

ADJACENT PARCEL
ZONING CLASSIFICATION MX-M
LAND USE: GOVERNMENT OFFICES (NM MVD)

ADJACENT PARCEL
ZONING CLASSIFICATION NR-BP
LAND USE: OFFICE/RETAIL PARK

ADJACENT PARCEL
ZONING CLASSIFICATION MX-M
LAND USE: LIGHT VEHICLE SALES & RENTAL

ADJACENT PARCEL
ZONING CLASSIFICATION NR-C
LAND USE: LIGHT VEHICLE SALES & RENTAL

ADJACENT PARCEL
ZONING CLASSIFICATION NR-BP/MX-M
LAND USE: LIGHT VEHICLE REPAIR

LEGEND

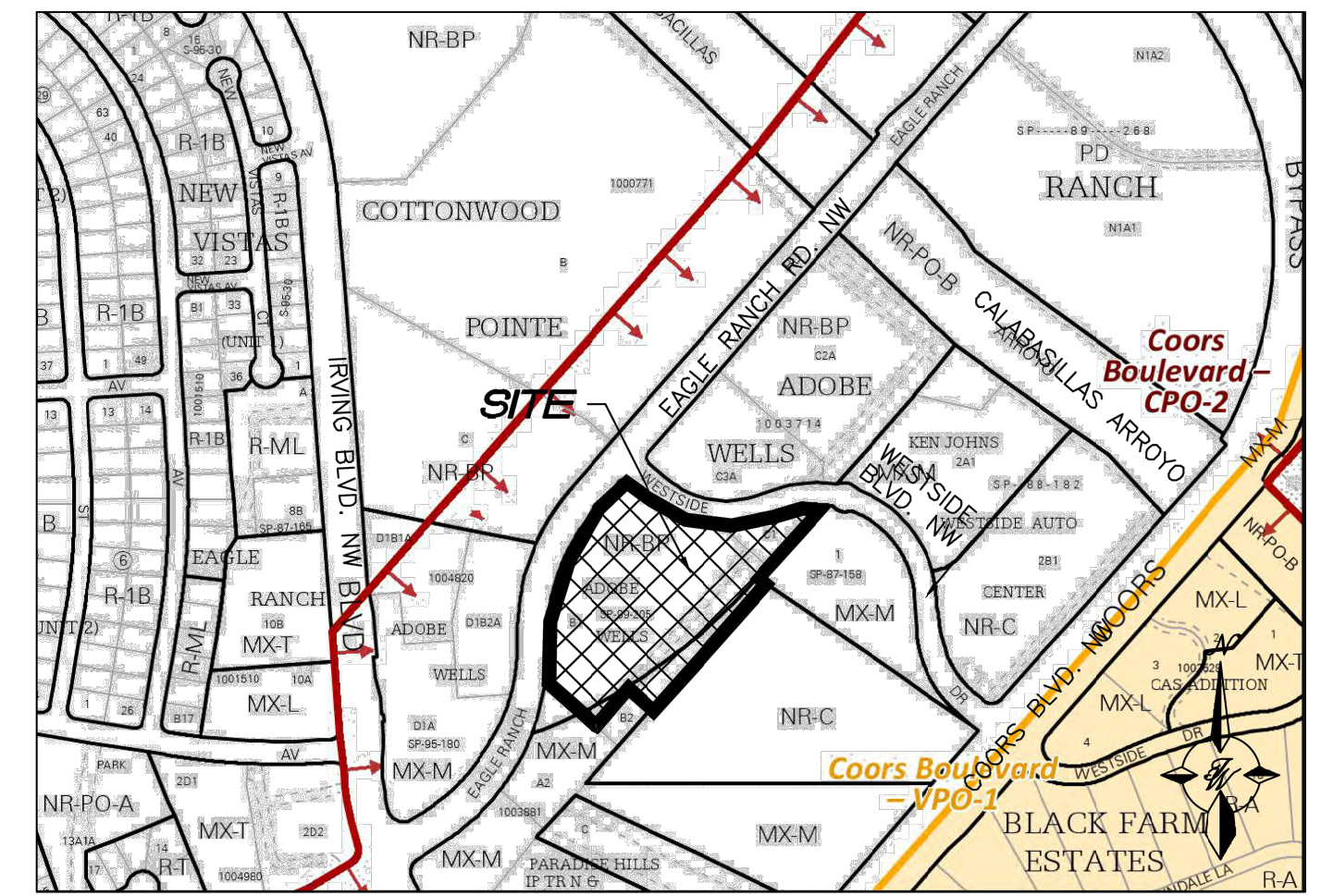
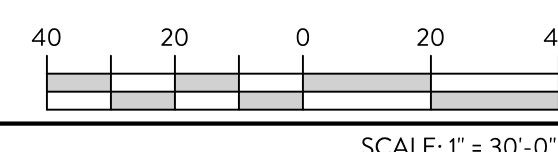
- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- EDGE OF PAVEMENT
- PEDESTRIAN WALKWAY
- STREET LANE STRIPING
- BICYCLE & TURN LANE STRIPING
- STEEL POST-AND-CABLE FENCING, 2' HIGH
- WIRE FENCING, 4' HIGH
- CHAIN LINK FENCING, 6' HIGH
- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHTING
- EXISTING/RELOCATED SITE LIGHTING

GENERAL NOTES

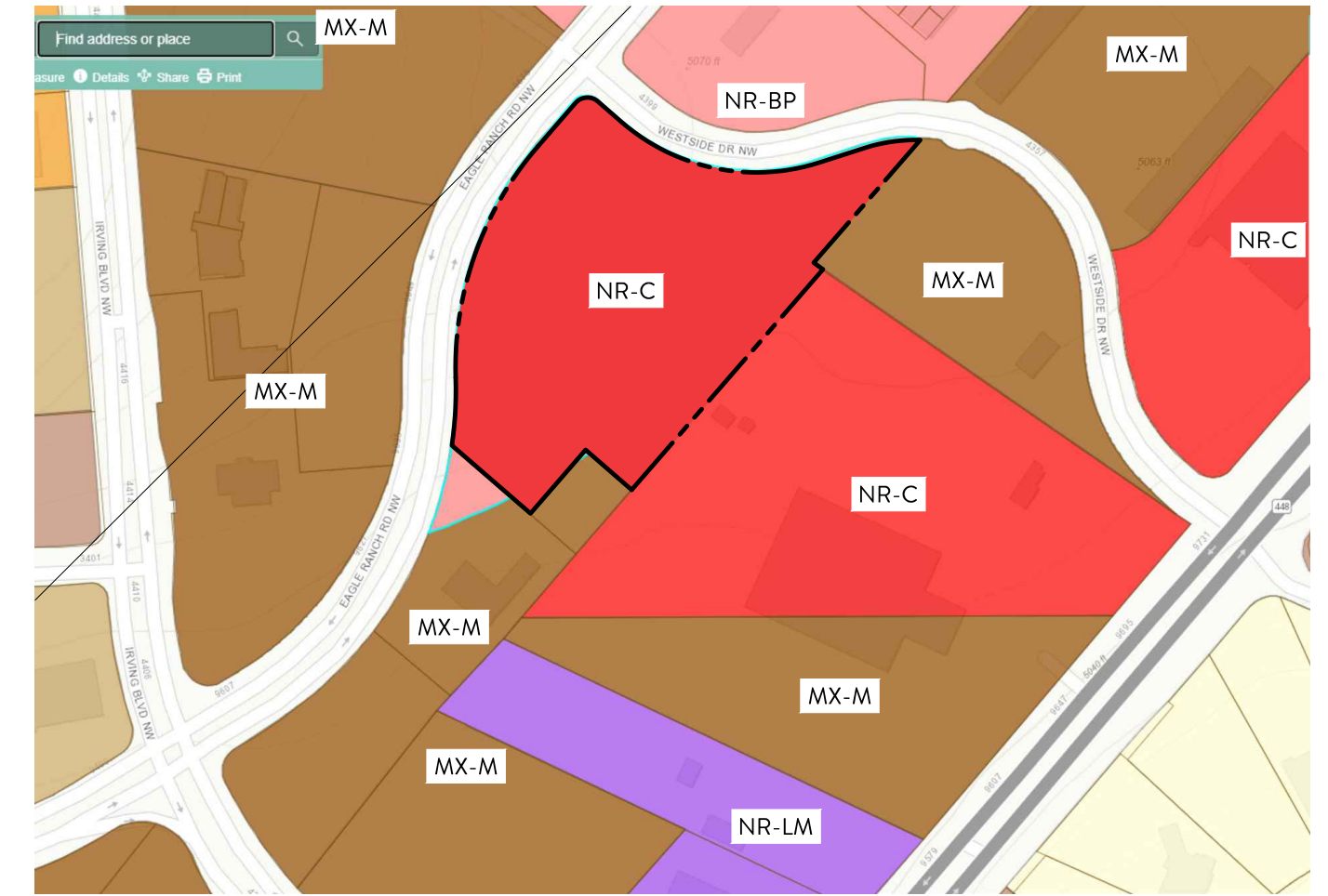
- THIS PROJECT CONSISTS OF RENOVATIONS & ADDITIONS TO AN EXISTING CAR DEALERSHIP. ALL SITE DEVELOPMENT IS EXISTING, MODIFIED ONLY AS REQUIRED TO ACCOMMODATE THE NEW SERVICE ADDITION. MODIFICATIONS ARE AS NOTED ON PLAN.
- SEE CIVIL DRAWINGS FOR GRADING/DRAINAGE, UTILITY & LANDSCAPING INFORMATION.
- CONSTRUCTION DRAWINGS ARE IN PROGRESS AT THE TIME OF THIS SUBMITTAL. SOME ASSEMBLIES, CONDITIONS, DETAILS AND/OR DIMENSIONS MAY BE SUBJECT TO MINOR MODIFICATIONS AS THE CONSTRUCTION DRAWINGS ARE FINALIZED. PLEASE REFER TO BUILDING PERMIT DRAWINGS FOR FINAL DESIGN.
- EXISTING STREET & PARKING DIMENSIONS ARE BASED ON ORIGINAL 2004 DRB SITE DEVELOPMENT PLAN AS SUBMITTED FOR INITIAL CONSTRUCTION PROJECT.
- THE SITE PLAN SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE IDO & ALL OTHER APPLICABLE REGULATIONS, EXCEPT AS SPECIFICALLY APPROVED BY THE EPC.

KEYED NOTES

- EXISTING 6' CHAIN LINK FENCE TO REMAIN.
- EXISTING STORM SEWER DROP INLET TO REMAIN. SEE CIVIL.
- THIS EXISTING PARKING LOT LIGHT TO BE RELOCATED. SEE ELECTRICAL.
- EXTEND NEW 30' WIDE ASPHALT DRIVE AROUND SERVICE ADDITION.
- RELOCATE ELECTRICAL SERVICE TRANSFORMER.
- EV CHARGING STATION ON STAND. SEE ELECTRICAL.
- EXISTING 6' HIGH CMU DUMPSITER ENCLOSURE TO REMAIN. REPAINT.
- EDGE OF ASPHALT. SEE CIVIL.
- EXISTING FIRE HYDRANT TO REMAIN.
- REMOVE 11 EXISTING PARKING SPACES & ISLAND.
- REMOVE EXISTING ISLAND & CONCRETE WALK.
- RELOCATE EXISTING GAS METER. SEE CIVIL.
- EXISTING FLAG POLE TO REMAIN.
- EXISTING 4' WIRE FENCE TO REMAIN.
- EXISTING DRAINAGE SWALE TO REMAIN.
- EXISTING CONCRETE GUTTER TO REMAIN.
- EXISTING DOUBLE 8' CHAIN LINK GATE TO REMAIN.
- NEW "KIA" INTERNALLY LIGHTED MONUMENT SIGN BY PATTON SIGN GROUP, IN LOCATION OF EXISTING SIGN. SEE SIGN DETAIL 3/AS1.2.
- EXISTING SITE LIGHTING TO REMAIN. 18' HIGH +/-.
- NEW BICYCLE PARKING - 7 SPACES. SEE ENLARGED PLAN (1/AS1.2) & RACK DETAIL 2/AS1.2.
- NEW MOTORCYCLE PARKING - 3 SPACES. SEE ENLARGED PLAN (1/AS1.2).
- MOTORCYCLE PARKING SIGNAGE.
- MOTORCYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
- BICYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
- CONCRETE WALK & CURB. SEE CIVIL.
- BICYCLE RACK. SEE DETAIL 2/AS1.2.
- EXISTING CONCRETE VEHICLE DISPLAY PAD FLUSH WITH ASPHALT - NO CURB.
- 5' WIDE PEDESTRIAN WALKWAY FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE. PAINTED DIAGONAL STRIPING AS SHOWN.
- NEW LANDSCAPE ISLAND AS SHOWN.
- SECURE VEHICLE STORAGE AREA.
- EXISTING 5' WIDE CONCRETE WALK FROM SIDEWALK TO PARKING LOT - PART OF 5' PEDESTRIAN WALKWAY TO BUILDING. SEE KEYED NOTE 28 ABOVE.
- 5' WIDE PEDESTRIAN WALKWAY FROM ACCESSIBLE PARKING TO BUILDING ENTRANCE.
- EXISTING CONCRETE WALK, FLUSH WITH ASPHALT PAVEMENT.
- NEW CURB & WALK - DIMENSIONS AS SHOWN.
- EXISTING 2' HIGH STEEL POST-AND-CABLE FENCE TO REMAIN.
- EXISTING 6' WIDE CONCRETE SIDEWALK TO REMAIN.
- EXISTING PROPERTY LINE.
- MINI CLEAR SIGHT TRIANGLE, 11' x 11'.
- BICYCLE LANE, 5' WIDE.
- NEW "KIA CERTIFIED PRE-OWNED" INTERNALLY LIGHTED MONUMENT SIGN BY PATTON SIGN GROUP, IN LOCATION OF EXISTING SIGN. SEE SIGN DETAIL 4/AS1.2.
- RAISED PLANTER. SEE SHEET AS2.1 & LANDSCAPE DRAWINGS.
- EVAPORATIVE COOLER SUPPORTED BY METAL STAND ON CONCRETE PAD. SEE MECHANICAL.
- LANDSCAPE AREA AS SHOWN.



VICINITY MAP



ZONING MAP

SITE DATA

LEGAL DESCRIPTION TRACTS B-1 & C-1, ADOBE WELLS SUBDIVISION	
SITE & BUILDING INFORMATION:	
SITE AREA:	
TRACT B-1	5.5923 AC +/-
TRACT C-1	0.4380 AC +/-
TOTAL	6.0303 AC +/-
BUILDING AREA:	
EXISTING FACILITY	17,649 SF
SHOWROOM ADDITION	278 SF
SERVICE ADDITION	5,724 SF
TOTAL	23,651 SF
ZONING CLASSIFICATION:	
TRACT B-1	NR-C (PREVIOUS CLASSIFICATION MX-M / NR-BP)
TRACT C-1	NR-C (PREVIOUS CLASSIFICATION NR-BP)
OVERLAY ZONE (BOTH PARCELS): CPO-2	
LAND USE:	
LIGHT VEHICLE SALES & RENTAL	
BUILDING RESTRICTIONS (UTILIZING NR-C REQUIREMENTS):	
MINIMUM LOT WIDTH:	N/A
MAXIMUM LOT BUILDING COVERAGE:	N/A
MINIMUM FRONT SETBACK:	5'
MINIMUM SIDE SETBACK:	0'
MINIMUM REAR SETBACK:	0'
MAXIMUM BUILDING HEIGHT:	38'
MINIMUM OFF-STREET PARKING (TABLE 5-5-1):	
LIGHT VEHICLE SALES & RENTAL: 2 SPACES / 1,000 SF	
23,651 SF / 1,000 x 2 = 48 SPACES	
PARKING PROVIDED:	
CUSTOMER PARKING	33
SERVICE PARKING	34
VEHICLE DISPLAY	136
VEHICLE INVENTORY	206
FENCED VEHICLE STORAGE	22
	431 SPACES
ACCESSIBLE PARKING REQUIRED (NMAC 14.7.2.19(D), T106.2):	
51-100 TOTAL PARKING SPACES REQUIRED: 4 ACCESSIBLE SPACES REQUIRED, 1 TO BE VAN ACCESSIBLE	
MINIMUM MOTORCYCLE PARKING (TABLE 5-5-4):	
91-100 SPACES: 3 MOTORCYCLE SPACES REQUIRED	
MINIMUM BICYCLE PARKING (TABLE 5-5-5):	
10% OF OFF-STREET VEHICLE PARKING SPACES, 3 MIN.	
67 / 10 = 6.7 7 BICYCLE SPACES REQUIRED	
MINIMUM PARKING & DRIVE DIMENSIONS PROVIDED:	
DRIVING AISLES:	25' WIDE
STANDARD VEHICLE PARKING SPACES:	8.5' x 18'
COMPACT VEHICLE PARKING SPACES:	7.5' x 15'
ACCESSIBLE PARKING SPACES:	9' x 20'
ACCESSIBLE PARKING ACCESS AISLES:	8' x 20'
MOTORCYCLE PARKING SPACES:	4' x 8'
BICYCLE PARKING SPACES:	4' x 8'

PROJECT NUMBER:

Application Number:

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date



CAMPBELL
ARCHITECTURE

3237 Jupiter Road
Las Cruces, NM 88002

DATE:	04.11.2025
ISSUE:	EPC SUBMITTAL REV2
PROJECT:	2025.05
FILE NAME:	AS1 SITE FOR EPC REV2
REV 1:	
REV 2:	
REV 3:	
REV 4:	

PITRE KIA OF ALBUQUERQUE
RENOVATIONS & ADDITIONS

9640 EAGLE RANCH ROAD NW
ALBUQUERQUE, NEW MEXICO 8714

ARCHITECTURAL
SITE PLAN

AS1.1



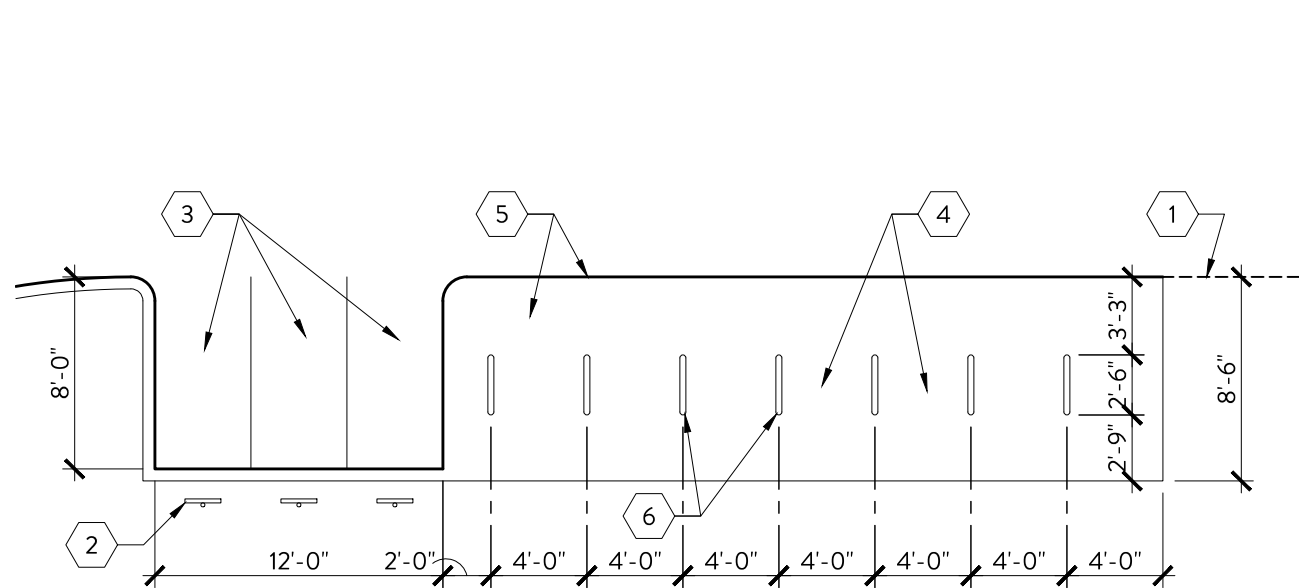
DATE:	04.11.2025
ISSUE:	EPC SUBMITTAL REV 2
PROJECT:	PITRE KIA OF ALBUQUERQUE
DATE PREPARED:	04.11.2025
DATE FOR EPC:	04.11.2025
REV 1:	
REV 2:	
REV 3:	
REV 4:	

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KEYED NOTES

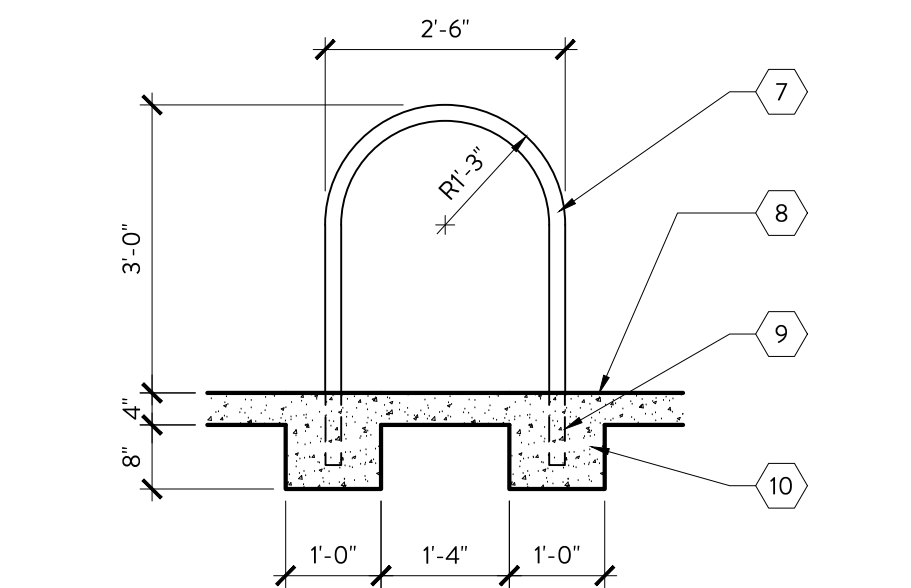
- EDGE OF ASPHALT. SEE CIVIL.
- MOTORCYCLE PARKING SIGNAGE.
- MOTORCYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
- BICYCLE PARKING SPACE - 4' WIDE x 8' DEEP.
- CONCRETE WALK & CURB. SEE CIVIL.
- BICYCLE RACK. SEE DETAIL 2/AS1.1.
- 2" DIA. SCH. 40 STEEL TUBE, PAINTED - PROFILE AS SHOWN.
- TOP OF FOOTING FLUSH WITH TOP OF CONCRETE WALK.
- SET TUBE LEGS 9" INTO CONCRETE FOOTING.
- 12" DIA. x 12" DEEP 3,000 PSI CONCRETE FOOTING.



ENLARGED PLAN AT BICYCLE & MOTORCYCLE PARKING

1/AS1.2

SCALE: 1/8" = 1'-0"



BICYCLE PARKING RACK DETAIL

2/AS1.2

SCALE: 1/2" = 1'-0"

KUSPS10

Scale: 3/8"=1'

Black edge always toward street >

Existing KPSN10 - To Be Removed

Specifications

**Will attempt to reuse existing foundation
Pattison ID to remove & scrap existing sign
Dealer to provide electrical prior to installation**

- Cladding – 4MM Kia Black and Metallic Silver ACM
- Kia Wordmark – Milled Aluminum and Plastic “Sandwich” Design with 7100K LED Illumination thru edge of filler
- Black edge always toward street >
- Accent Lighting – 7100K LED Illumination with 7328 White Polycarbonate Lens

Colors

- Black Kia ACM – Kia Midnight Black
- Metallic Silver Kia ACM – Alfrex Exotic Mica
- Accent Lighting Lens – 7328 White
- LED – 7100K White Illumination

Logo: 1.77 Sq. Ft.
Total: 40 Sq. Ft.

SIDE VIEW

"KIA" MONUMENT SIGN - TO BE LOCATED BY EAGLE RANCH ROAD / WESTSIDE BLVD. INTERSECTION

SCALE AS NOTED

KUSCPOM16

Scale: 1/4"=1'

Existing Monument - To Be Removed

Specifications

**Will attempt to reuse existing foundation
Pattison ID to remove & scrap existing sign
Dealer to provide electrical prior to installation**

- Aluminum Extruded Cabinet with Aluminum Pan Faces.
- Routed with clear acrylic push thru copy with 1st surface 3M Black vinyl.
- Illumination is 7100K LEDs with Power Supplies mounted in the cabinet.
- Faces hinged for service.
- Aluminum Brake-formed Base w/reveal.

Colors

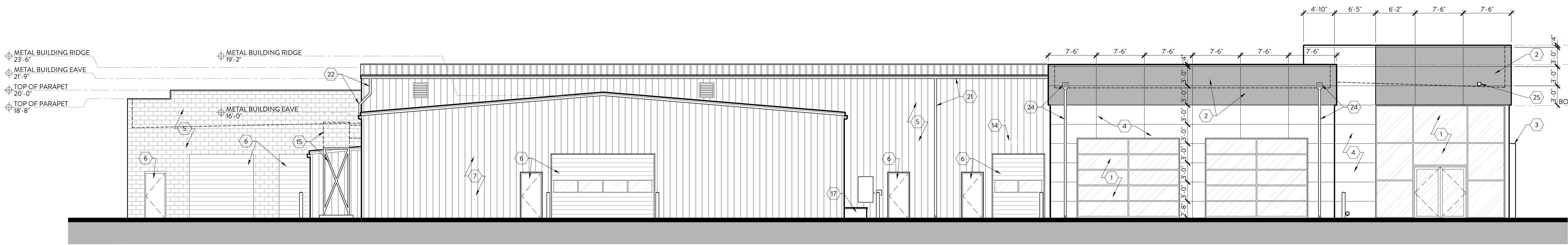
- Kia Midnight Black – Pantone 7547C
- Metallic Gray
- Kia Midnight Black Vinyl – Pantone 7547C
- White Paint – Glossy
- LED – 7100K White Illumination

Sign Head:
16.0 Sq.Ft.

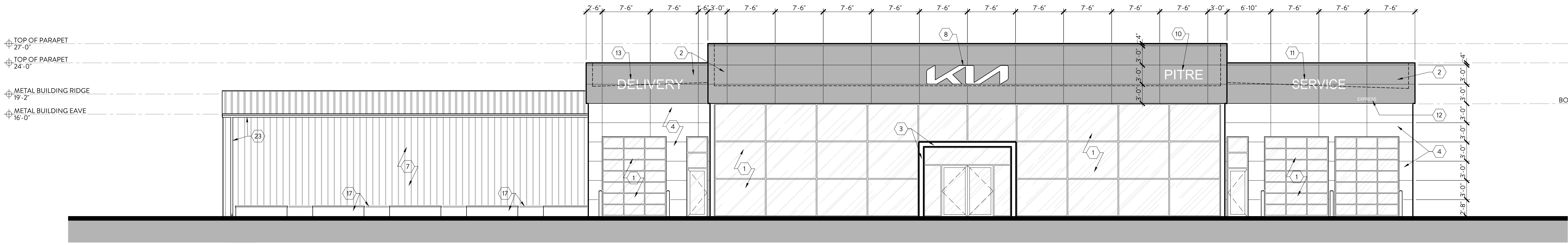
SIDE VIEW

"KIA CERTIFIED PRE-OWNED" MONUMENT SIGN - TO BE LOCATED BY EAGLE RANCH ROAD NEAR SW CORNER OF SITE

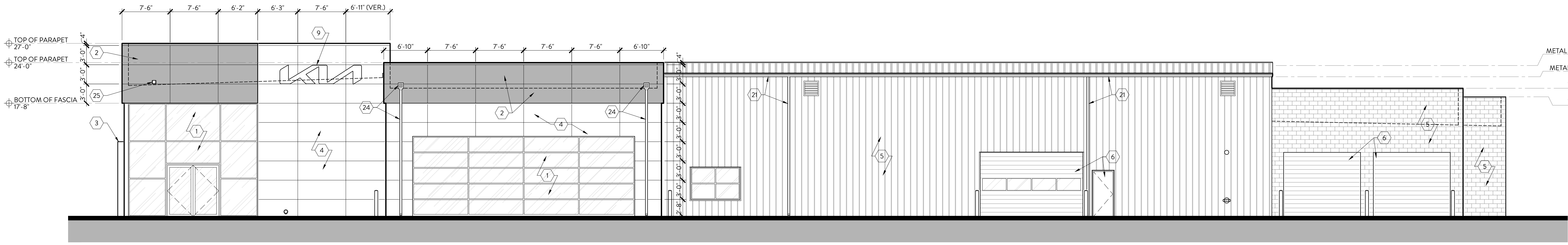
SCALE AS NOTED



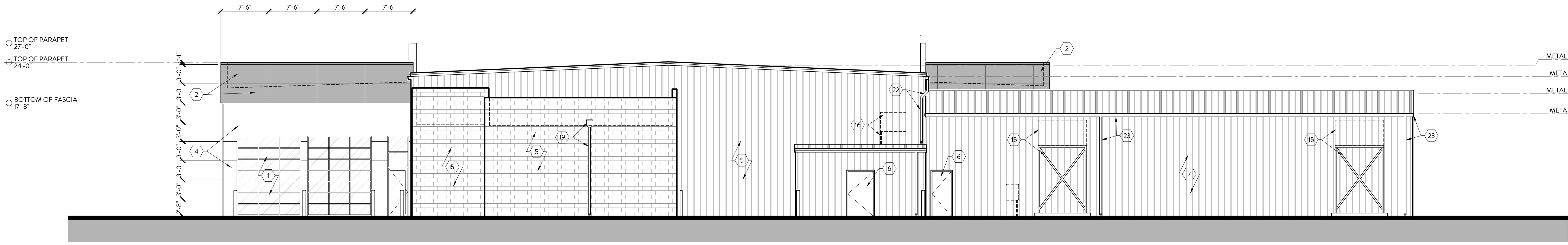
EAST ELEVATION
1/A2.1



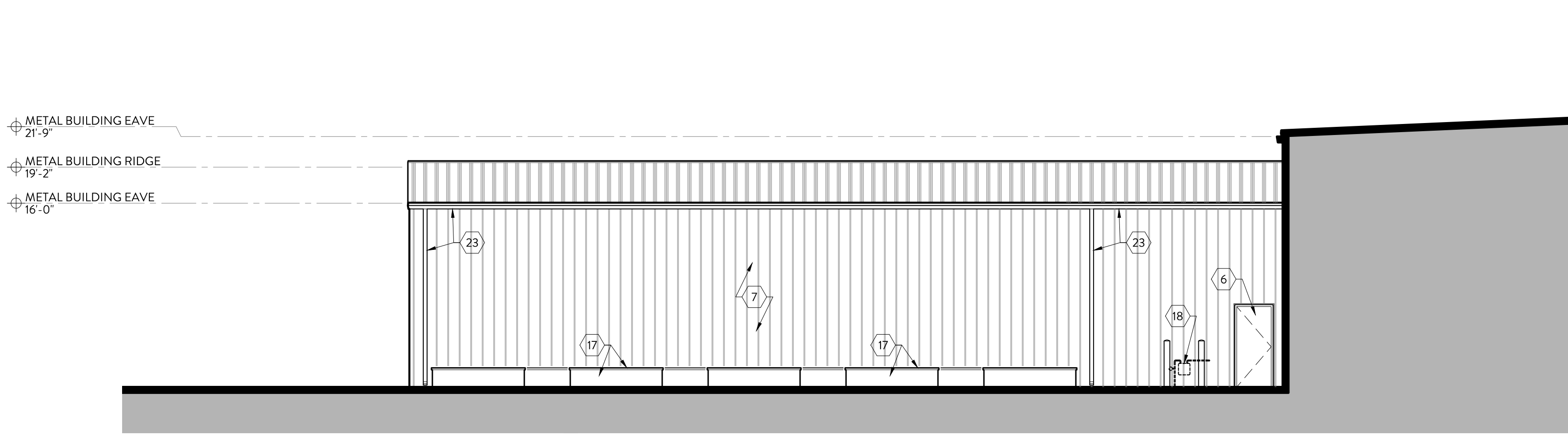
NORTH ELEVATION
2/A2.1



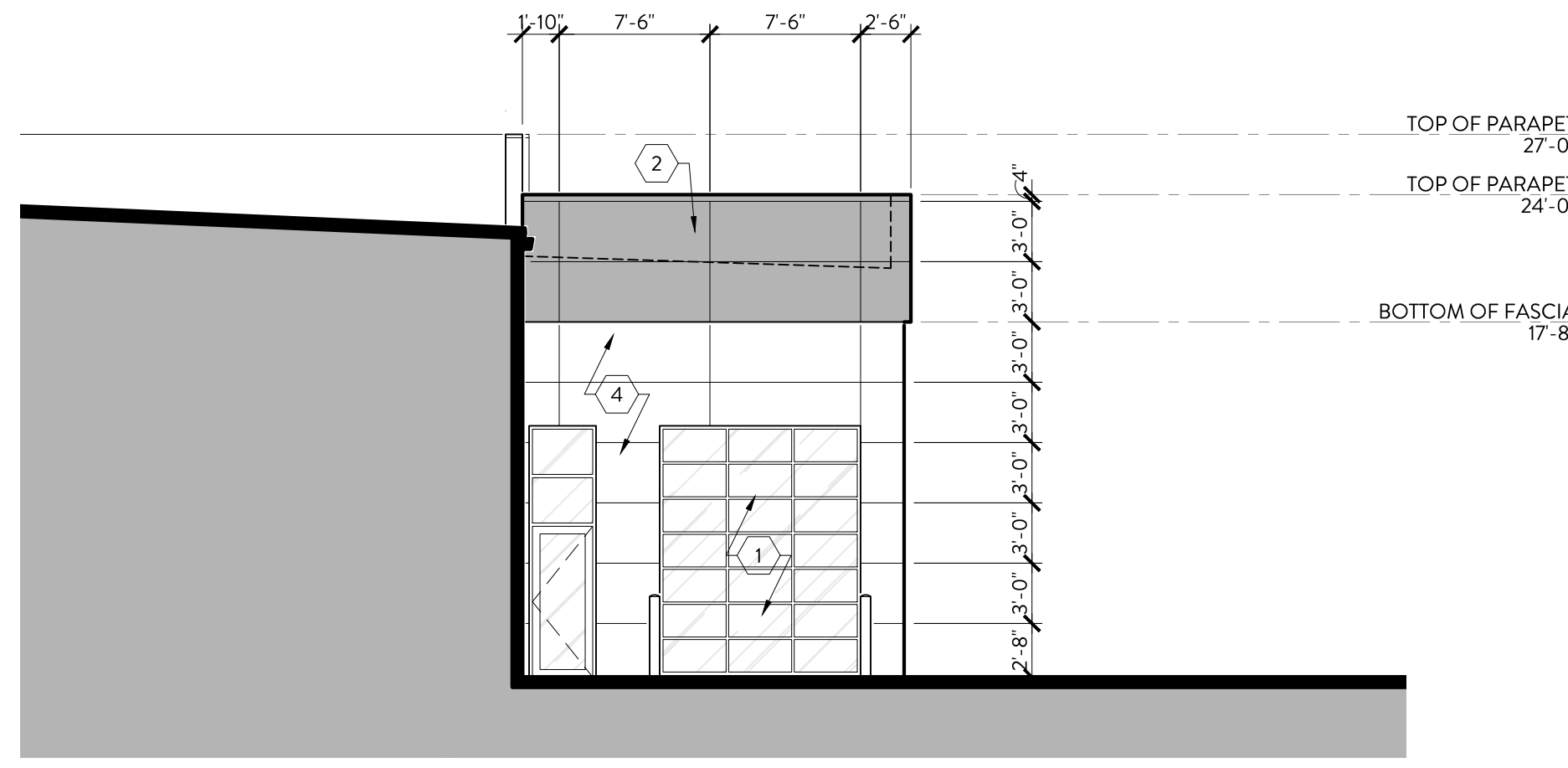
WEST ELEVATION
3/A2.1



SOUTH ELEVATION
4/A2.1



PARTIAL NORTH ELEVATION @ SERVICE ADDITION
5/A2.1



PARTIAL SOUTH ELEV. @ VEHICLE DELIVERY
6/A2.1

GENERAL NOTES

- ALL EXTERIOR FINISHES, MATERIALS, COLORS, SIGNAGE & GRAPHICS AS PER KIA CORPORATE DESIGN STANDARDS AS DESCRIBED IN ChangeUp DESIGN INTENT DOCUMENT. SEE FINISH SCHEDULES & SPECIFICATIONS.
- ALL EXTERIOR SIGNAGE, ENTRY PORTAL & ACM PANELS TO BE SUPPLIED & INSTALLED BY PATTISON SIGN GROUP.
- CONSTRUCTION DRAWINGS ARE IN PROGRESS AT THE TIME OF THIS SUBMITTAL. SOME ASSEMBLIES, CONDITIONS, DETAILS AND/OR DIMENSIONS MAY BE SUBJECT TO MINOR MODIFICATIONS AS THE CONSTRUCTION DRAWINGS ARE FINALIZED. PLEASE REFER TO BUILDING PERMIT DRAWINGS FOR COMPLETED DESIGN.
- ROOF-MOUNTED HVAC UNITS SERVING SHOWROOM & OFFICES ARE ENTIRELY CONCEALED BEHIND PARAPETS & NOT VISIBLE FROM THE STREET.

KEYED NOTES

- ALUMINUM STOREFRONT GLAZING SYSTEM & DOORS, CLEAR ANODIZED FINISH. CLEAR LOW-IRON LOW-E INSULATED GLAZING.
- ALUMINUM COMPOSITE PANEL SYSTEM - ALPOLIC / FR. COLOR: TOB BLACK.
- ALUMINUM COMPOSITE PANEL SYSTEM - ALPOLIC / FR. COLOR: 85X SILVER METALLIC.
- DRYVIT OUTSULATION PLUS MDY EIFS WITH MOISTURE DRAINAGE. COLOR: TO MATCH BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
- REPAINT EXISTING METAL BUILDING WALL PANELS & CMU WALLS. COLOR: BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
- PAINT NEW & EXISTING HOLLOW METAL DOORS & FRAMES & METAL ROLL-UP DOORS. COLOR: BENJAMIN MOORE BM HC-169 COVENTRY GRAY.
- NEW METAL BUILDING WALL PANELS, MATCH COLOR OF REPAINTED EXISTING METAL BUILDING PANELS.
- EG-1 FRONT LOGO, METALLIC SILVER FINISH, 2" DEEP LETTERS WITH BACKLIT STAND-OFF, 12'-9" W x 3'-0" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-2 SIDE LOGO, METALLIC SILVER FINISH, 2" DEEP LETTERS WITH BACKLIT STAND-OFF, BACKLIT 12'-9" W x 3'-0" H, SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-3 'ANYTOWN' DEALER NAME SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 7'-10" W x 2'-0" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-4 SERVICE SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 8'-3" W x 1'-6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-4 EXPRESS SIGN, 3" DEEP LETTERS, DIE-CUT METAL, 2'-11" W x 6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- EG-5 DELIVERY SIGN, 3" DEEP LETTERS, METALLIC VINYL PERFORATED SILVER FINISH, INTERNALLY LIT, 10'-2" W x 1'-6" H. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- PARTS SIGN, CONSTRUCTION TO MATCH EG-4 EXPRESS SIGN, 3'-0" W x 8" HIGH. SUPPLIED BY PATTISON SIGN GROUP, NO EXCEPTIONS.
- NEW ROOF MOUNTED EVAPORATIVE COOLER ON STEEL STAND, PAINTED. SEE MECHANICAL. NOTE: VIEW OF THESE UNITS FROM THE STREET IS COMPLETELY OBSCURED BY THE BUILDING.
- EXISTING ROOF MOUNTED EVAPORATIVE COOLER ON STEEL STAND. REPAINT STAND. NOTE: VIEW OF THIS UNIT FROM THE STREET IS COMPLETELY OBSCURED BY THE BUILDING.
- PLANTER. SEE ARCHITECTURAL SITE PLAN.
- RELOCATED GAS METER & SERVICE ENTRANCE. SEE CIVIL.
- EXISTING ROOF RUNOFF DOWNSPOUT TO BE REPAINTED.
- NEW ROOF RUNOFF DOWNSPOUT, PAINTED. SEE ROOF DETAILS (SHEET A6.1).
- EXISTING METAL BUILDING GUTTER & DOWNSPOUT. REPAIR AS REQUIRED, REPAINT.
- RE-ROUTE EXISTING METAL BUILDING DOWNSPOUT TO ACCOMMODATE ADDITION.
- NEW METAL BUILDING GUTTER & DOWNSPOUT.
- NEW ROOF RUNOFF LEADER HEAD & DOWNSPOUT. SEE ROOF PLAN (SHEET A1.5) & ROOF DETAILS (SHEET A6.1).
- ROOF OVERFLOW SCUPPER. SEE ROOF PLAN (SHEET A1.5) & ROOF DETAILS (SHEET A6.1).



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3237 Jupiter Road
Las Cruces, NM 88012

DATE:	04.11.2025
ISSUE:	EPC SUBMITTAL REV2
PROJECT:	2025.05
PROJECT NAME:	ALBU SITE FOR EPC REV2
REV 1:	
REV 2:	
REV 3:	
REV 4:	

PITRE KIA OF ALBUQUERQUE
RENOVATIONS & ADDITIONS

9640 EAGLE RANCH ROAD NW
ALBUQUERQUE, NEW MEXICO 8714

EXTERIOR
ELEVATIONS

A2.1

ELECTRICAL SYMBOL LEGEND (ALL SYMBOLS SHOWN ARE NOT NECESSARILY USED ON THE DRAWINGS)			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	CROSSHATCHING DEPICTS ITEMS TO BE REMOVED (LIGHT FIXTURES, SWITCHES, RECEPTACLES, CONDUIT AND WIRING, ETC.)		CEILING JUNCTION BOX.
	HOME-RUN CONDUIT.		WALL JUNCTION BOX.
	CONDUCTOR TICK MARKS: NEUTRAL, PHASE, SWITCHED, AND GROUND CONDUCTORS RESPECTIVELY.		DUPLEX RECEPTACLE, 18" AFF U.N.O. (#) INDICATES CIRCUIT.
	CAPPED CONDUIT / CONDUIT STUB-OUT.		GFCI PROTECTED DUPLEX RECEPTACLE. RECEPTACLES WITH TRIP RESET SHALL BE IN READILY ACCESSIBLE LOCATION.
	CONDUIT SEAL.		TAMPER RESISTANT RECEPTACLE.
	ELECTRICAL KEY NOTE TAG.		QUADPLEX RECEPTACLE, 18" AFF TO CENTER.
	KITCHEN ITEM TAG, SEE KITCHEN EQUIPMENT ELECTRICAL CONNECTION SCHEDULE		GROUND FAULT CIRCUIT INTERRUPTER (GFCI) DUPLEX RECEPTACLE WITH WEATHER-RESISTANT (WR) COVER.
	MECHANICAL UNIT TAG (EXAMPLE: BOILER B-2 INDICATED). SEE MECHANICAL EQUIPMENT SCHEDULE.		SPLIT-WIRED DUPLEX RECEPTACLE
	OWNER FURNISHED, CONTRACTOR INSTALLED.		CEILING MOUNTED DUPLEX RECEPTACLE.
	OVERHEAD PRIMARY ELECTRICAL LINE.		SPECIAL RECEPTACLE, TYPE AS NOTED.
	PRIMARY ELECTRICAL UNDERGROUND FEEDER.		FLUSH FLOOR MOUNTED DUPLEX RECEPTACLE.
	EQUIPMENT GROUND.		ISOLATED GROUND DUPLEX RECEPTACLE
	ABOVE FINISH FLOOR.		DUPLEX RECEPTACLE WITH BUILT-IN USB CHARGER OUTLET.
	ABOVE COUNTER.		GANGABLE 3-COMPARTMENT MEDIA CENTER.
	WEATHER-RESISTANT.		CABLE TRAY.
	GROUND FAULT CIRCUIT INTERRUPTER.		MULTI-RECEPTACLE RACEWAY (PLUGMOLD).
	AUTHORITY HAVING JURISDICTION.		SURFACE MOUNTED PANELBOARD, REFER TO ASSOCIATED PANEL SCHEDULE.
	UNLESS NOTED OTHERWISE.		FLUSH MOUNTED PANELBOARD, REFER TO ASSOCIATED PANEL SCHEDULE.
	SINGLE-POLE WALL SWITCH, SUBSCRIPT DESIGNATES CONTROL OF PARTICULAR LIGHTING FIXTURES		DISTRIBUTION POWER PANEL, REFER TO ASSOCIATED PANEL SCHEDULE.
	THREE-WAY AND FOUR-WAY SWITCHES, RESPECTIVELY.		DRY-TYPE, STEP-DOWN / STEP-UP TRANSFORMER.
	WEATHER-RESISTANT SWITCH.		NON-FUSED DISCONNECT SWITCH, NEMA 3R IF OUTSIDE, AMPS / POLES INDICATED.
	KEY-OPERATED SWITCH.		FUSED DISCONNECT SWITCH, NEMA 3R IF OUTSIDE, AMPS/ POLES / FUSE SIZE INDICATED.
	DIMMER SWITCH, 1200W MINIMUM WATTAGE.		MOTOR STARTER.
	MECHANICALLY WOUND TWIST-TIMER SWITCH OR ELECTRONIC TIME SWITCH.		COMBINATION MOTOR STARTER/FUSED DISCONNECT SWITCH, NEMA 3R IF OUTSIDE.
	THERMAL SWITCH.		MOTOR, HP SIZE AS INDICATED, "F" = FRACTIONAL HORSEPOWER.
	OCCUPANCY SENSOR SWITCH.		CLOCK.
	DUAL-TECHNOLOGY OCCUPANCY DIMMER SWITCH.		COMBINATION CLOCK/SPEAKER UNIT.
	DUAL-TECHNOLOGY OCCUPANCY SENSOR WITH FAN DELAY CONTROL.		SPEAKER, CEILING MOUNTED
	3-WAY / MULTI-WAY OCCUPANCY SENSOR SWITCH.		SURFACE MOUNTED SOUND SYSTEM SPEAKER.
	EVAPORATIVE COOLER SWITCH.		MICROPHONE OUTLET.
	PADDLE FAN / LIGHT CONTROL SWITCHES, SWITCHES ALLOW INDEPENDENT CONTROL OF FAN SPEED AND LIGHTING.		CALL-IN SWITCH (PUSH-TO-CALL) FOR INTERCOM SYSTEM.
	PILOT SWITCH.		THERMOSTAT
	LIGHTING CONTROL OCCUPANCY SENSOR, CEILING MOUNTED.		COMBINATION VOICE/DATA OUTLET, UP 18" U.N.O.
	PHOTOCELL.		FLUSH CEILING VOICE/DATA OUTLET.
	DAYLIGHT HARVESTING PHOTOSENSOR, CEILING MOUNTED.		FLUSH FLOOR VOICE/DATA OUTLET.
	2'X4' LAY-IN LIGHTING FIXTURE (TROFFER), TYPE INDICATED BY LETTER (TYPICAL).		CATV OUTLET
	"EM" INDICATES LIGHTING FIXTURE IS SUPPLIED WITH AN EMERGENCY BATTERY PACK.		SURVEILLANCE CAMERA PTZ = PAN, TILT, ZOOM. WEATHER-RESISTANT IF LOCATED ON BUILDING EXTERIOR.
	1'X4' SURFACE MOUNTED LIGHTING FIXTURE.		EMERGENCY PUSH BUTTON.
	1'X4' RECESSED (FLANGED) MOUNTED LIGHTING FIXTURE.		PROJECTOR.
	2'X2' LAY-IN LIGHTING FIXTURE (TROFFER).		DOOR ACCESS CARD READER.
	UTILITY STRIP FIXTURE.		INTERCOM HEAD-END UNIT.
	LINEAR PENDANT MOUNTED LIGHTING FIXTURE, LENGTH AS INDICATED.		DOORBELL SYSTEM PUSHBUTTON.
	4' WALL BRACKET MOUNTED LIGHTING FIXTURE.		DOORBELL/CHIME.
	WALL BRACKET LIGHTING FIXTURE.		MAGNETIC DOOR LOCK.
	POLE MOUNTED AREA LIGHTING FIXTURE, SINGLE-HEAD.		WIRELESS ACCESS POINT.
	POLE MOUNTED AREA LIGHTING FIXTURE, DOUBLE-HEAD.		DOOR OPERATOR PUSH-PAD UNIT (ADA COMPLIANT).
	RECESSED DOWNLIGHT FIXTURE.		MODULAR FURNITURE POWER CONNECTION POINT.
	SURFACE MOUNTED DRUM TYPE LIGHTING FIXTURE.		MOTION SENSOR FOR SECURITY/INTRUSION ALARM SYSTEM.
	BOLLARD LIGHTING FIXTURE.		SECURITY/INTRUSION ALARM SYSTEM DOOR SWITCH.
	HIGH-BAY LIGHTING FIXTURE.		FIRE ALARM DUCT SMOKE DETECTOR.
	LOW-BAY LIGHTING FIXTURE.		FIRE ALARM STROBE UNIT.
	FLUSH IN-GROUND LIGHTING FIXTURE.		FIRE ALARM AUDIO/STROBE UNIT.
	WALL SCONCE LIGHTING FIXTURE.		FIRE PROTECTION SPRINKLER SYSTEM POST INDICATOR VALVE.
	STEP LIGHT LIGHTING FIXTURE.		FIRE ALARM SMOKE DETECTOR.
	PENDANT HUNG DECORATIVE LIGHTING FIXTURE.		CEILING MOUNTED FIRE ALARM AUDIO/STROBE UNIT.
	GOOSENECK MOUNTED LIGHTING FIXTURE.		FIRE ALARM MANUAL PULL STATION.
	TRACK MOUNTED LIGHTING ASSEMBLY, ONE FIXTURE HEAD INDICATED.		FIRE ALARM CONTROL PANEL (FACP).
	TWIN-EYE EMERGENCY LIGHTING UNIT WITH BATTERY BACK-UP. TYPE "EM", REFER TO LUMINAIRE SCHEDULE.		FIRE ALARM REMOTE ANNUNCIATOR (FARA).
	EXTERIOR EMERGENCY LIGHTING UNIT WITH BATTERY BACK-UP. TYPE "WEM", REFER TO LUMINAIRE SCHEDULE.		RELAY INTERFACE
	EXIT SIGN, DOUBLE-FACED, DIRECTIONAL ARROWS INDICATED.		
	COMBO EXIT SIGN/EMERGENCY TWIN-EYE UNIT TYPE "XEM", REFER TO LUMINAIRE SCHEDULE.		
	PADDLE FAN, WITH OR WITHOUT LIGHT PER LUMINAIRE SCHEDULE.		
	J-BOX WITH FLEXIBLE CONDUIT CONNECTION TO LAY-IN LIGHTING FIXTURES.		

ELECTRICAL GENERAL NOTES

- A. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2020 NATIONAL ELECTRICAL CODE (NEC) AND REGULATIONS OF STATE AND LOCAL AUTHORITIES HAVING JURISDICTION (AHJ) IN A NEAT AND WORKMANLIKE MANNER.

B. CONTRACTOR SHALL COORDINATE WITH SERVING UTILITY COMPANY NEW SERVICE DEPARTMENT AND OBTAIN A PROJECT SPECIFIC "STANDARDS LETTER" PRIOR TO BIDDING, ORDERING, OR COMMENCING WITH THE ELECTRICAL DISTRIBUTION PORTION OF THIS PROJECT.

C. ALL REQUIREMENTS OF THE SERVING UTILITY COMPANY FOR ELECTRICAL SERVICE SHALL BE INCLUDED IN THE CONTRACTOR'S BID.

D. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PROVIDING TELEPHONE, CATV, AND INTERNET IN ORDER TO ASCERTAIN JOB SPECIFIC UTILITY REQUIREMENTS AND COMPLIANCE WITH THOSE REQUIREMENTS SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO ENSURE SERVICE TO EACH DEMARCATION.

E. BY SUBMITTING A BID, THE CONTRACTOR AFFIRMS THEY HAVE FAMILIARIZED THEMSELVES WITH THE PROJECT SITE, PLANS, SPECIFICATIONS AND ALL APPLICABLE CODES IN ORDER TO PROVIDE A COMPREHENSIVE AND COMPLETE BID.

F. ALL DEVICES SHALL BE WHITE WITH STAINLESS STEEL PLATES, INSTALLED FOR ADA COMPLIANCE UNLESS NOTED OTHERWISE. RECEPTACLES SHALL ALL BE RATED FOR THEIR INTENDED USE AND TAMPER RESISTANT AS REQUIRED BY NEC 406.

G. ALL TELEPHONE, DATA, SECURITY, CATV, SOUND AND INTERCOM LOW VOLTAGE SYSTEMS ARE PROVIDED BY OTHERS UNLESS NOTED OTHERWISE. NOTE: * LOW VOLTAGE CONTRACTORS ARE REQUIRED TO OBTAIN INDEPENDENT PERMITS FROM THE AHJ PRIOR TO STARTING THEIR WORK.

H. UTILIZE "DEEP" 4-SQUARES WHERE REQUIRED TO COMPLY WITH NEC 314.16 EXTRA CONSIDERATION SHALL BE GIVEN TO BOXES SUPPLYING HOME-RUNS.

I. CONFIRM EXACT ROUGH-IN DIMENSIONS WITH ARCHITECTURAL DRAWINGS, AND APPLICABLE KITCHEN/APPLANCE EQUIPMENT, AND FURNITURE/MILL-WORK PLAN(S). EXTRA CARE SHALL BE EXERCISED IN COORDINATING THE EXACT REQUIREMENT(S) OF SPECIALTY EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, PLUMBING EQUIPMENT, MEDICAL EQUIPMENT, OR PROCESSING EQUIPMENT.

ALL PENETRATIONS IN FIRE RATED WALLS, PARTITIONS, FLOORS, OR CEILINGS SHALL BE SEALED WITH FIRE STOPPING MATERIAL OR OTHER APPROVED METHOD(S) TO MAINTAIN THE FIRE RATED ASSEMBLY PER NEC 300.21. REFER TO ARCHITECTURAL DRAWINGS FOR THE LOCATIONS OF WALL AND FLOOR ASSEMBLIES.

ELECTRICAL DEVICES INSTALLATION SHALL COMPLY WITH ACCESSIBILITY (ADA) STATUTE (ICC/ANSI 117.1 SECTION 308, SPECIFICALLY MOUNT APPLICABLE SWITCHES, RECEPTACLES, AND ENVIRONMENTAL CONTROLS SO THAT THEY ARE LOCATED WITH THE TOP OF THE DEVICE NO HIGHER THAN 48" ABOVE FINISHED FLOOR (AFF) AND THE BOTTOM OF THE DEVICE NO LOWER THAN 15" AFF.
- J. GENERAL CONTRACTOR TO SAW-CUT / REMOVE / PATCH EXISTING ARCHITECTURAL SURFACES INCLUDING BUT NOT LIMITED TO SLABS, WALLS AND ROOFS.

K. SHARED NEUTRALS ARE NOT PERMISSIBLE UNLESS NOTED OTHERWISE.

L. CONDUCTOR TICK MARKS, WHERE SHOWN, ARE SHOWN FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL CONDUCTORS WHETHER SHOWN OR NOT INCLUDING "TRAVELERS" AND DIMMING CONDUCTORS AS NECESSARY FOR COMPLETELY OPERATIONAL SYSTEMS.

M. BRANCH CIRCUITING SHALL BE COPPER WIRE IN MC CABLE UNLESS SPECIFICALLY NOTED OTHERWISE. MINIMUM WIRE SIZE IS #12 AVG. WHEN CONDUIT IS UTILIZED, ALL FITTINGS SHALL BE COMPRESSION TYPE AND COLOR CODING VINYL BANDS IDENTIFYING DIFFERENT SYSTEMS SHALL BE AFFIXED AT EACH BOX, PANELBOARD, AND EVERY ACCESSIBLE 10'-0"

N. THE ELECTRICAL CONTRACTOR SHALL INSTALL ALL CONDUIT REQUIRED FOR MECHANICAL SYSTEMS CONTROLS. ALL CONTROLS WIRING SHALL BE INSTALLED AND TERMINATED BY CONTROLS CONTRACTOR. COORDINATE LOCATION AND ROUTING OF CONTROLS CONDUIT WITH MECHANICAL PLANS AND WITH MECHANICAL SEQUENCE OF CONTROLS.

O. ALL PANELS AND DISTRIBUTION BOARDS, NEW/EXISTING SHALL HAVE TYPEWRITTEN DIRECTORIES AND EQUIPMENT I.D. NAMEPLATES UPON COMPLETION OF ANY ELECTRICAL MODIFICATIONS UNDER THIS CONTRACT.

P. CONTRACTOR SHALL CONSIDER AND MAKE ADJUSTMENTS IN CONDUIT/WIRE SIZE(S) TO ACCOUNT FOR VOLTAGE DROP PRIOR TO COMMENCING WITH WORK UNDER THIS CONTRACT. VOLTAGE DROP SHALL NOT EXCEED THE FOLLOWING IN ACCORDANCE WITH IECC 2018 C405.9:

FEEDERS = 2% BRANCH WIRING = 3%

Q. CONTRACTOR SHALL COMPLY WITH NEC 110.16. AFTER PERMANENT ARC-FLASH HAZARD WARNING LABEL(S) ON ALL APPLICABLE ELECTRICAL EQUIPMENT MODIFIED OR INSTALLED UNDER THIS CONTRACT.

R. FOR ELECTRICAL DISTRIBUTION SYSTEMS HAVING A MAIN DISCONNECT RATING OF 1,000-AMPS OR MORE, CONTRACTOR SHALL OBTAIN THIRD PARTY OVER-CURRENT PROTECTION STUDY. ALL OVER-CURRENT DEVICES SHALL BE "SET" OR ADJUSTED TO COMPLY WITH COORDINATION STUDY PRIOR TO FINAL COMMISSIONING. A FULL COPY OF THE COMPLETED STUDY ALONG WITH CONTRACTOR'S CERTIFICATION OF COMPLIANCE SHALL BE INCLUDED IN THE PROJECT'S "CLOSE-OUT" DOCUMENTATION.

S. ALL EQUIPMENT AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT SHALL BE WARRANTABLE TO BE FREE FROM ANY DEFECT FOR A PERIOD EQUAL TO 1-YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.

IECC ELECTRICAL & LIGHTING COMPLIANCE

- THE ELECTRICAL DESIGN ILLUSTRATED BY THESE PLANS AND SPECIFICATIONS IS IN COMPLIANCE WITH THE 2021 INTERNATIONAL ENERGY CONSERVATION CODE SECTION(S) C405, C408, C501-5, CB103.3, CB103.8, 402.4.5, 402.4.6, R404, R501-5, AND R502, AS SPECIFICALLY APPLICABLE TO THIS PROJECT AS FOLLOWS:
1. C405.2 - LIGHTING CONTROLS (MANDATORY)

A. REFER TO LIGHTING PLAN(S) AND/OR DETAIL(S) FOR PROJECT REQUIREMENTS.

2. C405.3 - INTERIOR LIGHTING POWER REQUIREMENTS

A. TABLE C405.3.2(1)

ALLOWABLE INTERIOR POWER FOR THE SCOPE OF THIS PROJECT IS: 10,491 WATTS
ACTUAL INTERIOR POWER IS: 9,574 WATTS

3. C405.4 - EXTERIOR LIGHTING POWER REQUIREMENTS (MANDATORY)

A. TABLE C405.5.2(1)

- THIS PROVIDE IS IN LIGHTING ZONE # 2.

B. TABLE 405.5.2(2)

- BASE SITE ALLOWANCE: 400W

- PARKING AREAS AND DRIVES: 0.04 W/FT²

- WALKWAYS/RAMPS < 10'-0" WIDE: 0.5W/LINEAR FT

- WALKWAYS/RAMPS > 10'-0" WIDE, PLAZA AREAS, SPECIAL FEATURE AREAS: 1.10 W/FT²

- PEDESTRIAN AND VEHICULAR ENTRANCES AND EXITS: 14W/LINEAR FT

- ENTRY CANOPIES: 0.25W/FT²

C. TABLE 405.5.2(3)

- BUILDING FACADES: 0.075W/FT OF GROSS ABOVE-GRADE WALL AREA

ALLOWABLE EXTERIOR POWER FOR THIS PROJECT IS: 15,564 WATTS
EXISTING EXTERIOR POWER IS: 10,050 WATTS
REVISED EXTERIOR POWER IS: 6,270 WATTS

4. C405.6 - ELECTRICAL TRANSFORMER (MANDATORY)

A. LOW VOLTAGE DRY-TYPE DISTRIBUTION ELECTRICAL TRANSFORMERS SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENTS AS TESTED AND RATED IN ACCORDANCE WITH DOE 10 CFR 431.

B. C405.7

- REFER TO SINGLE LINE DIAGRAM ON SHEET E-600 FOR TRANSFORMER(S) APPLICABLE TO THIS PROJECT.

5. C405.10 - VOLTAGE DROP IN FEEDERS AND BRANCH CIRCUITS

A. REFER TO GENERAL NOTE "P" FOR PROJECT VOLTAGE DROP LIMITATIONS.

6. C405.11 - AUTOMATIC RECEPTACLE CONTROL (MANDATORY)

A. REFER TO POWER PLAN(S) AND/OR DETAILS FOR PROJECT REQUIREMENTS.

7. C405.13 - ELECTRIC VEHICLE POWER TRANSFER INFRASTRUCTURE.

A. TABLE C405.31.1 - REQUIRED EV POWER TRANSFER INFRASTRUCTURE.

- REFER TO ELECTRICAL SINGLE LINE DIAGRAM ON SHEET E-600 FOR EVE AND EV CAPABLE REQUIREMENTS APPLICABLE TO THIS PROJECT.

8. C408.3 - FUNCTIONAL TESTING AND DOCUMENTATION OF LIGHTING CONTROLS.

A. THE CONTRACTOR OR FACTORY AUTHORIZED COMMISSIONING AGENT SHALL DELIVER TO THE ENGINEER OF RECORD EVIDENCE OF THE LIGHTING CONTROLS HAVING BEEN TESTED AND PERFORMING PROPERLY PRIOR TO OBTAINING FINAL INSPECTION FROM THE AHJ.

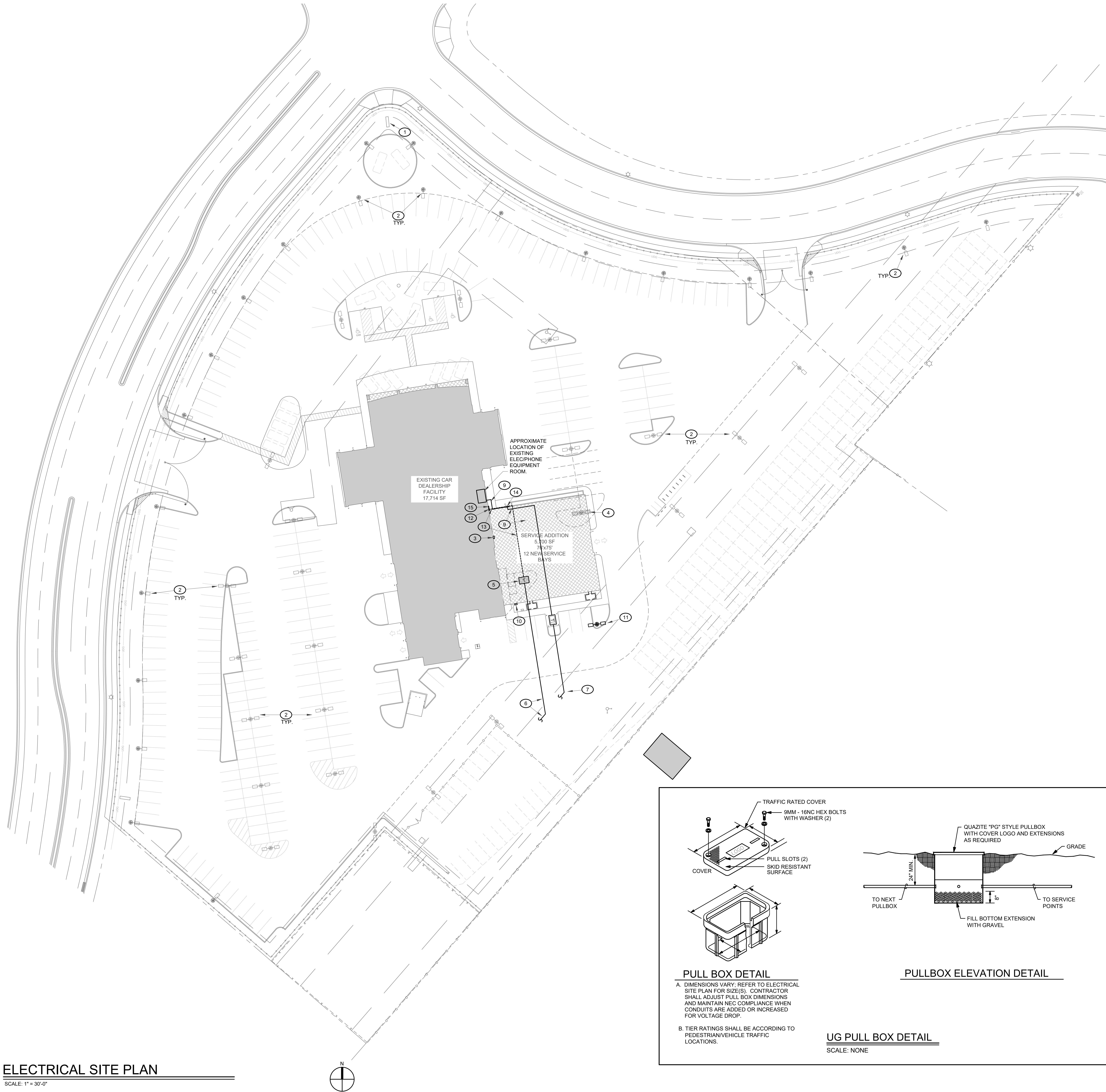
B. THE CONTRACTOR SHALL DELIVER TO THE OWNER, WITH A COMPLETE COPY DELIVERED TO THE ENGINEER OF RECORD, AS PART O ITS CLOSE-OUT PACKAGE FULLY DETAILED, LEGIBLE, AS-BUILT DRAWINGS AND THE FOLLOWING IN SATISFACTION OF THE ARTICLE(S) REFERENCED HEREIN:

- C408.3.2.1 - LIGHTING CONTROL DRAWINGS.

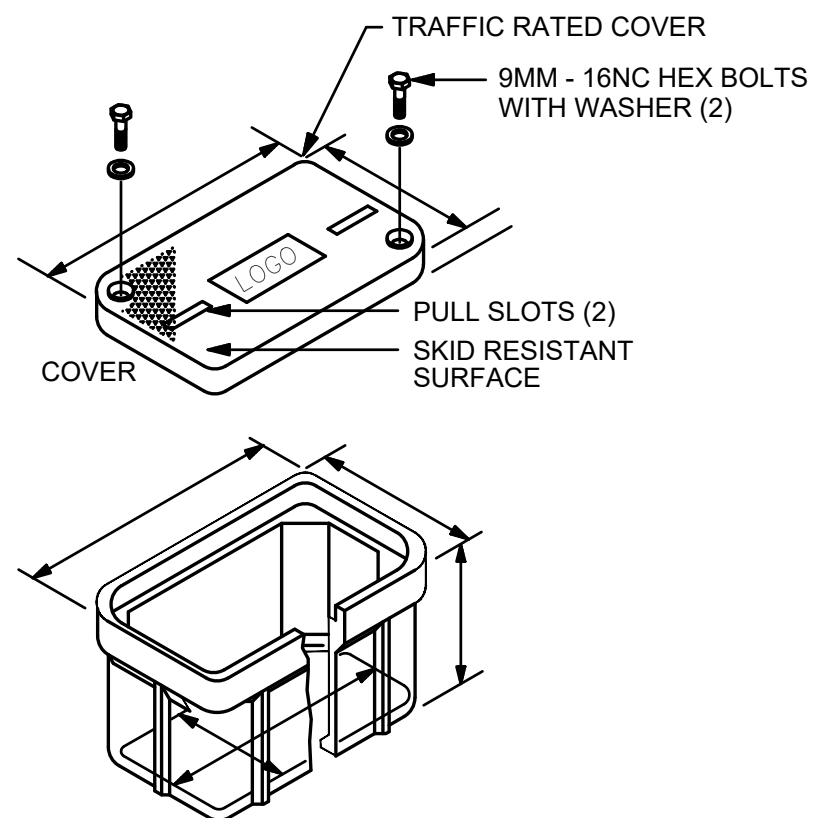
- C408.3.2.2 - LIGHTING CONTROL MANUALS.

- C408.3.2.3 - LIGHTING CONTROL REPORT.

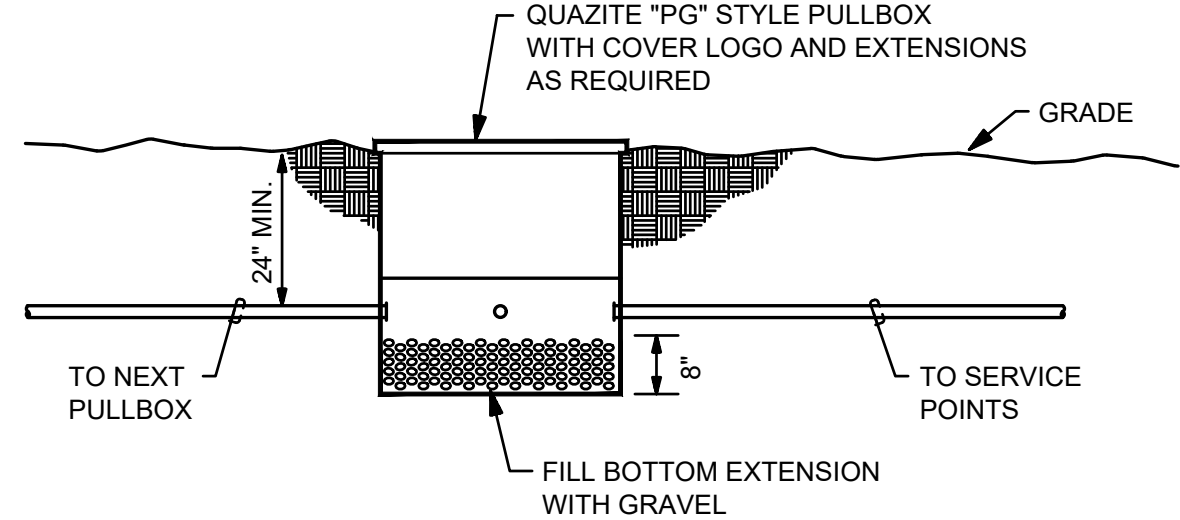
LUMINAIRE SCHEDULE																	
24068 PITRE KIA ABQ RENOVATION & ADDITION																	
TYPE	MANUFACTURER	CATALOG NUMBER	LAMP(S), DRIVER(S), SETTING(S)				DESCRIPTION	LOCATION	COLOR		APPROX. SIZE	VOLT.	LUMENS	MOUNTING	COMMENTS		
			CRI	WATTS	TYPE	TEMP.											
A	LI ILLUMINATION	EF 408D 40C 9240 N	92	40	LED	4000K	-	SPOTLIGHT CHANNEL	SHOWROOM	BLACK	N/A	6" DIA	UNV	3500	RECESSED		
B	LEDALITE	230 1 L 940 30 Q 3 3 XX	90	10	WFT	LED	4000K	-	LINEAR	VARIOUS GYP CEILINGS	WHITE	N/A	1.75" X LENGTH PER PLANS	UNV	750FT	RECESSED	
C2	FORUM	ARCD 33 95 40 WOL H REC VCC WROUND CORNERS	90+	9	WFT	LED	4000K	-	RECTANGLE	FOCAL VEHICLE	SATIN ANODIZED / SILVER	N/A	15.5" X 8.9"	UNV	950FT	SUSPENDED 10'-0"	WHITE MOUNTING CANOPY FINISH
D2	AMERLUX	E4 75R NC A17 T 16 VOLTS 0-10V SD FL 409	90+	16	LED	4000K	-	TRIMLESS DOWNLIGHT	VARIOUS GYP CEILINGS	CLEAR	TRIMLESS	6" DIA	UNV	1200	RECESSED	25 DEGREE	
D3	AMERLUX	E4 75R NC A17 T 16 VOLTS 0-10V SD FL 409	90+	29	LED	4000K	-	TRIMLESS DOWNLIGHT	VARIOUS GYP CEILINGS	CLEAR	TRIMLESS	6" DIA	UNV	2100	RECESSED	40 DEGREE	
D4	AMERLUX	E2 3RD HP T 11 120 X 1-10V T CLC NF 40	80+	11	LED	4000K	-	DOWNLIGHT	MERCHANDISING AREA	CLEAR	TRIMLESS	3" DIA	UNV	700	RECESSED	20 DEGREE	
F	FORUM	SAD 44 95 40 WOL H 20' UNV VM	80+	8.9	WFT	LED	4000K	-	LINEAR	SERVICE RECEPTION	WHITE	N/A	4" X 4" X LENGTH PER PLAN	UNV	950FT	SUSPENDED SYSTEM	
F1	LSI	LSI AL12 2LEDSE18L LL WUNV 40 MHCH10	80+	118	LED	4000K	-	HIGH BAY	SERVICE BAYS	WHITE	N/A	2' X 1'	UNV	18,060	SUSPENDED		
F1-E	LSI	LSI AL12 2LEDSE18L LL WUNV 40 EM20 MHCH10	80+	118	LED	4000K	-		SERVICE BAYS	WHITE	N/A	2' X 1'	UNV	18,060	SUSPENDED		
L-T-2	AHR	BOLA SPHERE PENDANT	95	6	LED	50K	-	HANGING PENDANT	OFFICES	MATTE BLACK	N/A	12"	UNV	290	SUSPENDED		
M22	RAB	FIRE ALARMFA2X2/D10	81	30	LED	4000K	-	2X2 TROFFER	VARIOUS	WHITE	N/A	2' X 4'	UNV	3810	RECESSED	EXISTING- SALVAGE FOR REUSE	
RH	LITHONIA	ELMRWLP220T	-	-	LED	-	-	REMOTE EM EGRESS	VARIOUS	WHITE	N/A		UNV		SURFACE	CONNECT TO TYPE "XEM"	
XEM	LITHONIA	LHQM SVR6 MOLT NO M6	-	-	LED	-	-	EMERGENCY EGRESS	VARIOUS	WHITE	N/A	16.5" X 8.2"	UNV	-	SURFACE	BATTERY BACK-UP	
EM	LITHONIA	ELMZLF	-	-	LED	-	-	EMERGENCY TWIN-EYE UNIT	VARIOUS				UNV	-	SURFACE	BATTERY BACK-UP	
NOTES: 1. ALL EMERGENCY BALLASTS SHALL BE FACTORY INSTALLED UNLESS SCHEDULED OTHERWISE OR PRIOR APPROVED.														03-2025			
2. ALL FIXTURES SHALL CONFORM TO APPLICABLE CODES INCLUDING BUT NOT LIMITED TO NIGHT SKY ACT(S) AND ENERGY CONSERVATION STATUTES.																	
3. PROVIDE 0-10V DIMMING CAPABILITY AND APPROPRIATE CONTROLS FOR ALL LUMINAIRES.																	
4. PROVIDE HIGH CRI (80+) LEDS.																	
5. INCLUDE ALL SYTEM INTEGRATION ACCESSORIES (POWER SUPPLIES, FEED CABLES, MOUNTING HARDWARE, ETC.) AS NEEDED.																	



ELECTRICAL SITE PLAN
SCALE: 1" = 30'-0"



PULL BOX DETAIL
A. DIMENSIONS VARY; REFER TO ELECTRICAL SITE PLAN FOR SIZE(S). CONTRACTOR SHALL ADJUST PULL BOX DIMENSIONS AND MAINTAIN NEC COMPLIANCE WHEN CONDUITS ARE ADDED OR INCREASED FOR VOLTAGE DROP.
B. TIER RATINGS SHALL BE ACCORDING TO PEDESTRIAN/VEHICLE TRAFFIC LOCATIONS.



PULLBOX ELEVATION DETAIL

UG PULL BOX DETAIL
SCALE: NONE

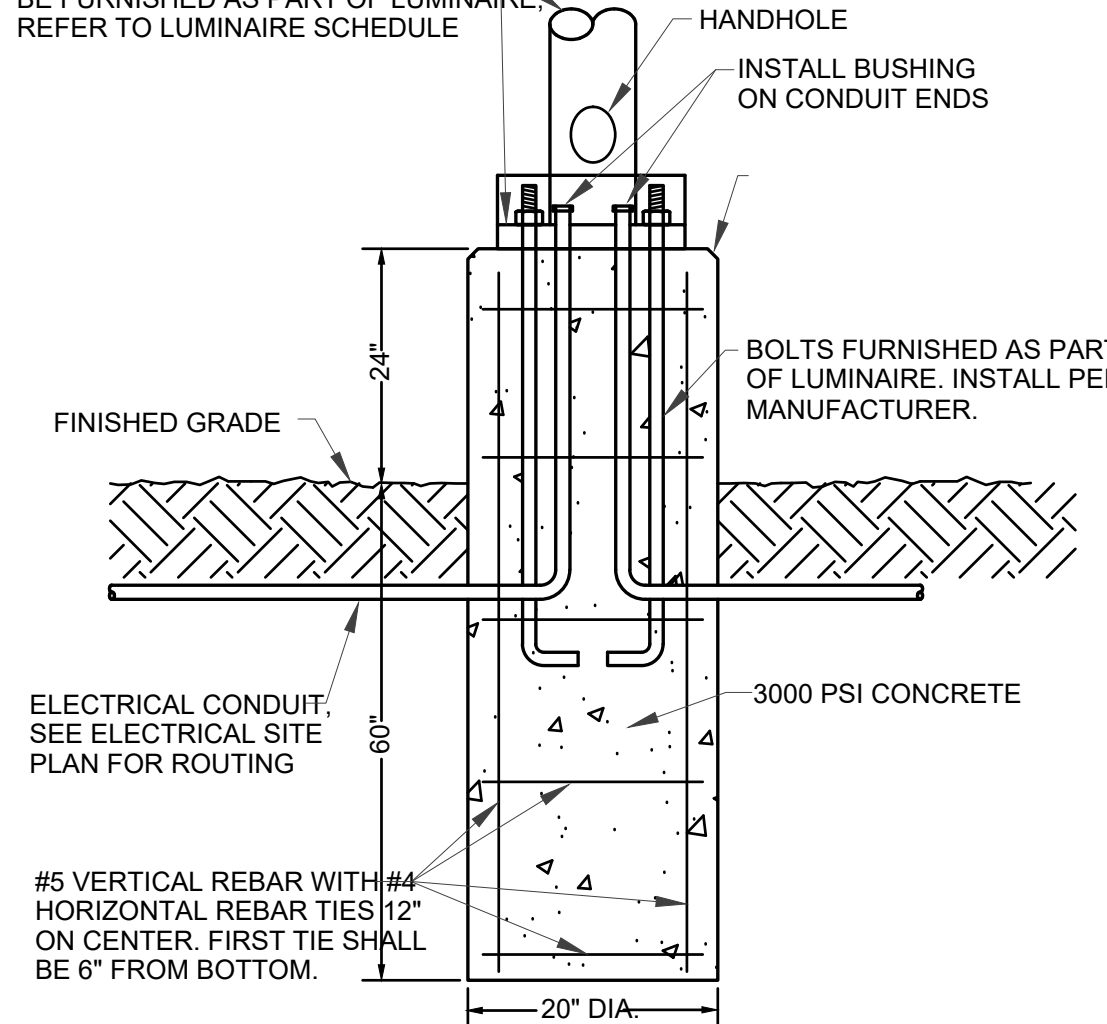
KEYED NOTES

- EXISTING MONUMENT SIGN. SAFE-GUARD EXISTING CIRCUIT FOR CONTINUED USE.
- EXISTING LIGHT POLE. SAFE-GUARD EXISTING WIRING FOR CONTINUED USE.
ADDITIVE ALTERNATE #10
REPLACE SINGLE-HEAD POLES WITH LITHONIA
#DSXO-LED-P5-30K-70CRI-AFR-MVOLT-XVOLT-SPAS-NLTAIR2 PIRHN-HS-COLOR TO MATCH POLE
REPLACE TWIN-HEAD POLES WITH LITHONIA
#DSXO-LED-P5-30K-70CRI-T5W-MVOLT-XVOLT-SPAS-NLTAIR2 PIRHN-COLOR TO MATCH POLE
UTILIZE EXISTING POLES, WIRING, AND CONTROLS.
- EXISTING ELECTRIC VEHICLE CHARGER TO BE RELOCATED. INTERCEPT AND EXTEND EXISTING CIRCUIT TO NEW LOCATION AT BUILDING ADDITION.
- EXISTING LIGHT POLE TO BE RELOCATED. INTERCEPT EXISTING CIRCUIT AND REMOVE BACK TO ADJACENT LIGHT POLE IN ORDER TO RE-ROUTE AROUND NEW BUILDING ADDITION FOOT-PRINT. EXTEND EXISTING CIRCUIT TO NEW LOCATION AND REINSTALL LIGHT POLE. REPLACE HEADS AS PART OF ADDITIVE ALTERNATE #10 REFER TO KEYED NOTE 2 ABOVE.
- EXISTING PNM TRANSFORMER TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY AND PROVIDE NEW CONCRETE PAD, STEEL PROTECTION BOLLARD(S), AND CONDUIT(S) NECESSARY. REFER TO RISER DIAGRAM ON SHEET E6.0 FOR ADDITIONAL REQUIREMENT(S).
- EXISTING PNM 15KV RADIAL FEED PRIMARY SERVING EXISTING TRANSFORMER.
- RELOCATED PNM TRANSFORMER AND 13-JAW METER.
- CONTRACTOR SHALL RE-FEED EXISTING ELECTRICAL SERVICE WITH NEW 480-VOLT SECONDARY FEEDER. REFER TO RISER DIAGRAM ON SHEET E6.0 FOR ADDITIONAL REQUIREMENT(S).
- RELOCATED ELECTRIC VEHICLE CHARGER.
- RELOCATED LIGHT POLE ON NEW CONCRETE BASE. REFER TO KEYED NOTE 4 ABOVE.
- EXISTING ELECTRICAL MAIN DISCONNECT TO BE RELOCATED.
- EXISTING 480-VOLT ELECTRICAL SECONDARY FEEDER TO BE REMOVED. CONTRACTOR SHALL COORDINATE AND SEQUENCE THE WORK TO REMOVE OR SAFE-GUARD THE EXISTING FEEDER TO AVOID DAMAGE OR UNSCHEDULED POWER DISRUPTION(S).
- RELOCATED ELECTRICAL MAIN DISCONNECT. REFER TO RISER DIAGRAM ON SHEET E6.0 FOR ADDITIONAL REQUIREMENTS.
- EXISTING DATA UTILITY SERVICE PULL-BOX TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH THE SERVING UTILITY IN ORDER TO MODIFY THE DATA SERVICE ALLOWING FOR THE CONSTRUCTION OF THE NEW BUILDING ADDITION AND RECONNECTION OF SERVICE FOR CONTINUED USE.

POLE BASE NOTES:

- ALL LIGHT POLE CONCRETE BASES SHOULD BE VERIFIED WITH STRUCTURAL ENGINEER FAMILIAR WITH THE SOIL AND WIND CONDITIONS OF THIS PROJECT.
- G.C. TO PROVIDE AND INSTALL ENTIRE POLE BASE.
- LIGHTING FIXTURES SHALL BE OF TYPE INDICATED ON DRAWINGS.

BOTH POLE AND BASE PLATE SHALL BE FURNISHED AS PART OF LUMINAIRE. REFER TO LUMINAIRE SCHEDULE

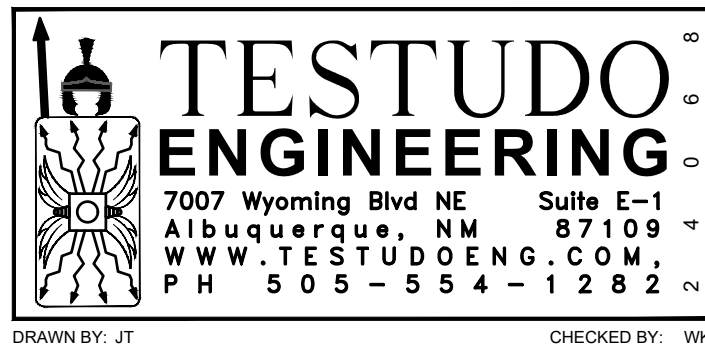


POLE BASE MOUNTING DETAIL
SCALE: NONE

WARNING:

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF TO THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES, AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "NM ONE CALL" PROCEDURES, OR OTHERWISE.



PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

CAMPBELL
ARCHITECTURE

3237 Jupiter Road
Las Cruces, NM 88012

DATE:	04.01.2025
ISSUE:	Change/Review SUBMITTAL
PROJ #:	2025.05.02
REV #:	24068 ESI.0 DWG
REV 1:	
REV 2:	
REV 3:	
REV 4:	

PITRE KIA OF ALBUQUERQUE
RENOVATIONS & ADDITIONS

9640 EAGLE RANCH ROAD NW
ALBUQUERQUE, NEW MEXICO 87114

ELECTRICAL SITE
PLAN

ES1.0

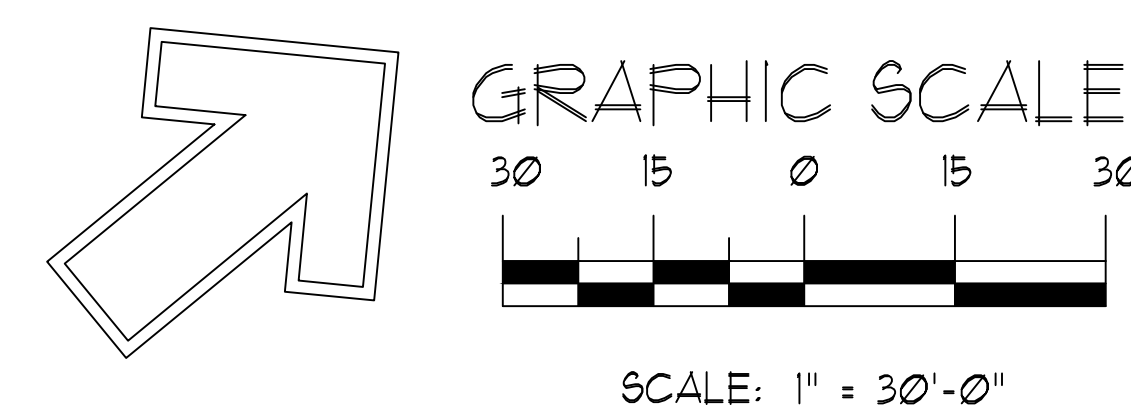


Vicinity Map

OVERALL LANDSCAPE CALCULATIONS		
TOTAL LOT AREA (sf)		261360 SF
TOTAL BUILDING AREA (sf)		13373 SF
TOTAL NET-LOT AREA (sf)		231981 SF
LANDSCAPE REQUIREMENT		X0.65 SF
TOTAL LANDSCAPE REQUIRED (15%)		26,638 SF
TOTAL ON-SITE LANDSCAPE PROVIDED (EXISTING)		3152 SF
TOTAL ON-SITE LANDSCAPE PROVIDED		
TREE CANOPIES AND GROUND-LEVEL PLANTS REQUIRED (15%)		26139 SF
TREE CANOPIES AND GROUND-LEVEL PLANTS EXISTING		5304 SF
GROUND-LEVEL PLANTS REQUIRED		6,665 SF
75% of Required Vegetation Coverage)		
GROUND-LEVEL PLANTS EXISTING		534 SF

**LANDSCAPE
GROUNDCOVERS**

EXISTING MULCH 31/52 6'




SCALE: 1" = 30'-0"

Designed By: <i>q, q'</i>	REVISIONS
Drawn By: <i>q, q'</i>	Comment
Approved By: <i>d m</i>	Date:
Date: <i>3/21/2025</i>	
NEW MEXICO ONE CALL STATEWIDE - 811 OR 1-800-321-ALERT (2537) www.nmonecall.org Call two working days before you dig.	
	File ID:

**Landscape Plan
(Existing)**

**KIA WESTSIDE AUTO
DEALERSHIP,TM
ALBUQUERQUE, NM**

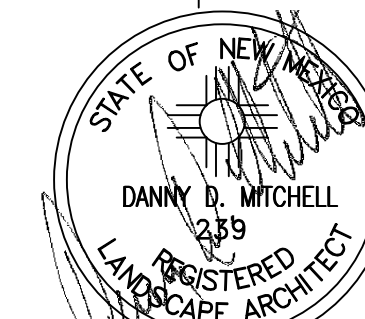
Mitchell Associates, inc



Landscape Architecture
Darryl Mitchell

darryl@mitchellassociatesinc.com 505.639.5983

Seal: Landscape Architect



3/24/2025
Project NO: 2024-120
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Drawing No. 1 of 1
LS-101

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain landscaping in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque, IDO Ordinance.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native sand, or other treatment.

Contractor shall match existing gravel.

25% of landscape area shall be covered with organic mulch. Minimum shall be minimum of 4" deep in areas as shown on the plan. Landscape contractor shall ensure that all organic mulch areas are maintained and refreshed on a regular basis. Filter Fabric shall not be placed in areas to receive organic mulch.

Landscape shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.

No substitutions or alterations to this plan with out the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit set.

Clear Site Triangle Note:
Landscape and signage will not interfere with clear site triangle. Signs wills, trees and shrubbery between 5 and 8 feet tall, (measured from the gutter pan) are not included within the clear site triangle.

Irrigation shall be a complete underground system.

Trees and shrubs shall be zoned separately.

Point of connection for irrigation system shall be as indicated on the Utility Plan, Civil drawings.

Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.

Landscape shall be watered by a complete underground irrigation system operated by automatic controller.

Trees shall have Netash and shrubs shall have a minimum of 2 millimeters per shrub.

Irrigation will be operated by smart irrigation system automatic controller, capable of multi-programming ability.

Location of controller to be field determined and water source for controller to be provided by the owner.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source for irrigation system shall be the responsibility of the Property Owner.

Water management is the sole responsibility of the Property Owner.

Note: New planting connected to the existing irrigation

TOTAL LOT AREA (sf)	28136.00	SF
TOTAL BUILDING AREA (sf)	-23373.95	SF
TOTAL NET-LOT AREA (sf)	23198.91	SF
LANDSCAPE REQUIREMENT	X20.5%	
TOTAL LANDSCAPE REQUIRED (%)	35.6380	SF
TOTAL ON-SITE LANDSCAPE PROVIDED (EXISTING+ New)	36.668	SF
TREE CANOPIES AND GROUND-LEVEL PLANTS PROVIDED (%)	21501.01	SF
TREE CANOPIES AND GROUND-LEVEL PLANTS PROVIDED+ EXISTING	34541.51	SF
GROUND-LEVEL PLANTS REQUIRED	6.875	SF
(25% of Required Vegetation Coverage)		
GROUND-LEVEL PLANTS PROVIDED+ EXISTING	1,189.98	SF
Organic Mulch (refer to IDO sheet)		
Notes: Each Tree, min 5' rad, 18.5	72 Trees x 18.5 sf =	5,652
See Tree Detail, a/r radius of organic mulch is required around each tree without Filter Fabric		
Notes: Each Shrub, min 2' rad, 12.56	298 Shrubs x 12.56 sf =	3,742.48
Total Mulch Provided (area sf)		8,892
Total Mulch Required (area sf)		1,709
Parking Lot Trees		
48 Parking Lot Required		
Parking Lot Trees Provided		1
Parking Lot Trees Required		7

EXISTING TREES					
QTY.	SIZE AVERAGE	COMMON/BOTANICAL NAME	DIMS (Average)	COVERAGE	TOTAL COVERAGE
	30	Varies	Deciduous Trees <i>To be preserved (Desert willow, Ash, Hawthorn)</i>	15 111	530
TOTAL TREES:	30				


SYMBOL	QTY	SIZE	COMMON / BOTANICAL NAME	WATER USE	DIMS	COVERAGE	COVERAGE
TREES							
	1	4'-6'	Austrian Pine Pinus nigra	Medium	35' x 25'	45'	45'
	21	4'-6'	Blue Arrow Juniper Juniperus horizontalis 'Blue Arrow'	Low + Medium	12' x 4'	13'	213'
	2	2' Col.	Chinese Platane Platanus chinensis	Low + Medium	35' x 45'	5' 50'	3180'
	5	2' Col.	Emory Oak Quercus emoryi	Low + Medium	35' x 35'	56'	4805'
	17	2' Col.	Gambel Oak Quercus gambelii	Low + Medium	25' x 25'	45'	8341'
	22	2' Col.	Pink Spotted Elder Celastrus scandens 'Pink Spotted'	Medium	15' x 5'	171'	3854'
	4	2' Col.	Redbud Cercis occidentalis 'Pink pom poms'	Very low + Medium	15' x 12'	13'	452'
	72		SUBTOTAL				21442'
SHRUBS							
	7	5 gal.	Blue Star Burreed Coronaria v. condensata 'Blue Star'	Low + Medium	3' x 5'	20'	140'
	54	5 gal.	Buffalo Juniper Juniperus sibirica 'Buffalo'	Low	1' x 5'	50'	2100'
	2	5 gal.	Dwarf Butterfly Bush Buddleia davidii	Low	3' x 5'	20'	40'
	24	5 gal.	Flamingo Reed Grass Calamagrostis canadensis	Low	12' x 12'	3'	12'
	7	5 gal.	Flemingia Chamaecrista nictitans	Very low + Low	5' x 16'	28'	156'
	12	5 gal.	Indian Hawthorn Raphanocarpus indica	Low + Medium	3' x 5'	20'	240'
	11	5 gal.	Knock Out Rose Rosa arvensis 'Knock Out'	Medium	4' x 4'	13'	143'
	8	5 gal.	Palm Yucca Yucca filamentosa	Very low + Low	12' x 16'	28'	168'
	48	5 gal.	Palm Yucca Yucca filamentosa	Low	2' x 2'	3'	144'
	57	5 gal.	Wintergreen Sarcocolla Berberis julianae	Medium	5' x 5'	20'	140'
	28	5 gal.	Yellow Bird of Paradise Caesalpinia gilliesii	Low + Medium	10' x 10'	15'	225'
	258		SUBTOTAL				705'
	4	2'-3'	Boulders To be placed at contractor discretion				
EXISTING PLANT							
					36.84	5'	
NEW							
					484	5'	
TOTAL LANDSCAPE PROVIDED							
					36.668	5'	

Designed By: <i>F, V</i>	REVISIONS	
Drawn By: <i>F, V</i>	Date:	Comment
Approved By: <i>dm</i>		
Date: <i>3/21/2025</i>		
NEW MEXICO ONE CALL STATEWIDE - 811 OR 1-800-321-ALERT (2537) www.nmonecall.org Call two working days before you dig.		
	File ID:	

Landscape Plan

**KIA WESTSIDE AUTO
DEALERSHIP, NM
ALBUQUERQUE, NM**

Mitchell Associates, inc




Landscape Architecture

Danny Mitchell

danny@mitchellassociatesinc.com

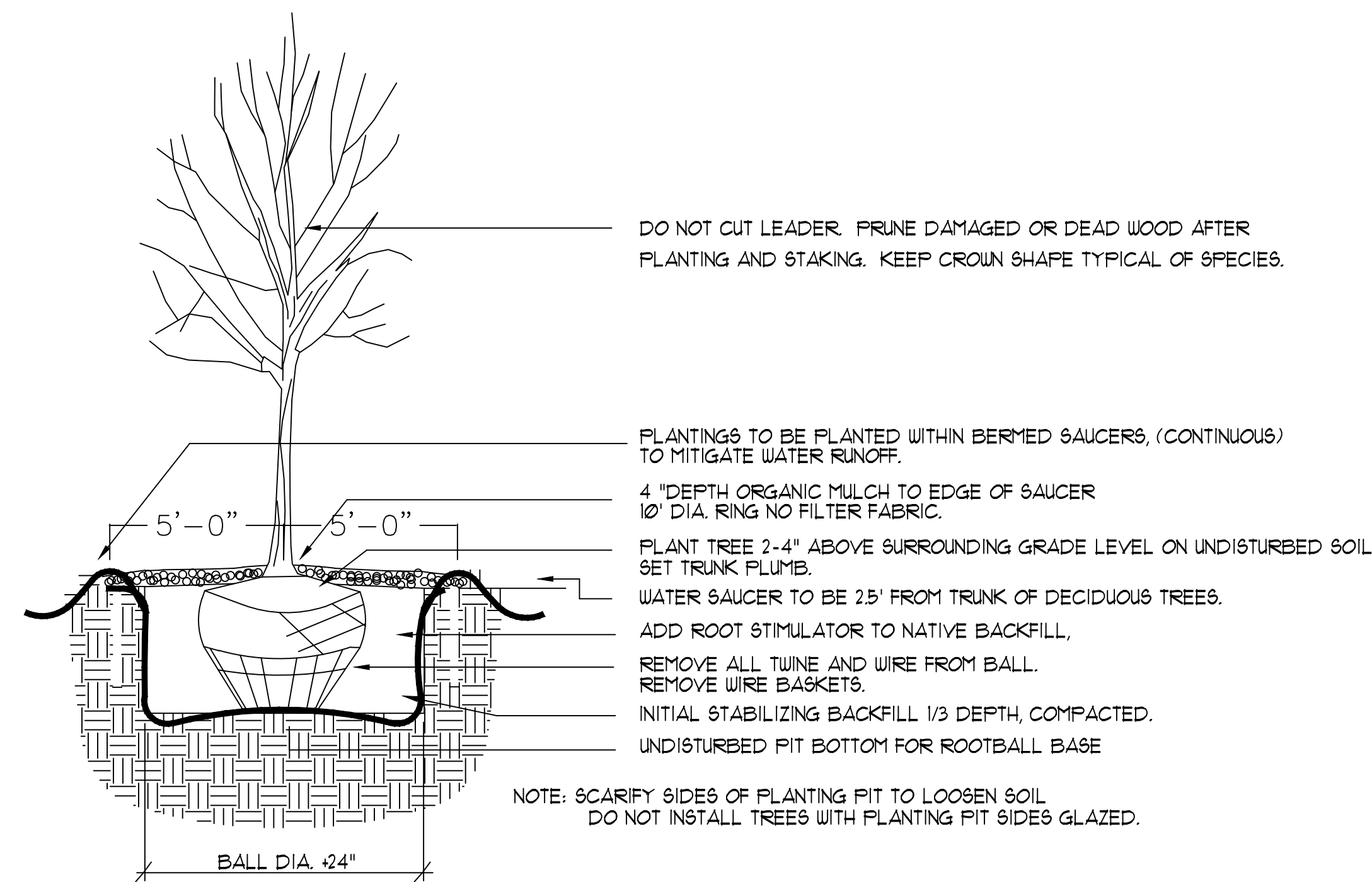
505.639.9583

Seal: Landscape Architect



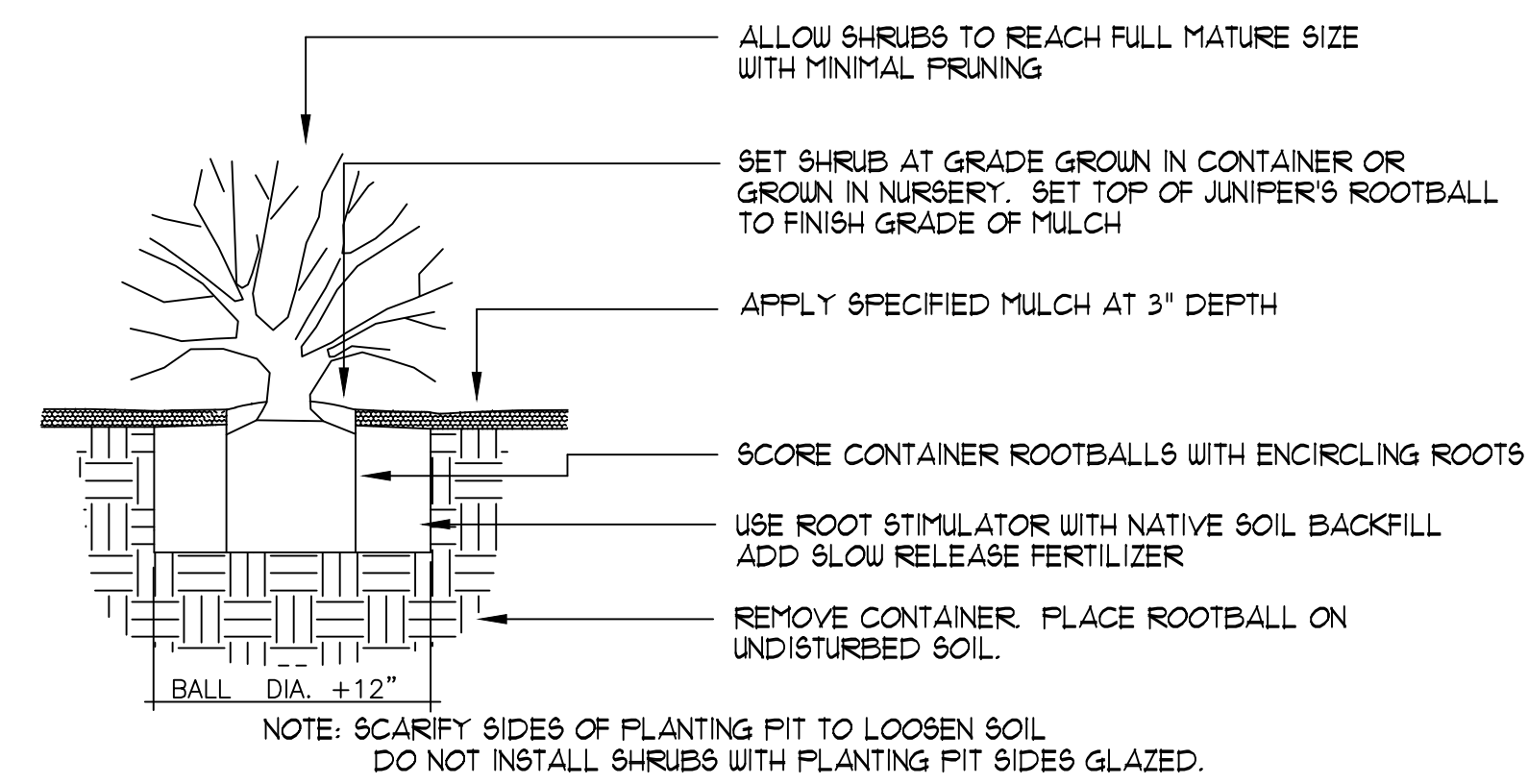
6/25/2025
Project NO: 2024-120
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Drawing No. **LS-102**



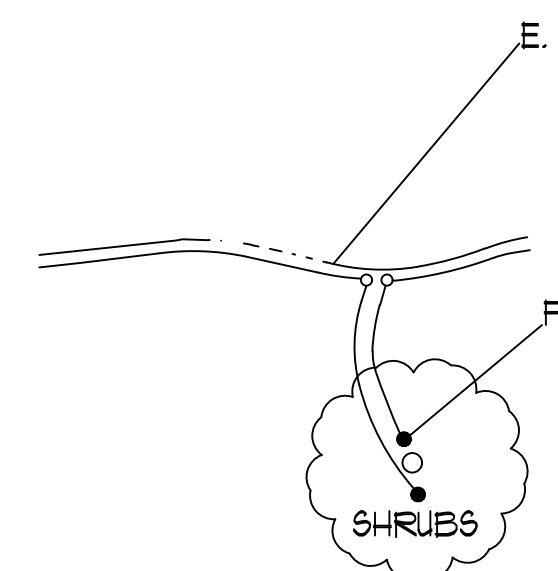
TREE PLANTING DETAIL

N.T.S.



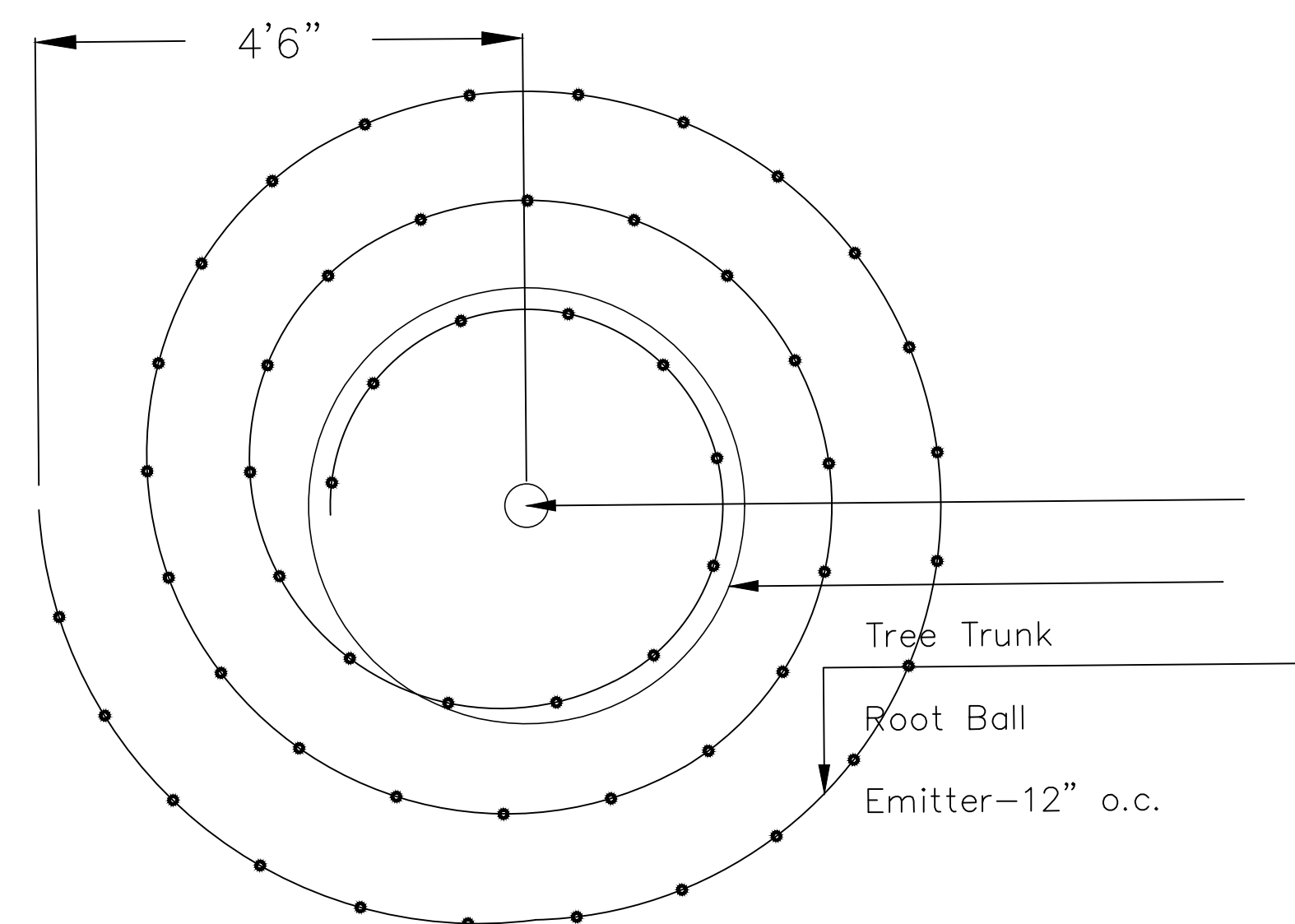
SHRUB PLANTING DETAIL

N.T.S.



EMITTER PLACEMENT DETAIL

N.T.S.



Netafim Spiral Detail

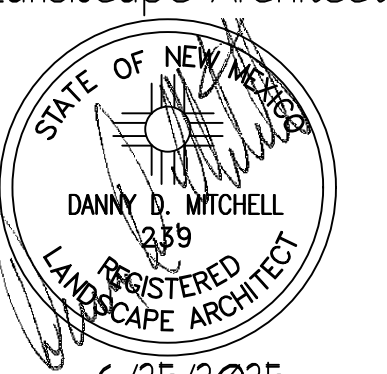
Mitchell Associates, inc



003.037.7363

danny@mitelassociatesinc.com

Seal: Landscape Architect



6/25/2025
Project NO: 2024-120
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Drawing No.

-S-103

REVISIONS	Comment
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Comment

Date: _____

Designed By:	<i>D. Mitchell</i>
Drawn By:	<i>dm</i>

 dm

Approved By: _____

Date:

NEW MEXICO ONE CALL
STATEWIDE - 811 OR
1-800-321-ALERT (2537)
www.nmonecall.org
Call two working days
before you dig.

File ID:

Landscape Details

**KIA WESTSIDE AUTO
DEALERSHIP,
ALBUQUERQUE, NM**

Seal: Landscape Architect

City of Albuquerque Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided for Reference

PURPOSE
This Section 14-6-5-6 regulates landscaping to ensure visually attractive, sustainable desert landscapes that aid in the creation of a quality public realm. The City recognizes landscaping as a visual component to provide environments that enhance Albuquerque's overall appearance and provide other public benefit through:
5-6(A)(1) Providing visual relief from urbanization.
5-6(A)(2) Establishing a consistent, attractive streetscape that generates a sense of continuity and a strong positive city image.
5-6(A)(3) Improving the aesthetic appearance of commercial, industrial, and multi-family residential development to protect and enhance public and private investments and property values.
5-6(A)(4) Ensuring the use of native and/or adapted, low water-use, or xeric species and regionally appropriate, sustainable design and maintenance techniques to conserve water resources.
5-6(A)(5) Contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscaping should be designed to retain soil moisture, prevent erosion, encourage the growth of abutting plantings, and mitigate urban heat-island effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and glare.
5-6(A)(6) Providing screening of some types of facilities, structures, and equipment.
5-6(A)(7) Providing shade and comfort for pedestrians and visually narrowing streets, which has been shown to reduce vehicle speeding and accidents.

5-6(B) APPLICABILITY
5-6(B)(1) The provisions of this Section 14-6-5-6 shall apply to any of the following unless specified otherwise in this IDO.
5-6(B)(2) Construction of new buildings containing multi-family, mixed-use, or non-residential development, or an accessory parking structure.
5-6(B)(3) Construction of a new parking lot containing 25 or more spaces, or expansion of an existing parking lot by 25 spaces or more.
5-6(B)(4) Expansion of a floor area of an existing building containing multi-family, mixed-use, or non-residential development by 2500 square feet or more, or 25 percent or more, whichever is less.
5-6(B)(5) Renovation or redevelopment of an existing building containing multi-family, mixed-use, or non-residential development, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, indicated by building permit, is \$600,000 or more.
5-6(B)(6) In the case of walls provided for buffering or screening requirements under landscaping standards in this Section 14-6-5-6, Section 14-6-5-5 (Parking and

Loading), and Section 14-6-5-5-3 (Neighborhood Edges), the highest specified wall height allowed shall prevail.
5-6(B)(7) Requirements for walls provided to meet buffering and screening requirements prevail over maximum wall height regulations in Section 14-6-5-1 (Walls and Fences), but shall be subject to any other applicable material and design requirements in Subsection 14-6-5-1(E).
5-6(C) GENERAL LANDSCAPING STANDARDS
5-6(C)(1) Landscaping provided to all landscaping, screening, or buffering required by this Section 14-6-5-6.
5-6(C)(2) Landscaping Plan Required
A landscape plan with designed landscaped areas shall be submitted as a part of all development applications where landscaping, buffering, or screening is required, unless the relevant decision-making body determines that compliance with the provisions of this Section 14-6-5-6 can be demonstrated without the use of a landscape plan. A landscape plan may be combined with other required application materials if compliance with this Section 14-6-5-6 can be demonstrated in the combined materials. Landscaping shall be maintained pursuant to the requirements of Subsection 14-6-5-5(B)(6).

5-6(C)(3) Minimum Landscape Area
5-6(C)(3)(a) Except as noted in Subsection (b) below, a minimum of 15 percent of the net lot area of each development shall contain landscaping.
5-6(C)(3)(b) In DT-UC-MB-RT areas, a minimum of 10 percent of the net lot area of each development shall contain landscaping. In these areas, landscaping required to meet this requirement need not be at ground level. (See figure below).
5-6(C)(3)(c) The natural realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows:
1. Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscape area as measured by canopy width or the area beneath the drip-line of the mature trees.
2. Area of the actual vegetation. Of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the mature size of the actual vegetation. (See figure below).
5-6(C)(3)(d) See also Subsections 14-6-5-6(D) (Street Frontage Landscaping), 14-6-5-6(E) (Edge Buffer Landscaping), and 14-6-5-6(F) (Parking Lot Landscaping) for additional landscaping requirements.

5-6(C)(3)(e) Overlapping Requirements
5-6(C)(3)(a) If areas required to be landscaped by 1 or more provisions of this Section 14-6-5-6 overlap each other, the provision requiring the greater amount of landscaping shall apply, and landscaping provided that meets the greater requirement shall count toward fulfilling the overlapping requirements.
5-6(C)(3)(f) See Subsection 14-6-5-6(C)(12) (Existing Vegetation Credit).

- See Subsection 14-6-5-6(C)(3) (Stormwater Management Features).
- See Subsection 14-6-5-6(D) (Street Frontage Landscaping).
- See Subsection 14-6-5-6(E) (Edge Buffer Landscaping).
- See Subsection 14-6-5-6(F) (Parking Lot Landscaping).
- Landscaped areas may count toward satisfying usable open space requirements specified for Residential zone districts in Table 5-1-1 and for Mixed-use zone districts in Table 5-1-2.
- 5-6(C)(3)(c) Gardens and community gardens provided may count toward satisfying the requirements of Subsection 14-6-5-6(C)(2) (Minimum Landscape Area).
- 5-6(C)(3)(d) Any landscaping provided to meet requirements in Subsection 14-6-5-6(D) (Major Arroyo Standards) may count toward any required landscaping in this Section 14-6-5-6 but shall be subject to Subsection 14-6-5-6(C) (General Landscaping Standards).
- 5-6(C)(3)(e) Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-6-5-6(E)(3) (Outdoor Seating and Gathering Areas) may count toward up to 10 percent of required landscaping in Section 14-6-5-6 but shall be subject to standards in Subsection 14-6-5-6(C) (General Landscaping Standards).
- 5-6(C)(4) Required Plant Materials and Site Amenities
5-6(C)(4)(a) A minimum of 5 species must be used in the landscaped area.
5-6(C)(4)(b) Only trees and shrubs selected from the Official Albuquerque Plant Palette for low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Section 14-6-5-6(C) (General Landscaping Standards), except that, upon presentation of evidence the decision-making body may authorize alternative species or cultivars that meet all of the following requirements:
1. Meet the intended purpose of that type of landscaping.
2. Are not hazardous.
3. Are not identified as invasive on a City or State plant list.
4. Are not listed in the City's Invasive Identification Handbook.
5. Are equally healthy to the New Mexico climate.
5-6(C)(4)(c) Installation of trees, shrubs, or other vegetation included in a State list of prohibited or invasive species or listed as noxious weeds in the City's Used Identification Handbook is prohibited.
5-6(C)(4)(d) No more than 10 percent of required landscape areas shall be cool season grass species. Irrigated cool season grass shall not be planted on slopes exceeding 14 percent or planted in narrow or irregularly shaped areas 10 feet or less in width or depth in order to avoid water waste. Any cool season grass shall be installed at

least 3 feet in any direction from any impermeable hard surface. (A buffer using organic mulch can be used when planting cool season grass adjacent to impermeable surface.)
5-6(C)(4)(e) Landscaping abutting arroyos shall consist of native plants that are included on the Official Albuquerque Plant Palette.
5-6(C)(4)(f) Artificial turf/grass shall not be counted as living vegetative material or to meet the requirements of this Subsection 14-6-5-6(C) (General Landscaping Standards).
5-6(C)(4)(g) All vegetation shall comply with Article 9-2 and Parts 6-1-1 and 6-7-2 of ROA 1934 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.
5-6(C)(4)(h) All required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ANSI) of the American Nursery and Landscape Association.

5-6(C)(4)(i) Shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided.
5-6(C)(4)(j) In DT-UC-MB areas, landscaped areas other than street frontage shall include pedestrian furniture, pedestrian amenities, or trash receptacles to encourage pedestrian use.
5-6(C)(4)(k) See also Subsection 14-6-5-6(D) (Street Frontage Landscaping) for additional landscaping requirements.

5-6(C)(5) Soil Condition and Planting Bed
5-6(C)(5)(a) All vegetated material required by this Section 14-6-5-6 shall be planted in uncompacted soil.
5-6(C)(5)(b) If used, used barriers shall be permeable to optimize stormwater infiltration and prevent runoff.
5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 25 percent of any landscaped area, or 50 percent in DT-UC-MB areas.
5-6(C)(5)(d) A minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended. 5-6(C)(5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited.

5-6(C)(5)(f) All landscaped areas shall be protected from vehicular encroachment by curbs or other structures 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff from impervious surfaces and stormwater infiltration areas.
5-6(C)(6) Minimum Plant Sizes at Installation
All vegetation required by this Section 14-6-5-6 shall meet the minimum size requirements in Table 5-6-3 unless specified otherwise in this IDO.

Table 5-6-3: Minimum Plant Sizes	
Plant Type	Minimum Size
Deciduous Street Trees	2.5 inch dbh, above grade
Coniferous Street Trees	3 inch dbh, above grade
Evergreen Trees	2.5 inch dbh, above grade
Multi-trunked Trees	Minimum 25 stems, combined caliper of 2 in.
Shrubs	2 gallon container size
Ground cover and turf	Adapted to planting conditions within 3' of planting area

5-6(C)(7) Plant Material Spacing
5-6(C)(7)(a) Vegetation required by this Section 14-6-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and other department facilities.
5-6(C)(7)(b) Where tree planting requirements are based on the length of the street frontage, areas occupied by driveways and drive aisles shall be included when calculating the number of trees required to be planted, and all trees that would otherwise be required in driveways or drive aisles shall be planted in other landscaped front yard areas.
5-6(C)(7)(c) The Planning Director may authorize adjustments to any spacing requirements when required due to topography, drainage utilities, or obstructions, provided that the total amount of required landscaping is not reduced.
5-6(C)(8) Protecting Clear Sight Triangle
The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

5-6(C)(9) Planting in or over the Public Right-of-Way
5-6(C)(9)(a) All planting of vegetation or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repair, or liability for all the landscaping placed in or over the public right-of-way.
5-6(C)(9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8 foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 5 foot clearance over the street surface.
5-6(C)(9)(c) Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1934 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area. The public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way.

5-6(C)(10) Planting near Utilities
5-6(C)(10)(a) Trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced.
5-6(C)(10)(b) Trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line.
5-6(C)(10)(c) Trees or shrubs planted within utility easements shall comply with the standards of the utility provider to minimize effects on facilities, maintenance and repair.

5-6(C)(11) If overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.
5-6(C)(12) All screening and landscaping surrounding ground-mounted equipment and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crews and public during maintenance and repair.

5-6(C)(13) Trees shall not be planted near existing or proposed street light poles.
5-6(C)(13)(g) Standards in the DPM may apply to tree planting in or near other utility easements, such as gas lines.
5-6(C)(14) Parking on Landscaped Areas Prohibited
5-6(C)(14)(a) Installation of trees, shrubs, or other vegetation, or other motor vehicles is prohibited on any required landscaped or buffer area.
5-6(C)(14)(b) Existing Vegetation Credit

5-6(C)(14)(c) If existing non-vegetation vegetation meets the location requirements and intent of landscaping, buffering, or screening required by this Section 14-6-5-6, that existing vegetation may be credited toward the landscaping, buffering, or screening materials required by this Section 14-6-5-6.
5-6(C)(14)(d) All existing vegetation preserved and used for credit against the requirements for new vegetation shall be protected during construction by a fence erected one foot beyond the drip line of the vegetation.
5-6(C)(14)(e) Trees may be credited only 1 time toward any one buffer, screening, or landscaping requirement.
5-6(C)(14)(f) Trees shall be credited in accordance with Table 5-6-2.

Table 5-6-2: Credits for Preserving Trees	
Diameter at Breast Height (in.)	Number of Trees Credited
>25	8
21.3 and <25	6
20.0 and <21.3	4
18.4 and <20	2
<4	1
Prohibited trees 8 in. or greater ⁽¹⁾	1

(1) Prohibited trees are those that do not appear on the Official Albuquerque Plant Palette and may appear on the City or State list of prohibited or invasive species.

5-6(C)(15) Stormwater Management Features
5-6(C)(15)(a) Required landscaping and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation.
5-6(C)(15)(b) Required landscaping and buffer areas shall be designed pursuant to the DPM and the City Standard Specifications for Public Works Construction.
5-6(C)(15)(c) In the R-L, R-M, R-H, Mixed-use, and NR-SU zone districts, and on lots containing multi-family dwellings or non-residential uses in the R-A, R-L, R-MC, and R-T zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collection areas that are landscaped in landscape areas and that meet all applicable standards in the DPM.

5-6(C)(15)(d) Areas created to meet stormwater management requirements of the City or a governmental entity, and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in those areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(15)(e) Where pedestrian walkways and multi-use trails cross required landscape areas, permeable paving may be used and may count toward satisfying the requirements of Subsection 14-6-5-6(C)(12).

5-6(C)(16) Irrigation Systems
5-6(C)(16)(a) Irrigation systems shall comply with Section 8 of the ABCWA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).

5-6(C)(16)(b) All irrigation systems shall be designed to minimize the use of water.
5-6(C)(16)(c) All non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.
5-6(C)(16)(d) The irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.

5-6(C)(17) Installation
5-6(C)(17)(a) All landscaping material used to meet the requirements of this Section 14-6-5-6 shall be installed in accordance with the planting procedures established by the American Nursery and Landscape Association.
5-6(C)(17)(b) All required landscaping, street trees, screening, and buffering shall be installed prior to the issuance of a final certificate of occupancy. If there is more than one primary building on the site, the landscaping, screening, and buffering related to each building

shall be installed prior to the issuance of a final certificate of occupancy.
5-6(C)(17)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of plant materials that have been approved by the applicable public utility as part of a landscaping, screening, or buffering project shall be the responsibility of such property owner and later removed by the City. If a transportation project without compensation, but at no cost to the property owner, landscaping installed in an abutting public right-of-way, private way, or easement shall be the responsibility of the property owner and later removed by the City. If a transportation project without compensation, but at no cost to the property owner, landscaping installed in an abutting public right-of-way, private way, or easement shall be the responsibility of the property owner and later removed by the City. If a transportation project without compensation, but at no cost to the property owner, landscaping installed in an abutting public right-of-way, private way, or easement shall be the responsibility of the property owner and later removed by the City. If a transportation project without compensation, but at no cost to the property owner, landscaping installed in an abutting public right-of-way, private way, or easement shall be the responsibility of the property owner and later removed by the City. 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CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 19, 2024

Amadeo Trujillo
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM, 87109

**RE: Pitre Kia Westside Auto Dealership
9640 Eagle Ranch NW
Grading and Drainage Plan
Engineer's Stamp Date: 11/06/2024
Hydrology File: B13D002D**

Dear Mr. Trujillo:

Based upon the information provided in your submittal received 12/10/2024, the Grading & Drainage Plans are approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 505-924-3314 or rbrissette@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Pitre Kia Westside Auto Dealership Hydrology File # _____

Legal Description: TRACT B-1 PLAT OF TRACT B-1 AND B-2 OF ADOBE WELLSUBDIVISION CONT 5.8965 AC AND TR C-1 SUBD PLAT MAP FOR ADOBE WELLS SUBD CONT 19,079 SQ FT

City Address, UPC, OR Parcel: 9640 EAGLE RANCH RD NW, ABQ, NM, 87114

Applicant/Agent: Tierra West LLC Contact: Amadeo Trujillo
Address: 5571 Midway Park PL NE Phone: 505-858-3100
Email: ATrujillo@tierrawestllc.com

Applicant/Owner: Pitre Holdings LLC C/O Robert G Pitre LLC Contact: Scott Simkins
Address: 9797 Eagle Ranch Rd NW, ABQ,NM,87114 Phone: 505-494-5063
Email: ssimkins@pitrenm.com

TYPE OF DEVELOPMENT: ☐ Plat (# of lots) _____ ☐ Single Family Home
☒ All other Developments

RE-SUBMITTAL: ☐ YES ☐ NO

DEPARTMENT: ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☐ Engineering / Architect Certification
- ☐ Conceptual Grading & Drainage Plan
- ☒ Grading & Drainage Plan, and/or Drainage Report
- ☐ Drainage Report (Work Order)
- ☐ Drainage Master Plan
- ☐ Conditional Letter of Map Revision (CLOMR)
- ☐ Letter of Map Revision (LOMR)
- ☐ Floodplain Development Permit
- ☐ Traffic Circulation Layout (TCL) – Administrative
- ☐ Traffic Circulation Layout (TCL) – DFT Approval
- ☐ Traffic Impact Study (TIS)
- ☐ Street Light Layout
- ☒ OTHER (SPECIFY) SW Quality Waiver

TYPE OF APPROVAL SOUGHT:

- ☐ Pad Certification
- ☒ Building Permit
- ☐ Grading Permit
- ☐ Paving Permit
- ☐ SO-19 Permit
- ☐ Foundation Permit
- ☐ Certificate of Occupancy - ☐ Temp ☐ Perm
- ☐ Preliminary / Final Plat
- ☐ Site Plan for Building Permit - DFT
- ☐ Work Order (DRC)
- ☐ Release of Financial Guarantee (ROFG)
- ☐ CLOMR / LOMR
- ☐ Conceptual TCL - DFT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 12.10.2024

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: Pitre Kia DATE: 12/10/24
DEVELOPMENT: Pitre Kia Auto Dealership Expansion
LOCATION: Tract B-1 AND C-1 of Adobe Wells Subdivision
9640 Eagle Ranch Road NW, Albuquerque, NM

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 113.3 cubic feet

The provided volume is 0 cubic feet

The deficient volume is 113.3 cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: The Pitre Kia Auto Dealership is an existing development that was constructed in 2003. A proposed building addition of 6,002 SF is to be added to the existing building. As part of this expansion, 11 parking spaces and a parking island will be removed to accommodate the addition. Additionally, a new paved driveway covering approximately 5,230 SF will surround the new addition and will increase the impervious area to the site respectively. This expansion to the impervious area will increase the storm runoff volume by approximately 113.3 cubic feet. Due to the existing site constraints and minimal site modifications proposed, we request to pay a fee in lieu for the required stormwater quality volume storage requirements that will not be met.

Amadeo Trujillo, PE Tierra West, LLC
Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 906.53

THIS SECTION IS FOR CITY USE ONLY

☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

☐ Waiver is DENIED.



City of Albuquerque
Hydrology Section

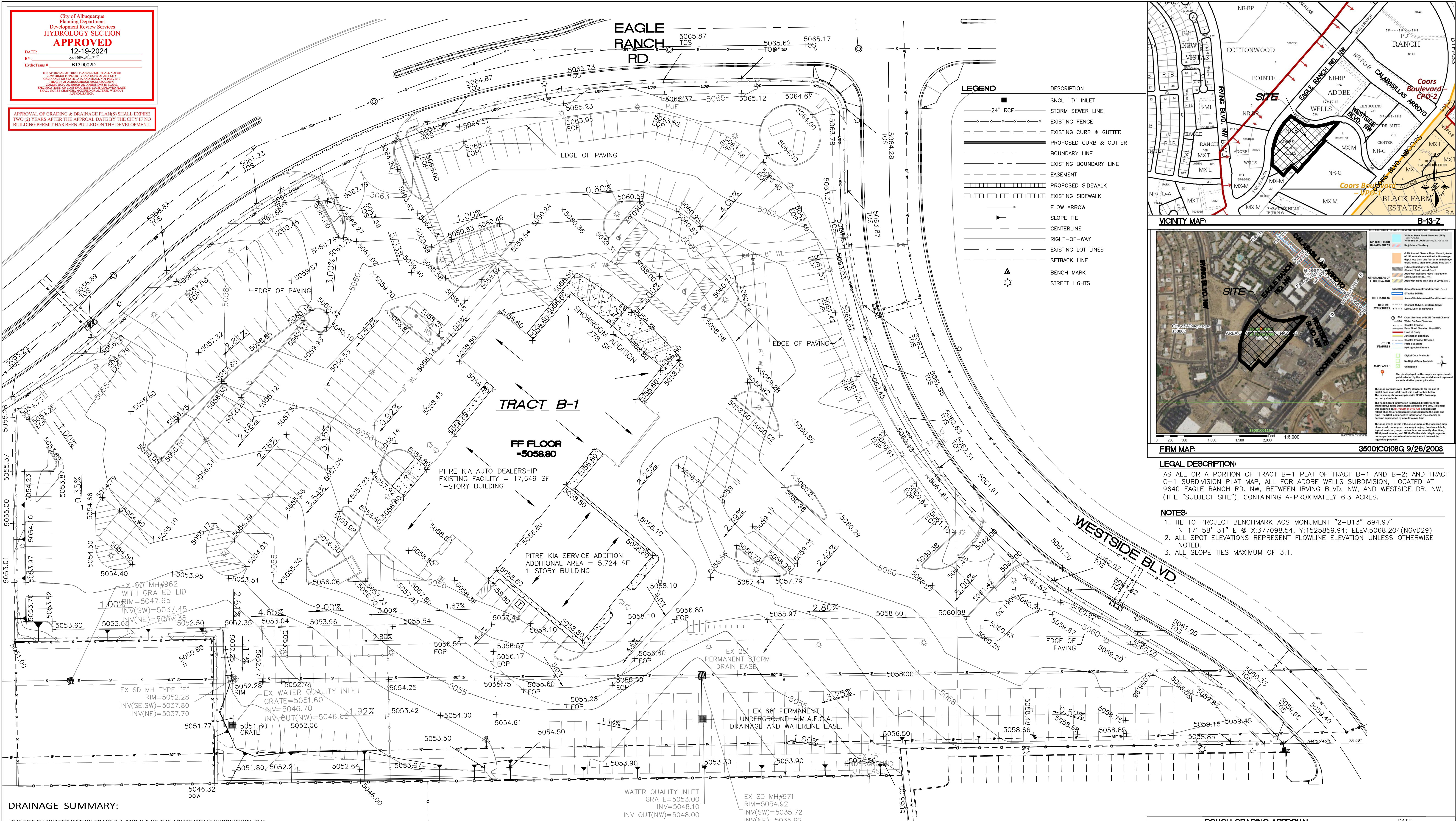
City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION

APPROVED
12-19-2024

DATE: _____
BY: _____
HydroTeam # B13D002D

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE
CONSIDERED TO BE A GUARANTEE OF THE CITY OF
ALBUQUERQUE OR ITS EMPLOYEES. THE CITY OF
ALBUQUERQUE DOES NOT WARRANT THE ACCURACY OR
COMPLETENESS OF THE INFORMATION PROVIDED HEREIN.
SPECIFICATIONS OR CONSTRUCTION SHALL BE APPROVED AND
SHALL NOT BE CHANGED WITHOUT THE WRITTEN
AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO
BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT



DRAINAGE SUMMARY:

THE SITE IS LOCATED WITHIN TRACT B-1 AND C-1 OF THE ADOBE WELLS SUBDIVISION. THE IMPROVEMENTS TO THE 6.4 ACRE PROPERTY (TWO TRACTS) INCLUDES A 5,700 SF BUILDING EXPANSION ALONG THE SE CORNER OF THE EXISTING BUILDING. AS PART OF THIS EXPANSION, 11 PARKING SPACES WILL BE REMOVED AND A PARKING ISLAND WILL BE RELOCATED ACCORDINGLY. AS PART OF THESE ADDITIONS, THERE WILL BE ASSOCIATED PARKING STALL RELOCATING AND RESTRIPIING AS WELL AS AN EXTENSION TO THE PAVED ACCESS ROAD THAT WILL WRAP AROUND THE SE CORNER OF THE BUILDING.

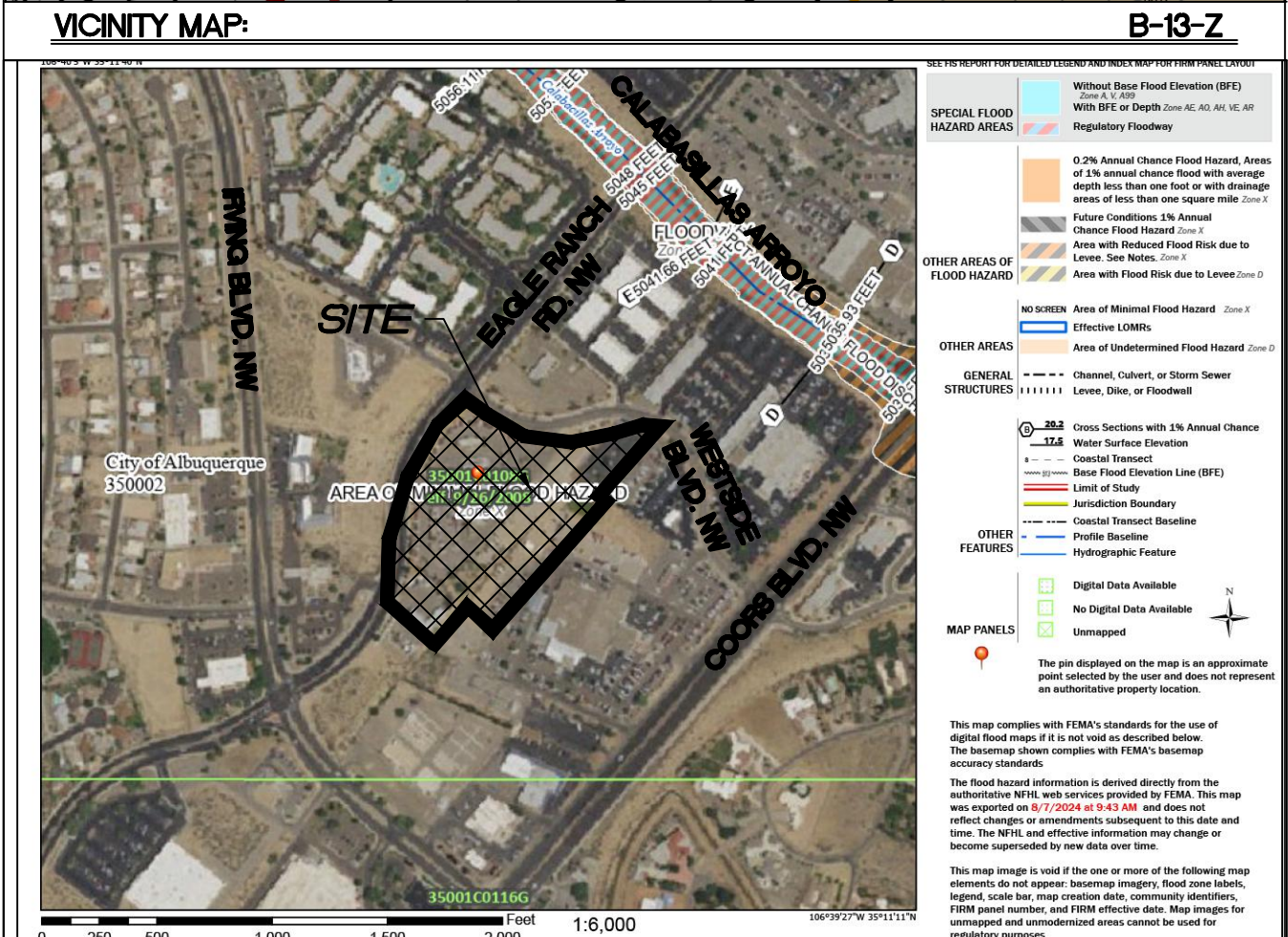
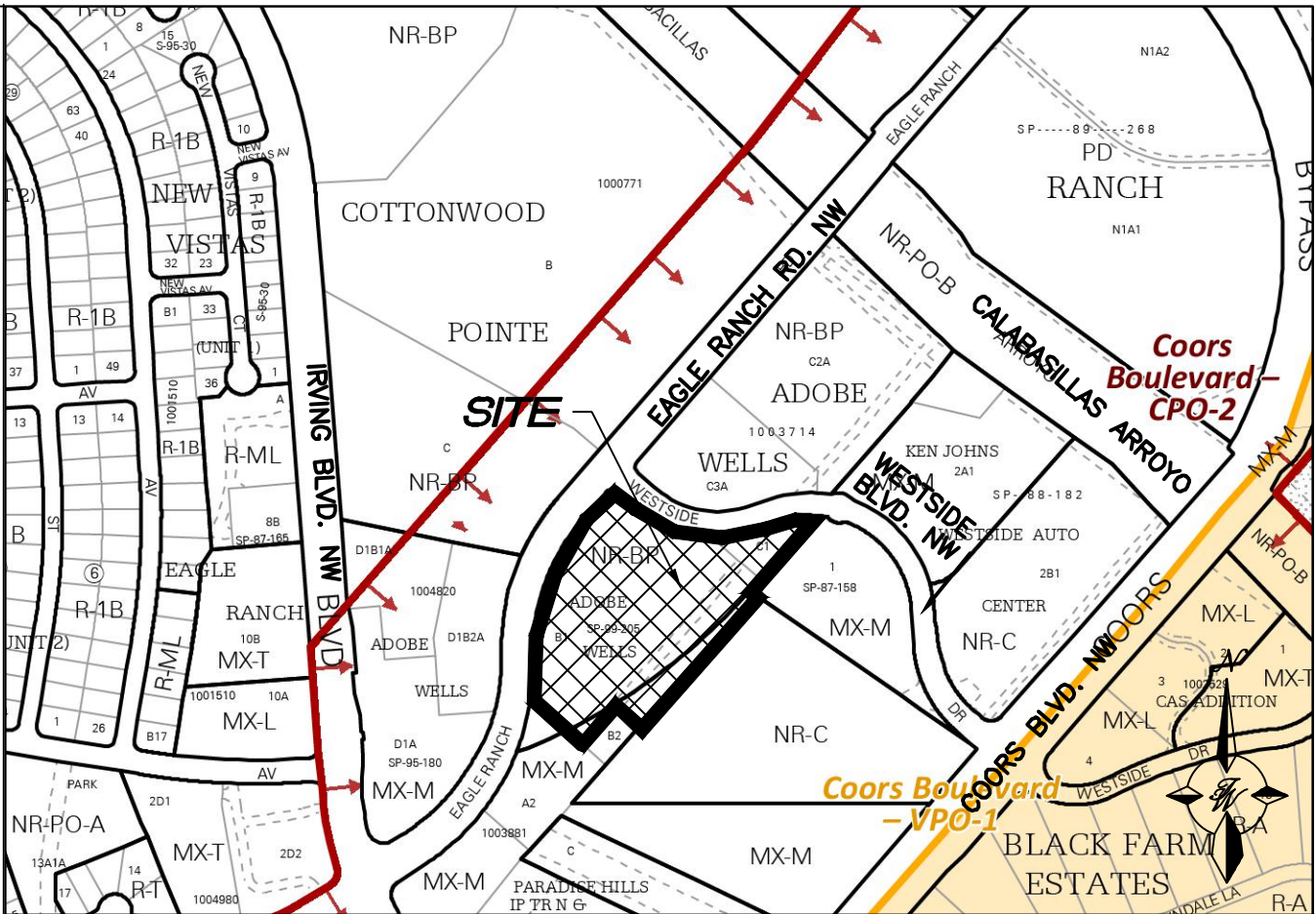
THE PROPOSED ADDITIONS TO THE SITE WILL ENCUMBER 5,230 SQUARE FEET OF LAND AREA THAT WAS PREVIOUSLY COMPOSED OF LAND TREATMENT C. THIS PREVIOUSLY PERVIOUS AREA WILL NOW BE COMPLETELY IMPERVIOUS AND WILL BE COMPOSED OF LAND TREATMENT D PER CHAPTER 6 OF THE CITY OF ALBUQUERQUE (COA) DEVELOPMENT PROCESS MANUAL (DPM). LYING WITHIN ZONE 1, THIS ADDITIONAL IMPERVIOUS AREA WILL ACCOUNT FOR A SUPPLEMENTARY VOLUME OF STORM WATER RUNOFF DURING THE 100-YEAR, 6-HOUR STORM EVENT. THIS ADDITIONAL ONSITE FLOW WILL BE CONVEYED TO ONE OF TWO EXISTING WATER QUALITY INLETS LOCATED AT THE SOUTHERN EDGE OF THE SITE TO MATCH HISTORIC RUNOFF PATTERNS FOR THIS DEVELOPMENT. THE ASSOCIATED STORM WATER QUALITY VOLUME INCREASE FOR THIS ADDITION TO THE IMPERVIOUS AREA WILL BE, 0.26 INCHES X 5'230 SQUARE FEET =113.3 CUBIC FEET PER THE REQUIREMENTS LAID OUT IN THE DPM. A PAYMENT-IN-LIEU WILL BE REQUESTED AS A WAIVER TO ONSITE STORM WATER QUALITY VOLUME INFRASTRUCTURE IMPROVEMENTS DUE TO THE EXISTING SITE CONSTRAINTS AND MINIMAL SITE MODIFICATIONS PROPOSED.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



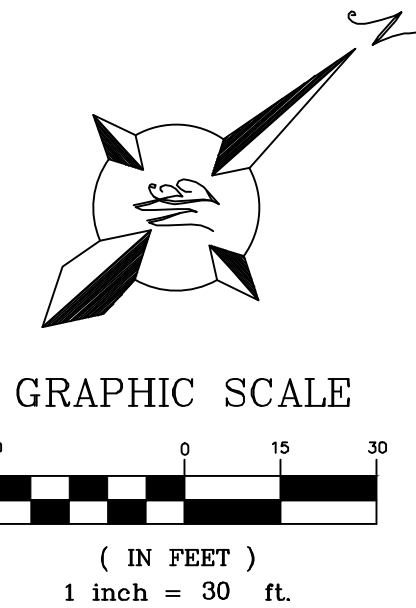
FIRM MAP: 35001C0108G 9/26/2008

LEGAL DESCRIPTION:

AS ALL OR A PORTION OF TRACT B-1 PLAT OF TRACT B-1 AND B-2; AND TRACT C-1 SUBDIVISION PLAT MAP, ALL FOR ADOBE WELLS SUBDIVISION, LOCATED AT 9640 EAGLE RANCH RD. NW, BETWEEN IRVING BLVD. NW, AND WESTSIDE DR. NW, (THE "SUBJECT SITE"), CONTAINING APPROXIMATELY 6.3 ACRES.

NOTES:

- TIE TO PROJECT BENCHMARK ACS MONUMENT "2-B13" 894.97' N 17° 58' 31" E @ X:377098.54, Y:1525859.94; ELEV:5068.204(NGVD29)
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPE TIES MAXIMUM OF 3:1.



ROUGH GRADING APPROVAL

DATE

ENGINEER'S SEAL
RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER
11/06/2024
RONALD R. BOHANNAN
P.E. #7868

KIA WESTSIDE
AUTO DEALERSHIP

GRADING AND
DRAINAGE PLAN


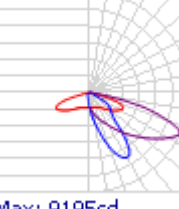

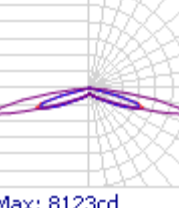
TIERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
RMG
DATE
11/06/2024

SHEET #
GR-1
JOB #
2024019

Schedule

Symbol	Label	QTY	Manufacturer	Catalog	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	S1	21	Lithonia Lighting	DSX0 LED P5 30K 70CRI AFR HS	1	11373	0.85	90.12	
	S2	23	Lithonia Lighting	DSX0 LED P5 30K 70CRI T5W	1	12310	0.85	180.24	


Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DISPLAY AREA @ 48"	+	7.7 fc	16.8 fc	1.3 fc	12.9:1	5.9:1
FRONT ROW @ 48"	+	7.4 fc	28.5 fc	1.0 fc	28.5:1	7.4:1
SITE @ GRADE	+	2.5 fc	17.8 fc	0.0 fc	N/A	N/A

Note

1. FRONT ROW MEASUREMENTS TAKEN AT 48" ABOVE GRADE.
2. SITE MEASUREMENTS TAKEN AT GRADE.
3. MOUNTING HEIGHT: PERIMETER POLE LOCATIONS - 16'-0"
4. MOUNTING HEIGHT: INTERIOR LOT LOCATIONS - 20'-0"
5. LUMINAIRE CCT: 3000K

LUMINAIRE



D-Series Size 0
LED Area Luminaire

Specifications

Length: 30.0"

Width: 18.0"

Height: 12.0"

Weight: 12.0 lbs

Introduction

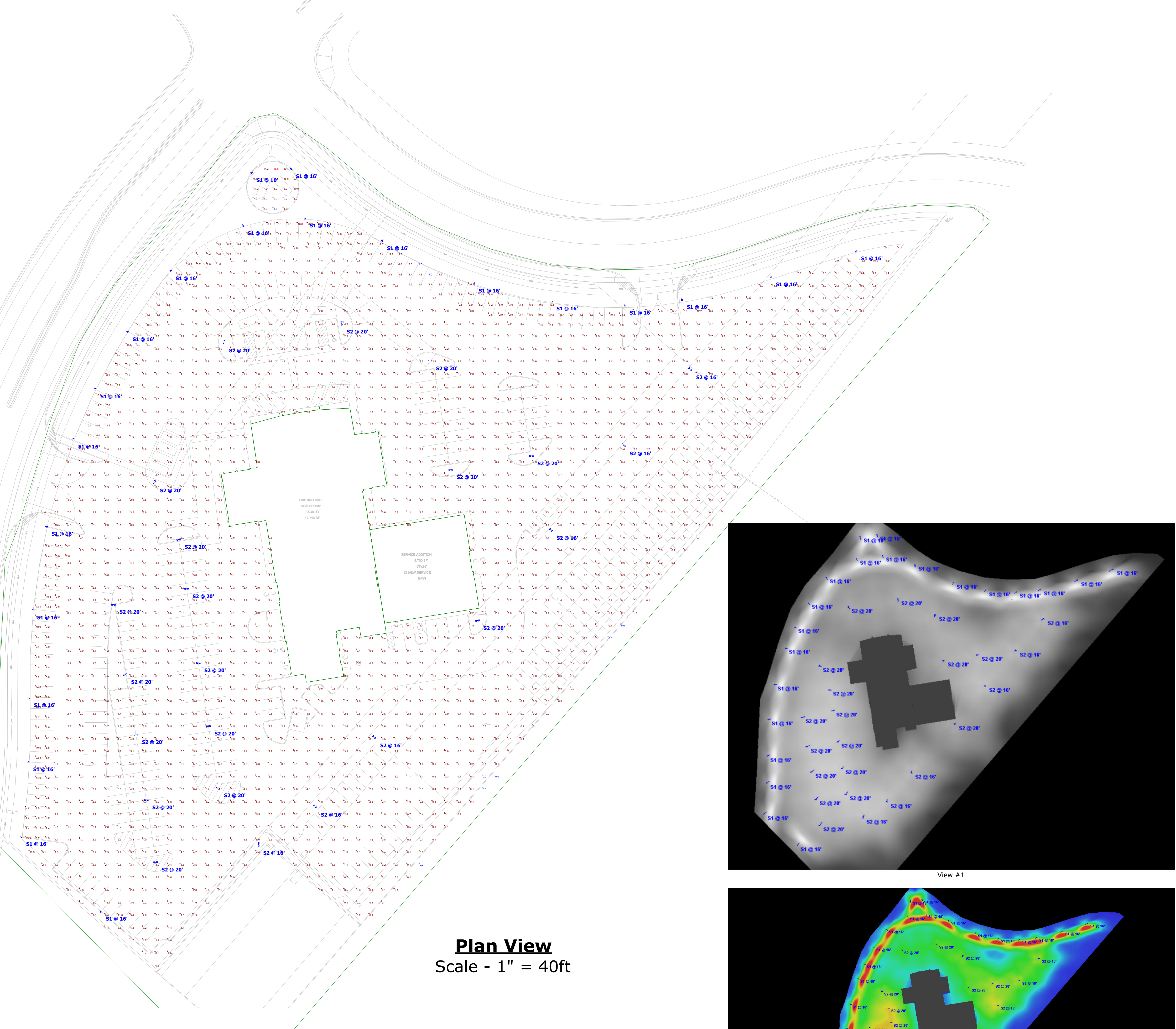
The D-Series features a highly efficient LED technology with an extremely long life span. The D-Series offers the benefits of the latest in LED technology in a high performance, high efficiency luminaire.

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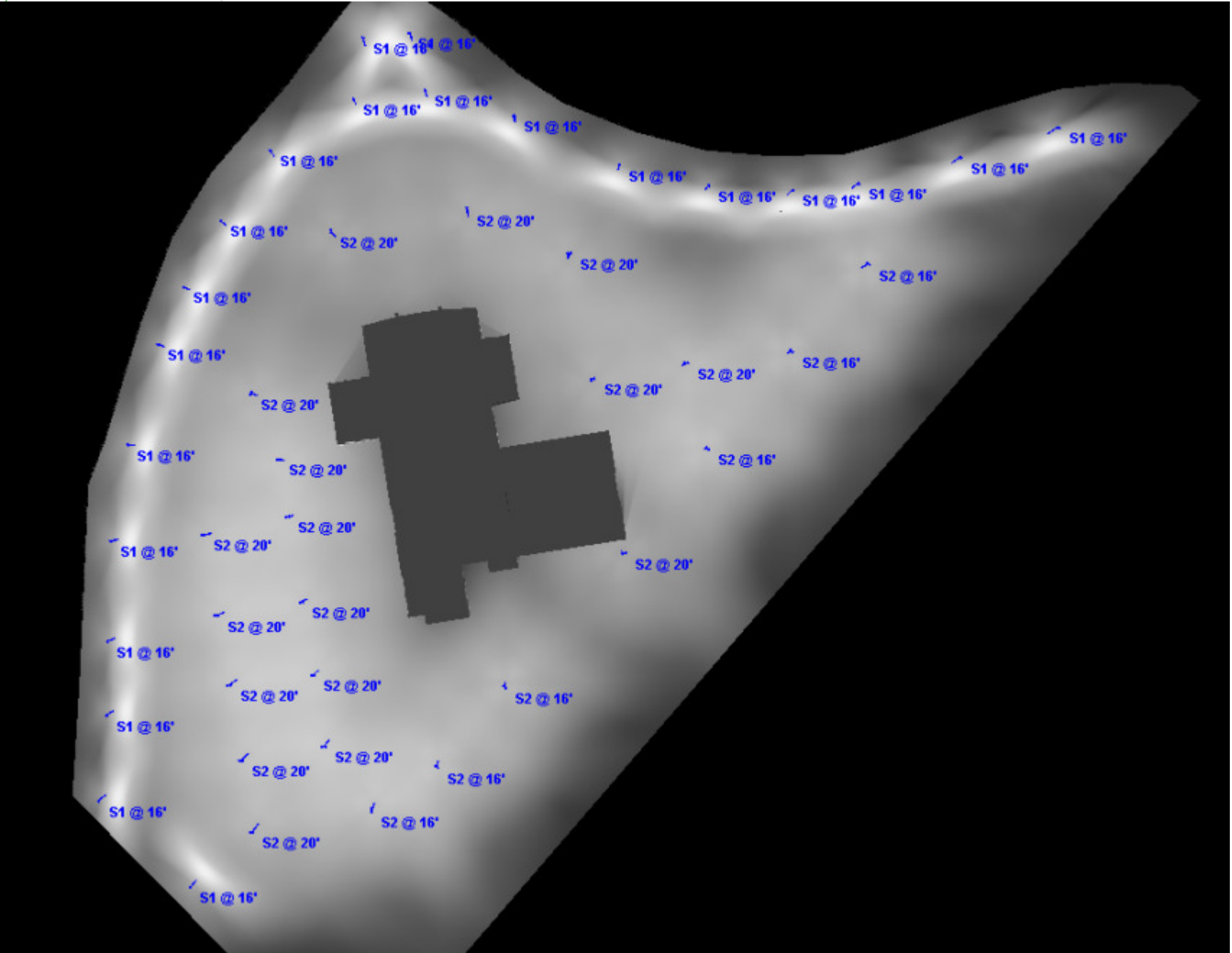
Ordering Information

EXAMPLE: DSX0 LED P5 30K 70CRI T5W MVOLT 50A NEMA2 PRHN DORND

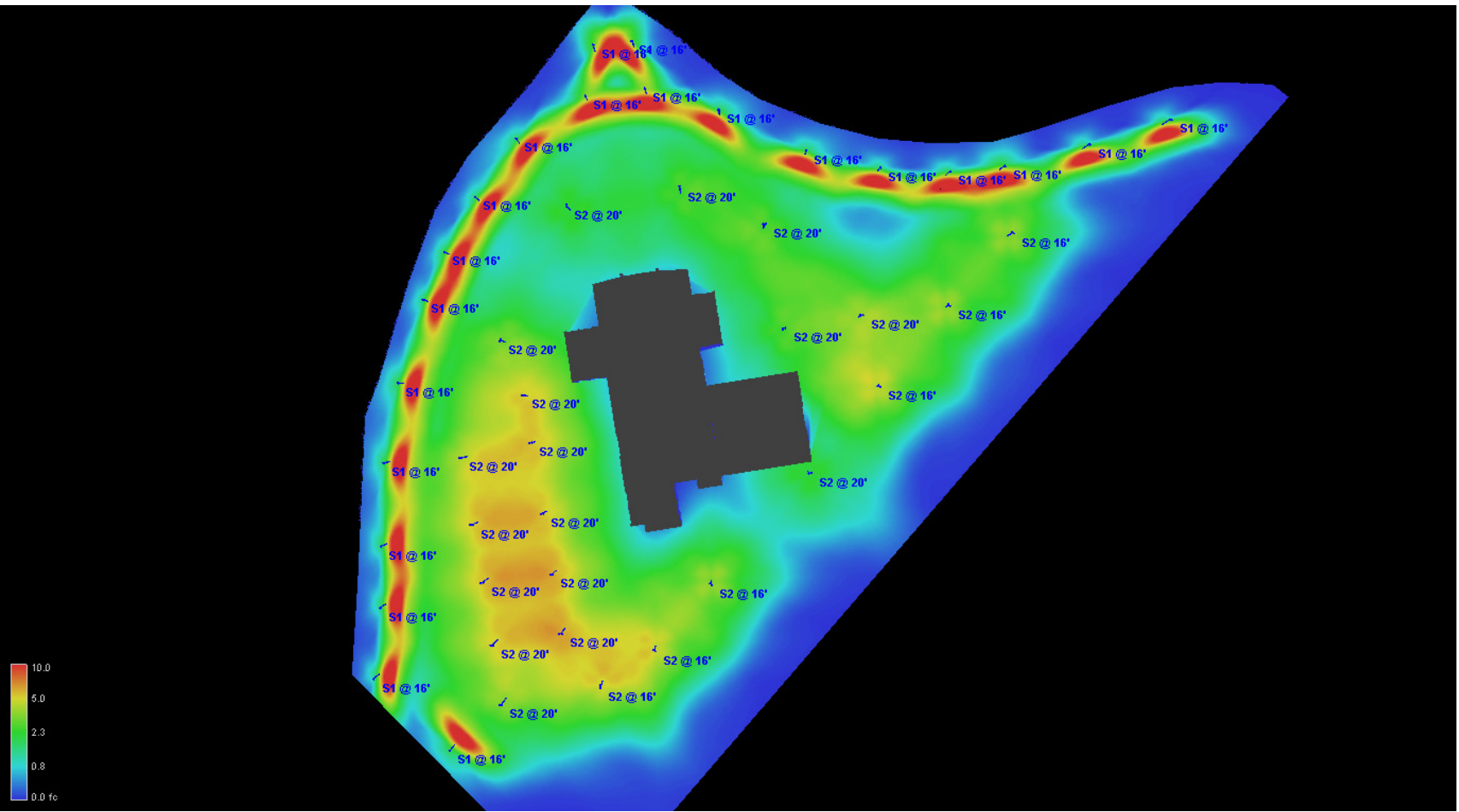
Order	Part Number	Description	Quantity	Unit Price	Total Price
1	DSX0 LED P5 30K 70CRI T5W MVOLT 50A NEMA2 PRHN DORND	DSX0 LED P5 30K 70CRI T5W MVOLT 50A NEMA2 PRHN DORND	1	12.00	12.00



Plan View
Scale - 1" = 40ft



View #1



View #2

DESIGNER'S NOTE:

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IESNA) APPROVED METHODS. ADDITIONALLY, THE PREPARER USED INFORMATION PROVIDED BY THE CUSTOMER. IF/WHEN SUFFICIENT INFORMATION WAS NOT PROVIDED, PREPARER USED EDUCATED ASSUMPTIONS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIR(S) MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER FIELD CONDITIONS NOT ACCOUNTED FOR IN THIS PHOTOMETRIC ANALYSIS.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR ENERGY CODE AND RELEVANT LIGHTING QUALITY COMPLIANCE.