LLC is submitting an application for a Site Plan – EPC, Major Amendment for an approximately 6-acre site, legally described as Tract B-1 Plat of Tract B-1 And B-2, Adobe Wells Subdivision, and Tract C-1 SUB Plat Map for Adobe Wells Subdivision, located at 9797 Eagle Ranch Rd NW (the subject site). The application is for the development of a service bay addition of 5700SF and to extend the showroom by 268SF, for a total of 5,968 SF. The subject site has dual zoning, NR-BP and MX-M, which we are seeking to correct concurrently as a separate application. We are seeking site zoning to be wholly NR-BP to be consistent with the site's current use of Light Vehicle Sales and Rental.

Please see attached items for more information.

Property Owner: Pitre Holdings LLC C/O Robert G Pitre LLC  
Agent: Tierra West, LLC

Hearing Date: November 21st

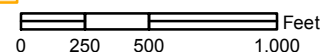
Sincerely,

Donna Sandoval  
Planner

A handwritten signature in black ink, appearing to read "Donna Sandoval". The signature is fluid and cursive, with a large initial "D" and a long, sweeping underline.

JN: 2024019  
DS/rrb/at/sl







[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

Date of Notice\*: 10/9/24

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) §14-16-6-4(K) Public Notice. This notice is being provided to (mark as relevant):

☐ Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.<sup>1</sup>

☒ Property Owners within 100 feet of the Subject Property.

### Information Required by IDO §14-16-6-4(K)(1)(a)

1. Subject Property Address\* 9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114  
Location Description At the intersection of Eagle Ranch Rd NW & Westside Dr NW
2. Property Owner\* PITRE HOLDINGS LLC C/O ROBERT G PITRE
3. Agent/Applicant\* [if applicable] Agent - Donna Sandoval, Tierra West LLC
4. Application Type(s)<sup>2</sup>\* per IDO Table 6-1-1
  - ☒ Site Plan – EPC
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major or Bulk Land)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance – EPC
  - ☐ Waiver \_\_\_\_\_ (DHO or Wireless Telecommunication Facility)
  - ☐ Other: \_\_\_\_\_

Summary of project/request<sup>3</sup>\*:

Pitre Kia Dealership building addition of 5700 SF to service 12 additional cars in the service bay

& 268 ft showroom expansion.

5. This application will be decided at a public meeting or hearing by\*:

- ☐ Development Hearing Officer (DHO)
- ☐ Landmarks Commission (LC)
- ☐ Environmental Planning Commission (EPC)

<sup>1</sup> If this box is marked, the Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination must be included as an attachment.

<sup>2</sup> Applications for the Zoning Hearing Examiner require a public notice form available here: <https://www.cabq.gov/planning/boards-commissions/zoning-hearing-examiner>. Otherwise, mark all that apply.

<sup>3</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

Hearing Date/Time\*: November 21st at 8:40AM

Location\*: https://cabq.zoom.us/j/88163635817

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860 and select the option for “Boards, Commissions, and ZHE Signs.”

6. Where more information about the project can be found\*:

Preferred project contact information:

Name: Agent - Donna Sandoval, Tierra West LLC

Email: dsandoval@tierrawestllc.com

Phone: 505-858-3100



Attachments:



Neighborhood Association Representative Contact List from the City’s Office of Neighborhood Coordination\*



Others: CABQ Public Notice Form, Proposed Site Plan drawings



Online website or project page: \_\_\_\_\_

**Project Information Required for Mail/Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> B-13-Z

2. Project Illustrations, as relevant\*<sup>6</sup>



Architectural drawings



Elevations of the proposed building(s)



Other illustrations of the proposed application

*See attachments or the website/project page noted above for the items marked above.*

3. The following exceptions to IDO standards have been requested for this project\*:



Deviation(s)



Variance(s)



Waiver(s)

Explanation\*:

N/A

<sup>4</sup> Physical address or Zoom link

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas>

<sup>6</sup> While not required for applications other than Site Plan – EPC, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project. For Site Plan – EPC, see additional attachments required below.



[Note: Items with an asterisk (\*) are required.]

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No meeting was requested

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[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*
- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development\***:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information from IDO Zoning Map<sup>7</sup>:**

- 1. Area of Property [typically in acres] 6.3345
  - 2. IDO Zone District NR-BP
  - 3. Overlay Zone(s) [if applicable] CPO-2
  - 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] Commercial Services, Light vehicle sales and rental
- 

**NOTE:** Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3860 and select option for “Boards, Commissions, and ZHE Signs.”

**Useful Links**

**Integrated Development Ordinance (IDO):** <https://ido.abc-zone.com>

**IDO Interactive Map:** <https://tinyurl.com/idozoningmap>

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<sup>7</sup> Available here: <https://tinyurl.com/idozoningmap>



# Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

## **Notificación de Acceso Lingüístico.**

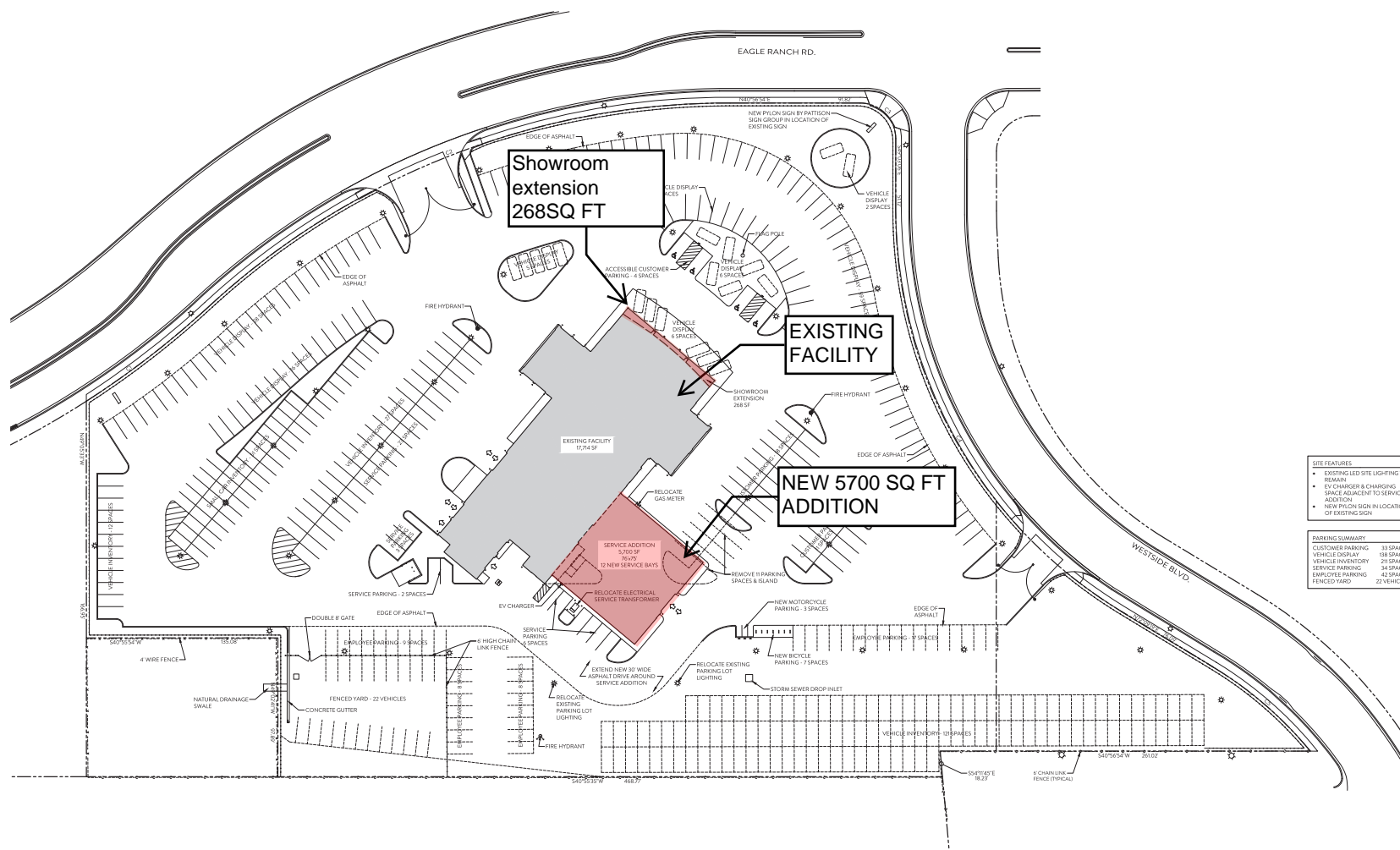
Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

**語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。**

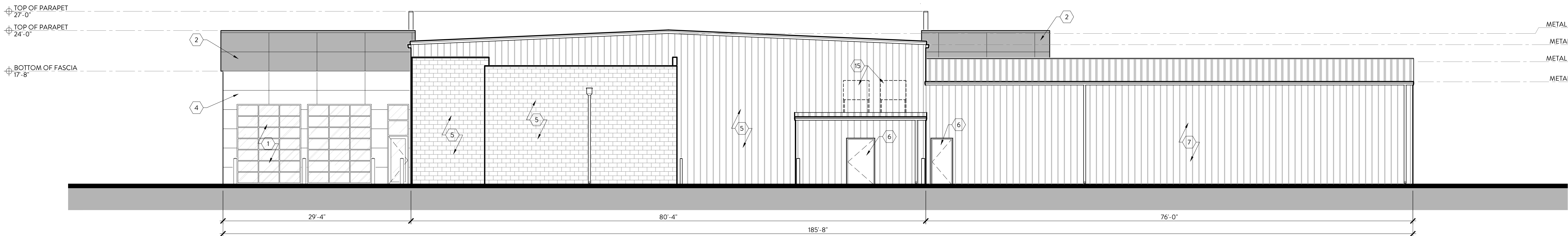
**Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.**

**Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.**

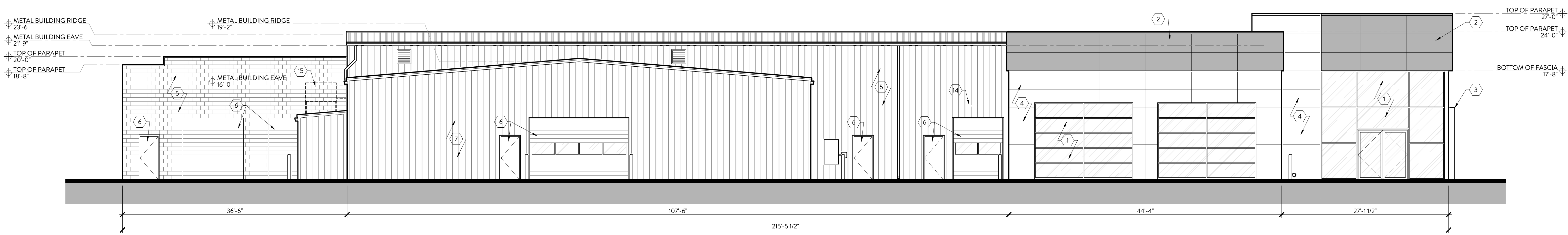




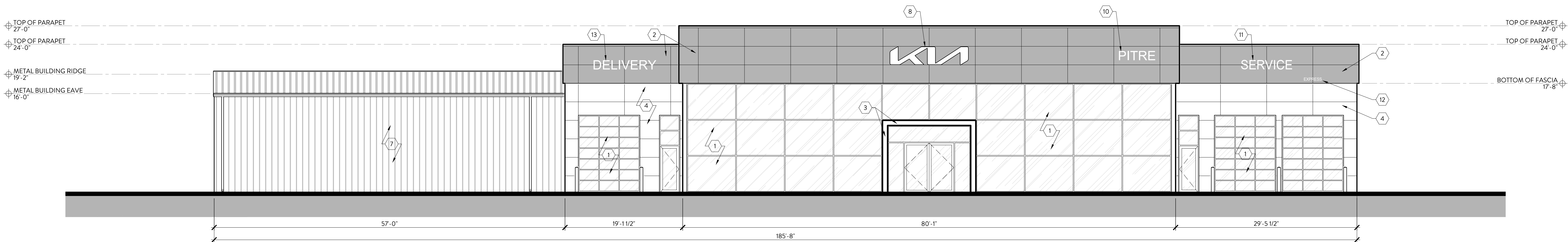




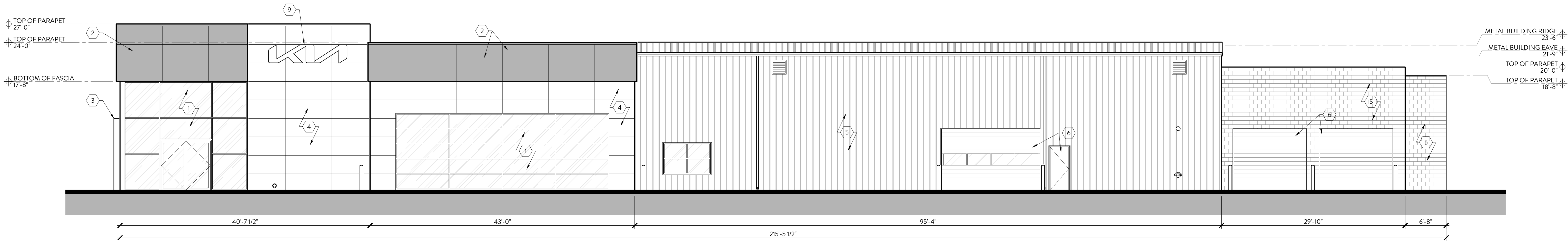
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

GENERAL NOTES

1. ALL EXTERIOR FINISHES, MATERIALS, COLORS, SIGNAGE & GRAPHICS AS PER KIA CORPORATE DESIGN STANDARDS.
2. CONSTRUCTION DRAWINGS ARE IN PROGRESS AT THE TIME OF THIS SUBMITTAL. SOME ASSEMBLIES, CONDITIONS, DETAILS AND/OR DIMENSIONS MAY BE SUBJECT TO MINOR MODIFICATIONS AS THE CONSTRUCTION DRAWINGS ARE FINALIZED. PLEASE REFER TO BUILDING PERMIT DRAWINGS FOR COMPLETED DESIGN.
3. ROOF-MOUNTED HVAC UNITS SERVING SHOWROOM & OFFICES ARE ENTIRELY CONCEALED BEHIND PARAPETS & NOT VISIBLE FROM THE STREET.

KEYED NOTES

1. ALUMINUM STOREFRONT GLAZING SYSTEM & DOORS, CLEAR ANODIZED FINISH. CLEAR LOW-IRON LOW-E INSULATED GLAZING.
2. ALUMINUM COMPOSITE PANEL SYSTEM - ALPOLIC / FR. COLOR: TCB BLACK.
3. ALUMINUM COMPOSITE PANEL SYSTEM - ALPOLIC / FR. COLOR: 85X SILVER METALLIC.
4. DRYVIT "OUTSULATION PLUS MD" EIFS WITH MOISTURE DRAINAGE. COLOR: TO MATCH BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
5. REPAINT EXISTING METAL BUILDING WALL PANELS & CMU WALLS. COLOR: BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
6. PAINT NEW & EXISTING HOLLOW METAL DOORS & FRAMES & METAL ROLL-UP DOORS. COLOR: BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
7. NEW METAL BUILDING WALL PANELS. MATCH COLOR OF REPAINTED EXISTING METAL BUILDING PANELS.
8. EG-1 FRONT LOGO, METALLIC SILVER FINISH, 2" DEEP LETTERS WITH BACKLIT T STAND-OFF, 12'-9" W x 5'-0" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
9. EG-2 SIDE LOGO, METALLIC SILVER FINISH, 2" DEEP LETTERS WITH BACKLIT T STAND-OFF, 12'-9" W x 3'-0" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
10. EG-3 DEALER NAME SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 7'-10" W x 2'-0" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
11. EG-4 SERVICE SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 8'-3" W x 1'-6" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
12. EG-4 EXPRESS SIGN, 3" DEEP LETTERS, DIE-CUT METAL, 2'-11" W x 6" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
13. EG-5 DELIVERY SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 10'-2" W x 1'-6" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
14. PARTS SIGN, CONSTRUCTION TO MATCH EG-4 EXPRESS SIGN. 3'-0" W x 8" HIGH, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
15. ROOF-MOUNTED EVAPORATIVE COOLERS ON STANDS, LOCATED AT REAR OF FACILITY, NOT VISIBLE FROM STREET.



CAMPBELL  
ARCHITECTURE

575.496.3847  
www.campbellarch.com

3237 Jupiter Road  
Las Cruces, NM 88012

DATE:	10.03.2024
ISSUE:	EPC SUBMITTAL
PROJECT:	PK ALBUQUERQUE ELEVATIONS FOR EPC
REV 1:	
REV 2:	
REV 3:	
REV 4:	

PITRE KIA OF ALBUQUERQUE  
RENOVATIONS & ADDITIONS

9640 EAGLE RANCH ROAD NW  
ALBUQUERQUE, NEW MEXICO 8714

EXTERIOR  
ELEVATIONS

A2.1



[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Hearing in the City of Albuquerque for a Policy Decision

Date of Notice\*: 10/9/24

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [IDO §14-16-6-4\(K\)](#).<sup>1</sup>

- ☐ Emailed / mailed notice to Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.\*
- ☒ Mailed notice to Property Owners within 100 feet of the Subject Property.

### Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114  
Location Description 9640 EAGLE RANCH RD NW ALBUQUERQUE NM 87114
2. Property Owner\* At the intersection of Eagle Ranch Rd NW & Westside Dr NW
3. Agent/Applicant [if applicable] Agent - Donna Sandoval, Tierra West LLC
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]  
☒ Zoning Map Amendment \_\_\_\_\_ (EPC or Council)  
☐ Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

We are requesting to correct the floating MX-M zone line and make the site wholly zoned NR-BP

5. This application will be decided at a public hearing by\*:

☐ Environmental Planning Commission (EPC) ☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC) ☐ Landmarks Commission (LC)

☒ Not applicable (Zoning Map Amendment – EPC only)

Hearing Date/Time\*: November 21, 2024

Location\*<sup>3</sup>: November 21st at 8:40AM

<sup>1</sup> Please mark as relevant. See [IDO Table 6-1-1](#) for notice requirements.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

<sup>3</sup> Physical address or Zoom link



[Note: Items with an asterisk (\*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860 and select the option for “Boards, Commissions, and ZHE signs.”

6. Where more information about the project can be found\*:

Preferred project contact name: Donna Sandoval

Email: dsandoval@tierrawestllc.com

Phone: 505-858-3500

Online website or project page: \_\_\_\_\_

Attachments: \_\_\_\_\_

**Information Required for Mail/Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> B-13-Z
2. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No meeting was requested

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[Note: The meeting report is required to be provided in the application materials.]

**Additional Information from IDO Zoning Map<sup>5</sup>:**

1. Area of Property [typically in acres] approximately 6.5 acres
2. IDO Zone District NR-BP
3. Overlay Zone(s) [if applicable] CPO-2
4. Center or Corridor Area [if applicable] Commercial Services, Light vehicle sales and rental
5. Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting up to 15 calendar days before the public hearing date. Contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3860 and select the option for “Boards, Commissions, and ZHE signs.”

**Integrated Development Ordinance (IDO):** <https://ido.abc-zone.com>

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas>

<sup>5</sup> Available here: <https://tinyurl.com/idozoningmap>



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## **Notificación de Acceso Lingüístico.**

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**語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。**

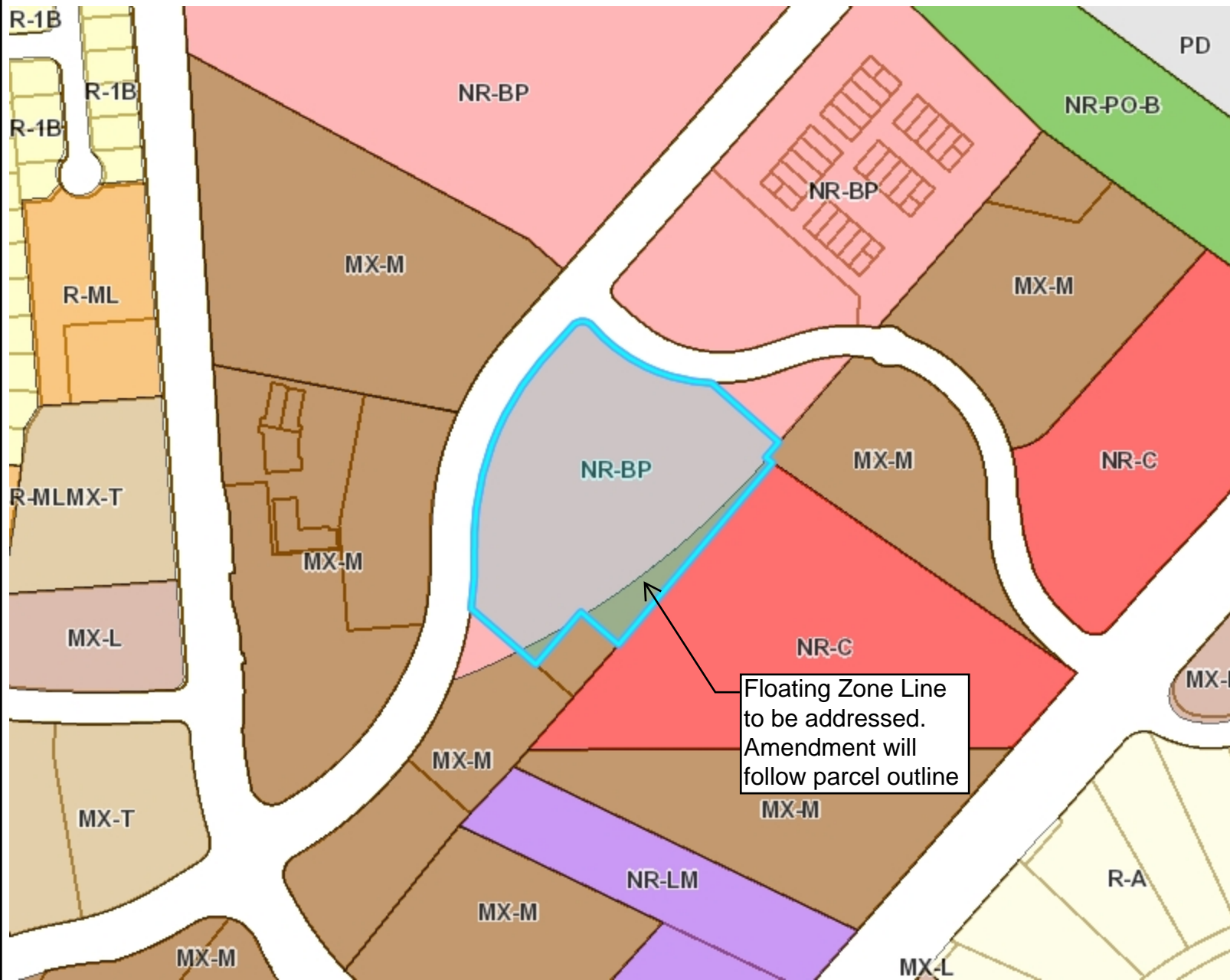
**Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.**

**Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.**





# City of Albuquerque



## Legend

### IDO Zoning

- R-A
- R-1A
- R-1B
- R-1C
- R-1D
- R-T
- R-MC
- R-ML
- R-MH
- MX-T
- MX-L
- MX-M
- MX-H
- MX-FB-ID
- MX-FB-FX
- MX-FB-UD
- NR-C
- NR-BP
- NR-LM
- NR-GM
- NR-SU
- NR-PO-A
- NR-PO-B
- NR-PO-C
- NR-PO-D
- PD
- PC
- UNCL

- Bernalillo County Parcels
- Municipal Limits

## Notes

577 0 289 577 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
7/1/2024 © City of Albuquerque

1: 3,463

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION





# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 05/2024)

B13D002D

**Project Title:** Pitre Kia Albuquerque Dealership Renovations

Zone Atlas Page: B-13-Z DFT/DHO #: \_\_\_\_\_ BP #: \_\_\_\_\_

Development Street Address: 9640 Eagle Ranch Rd. NW, Albuquerque, NM 87114

(If no City Address include a Vicinity Map with site highlighted and legible street names)

**Applicant:** Pitre Kia Contact: Scott Simkins

Address: 9640 Eagle Ranch Rd. NW, Albuquerque, NM 87114

Phone#: 505-899-4848 E-mail: ssimkims@pitrenm.com

### Development Information

Build out/Implementation Year: 2025

Existing Use: Car/Truck Dealership

Describe Proposed Development and Uses:

New 5700 square foot automotive service addition with 12-bays on the southeast side of the existing facility, expand parking capacity, and make improvements to the existing on-site grading and drainage infrastructure.

Days and Hours of Operation (if known): Monday thru Saturday, 9am-6pm

### Facility

Building Size (sq. ft.): 5700 square feet

Number of Residential Units: 0

Number of Commercial Units: 1

### Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):\* Unknown

Expected Number of Employees (if known):\* Unknown

Expected Number of Delivery Trucks/Buses per Day (if known):\* Unknown

Trip Generations during PM/AM Peak Hour and ITE # (if known):\* AM=12 Trips, PM=25 Trips - ITE 942 Auto. Care

Driveway(s) Located on: Street Name 1 Exist. on Westside Dr. and 1 Exist. on Eagle Ranch Rd.

Adjacent Roadway(s) Posted Speed: Street Name Westside Drive Speed 25

Street Name Eagle Ranch Rd. Speed 35

*\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.*



## Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation (e.g. Main Street, Major Transit, N/A): N/A  
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Comprehensive Plan Center Designation (e.g. urban center, Downtown, N/A): N/A  
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Street Functional Classification (e.g. Principal Arterial, Collector): Eagle Ranch Rd. Minor Arterial & Westside Dr. Local Rd.  
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Jurisdiction of roadway (NMDOT, City, County): City of Albuquerque

Adjacent Roadway(s):

Name: Westside Drive Traffic Volume: Unknown Volume-to-Capacity Ratio (v/c): Unknown

Name: Eagle Ranch Rd. Traffic Volume: 15,817 AWDT Volume-to-Capacity Ratio (v/c): <0.5

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/623/Traffic-Flow-Maps-and-Busiest-Intersecti> and <https://mrcog-nm.gov/574/Transportation-Analysis-and-Querying-App>

Adjacent Transit Service(s): City Bus RT 94 Nearest Transit Stop(s): 2  
<https://www.cabq.gov/gis/advanced-map-viewer>

Is site within 660 feet of Premium Transit?: No  
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Current/Proposed Bicycle Infrastructure: Proposed bike path and existing bike Lane on Eagle Ranch Rd.  
Bikeways: <https://mrcog-nm.gov/544/Long-Range-System-maps>

Current/Proposed Sidewalk and buffer Infrastructure: Exist. sidewalks Eagle Ranch & Westside  
Sidewalk and buffer width : DPM Table 7.2.29

Submit by email to Traffic Engineer Curtis Cherne: [ccherne@cabq.gov](mailto:ccherne@cabq.gov). Email or call 505-924-3986 for information.

## **For City Personnel Use:**

### TIS Determination

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

**Traffic Impact Study (TIS) Required:** Yes [ ☐ ] No [ ☒ ]

Thresholds Met? Yes [ ☐ ] No [ ☒ ]

Mitigating Reasons for Not Requiring TIS and/or Notes:

The City concurs with the trips generated: ITE 942  
AM Trips 12  
PM Trips 25

ATTACHMENTS:  
SITE PLAN  
ITE TRIP GENERATION TABLE 7 EQUATIONS  
ITE LAND USE 942 DESCRIPTION

*Curtis A Cherne*

TRAFFIC ENGINEER

9-13-24

DATE





April 21, 2025  
Willam Steele  
City of Albuquerque – Planning Department  
PO Box 1293  
Albuquerque, NM. 87103

**RE: Pitre KIA – Site Plan EPC**

**CONDITIONS OF APPROVAL-PR-2024-011052, SI-2024-01468 – Major Amendment to Site Plan – EPC**

Dear Willam Steele,

Per the conditions of approval dated November 21<sup>st</sup>, 2024, please find the following responses addressing the comments listed below:

1. Pursuant to IDO §14-16-6-4(P)(4), any conditions shall be met within 1 year of the approval, unless stated otherwise in the approval. If any conditions are not met within that time, the approval is void. The Planning Director may extend the time limit up to an additional 1 year.

*Applicant Response: Acknowledged*

2. The applicant shall coordinate with the Staff Planner to ensure that all Conditions of Approval are met and then submit a vetted, final version to the Staff Planner for filing at the Planning Department.

*Applicant Response: Acknowledged*

3. After coordinating with the Staff Planner, the applicant shall submit the final version to the Development Facilitation Team (DFT) for final sign-off. Pursuant to IDO §14-16-6-6(l)(2)(m), Site Plans shall be reviewed administratively for compliance with conditions of approval, DPM, and zoning standards prior to the issuance of a building permit. The reviewer shall ensure that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.

*Applicant Response: Acknowledged*

4. Hydrology:

A Grading and Drainage Plan & Report must be approved by Hydrology prior to review/sign-off of the Site Plan by the DFT. Stormwater Quality Volume (SWQV) - The total required SWQV calculation must be included on the Grading and Drainage Plan along with Calculation of the portion of the SWQV for which payment-in-lieu is requested. Payment shall be made at the following steps in the City review/decision process:

1. Multi-family Development: Prior to the issuance of a building permit.
2. *Commercial Development: Prior to the issuance of a building permit.* [emphasis added]
3. Single-family Subdivision: Prior to recording the Final Plat and prior to the issuance of a work order.



*Applicant Response: Hydrology approval received and attached to this response letter. All calculations referenced above can be found on the Grading and Drainage Plan as required.*

5. CABQ Parks and Rec. Urban Forestry:

- Landscape Plan shall be stamped and signed by a licensed Landscape Architect.
- Revise the Landscape Plan to clearly show what is existing and what is to remain.
- Per Street Tree Ordinance 6-6-2-4 REQUIRED STREET TREES (1) All applicants for building permits for construction of a new building or building addition of 200 square feet or more shall submit a street tree plan for those parts of the lot abutting a major street, a major local street, or another street where street trees are required.
- Show street trees 25 feet on center along Westside Boulevard.
- Revise the Landscape Plan to select a tree species other than ash trees, which are overplanted and struggling in current climate conditions.
- Work with Urban Forestry to revise the Landscape Plan to identify the shrubs to be replaced and maintained.

*Applicant Response: Updated Landscape Plan stamped and signed by a licensed Landscape Architect is attached to this letter. Plan addressed the various comments iterated above from the CABQ Parks and Rec. Urban Forestry.*

6. AMAFACA: Remove reference to AMAFCA and replace with “City of Albuquerque” on the existing 68-foot permanent underground drainage easement, which AMAFCA quitclaimed to the City of Albuquerque in 2000.

*Applicant Response: Reference to AMAFCA removed and replaced with City of Albuquerque accordingly.*

7. Site Plan:

A. Add the legal description to this sheet.

*Applicant Response: Updated Site Plan with legal description attached to this letter.*

B. The Site Plan shall comply with the General Regulations of the IDO and all other applicable design regulations, except as specifically approved by the EPC.

*Applicant Response: Updated Site Plan including the general note, “The Site Plan shall comply with the General Regulations of the IDO and all other applicable design regulations, except as specifically approved by the EPC.”*

8. The site lighting shall come into compliance with the Outdoor and Site and Light standards of IDO §14-16-5-8 or the applicant shall show how the existing outdoor lighting complies with the IDO. A site lighting plan shall be provided to city staff prior to sign off. If the applicant is unable to comply with IDO §14-16-5-8 they shall return to EPC for an outdoor and site lighting performance analysis.



*Applicant Response: Site lighting sheets (E0.1 & ES1.0) in compliance with the IDO are attached to this letter.*

9. Landscape Plan:

A. The asphalt paving limits shall be modified to accurately show the new paving limits around the proposed addition.

B. The new plantings on the southeast corner of the proposed addition shall be identified.

*Applicant Response: Updated Landscape Plans stamped and signed by a licensed Landscape Architect is attached to this letter. Plan identifies the limits of the new paving around the proposed addition and details the plantings on the southeast corner of addition accordingly.*

10. Exterior Elevations Sheet:

A. The missing "Parts" sign on the East (Side) Elevation for Keyed Note #14 shall be added to the sheet.

B. The North (Front) Elevation of the proposed addition with the 57'-0" façade shall incorporate 1 required feature every 40'-0" to adhere to the required total of 2 features along 30 percent of the length of the façade pursuant to §14-16-5-11(E)(2)(a)-(g).

*Applicant Response: Updated Elevation Sheet is attached to this letter, addressing the comments referenced above.*

Please contact me with any questions or clarifications.

Thanks,

A handwritten signature in black ink, appearing to be 'S. Lozoya', with a stylized, flowing script.

Sergio Lozoya  
Senior Planner

PN: 2024019  
sl/at



ADJACENT PARCEL  
ZONING CLASSIFICATION MX-M  
LAND USE: GOVERNMENT OFFICES (NM MVD)

ADJACENT PARCEL  
ZONING CLASSIFICATION NR-BP  
LAND USE: OFFICE/RETAIL PARK

ADJACENT PARCEL  
ZONING CLASSIFICATION MX-M  
LAND USE: LIGHT VEHICLE SALES & RENTAL

ADJACENT PARCEL  
ZONING CLASSIFICATION NR-C  
LAND USE: LIGHT VEHICLE SALES & RENTAL

ADJACENT PARCEL  
ZONING CLASSIFICATION NR-BP/MX-M  
LAND USE: LIGHT VEHICLE REPAIR

#### LEGEND

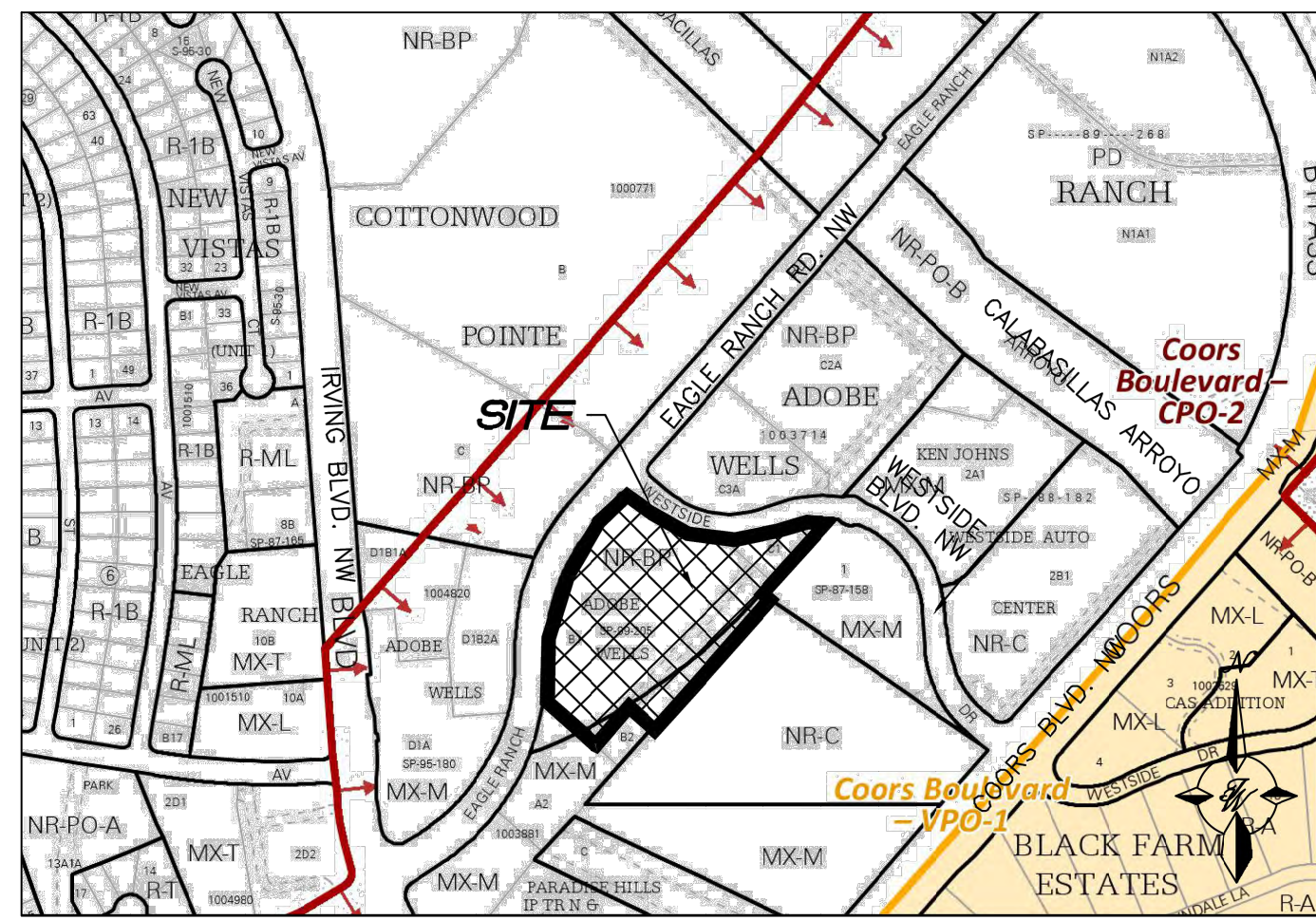
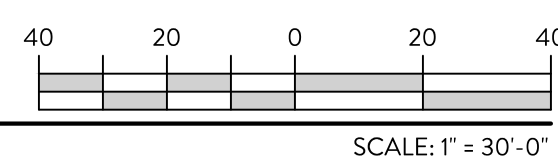
- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- EDGE OF PAVEMENT
- PEDESTRIAN WALKWAY
- STREET LANE STRIPING
- BICYCLE & TURN LANE STRIPING
- STEEL POST-AND-CABLE FENCING, 2' HIGH
- WIRE FENCING, 4' HIGH
- CHAIN LINK FENCING, 6' HIGH
- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHTING
- EXISTING/RELOCATED SITE LIGHTING

#### GENERAL NOTES

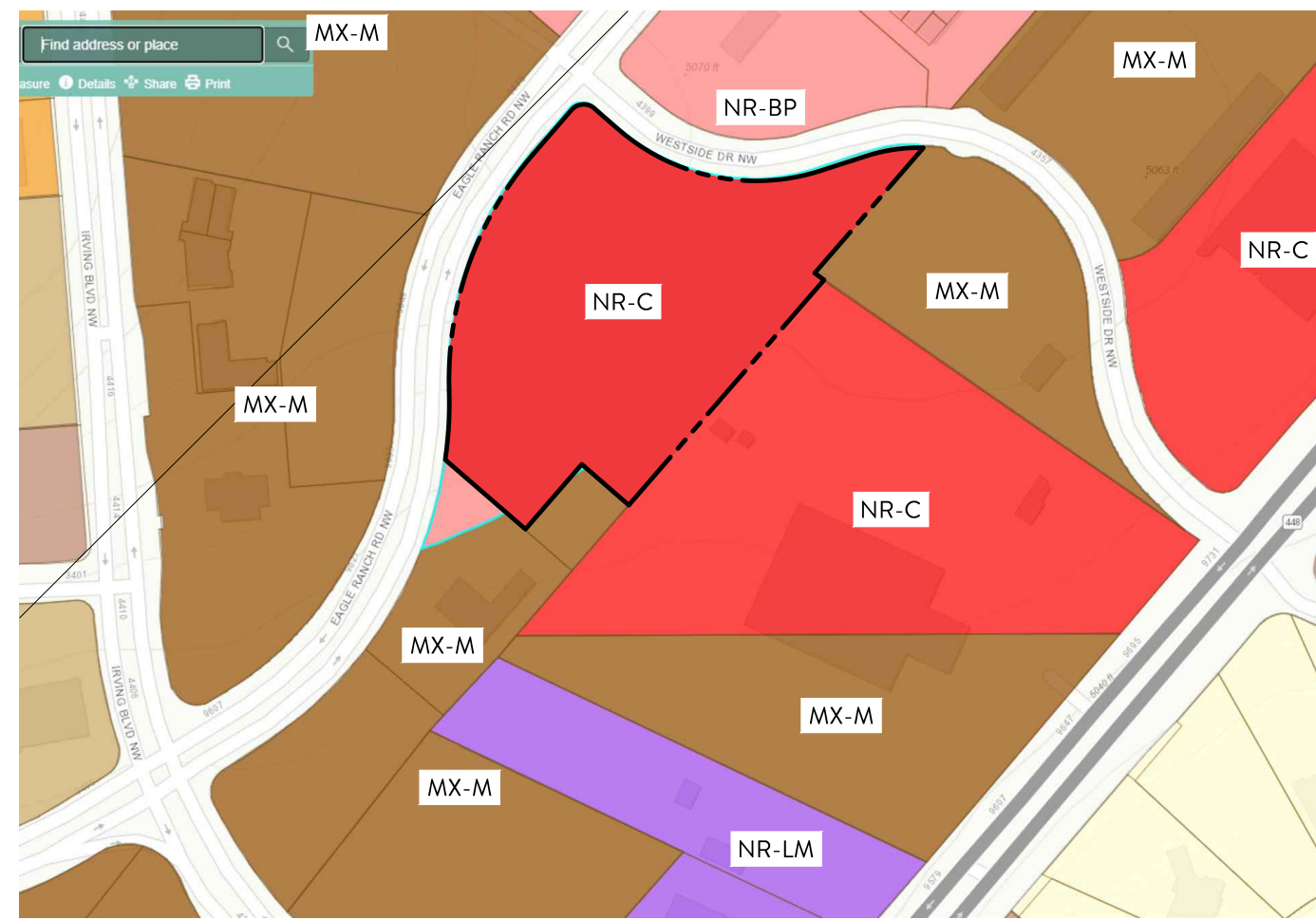
- THIS PROJECT CONSISTS OF RENOVATIONS & ADDITIONS TO AN EXISTING CAR DEALERSHIP. ALL SITE DEVELOPMENT IS EXISTING, MODIFIED ONLY AS REQUIRED TO ACCOMMODATE THE NEW SERVICE ADDITION. MODIFICATIONS ARE AS NOTED ON PLAN.
- SEE CIVIL DRAWINGS FOR GRADING/DRAINAGE, UTILITY & LANDSCAPING INFORMATION.
- CONSTRUCTION DRAWINGS ARE IN PROGRESS AT THE TIME OF THIS SUBMITTAL. SOME ASSEMBLIES, CONDITIONS, DETAILS AND/OR DIMENSIONS MAY BE SUBJECT TO MINOR MODIFICATIONS AS THE CONSTRUCTION DRAWINGS ARE FINALIZED. PLEASE REFER TO BUILDING PERMIT DRAWINGS FOR FINAL DESIGN.
- EXISTING STREET & PARKING DIMENSIONS ARE BASED ON ORIGINAL 2004 DRB SITE DEVELOPMENT PLAN AS SUBMITTED FOR INITIAL CONSTRUCTION PROJECT.
- THE SITE PLAN SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE IDO & ALL OTHER APPLICABLE REGULATIONS, EXCEPT AS SPECIFICALLY APPROVED BY THE EPC.

#### KEYED NOTES

- EXISTING 6' CHAIN LINK FENCE TO REMAIN.
- EXISTING STORM SEWER DROP INLET TO REMAIN. SEE CIVIL.
- THIS EXISTING PARKING LOT LIGHT TO BE RELOCATED. SEE ELECTRICAL.
- EXTEND NEW 30' WIDE ASPHALT DRIVE AROUND SERVICE ADDITION.
- RELOCATE ELECTRICAL SERVICE TRANSFORMER.
- EV CHARGING STATION ON STAND. SEE ELECTRICAL.
- EXISTING 6' HIGH CMU DUMPSITER ENCLOSURE TO REMAIN. REPAINT.
- EDGE OF ASPHALT. SEE CIVIL.
- EXISTING FIRE HYDRANT TO REMAIN.
- REMOVE 11 EXISTING PARKING SPACES & ISLAND.
- REMOVE EXISTING ISLAND & CONCRETE WALK.
- RELOCATE EXISTING GAS METER. SEE CIVIL.
- EXISTING FLAG POLE TO REMAIN.
- EXISTING 4' WIRE FENCE TO REMAIN.
- EXISTING DRAINAGE SWALE TO REMAIN.
- EXISTING CONCRETE GUTTER TO REMAIN.
- EXISTING DOUBLE 8' CHAIN LINK GATE TO REMAIN.
- NEW "KIA" INTERNALLY LIGHTED MONUMENT SIGN BY PATTON SIGN GROUP, IN LOCATION OF EXISTING SIGN. SEE SIGN DETAIL 3/AS1.2.
- EXISTING SITE LIGHTING TO REMAIN. 18' HIGH +/-.
- NEW BICYCLE PARKING - 7 SPACES. SEE ENLARGED PLAN (1/AS1.2) & RACK DETAIL 2/AS1.2.
- NEW MOTORCYCLE PARKING - 3 SPACES. SEE ENLARGED PLAN (1/AS1.2).
- MOTORCYCLE PARKING SIGNAGE.
- MOTORCYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
- BICYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
- CONCRETE WALK & CURB. SEE CIVIL.
- BICYCLE RACK. SEE DETAIL 2/AS1.2.
- EXISTING CONCRETE VEHICLE DISPLAY PAD FLUSH WITH ASPHALT - NO CURB.
- 5' WIDE PEDESTRIAN WALKWAY FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE. PAINTED DIAGONAL STRIPING AS SHOWN.
- NEW LANDSCAPE ISLAND AS SHOWN.
- SECURE VEHICLE STORAGE AREA.
- EXISTING 5' WIDE CONCRETE WALK FROM SIDEWALK TO PARKING LOT - PART OF 5' PEDESTRIAN WALKWAY TO BUILDING. SEE KEYED NOTE 28 ABOVE.
- 5' WIDE PEDESTRIAN WALKWAY FROM ACCESSIBLE PARKING TO BUILDING ENTRANCE.
- EXISTING CONCRETE WALK, FLUSH WITH ASPHALT PAVEMENT.
- NEW CURB & WALK - DIMENSIONS AS SHOWN.
- EXISTING 2' HIGH STEEL POST-AND-CABLE FENCE TO REMAIN.
- EXISTING 6' WIDE CONCRETE SIDEWALK TO REMAIN.
- EXISTING PROPERTY LINE.
- MINI CLEAR SIGHT TRIANGLE, 11' x 11'.
- BICYCLE LANE, 5' WIDE.
- NEW "KIA CERTIFIED PRE-OWNED" INTERNALLY LIGHTED MONUMENT SIGN BY PATTON SIGN GROUP, IN LOCATION OF EXISTING SIGN. SEE SIGN DETAIL 4/AS1.2.
- RAISED PLANTER. SEE SHEET AS2.1 & LANDSCAPE DRAWINGS.
- EVAPORATIVE COOLER SUPPORTED BY METAL STAND ON CONCRETE PAD. SEE MECHANICAL.
- LANDSCAPE AREA AS SHOWN.



VICINITY MAP



ZONING MAP

#### SITE DATA

<b>LEGAL DESCRIPTION</b> TRACTS B-1 & C-1, ADOBE WELLS SUBDIVISION	
<b>SITE &amp; BUILDING INFORMATION:</b>	
<b>SITE AREA:</b>	
TRACT B-1	5.5923 AC +/-
TRACT C-1	0.4380 AC +/-
TOTAL	6.0303 AC +/-
<b>BUILDING AREA:</b>	
EXISTING FACILITY	17,649 SF
SHOWROOM ADDITION	278 SF
SERVICE ADDITION	5,724 SF
TOTAL	23,651 SF
<b>ZONING CLASSIFICATION:</b>	
TRACT B-1	NR-C (PREVIOUS CLASSIFICATION MX-M / NR-BP)
TRACT C-1	NR-C (PREVIOUS CLASSIFICATION NR-BP)
<b>OVERLAY ZONE (BOTH PARCELS):</b> CPO-2	
<b>LAND USE:</b>	
LIGHT VEHICLE SALES & RENTAL	
<b>BUILDING RESTRICTIONS (UTILIZING NR-C REQUIREMENTS):</b>	
MINIMUM LOT WIDTH:	N/A
MAXIMUM LOT BUILDING COVERAGE:	N/A
MINIMUM FRONT SETBACK:	5'
MINIMUM SIDE SETBACK:	0'
MINIMUM REAR SETBACK:	0'
MAXIMUM BUILDING HEIGHT:	38'
<b>MINIMUM OFF-STREET PARKING (TABLE 5-5-1):</b>	
LIGHT VEHICLE SALES & RENTAL: 2 SPACES / 1,000 SF	
23,651 SF / 1,000 x 2 = 48 SPACES	
<b>PARKING PROVIDED:</b>	
CUSTOMER PARKING	33
SERVICE PARKING	34
VEHICLE DISPLAY	136
VEHICLE INVENTORY	206
FENCED VEHICLE STORAGE	22
	431 SPACES
<b>ACCESSIBLE PARKING REQUIRED (NMAC 14.7.2.19(D), T1106.2):</b>	
51-100 TOTAL PARKING SPACES REQUIRED: 4 ACCESSIBLE SPACES REQUIRED, 1 TO BE VAN ACCESSIBLE	
<b>MINIMUM MOTORCYCLE PARKING (TABLE 5-5-4):</b>	
91-100 SPACES: 3 MOTORCYCLE SPACES REQUIRED	
<b>MINIMUM BICYCLE PARKING (TABLE 5-5-5):</b>	
10% OF OFF-STREET VEHICLE PARKING SPACES, 3 MIN.	
67 / 10 = 6.7 7 BICYCLE SPACES REQUIRED	
<b>MINIMUM PARKING &amp; DRIVE DIMENSIONS PROVIDED:</b>	
DRIVING AISLES:	25' WIDE
STANDARD VEHICLE PARKING SPACES:	8.5' x 18'
COMPACT VEHICLE PARKING SPACES:	7.5' x 15'
ACCESSIBLE PARKING SPACES:	9' x 20'
ACCESSIBLE PARKING ACCESS AISLES:	8' x 20'
MOTORCYCLE PARKING SPACES:	4' x 8'
BICYCLE PARKING SPACES:	4' x 8'

#### PROJECT NUMBER:

#### Application Number:

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

#### DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date



## CAMPBELL ARCHITECTURE

575.496.3847  
www.campbellarch.com

3237 Jupiter Road  
Las Cruces, NM 88002

DATE:	04.11.2025
ISSUE:	EPC SUBMITTAL REV2
PROJECT:	2025.05
REVISION:	REV 1: SITE PLAN AS1 SITE FOR EPC REV2
REV 2:	
REV 3:	
REV 4:	

## PITRE KIA OF ALBUQUERQUE RENOVATIONS & ADDITIONS

9640 EAGLE RANCH ROAD NW  
ALBUQUERQUE, NEW MEXICO 8714

ARCHITECTURAL  
SITE PLAN

# AS1.1





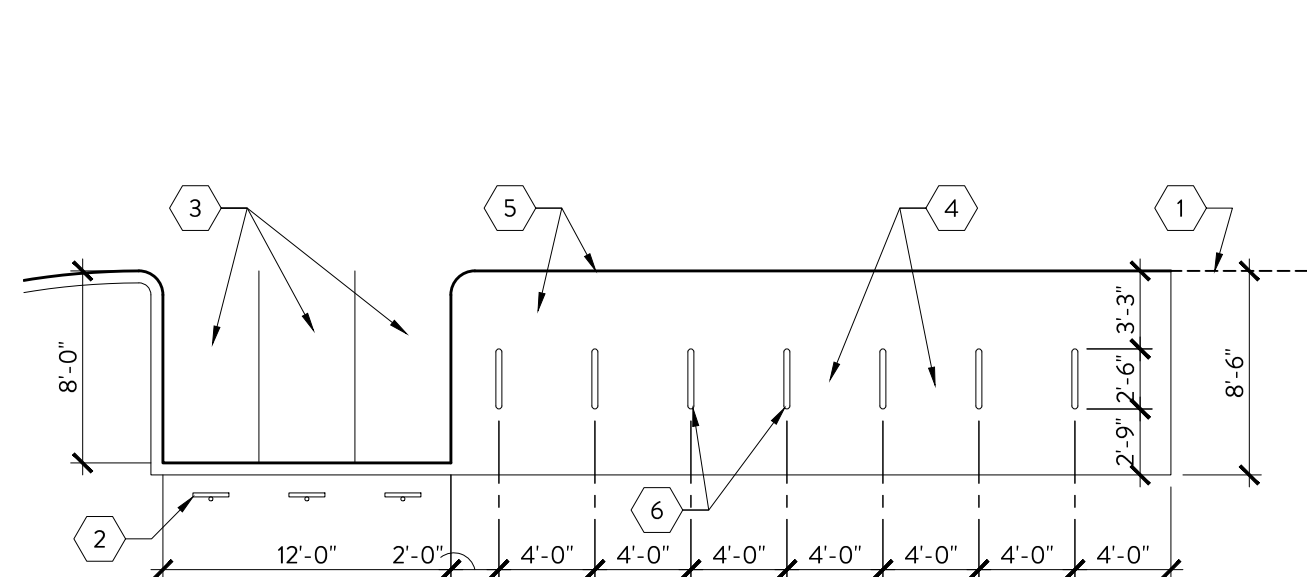
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ISSUE:	EPC SUBMITTAL REV 2
PROJECT:	PITRE KIA OF ALBUQUERQUE
DATE PREPARED:	04.11.2025
DATE FOR EPC:	04.11.2025
REV 1:	
REV 2:	
REV 3:	
REV 4:	

#### GENERAL NOTES

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#### KEYED NOTES

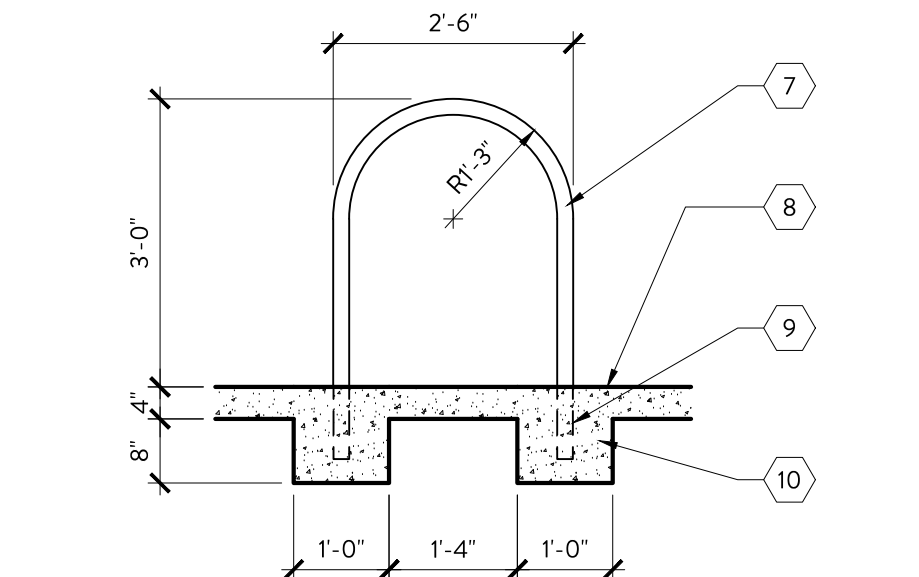
- EDGE OF ASPHALT. SEE CIVIL.
- MOTORCYCLE PARKING SIGNAGE.
- MOTORCYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
- BICYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
- CONCRETE WALK & CURB. SEE CIVIL.
- BICYCLE RACK. SEE DETAIL 2/AS1.1.
- 2" DIA. SCH. 40 STEEL TUBE, PAINTED - PROFILE AS SHOWN.
- TOP OF FOOTING FLUSH WITH TOP OF CONCRETE WALK.
- SET TUBE LEGS 9" INTO CONCRETE FOOTING.
- 12" DIA. x 12" DEEP 3,000 PSI CONCRETE FOOTING.



ENLARGED PLAN AT BICYCLE & MOTORCYCLE PARKING

1/AS1.2

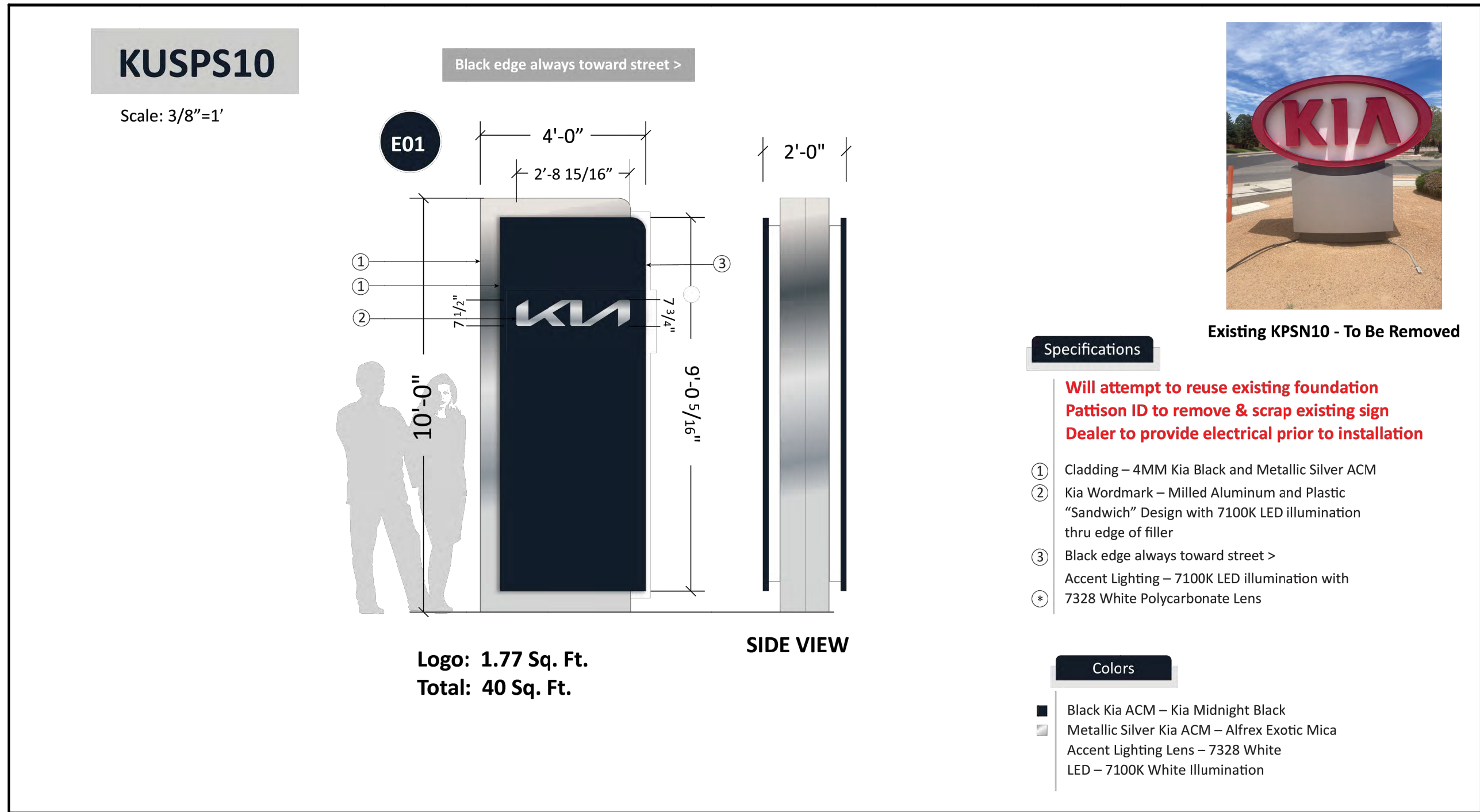
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BICYCLE PARKING RACK DETAIL

2/AS1.2

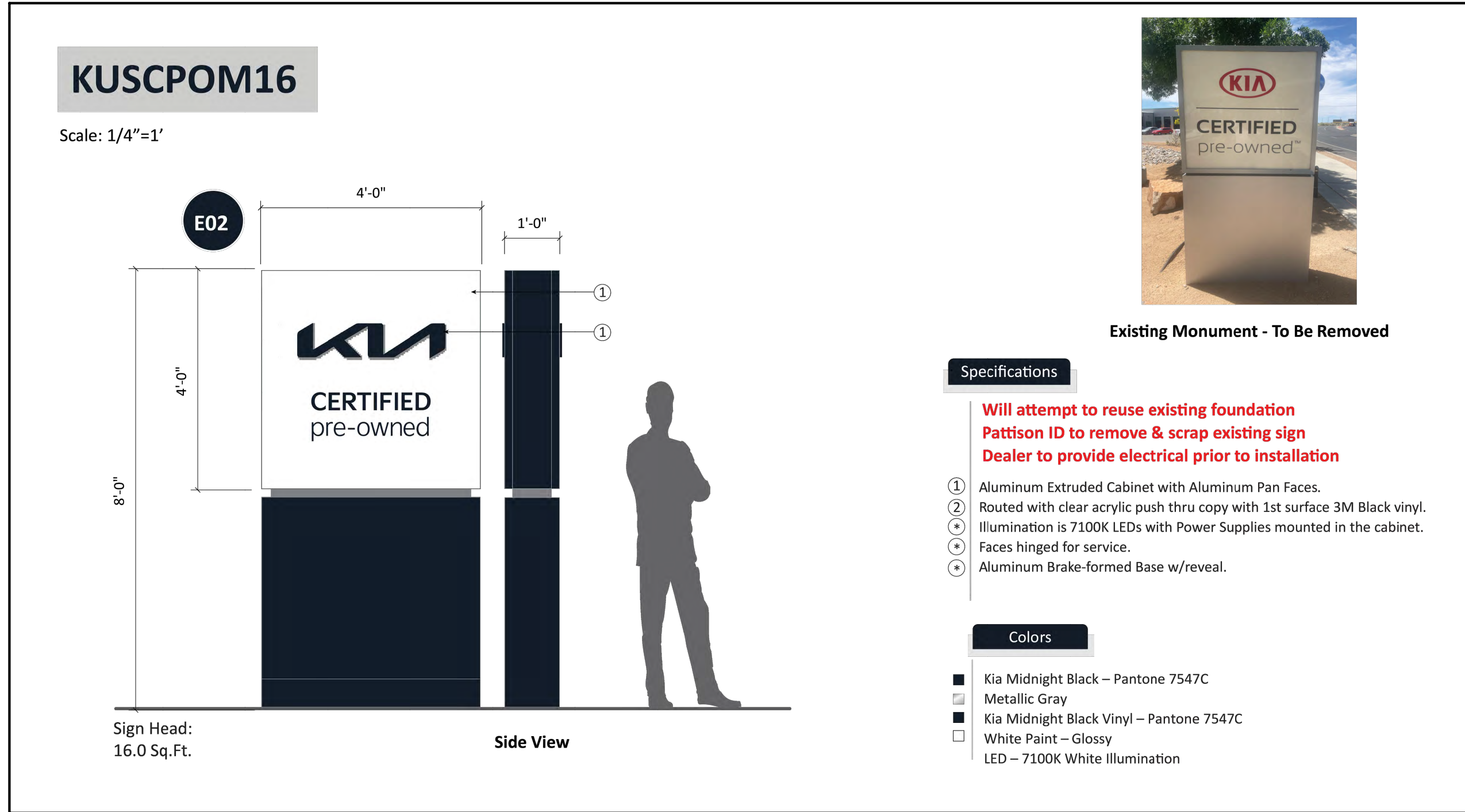
SCALE: 1/2" = 1'-0"



"KIA" MONUMENT SIGN - TO BE LOCATED BY EAGLE RANCH ROAD / WESTSIDE BLVD. INTERSECTION

3/AS1.2

SCALE AS NOTED



"KIA CERTIFIED PRE-OWNED" MONUMENT SIGN - TO BE LOCATED BY EAGLE RANCH ROAD NEAR SW CORNER OF SITE

4/AS1.2

SCALE AS NOTED

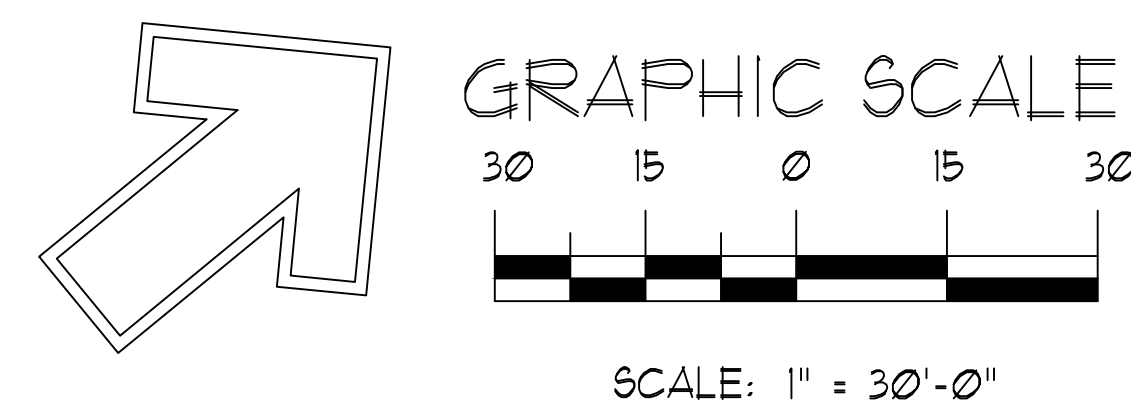




### Vicinity Map

OVERALL LANDSCAPE CALCULATIONS	
TOTAL LOT AREA (sf)	261360 SF
TOTAL BUILDING AREA (sf)	123373 SF
TOTAL NET LOT AREA (sf)	137987 SF
LANDSCAPE REQUIREMENT	X0.05 SF
TOTAL LANDSCAPE REQUIRED (15%)	20698 SF
TOTAL ON-SITE LANDSCAPE PROVIDED (EXISTING)	3152 SF
TOTAL LANDSCAPE PROVIDED	
TREE CANOPIES AND GROUND-LEVEL PLANTS REQUIRED (15%)	26139 SF
TREE CANOPIES AND GROUND-LEVEL PLANTS EXISTING	5304 SF
GROUND-LEVEL PLANTS REQUIRED (2% of Required Vegetation Coverage)	6685 SF
GROUND-LEVEL PLANTS EXISTING	594 SF

**LANDSCAPE  
GROUNDCOVERS**



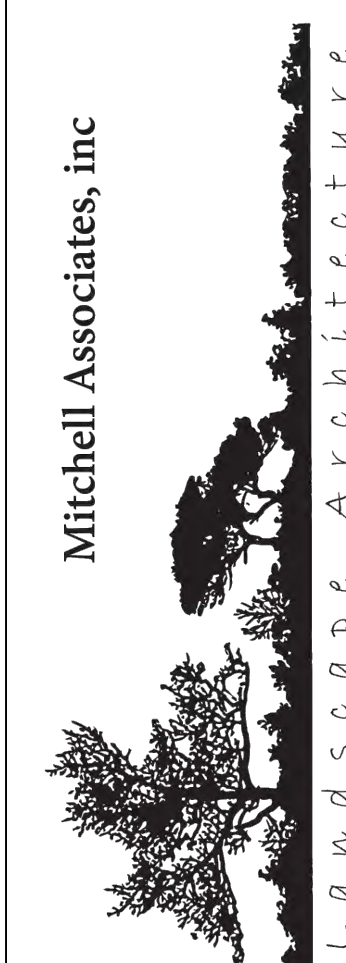
SCALE: 1" = 30'-0"

Designed By: <i>q, q'</i>	REVISIONS
Drawn By: <i>q, q'</i>	Comment
Approved By: <i>d m</i>	Date:
Date: <i>3/21/2025</i>	
<b>NEW MEXICO ONE CALL</b> STATEWIDE - 811 OR 1-800-321-ALERT (2537) <a href="http://www.nmonecall.org">www.nmonecall.org</a> Call two working days before you dig.	
	File ID:

**Landscape Plan  
( Existing )**

**KIA WESTSIDE AUTO  
DEALERSHIP,<sup>TM</sup>  
ALBUQUERQUE, NM**

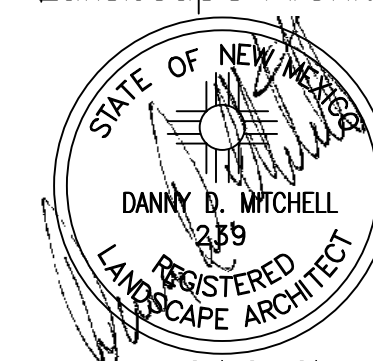
Mittell Associates, Inc



**Danny Mitchell**

lanny@mitchellassociatesinc.com  
505.639.9583

Seal: Landscape Architect

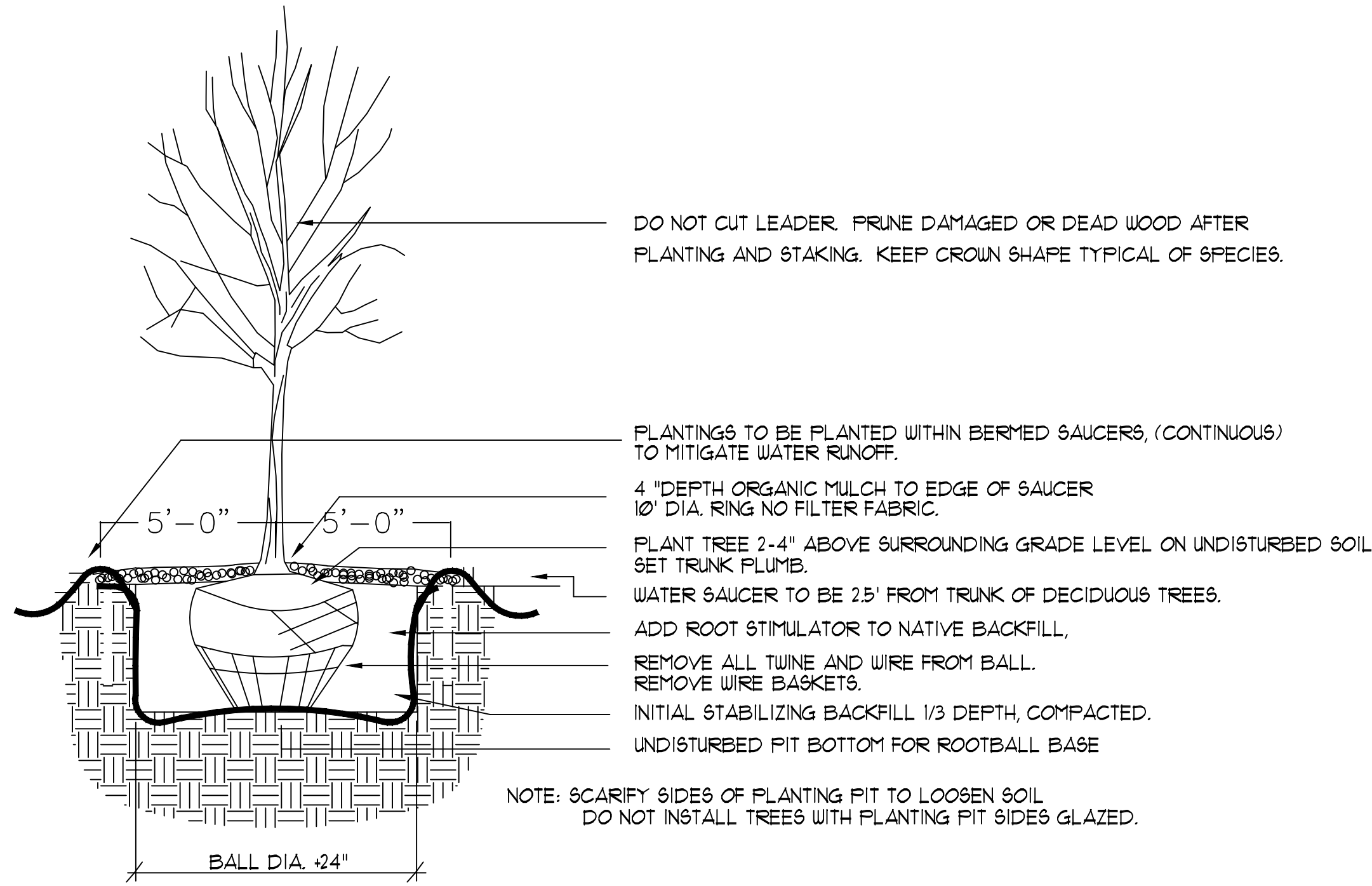


3/24/2025  
Project NO: 2024-120  
COPYRIGHT MITCHELL ASSOCIATES INC ALL RIGHTS RESERVED  
Drawing No. 1 of 4  
**LS-101**



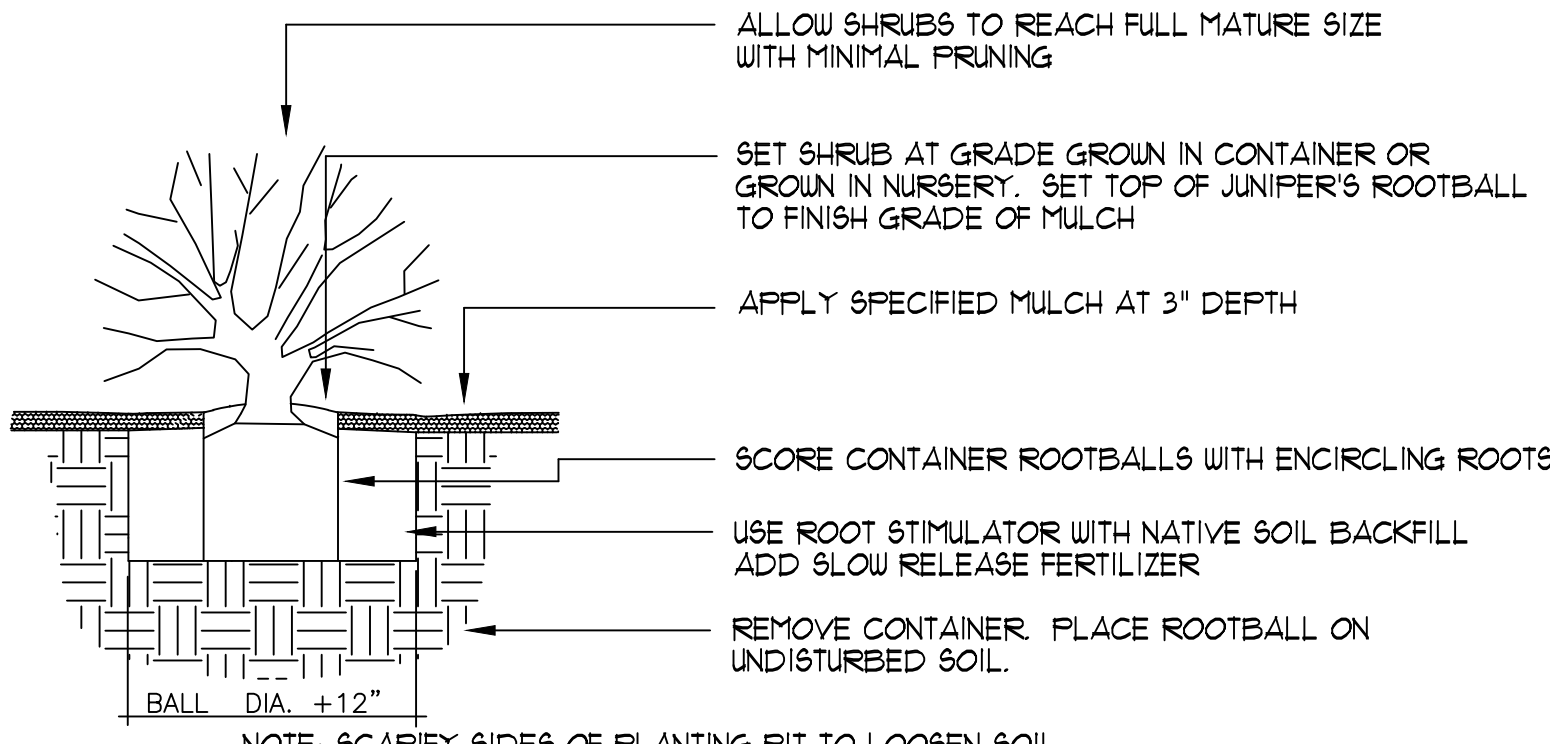






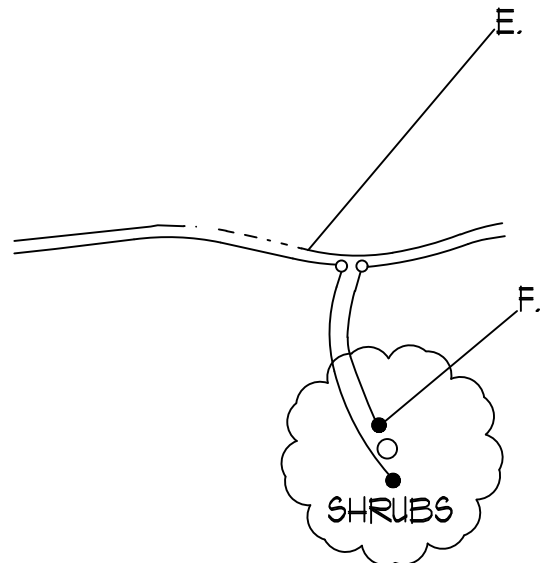
TREE PLANTING DETAIL

N.T.S.



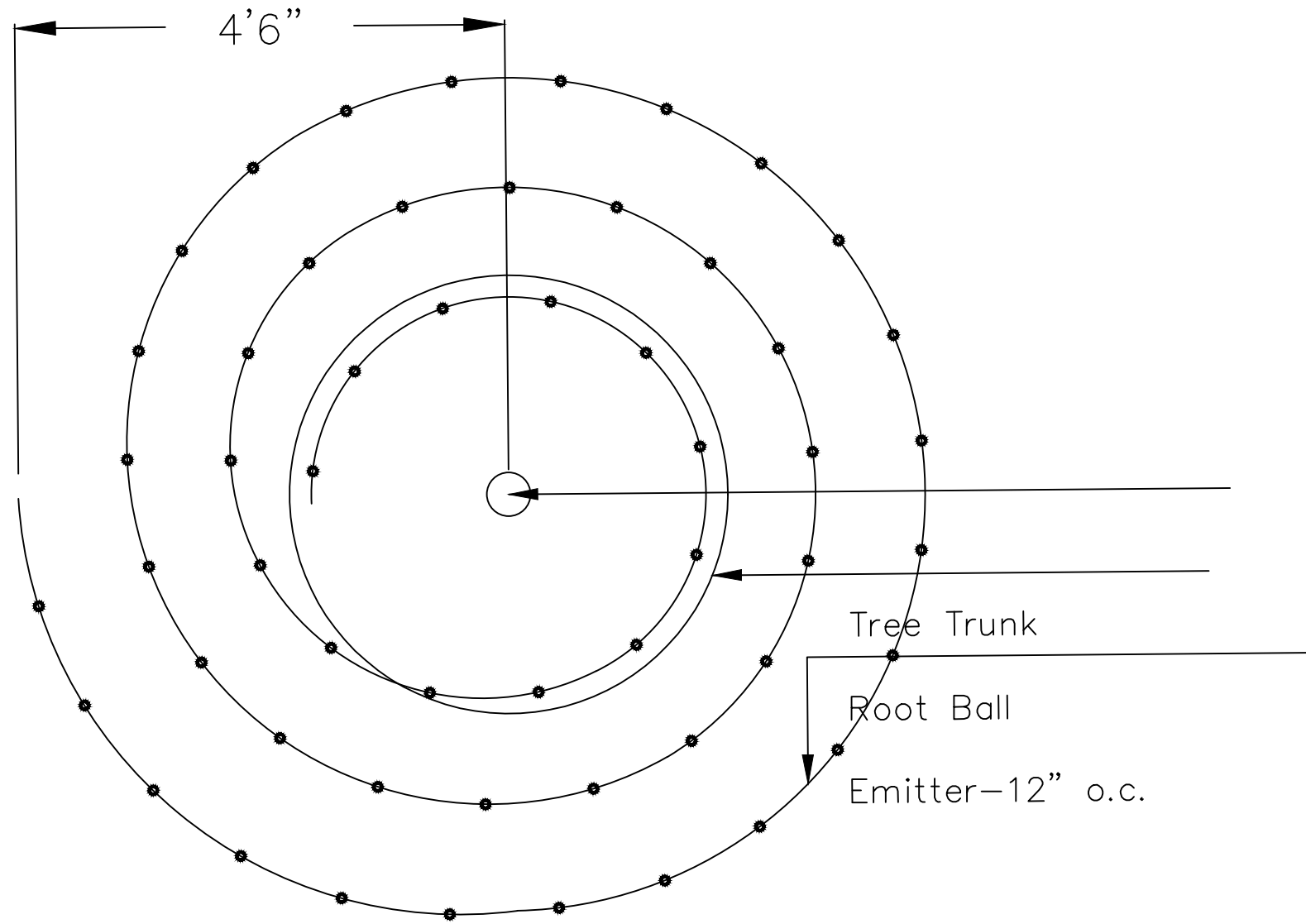
SHRUB PLANTING DETAIL

N.T.S.



EMITTER PLACEMENT DETAIL

N.T.S.



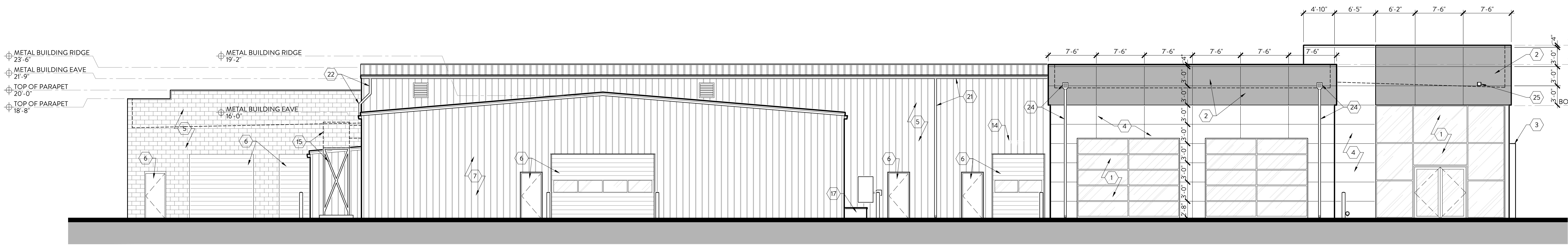
Netafim Spiral Detail

REVISIONS	Comment	
	Date:	
Designed By:	D. Mitchell	NEW MEXICO ONE CALL STATEWIDE - 811 OR 1-800-321-ALERT (2537) www.nmonecall.org Call two working days before you dig.
Drawn By:	dm	
Approved By:		
Date:		
Landscape Details		
KIA WESTSIDE AUTO DEALEARSHIP ALBUQUERQUE, NM		
Mitchell Associates, inc		505.639.9583
Seal: Landscape Architect		
3/24/2025 Project NO: 2024-120 Copyright Mitchell Associates Inc. All Rights Reserved		
Drawing No. 3 of 4		
LS-103		

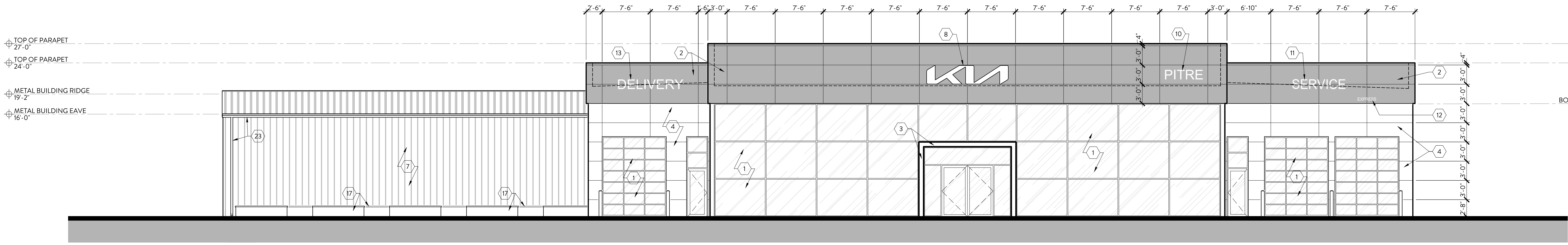




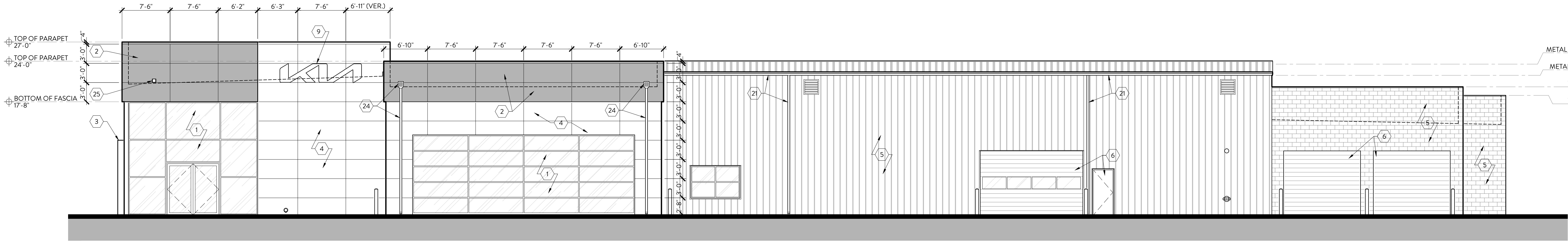




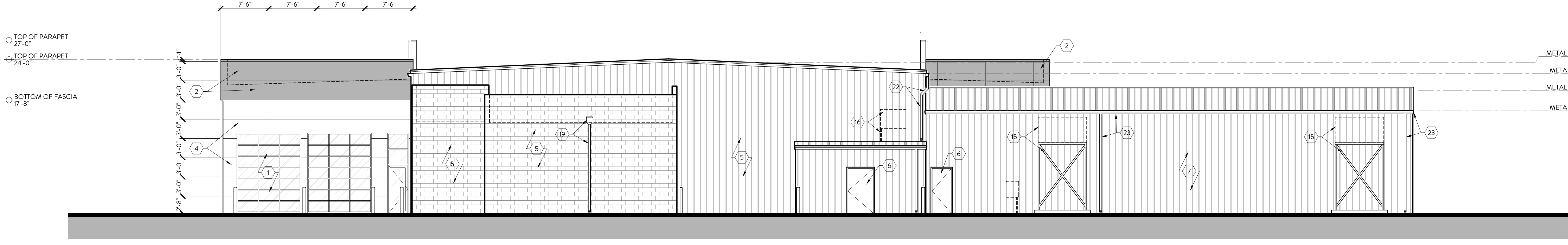
EAST ELEVATION  
1/A2.1



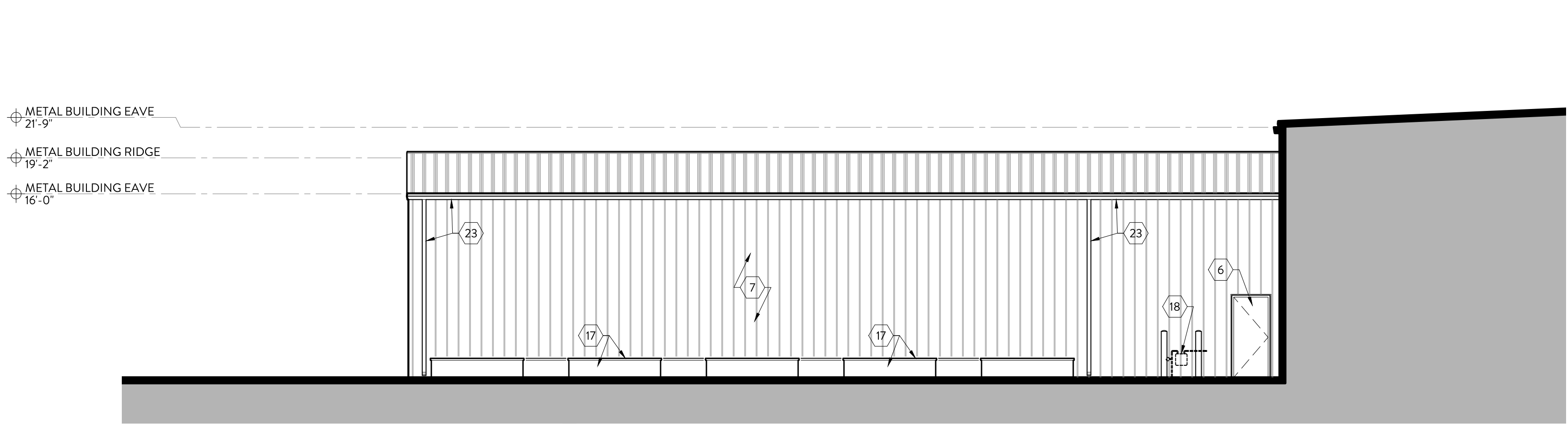
NORTH ELEVATION  
2/A2.1



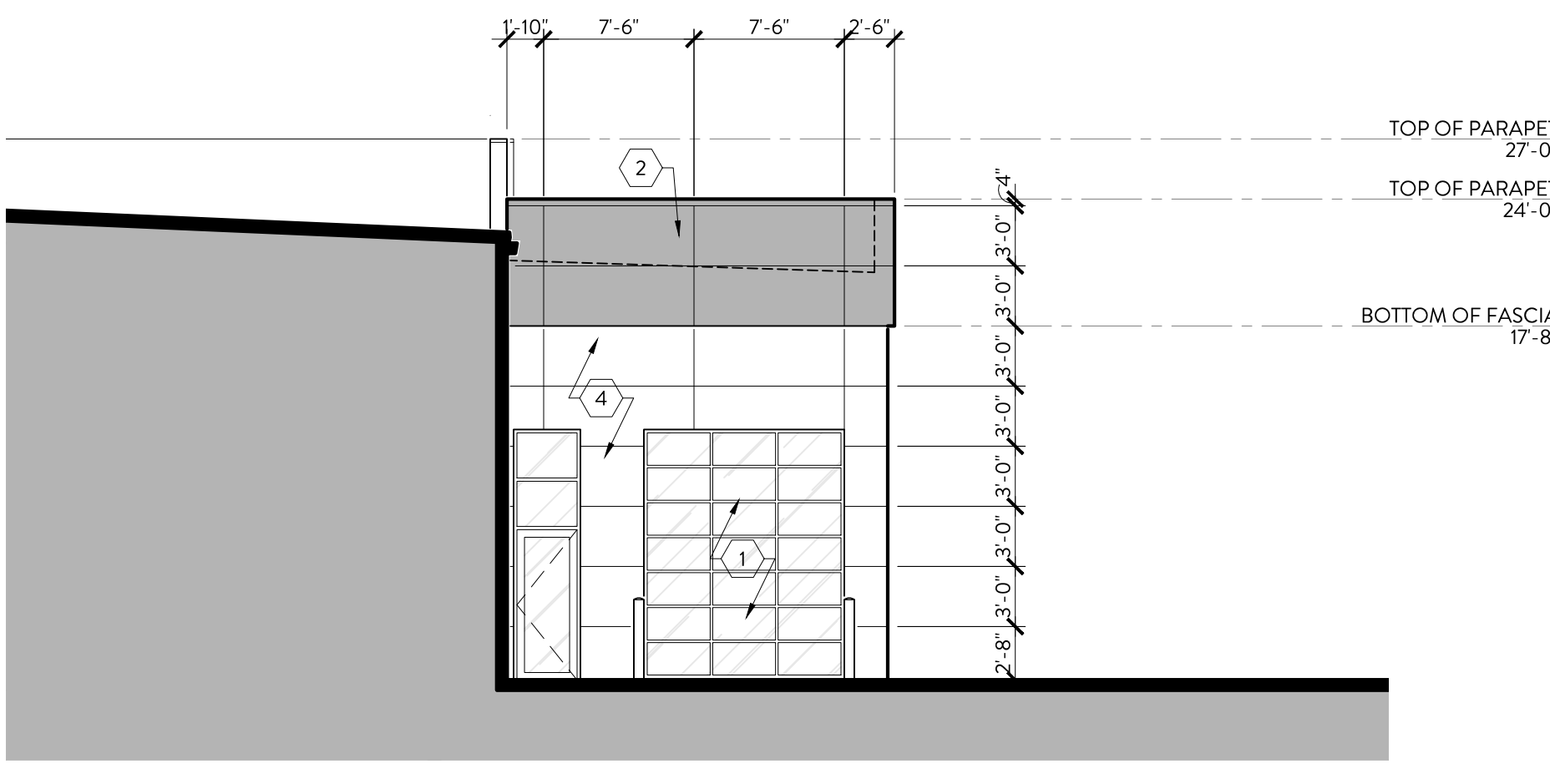
WEST ELEVATION  
3/A2.1



SOUTH ELEVATION  
4/A2.1



PARTIAL NORTH ELEVATION @ SERVICE ADDITION  
5/A2.1



PARTIAL SOUTH ELEV. @ VEHICLE DELIVERY  
6/A2.1

GENERAL NOTES

- ALL EXTERIOR FINISHES, MATERIALS, COLORS, SIGNAGE & GRAPHICS AS PER KIA CORPORATE DESIGN STANDARDS AS DESCRIBED IN ChangeUp DESIGN INTENT DOCUMENT. SEE FINISH SCHEDULES & SPECIFICATIONS.
- ALL EXTERIOR SIGNAGE, ENTRY PORTAL & ACM PANELS TO BE SUPPLIED & INSTALLED BY PATTISON SIGN GROUP.
- CONSTRUCTION DRAWINGS ARE IN PROGRESS AT THE TIME OF THIS SUBMITTAL. SOME ASSEMBLIES, CONDITIONS, DETAILS AND/OR DIMENSIONS MAY BE SUBJECT TO MINOR MODIFICATIONS AS THE CONSTRUCTION DRAWINGS ARE FINALIZED. PLEASE REFER TO BUILDING PERMIT DRAWINGS FOR COMPLETED DESIGN.
- ROOF-MOUNTED HVAC UNITS SERVING SHOWROOM & OFFICES ARE ENTIRELY CONCEALED BEHIND PARAPETS & NOT VISIBLE FROM THE STREET.

KEYED NOTES

- ALUMINUM STOREFRONT GLAZING SYSTEM & DOORS, CLEAR ANODIZED FINISH. CLEAR LOW-IRON LOW-E INSULATED GLAZING.
- ALUMINUM COMPOSITE PANEL SYSTEM - ALPOLIC / FR. COLOR: TOB BLACK.
- ALUMINUM COMPOSITE PANEL SYSTEM - ALPOLIC / FR. COLOR: 85X SILVER METALLIC.
- DRYVIT OUTSULATION PLUS MDY EIFS WITH MOISTURE DRAINAGE. COLOR: TO MATCH BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
- REPAINT EXISTING METAL BUILDING WALL PANELS & CMU WALLS. COLOR: BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
- PAINT NEW & EXISTING HOLLOW METAL DOORS & FRAMES & METAL ROLL-UP DOORS. COLOR: BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
- NEW METAL BUILDING WALL PANELS. MATCH COLOR OF REPAINTED EXISTING METAL BUILDING PANELS.
- EG-1 FRONT LOGO, METALLIC SILVER FINISH, 2" DEEP LETTERS WITH BACKLIT STAND-OFF, 12'-9" W x 3'-0" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-2 SIDE LOGO, METALLIC SILVER FINISH, 2" DEEP LETTERS WITH BACKLIT STAND-OFF, BACKLIT 12'-9" W x 3'-0" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-3 'ANYTOWN' DEALER NAME SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 7'-10" W x 2'-0" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-4 SERVICE SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 8'-3" W x 1'-6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-5 DELIVERY SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 10'-2" W x 1'-6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- PARTS SIGN, CONSTRUCTION TO MATCH EG-4 EXPRESS SIGN, 3'-0" W x 8' HIGH. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- NEW ROOF MOUNTED EVAPORATIVE COOLER ON STEEL STAND, PAINTED. SEE MECHANICAL. NOTE: VIEW OF THESE UNITS FROM THE STREET IS COMPLETELY OBSCURED BY THE BUILDING.
- EXISTING ROOF MOUNTED EVAPORATIVE COOLER ON STEEL STAND. REPAINT STAND. NOTE: VIEW OF THIS UNIT FROM THE STREET IS COMPLETELY OBSCURED BY THE BUILDING.
- PLANTER. SEE ARCHITECTURAL SITE PLAN.
- RELOCATED GAS METER & SERVICE ENTRANCE. SEE CIVIL.
- EXISTING ROOF RUNOFF DOWNSPOUT TO BE REPAINTED.
- NEW ROOF RUNOFF DOWNSPOUT, PAINTED. SEE ROOF DETAILS (SHEET A6.1).
- EXISTING METAL BUILDING GUTTER & DOWNSPOUT. REPAIR AS REQUIRED, REPAINT.
- RE-ROUTE EXISTING METAL BUILDING DOWNSPOUT TO ACCOMMODATE ADDITION.
- NEW METAL BUILDING GUTTER & DOWNSPOUT.
- NEW ROOF RUNOFF LEADER HEAD & DOWNSPOUT. SEE ROOF PLAN (SHEET A1.5) & ROOF DETAILS (SHEET A6.1).
- ROOF OVERFLOW SCUPPER. SEE ROOF PLAN (SHEET A1.5) & ROOF DETAILS (SHEET A6.1).



CAMPBELL  
ARCHITECTURE

575.496.3847  
www.campbellarch.com

3237 Jupiter Road  
Las Cruces, NM 88012

DATE:	04.11.2025
ISSUE:	EPC SUBMITTAL REV2
PROJECT:	2025.05
REVISION:	EG-1 & EG-2 SITE FOR EPC REV2
REV 1:	
REV 2:	
REV 3:	
REV 4:	

PITRE KIA OF ALBUQUERQUE  
RENOVATIONS & ADDITIONS

9640 EAGLE RANCH ROAD NW  
ALBUQUERQUE, NEW MEXICO 8714

EXTERIOR  
ELEVATIONS

A2.1



(ALL SYMBOLS SHOWN ARE NOT NECESSARILY USED ON THE DRAWINGS)

## LIGHTING

- SPECIAL SYSTEMS—

THE ELECTRICAL DESIGN ILLUSTRATED BY THESE PLANS AND SPECIFICATIONS IS IN COMPLIANCE WITH THE 2021 INTERNATIONAL ENERGY CONSERVATION CODE SECTION(S) C405, C408, C501-5, CB103.3, CB103.8, 402.4.5, 402.4.6, R404, R501-5, AND R502, AS SPECIFICALLY APPLICABLE TO THIS PROJECT AS FOLLOWS:

- C408.3.2.3 - LIGHTING CONTROL REPORT.

## 24068 PITRE KIA ABQ RENOVATION &amp; ADDITION

**NOTES:**

1. ALL EMERGENCY BALLASTS SHALL BE FACTORY INSTALLED UNLESS SCHEDULED OTHERWISE OR PRIOR APPROVED.
2. ALL FIXTURES SHALL CONFORM TO APPLICABLE CODES INCLUDING BUT NOT LIMITED TO NIGHT SKY ACT(S) AND ENERGY CONSERVATION STATUTES.
3. PROVIDE 0-10V DIMMING CAPABILITY AND APPROPRIATE CONTROLS FOR ALL LUMINAIRES.
4. PROVIDE HIGH CRI (80+) LEDS.
5. INCLUDE ALL SYSTEM INTEGRATION ACCESSORIES (POWER SUPPLIES, FEED CABLES, MOUNTING HARDWARE, ETC.) AS NEEDED.

<b>MANUFACTURER REP AGENCIES AND DISTRIBUTORS CREDITED ARE AS FOLLOWS:</b>	
KING LIGHTING, IN.	COMPANY: BR LIGHTING & CONTROLS
N BLANEY	NAME: CLIFF BROOKS
986	P: 937-672-3064
ANEY@KING-LIGHTING.COM	E: CLIFF@BRLLTG.COM

ALL EXISTING EXTERIOR AND LOFT STORAGE LIGHTING, DEVICES, CCTV, AND THE LIKE ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

REFER TO THE KIA DID FRANCHISE DRAWING(S) FOR SUPPLEMENTAL REQUIREMENTS CONVEYING THE INTENT OF FACILITY IMPROVEMENTS.

ADDITIVE ALTERNATE #10  
REMOVE / REPLACE ALL EXISTING EXTERIOR LIGHT FIXTURE(S), REFER  
TO SHEET(S) ED1.0 AND ES1.0 FOR REQUIREMENTS AND RETURN  
REMOVED FIXTURE(S) TO OWNER. AT THE OWNER'S DIRECTION  
REMOVED FIXTURES MAY BE DISCARDED BY THE CONTRACTOR.

1.	E0.1	GENERAL NOTES, LEGEND, FIXTURE SCHEDULE & IECC CALC
2.	ED1.0	ELECTRICAL DEMOLITION PLAN
3.	ES1.0	ELECTRICAL SITE PLAN
4.	E1.0	LIGHTING NEW WORK PLAN
5.	E2.0	POWER & SPECIAL SYSTEMS NEW WORK PLAN
6.	E3.0	MECHANICAL EQUIPMENT CONNECTION NEW WORK PLAN
7.	E4.0	FIRE ALARM NEW WORK PLAN
8.	E6.0	RISER DIAGRAM & SERVICE SIZING CALC
9.	E6.1	PANEL SCHEDULES & RESPONSIBILITY MATRIX

9640 EAGLE RANCH ROAD NW  
AIRBORNE NEW MEXICO 87114

GENERAL NOTES, LEGEND,  
FIXTURE SCHEDULE & IECC CALCS

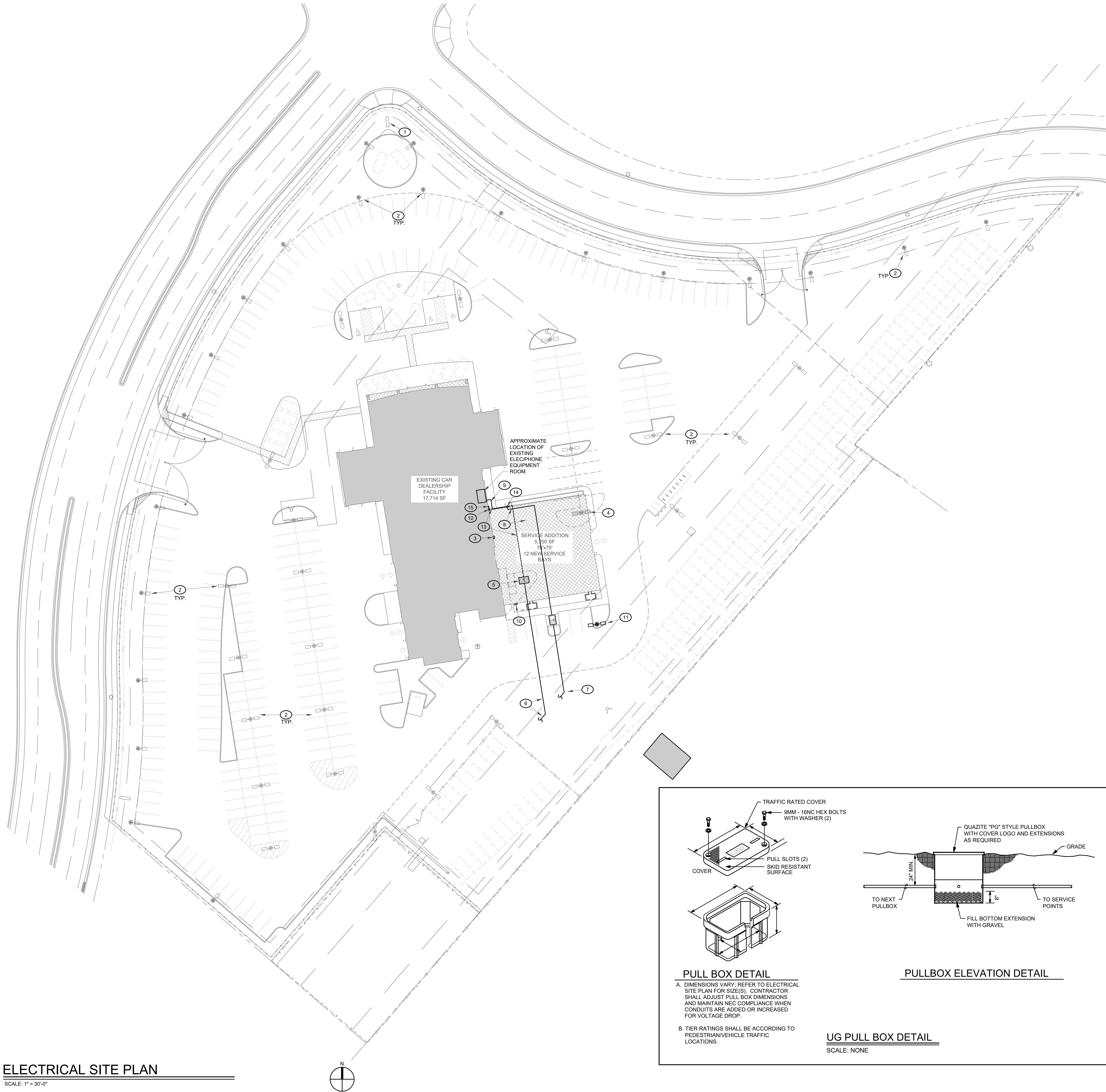
# E0.1

PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

CAMPBELL  
ARCHITECTURE

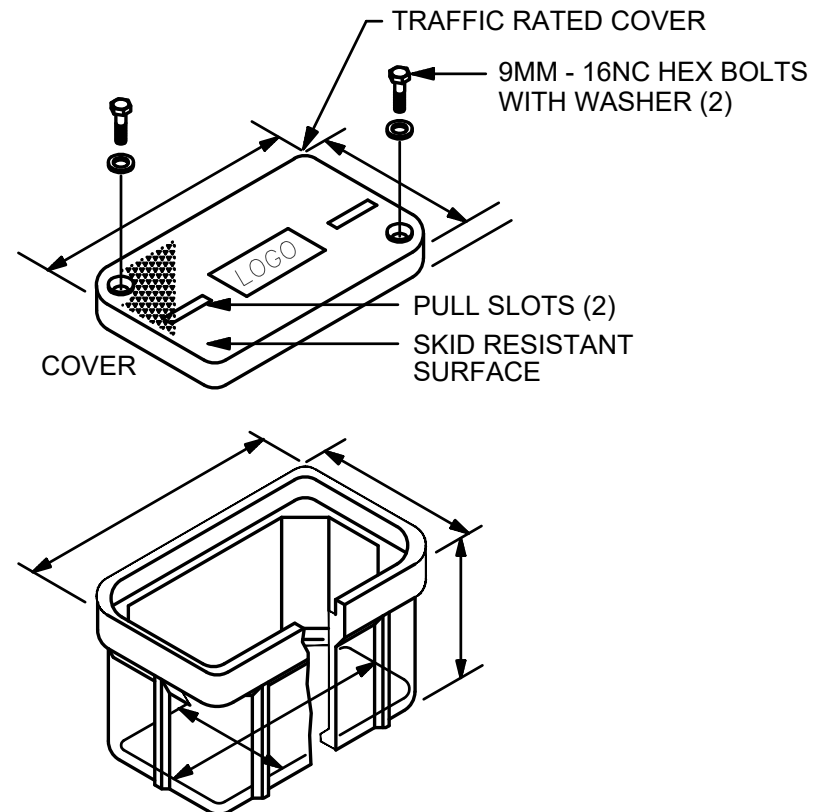
575.496.3847  
www.cambridgebooks.com





ELECTRICAL SITE PLAN

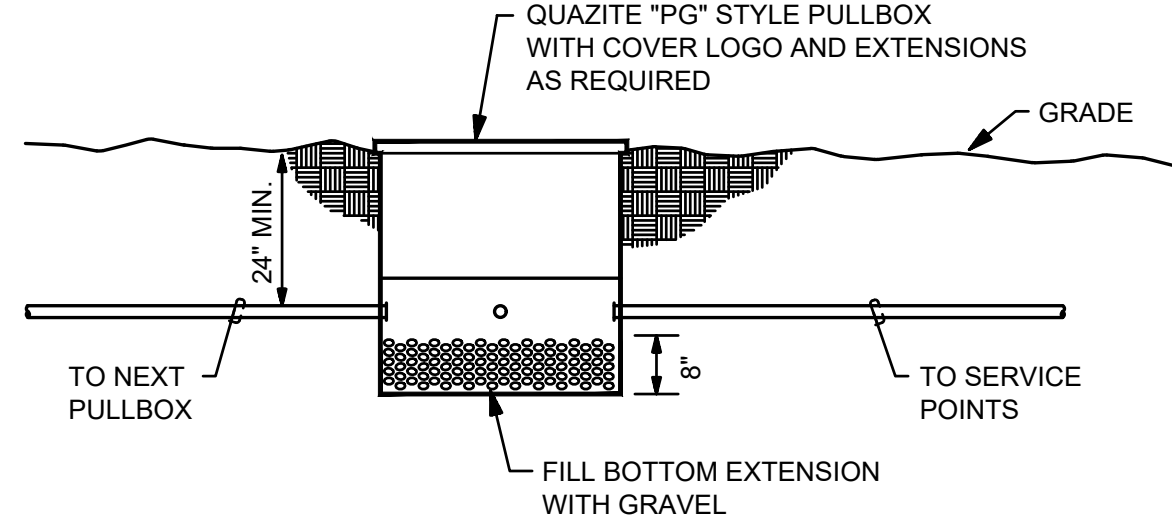
SCALE: 1" = 30'-0"



PULL BOX DETAIL

A. DIMENSIONS VARY; REFER TO ELECTRICAL SITE PLAN FOR SIZE(S). CONTRACTOR SHALL ADJUST PULL BOX DIMENSIONS AND MAINTAIN NEC COMPLIANCE WHEN CONDUITS ARE ADDED OR INCREASED FOR VOLTAGE DROP.

B. TIER RATINGS SHALL BE ACCORDING TO PEDESTRIAN/VEHICLE TRAFFIC LOCATIONS.



PULLBOX ELEVATION DETAIL

UG PULL BOX DETAIL

SCALE: NONE

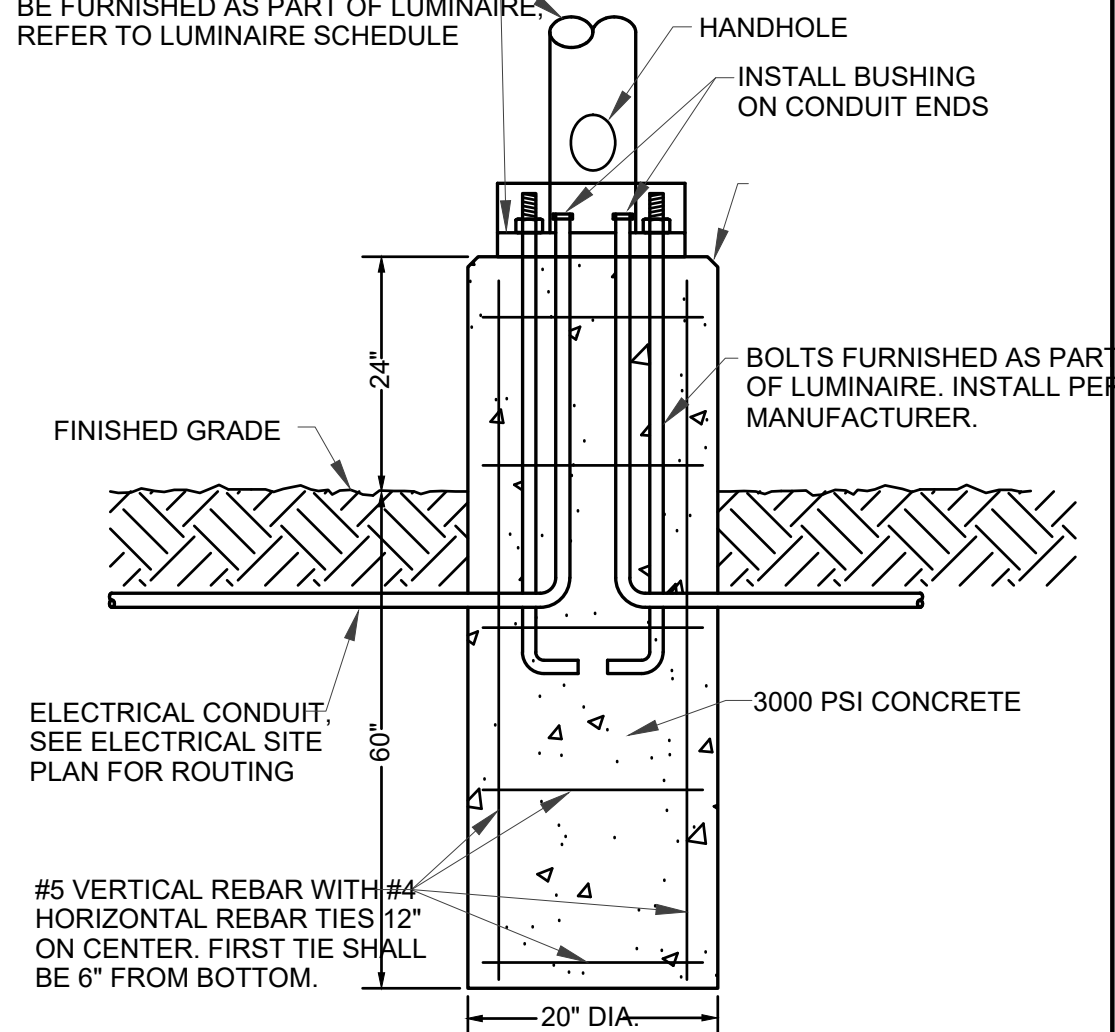
KEYED NOTES

- EXISTING MONUMENT SIGN. SAFE-GUARD EXISTING CIRCUIT FOR CONTINUED USE.
- EXISTING LIGHT POLE. SAFE-GUARD EXISTING WIRING FOR CONTINUED USE.  
  
ADDITIVE ALTERNATE #10  
REPLACE SINGLE-HEAD POLES WITH LITHONIA  
#DSXO-LED-P5-30K-70CRI-AFR-MVOLT-XVOLT-SPAS-NLTAIR2 PIRHN-HS-COLOR TO MATCH POLE  
  
REPLACE TWIN-HEAD POLES WITH LITHONIA  
#DSXO-LED-P5-30K-70CRI-T5W-MVOLT-XVOLT-SPAS-NLTAIR2 PIRHN-COLOR TO MATCH POLE  
  
UTILIZE EXISTING POLES, WIRING, AND CONTROLS.
- EXISTING ELECTRIC VEHICLE CHARGER TO BE RELOCATED. INTERCEPT AND EXTEND EXISTING CIRCUIT TO NEW LOCATION AT BUILDING ADDITION.
- EXISTING LIGHT POLE TO BE RELOCATED. INTERCEPT EXISTING CIRCUIT AND REMOVE BACK TO ADJACENT LIGHT POLE IN ORDER TO RE-ROUTE AROUND NEW BUILDING ADDITION FOOT-PRINT. EXTEND EXISTING CIRCUIT TO NEW LOCATION AND REINSTALL LIGHT POLE. REPLACE HEADS AS PART OF ADDITIVE ALTERNATE #10 REFER TO KEYED NOTE 2 ABOVE.
- EXISTING PNM TRANSFORMER TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY AND PROVIDE NEW CONCRETE PAD, STEEL PROTECTION BOLLARD(S), AND CONDUIT(S) NECESSARY. REFER TO RISER DIAGRAM ON SHEET E6.0 FOR ADDITIONAL REQUIREMENT(S).
- EXISTING PNM 15KV RADIAL FEED PRIMARY SERVING EXISTING TRANSFORMER.
- RELOCATED PNM TRANSFORMER AND 13-JAW METER.
- CONTRACTOR SHALL RE-FEED EXISTING ELECTRICAL SERVICE WITH NEW 480-VOLT SECONDARY FEEDER. REFER TO RISER DIAGRAM ON SHEET E6.0 FOR ADDITIONAL REQUIREMENT(S).
- RELOCATED ELECTRIC VEHICLE CHARGER.
- RELOCATED LIGHT POLE ON NEW CONCRETE BASE. REFER TO KEYED NOTE 4 ABOVE.
- EXISTING ELECTRICAL MAIN DISCONNECT TO BE RELOCATED.
- EXISTING 480-VOLT ELECTRICAL SECONDARY FEEDER TO BE REMOVED. CONTRACTOR SHALL COORDINATE AND SEQUENCE THE WORK TO REMOVE OR SAFE-GUARD THE EXISTING FEEDER TO AVOID DAMAGE OR UNSCHEDULED POWER DISRUPTION(S).
- RELOCATED ELECTRICAL MAIN DISCONNECT. REFER TO RISER DIAGRAM ON SHEET E6.0 FOR ADDITIONAL REQUIREMENTS.
- EXISTING DATA UTILITY SERVICE PULL-BOX TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH THE SERVING UTILITY IN ORDER TO MODIFY THE DATA SERVICE ALLOWING FOR THE CONSTRUCTION OF THE NEW BUILDING ADDITION AND RECONNECTION OF SERVICE FOR CONTINUED USE.

POLE BASE NOTES:

- A ALL LIGHT POLE CONCRETE BASES SHOULD BE VERIFIED WITH STRUCTURAL ENGINEER FAMILIAR WITH THE SOIL AND WIND CONDITIONS OF THIS PROJECT.
- B G.C. TO PROVIDE AND INSTALL ENTIRE POLE BASE.
- C LIGHTING FIXTURES SHALL BE OF TYPE INDICATED ON DRAWINGS.

BOTH POLE AND BASE PLATE SHALL BE FURNISHED AS PART OF LUMINAIRE. REFER TO LUMINAIRE SCHEDULE



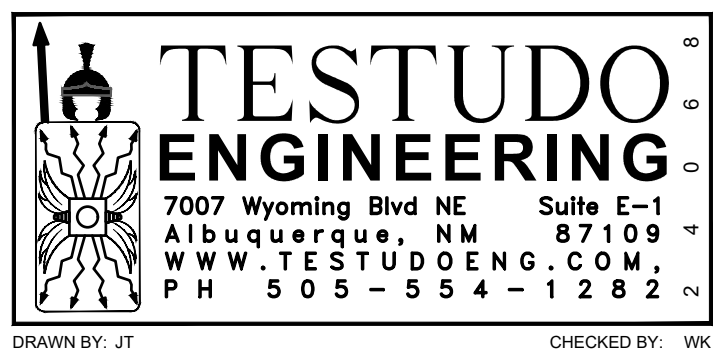
POLE BASE MOUNTING DETAIL

SCALE: NONE

WARNING:

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF TO THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES, AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "NM ONE CALL" PROCEDURES, OR OTHERWISE.



PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

CAMPBELL  
ARCHITECTURE

3237 Jupiter Road  
Las Cruces, NM 88012

DATE:	04.01.2025
ISSUE:	Change/Review SUBMITTAL
PROJ #:	2025.05.02
REV #:	24068 ESI.0 DWG
REV 1:	
REV 2:	
REV 3:	
REV 4:	

PITRE KIA OF ALBUQUERQUE  
RENOVATIONS & ADDITIONS

9640 EAGLE RANCH ROAD NW  
ALBUQUERQUE, NEW MEXICO 87114

ELECTRICAL SITE  
PLAN

ES1.0



# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 19, 2024

Amadeo Trujillo  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM, 87109

**RE: Pitre Kia Westside Auto Dealership  
9640 Eagle Ranch NW  
Grading and Drainage Plan  
Engineer's Stamp Date: 11/06/2024  
Hydrology File: B13D002D**

Dear Mr. Trujillo:

Based upon the information provided in your submittal received 12/10/2024, the Grading & Drainage Plans are approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at 505-924-3314 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Pitre Kia Westside Auto Dealership Hydrology File # \_\_\_\_\_

Legal Description: TRACT B-1 PLAT OF TRACT B-1 AND B-2 OF ADOBE WELLSUBDIVISION CONT 5.8965 AC AND TR C-1 SUBD PLAT MAP FOR ADOBE WELLS SUBD CONT 19,079 SQ FT

City Address, UPC, OR Parcel: 9640 EAGLE RANCH RD NW, ABQ, NM, 87114

Applicant/Agent: Tierra West LLC Contact: Amadeo Trujillo  
Address: 5571 Midway Park PL NE Phone: 505-858-3100  
Email: ATrujillo@tierrawestllc.com

Applicant/Owner: Pitre Holdings LLC C/O Robert G Pitre LLC Contact: Scott Simkins  
Address: 9797 Eagle Ranch Rd NW, ABQ,NM,87114 Phone: 505-494-5063  
Email: ssimkins@pitrenm.com

TYPE OF DEVELOPMENT: ☐ Plat (# of lots) \_\_\_\_\_ ☐ Single Family Home  
☒ All other Developments

RE-SUBMITTAL: ☐ YES ☐ NO

DEPARTMENT: ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

### TYPE OF SUBMITTAL:

- ☐ Engineering / Architect Certification
- ☐ Conceptual Grading & Drainage Plan
- ☒ Grading & Drainage Plan, and/or Drainage Report
- ☐ Drainage Report (Work Order)
- ☐ Drainage Master Plan
- ☐ Conditional Letter of Map Revision (CLOMR)
- ☐ Letter of Map Revision (LOMR)
- ☐ Floodplain Development Permit
- ☐ Traffic Circulation Layout (TCL) – Administrative
- ☐ Traffic Circulation Layout (TCL) – DFT Approval
- ☐ Traffic Impact Study (TIS)
- ☐ Street Light Layout
- ☒ OTHER (SPECIFY) SW Quality Waiver

### TYPE OF APPROVAL SOUGHT:

- ☐ Pad Certification
- ☒ Building Permit
- ☐ Grading Permit
- ☐ Paving Permit
- ☐ SO-19 Permit
- ☐ Foundation Permit
- ☐ Certificate of Occupancy - ☐ Temp ☐ Perm
- ☐ Preliminary / Final Plat
- ☐ Site Plan for Building Permit - DFT
- ☐ Work Order (DRC)
- ☐ Release of Financial Guarantee (ROFG)
- ☐ CLOMR / LOMR
- ☐ Conceptual TCL - DFT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 12.10.2024



**CITY OF ALBUQUERQUE**  
**PLANNING DEPARTMENT**  
**HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER  
QUALITY VOLUME MANAGEMENT ON-SITE**

---

**GENERAL INFORMATION**

---

APPLICANT: Pitre Kia DATE: 12/10/24  
DEVELOPMENT: Pitre Kia Auto Dealership Expansion  
LOCATION: Tract B-1 AND C-1 of Adobe Wells Subdivision  
9640 Eagle Ranch Road NW, Albuquerque, NM

---

**STORMWATER QUALITY POND VOLUME**

---

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 113.3 cubic feet

The provided volume is 0 cubic feet

The deficient volume is 113.3 cubic feet

---

**WAIVER JUSTIFICATION**

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Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:



- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
  - b. Any of the following conditions apply:
    - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
    - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
    - iii. The site use is inconsistent with the capture and reuse of stormwater.
    - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
    - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
    - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
    - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: The Pitre Kia Auto Dealership is an existing development that was constructed in 2003. A proposed building addition of 6,002 SF is to be added to the existing building. As part of this expansion, 11 parking spaces and a parking island will be removed to accommodate the addition. Additionally, a new paved driveway covering approximately 5,230 SF will surround the new addition and will increase the impervious area to the site respectively. This expansion to the impervious area will increase the storm runoff volume by approximately 113.3 cubic feet. Due to the existing site constraints and minimal site modifications proposed, we request to pay a fee in lieu for the required stormwater quality volume storage requirements that will not be met.

Amadeo Trujillo, PE Tierra West, LLC  
Professional Engineer or Architect



---

## PAYMENT-IN-LIEU

---

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 906.53

---

## THIS SECTION IS FOR CITY USE ONLY

---

☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

☐ Waiver is DENIED.



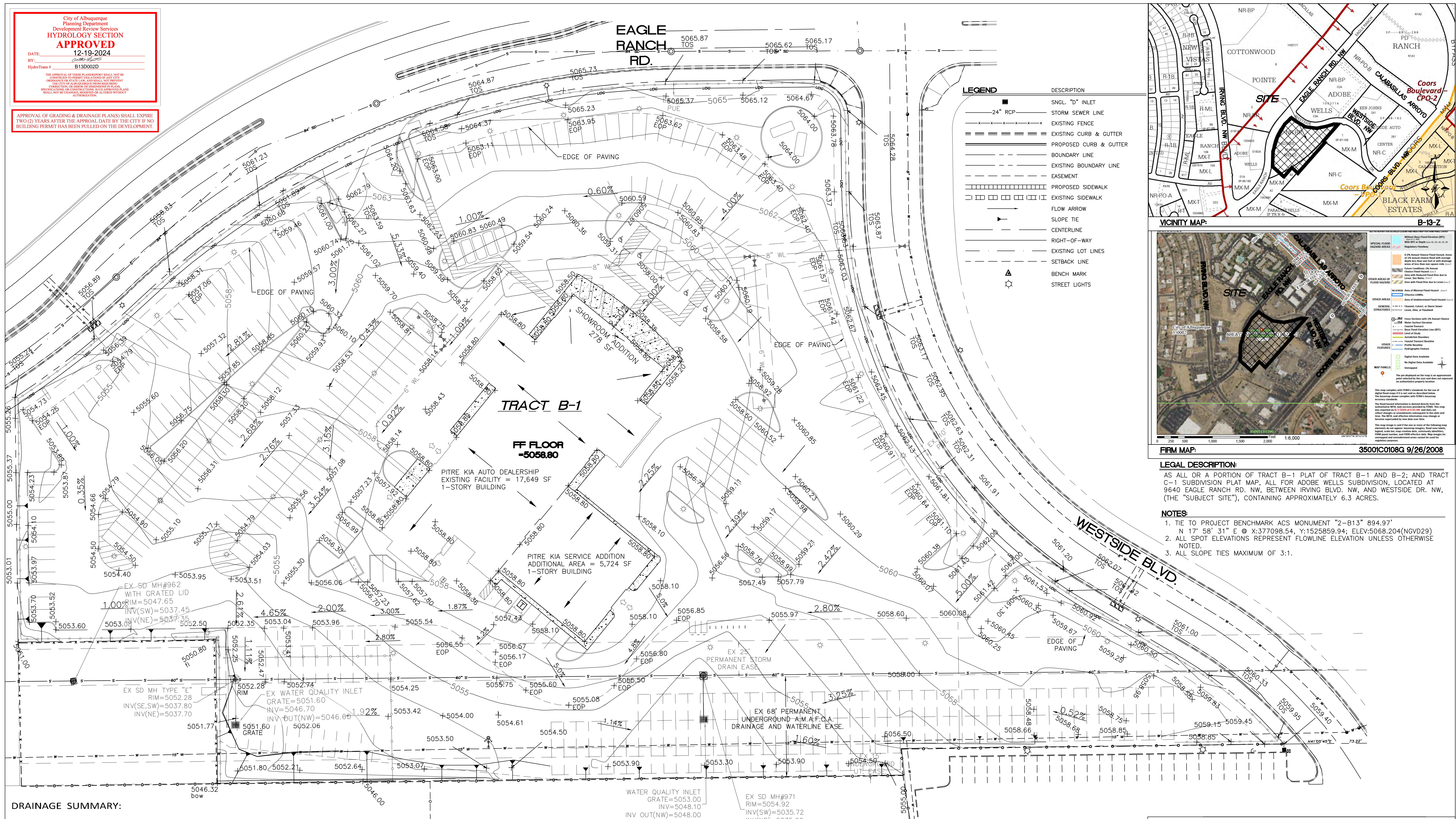
City of Albuquerque  
Hydrology Section



City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 12-19-2024  
BY: [Signature]  
HydroTeam # B13D002D

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE  
CONSIDERED TO BE A GUARANTEE OF THE CITY OF  
ALBUQUERQUE OR ITS EMPLOYEES. THE CITY OF  
ALBUQUERQUE DOES NOT WARRANT THE ACCURACY  
OF THE INFORMATION PROVIDED HEREON. THE CITY OF  
ALBUQUERQUE DOES NOT WARRANT THE ACCURACY  
OF THE INFORMATION PROVIDED HEREON. THE CITY OF  
ALBUQUERQUE DOES NOT WARRANT THE ACCURACY  
OF THE INFORMATION PROVIDED HEREON.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE  
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO  
BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT



#### DRAINAGE SUMMARY:

THE SITE IS LOCATED WITHIN TRACT B-1 AND C-1 OF THE ADOBE WELLS SUBDIVISION. THE IMPROVEMENTS TO THE 6.4 ACRE PROPERTY (TWO TRACTS) INCLUDES A 5,700 SF BUILDING EXPANSION ALONG THE SE CORNER OF THE EXISTING BUILDING. AS PART OF THIS EXPANSION, 11 PARKING SPACES WILL BE REMOVED AND A PARKING ISLAND WILL BE RELOCATED ACCORDINGLY. AS PART OF THESE ADDITIONS, THERE WILL BE ASSOCIATED PARKING STALL RELOCATING AND RESTRIPIING AS WELL AS AN EXTENSION TO THE PAVED ACCESS ROAD THAT WILL WRAP AROUND THE SE CORNER OF THE BUILDING.

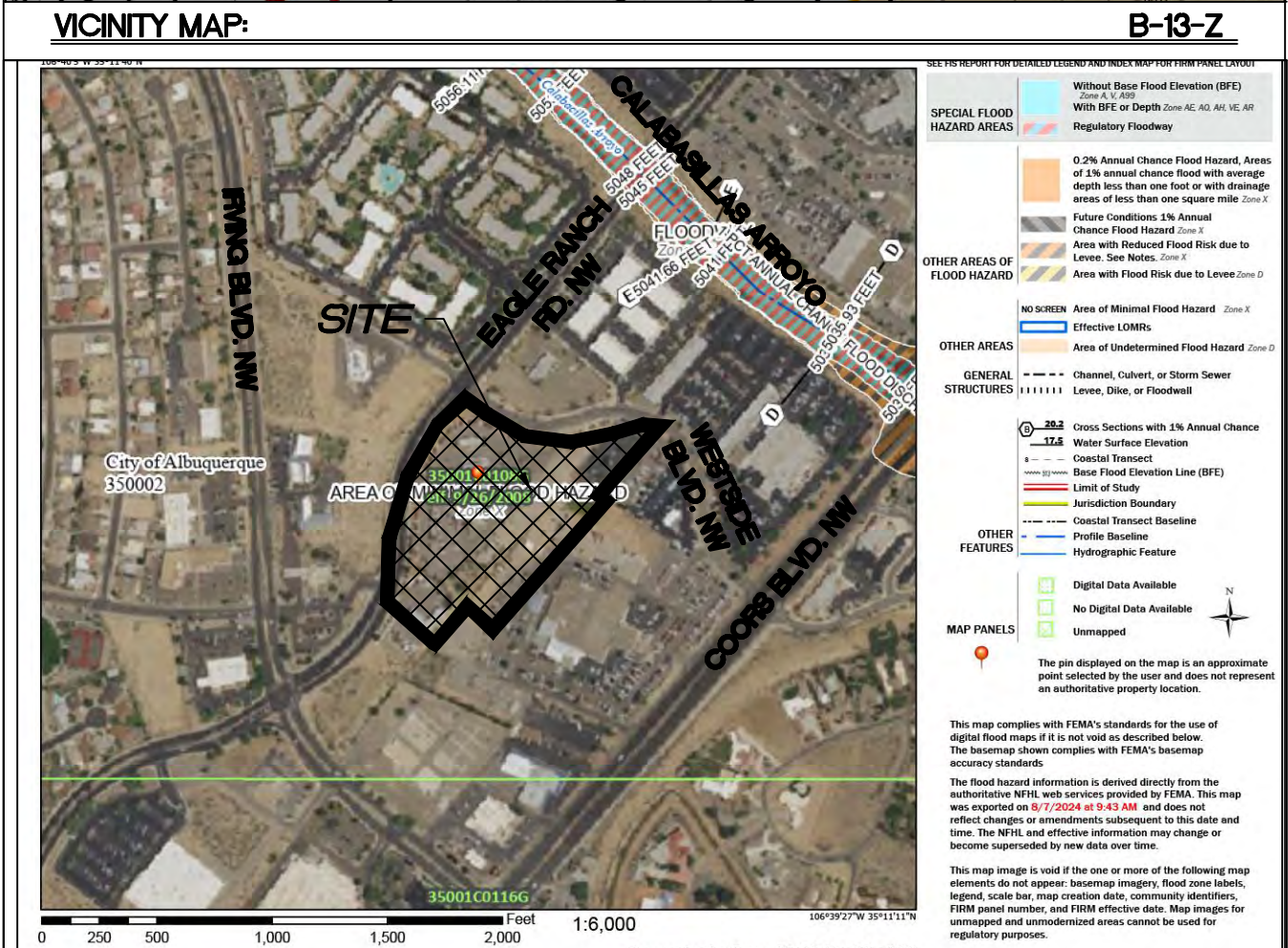
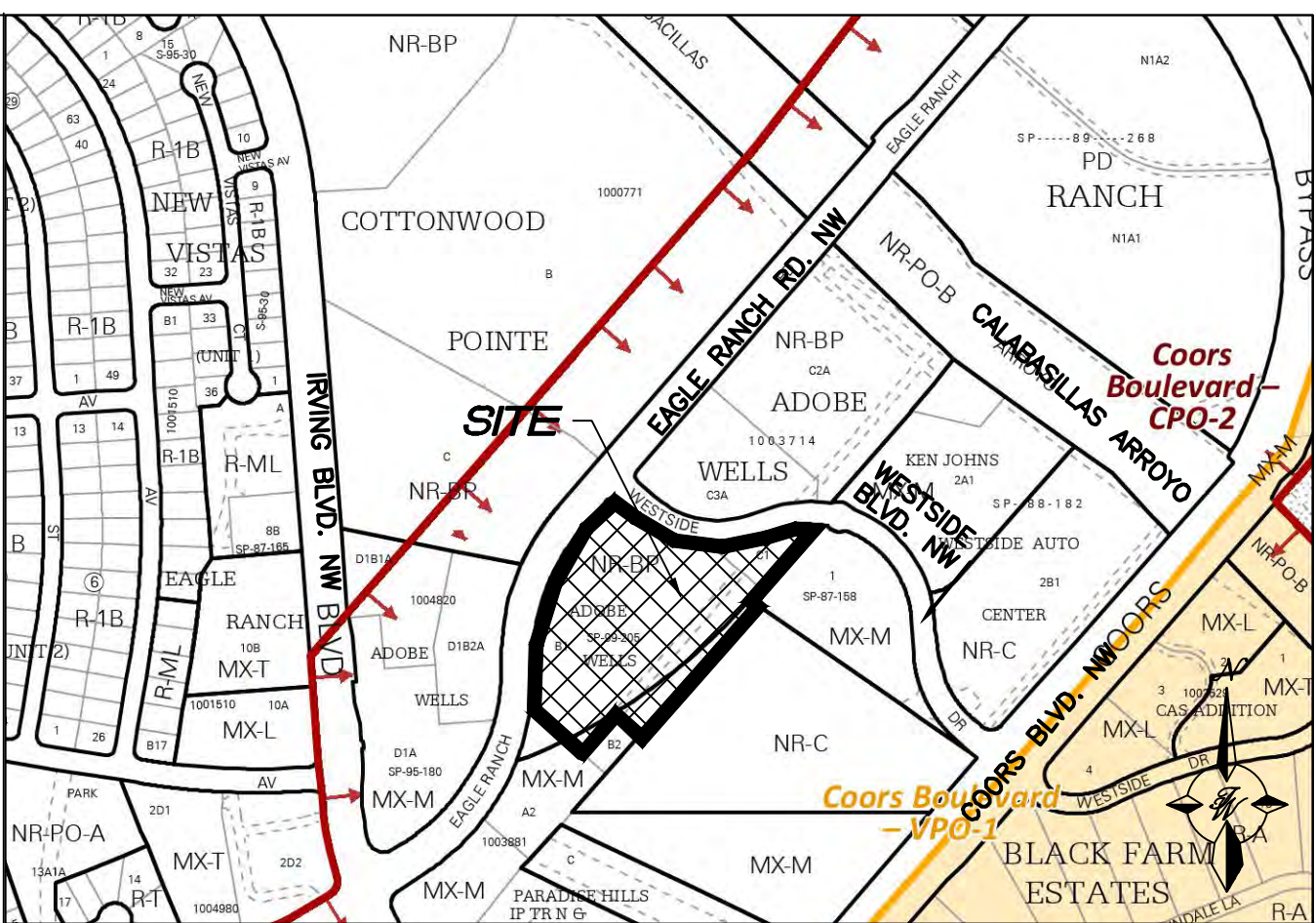
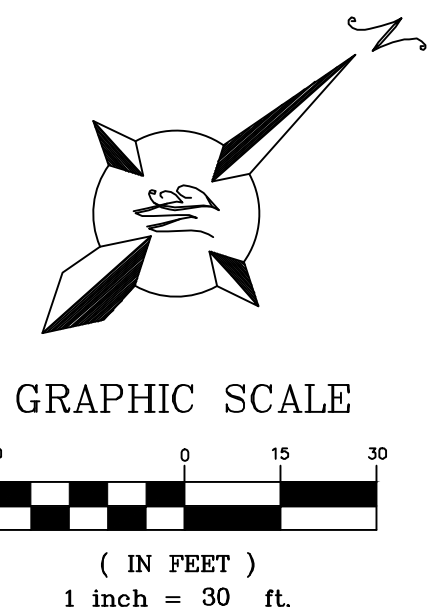
THE PROPOSED ADDITIONS TO THE SITE WILL ENCUMBER 5,230 SQUARE FEET OF LAND AREA THAT WAS PREVIOUSLY COMPOSED OF LAND TREATMENT C. THIS PREVIOUSLY PERVIOUS AREA WILL NOW BE COMPLETELY IMPERVIOUS AND WILL BE COMPOSED OF LAND TREATMENT D PER CHAPTER 6 OF THE CITY OF ALBUQUERQUE (COA) DEVELOPMENT PROCESS MANUAL (DPM). LYING WITHIN ZONE 1, THIS ADDITIONAL IMPERVIOUS AREA WILL ACCOUNT FOR A SUPPLEMENTARY VOLUME OF STORM WATER RUNOFF DURING THE 100-YEAR, 6-HOUR STORM EVENT. THIS ADDITIONAL ONSITE FLOW WILL BE CONVEYED TO ONE OF TWO EXISTING WATER QUALITY INLETS LOCATED AT THE SOUTHERN EDGE OF THE SITE TO MATCH HISTORIC RUNOFF PATTERNS FOR THIS DEVELOPMENT. THE ASSOCIATED STORM WATER QUALITY VOLUME INCREASE FOR THIS ADDITION TO THE IMPERVIOUS AREA WILL BE, 0.26 INCHES X 5,230 SQUARE FEET = 131.3 CUBIC FEET PER THE REQUIREMENTS LAID OUT IN THE DPM. A PAYMENT-IN-LIEU WILL BE REQUESTED AS A WAIVER TO ONSITE STORM WATER QUALITY VOLUME INFRASTRUCTURE IMPROVEMENTS DUE TO THE EXISTING SITE CONSTRAINTS AND MINIMAL SITE MODIFICATIONS PROPOSED.

#### NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

#### EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



FIRM MAP: 35001C0108G 9/26/2008

#### LEGAL DESCRIPTION:

AS ALL OR A PORTION OF TRACT B-1 PLAT OF TRACT B-1 AND B-2; AND TRACT C-1 SUBDIVISION PLAT MAP, ALL FOR ADOBE WELLS SUBDIVISION, LOCATED AT 9640 EAGLE RANCH RD. NW, BETWEEN IRVING BLVD. NW, AND WESTSIDE DR. NW, (THE "SUBJECT SITE"), CONTAINING APPROXIMATELY 6.3 ACRES.

#### NOTES:

1. TIE TO PROJECT BENCHMARK ACS MONUMENT "2-B13" 894.97' N 17° 58' 31" E @ X:377098.54, Y:1525859.94; ELEV:5068.204(NGVD29)
2. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
3. ALL SLOPE TIES MAXIMUM OF 3:1.

ROUGH GRADING APPROVAL		DATE
 11/06/2024 RONALD R. BOHANNAN P.E. #7868	<b>KIA WESTSIDE AUTO DEALERSHIP</b>	DRAWN BY RMG
	<b>GRADING AND DRAINAGE PLAN</b>	DATE 11/06/2024
 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>GR-1</b>	JOB # 2024019



# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

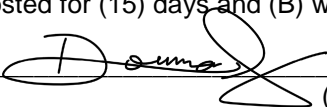
#### 4. TIME

Signs must be posted from \_\_\_\_\_ 11/6/24 \_\_\_\_\_ To \_\_\_\_\_ 12/6/24 \_\_\_\_\_

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

 \_\_\_\_\_ 10/9/24 \_\_\_\_\_  
(Applicant or Agent) (Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_





# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 05/2024)

B13D002D

**Project Title:** Pitre Kia Albuquerque Dealership Renovations

Zone Atlas Page: B-13-Z DFT/DHO #: \_\_\_\_\_ BP #: \_\_\_\_\_

Development Street Address: 9640 Eagle Ranch Rd. NW, Albuquerque, NM 87114

(If no City Address include a Vicinity Map with site highlighted and legible street names)

**Applicant:** Pitre Kia Contact: Scott Simkins

Address: 9640 Eagle Ranch Rd. NW, Albuquerque, NM 87114

Phone#: 505-899-4848 E-mail: ssimkims@pitrenm.com

### Development Information

Build out/Implementation Year: 2025

Existing Use: Car/Truck Dealership

Describe Proposed Development and Uses:

New 5700 square foot automotive service addition with 12-bays on the southeast side of the existing facility, expand parking capacity, and make improvements to the existing on-site grading and drainage infrastructure.

Days and Hours of Operation (if known): Monday thru Saturday, 9am-6pm

### Facility

Building Size (sq. ft.): 5700 square feet

Number of Residential Units: 0

Number of Commercial Units: 1

### Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):\* Unknown

Expected Number of Employees (if known):\* Unknown

Expected Number of Delivery Trucks/Buses per Day (if known):\* Unknown

Trip Generations during PM/AM Peak Hour and ITE # (if known):\* AM=12 Trips, PM=25 Trips - ITE 942 Auto. Care

Driveway(s) Located on: Street Name 1 Exist. on Westside Dr. and 1 Exist. on Eagle Ranch Rd.

Adjacent Roadway(s) Posted Speed: Street Name Westside Drive Speed 25

Street Name Eagle Ranch Rd. Speed 35

*\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.*



## Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation (e.g. Main Street, Major Transit, N/A): N/A  
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Comprehensive Plan Center Designation (e.g. urban center, Downtown, N/A): N/A  
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Street Functional Classification (e.g. Principal Arterial, Collector): Eagle Ranch Rd. Minor Arterial & Westside Dr. Local Rd.  
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Jurisdiction of roadway (NMDOT, City, County): City of Albuquerque

Adjacent Roadway(s):

Name: Westside Drive Traffic Volume: Unknown Volume-to-Capacity Ratio (v/c): Unknown

Name: Eagle Ranch Rd. Traffic Volume: 15,817 AWDT Volume-to-Capacity Ratio (v/c): <0.5

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/623/Traffic-Flow-Maps-and-Busiest-Intersecti> and <https://mrcog-nm.gov/574/Transportation-Analysis-and-Querying-App>

Adjacent Transit Service(s): City Bus RT 94 Nearest Transit Stop(s): 2  
<https://www.cabq.gov/gis/advanced-map-viewer>

Is site within 660 feet of Premium Transit?: No  
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Current/Proposed Bicycle Infrastructure: Proposed bike path and existing bike Lane on Eagle Ranch Rd.  
Bikeways: <https://mrcog-nm.gov/544/Long-Range-System-maps>

Current/Proposed Sidewalk and buffer Infrastructure: Exist. sidewalks Eagle Ranch & Westside  
Sidewalk and buffer width : DPM Table 7.2.29

Submit by email to Traffic Engineer Curtis Cherne: [ccherne@cabq.gov](mailto:ccherne@cabq.gov). Email or call 505-924-3986 for information.

## **For City Personnel Use:**

### TIS Determination

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

**Traffic Impact Study (TIS) Required:** Yes [ ] No [X]

Thresholds Met? Yes [ ] No [X]

Mitigating Reasons for Not Requiring TIS and/or Notes:

The City concurs with the trips generated: ITE 942  
AM Trips 12  
PM Trips 25

ATTACHMENTS:  
SITE PLAN  
ITE TRIP GENERATION TABLE 7 EQUATIONS  
ITE LAND USE 942 DESCRIPTION

*Curtis A Cherne*

TRAFFIC ENGINEER

9-13-24

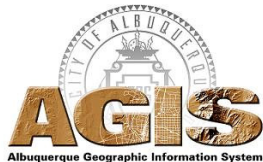
DATE



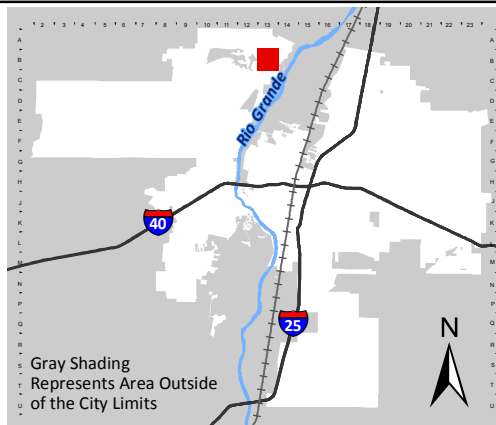


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**B-13-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet