



Effective 11/16/2023

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (<i>Form S3</i>)
<input type="checkbox"/> Site Plan Administrative DFT (<i>Forms SP & P2</i>)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (<i>Form P2</i>)	<input type="checkbox"/> Sketch Plat Review and Comment (<i>Form S3</i>)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (<i>Form S3</i>)	<input type="checkbox"/> Sketch Plan Review and Comment (<i>Form S3</i>)
<input type="checkbox"/> Temporary Deferral of S/W (<i>Form S3</i>)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (<i>Form S3</i>)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (<i>Form A</i>)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION			
Applicant/Owner:		Phone:	
Address:		Email:	
City:	State:	Zip:	
Professional/Agent (if any):		Phone: 505-858-3100	
Address:		Email: dsandoval@tierrawestllc.com	
City:	State:	Zip:	
Proprietary Interest in Site:		List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM S3: ADMINISTRATIVE APPLICATIONS – Development Facilitation Team (DFT) as of 12/25/2022**_ AMENDMENT TO INFRASTRUCTURE LIST**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Amended Infrastructure List
- ___ 6) Original Infrastructure List

_ TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

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- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) A scale drawing showing the location of the deferred sidewalk with appropriate dimensions

_ EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled

- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the deferral or extension
- ___ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

_ INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- ___ 6) Preliminary Plat or Site Plan
- ___ 7) Copy of DRB approved Infrastructure List
- ___ 8) Copy of recorded IIA

_ SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT

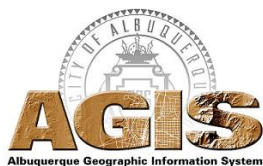
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- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter describing, explaining, and justifying the request
- ___ 5) Scale drawing of the proposed subdivision plat or Site Plan
- ___ 6) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

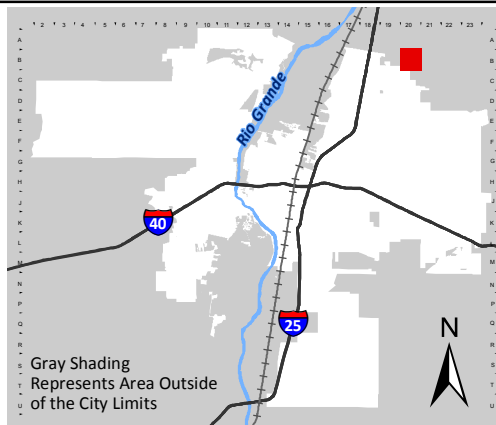


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

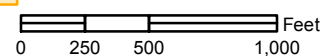


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
B-20-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





October 25, 2024

Ms. Jolene Wolfley
Development Facilitation Team
Plaza Del Sol Building
600 2nd NW
Albuquerque, NM 87102

**RE: SKETCH PLAT FOR SIDEWALK, CURB AND GUTTER WAIVER
FOR A NEW RESIDENTIAL DWELLING AT 9001 MODESTO AVE NE ALBUQUERQUE NM 87122,
LEGALLY DESCRIBED AS 018 017TR 1 UNIT 3 NO ALBUQ ACRES**

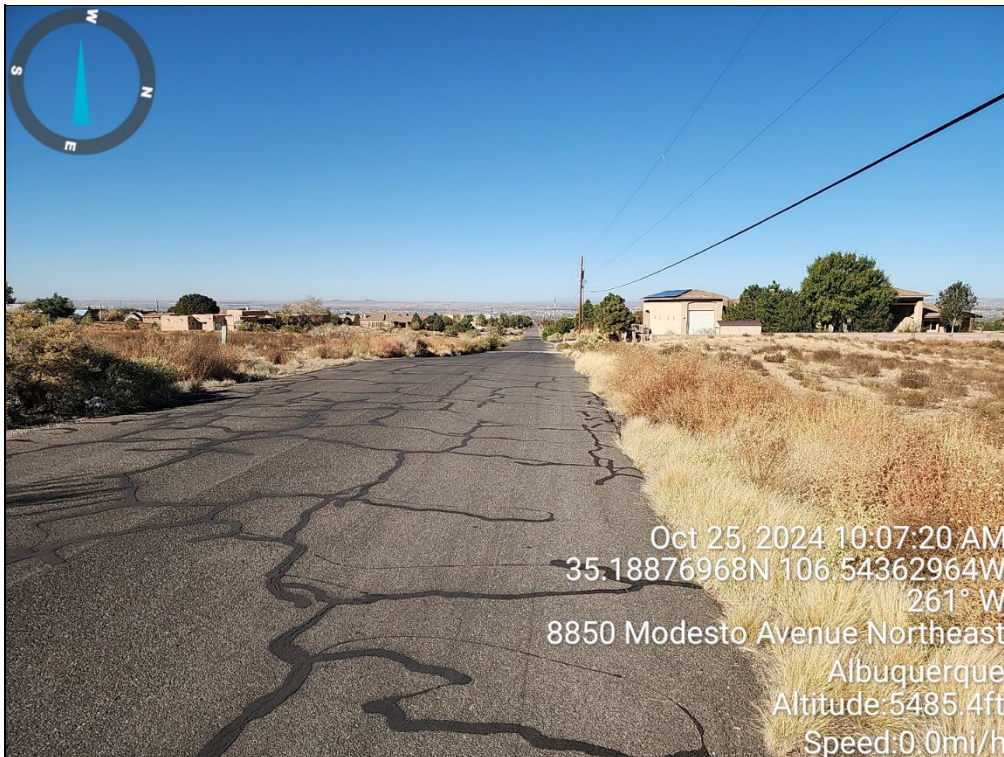
Dear Ms. Wolfley

Tierra West LLC is requesting a Sketch Plat review and comments for subsequent DHO – Minor Sidewalk, Curb and Gutter Waiver request for the property at 9001 Modesto Ave NE, Albuquerque, NM, 87122, legally described as 018 017TR 1 UNIT 3 NO ALBUQ ACRES, Acres: 0.8864 (the subject site).

Proposed Development

The proposed development is for the construction of a new single-family residential dwelling in Albuquerque’s North Heights. The property is zoned PD, and the proposed development is following R-1D design standards. The property is in an area that used to be unincorporated by the city and has a predominantly rural character, see Figure 1.

Figure 1 - Rural Roadway Conditions Around the Subject Site



Request – Sidewalk Waiver

The request is to waive the standard street section of sidewalk, curb and gutter for the roadway. The area is of low-intensity land use to an extent that the normal installation of sidewalks will not contribute to the public welfare, and the absence of a sidewalk will not create a gap in an existing sidewalk system extended to 1 or more sides of the subject property, see Figure 2.

Figure 2 - Lack of Sidewalk on Modesto Ave NE



Conclusion

Tierra West LLC respectfully requests Sketch Plat review and comment by the Development Facilitation Team for a subsequent DHO – Minor Sidewalk, Curb and Gutter Waiver. The proposed development is for a new single-family residential dwelling in Albuquerque’s North Heights. The waiver request aligns with the character of the neighborhood and shows just cause given the low-intensity land use and the absence of a sidewalk system in the area.

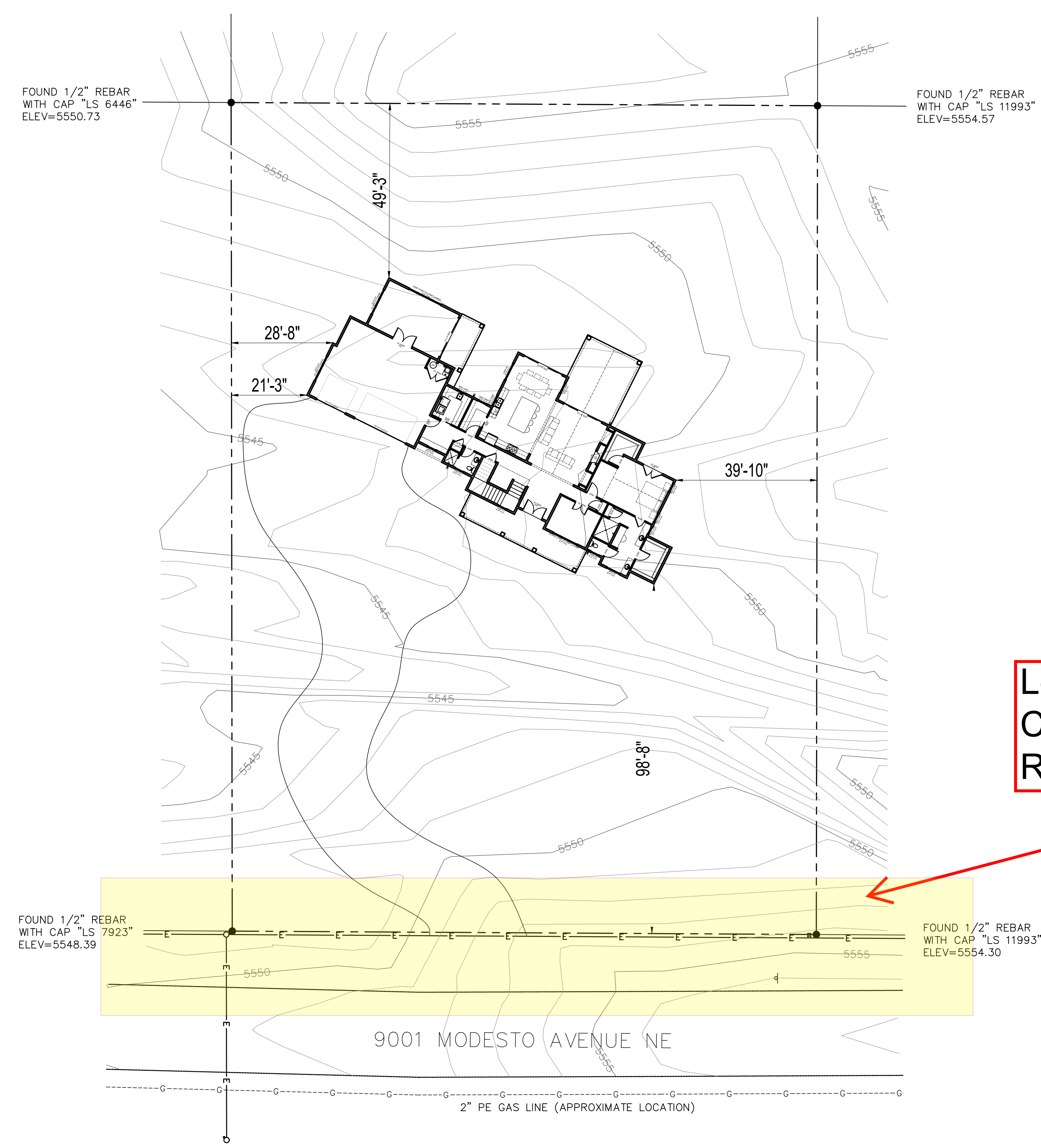
As part of this submittal, please find the proposed scaled site plan with the waiver location called out, and zone atlas map.

If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,

Donna Sandoval
Planner

JN: 2024002
DS/jm/rrb



The request is to waive the standard street section of sidewalk, curb and gutter for a road predominantly rural in character

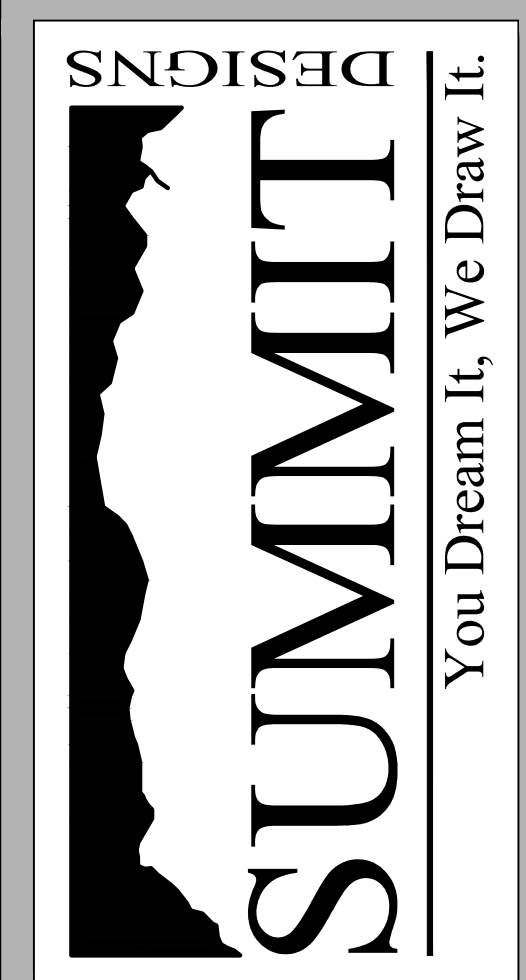
SITE PLAN
SCALE: 1"=20'

INDEX	
A1.1	COVER/SITE PLAN
A2.1	FLOOR PLAN
A3.1	DIMENSION PLAN
A4.1	ELEVATION PLAN
A5.1	FOUNDATION PLAN
A6.1	FRAMING PLAN
A7.1	ELECTRICAL PLAN
A8.1	DETAILS/SECTIONS
A9.1	BRACED WALL

ENERGY CODE	
2018 International Energy Conservation Code Climate Zone 4	
Item	R-Value or U-Value
Slab	2" Perimeter / Rigid Insul.
Floor	R-19 Batt. Insulation
Walls	R-21 Batt. Insulation
Roof	R-49 Batt. Insulation
Doors	U: .32 Min.
Windows	U: .32 Min.
Skylites	U: .55 Min.

CODE COMPLIANCE	
2015 International Building Code	
2015 International Residential Code	
2015 New Mexico Residential Code	
2009 International Energy Code	
Applicable Administrative Codes	
Applicable State Codes	

LEGAL DESCRIPTION	
LOT: 18	
BLOCK: 17	
TRACT: 1	
UNIT: 3	
NORTH ALBUQUERQUE SUBDIVISION	



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TAYLOR RESIDENCE
9001 MODESTO AVENUE NE, ALBUQUERQUE, NM
COVER/SITE PLAN

DESIGN DATA	
1ST FLOOR HEATED SF:	2324 SQ. FT.
2ND FLOOR HEATED SF:	894 SQ. FT.
REC ROOM HEATED SF:	343 SQ. FT.
TOTAL HEATED SF:	3661 SQ. FT.
1 COVERED PORCH:	509 SQ. FT.
COVERED PATIO SF:	535 SQ. FT.
RECREATION COVERED PATIO SF:	102 SQ. FT.

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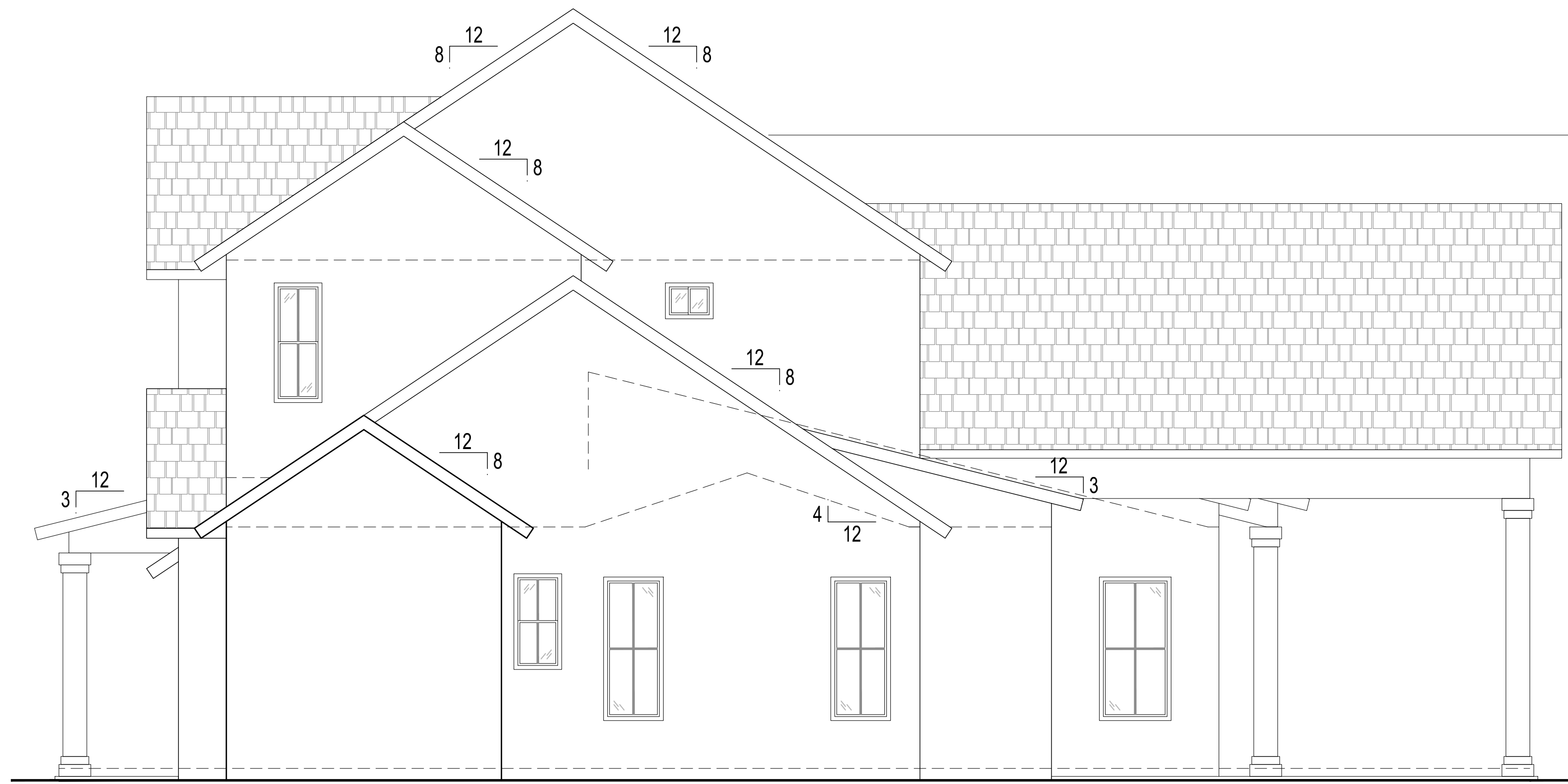
DRAWN BY:
JUSTIN EIDEM
DATE PRINTED:
08/05/24
MODIFICATION DATE:

DRAWING SCALE:
1/4"=1' U.O.N.

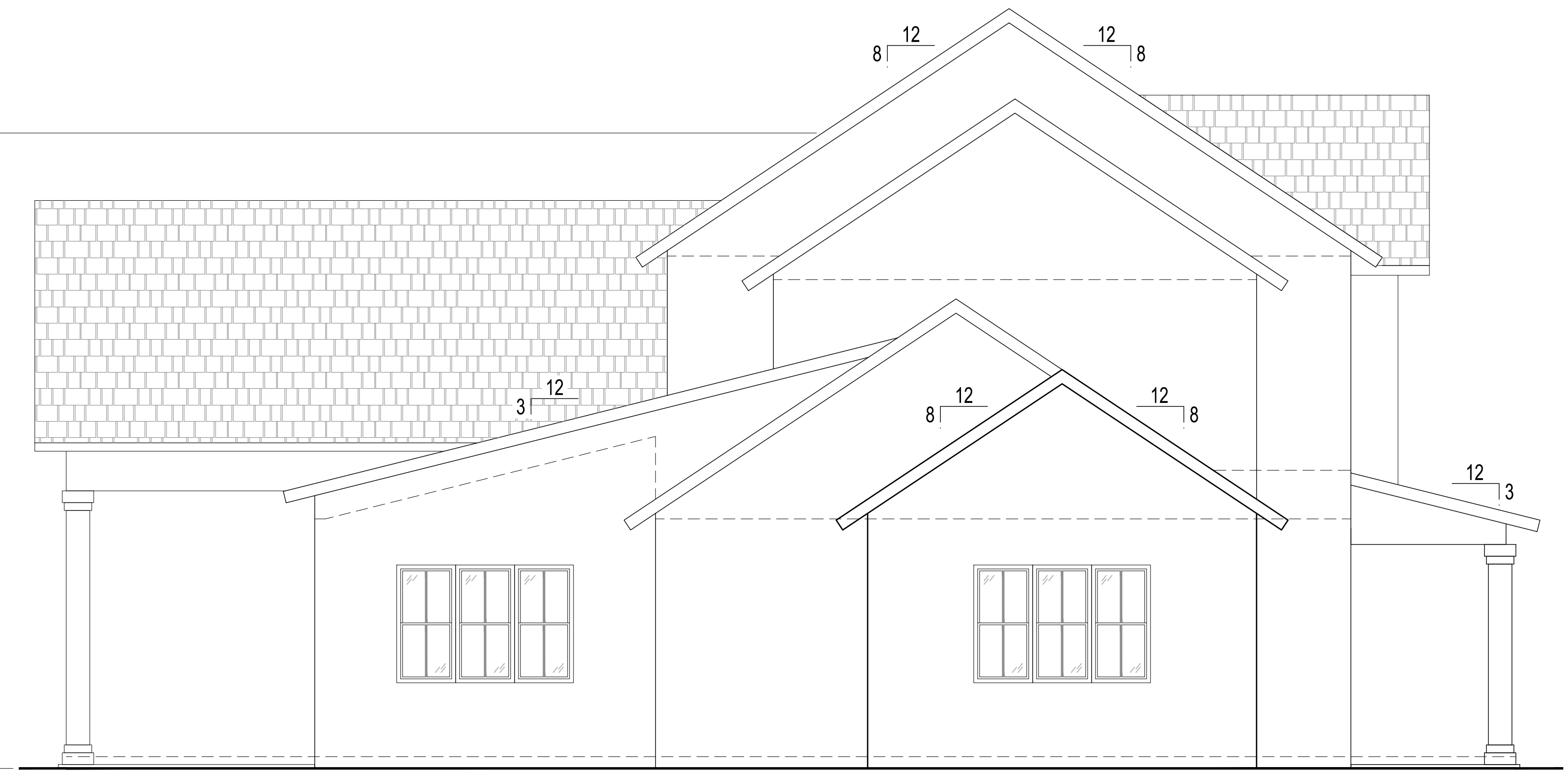
SHEET NUMBER:
A1.1



NORTHEAST ELEVATION



SOUTHEAST ELEVATION



NORTHWEST ELEVATION



SOUTHWEST ELEVATION

DESIGN DATA

2324 SQ. FT.	1ST FLOOR HEATED SF:
894 SQ. FT.	2ND FLOOR HEATED SF:
343 SQ. FT.	REC ROOM HEATED SF:
380 SQ. FT.	1 CAR GARAGE SF:
272 SQ. FT.	COVERED PORCH SF:
335 SQ. FT.	COVERED PATIO SF:
102 SQ. FT.	RECREATION COVERED PATIO SF:

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JUSTIN EIDEM

DATE PRINTED:
08/05/24

MODIFICATION DATE:

DRAWING SCALE:
1/4" = 1' U.O.N.

SHEET NUMBER:

A4.1