



Effective 11/16/2023

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS	
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form S3)	
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)	
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL	
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)	

BRIEF DESCRIPTION OF REQUEST

Subdivision: 1 lot into 5 lots

APPLICATION INFORMATION

Applicant/Owner: Skyblue Investments LLC		Phone:
Address: 7515 Treviso NE		Email:
City: Albuquerque	State: NM	Zip: 87113
Professional/Agent (if any): ARCH+PLAN Land Use Consultants LLC		Phone: 505-980-8365
Address: P.O. Box 25911		Email: arch.plan@comcast.net
City: Albuquerque	State: NM	Zip: 87125
Proprietary Interest in Site: owners	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract A	Block: 2	Unit: 2
Subdivision/Addition: Westbrook Heights	MRGCD Map No.:	UPC Code: 1-010-056-123-018-327-19
Zone Atlas Page(s): L-10	Existing Zoning: PD	Proposed Zoning: R-1A
# of Existing Lots: 1	# of Proposed Lots: 5	Total Area of Site (Acres): 0.5845

LOCATION OF PROPERTY BY STREETS

Site Address/Street: Corel Dr	Between: San Ygnacio Rd	and: Sage Rd
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1001334

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 10-14-2024
Printed Name: Derrick Archuleta	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the deferral or extension
- ___ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- ___ 6) Preliminary Plat or Site Plan
- ___ 7) Copy of DRB approved Infrastructure List
- ___ 8) Copy of recorded IIA

SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- X ___ 1) DFT Application form completed, signed, and dated
- X ___ 2) Form S3 with all the submittal items checked/marked
- X ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- X ___ 4) Letter describing, explaining, and justifying the request
- X ___ 5) Scale drawing of the proposed subdivision plat or Site Plan
- X ___ 6) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

ARCH+PLAN
LAND USE CONSULTANTS
ALBUQUERQUE NM

October 12, 2024

Development Facilitation Team
City of Albuquerque
600 2nd St NW
Albuquerque NM

RE: TRACT A, BLOCK 2, WESTBROOK HEIGHTS SUBDIVISION UNIT 2

Development Facilitation Team:

I would like to request Sketch Plat review and DFT comments for a minor subdivision (1 lot into 5 lots) for the above mentioned property.

The property owner would to create five (5) lots from a former retention pond site reflecting the R-1A (Single Family Residential-Small Lot) zone. The interest is to benefit from §14-16-2-6(A)(7) of the IDO specific to PD zoned districts related to single family residential development. The property is one of several former retention pond locations within the Westbrook Heights Subdivision which are currently zoned Single Family Residential. The site is the only former retention pond property that is not zoned Single Family Residential. The subject site is zoned PD (Planned Development) on a total of 0.5845± acres.

The site is undeveloped.

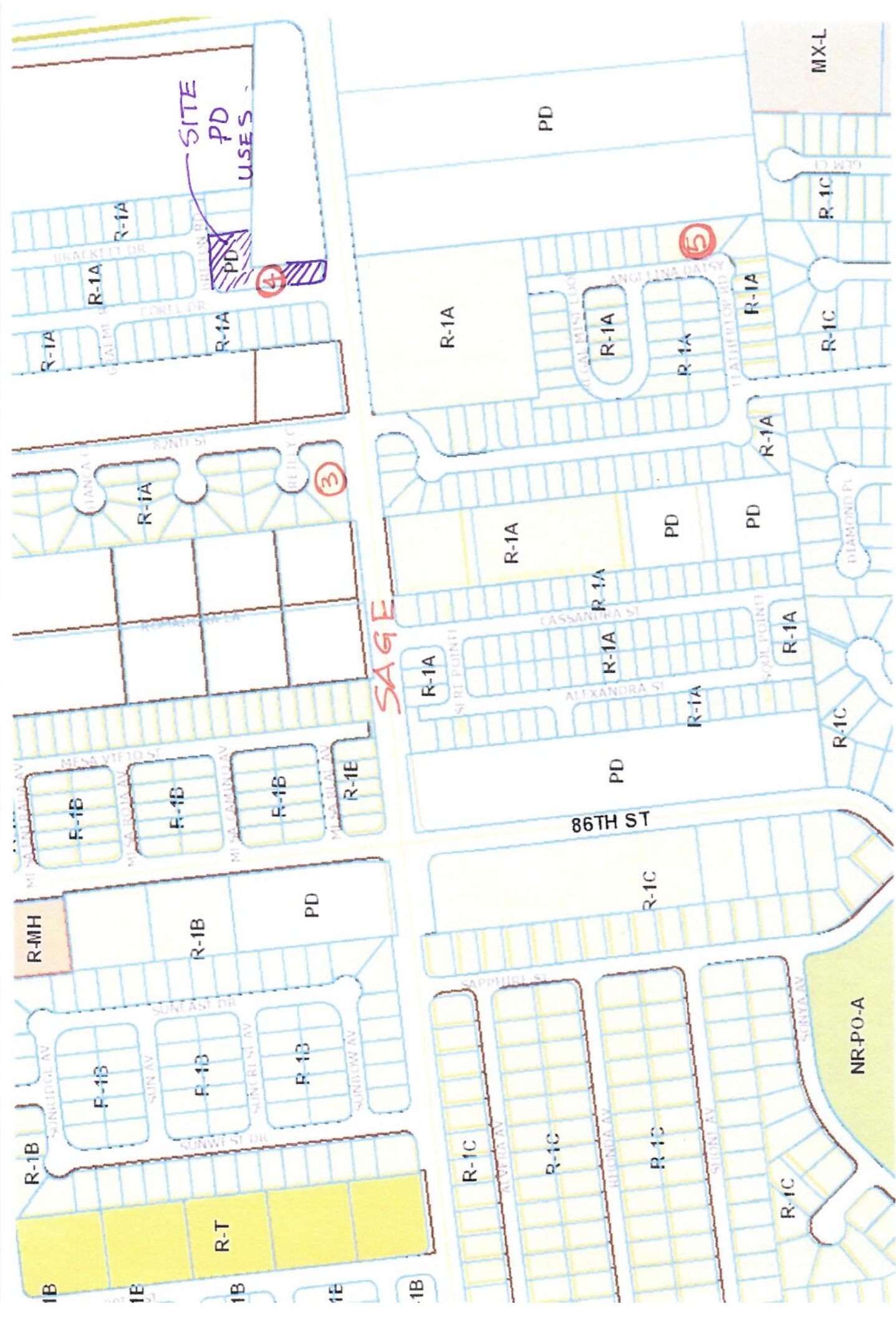
The site is governed by the Area of Consistency of the Albuquerque/Bernalillo County Comprehensive Plan within the Southwest Mesa Planning Area.

Thank you for your time and consideration of the proposed application.

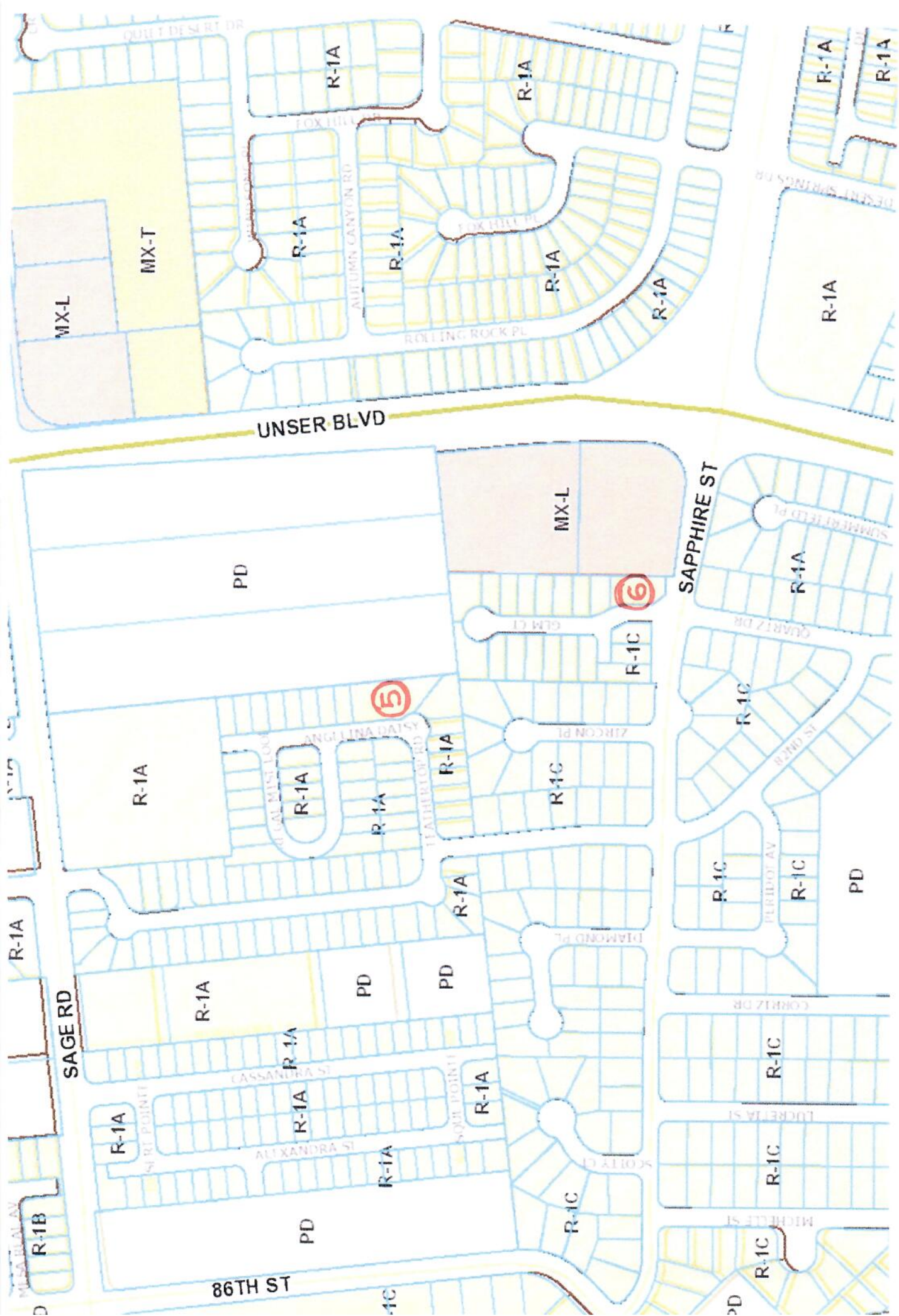
Sincerely,



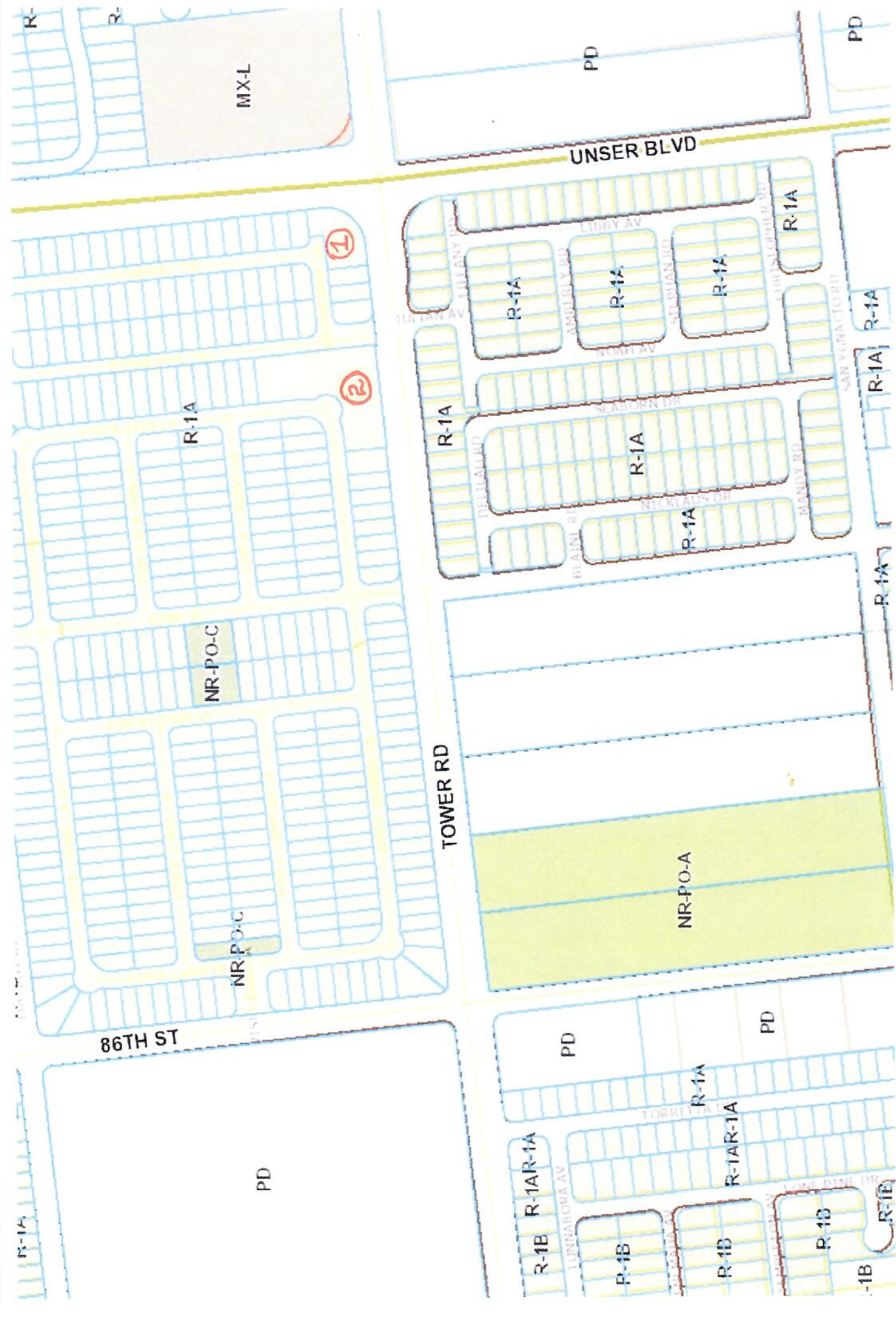
Derrick Archuleta, MCRP
Principal



Page 2 - Zone Map L-10



Page 3 - Map M10



Page 1 - Zone Map L-10

2-6(A)(3)(c) A PD zone district will not be accepted or approved for any proposed development that could be achieved in substantially the same form through the use of one or more zone districts and/or Overlay zones.

2-6(A)(4) Allowable Uses

2-6(A)(4)(a) A PD zone district may contain any combination of uses listed in Table 4-2-1, except those that require NR-SU zoning, for all or part of the PD zone district, provided that those uses do not create significant adverse impacts on nearby existing neighborhoods, City parks or trails, or Major Public Open Space.

2-6(A)(4)(b) All allowable uses are subject to the Use-specific Standards listed for that use in Section 14-16-4-3 unless modified by the Site Plan – EPC associated with the PD zone district approval.

2-6(A)(4)(c) Use-specific Standards in Section 14-16-4-3 that refer to Residential zone districts apply to PD zone districts that meet the definition of a Residential zone district in Section 14-16-7-1.

2-6(A)(5) Development and Form Standards

2-6(A)(5)(a) All development in the PD zone district shall be subject to the provisions of Part 14-16-5 (Development Standards) for the type of use or structures in the approved Planned Development, unless those standards are modified by the Site Plan – EPC associated with the PD zone district approval.

2-6(A)(5)(b) A PD zone district approval may not reduce requirements in Section 14-16-5-9 (Neighborhood Edges) designed to protect abutting properties from potential adverse impacts of development.

2-6(A)(5)(c) A PD zone district approval may not reduce requirements in Subsection 14-16-5-2(J) (Major Public Open Space Edges) designed to protect Major Public Open Space properties from potential adverse impacts of development.

2-6(A)(6) Provisions for Specific Areas

Specific provisions and regulations applicable to each approved PD zone district are on file at the City Planning Department.



2-6(A)(7) Procedure for Single-family Development

For PD zone districts that show a clear pattern of single-family residential platting or land use based on a pre-IDO approval, the property owner may apply for a Site Plan – Administrative pursuant to Subsection 14-16-6-5(G) for low-density residential development that maintains the pattern of development in the surrounding subdivision.