



April 21, 2025
Willam Steele
City of Albuquerque – Planning Department
PO Box 1293
Albuquerque, NM. 87103

RE: Pitre KIA – Site Plan EPC

CONDITIONS OF APPROVAL-PR-2024-011052, SI-2024-01468 – Major Amendment to Site Plan – EPC

Dear Willam Steele,

Per the conditions of approval dated November 21st, 2024, please find the following responses addressing the comments listed below:

1. Pursuant to IDO §14-16-6-4(P)(4), any conditions shall be met within 1 year of the approval, unless stated otherwise in the approval. If any conditions are not met within that time, the approval is void. The Planning Director may extend the time limit up to an additional 1 year.

Applicant Response: Acknowledged

2. The applicant shall coordinate with the Staff Planner to ensure that all Conditions of Approval are met and then submit a vetted, final version to the Staff Planner for filing at the Planning Department.

Applicant Response: Acknowledged

3. After coordinating with the Staff Planner, the applicant shall submit the final version to the Development Facilitation Team (DFT) for final sign-off. Pursuant to IDO §14-16-6-6(l)(2)(m), Site Plans shall be reviewed administratively for compliance with conditions of approval, DPM, and zoning standards prior to the issuance of a building permit. The reviewer shall ensure that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.

Applicant Response: Acknowledged

4. Hydrology:

A Grading and Drainage Plan & Report must be approved by Hydrology prior to review/sign-off of the Site Plan by the DFT. Stormwater Quality Volume (SWQV) - The total required SWQV calculation must be included on the Grading and Drainage Plan along with Calculation of the portion of the SWQV for which payment-in-lieu is requested. Payment shall be made at the following steps in the City review/decision process:

1. Multi-family Development: Prior to the issuance of a building permit.
2. *Commercial Development: Prior to the issuance of a building permit.* [emphasis added]
3. Single-family Subdivision: Prior to recording the Final Plat and prior to the issuance of a work order.

Applicant Response: Hydrology approval received and attached to this response letter. All calculations referenced above can be found on the Grading and Drainage Plan as required.

5. CABQ Parks and Rec. Urban Forestry:

- Landscape Plan shall be stamped and signed by a licensed Landscape Architect.
- Revise the Landscape Plan to clearly show what is existing and what is to remain.
- Per Street Tree Ordinance 6-6-2-4 REQUIRED STREET TREES (1) All applicants for building permits for construction of a new building or building addition of 200 square feet or more shall submit a street tree plan for those parts of the lot abutting a major street, a major local street, or another street where street trees are required.
- Show street trees 25 feet on center along Westside Boulevard.
- Revise the Landscape Plan to select a tree species other than ash trees, which are overplanted and struggling in current climate conditions.
- Work with Urban Forestry to revise the Landscape Plan to identify the shrubs to be replaced and maintained.

Applicant Response: Updated Landscape Plan stamped and signed by a licensed Landscape Architect is attached to this letter. Plan addressed the various comments iterated above from the CABQ Parks and Rec. Urban Forestry.

6. AMAFACA: Remove reference to AMAFCA and replace with “City of Albuquerque” on the existing 68-foot permanent underground drainage easement, which AMAFCA quitclaimed to the City of Albuquerque in 2000.

Applicant Response: Reference to AMAFCA removed and replaced with City of Albuquerque accordingly.

7. Site Plan:

A. Add the legal description to this sheet.

Applicant Response: Updated Site Plan with legal description attached to this letter.

B. The Site Plan shall comply with the General Regulations of the IDO and all other applicable design regulations, except as specifically approved by the EPC.

Applicant Response: Updated Site Plan including the general note, “The Site Plan shall comply with the General Regulations of the IDO and all other applicable design regulations, except as specifically approved by the EPC.”

8. The site lighting shall come into compliance with the Outdoor and Site and Light standards of IDO §14-16-5-8 or the applicant shall show how the existing outdoor lighting complies with the IDO. A site lighting plan shall be provided to city staff prior to sign off. If the applicant is unable to comply with IDO §14-16-5-8 they shall return to EPC for an outdoor and site lighting performance analysis.

Applicant Response: Site lighting sheets (E0.1 & ES1.0) in compliance with the IDO are attached to this letter.

9. Landscape Plan:

A. The asphalt paving limits shall be modified to accurately show the new paving limits around the proposed addition.

B. The new plantings on the southeast corner of the proposed addition shall be identified.

Applicant Response: Updated Landscape Plans stamped and signed by a licensed Landscape Architect is attached to this letter. Plan identifies the limits of the new paving around the proposed addition and details the plantings on the southeast corner of addition accordingly.

10. Exterior Elevations Sheet:

A. The missing "Parts" sign on the East (Side) Elevation for Keyed Note #14 shall be added to the sheet.

B. The North (Front) Elevation of the proposed addition with the 57'-0" façade shall incorporate 1 required feature every 40'-0" to adhere to the required total of 2 features along 30 percent of the length of the façade pursuant to §14-16-5-11(E)(2)(a)-(g).

Applicant Response: Updated Elevation Sheet is attached to this letter, addressing the comments referenced above.

Please contact me with any questions or clarifications.

Thanks,

A handwritten signature in black ink, appearing to be 'S. Lozoya', with a stylized, flowing script.

Sergio Lozoya
Senior Planner

PN: 2024019
sl/at

ADJACENT PARCEL
ZONING CLASSIFICATION MX-M
LAND USE: GOVERNMENT OFFICES (NM MVD)

ADJACENT PARCEL
ZONING CLASSIFICATION NR-BP
LAND USE: OFFICE/RETAIL PARK

ADJACENT PARCEL
ZONING CLASSIFICATION MX-M
LAND USE: LIGHT VEHICLE SALES & RENTAL

ADJACENT PARCEL
ZONING CLASSIFICATION NR-C
LAND USE: LIGHT VEHICLE SALES & RENTAL

ADJACENT PARCEL
ZONING CLASSIFICATION NR-BP/MX-M
LAND USE: LIGHT VEHICLE REPAIR

LEGEND

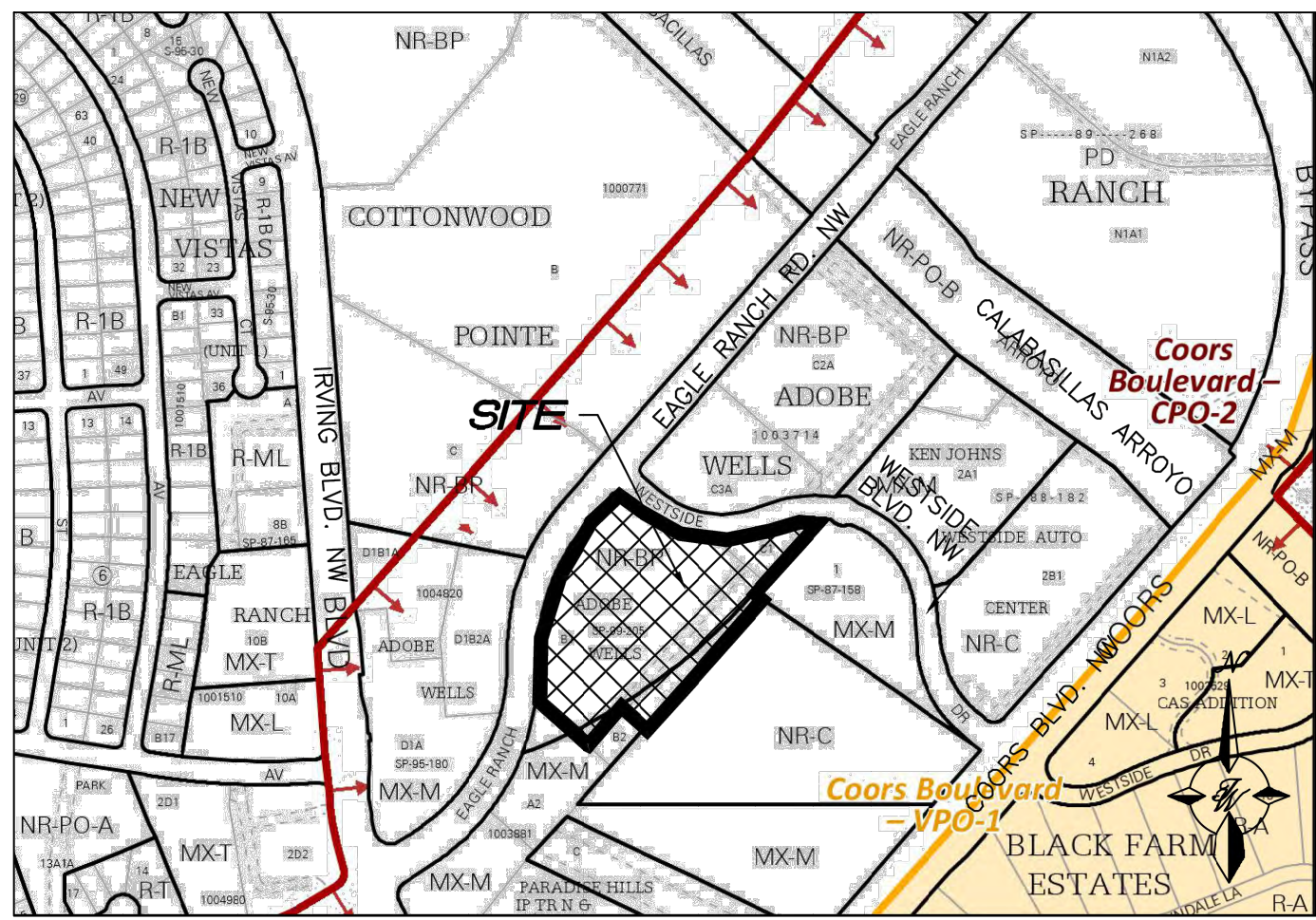
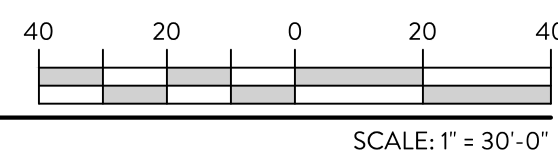
- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- EDGE OF PAVEMENT
- PEDESTRIAN WALKWAY
- STREET LANE STRIPING
- BICYCLE & TURN LANE STRIPING
- STEEL POST-AND-CABLE FENCING, 2' HIGH
- WIRE FENCING, 4' HIGH
- CHAIN LINK FENCING, 6' HIGH
- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHTING
- EXISTING/RELOCATED SITE LIGHTING

GENERAL NOTES

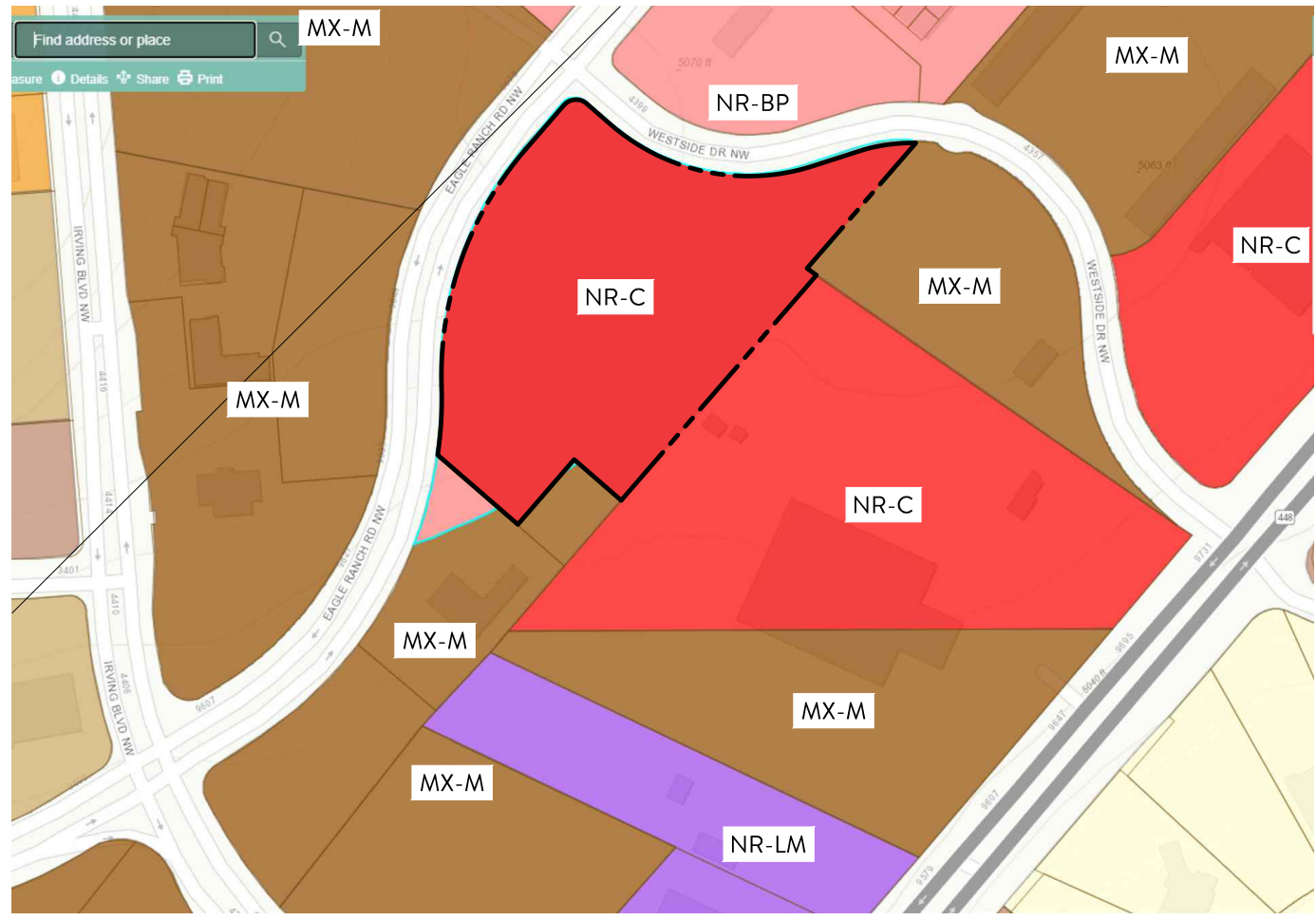
- THIS PROJECT CONSISTS OF RENOVATIONS & ADDITIONS TO AN EXISTING CAR DEALERSHIP. ALL SITE DEVELOPMENT IS EXISTING, MODIFIED ONLY AS REQUIRED TO ACCOMMODATE THE NEW SERVICE ADDITION. MODIFICATIONS ARE AS NOTED ON PLAN.
- SEE CIVIL DRAWINGS FOR GRADING/DRAINAGE, UTILITY & LANDSCAPING INFORMATION.
- CONSTRUCTION DRAWINGS ARE IN PROGRESS AT THE TIME OF THIS SUBMITTAL. SOME ASSEMBLIES, CONDITIONS, DETAILS AND/OR DIMENSIONS MAY BE SUBJECT TO MINOR MODIFICATIONS AS THE CONSTRUCTION DRAWINGS ARE FINALIZED. PLEASE REFER TO BUILDING PERMIT DRAWINGS FOR FINAL DESIGN.
- EXISTING STREET & PARKING DIMENSIONS ARE BASED ON ORIGINAL 2004 DRB SITE DEVELOPMENT PLAN AS SUBMITTED FOR INITIAL CONSTRUCTION PROJECT.
- THE SITE PLAN SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE IDO & ALL OTHER APPLICABLE REGULATIONS, EXCEPT AS SPECIFICALLY APPROVED BY THE EPC.

KEYED NOTES

- EXISTING 6' CHAIN LINK FENCE TO REMAIN.
- EXISTING STORM SEWER DROP INLET TO REMAIN. SEE CIVIL.
- THIS EXISTING PARKING LOT LIGHT TO BE RELOCATED. SEE ELECTRICAL.
- EXTEND NEW 30' WIDE ASPHALT DRIVE AROUND SERVICE ADDITION.
- RELOCATE ELECTRICAL SERVICE TRANSFORMER.
- EV CHARGING STATION ON STAND. SEE ELECTRICAL.
- EXISTING 6' HIGH CMU DUMPSITER ENCLOSURE TO REMAIN. REPAINT.
- EDGE OF ASPHALT. SEE CIVIL.
- EXISTING FIRE HYDRANT TO REMAIN.
- REMOVE 11 EXISTING PARKING SPACES & ISLAND.
- REMOVE EXISTING ISLAND & CONCRETE WALK.
- RELOCATE EXISTING GAS METER. SEE CIVIL.
- EXISTING FLAG POLE TO REMAIN.
- EXISTING 4' WIRE FENCE TO REMAIN.
- EXISTING DRAINAGE SWALE TO REMAIN.
- EXISTING CONCRETE GUTTER TO REMAIN.
- EXISTING DOUBLE 8' CHAIN LINK GATE TO REMAIN.
- NEW "KIA" INTERNALLY LIGHTED MONUMENT SIGN BY PATTON SIGN GROUP, IN LOCATION OF EXISTING SIGN. SEE SIGN DETAIL 3/AS1.2.
- EXISTING SITE LIGHTING TO REMAIN. 18' HIGH +/-.
- NEW BICYCLE PARKING - 7 SPACES. SEE ENLARGED PLAN (1/AS1.2) & RACK DETAIL 2/AS1.2.
- NEW MOTORCYCLE PARKING - 3 SPACES. SEE ENLARGED PLAN (1/AS1.2).
- MOTORCYCLE PARKING SIGNAGE.
- MOTORCYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
- BICYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
- CONCRETE WALK & CURB. SEE CIVIL.
- BICYCLE RACK. SEE DETAIL 2/AS1.2.
- EXISTING CONCRETE VEHICLE DISPLAY PAD FLUSH WITH ASPHALT - NO CURB.
- 5' WIDE PEDESTRIAN WALKWAY FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE. PAINTED DIAGONAL STRIPING AS SHOWN.
- NEW LANDSCAPE ISLAND AS SHOWN.
- SECURE VEHICLE STORAGE AREA.
- EXISTING 5' WIDE CONCRETE WALK FROM SIDEWALK TO PARKING LOT - PART OF 5' PEDESTRIAN WALKWAY TO BUILDING. SEE KEYED NOTE 28 ABOVE.
- 5' WIDE PEDESTRIAN WALKWAY FROM ACCESSIBLE PARKING TO BUILDING ENTRANCE.
- EXISTING CONCRETE WALK, FLUSH WITH ASPHALT PAVEMENT.
- NEW CURB & WALK - DIMENSIONS AS SHOWN.
- EXISTING 2' HIGH STEEL POST-AND-CABLE FENCE TO REMAIN.
- EXISTING 6' WIDE CONCRETE SIDEWALK TO REMAIN.
- EXISTING PROPERTY LINE.
- MINI CLEAR SIGHT TRIANGLE, 11' x 11'.
- BICYCLE LANE, 5' WIDE.
- NEW "KIA CERTIFIED PRE-OWNED" INTERNALLY LIGHTED MONUMENT SIGN BY PATTON SIGN GROUP, IN LOCATION OF EXISTING SIGN. SEE SIGN DETAIL 4/AS1.2.
- RAISED PLANTER. SEE SHEET AS2.1 & LANDSCAPE DRAWINGS.
- EVAPORATIVE COOLER SUPPORTED BY METAL STAND ON CONCRETE PAD. SEE MECHANICAL.
- LANDSCAPE AREA AS SHOWN.



VICINITY MAP



ZONING MAP

SITE DATA

LEGAL DESCRIPTION TRACTS B-1 & C-1, ADOBE WELLS SUBDIVISION	
SITE & BUILDING INFORMATION:	
SITE AREA:	
TRACT B-1	5.5923 AC +/-
TRACT C-1	0.4380 AC +/-
TOTAL	6.0303 AC +/-
BUILDING AREA:	
EXISTING FACILITY	17,649 SF
SHOWROOM ADDITION	278 SF
SERVICE ADDITION	5,724 SF
TOTAL	23,651 SF
ZONING CLASSIFICATION:	
TRACT B-1	NR-C (PREVIOUS CLASSIFICATION MX-M / NR-BP)
TRACT C-1	NR-C (PREVIOUS CLASSIFICATION NR-BP)
OVERLAY ZONE (BOTH PARCELS): CPO-2	
LAND USE:	
LIGHT VEHICLE SALES & RENTAL	
BUILDING RESTRICTIONS (UTILIZING NR-C REQUIREMENTS):	
MINIMUM LOT WIDTH:	N/A
MAXIMUM LOT BUILDING COVERAGE:	N/A
MINIMUM FRONT SETBACK:	5'
MINIMUM SIDE SETBACK:	0'
MINIMUM REAR SETBACK:	0'
MAXIMUM BUILDING HEIGHT:	38'
MINIMUM OFF-STREET PARKING (TABLE 5-5-1):	
LIGHT VEHICLE SALES & RENTAL: 2 SPACES / 1,000 SF	
23,651 SF / 1,000 x 2 = 48 SPACES	
PARKING PROVIDED:	
CUSTOMER PARKING	33
SERVICE PARKING	34
VEHICLE DISPLAY	136
VEHICLE INVENTORY	206
FENCED VEHICLE STORAGE	22
	431 SPACES
ACCESSIBLE PARKING REQUIRED (NMAC 14.7.2.19(D), T1106.2):	
51-100 TOTAL PARKING SPACES REQUIRED: 4 ACCESSIBLE SPACES REQUIRED, 1 TO BE VAN ACCESSIBLE	
MINIMUM MOTORCYCLE PARKING (TABLE 5-5-4):	
91-100 SPACES: 3 MOTORCYCLE SPACES REQUIRED	
MINIMUM BICYCLE PARKING (TABLE 5-5-5):	
10% OF OFF-STREET VEHICLE PARKING SPACES, 3 MIN.	
67 / 10 = 6.7 7 BICYCLE SPACES REQUIRED	
MINIMUM PARKING & DRIVE DIMENSIONS PROVIDED:	
DRIVING AISLES:	25' WIDE
STANDARD VEHICLE PARKING SPACES:	8.5' x 18'
COMPACT VEHICLE PARKING SPACES:	7.5' x 15'
ACCESSIBLE PARKING SPACES:	9' x 20'
ACCESSIBLE PARKING ACCESS AISLES:	8' x 20'
MOTORCYCLE PARKING SPACES:	4' x 8'
BICYCLE PARKING SPACES:	4' x 8'

PROJECT NUMBER:

Application Number:

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date



CAMPBELL
ARCHITECTURE

575.496.3847
www.campbellarch.com

3237 Jupiter Road
Las Cruces, NM 88002

DATE:	04.11.2025
ISSUE:	EPC SUBMITTAL REV2
PROJECT:	2025.05
FILE NAME:	AS1 SITE FOR EPC REV2
REV 1:	
REV 2:	
REV 3:	
REV 4:	

PITRE KIA OF ALBUQUERQUE
RENOVATIONS & ADDITIONS

9640 EAGLE RANCH ROAD NW
ALBUQUERQUE, NEW MEXICO 8714

ARCHITECTURAL
SITE PLAN

AS1.1



ARCHITECTURAL SITE PLAN



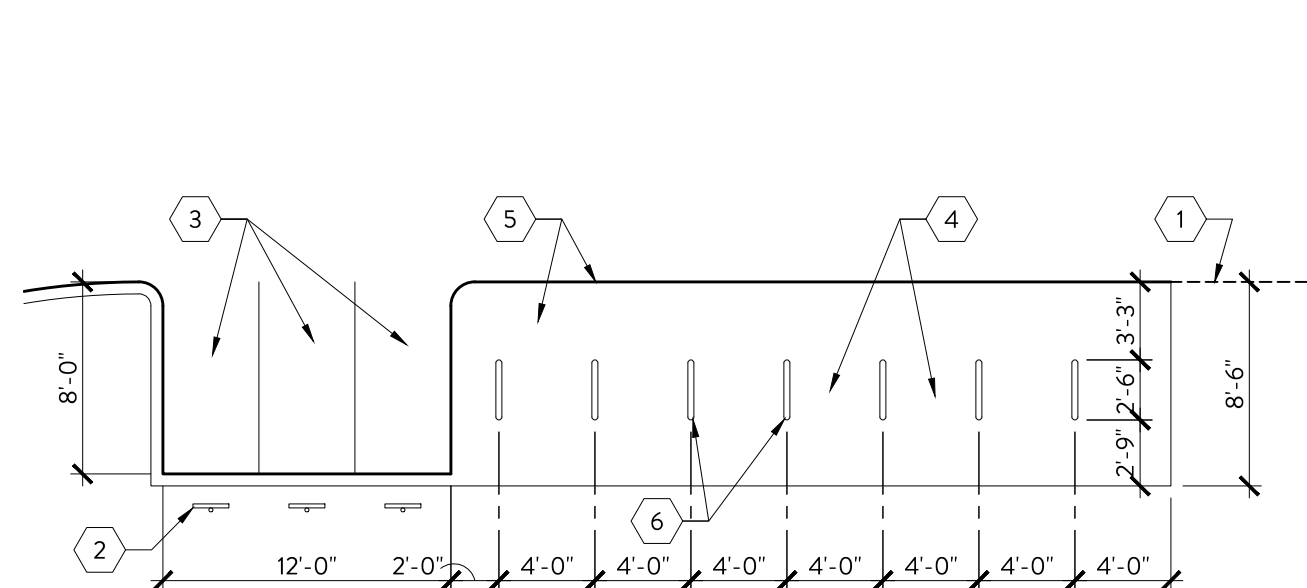
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PROJECT:	PITRE KIA OF ALBUQUERQUE
DATE PREPARED:	04.11.2025
DATE FOR EPC:	04.11.2025
REV 1:	
REV 2:	
REV 3:	
REV 4:	

GENERAL NOTES

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KEYED NOTES

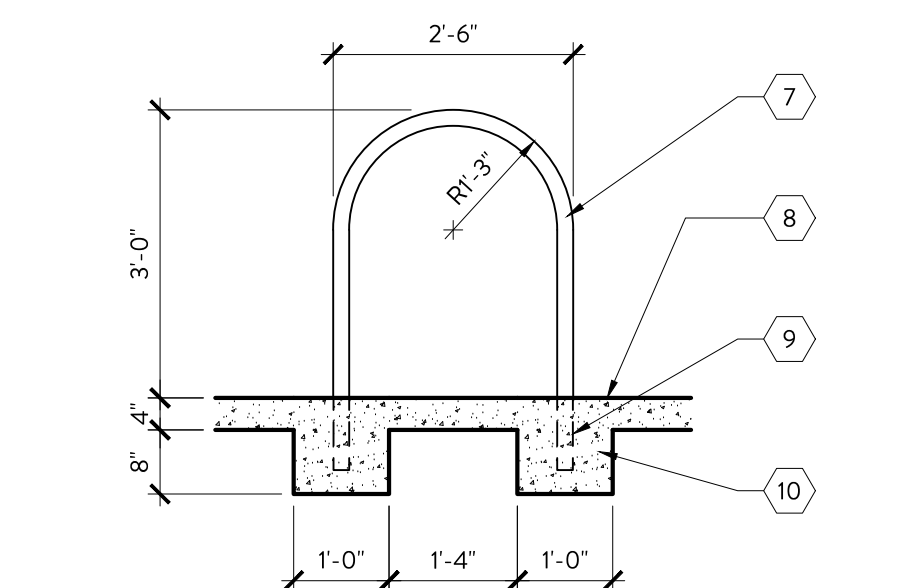
- EDGE OF ASPHALT. SEE CIVIL.
- MOTORCYCLE PARKING SIGNAGE.
- MOTORCYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
- BICYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
- CONCRETE WALK & CURB. SEE CIVIL.
- BICYCLE RACK. SEE DETAIL 2/AS1.1.
- 2" DIA. SCH. 40 STEEL TUBE, PAINTED - PROFILE AS SHOWN.
- TOP OF FOOTING FLUSH WITH TOP OF CONCRETE WALK.
- SET TUBE LEGS 9" INTO CONCRETE FOOTING.
- 12" DIA. x 12" DEEP 3,000 PSI CONCRETE FOOTING.



ENLARGED PLAN AT BICYCLE & MOTORCYCLE PARKING

1/AS1.2

SCALE: 1/8" = 1'-0"



BICYCLE PARKING RACK DETAIL

2/AS1.2

SCALE: 1/2" = 1'-0"

KUSPS10

Scale: 3/8"=1'

Black edge always toward street >

Logo: 1.77 Sq. Ft.
Total: 40 Sq. Ft.

SIDE VIEW

Existing KPSN10 - To Be Removed

Specifications

Will attempt to reuse existing foundation
Pattison ID to remove & scrap existing sign
Dealer to provide electrical prior to installation

- Cladding – 4MM Kia Black and Metallic Silver ACM
- Kia Wordmark – Milled Aluminum and Plastic “Sandwich” Design with 7100K LED Illumination thru edge of filler
- Black edge always toward street >
- Accent Lighting – 7100K LED Illumination with 7328 White Polycarbonate Lens

Colors

- Black Kia ACM – Kia Midnight Black
- Metallic Silver Kia ACM – Alfrex Exotic Mica
- Accent Lighting Lens – 7328 White
- LED – 7100K White Illumination

"KIA" MONUMENT SIGN - TO BE LOCATED BY EAGLE RANCH ROAD / WESTSIDE BLVD. INTERSECTION

3/AS1.2

SCALE AS NOTED

KUSCPOM16

Scale: 1/4"=1'

Logo: 1.77 Sq. Ft.
Total: 40 Sq. Ft.

SIDE VIEW

Existing Monument - To Be Removed

Specifications

Will attempt to reuse existing foundation
Pattison ID to remove & scrap existing sign
Dealer to provide electrical prior to installation

- Aluminum Extruded Cabinet with Aluminum Pan Faces.
- Routed with clear acrylic push thru copy with 1st surface 3M Black vinyl.
- Illumination is 7100K LEDs with Power Supplies mounted in the cabinet.
- Faces hinged for service.
- Aluminum Brake-formed Base w/reveal.

Colors

- Kia Midnight Black – Pantone 7547C
- Metallic Gray
- Kia Midnight Black Vinyl – Pantone 7547C
- White Paint – Glossy
- LED – 7100K White Illumination

"KIA CERTIFIED PRE-OWNED" MONUMENT SIGN - TO BE LOCATED BY EAGLE RANCH ROAD NEAR SW CORNER OF SITE

4/AS1.2

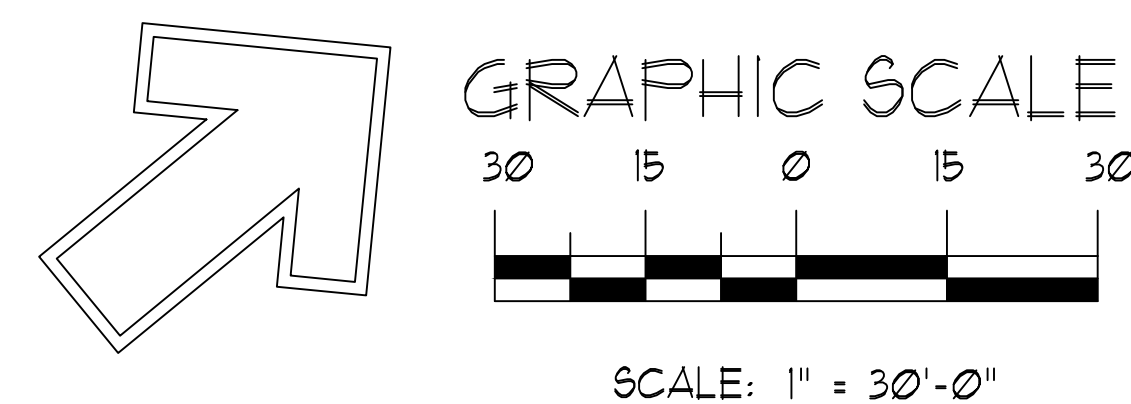
SCALE AS NOTED



Vicinity Map

OVERALL LANDSCAPE CALCULATIONS	
TOTAL LOT AREA (sf)	261,360 SF
TOTAL BUILDING AREA (sf)	123,373 SF
TOTAL NET LOT AREA (sf)	137,987 SF
LANDSCAPE REQUIREMENT	X0.05 SF
TOTAL LANDSCAPE REQUIRED (15%)	20,698 SF
TOTAL ON-SITE LANDSCAPE PROVIDED (EXISTING)	3152 SF
TOTAL ON-SITE LANDSCAPE PROVIDED	
TREE CANOPIES AND GROUND-LEVEL PLANTS REQUIRED (15%)	26,139 SF
TREE CANOPIES AND GROUND-LEVEL PLANTS EXISTING	5,504 SF
GROUND-LEVEL PLANTS REQUIRED (2% of Required Vegetation Coverage)	6,685 SF
GROUND-LEVEL PLANTS EXISTING	594 SF

**LANDSCAPE
GROUNDCOVERS**



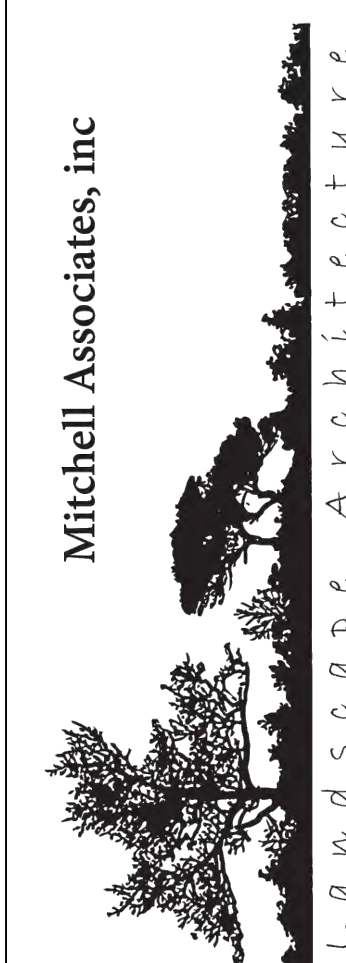
SCALE: 1" = 30'-0"

Designed By: <i>q, q'</i>	REVISIONS
Drawn By: <i>q, q'</i>	Comment
Approved By: <i>d m</i>	Date:
Date: <i>3/21/2025</i>	
NEW MEXICO ONE CALL STATEWIDE - 811 OR 1-800-321-ALERT (2537) www.nmonecall.org Call two working days before you dig.	
	File ID:

**Landscape Plan
(Existing)**

**KIA WESTSIDE AUTO
DEALERSHIP
ALBUQUERQUE, NM**

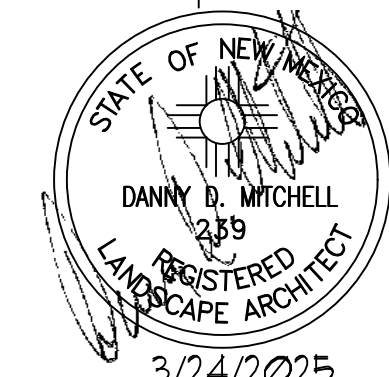
Mittell Associates, Inc



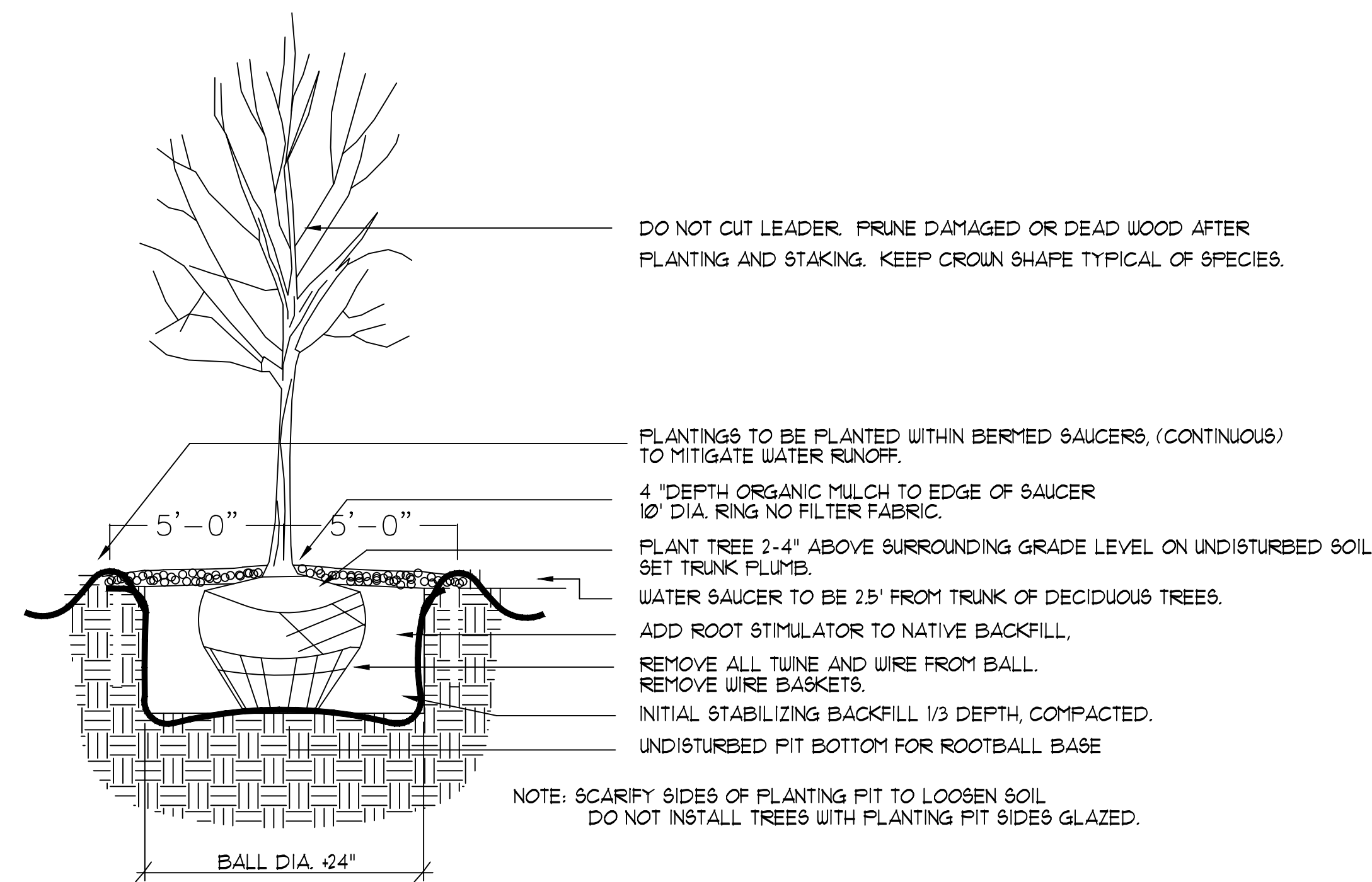
505,639,9583

dannv@mitchellassociatesinc.com

Seal: Landscape Architect

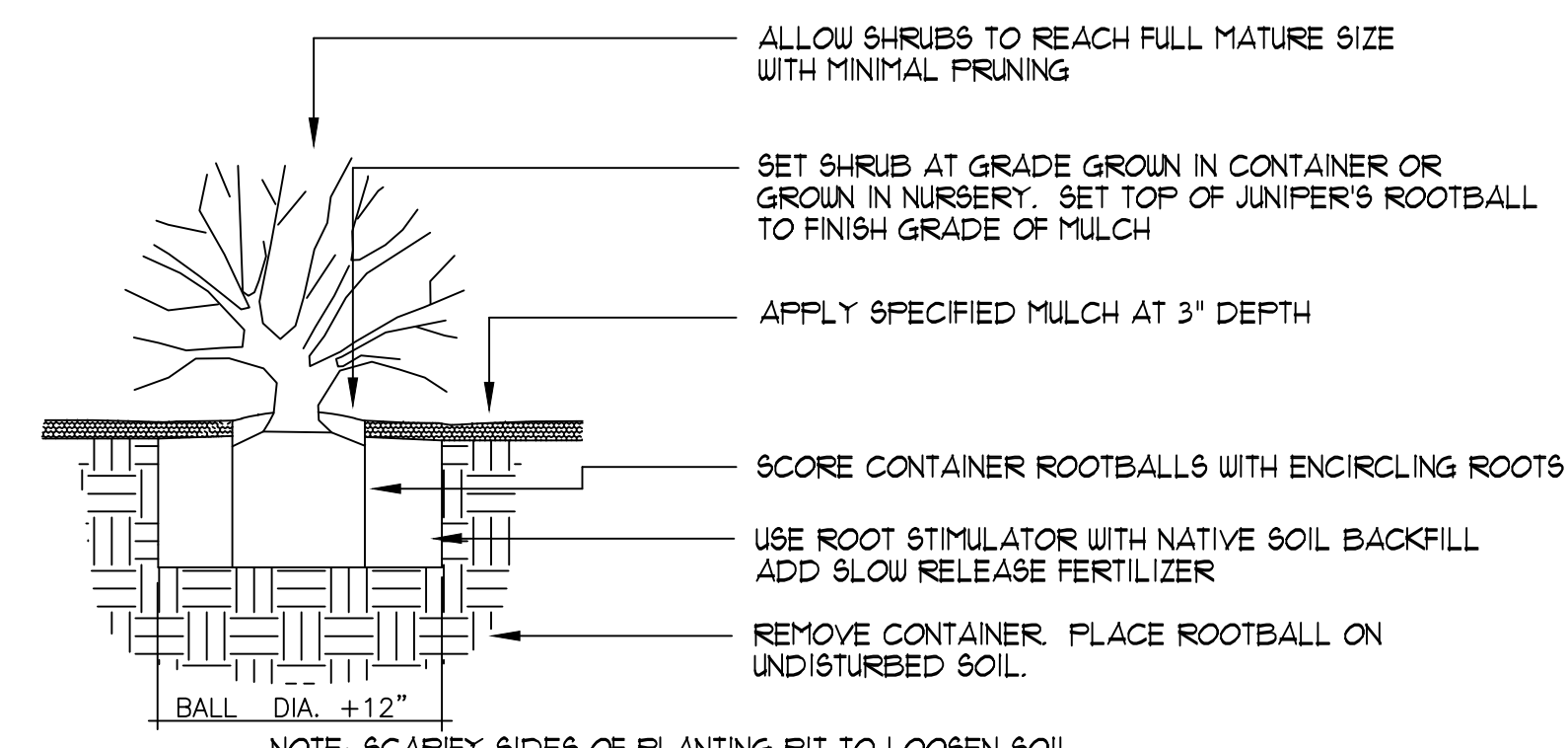


3/24/2025
Project NO: 2024-120
COPYRIGHT MITCHELL ASSOCIATES INC. ALL RIGHTS RESERVED.
Drawing No. 1 of 1
LS-101



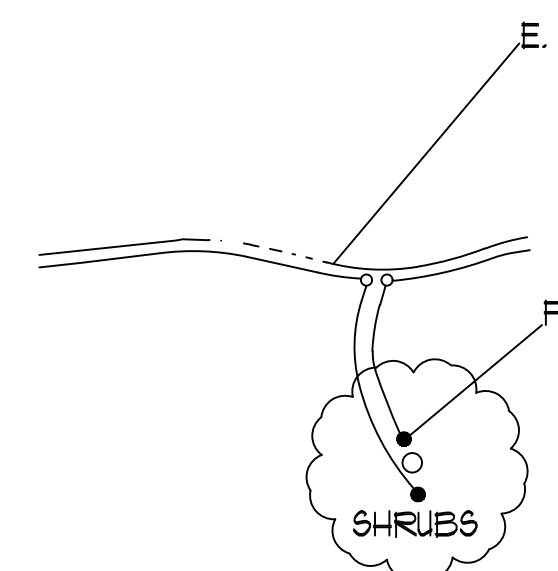
TREE PLANTING DETAIL

N.T.S.



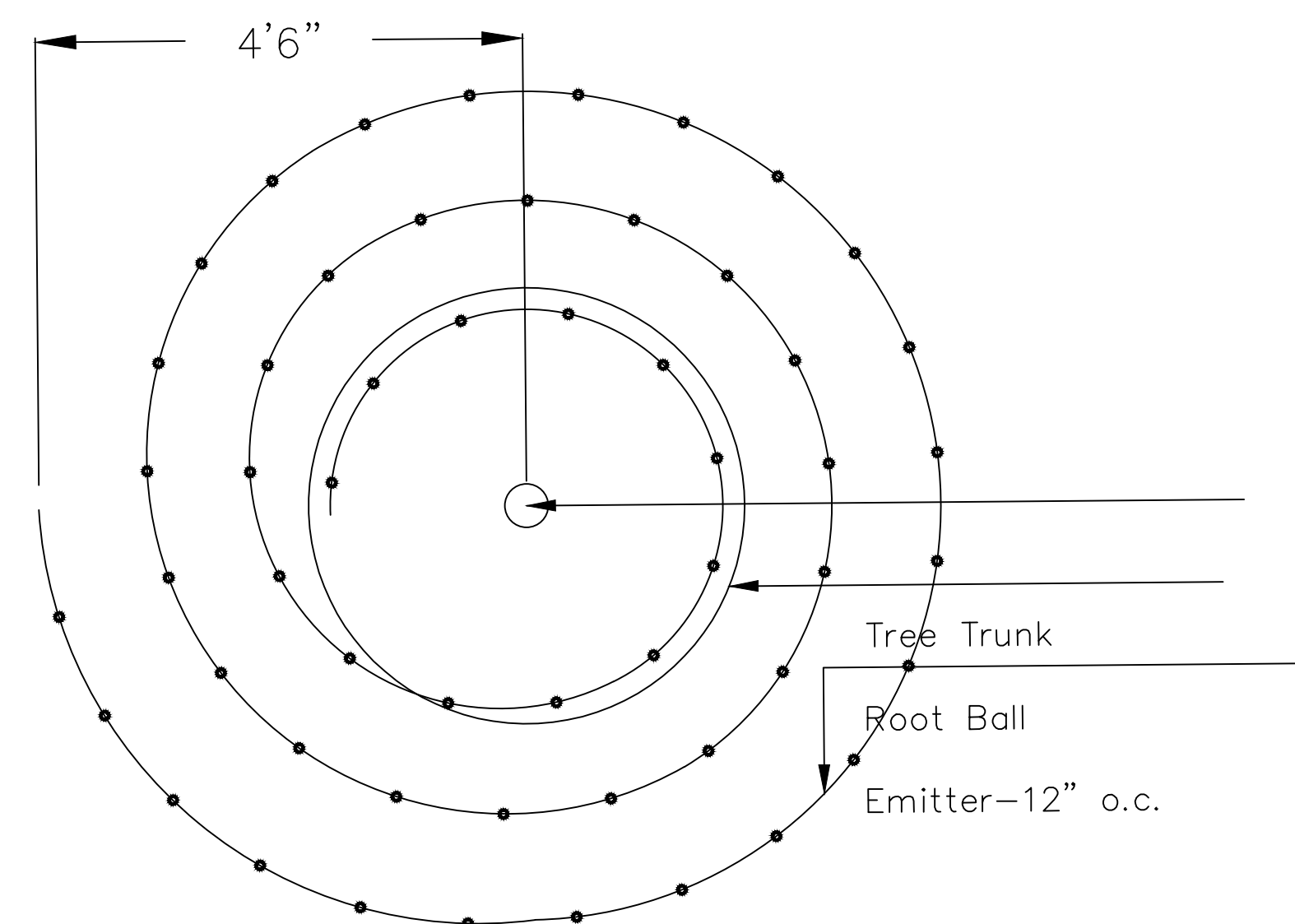
SHRUB PLANTING DETAIL

N.T.S.



EMITTER PLACEMENT DETAIL

N.T.S.



Netafim Spiral Detail

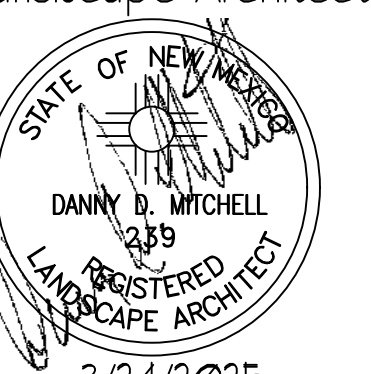
Mitchell Associates, inc



303.033.7383

danny@mitelassociatesinc.com

Seal: Landscape Architect



3/24/2025
Project NO: 2024-120

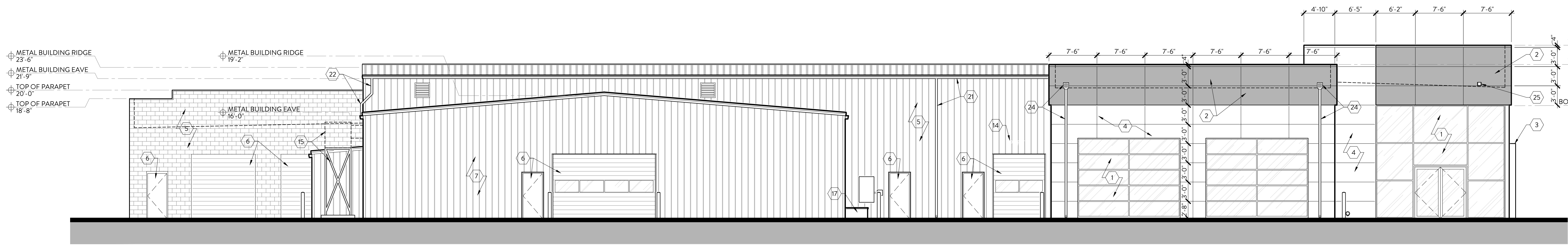
Project No. 2024-120
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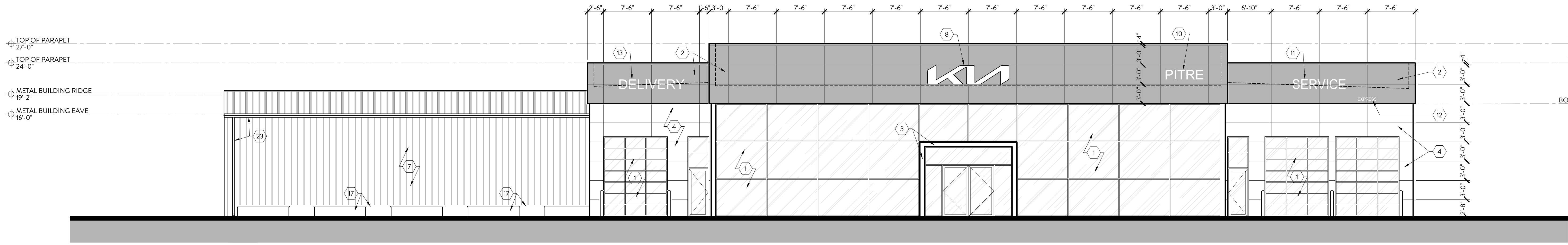
-S-103

Landscape Details

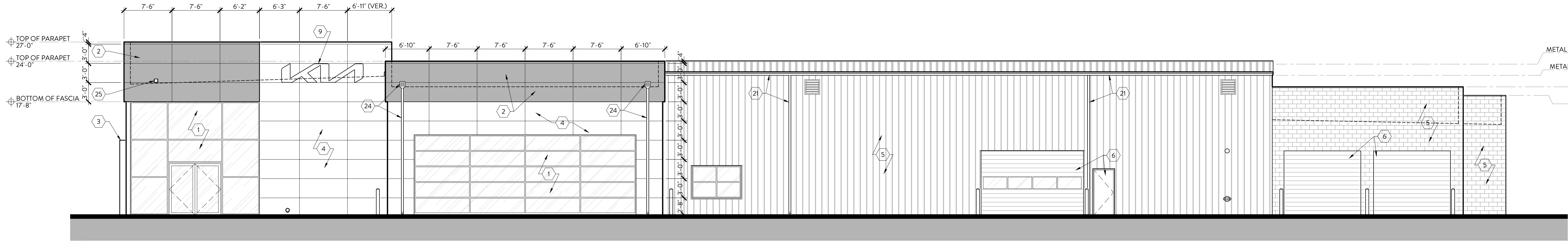
Designed By:	D. Mitchell
Drawn By:	dm
Approved By:	
Date:	
NEW MEXICO ONE CALL STATEWIDE - 811 OR 1-800-321-ALERT (2537) www.nmonecall.org Call two working days before you dig.	



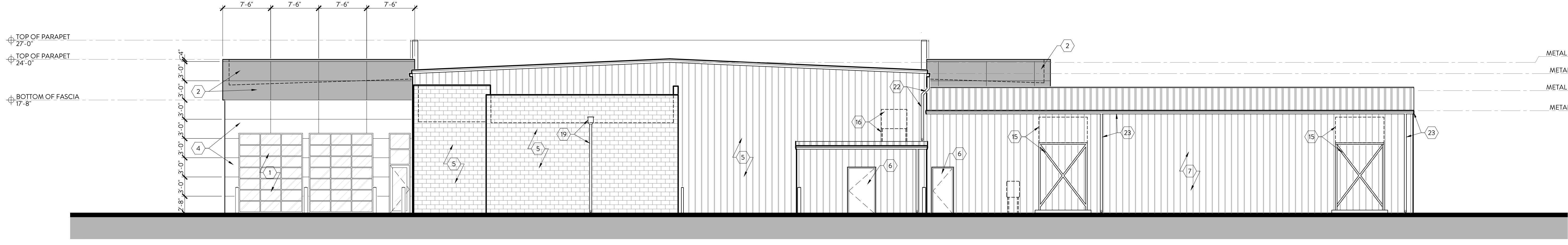
EAST ELEVATION
1/A2.1



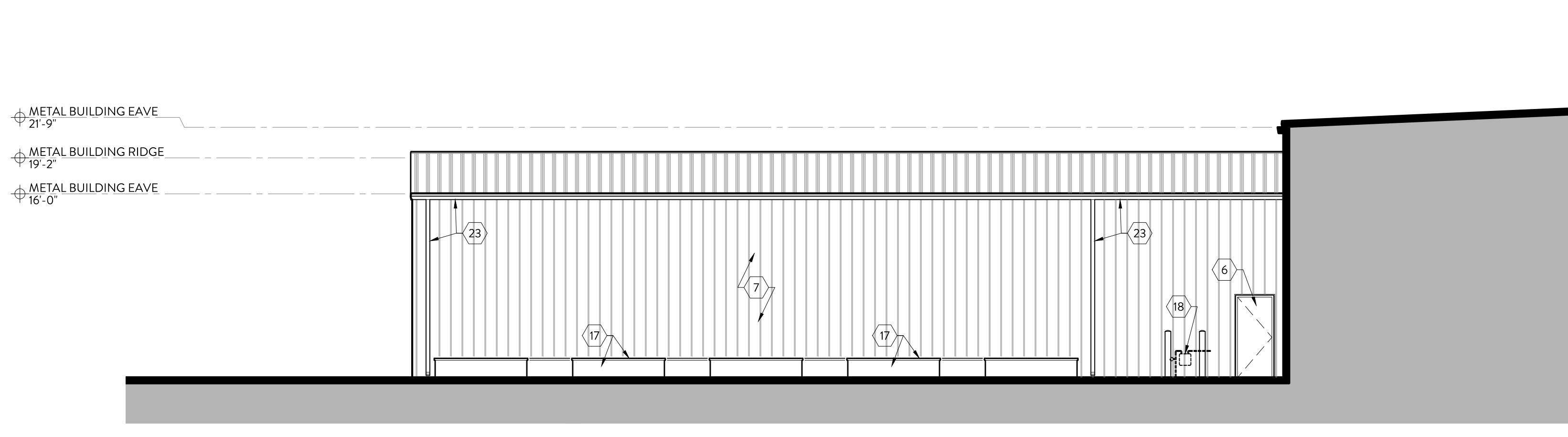
NORTH ELEVATION
2/A2.1



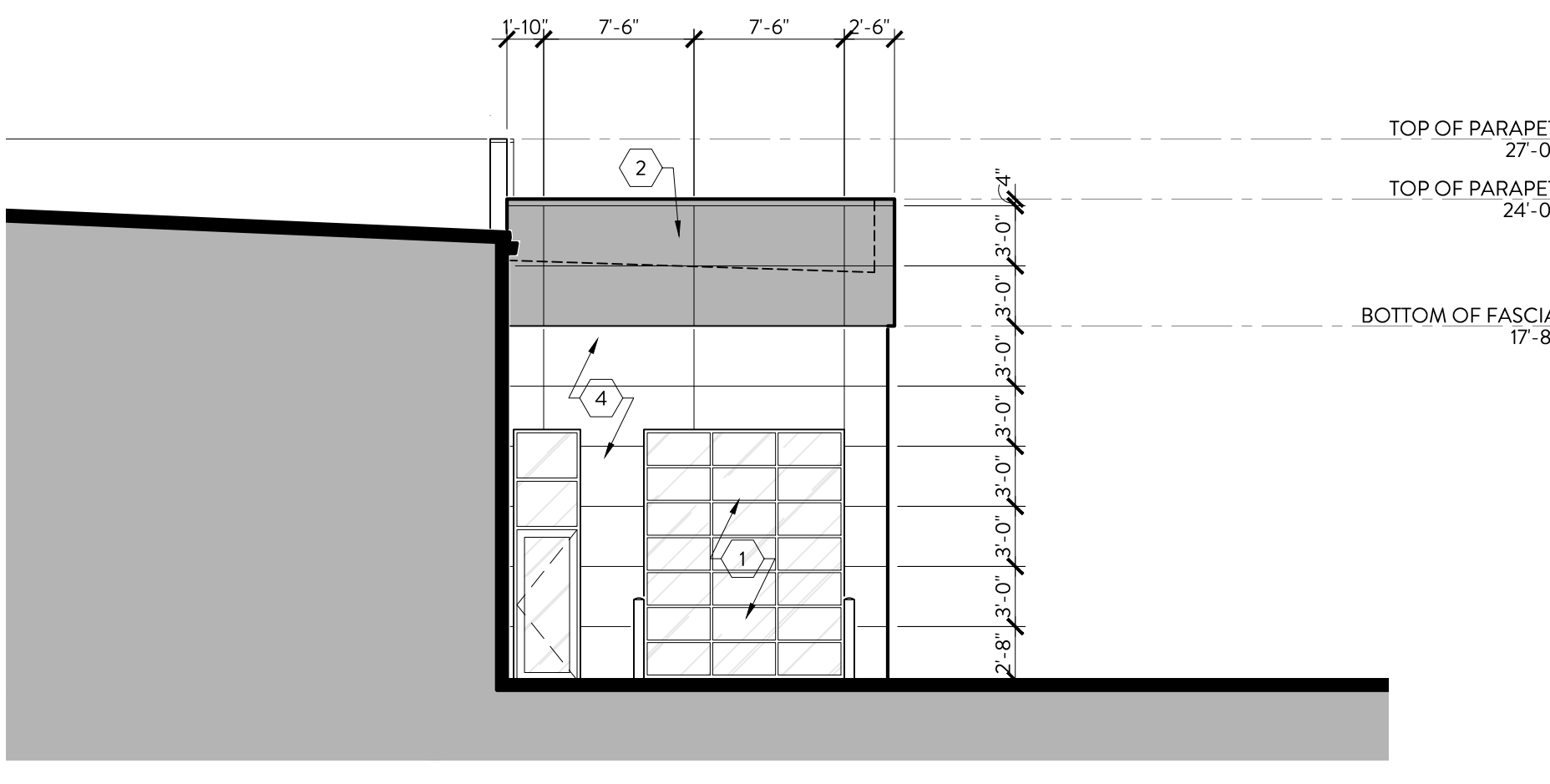
WEST ELEVATION
3/A2.1



SOUTH ELEVATION
4/A2.1



PARTIAL NORTH ELEVATION @ SERVICE ADDITION
5/A2.1



PARTIAL SOUTH ELEV. @ VEHICLE DELIVERY
6/A2.1

GENERAL NOTES

- ALL EXTERIOR FINISHES, MATERIALS, COLORS, SIGNAGE & GRAPHICS AS PER KIA CORPORATE DESIGN STANDARDS AS DESCRIBED IN ChangeUp DESIGN INTENT DOCUMENT. SEE FINISH SCHEDULES & SPECIFICATIONS.
- ALL EXTERIOR SIGNAGE, ENTRY PORTAL & ACM PANELS TO BE SUPPLIED & INSTALLED BY PATTISON SIGN GROUP.
- CONSTRUCTION DRAWINGS ARE IN PROGRESS AT THE TIME OF THIS SUBMITTAL. SOME ASSEMBLIES, CONDITIONS, DETAILS AND/OR DIMENSIONS MAY BE SUBJECT TO MINOR MODIFICATIONS AS THE CONSTRUCTION DRAWINGS ARE FINALIZED. PLEASE REFER TO BUILDING PERMIT DRAWINGS FOR COMPLETED DESIGN.
- ROOF-MOUNTED HVAC UNITS SERVING SHOWROOM & OFFICES ARE ENTIRELY CONCEALED BEHIND PARAPETS & NOT VISIBLE FROM THE STREET.

KEYED NOTES

- ALUMINUM STOREFRONT GLAZING SYSTEM & DOORS, CLEAR ANODIZED FINISH. CLEAR LOW-IRON LOW-E INSULATED GLAZING.
- ALUMINUM COMPOSITE PANEL SYSTEM - ALPOLIC / FR. COLOR: TOB BLACK.
- ALUMINUM COMPOSITE PANEL SYSTEM - ALPOLIC / FR. COLOR: 85X SILVER METALLIC.
- DRYVIT OUTSULATION PLUS MDY EIFS WITH MOISTURE DRAINAGE. COLOR: TO MATCH BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
- REPAINT EXISTING METAL BUILDING WALL PANELS & CMU WALLS. COLOR: BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
- PAINT NEW & EXISTING HOLLOW METAL DOORS & FRAMES & METAL ROLL-UP DOORS. COLOR: BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
- NEW METAL BUILDING WALL PANELS, MATCH COLOR OF REPAINTED EXISTING METAL BUILDING PANELS.
- EG-1 FRONT LOGO, METALLIC SILVER FINISH, 2" DEEP LETTERS WITH BACKLIT STAND-OFF, 12'-9" W x 3'-0" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-2 SIDE LOGO, METALLIC SILVER FINISH, 2" DEEP LETTERS WITH BACKLIT STAND-OFF, BACKLIT 12'-9" W x 3'-0" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-3 'ANYTOWN' DEALER NAME SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 7'-10" W x 2'-0" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-4 SERVICE SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 8'-3" W x 1'-6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-5 DELIVERY SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 10'-2" W x 1'-6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- PARTS SIGN, CONSTRUCTION TO MATCH EG-4 EXPRESS SIGN, 3'-0" W x 8' HIGH. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- NEW ROOF MOUNTED EVAPORATIVE COOLER ON STEEL STAND, PAINTED. SEE MECHANICAL. NOTE: VIEW OF THESE UNITS FROM THE STREET IS COMPLETELY OBSCURED BY THE BUILDING.
- EXISTING ROOF MOUNTED EVAPORATIVE COOLER ON STEEL STAND. REPAINT STAND. NOTE: VIEW OF THIS UNIT FROM THE STREET IS COMPLETELY OBSCURED BY THE BUILDING.
- PLANTER. SEE ARCHITECTURAL SITE PLAN.
- RELOCATED GAS METER & SERVICE ENTRANCE. SEE CIVIL.
- EXISTING ROOF RUNOFF DOWNSPOUT TO BE REPAINTED.
- NEW ROOF RUNOFF DOWNSPOUT, PAINTED. SEE ROOF DETAILS (SHEET A6.1).
- EXISTING METAL BUILDING GUTTER & DOWNSPOUT. REPAIR AS REQUIRED, REPAINT.
- RE-ROUTE EXISTING METAL BUILDING DOWNSPOUT TO ACCOMMODATE ADDITION.
- NEW METAL BUILDING GUTTER & DOWNSPOUT.
- NEW ROOF RUNOFF LEADER HEAD & DOWNSPOUT. SEE ROOF PLAN (SHEET A1.5) & ROOF DETAILS (SHEET A6.1).
- ROOF OVERFLOW SCUPPER. SEE ROOF PLAN (SHEET A1.5) & ROOF DETAILS (SHEET A6.1).



CAMPBELL
ARCHITECTURE

575.496.3847
www.campbellarch.com

3237 Jupiter Road
Las Cruces, NM 88012

DATE:	04.11.2025
ISSUE:	EPC SUBMITTAL REV2
PROJECT:	2025.05
REVISION:	RELOCATED GAS METER & SERVICE ENTRANCE FOR EPC REV2
REV 1:	
REV 2:	
REV 3:	
REV 4:	

PITRE KIA OF ALBUQUERQUE
RENOVATIONS & ADDITIONS

9640 EAGLE RANCH ROAD NW
ALBUQUERQUE, NEW MEXICO 8714

EXTERIOR
ELEVATIONS

A2.1

(ALL SYMBOLS SHOWN ARE NOT NECESSARILY USED ON THE DRAWINGS)

GENERAL-

- POWER

- C408.3.2.3 - LIGHTING CONTROL REPORT.

- PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

575.496.3847
www.camotellarch.com

LIGHTING

24068 PITRE KIA ABQ RENOVATION & ADDITIONSPECIAL SYSTEMS-

FIRE ALARM -

03-2025

MANUFACTURER REP AGENCIES AND DISTRIBUTORS CREDITED ARE AS FOLLOWS:

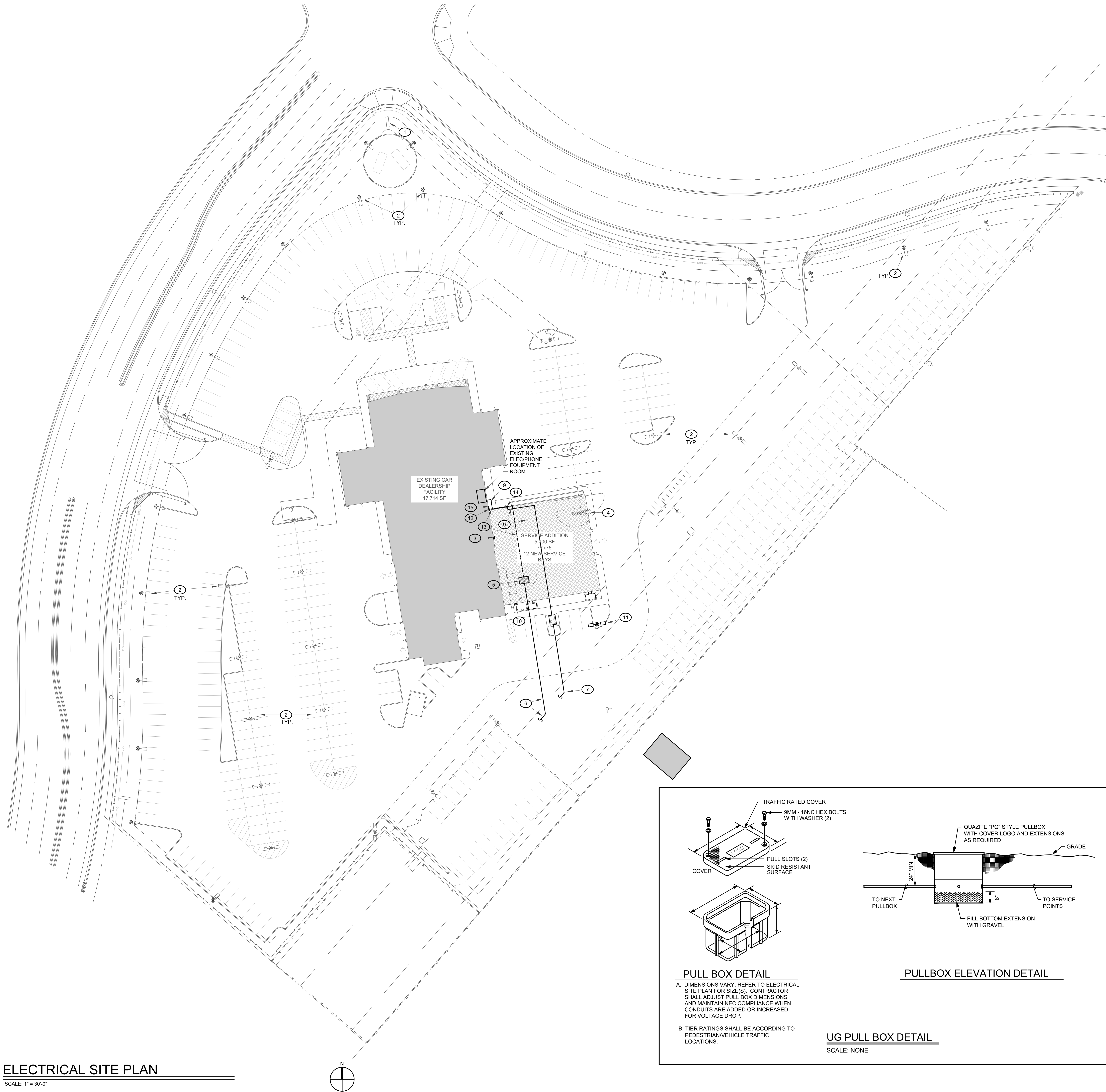
SCOPE OF WORK:

REFER TO THE KIA DID FRANCHISE DRAWING(S) FOR SUPPLEMENTAL REQUIREMENTS CONVEYING THE INTENT OF FACILITY IMPROVEMENTS

ELECTRICAL SHEET INDEX

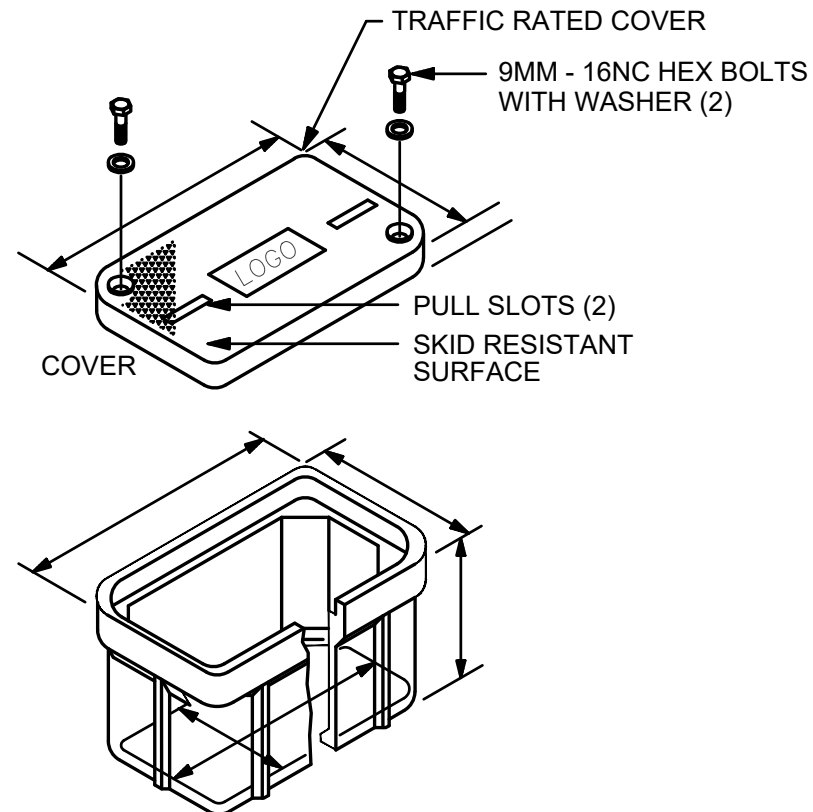
- _____

E0.1



ELECTRICAL SITE PLAN

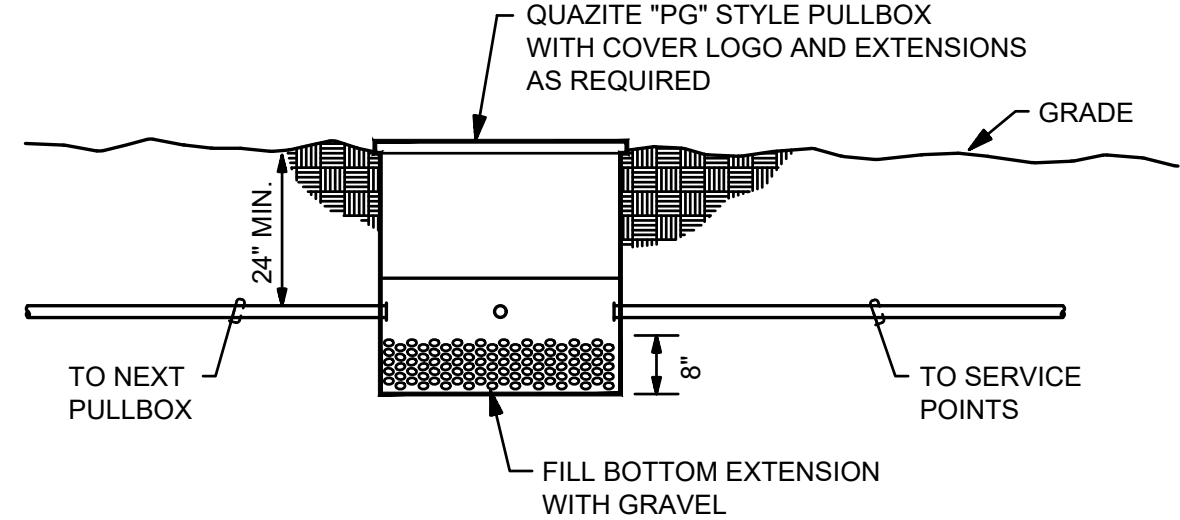
SCALE: 1" = 30'-0"



PULL BOX DETAIL

A. DIMENSIONS VARY; REFER TO ELECTRICAL SITE PLAN FOR SIZE(S). CONTRACTOR SHALL ADJUST PULL BOX DIMENSIONS AND MAINTAIN NEC COMPLIANCE WHEN CONDUITS ARE ADDED OR INCREASED FOR VOLTAGE DROP.

B. TIER RATINGS SHALL BE ACCORDING TO PEDESTRIAN/VEHICLE TRAFFIC LOCATIONS.



PULLBOX ELEVATION DETAIL

UG PULL BOX DETAIL

SCALE: NONE

KEYED NOTES

- EXISTING MONUMENT SIGN. SAFE-GUARD EXISTING CIRCUIT FOR CONTINUED USE.
- EXISTING LIGHT POLE. SAFE-GUARD EXISTING WIRING FOR CONTINUED USE.

ADDITIVE ALTERNATE #10
REPLACE SINGLE-HEAD POLES WITH LITHONIA
#DSXO-LED-P5-30K-70CRI-AFR-MVOLT-XVOLT-SPAS-NLTAIR2 PIRHN-HS-COLOR TO MATCH POLE

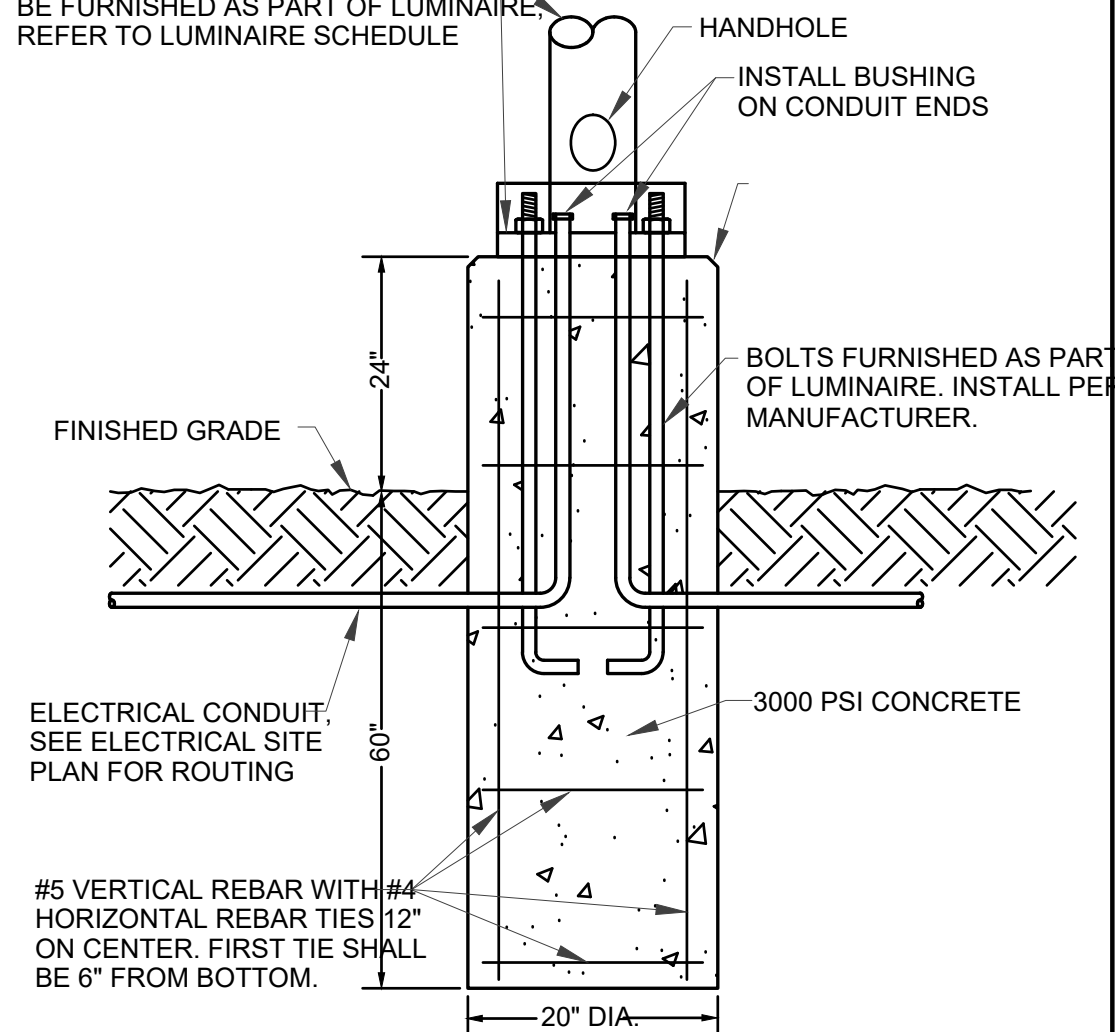
REPLACE TWIN-HEAD POLES WITH LITHONIA
#DSXO-LED-P5-30K-70CRI-T5W-MVOLT-XVOLT-SPAS-NLTAIR2 PIRHN-COLOR TO MATCH POLE

UTILIZE EXISTING POLES, WIRING, AND CONTROLS.
- EXISTING ELECTRIC VEHICLE CHARGER TO BE RELOCATED. INTERCEPT AND EXTEND EXISTING CIRCUIT TO NEW LOCATION AT BUILDING ADDITION.
- EXISTING LIGHT POLE TO BE RELOCATED. INTERCEPT EXISTING CIRCUIT AND REMOVE BACK TO ADJACENT LIGHT POLE IN ORDER TO RE-ROUTE AROUND NEW BUILDING ADDITION FOOT-PRINT. EXTEND EXISTING CIRCUIT TO NEW LOCATION AND REINSTALL LIGHT POLE. REPLACE HEADS AS PART OF ADDITIVE ALTERNATE #10 REFER TO KEYED NOTE 2 ABOVE.
- EXISTING PNM TRANSFORMER TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY AND PROVIDE NEW CONCRETE PAD, STEEL PROTECTION BOLLARD(S), AND CONDUIT(S) NECESSARY. REFER TO RISER DIAGRAM ON SHEET E6.0 FOR ADDITIONAL REQUIREMENT(S).
- EXISTING PNM 15KV RADIAL FEED PRIMARY SERVING EXISTING TRANSFORMER.
- RELOCATED PNM TRANSFORMER AND 13-JAW METER.
- CONTRACTOR SHALL RE-FEED EXISTING ELECTRICAL SERVICE WITH NEW 480-VOLT SECONDARY FEEDER. REFER TO RISER DIAGRAM ON SHEET E6.0 FOR ADDITIONAL REQUIREMENT(S).
- RELOCATED ELECTRIC VEHICLE CHARGER.
- RELOCATED LIGHT POLE ON NEW CONCRETE BASE. REFER TO KEYED NOTE 4 ABOVE.
- EXISTING ELECTRICAL MAIN DISCONNECT TO BE RELOCATED.
- EXISTING 480-VOLT ELECTRICAL SECONDARY FEEDER TO BE REMOVED. CONTRACTOR SHALL COORDINATE AND SEQUENCE THE WORK TO REMOVE OR SAFE-GUARD THE EXISTING FEEDER TO AVOID DAMAGE OR UNSCHEDULED POWER DISRUPTION(S).
- RELOCATED ELECTRICAL MAIN DISCONNECT. REFER TO RISER DIAGRAM ON SHEET E6.0 FOR ADDITIONAL REQUIREMENTS.
- EXISTING DATA UTILITY SERVICE PULL-BOX TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH THE SERVING UTILITY IN ORDER TO MODIFY THE DATA SERVICE ALLOWING FOR THE CONSTRUCTION OF THE NEW BUILDING ADDITION AND RECONNECTION OF SERVICE FOR CONTINUED USE.

POLE BASE NOTES:

- A ALL LIGHT POLE CONCRETE BASES SHOULD BE VERIFIED WITH STRUCTURAL ENGINEER FAMILIAR WITH THE SOIL AND WIND CONDITIONS OF THIS PROJECT.
- B G.C. TO PROVIDE AND INSTALL ENTIRE POLE BASE.
- C LIGHTING FIXTURES SHALL BE OF TYPE INDICATED ON DRAWINGS.

BOTH POLE AND BASE PLATE SHALL BE FURNISHED AS PART OF LUMINAIRE. REFER TO LUMINAIRE SCHEDULE



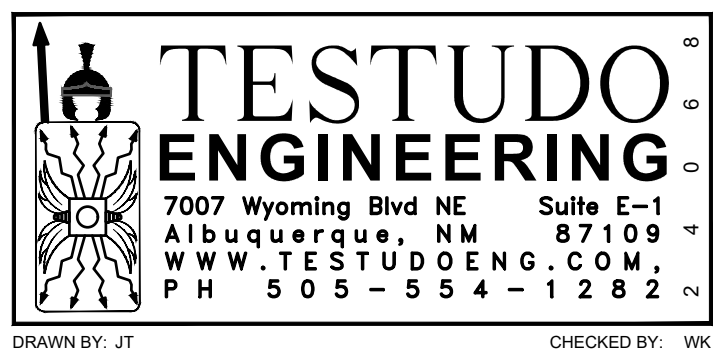
POLE BASE MOUNTING DETAIL

SCALE: NONE

WARNING:

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF TO THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES, AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "NM ONE CALL" PROCEDURES, OR OTHERWISE.



PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

CAMPBELL
ARCHITECTURE

3237 Lighter Road
Las Cruces, NM 88012

DATE:	04.01.2025
ISSUE:	Change/Review SUBMITTAL
PROJ #:	2025.05.02
REV #:	24068 ESI.0 DWG
REV 1:	
REV 2:	
REV 3:	
REV 4:	

PITRE KIA OF ALBUQUERQUE
RENOVATIONS & ADDITIONS

9640 EAGLE RANCH ROAD NW
ALBUQUERQUE, NEW MEXICO 87114

ELECTRICAL SITE
PLAN

ES1.0

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 19, 2024

Amadeo Trujillo
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM, 87109

**RE: Pitre Kia Westside Auto Dealership
9640 Eagle Ranch NW
Grading and Drainage Plan
Engineer's Stamp Date: 11/06/2024
Hydrology File: B13D002D**

Dear Mr. Trujillo:

Based upon the information provided in your submittal received 12/10/2024, the Grading & Drainage Plans are approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 505-924-3314 or rbrissette@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Pitre Kia Westside Auto Dealership Hydrology File # _____

Legal Description: TRACT B-1 PLAT OF TRACT B-1 AND B-2 OF ADOBE WELLSUBDIVISION CONT 5.8965 AC AND TR C-1 SUBD PLAT MAP FOR ADOBE WELLS SUBD CONT 19,079 SQ FT

City Address, UPC, OR Parcel: 9640 EAGLE RANCH RD NW, ABQ, NM, 87114

Applicant/Agent: Tierra West LLC Contact: Amadeo Trujillo
Address: 5571 Midway Park PL NE Phone: 505-858-3100
Email: ATrujillo@tierrawestllc.com

Applicant/Owner: Pitre Holdings LLC C/O Robert G Pitre LLC Contact: Scott Simkins
Address: 9797 Eagle Ranch Rd NW, ABQ,NM,87114 Phone: 505-494-5063
Email: ssimkins@pitrenm.com

TYPE OF DEVELOPMENT: ☐ Plat (# of lots) _____ ☐ Single Family Home
☒ All other Developments

RE-SUBMITTAL: ☐ YES ☐ NO

DEPARTMENT: ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☐ Engineering / Architect Certification
- ☐ Conceptual Grading & Drainage Plan
- ☒ Grading & Drainage Plan, and/or Drainage Report
- ☐ Drainage Report (Work Order)
- ☐ Drainage Master Plan
- ☐ Conditional Letter of Map Revision (CLOMR)
- ☐ Letter of Map Revision (LOMR)
- ☐ Floodplain Development Permit
- ☐ Traffic Circulation Layout (TCL) – Administrative
- ☐ Traffic Circulation Layout (TCL) – DFT Approval
- ☐ Traffic Impact Study (TIS)
- ☐ Street Light Layout
- ☒ OTHER (SPECIFY) SW Quality Waiver

TYPE OF APPROVAL SOUGHT:

- ☐ Pad Certification
- ☒ Building Permit
- ☐ Grading Permit
- ☐ Paving Permit
- ☐ SO-19 Permit
- ☐ Foundation Permit
- ☐ Certificate of Occupancy - ☐ Temp ☐ Perm
- ☐ Preliminary / Final Plat
- ☐ Site Plan for Building Permit - DFT
- ☐ Work Order (DRC)
- ☐ Release of Financial Guarantee (ROFG)
- ☐ CLOMR / LOMR
- ☐ Conceptual TCL - DFT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 12.10.2024

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: Pitre Kia DATE: 12/10/24
DEVELOPMENT: Pitre Kia Auto Dealership Expansion
LOCATION: Tract B-1 AND C-1 of Adobe Wells Subdivision
9640 Eagle Ranch Road NW, Albuquerque, NM

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 113.3 cubic feet

The provided volume is 0 cubic feet

The deficient volume is 113.3 cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: The Pitre Kia Auto Dealership is an existing development that was constructed in 2003. A proposed building addition of 6,002 SF is to be added to the existing building. As part of this expansion, 11 parking spaces and a parking island will be removed to accommodate the addition. Additionally, a new paved driveway covering approximately 5,230 SF will surround the new addition and will increase the impervious area to the site respectively. This expansion to the impervious area will increase the storm runoff volume by approximately 113.3 cubic feet. Due to the existing site constraints and minimal site modifications proposed, we request to pay a fee in lieu for the required stormwater quality volume storage requirements that will not be met.

Amadeo Trujillo, PE Tierra West, LLC
Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 906.53

THIS SECTION IS FOR CITY USE ONLY

- ☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.
- ☐ Waiver is DENIED.

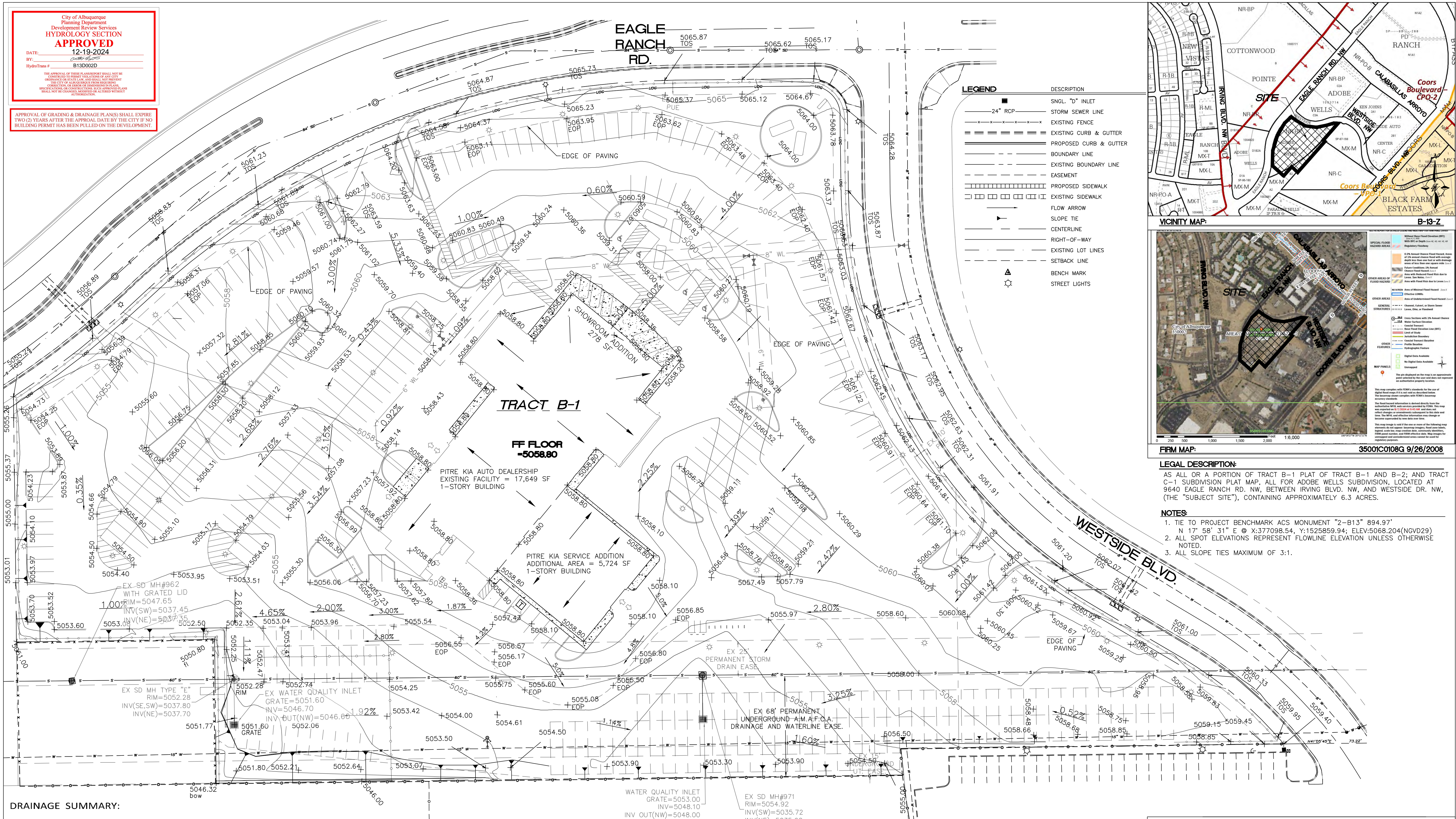


City of Albuquerque
Hydrology Section

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 12-19-2024
BY: [Signature]
HydroTeam # B13D002D

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE
CONSIDERED TO BE A GUARANTEE OF THE CITY OF
ALBUQUERQUE OR ITS EMPLOYEES. THE CITY OF
ALBUQUERQUE DOES NOT WARRANT THE ACCURACY
OF THE INFORMATION PROVIDED HEREON. THE CITY OF
ALBUQUERQUE DOES NOT WARRANT THE ACCURACY
OF THE INFORMATION PROVIDED HEREON. THE CITY OF
ALBUQUERQUE DOES NOT WARRANT THE ACCURACY
OF THE INFORMATION PROVIDED HEREON.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO
BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT



DRAINAGE SUMMARY:

THE SITE IS LOCATED WITHIN TRACT B-1 AND C-1 OF THE ADOBE WELLS SUBDIVISION. THE IMPROVEMENTS TO THE 6.4 ACRE PROPERTY (TWO TRACTS) INCLUDES A 5,700 SF BUILDING EXPANSION ALONG THE SE CORNER OF THE EXISTING BUILDING. AS PART OF THIS EXPANSION, 11 PARKING SPACES WILL BE REMOVED AND A PARKING ISLAND WILL BE RELOCATED ACCORDINGLY. AS PART OF THESE ADDITIONS, THERE WILL BE ASSOCIATED PARKING STALL RELOCATING AND RESTRIPIING AS WELL AS AN EXTENSION TO THE PAVED ACCESS ROAD THAT WILL WRAP AROUND THE SE CORNER OF THE BUILDING.

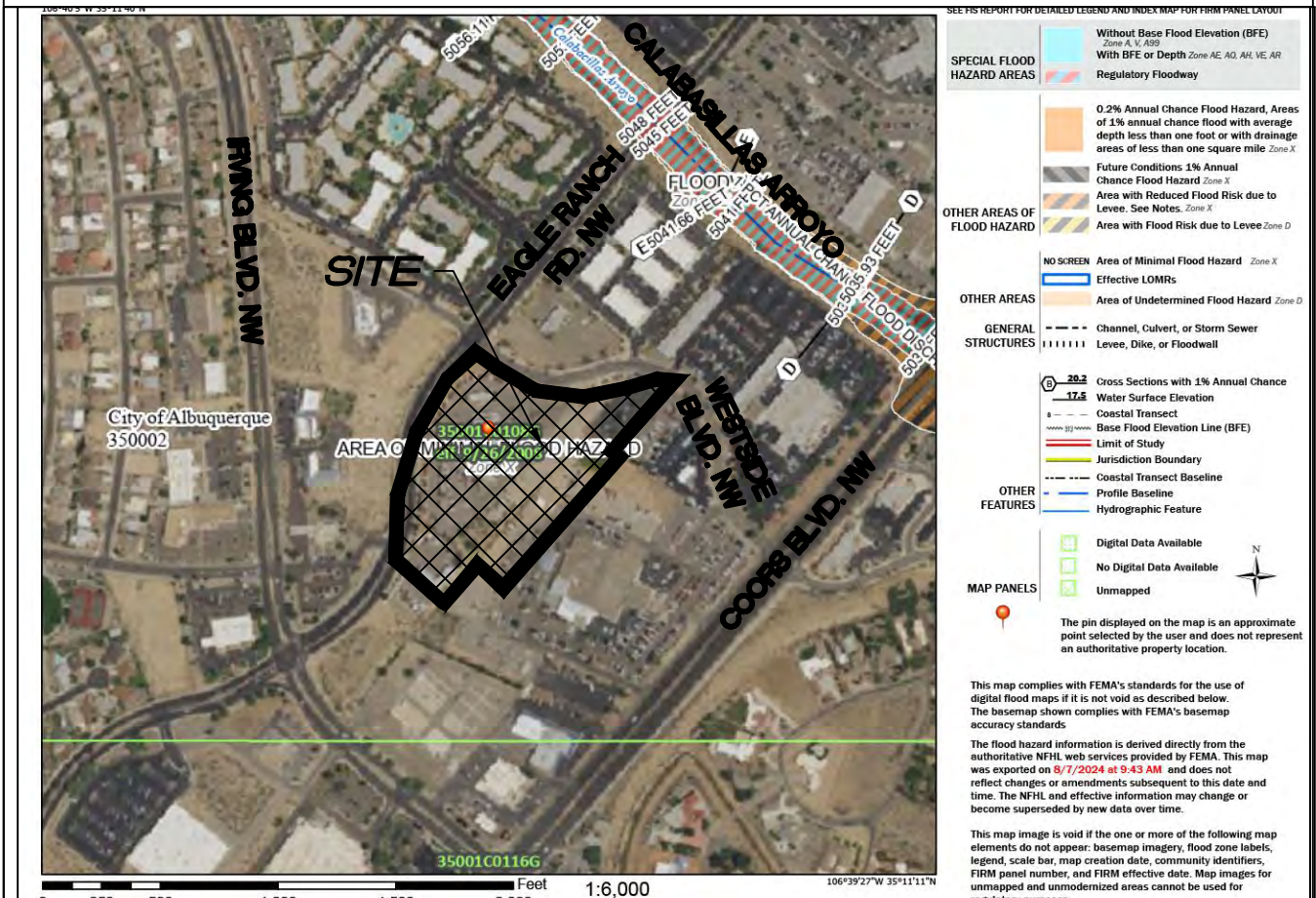
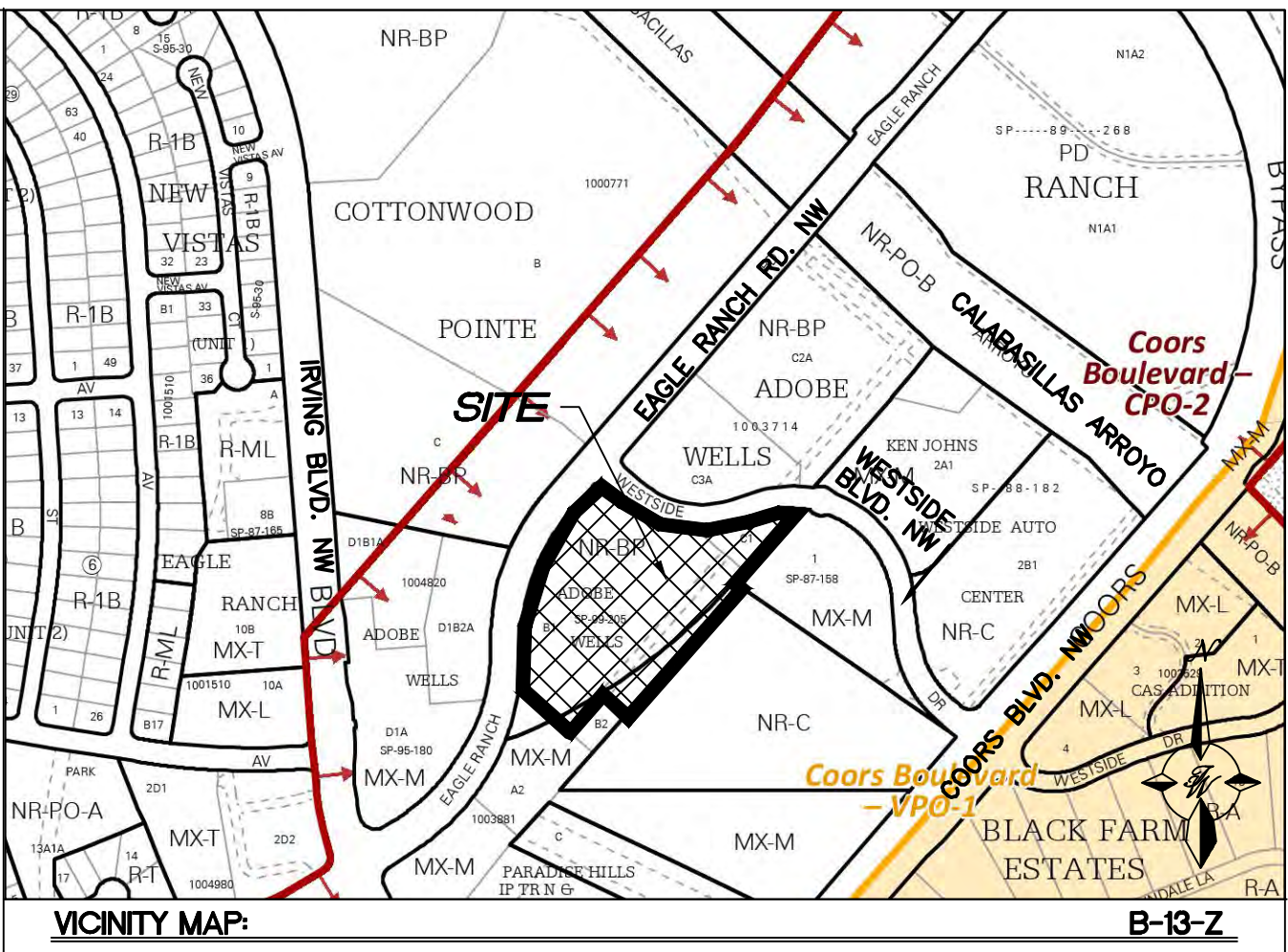
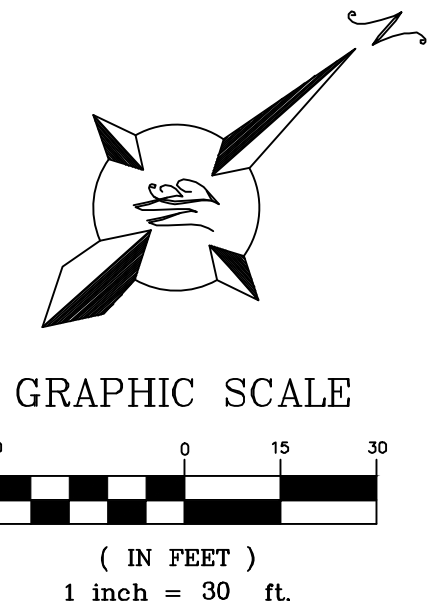
THE PROPOSED ADDITIONS TO THE SITE WILL ENCUMBER 5,230 SQUARE FEET OF LAND AREA THAT WAS PREVIOUSLY COMPOSED OF LAND TREATMENT C. THIS PREVIOUSLY PERVIOUS AREA WILL NOW BE COMPLETELY IMPERVIOUS AND WILL BE COMPOSED OF LAND TREATMENT D PER CHAPTER 6 OF THE CITY OF ALBUQUERQUE (COA) DEVELOPMENT PROCESS MANUAL (DPM). LYING WITHIN ZONE 1, THIS ADDITIONAL IMPERVIOUS AREA WILL ACCOUNT FOR A SUPPLEMENTARY VOLUME OF STORM WATER RUNOFF DURING THE 100-YEAR, 6-HOUR STORM EVENT. THIS ADDITIONAL ONSITE FLOW WILL BE CONVEYED TO ONE OF TWO EXISTING WATER QUALITY INLETS LOCATED AT THE SOUTHERN EDGE OF THE SITE TO MATCH HISTORIC RUNOFF PATTERNS FOR THIS DEVELOPMENT. THE ASSOCIATED STORM WATER QUALITY VOLUME INCREASE FOR THIS ADDITION TO THE IMPERVIOUS AREA WILL BE, 0.26 INCHES X 5,230 SQUARE FEET = 131.3 CUBIC FEET PER THE REQUIREMENTS LAID OUT IN THE DPM. A PAYMENT-IN-LIEU WILL BE REQUESTED AS A WAIVER TO ONSITE STORM WATER QUALITY VOLUME INFRASTRUCTURE IMPROVEMENTS DUE TO THE EXISTING SITE CONSTRAINTS AND MINIMAL SITE MODIFICATIONS PROPOSED.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



FIRM MAP: 35001C0108G 9/26/2008

LEGAL DESCRIPTION:

AS ALL OR A PORTION OF TRACT B-1 PLAT OF TRACT B-1 AND B-2; AND TRACT C-1 SUBDIVISION PLAT MAP, ALL FOR ADOBE WELLS SUBDIVISION, LOCATED AT 9640 EAGLE RANCH RD. NW, BETWEEN IRVING BLVD. NW, AND WESTSIDE DR. NW, (THE "SUBJECT SITE"), CONTAINING APPROXIMATELY 6.3 ACRES.

NOTES:

1. TIE TO PROJECT BENCHMARK ACS MONUMENT "2-B13" 894.97' N 17° 58' 31" E @ X:377098.54, Y:1525859.94; ELEV:5068.204(NGVD29)
2. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
3. ALL SLOPE TIES MAXIMUM OF 3:1.

ROUGH GRADING APPROVAL		DATE
 RONALD R. BOHANNAN P.E. #7868	KIA WESTSIDE AUTO DEALERSHIP	DRAWN BY RMG
	GRADING AND DRAINAGE PLAN	DATE 11/06/2024
 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		SHEET # GR-1
		JOB # 2024019