

October 7<sup>th</sup>, 2024

City of Albuquerque Planning Department  
Plaza del Sol  
600 2<sup>nd</sup> NW  
Albuquerque, NM 87102

**Re: QuikTrip 7001**  
**Matkin Hoover Job No. 7001.00**  
**Sensitive Land Analysis Form**

**City of Albuquerque Planning Staff,**

This memo responds to the Sensitive Land Analysis as identified in IDO Section 14-16-5-2 for the referenced property located at the southwestern corner of Unser and Los Volcanes (521 Unser Blvd. NW) as shown in Exhibit A. We are developing a convenience store with light and heavy fueling, as currently defined and allowed in the IDO via conditional use.



*Exhibit A - Subject Property*

As outlined in our analysis, the impacts from the development of a new convenience store with light and heavy vehicle fueling will not increase environmental impacts to any surrounding residential areas. The project is being designed in a way that improves pedestrian traffic, traffic patterns, and economic development. The requested Conditional Use Permit allows for the development of a currently vacant lot within the Los Volcanes area. In addition, a Variance for Nicotine Retail Sales is also requested for the intent of capturing southbound traffic on User Boulevard, creating more desirable traffic flows for retail consumers of nicotine.

Per as defined by the ABQ IDO Section 14-16-5-2(C), we have identified all potential sensitive land elements that could occur as part of our site development.

**5-2(C)(2) New subdivisions of land and site design shall avoid locating development, except for open spaces and areas that will not be disturbed during the development process, in the following types of sensitive lands:**

5-2(C)(2)(a) Arroyos

*Per our survey performed on the QT #7001 site (fig Fig 1), no Arroyos have been identified as part of the existing conditions.*

5-2(C)(2)(b) Floodplains and Special Flood Hazard Areas

*Per our survey performed on the QT #7001 site (Fig 1), there are no Floodplains or Special Hazard Flood Areas that occupy the site.*

5-2(C)(2)(c) Irrigation Facilities

*Per our survey performed on the QT #7001 site (Fig 1), there are no Irrigation Facilities, artificial or natural, that occupy the site.*

5-2(C)(2)(d) Large stand of mature trees

*Per our survey performed on the QT #7001 site (Fig 1), there are no trees that occupy the site.*

5-2(C)(2)(e) Riparian Areas

*Per our survey performed on the QT #7001 site (Fig 1), no riparian areas were identified on the site.*

5-2(C)(2)(f) Rock outcroppings

*Per our survey performed on the QT #7001 site (Fig 1), no rock outcroppings were identified on the site.*

5-2(C)(2)(g) Significant archaeological sites

*Per our survey performed on the QT #7001 site (Fig 1), no significant archeological sites were identified on the site.*

5-2(C)(2)(h) Steep slopes and escarpments

*Per our survey performed on the QT #7001 site (Fig 1), no steep slopes and escarpments exist on the site.*

5-2(C)(2)(i) Steep slopes and escarpments

*Per our survey performed on the QT #7001 site (Fig 1), no wetlands exist on site.*

In addition, per the ABQ Comprehensive Plan Goals Policy Numbers 11.3.1, we have identified all potential Natural and Cultural Conflicts that could occur as part of the site development

**Policy 11.3.1**

**Natural and Cultural Features:**

**Preserve and enhance the natural and cultural characteristics and features that contribute to the distinct identity of communities, neighborhoods, and cultural landscapes.**

a) Minimize negative impacts and maximize enhancements and design that complement the natural environment, particularly features unique to Albuquerque, in development and redevelopment in light of the relationship to and effect upon the following:

- i. Indigenous vegetation and other materials appropriate to landscapes;
- ii. Topography and landscape features such as arroyos, the Rio Grande and Bosque, the foothills, and escarpments;

- iii. Soils and erosion potential;
- iv. Colors and textures of the natural environment; and
- v. Scenic views from the public right-of-way.

- b) Minimize the visibility of structures in highly scenic areas and on the western horizon as seen throughout the city through building design and materials that blend with the natural colors of the landscape and limit reflectivity.
- c) Protect important views from public rights-of-way through regulations on street orientation, site layout, building height, and signs.
- d) Encourage site design that enhances and leverages views to cultural landscapes.
- e) Encourage appropriate edge treatments, transitions, and buffers through site design and development standards for development adjacent to Open Space.
- f) Plat single-loaded streets to maintain scenic edges next to Open Space.
- g) Encourage reconstruction and revegetation to a natural setting.

*The QuikTrip Store # 7001 development property complies with all the applicable standards of the IDO, the DPM, City regulations, and any other conditions in relation to permitting and approval.*

*The impact of the site within the Albuquerque Area has been minimized by:*

- *Creating a site layout that falls within all required Zoning Setbacks for the City of Albuquerque.*
- *Using a plant palette that meets the standards provided by the City of Albuquerque.*
- *Create permanenting and temporary Erosion Control BMPs throughout the construction and operation of the site.*
- *Using building materials that meet standards as established by the City of Albuquerque.*
- *Limiting proposed sign height per ABQ IDO code to reduce and all impacts to scenic views from the public right-of-way.*

## ***Conclusion***

As outlined in our analysis, the impacts from the development of a new convenience store with light and heavy vehicle fueling will not increase impacts to any sensitive land areas. The project is being designed in a way that improves pedestrian traffic, traffic patterns, and minimizes any impacts to the surrounding environmental landscape. This project supports key City economic goals and supports the necessary development of a vacant lot within a prominent corner of the Los Volcanes neighborhood.

Should you or your staff have questions, comments, or require additional information, please feel free to contact our office.

Sincerely,

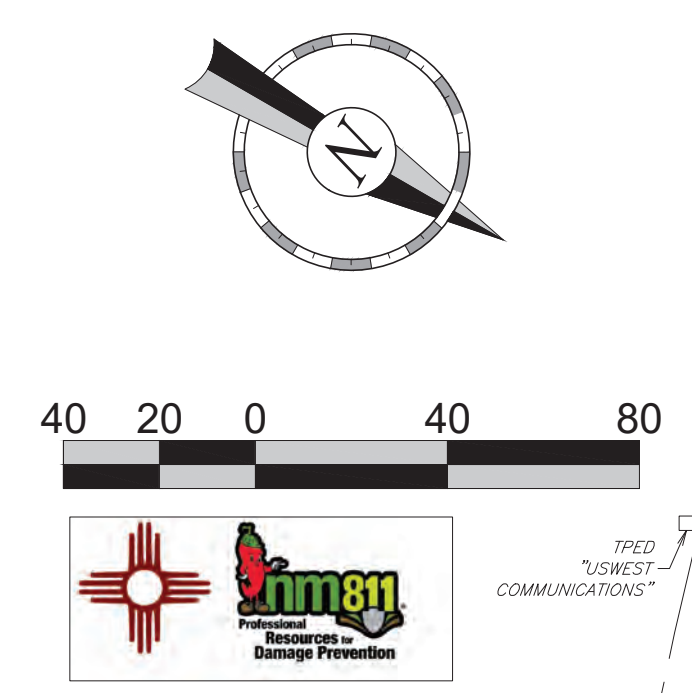
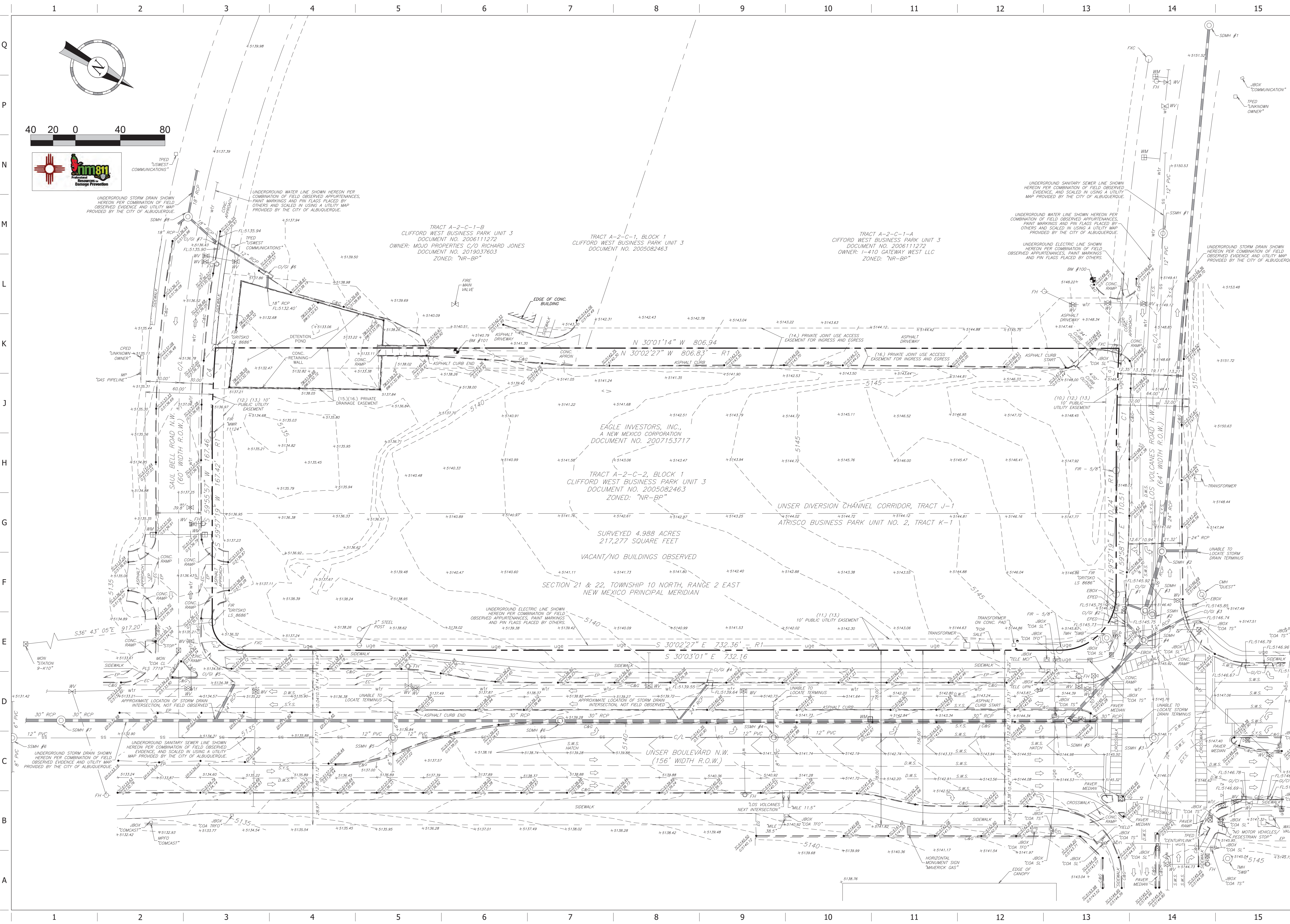


Matkin Hoover Engineering & Surveying  
TBPE Firm Registration No. F-4512  
John Mark Matkin, P.E.  
NMPE # 21937

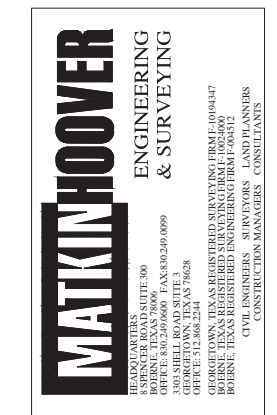
## **Attachments**

- Fig 1 – ALTA Survey performed November 3<sup>rd</sup>, 2023
- Fig 2 – Aerial Photography Exhibit
- Fig 3 – Current Site Development Plans for the QT 7001 Development
- Fig 4 – Onsite Site Photography taken as part of the survey investigation





PROJECT NO.: 23-4114



**QuikTrip No. 7001**  
 521 UNSER BLVD. NW  
 ALBUQUERQUE, NEW MEXICO



© COPYRIGHT QUIKTRIP CORPORATION 2011  
 ANY UNAUTHORIZED USE, REPRODUCTION,  
 PUBLICATION, DISTRIBUTION, OR SALE IN  
 WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE:  
 DIVISION: 89  
 VERSION: 001  
 DESIGNED BY:  
 DRAWN BY: JSO  
 REVIEWED BY: KP

REV	DATE	DESCRIPTION

SHEET TITLE:

SURVEY PLAN

SHEET NUMBER:

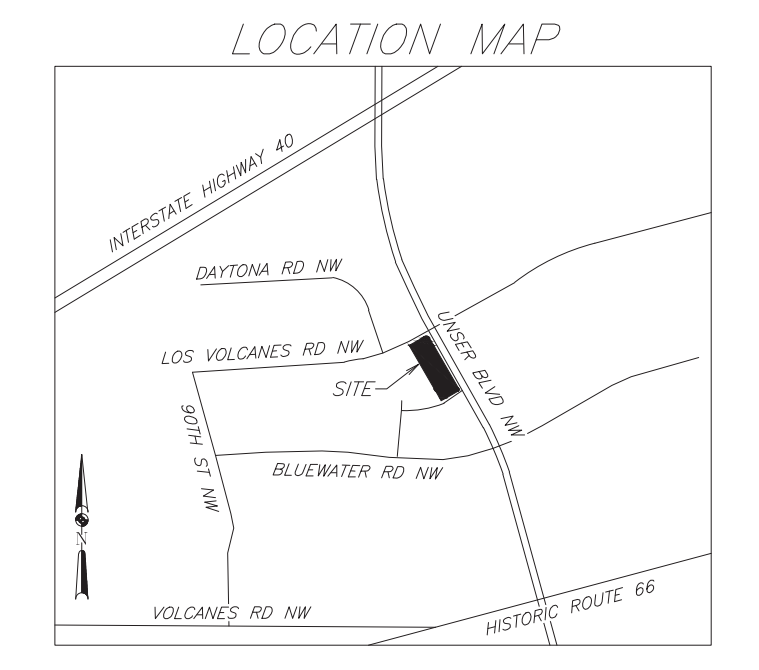
C020

ORIGINAL ISSUE DATE:



NOTES
1. BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM ESTABLISHED FOR THE NEW MEXICO CENTRAL ZONE, NORTH AMERICAN DATUM (NAD) OF 1983.

ALTA/NSPS SURVEY OF
A TRACT LETTERED A-TWO-C-TWO (A-2-C-2), PLAT OF TRACTS A-2-C-1 & A-2-C-2, BLOCK 1, CLIFFORD WEST BUSINESS PARK UNIT 3, PROJECTED SECTIONS 21 AND 22, T. 10 N., R. 2 E., N.M.P.M., TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 9, 2005 IN PLAT BOOK 2005C, PAGE 194 AS DOCUMENT NO. 2005082463.



PROJECT NO.: 23-4114
MATKIN HOOPER ENGINEERING & SURVEYING

Table with 4 columns: NAME, FACILITIES, RESPONSE. Lists various utilities and their status at the site.

Tables for SANITARY SEWER MANHOLE TABLE, STORM DRAIN MANHOLE TABLE, GRATE INLET/CURB INLET TABLE, and BENCHMARK TABLE. Lists specific manhole and benchmark data.

SURVEY LEGEND defining symbols for Property Corner, Monument Found, Benchmark, Underground Electric, Gas Line, Underground Cable, Sanitary Sewer Line, Water Line, Storm Sewer Line, Utility Pedestal/Riser, Utility Manhole, Utility Meter, Utility Valve, Fire Hydrant, Single Post Sign, Traffic Arrows, Traffic Signal, Cross Walk Pole, Gate, Bollard, Property R/W Line, Property R/W Lot Line, Curb Line, Edge of Asphalt, Edge of Concrete, Major Contour, Minor Contour, Chain Link Fence, Curb & Gutter Elevation, and Spot Elevation.

ABBREVIATIONS table listing symbols and their corresponding full names, such as FXC for Found Chiseled 'X' in Concrete and RCP for Reinforced Concrete Pipe.

5. ELEVATIONS ARE ORTHOMETRIC DERIVED FROM DIFFERENTIAL GPS/DGPS OBSERVATIONS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (CEAD 18) THROUGH POST PROCESSING METHODS.
6. THE PROPERTY IS CURRENTLY ZONED "HR-BP" NON-RESIDENTIAL - BUSINESS PARK ZONE DISTRICT ACCORDING TO THE ZONING MAP PROVIDED BY FOLLOWING THE LINK BELOW.

11. ADJOINING CURB CUT ARE AS FOLLOWS:
1. A CONCRETE APPROACH IS LOCATED AT THE WEST CORNER OF THE SUBJECT TRACT ALONG LOS VOLCANES ROAD N.W.
2. A CONCRETE APPROACH IS LOCATED APPROXIMATELY 140 FEET WEST OF THE SOUTH CORNER OF THE SUBJECT ALONG SAUL BELL ROAD N.W.

REFERENCE DOCUMENTS:
R1 - PLAT OF TRACTS A-2-C-1 & A-2-C-2, BLOCK 1, CLIFFORD WEST BUSINESS PARK UNIT 3, RECORDED JUNE 9, 2005, IN DOCUMENT NO. 2005082463 (BOOK 2005C, PAGE 194).

CURVE TABLE with columns: CURVE, RADIUS, LENGTH, DELTA, CHORD BEARING, CHORD LENGTH. Lists curve data for C1 through C3-1.

12. THERE ARE NO DESIGNATED PARKING SPACES LOCATED ON THE SUBJECT TRACT.
13. SURVEYOR IS UNAWARE OF ANY PROPOSED CHANGES TO STREET RIGHT-OF-WAY LINES.
14. THERE WAS NO EVIDENCE OF RECENT BUILDING CONSTRUCTION OR DEMOLITION WORK AT THE TIME OF THIS SURVEY.

TITLE COMMITMENT PROVIDED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 2304569, COMMITMENT DATE: OCTOBER 05, 2023.
LEGAL DESCRIPTION OF LAND:
A TRACT LETTERED A-TWO-C-TWO (A-2-C-2), PLAT OF TRACTS A-2-C-1 & A-2-C-2, BLOCK 1, CLIFFORD WEST BUSINESS PARK UNIT 3, PROJECTED SECTIONS 21 AND 22, T. 10 N., R. 2 E., N.M.P.M., TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 9, 2005 IN PLAT BOOK 2005C, PAGE 194 AS DOCUMENT NO. 2005082463.

SCHEDULE B, PART #
EXCEPTIONS:
9. RESERVATIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA, RECORDED AUGUST 21, 1905 IN BOOK 35, PAGE 91, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, AFFECTS SUBJECT TRACT, NOT PLOTTABLE.

10. EASEMENTS AND NOTES AS SHOWN, NOTED AND PROVIDED FOR ON THE PLAT RECORDED FEBRUARY 21, 1996 IN VOLUME 96C, FOLIO 77, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, AFFECTS SUBJECT TRACT, AS SHOWN HEREON.
11. EASEMENT, AND RIGHTS INCIDENT THERETO, IN FAVOR OF PUBLIC SERVICE COMPANY OF NEW MEXICO, RECORDED NOVEMBER 15, 1996 IN BOOK 96-30, PAGE 6262 AS DOCUMENT NO. 96124877, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, AFFECTS SUBJECT TRACT, AS SHOWN HEREON.

I, JANSEN M. ROBICHUK, A NEW MEXICO PROFESSIONAL SURVEYOR NO. 26127, DO HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OF TRACTS, TO QUIKTRIP CORPORATION, AN OREGONIA CORPORATION, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, AND EAGLE INVESTORS, INC., A NEW MEXICO CORPORATION.

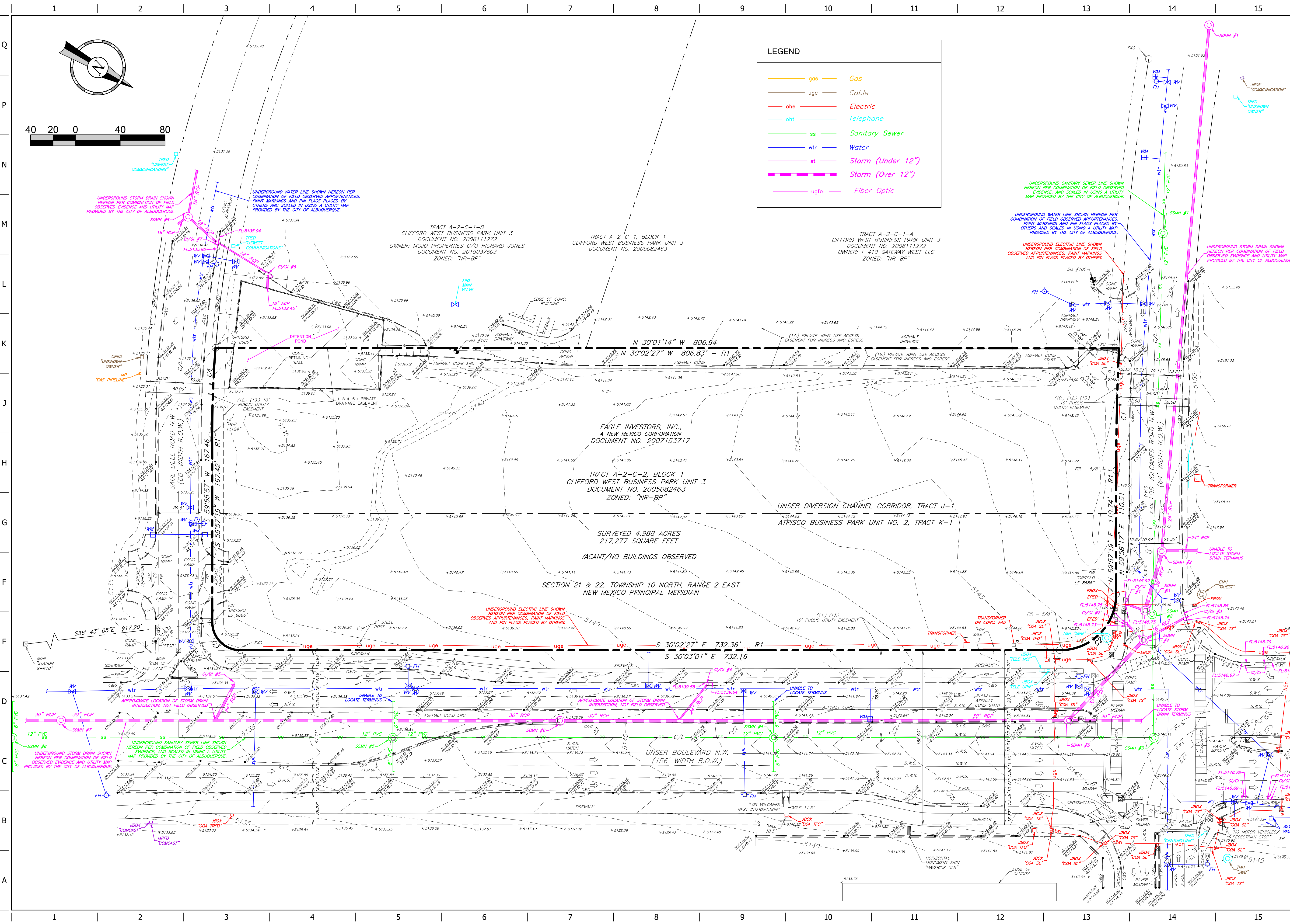
QuikTrip No. 7001
521 UNSER BLVD. NW
ALBUQUERQUE, NEW MEXICO

QT logo
95. COPYRIGHT QUIKTRIP CORPORATION 2011. ANY UNAUTHORIZED USE, REPRODUCTION, PUBLICATION, DISTRIBUTION, OR SALE IN WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

Table with columns: REV, DATE, DESCRIPTION. Log for design and revision tracking.

SHEET TITLE: SURVEY PLAN
SHEET NUMBER: C021
ORIGINAL ISSUE DATE:
JANSEN M. ROBICHUK 26127 PROFESSIONAL SURVEYOR

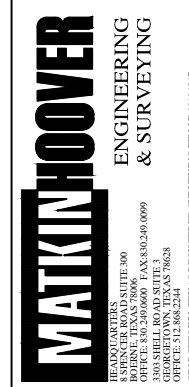




**LEGEND**

- Gas
- Cable
- Electric
- Telephone
- Sanitary Sewer
- Water
- Storm (Under 12")
- Storm (Over 12")
- Fiber Optic

PROJECT NO. 23-4114



**QuikTrip No. 7001**  
521 UNSER BLVD. NW  
ALBUQUERQUE, NEW MEXICO



© COPYRIGHT QUIKTRIP CORPORATION 2011  
ANY UNAUTHORIZED USE, REPRODUCTION,  
PUBLICATION, DISTRIBUTION, OR SALE IN  
WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE:	
DIVISION:	89
VERSION:	001
DESIGNED BY:	
DRAWN BY:	JSO
REVIEWED BY:	KP

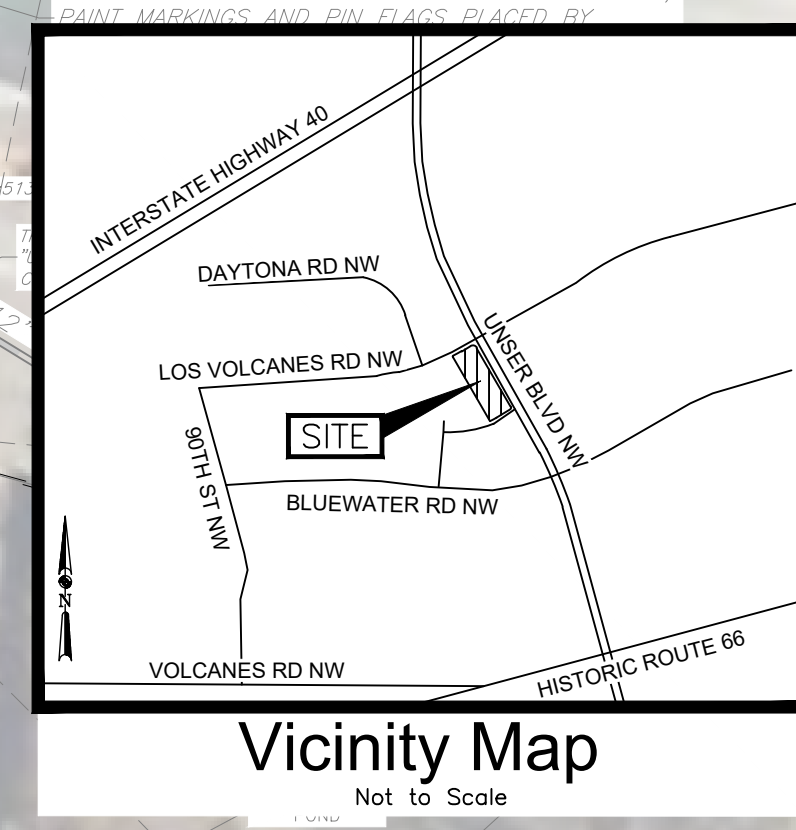
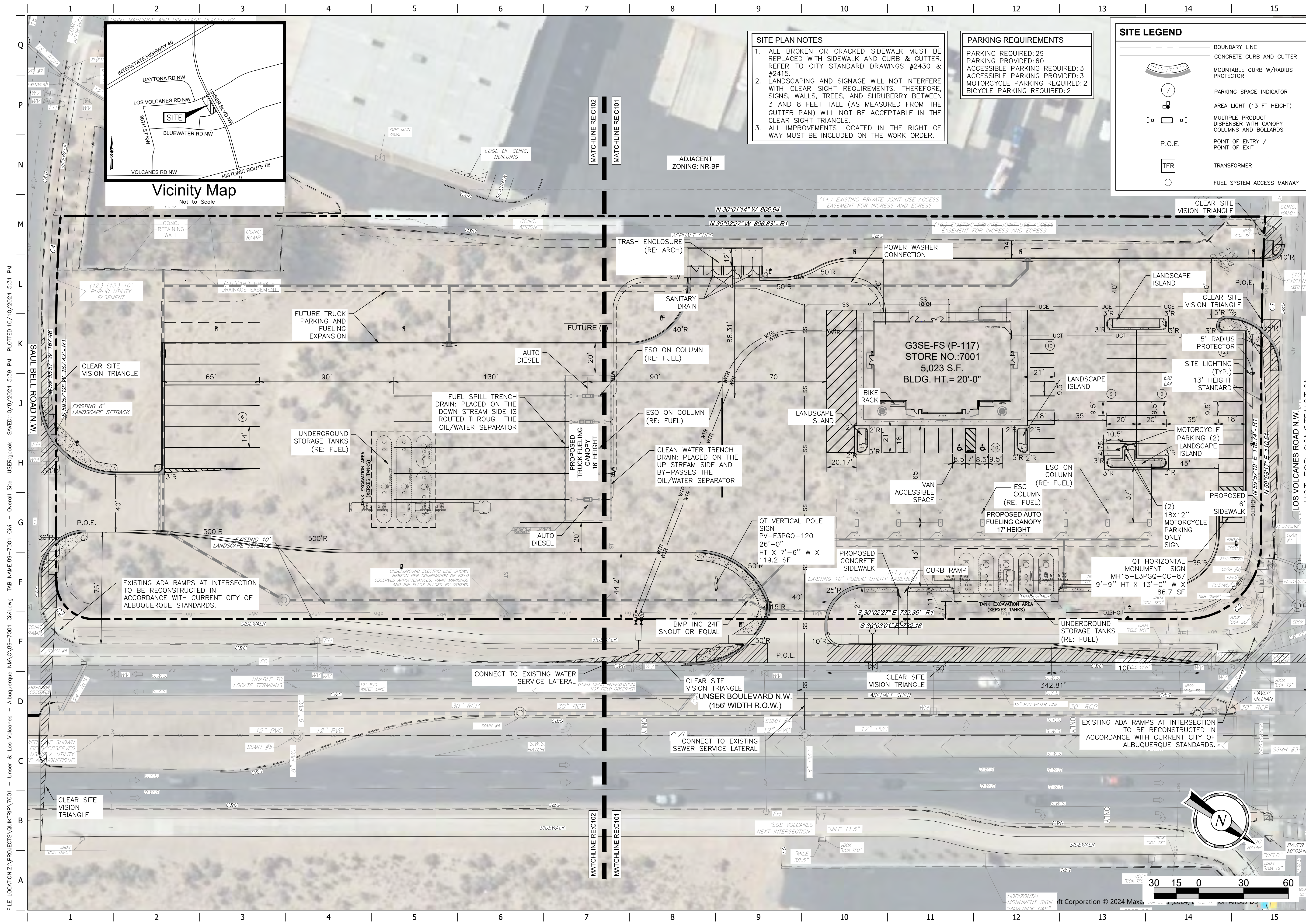
REV	DATE	DESCRIPTION

SHEET TITLE:  
**SURVEY PLAN**

SHEET NUMBER:  
**C020**

ORIGINAL ISSUE DATE:



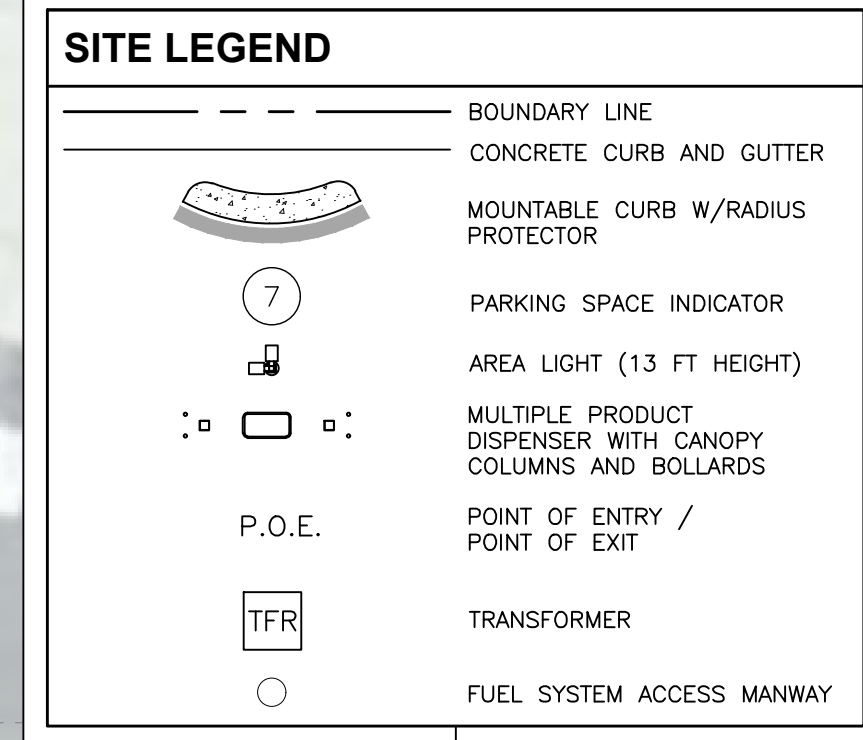


**SITE PLAN NOTES**

1. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. REFER TO CITY STANDARD DRAWINGS #2430 & #2415.
2. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
3. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

**PARKING REQUIREMENTS**

PARKING REQUIRED: 29  
 PARKING PROVIDED: 60  
 ACCESSIBLE PARKING REQUIRED: 3  
 ACCESSIBLE PARKING PROVIDED: 3  
 MOTORCYCLE PARKING REQUIRED: 2  
 BICYCLE PARKING REQUIRED: 2



PROJECT NO.: 7001.01

**MATKINHOVER**  
 ENGINEERING & SURVEYING

8 SPENCER ROAD, SUITE 100  
 BUREAU, TEXAS 76008  
 CONTACT: T.MATKINHOVER.COM

STATE OF NEW MEXICO  
 LICENSED PROFESSIONAL ENGINEER  
 P-20045-02 SURVEYING FROM P-10004000

**QuikTrip No. 7001**

521 UNSER BLVD. NW  
 ALBUQUERQUE, NEW MEXICO

**QT**

© COPYRIGHT QUIKTRIP CORPORATION 2011  
 ANY UNAUTHORIZED USE, REPRODUCTION,  
 PUBLICATION, DISTRIBUTION, OR SALE IN  
 WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE: P-116 (12/01/23)  
 DIVISION:  
 VERSION: 001  
 DESIGNED BY: GSC  
 DRAWN BY: MIM  
 REVIEWED BY: CGW

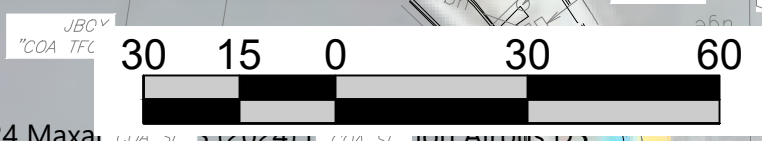
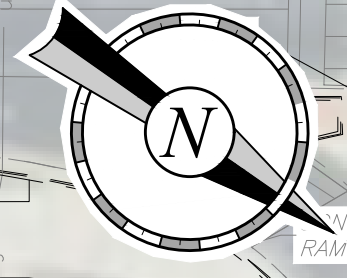
REV	DATE	DESCRIPTION

SHEET TITLE:  
 SITE PLAN

SHEET NUMBER:  
 C100  
 05 OF 25

FILE LOCATION: Z:\PROJECTS\QUIKTRIP\7001 - Unser & Los Volcanes - Albuquerque NM\C\09-7001 Civil.dwg TAB NAME: 09-7001 Civil - Overall Site USER: gcook SAVED: 10/10/2024 5:39 PM PLOTTED: 10/10/2024 5:31 PM

ORIGINAL ISSUE DATE: 04.19.24





# SITE PLAN PACKET

# QUIKTRIP STORE #7001

## 521 UNSER BLVD. NW

## ALBUQUERQUE, NEW MEXICO

### GENERAL NOTES:

- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED FROM THE GOVERNING AGENCIES AND COORDINATING ALL GOVERNING AGENCY INSPECTIONS REQUIRED THROUGHOUT THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. REFERENCE SITE WORK SPECIFICATIONS.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR DAMAGE TO ADJACENT PROPERTIES AND NEW CONSTRUCTION IN PLACE DURING THE CONSTRUCTION PHASES OF THIS PROJECT. ANY DISTURBED IMPROVEMENTS SHALL BE REPLACED IN KIND AT THE CONTRACTORS EXPENSE.
- ANY QUANTITIES PROVIDED ON THESE PLANS ARE FOR GENERAL REFERENCE PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITIES REQUIRED FOR CONSTRUCTION.
- THE EXISTING FEATURES SHOWN ON THESE PLANS ARE THOSE NOTED IN THE FIELD AND THOSE TAKEN FROM RECORD DRAWINGS. THERE IS NO GUARANTEE THAT ALL FEATURES (ABOVE OR BELOW GROUND) ARE SHOWN ON THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING FEATURES PRIOR TO BIDDING THE PROJECT.
- THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION BY CONTACTING THE LOCAL UTILITY COMPANIES AND/OR UTILIZING THE LOCAL ONE-CALL SYSTEM. ANY DAMAGE DONE TO EXISTING UTILITIES (THAT ARE TO REMAIN IN PLACE) DURING CONSTRUCTION OPERATIONS WILL BE THE CONTRACTOR'S RESPONSIBILITY AND REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNERS CONTRACT DOCUMENTS AND SPECIFICATIONS. ALL WORK SHALL MEET OR EXCEED THE RELEVANT UTILITY COMPANIES AND REGULATORY AGENCIES, CONTRACT DOCUMENTS AND SPECIFICATIONS. ALL WORK WITHIN PUBLIC AND STATE RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE GOVERNING AGENCIES STANDARDS AND SPECIFICATIONS.
- TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER TRAFFIC CONTROL IS IN PLACE FOR EACH PHASE OF CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROPERLY MAINTAINING TRAFFIC CONTROL DEVICES THROUGHOUT THE DURATION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PLANS TO THE CITY AND DEPARTMENT OF TRANSPORTATION AS REQUIRED.

### WETLANDS NOTICE:

ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/ DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

### WARRANTY/DISCLAIMER:

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

### NOTICE TO BIDDERS:

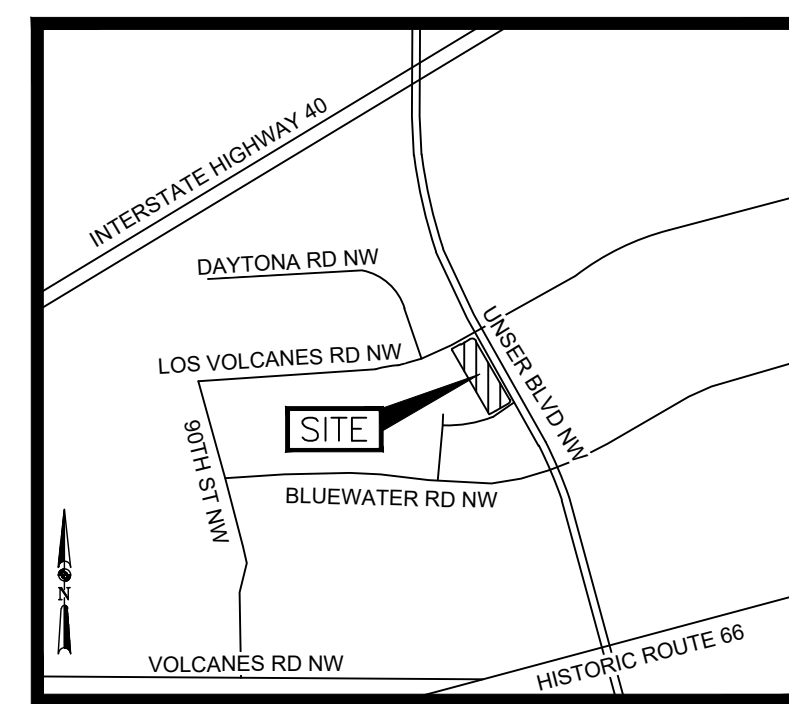
ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION REPRESENTATIVE. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

### FLOOD CERTIFICATION:

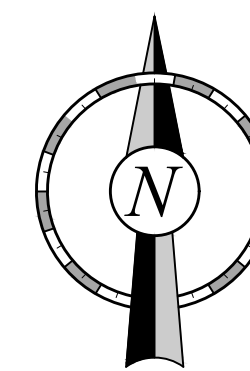
THIS PROPERTY LIES IN ZONE "X" AND DOES NOT LOCATE WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AS INDICATED ON FEMA PANEL NO. 328 OF 825, MAP NUMBER 35001C0328J, DATED NOVEMBER 4, 2016.

### BENCHMARKS:

- BM#100 A SET MAGNAIL IN CONCRETE CURB BEARS, S39° 03' 20"W 65.54' FROM WEST PROPERTY CORNER OF THE SUBJECT TRACT. ELEVATION=531.87'
- BM#200 A SET MAGNAIL IN CONCRETE BEARS, N29° 19' 28"W 215.14' FROM THE SOUTH PROPERTY CORNER OF THE SUBJECT TRACT. ELEVATION=521.29'



**Vicinity Map**  
Not to Scale



### MUNICIPAL CONTACT LIST:

#### CITY OF ALBUQUERQUE

- |  |  |
|--|--|
| <b>PLANNING DEPARTMENT</b><br>600 2ND NW<br>ALBUQUERQUE, NM 87102<br>TEL: (505) 924-3860<br>FAX: (505) 924-3339<br>CONTACT: ALAN VARELA                      | <b>TRANSIT DEPARTMENT</b><br>100 1ST SW<br>ALBUQUERQUE, NM 87102<br>TEL: (505) 724-3100<br>FAX: (505) 724-3189<br>CONTACT: LESLIE KEENER         |
| <b>INSPECTOR GENERAL'S OFFICE</b><br>1 CIVIC PLZ NW<br>ALBUQUERQUE, NM 87102<br>TEL: (505) 768-3150<br>CONTACT: MELISSA R. SANTISTEVAN                       | <b>CITY OF ALBUQUERQUE WATER AUTHORITY</b><br>TEL: (505) 842-9287  |
| <b>FIRE RESCUE</b><br>11500 SUNSET GARDENS SW<br>ALBUQUERQUE, NM 87121<br>TEL: (505) 768-9300<br>FAX: (505) 768-9340<br>CONTACT: EMILY JARAMILLO (CHIEF)     | <b>PNM ELECTRIC SERVICE</b><br>TEL: (888) 342-7968   |
| <b>MUNICIPAL DEVELOPMENT DEPARTMENT</b><br>1 CIVIL PLZ NW<br>ALBUQUERQUE, NM 87102<br>TEL: (505) 768-3830<br>FAX: (505) 768-2310<br>CONTACT: PATRICK MONTOYA | <b>NEW MEXICO GAS COMPANY</b><br>TEL: (888) 664-2726   |
|  | <b>TELEPHONE COMPANY</b><br>US WEST: (505) 242-1044<br>UNITE NETWORKS: (505) 510-4955<br>MCI/VERIZON: (800) 880-1077<br>SWB/AT&T: (505) 830-2720 |

### PROJECT CONTACT LIST:

- |   |   |
|---|---|
| <b>SURVEYOR OF RECORD</b><br>OPEN RANGE FIELD SERVICES, LLC.<br>JANSEN M. ROBICHAUX<br>1503 S BARNES ST.<br>PAMPA, TX 79065<br>TEL: (806) 665-0770  | <b>QT REAL ESTATE PROJECT MANAGER</b><br>QUIKTRIP CORPORATION<br>DANIEL CHAMBERS<br>1116 EAST BROADWAY ROAD<br>TEMPE, AZ 85282<br>TEL: (480) 446-6321 |
| <b>ENGINEER OF RECORD</b><br>MATKINHOOPER ENGINEERING & SURVEYING<br>JOSHUA VALENTA, P.E.<br>8 SPENCER ROAD, SUITE 100<br>BOERNE, TEXAS 78006<br>TEL: (830) 249-0600<br>FAX: (830) 249-0099 | <b>QT CIVIL PROJECT MANAGER</b><br>QUIKTRIP CORPORATION<br>WADE RICHARDSON<br>4705 S. 129TH E. AVE.<br>TULSA, OK 74134<br>TEL: (918) 615-5116         |

Page No.	Sheet No.	Sheet Title
1	C001	COVER SHEET
2	C020	SURVEY SHEET 1
3	C021	SURVEY SHEET 2
4	C022	SURVEY SHEET 3
5	C100	SITE PLAN
6	C101	SITE PLAN NORTH
7	C102	SITE PLAN SOUTH
8	C105	LANDSCAPE PLAN SHEET 1
9	C106	LANDSCAPE PLAN SHEET 2
10	C110	GRADING OVERALL
11	C111	GRADING PLAN NORTH
12	C112	GRADING PLAN SOUTH
13	C150	UTILITY PLAN NORTH
14	C151	UTILITY PLAN SOUTH
15	C160	SOLID WASTE MANAGEMENT PLAN
16	C510	ADA DETAILS SHEET 1
17	C511	ADA DETAILS SHEET 2
18	A201	BUILDING ELEVATIONS - SHEET 1
19	A202	BUILDING ELEVATIONS - SHEET 2
20	N201	CANOPY ELEVATIONS
21	CT100	SIGN PACKAGE - SHEET 1
22	CT101	SIGN PACKAGE - SHEET 2
23	CT102	SIGN PACKAGE - SHEET 3
24	CT103	SIGN PACKAGE - SHEET 4

JOHN MARK MATYAN  
NEW MEXICO  
21937  
PROFESSIONAL ENGINEER

5/31/24

PROJECT NO.: 7001.01

**MATKINHOOPER**  
ENGINEERING & SURVEYING  
8 SPENCER ROAD, SUITE 100  
BOERNE, TEXAS 78006  
CONTACT: JVA@MATKINHOOPER.COM

STATE LICENSE NO. 100000000  
P-000016-000000000000

**QuikTrip No. 7001**

521 UNSER BLVD. NW  
ALBUQUERQUE, NEW MEXICO

**QT**

© COPYRIGHT QUIKTRIP CORPORATION 2011  
ANY UNAUTHORIZED USE, REPRODUCTION,  
PUBLICATION, DISTRIBUTION, OR SALE IN  
WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE: P-116 (12/01/23)  
DIVISION:  
VERSION: 001  
DESIGNED BY: GSC  
DRAWN BY: MJM  
REVIEWED BY: CGW

REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 04.19.24

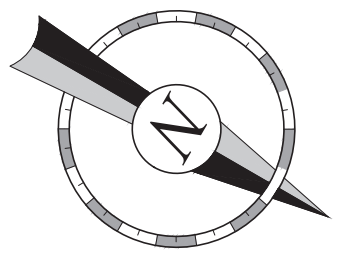
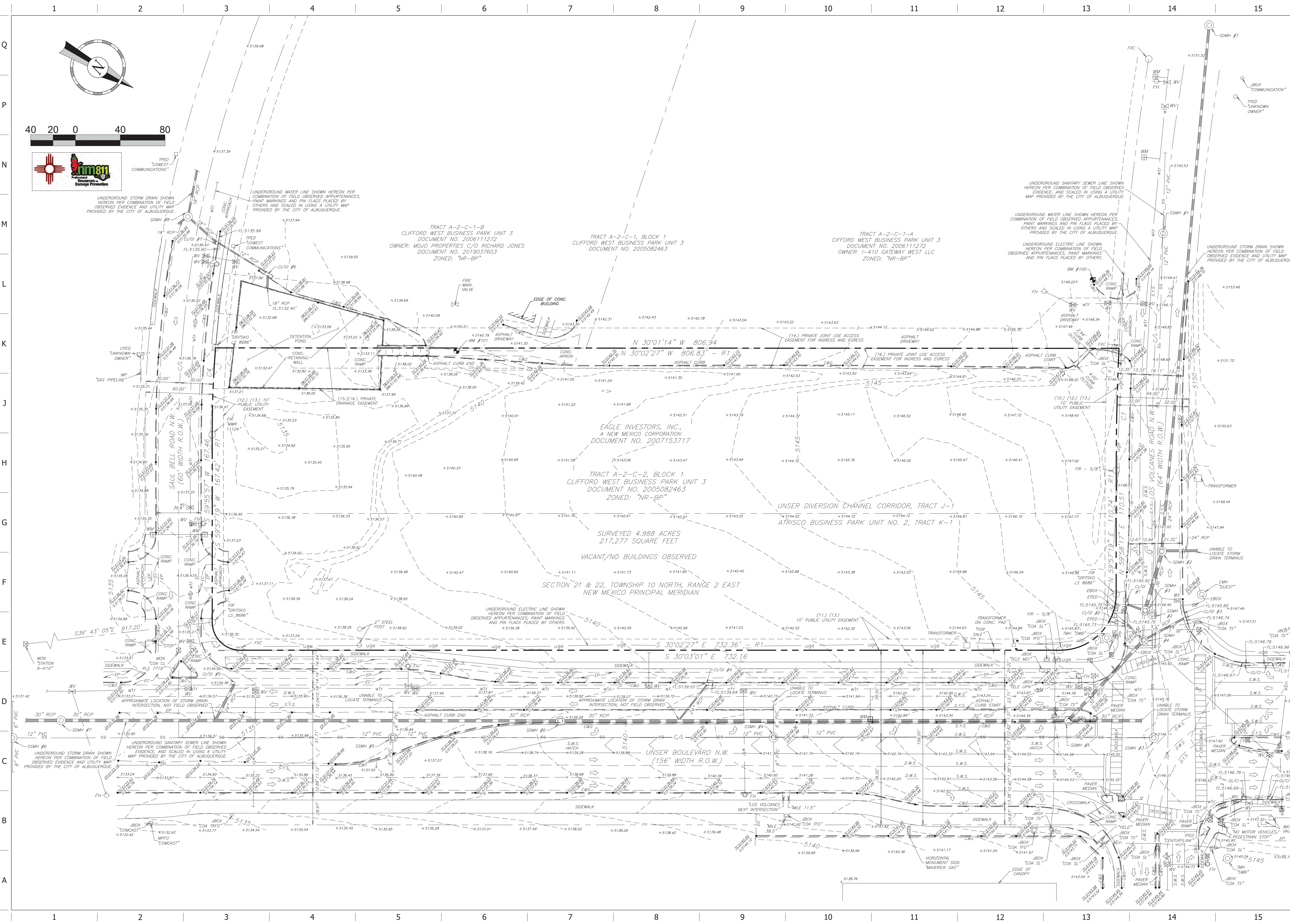
SHEET TITLE:  
COVER SHEET

SHEET NUMBER:  
**C001**  
01 OF 25

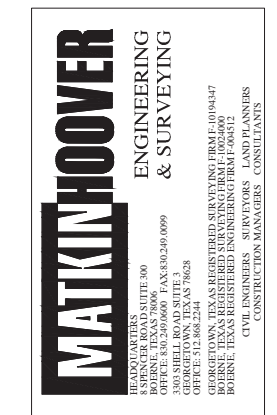
PRELIMINARY DESIGN, NOT FOR CONSTRUCTION

FILE LOCATION: z:\PROJECTS\QUIKTRIP\7001 - unser & los volcanes - albuquerque mm\C000-7001 Civil.dwg USER: gcook SAVED: 6/5/2024 3:10 PM PLOTTED: 6/5/2024 3:11 PM





PROJECT NO. 23-4114



**QuikTrip No. 7001**  
 521 UNSER BLVD. NW  
 ALBUQUERQUE, NEW MEXICO



© COPYRIGHT QUIKTRIP CORPORATION 2011  
 ANY UNAUTHORIZED USE, REPRODUCTION,  
 PUBLICATION, DISTRIBUTION, OR SALE IN  
 WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE:  
 DIVISION: 89  
 VERSION: 001  
 DESIGNED BY:  
 DRAWN BY: JSO  
 REVIEWED BY: KP

REV	DATE	DESCRIPTION

SHEET TITLE:

SURVEY PLAN

SHEET NUMBER:

C020

ORIGINAL ISSUE DATE:

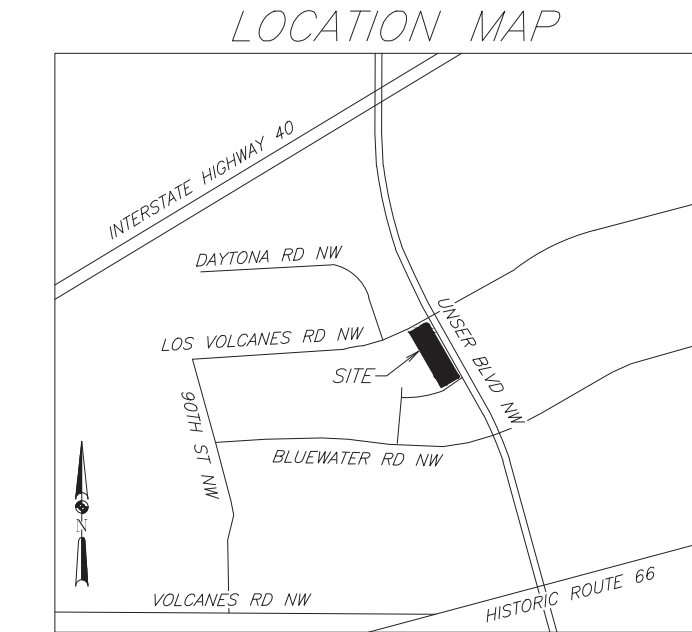


NOTES

- 1. BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM ESTABLISHED FOR THE NEW MEXICO CENTRAL ZONE, NORTH AMERICAN DATUM (NAD) OF 1983...
2. REFERENCED PROPERTY IS IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INDICATED ON FEMA PANEL NO. 328 OF 825, MAP NO. 35001C0381, DATED: NOVEMBER 4, 2016.
3. THE TRACT SHOWN HEREON MAY BE SUBJECT TO CITY OF ALBUQUERQUE & BERNALILLO COUNTY ORDINANCES AND RESTRICTIONS.

4. UTILITIES
- WATER - A WATER LINE RUNNING ALONG THE NORTH R.O.W. LINE OF SAUL BELL ROAD N.W., THE WEST R.O.W. LINE OF UNSER BLVD N.W., AND THE SOUTH R.O.W. OF LOS VOLCANES ROAD N.W. ALL AS SHOWN ON THE CITY OF ALBUQUERQUE UTILITY MAP, FIELD OBSERVED APPURTENANCES AND MARKINGS PLACED BY OTHERS.
- SANITARY SEWER - 12" PVC LINE RUNNING ALONG THE CENTER R.O.W. OF LOS VOLCANES ROAD N.W. AND UNSER BLVD N.W. ALL AS SHOWN ON THE CITY OF ALBUQUERQUE UTILITY MAP AND FIELD OBSERVED EVIDENCE.
- GAS - MARKER POST OBSERVED IN THE SOUTH R.O.W. LINE OF SAUL BELL ROAD N.W.
- CABLE - FIELD OBSERVED APPURTENANCES SHOWN HEREON, NO MARKINGS PLACED BY OTHERS OBSERVED.

ALTA/NSPS SURVEY OF
A TRACT LETTERED A-TWO-C-TWO (A-2-C-2), PLAT OF TRACTS A-2-C-1 & A-2-C-2, BLOCK 1, CLIFFORD WEST BUSINESS PARK UNIT 3, PROJECTED SECTIONS 21 AND 22, T. 10 N., R. 2 E., N.M.P.M., TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 9, 2005 IN PLAT BOOK 2005C, PAGE 194 AS DOCUMENT NO. 2005082463.



- 5. ELEVATIONS ARE ORTHOMETRIC DERIVED FROM DIFFERENTIAL GPS/DGPS OBSERVATIONS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (GEOID 18) THROUGH POST PROCESSING METHODS.
6. THE PROPERTY IS CURRENTLY ZONED "HR-BP" NON-RESIDENTIAL - BUSINESS PARK ZONE DISTRICT ACCORDING TO THE ZONING MAP PROVIDED BY FOLLOWING THE LINK BELOW.

https://cabq.maps.arcgis.com/apps/view/index.html?appid=63e5e1c41ee408b490a1088d7c611
THE FULL INTEGRATED DEVELOPMENT ORDINANCE (IDO) CAN BE FOUND FOLLOWING THE LINK BELOW.

https://do.abc-zone.com/
\*NO ZONING REPORT OR LETTER PROVIDED TO SURVEYOR.

- 7. SUBJECT TRACT IS LOCATED AT THE SOUTHWEST CORNER INTERSECTION OF UNSER BLVD N.W., AND LOS VOLCANES ROAD N.W. AND AT THE NORTHWEST CORNER INTERSECTION OF SAUL BELL ROAD N.W. AND UNSER BLVD N.W.
8. THERE WAS NO EVIDENCE OF RECENT STREET CONSTRUCTION OR REPAIR AT THE TIME OF THIS SURVEY.
9. NEAREST FIRE HYDRANTS OBSERVED:
1. APPROXIMATELY 157 FEET WEST FROM THE SOUTH CORNER OF THE SUBJECT TRACT IN THE NORTH R.O.W. LINE OF SAUL BELL ROAD N.W.
2. APPROXIMATELY 151 FEET NORTH FROM THE MOST EASTERLY SOUTHWEST CORNER OF THE SUBJECT TRACT IN THE WEST R.O.W. LINE OF UNSER BLVD N.W.
3. APPROXIMATELY 29 FEET NORTH FROM THE MOST EASTERLY NORTHEAST CORNER OF THE SUBJECT TRACT IN THE WEST R.O.W. LINE OF UNSER BLVD N.W.

10. UTILITY CONTACT INFORMATION:
ELECTRIC SERVICES:
PRM ELECTRIC SERVICE - PHONE: (888) 342-7968
CABLE SERVICE:
CENTURYLINK/QUEST - PHONE: (800) 244-1111
TELEPHONE:
US WEST COMMUNICATIONS - PHONE: (505) 242-1044
UNITED PRIVATE NETWORKS - PHONE: (505) 510-1955
MCI/VERIZON - PHONE: (800) 880-1077
SOUTHWESTERN BELL (SWB)/AT&T - PHONE: (505) 830-2720

WATER & WASTEWATER SERVICES:
CITY OF ALBUQUERQUE WATER AUTHORITY - PHONE: (505) 842-9287
GAS SERVICES:
NEW MEXICO GAS COMPANY - PHONE: (888) 664-2726

- 11. ADJOINING CURB CUT ARE AS FOLLOWS:
1. A CONCRETE APPROACH IS LOCATED AT THE WEST CORNER OF THE SUBJECT TRACT ALONG LOS VOLCANES ROAD N.W.
2. A CONCRETE APPROACH IS LOCATED APPROXIMATELY 140 FEET WEST OF THE SOUTH CORNER OF THE SUBJECT ALONG SAUL BELL ROAD N.W.
12. THERE ARE NO DESIGNATED PARKING SPACES LOCATED ON THE SUBJECT TRACT.
13. SURVEYOR IS UNAWARE OF ANY PROPOSED CHANGES TO STREET RIGHT-OF-WAY LINES.
14. THERE WAS NO EVIDENCE OF RECENT BUILDING CONSTRUCTION OR DEMOLITION WORK AT THE TIME OF THIS SURVEY.

TITLE COMMITMENT PROVIDED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO.: 2304569, COMMITMENT DATE: OCTOBER 05, 2023
LEGAL DESCRIPTION OF LAND:
A TRACT LETTERED A-TWO-C-TWO (A-2-C-2), PLAT OF TRACTS A-2-C-1 & A-2-C-2, BLOCK 1, CLIFFORD WEST BUSINESS PARK UNIT 3, PROJECTED SECTIONS 21 AND 22, T. 10 N., R. 2 E., N.M.P.M., TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 9, 2005 IN PLAT BOOK 2005C, PAGE 194 AS DOCUMENT NO. 2005082463.

- SCHEDULE B, PART II
EXCEPTIONS:
9. RESERVATIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA, RECORDED AUGUST 21, 1905 IN BOOK 35, PAGE 91, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT TRACT, NOT PLOTTABLE.
10. EASEMENTS AND NOTES AS SHOWN, NOTED AND PROVIDED FOR ON THE PLAT RECORDED FEBRUARY 21, 1996 IN VOLUME 96C, FOLIO 77, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT TRACT, AS SHOWN HEREON.
11. EASEMENT, AND RIGHTS INCIDENT THERETO, IN FAVOR OF PUBLIC SERVICE COMPANY OF NEW MEXICO, RECORDED NOVEMBER 15, 1996 IN BOOK 96-30, PAGE 6262 AS DOCUMENT NO. 96124872, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT TRACT, AS SHOWN HEREON.
12. EASEMENTS AND NOTES AS SHOWN, NOTED AND PROVIDED FOR ON THE PLAT RECORDED DECEMBER 10, 1997 IN VOLUME 97C, FOLIO 346, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT TRACT, AS SHOWN HEREON.
13. EASEMENTS AND NOTES AS SHOWN, NOTED AND PROVIDED FOR ON THE PLAT RECORDED JUNE 9, 2005 IN PLAT BOOK 2005C, PAGE 194, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT TRACT, AS SHOWN HEREON.
14. GRANT OF EASEMENT, AND RIGHTS INCIDENT THERETO, FOR PRIVATE JOINT USE ACCESS EASEMENT FOR INGRESS AND EGRESS, RECORDED JUNE 28, 2005 IN BOOK 489, PAGE 1717 AS DOCUMENT NO. 2005091999, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT TRACT, AS SHOWN HEREON.
15. PRIVATE FACILITY DRAINAGE COVENANT RECORDED APRIL 11, 2006 IN BOOK A115, PAGE 923 AS DOCUMENT NO. 200601088, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT TRACT, AS SHOWN HEREON.
16. GRANT OF EASEMENT, AND RIGHTS INCIDENT THERETO, FOR PRIVATE JOINT USE ACCESS EASEMENT FOR INGRESS AND EGRESS AND PRIVATE DRAINAGE EASEMENT, RECORDED JUNE 28, 2005 IN BOOK A121, PAGE 252 AS DOCUMENT NO. 2006110562, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT TRACT, AS SHOWN HEREON.
17. DRAINAGE EASEMENT MAINTENANCE AGREEMENT RECORDED JULY 27, 2006 IN BOOK A121, PAGE 1368 AS DOCUMENT NO. 2006111685; AMENDED BY DRAINAGE EASEMENT MAINTENANCE AGREEMENT AMENDMENT 1 RECORDED JULY 27, 2006 IN BOOK A121, PAGE 1597 AS DOCUMENT NO. 2006111914, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NO EXHIBIT "A" PROVIDED ON SUPPORTING DOCUMENTS.

SANITARY SEWER MANHOLE TABLE

Table with columns for Manhole ID, Date, and Description. Includes entries for SSM#1 (PT # 3549), SSM#2 (PT # 3633), SSM#3 (PT # 4122), SSM#4 (PT # 4183), SSM#5 (PT # 4208), SSM#6 (PT # 4077).

STORM DRAIN MANHOLE TABLE

Table with columns for Manhole ID, Date, and Description. Includes entries for SSM#1 (PT # 3543), SSM#2 (PT # 3630), SSM#3 (PT # 3638), SSM#4 (PT # 3741), SSM#5 (PT # 3773), SSM#6 (PT # 4207), SSM#7 (PT # 4076), SSM#8 (PT # 4118).

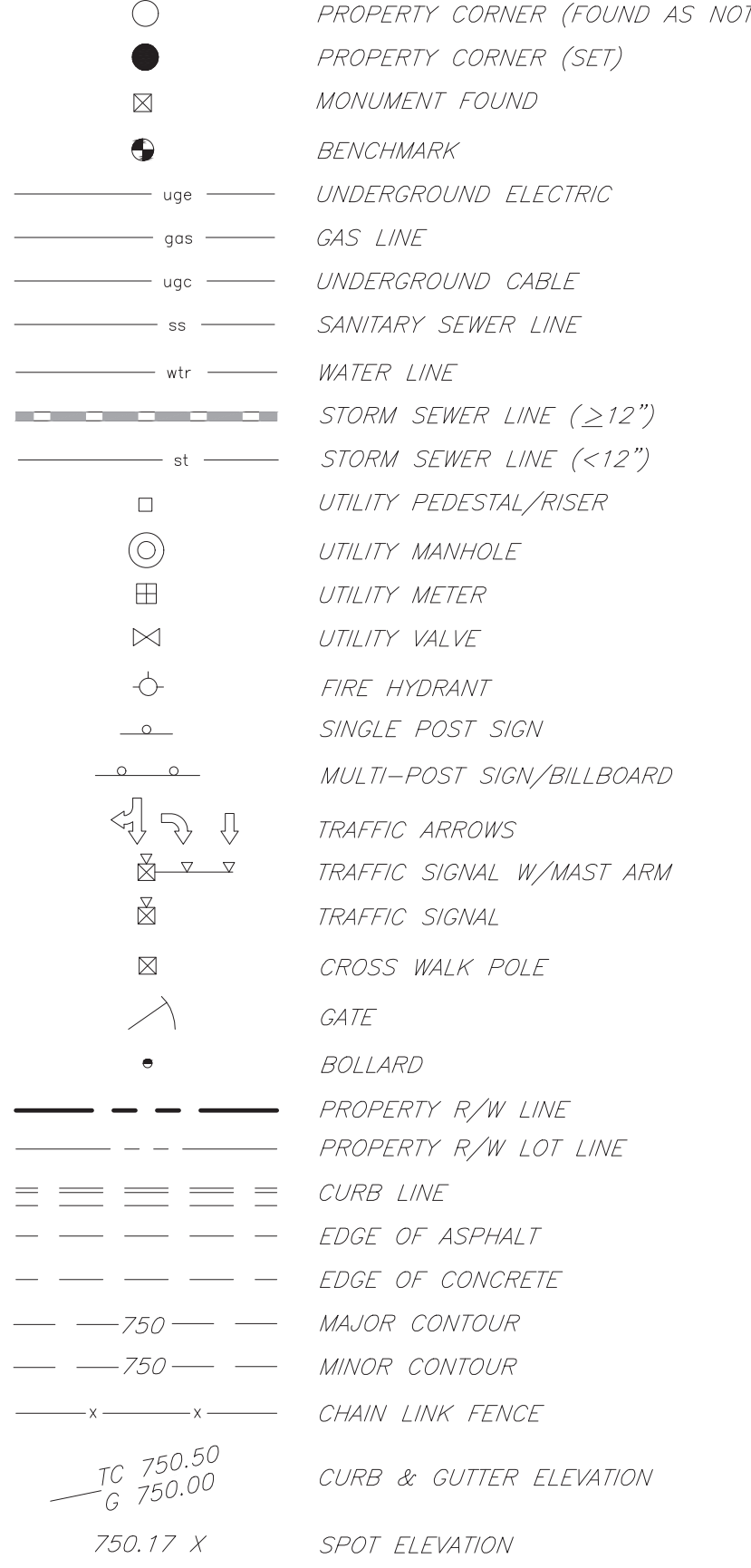
GRATE INLET/CURB INLET TABLE

Table with columns for Inlet ID, Date, and Description. Includes entries for GI/C#1 (PT # 1598-1602), GI/C#2 (PT # 1632-1656), GI/C#3 (PT # 5880-5886), GI/C#4 (PT # 1969-1972), GI/C#5 (PT # 2270-2273), GI/C#6 (PT # 2668-2671), GI/C#7 (PT # 2606-2609).

BENCHMARK TABLE

Table with columns for Benchmark ID, Date, and Description. Includes entries for BM#100 and BM#101.

SURVEY LEGEND



ABBREVIATIONS

Table listing abbreviations and their meanings: FXC FOUND CHISELED 'X' IN CONCRETE, FIR FOUND 1/2" IRON ROD (UNLESS OTHERWISE NOTED), E.P. EDGE OF PAVEMENT, E.C. EDGE OF CONCRETE, C&G CONCRETE CURB AND GUTTER, CI CURB INLET, GI GRATE INLET, TPED TELEPHONE PEDESTAL, EPED ELECTRICAL PEDESTAL, RCP REINFORCED CONCRETE PIPE, S.W.S. SOLID WHITE PAINT STRIPE, D.Y.S. DASHED YELLOW PAINT STRIPE, D.W.S. DASHED WHITE PAINT STRIPE, S.Y.S. SOLID YELLOW PAINT STRIPE, SSMH SANITARY SEWER MANHOLE, SDMH STORM DRAIN MANHOLE, TMH TELEPHONE MANHOLE, CMH COMMUNICATION MANHOLE, POB POINT OF BEGINNING, FL FLOW LINE, CONC. CONCRETE, WM WATER METER, WV WATER VALVE, FH FIRE HYDRANT, FO FIBER OPTIC, JBOX JUNCTION BOX, TOW TOP OF WALL, BOW BOTTOM OF WALL, COA CITY OF ALBUQUERQUE, TS TRAFFIC SIGNAL, SL STREET LIGHTING, TFO TRAFFIC FIBEROPTICS, C/L CENTERLINE, MP MARKERPOST.

REFERENCE DOCUMENTS:

- R1 - PLAT OF TRACTS A-2-C-1 & A-2-C-2, BLOCK 1, CLIFFORD WEST BUSINESS PARK UNIT 3, RECORDED JUNE 9, 2005, IN DOCUMENT NO. 2005082463 (BOOK 2005C, PAGE 194)
R2 - PLAT OF TRACTS A-2-A, A-2-B, AND A-2-C, CLIFFORD WEST BUSINESS PARK UNIT 3, RECORDED ON JANUARY 26, 2004, IN DOCUMENT NO. 2004011513 (BOOK 2004C, PAGE 29)
R3 - PLAT OF TRACT A-1 UNIT 2, TRACT A-2 UNIT 3, CLIFFORD WEST BUSINESS PARK, RECORDED ON AUGUST 10, 1998, IN DOCUMENT NO. 1998100494 (BOOK 98C, PAGE 235)
R4 - PLAT OF TRACT A-2-C-1-A & A-2-C-1-B, BLOCK 1, CLIFFORD WEST BUSINESS PARK UNIT 3, RECORDED JULY 26, 2006, IN DOCUMENT NO. 2006112172 (BOOK 2006C, PAGE 232)
R5 - REPLAT OF PARCEL "A", TRACTS G, UNIMMEDIATED TRACT, K, L, & PORTIONS OF BLUEWATER ROAD, N.W. & UNSER BLVD, N.W. UNIT NO. 2, ATRISCO BUSINESS PARK TO PARCEL "A-1", TRACTS G-1, H-2-A, -1, -1, -1, PORTIONS OF BLUEWATER ROAD, N.W. & UNSER BLVD, N.W., AND ADDITIONAL RIGHT-OF-WAY FOR UNSER BLVD, N.W. UNIT NO. 2 ATRISCO BUSINESS PARK, RECORDED IN AUGUST 3, 1982, IN DOCUMENT NO. 198240158 (BOOK 20C, PAGE 9)

CURVE TABLE
Table with columns: CURVE, RADIUS, LENGTH, DELTA, CHORD BEARING, CHORD LENGTH. Includes curves C1, C1-R1, C2, C2-R1, C3, C3-R1, C4, C4-R1.

PROJECT NO.: 23-4114
MATKIN HOOVER
ENGINEERING
& SURVEYING
2020 ALBUQUERQUE, NM 87102
PH: 505-263-0770
WWW.MATKINHOOVER.COM

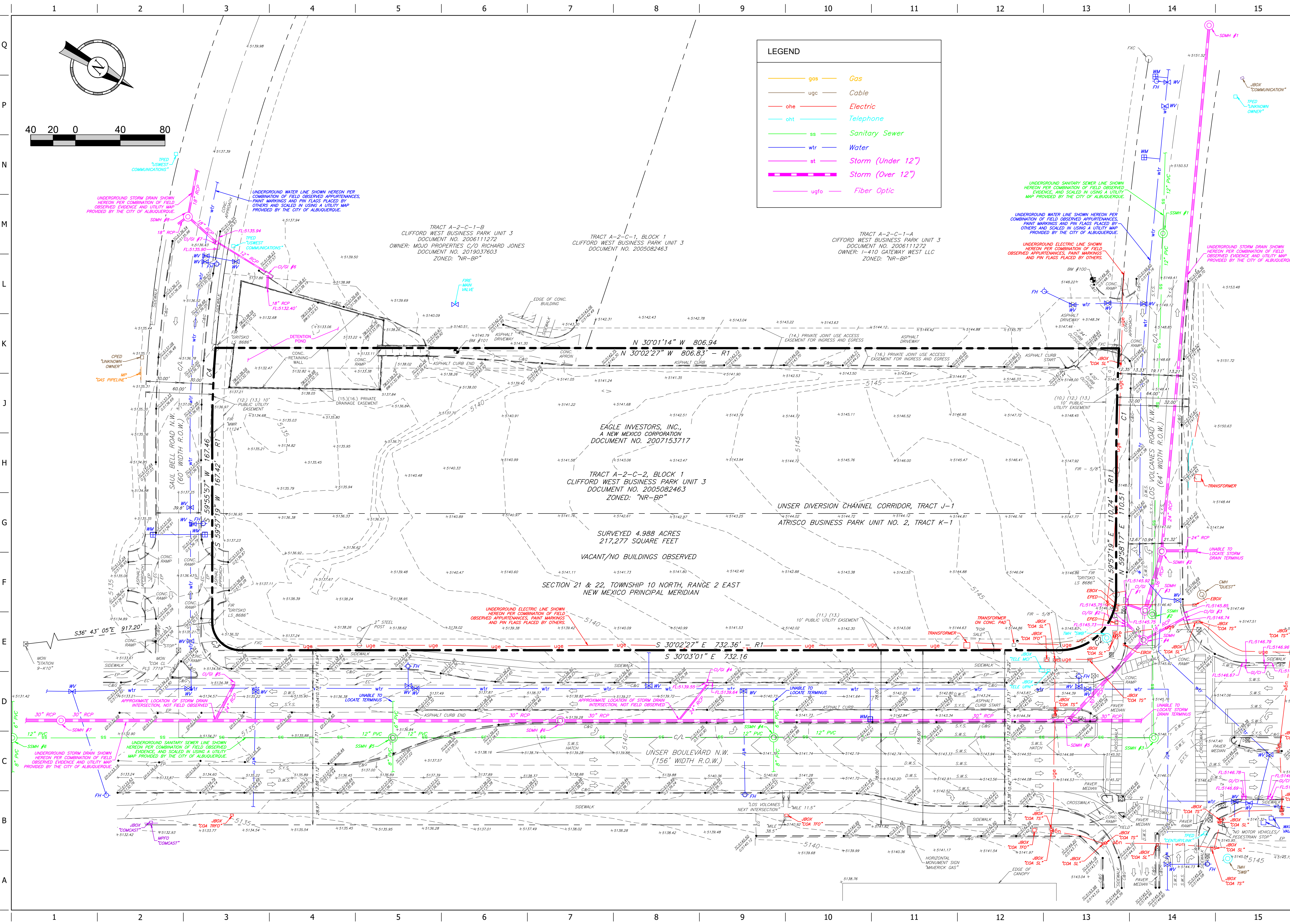
QuikTrip No. 7001
521 UNSER BLVD. NW
ALBUQUERQUE, NEW MEXICO

QT
95. COPYRIGHT QUIKTRIP CORPORATION 2011
ANY UNAUTHORIZED USE, REPRODUCTION, PUBLICATION, DISTRIBUTION, OR SALE IN WHOLE OR IN PART, IS STRICTLY FORBIDDEN.
PROTOTYPE:
DIVISION: 89
VERSION: 001
DESIGNED BY:
DRAWN BY: JSO
REVIEWED BY: KP

DESCRIPTION
REV DATE
ORIGINAL ISSUE DATE:
SHEET TITLE:
SURVEY PLAN
SHEET NUMBER:
C021

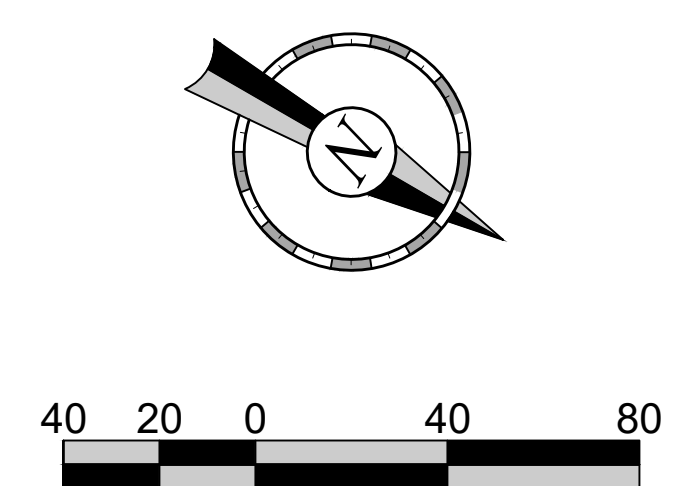
J. JANSEN M. ROBICHAUD
NEW MEXICO
PROFESSIONAL SURVEYOR
28127
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD SET OF REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYING AND ADOPTED BY ALTA AND NSPS, AND INCLUDE:
1.2. FIELD



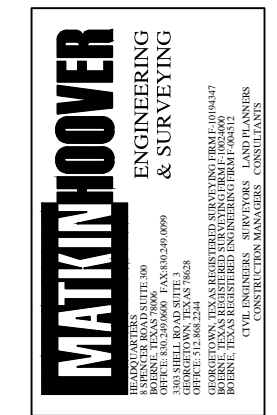


**LEGEND**

gas	Gas
ugc	Cable
ohe	Electric
oht	Telephone
ss	Sanitary Sewer
wtr	Water
st	Storm (Under 12")
st	Storm (Over 12")
ugfo	Fiber Optic



PROJECT NO.: 23-4114



**QuikTrip No. 7001**  
 521 UNSER BLVD. NW  
 ALBUQUERQUE, NEW MEXICO



© COPYRIGHT QUIKTRIP CORPORATION 2011  
 ANY UNAUTHORIZED USE, REPRODUCTION,  
 PUBLICATION, DISTRIBUTION, OR SALE IN  
 WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE:	
DIVISION:	89
VERSION:	001
DESIGNED BY:	
DRAWN BY:	JSO
REVIEWED BY:	KP

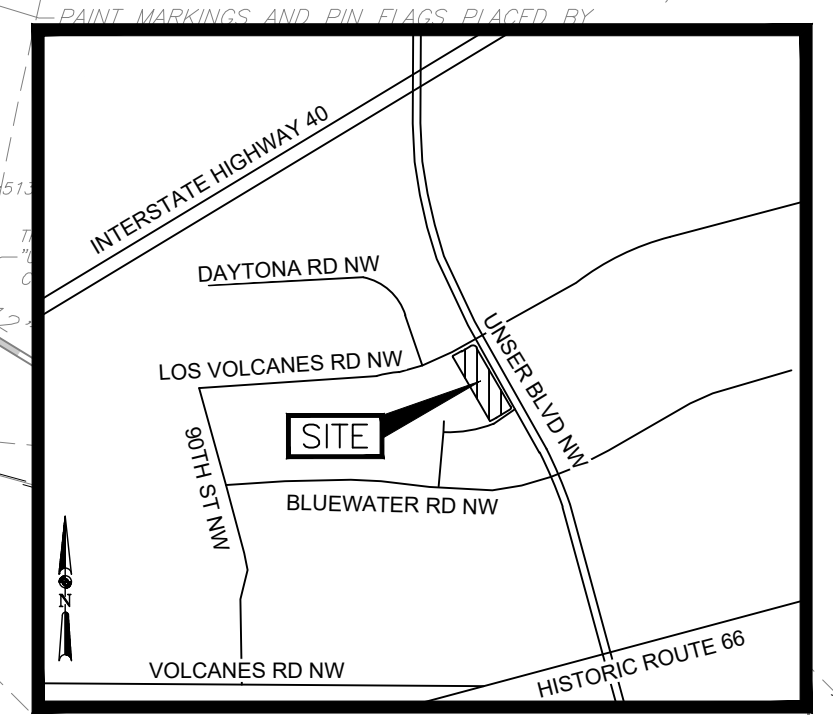
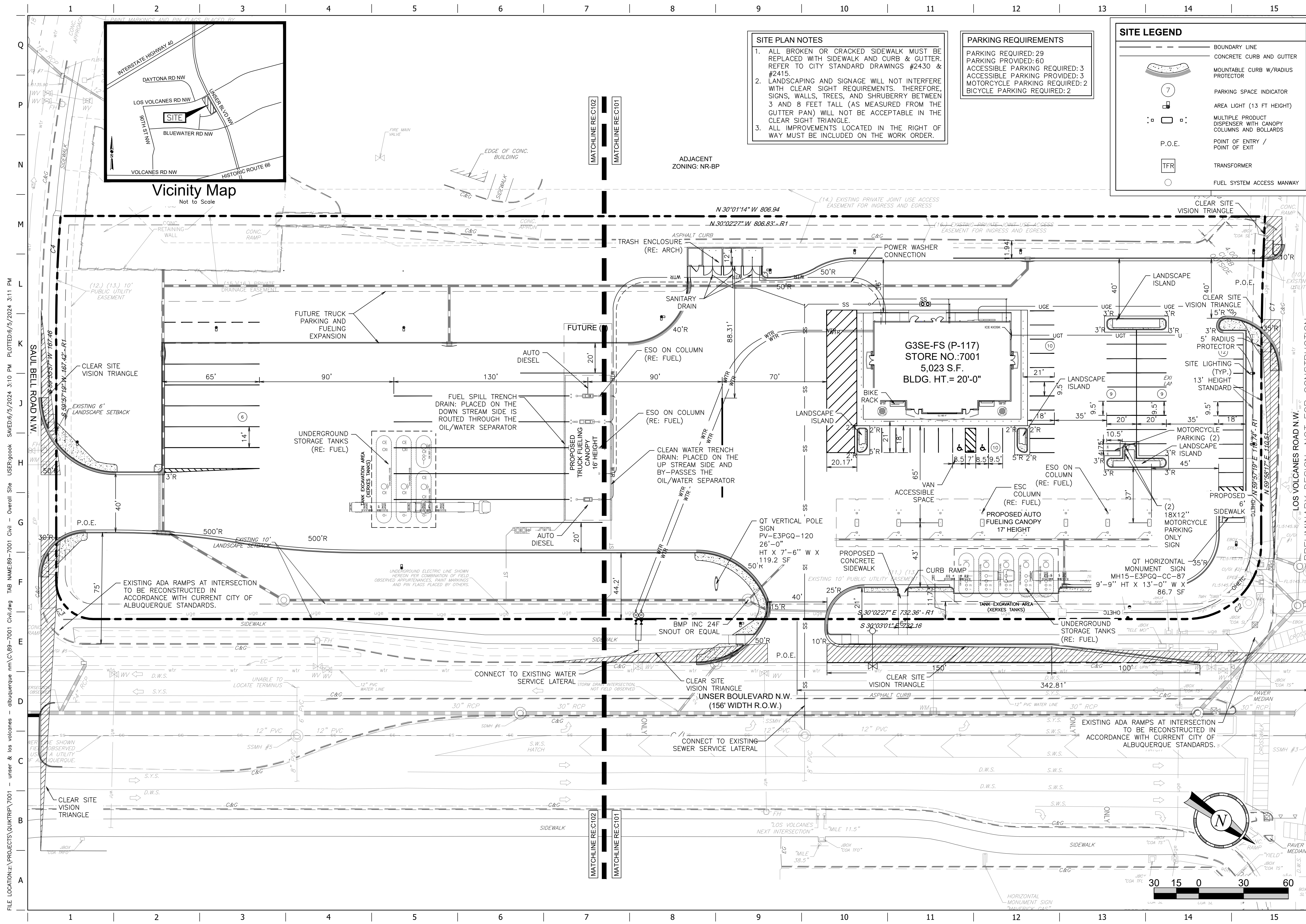
REV	DATE	DESCRIPTION

SHEET TITLE:  
 SURVEY PLAN

SHEET NUMBER:  
 C020

ORIGINAL ISSUE DATE:



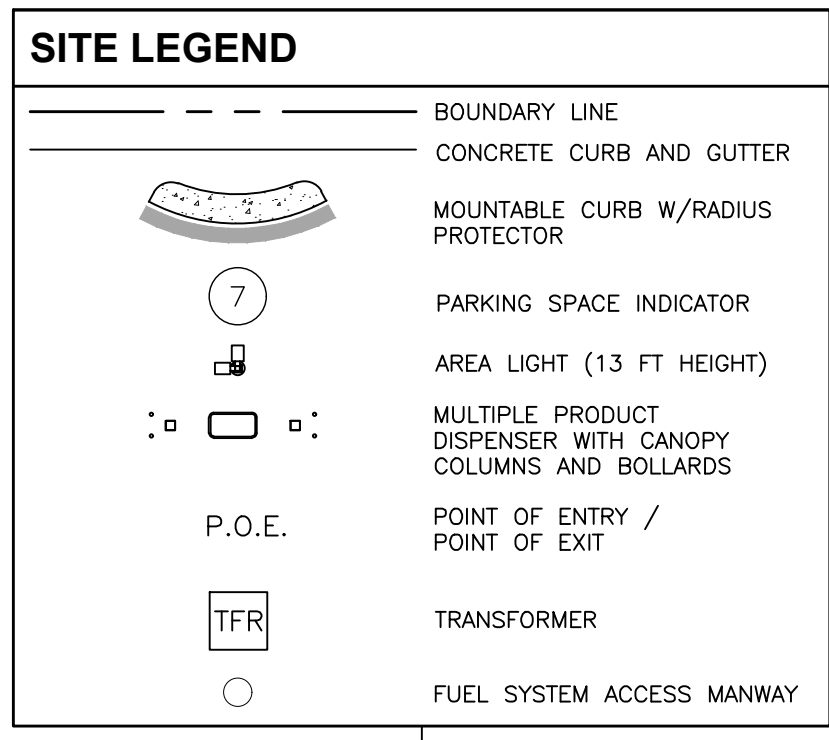


**SITE PLAN NOTES**

1. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. REFER TO CITY STANDARD DRAWINGS #2430 & #2415.
2. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE CUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
3. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

**PARKING REQUIREMENTS**

PARKING REQUIRED: 29  
 PARKING PROVIDED: 60  
 ACCESSIBLE PARKING REQUIRED: 3  
 ACCESSIBLE PARKING PROVIDED: 3  
 MOTORCYCLE PARKING REQUIRED: 2  
 BICYCLE PARKING REQUIRED: 2



JOHN MARK MATIEN  
 NEW MEXICO  
 21937  
 PROFESSIONAL ENGINEER  
 PROJECT NO.: 7001.01  
**MATKINHOOPER**  
 ENGINEERING  
 & SURVEYING  
 8 SPENCER ROAD SUITE 100  
 BIEREN, TEXAS 76009  
 CONTACT: JMATKINHOOPER.COM  
 TEXAS REG. NO. 21937  
 ENGINEERING EXPIRES 12/31/2024  
 P-004616 - SURVEYING FROM P-004600

**QuikTrip No. 7001**  
 521 UNSER BLVD. NW  
 ALBUQUERQUE, NEW MEXICO

**QT**

© COPYRIGHT QUIKTRIP CORPORATION 2011  
 ANY UNAUTHORIZED USE, REPRODUCTION,  
 PUBLICATION, DISTRIBUTION, OR SALE IN  
 WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE: P-116 (12/01/23)  
 DIVISION:  
 VERSION: 001  
 DESIGNED BY: GSC  
 DRAWN BY: MIM  
 REVIEWED BY: CGW

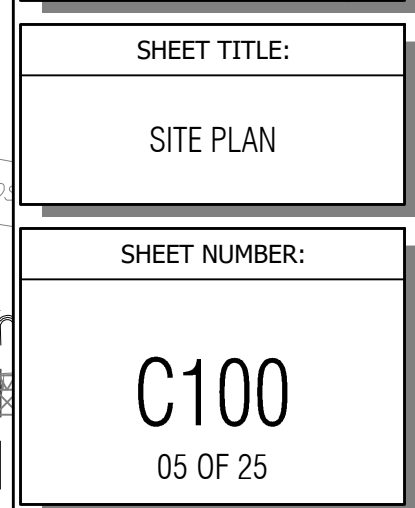
REV	DATE	DESCRIPTION

SHEET TITLE:  
 SITE PLAN

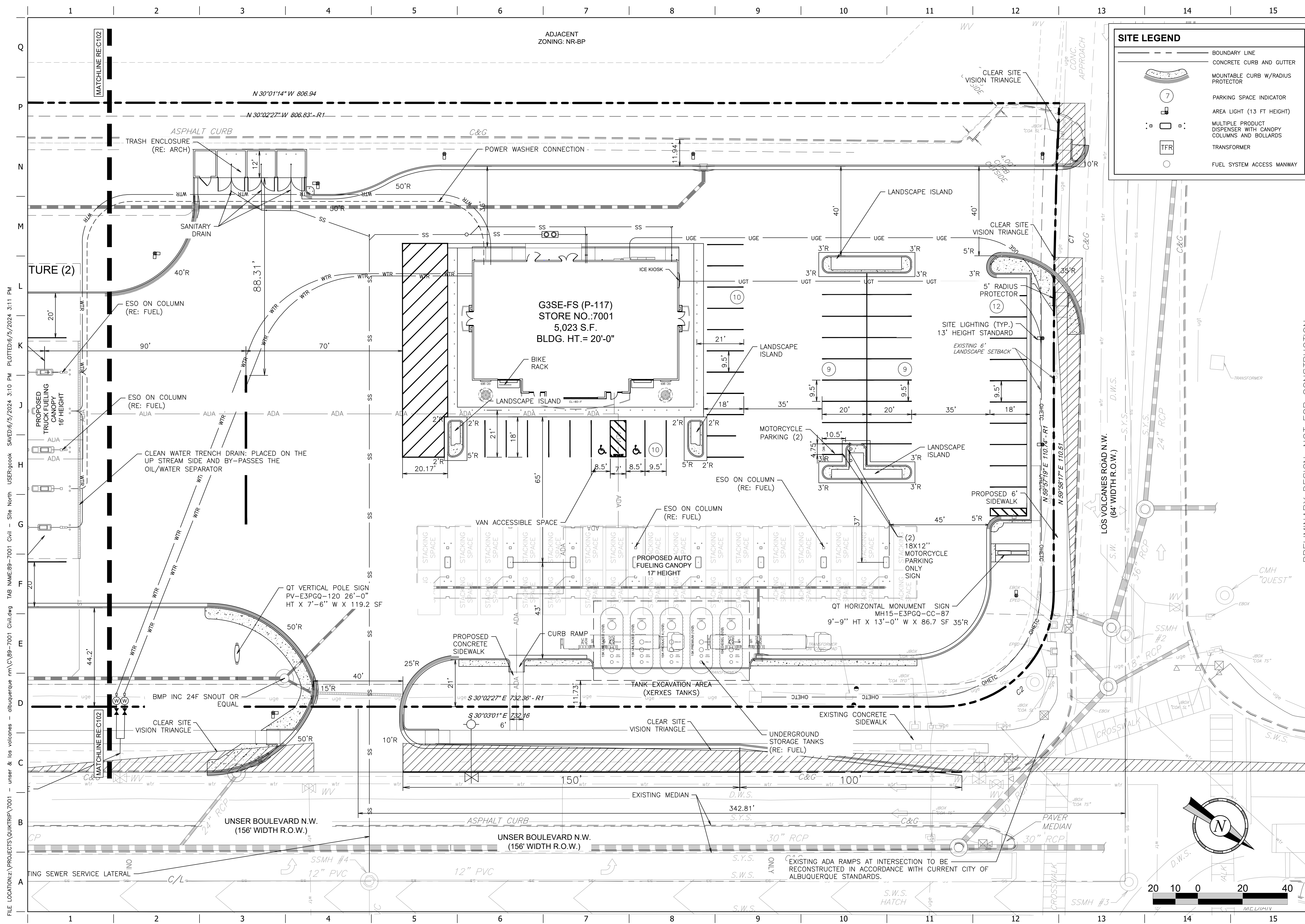
SHEET NUMBER:  
**C100**  
 05 OF 25

FILE LOCATION: z:\PROJECTS\QUIKTRIP\7001 - unsers & los volcanes - albuquerque mm\C:\89-7001 Civil - Overall Site USER: gbook SAVED: 5/5/2024 3:10 PM PLOTTED: 5/5/2024 3:11 PM

ORIGINAL ISSUE DATE: 04.19.24







**SITE LEGEND**

- BOUNDARY LINE
- CONCRETE CURB AND GUTTER
- MOUNTABLE CURB W/RADIUS PROTECTOR
- PARKING SPACE INDICATOR
- AREA LIGHT (13 FT HEIGHT)
- MULTIPLE PRODUCT DISPENSER WITH CANOPY COLUMNS AND BOLLARDS
- TRANSFORMER
- FUEL SYSTEM ACCESS MANWAY

JOHN MARK MATIN  
NEW MEXICO  
21937  
PROFESSIONAL ENGINEER  
5/31/24

PROJECT NO.: 7001.01

**MATKINHOOPER**  
ENGINEERING  
1000 UNIVERSITY BLVD, SUITE 100  
BERNIE, TEXAS 78009  
CONTACT@MATKINHOOPER.COM

TEXAS REGISTERED PROFESSIONAL ENGINEERING  
PROFESSIONAL NO. 24060000

**QuikTrip No. 7001**  
521 UNSER BLVD. NW  
ALBUQUERQUE, NEW MEXICO

**QT**

© COPYRIGHT QUIKTRIP CORPORATION 2011  
ANY UNAUTHORIZED USE, REPRODUCTION,  
PUBLICATION, DISTRIBUTION, OR SALE IN  
WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE: P-116 (12/01/23)  
DIVISION:  
VERSION: 001  
DESIGNED BY: GSC  
DRAWN BY: MM  
REVIEWED BY: CGW

REV	DATE	DESCRIPTION

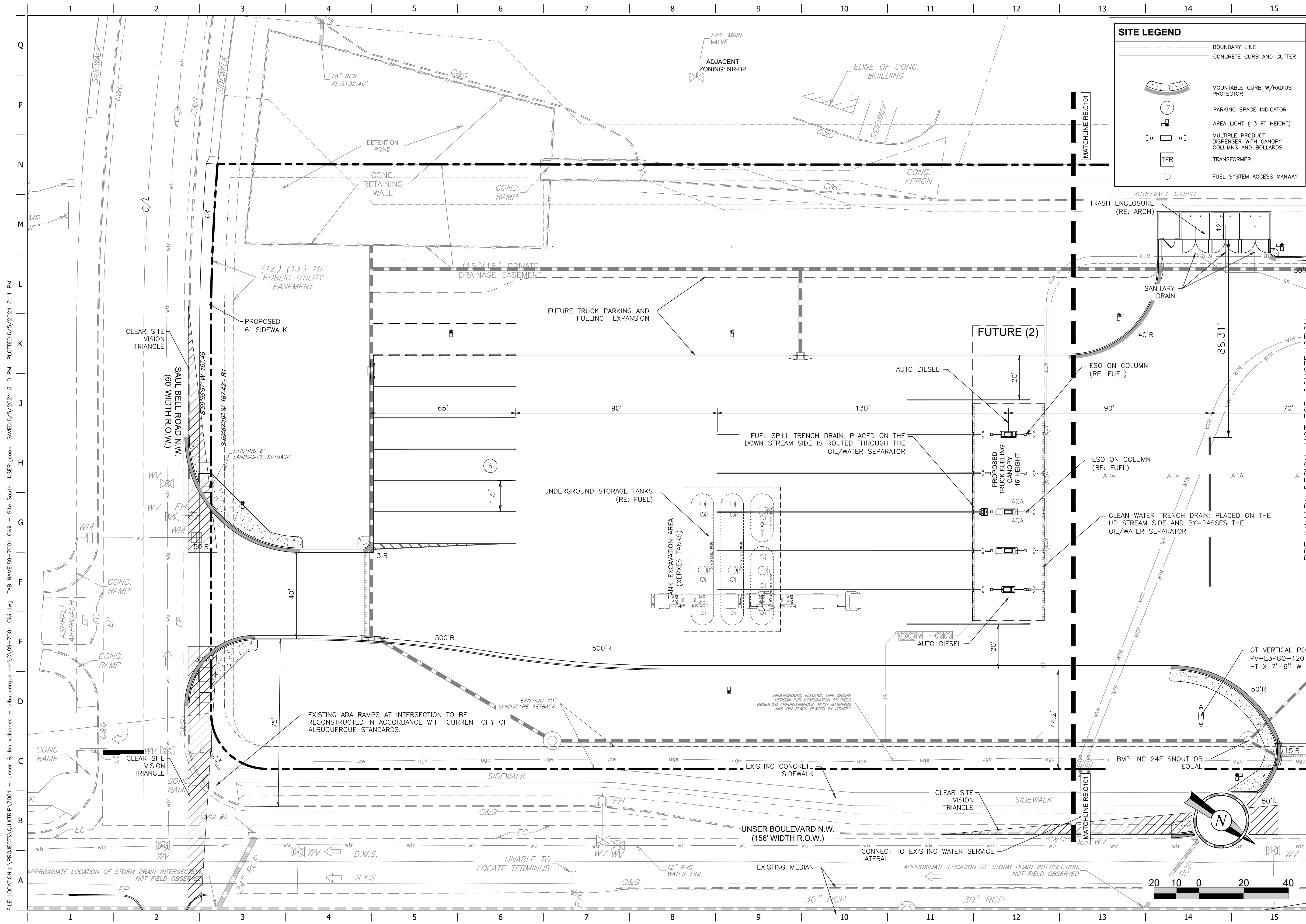
SHEET TITLE:  
SITE PLAN NORTH

SHEET NUMBER:  
**C101**  
06 OF 25

PRELIMINARY DESIGN, NOT FOR CONSTRUCTION

FILE LOCATION: Z:\PROJECTS\QUIKTRIP\7001 - unser & los volcanes - albuquerque mm\CAD\89-7001 Civil - Site North USER: mmk SAV: 5/24/2024 3:10 PM PLOTTED: 5/24/2024 3:11 PM





**SITE LEGEND**

- BOUNDARY LINE
- CONCRETE CURB AND GUTTER
- MOUNTABLE CURB W/RADIUS PROTECTOR
- PARKING SPACE INDICATOR
- AREA LIGHT (13 FT HEIGHT)
- MULTIPLE PRODUCT DISPENSER WITH CANOPY COLUMNS AND BOLLARDS
- TRANSFORMER
- FUEL SYSTEM ACCESS MANWAY

JOHN MARK MATYAN  
NEW MEXICO  
21937  
PROFESSIONAL ENGINEER

PROJECT NO.: 7001.01

**MATKINHOOPER**  
ENGINEERING  
& SURVEYING

8 SPENCER ROAD SUITE 100  
BIENHE, TEXAS 76008  
CONTACT: JMM@MATKINHOOPER.COM

STATE OF NEW MEXICO  
REGISTERED PROFESSIONAL ENGINEER  
P-206482 SUBSEQUENT FROM P-10069000

**QuikTrip No. 7001**  
521 UNSER BLVD. NW  
ALBUQUERQUE, NEW MEXICO

**QT**

© COPYRIGHT QUIKTRIP CORPORATION 2011  
ANY UNAUTHORIZED USE, REPRODUCTION,  
PUBLICATION, DISTRIBUTION, OR SALE IN  
WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE: P-116 (12/01/23)  
DIVISION:  
VERSION: 001  
DESIGNED BY: GSC  
DRAWN BY: MJM  
REVIEWED BY: CGW

REV	DATE	DESCRIPTION

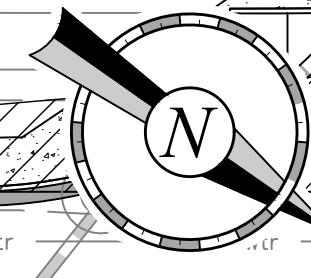
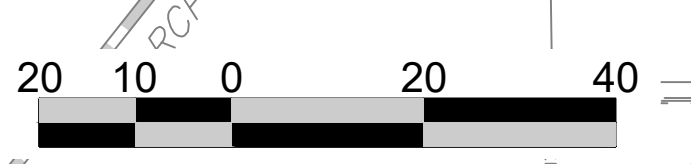
SHEET TITLE:  
SITE PLAN SOUTH

SHEET NUMBER:  
**C102**  
07 OF 25

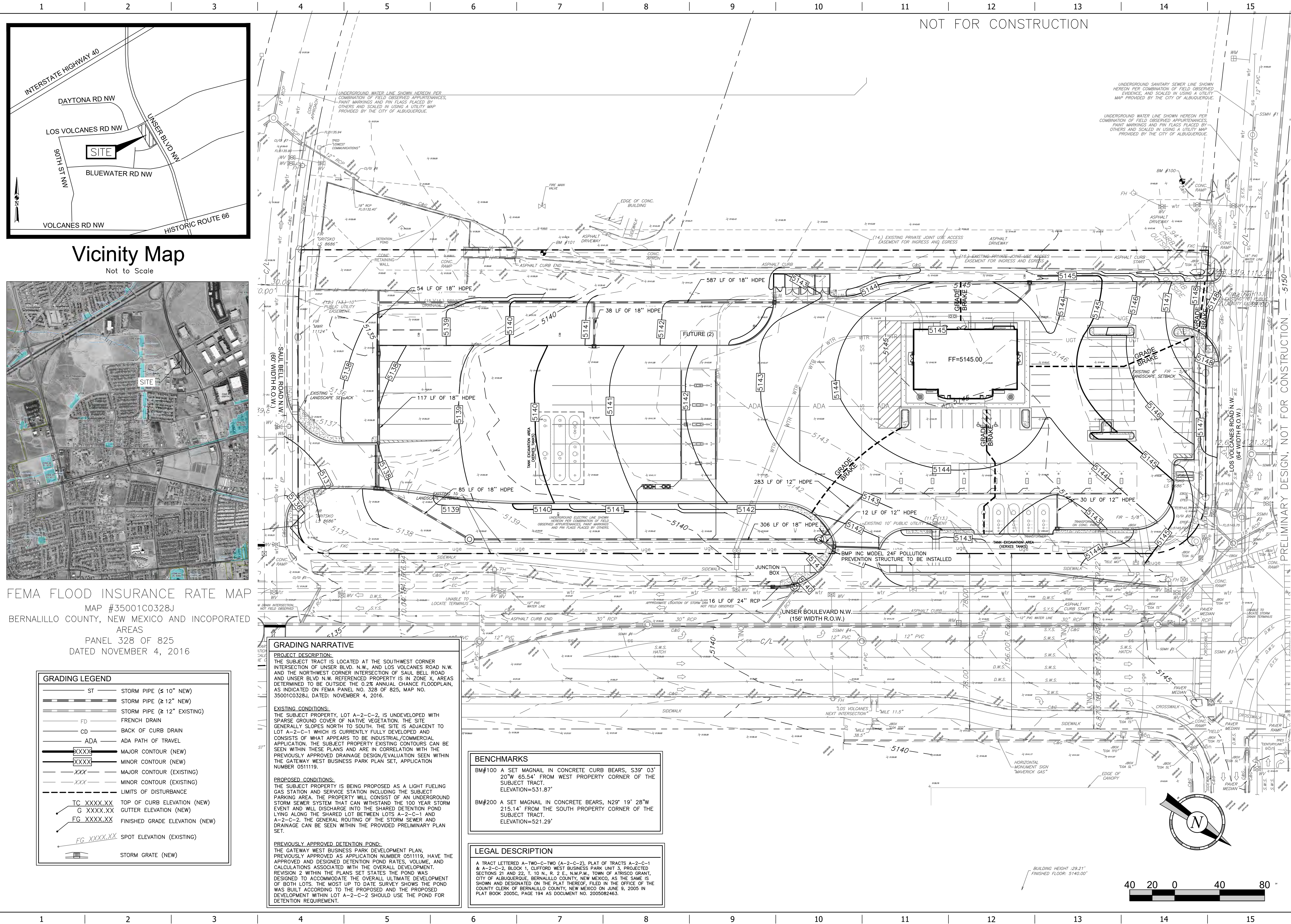
FILE LOCATION: z:\PROJECTS\QUIKTRIP\7001 - unser & los volcanes - albuquerque mm\C\89-7001 Civil - Site South USER: gcook SAVES: 5/2024 3:10 PM PLOTTED: 5/2024 3:11 PM

PRELIMINARY DESIGN, NOT FOR CONSTRUCTION

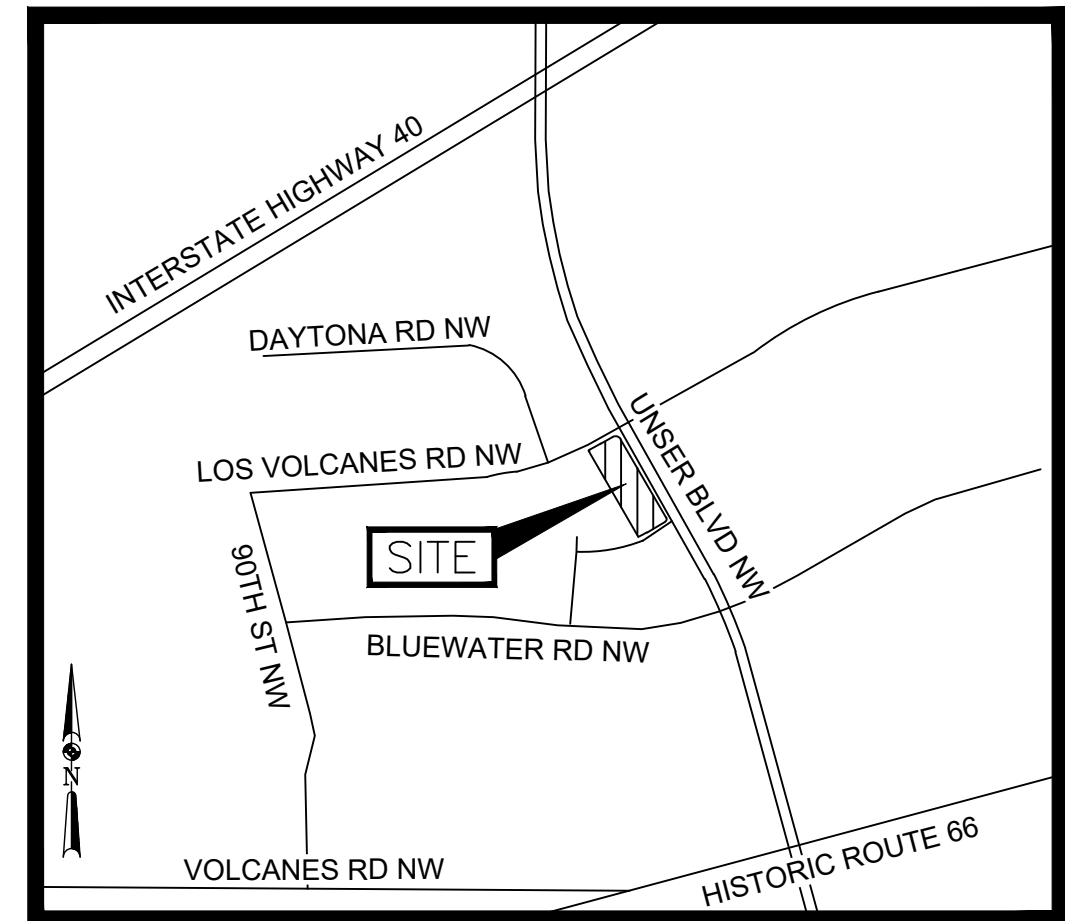
ORIGINAL ISSUE DATE: 04.19.24



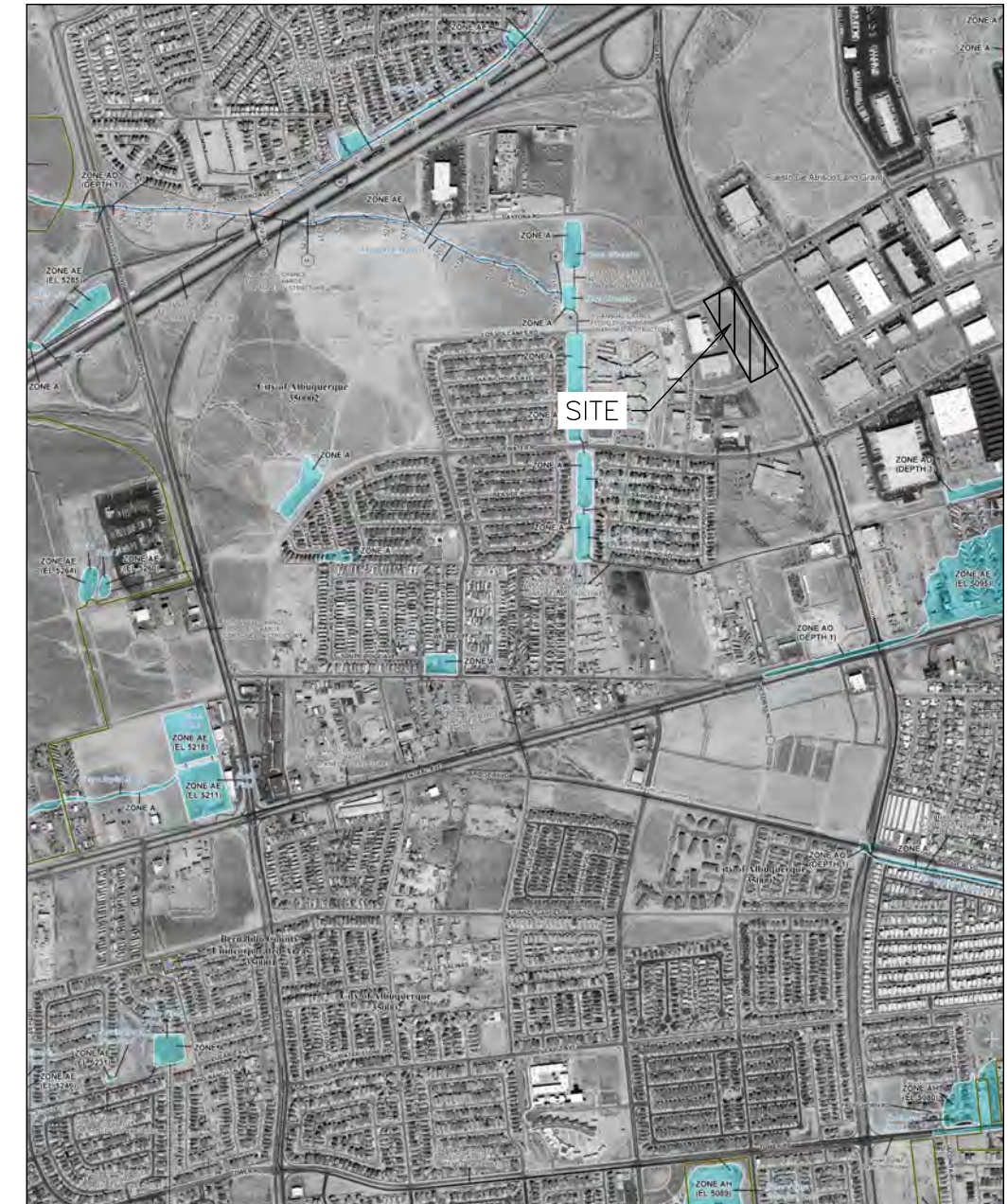




NOT FOR CONSTRUCTION



**Vicinity Map**  
Not to Scale



**FEMA FLOOD INSURANCE RATE MAP**  
MAP #35001C0328J  
BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS  
PANEL 328 OF 825  
DATED NOVEMBER 4, 2016

**GRADING LEGEND**

ST	STORM PIPE (≤ 10" NEW)
ST	STORM PIPE (≥ 12" NEW)
ST	STORM PIPE (≥ 12" EXISTING)
FD	FRENCH DRAIN
CD	BACK OF CURB DRAIN
ADA	ADA PATH OF TRAVEL
XXXX	MAJOR CONTOUR (NEW)
XXXX	MINOR CONTOUR (NEW)
XXX	MAJOR CONTOUR (EXISTING)
XXX	MINOR CONTOUR (EXISTING)
---	LIMITS OF DISTURBANCE
TC XXXX.XX	TOP OF CURB ELEVATION (NEW)
G XXXX.XX	GUTTER ELEVATION (NEW)
FG XXXX.XX	FINISHED GRADE ELEVATION (NEW)
FG XXXX.XX	SPOT ELEVATION (EXISTING)
SG	STORM GRATE (NEW)

**GRADING NARRATIVE**

**PROJECT DESCRIPTION:**  
THE SUBJECT TRACT IS LOCATED AT THE SOUTHWEST CORNER INTERSECTION OF UNSER BLVD. N.W., AND LOS VOLCANES ROAD N.W. AND THE NORTHWEST CORNER INTERSECTION OF SAUL BELL ROAD AND UNSER BLVD N.W. REFERENCED PROPERTY IS IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INDICATED ON FEMA PANEL NO. 328 OF 825, MAP NO. 35001C0328J, DATED: NOVEMBER 4, 2016.

**EXISTING CONDITIONS:**  
THE SUBJECT PROPERTY, LOT A-2-C-2, IS UNDEVELOPED WITH SPARSE GROUND COVER OF NATIVE VEGETATION. THE SITE GENERALLY SLOPES NORTH TO SOUTH. THE SITE IS ADJACENT TO LOT A-2-C-1 WHICH IS CURRENTLY FULLY DEVELOPED AND CONSISTS OF WHAT APPEARS TO BE INDUSTRIAL/COMMERCIAL APPLICATION. THE SUBJECT PROPERTY EXISTING CONTOURS CAN BE SEEN WITHIN THESE PLANS AND ARE IN CORRELATION WITH THE PREVIOUSLY APPROVED DRAINAGE DESIGN/EVALUATION SEEN WITHIN THE GATEWAY WEST BUSINESS PARK PLAN SET, APPLICATION NUMBER 0511119.

**PROPOSED CONDITIONS:**  
THE SUBJECT PROPERTY IS BEING PROPOSED AS A LIGHT FUELING GAS STATION AND SERVICE STATION INCLUDING THE SUBJECT PARKING AREA. THE PROPERTY WILL CONSIST OF AN UNDERGROUND STORM SEWER SYSTEM THAT CAN WITHSTAND THE 100 YEAR STORM EVENT AND WILL DISCHARGE INTO THE SHARED DETENTION POND LYING ALONG THE SHARED LOT BETWEEN LOTS A-2-C-1 AND A-2-C-2. THE GENERAL ROUTING OF THE STORM SEWER AND DRAINAGE CAN BE SEEN WITHIN THE PROVIDED PRELIMINARY PLAN SET.

**PREVIOUSLY APPROVED DETENTION POND:**  
THE GATEWAY WEST BUSINESS PARK DEVELOPMENT PLAN, PREVIOUSLY APPROVED AS APPLICATION NUMBER 0511119, HAVE THE APPROVED AND DESIGNED DETENTION POND RATES, VOLUME, AND CALCULATIONS ASSOCIATED WITH THE OVERALL DEVELOPMENT. REVISION 2 WITHIN THE PLANS SET STATES THE POND WAS DESIGNED TO ACCOMMODATE THE OVERALL ULTIMATE DEVELOPMENT OF BOTH LOTS. THE MOST UP TO DATE SURVEY SHOWS THE POND WAS BUILT ACCORDING TO THE PROPOSED AND THE PROPOSED DEVELOPMENT WITHIN LOT A-2-C-2 SHOULD USE THE POND FOR DETENTION REQUIREMENT.

**BENCHMARKS**

BM#100 A SET MAGNAIL IN CONCRETE CURB BEARS, S39° 03' 20"W 65.54' FROM WEST PROPERTY CORNER OF THE SUBJECT TRACT. ELEVATION=531.87'

BM#200 A SET MAGNAIL IN CONCRETE BEARS, N29° 19' 28"W 215.14' FROM THE SOUTH PROPERTY CORNER OF THE SUBJECT TRACT. ELEVATION=521.29'

**LEGAL DESCRIPTION**

A TRACT LETTERED A-TWO-C-TWO (A-2-C-2), PLAT OF TRACTS A-2-C-1 & A-2-C-2, BLOCK 1, CLIFFORD WEST BUSINESS PARK UNIT 3, PROJECTED SECTIONS 21 AND 22, T. 10 N., R. 2 E., N.M.P.M., TOWN OF ATISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 9, 2005 IN PLAT BOOK 2005C, PAGE 194 AS DOCUMENT NO. 2005082463.

JOHN MARK MATIN  
NEW MEXICO  
21937  
PROFESSIONAL ENGINEER

PROJECT NO.: 7001.01

**MATKINHOOPER**  
ENGINEERING  
& SURVEYING

8 SPENCER ROAD SUITE 100  
BIENVE, TEXAS 76008  
CONTACT: JMATKINHOOPER.COM  
P-004816 SUBSEQUENT FROM P-0048000

**QuikTrip No. 7001**  
521 UNSER BLVD. NW  
ALBUQUERQUE, NEW MEXICO

**QT**

© COPYRIGHT QUIKTRIP CORPORATION 2011  
ANY UNAUTHORIZED USE, REPRODUCTION,  
PUBLICATION, DISTRIBUTION, OR SALE IN  
WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE: P-116 (12/01/23)  
DIVISION:  
VERSION: 001  
DESIGNED BY: GSC  
DRAWN BY: MIM  
REVIEWED BY: CGW

REV	DATE	DESCRIPTION

SHEET TITLE:  
**CONCEPTUAL GRADING  
OVERALL PLAN**

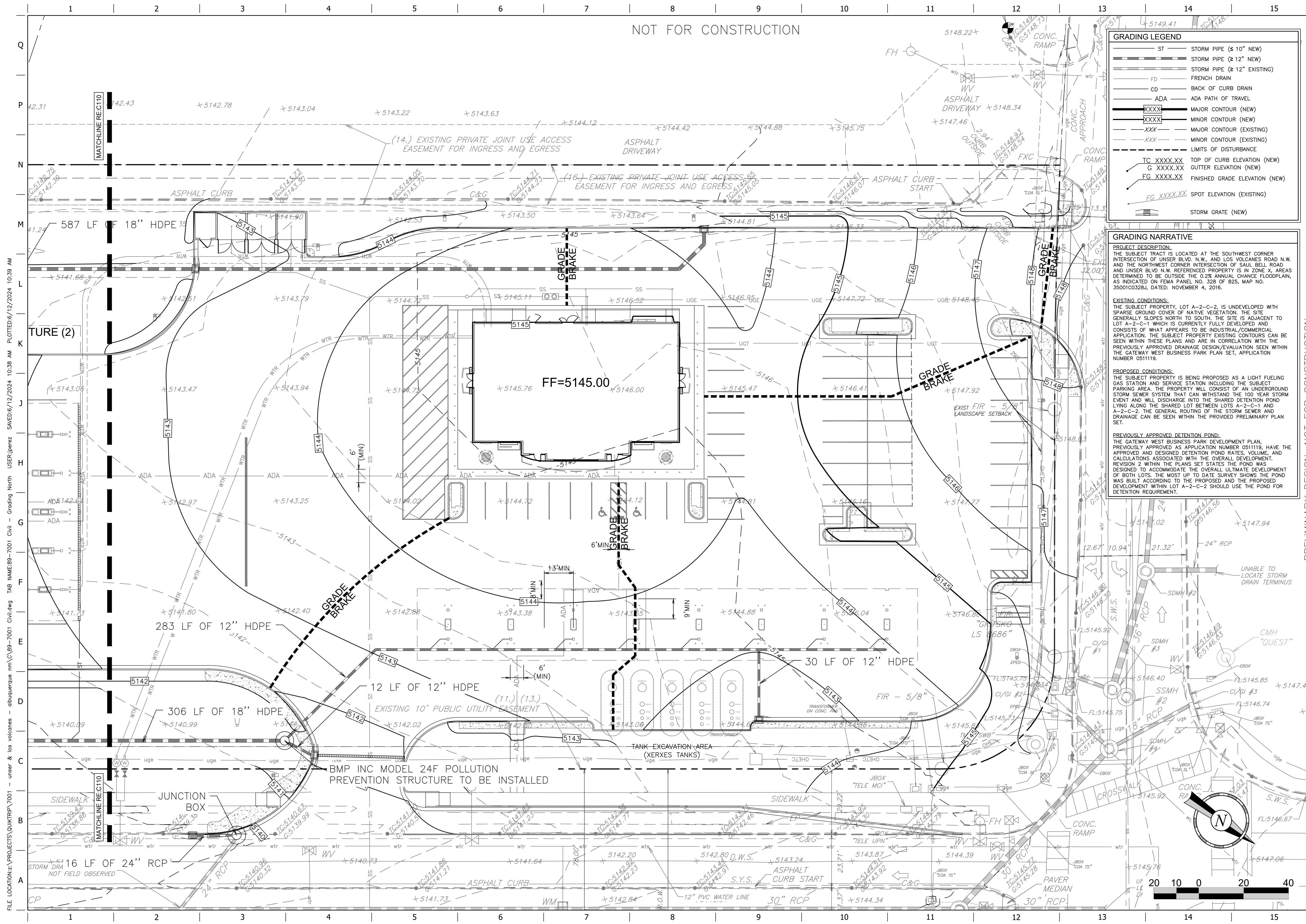
SHEET NUMBER:

**C110**  
10 OF 25

FILE LOCATION: Z:\PROJECTS\QUIKTRIP\7001 - unser & los volcanes - abbuquerque mm\C:\89-7001 Civil - Grading USER:perez SAVES:6/12/2024 10:38 AM PLOTTED:6/12/2024 10:39 AM

PRELIMINARY DESIGN, NOT FOR CONSTRUCTION - 5150 ORIGINAL ISSUE DATE: 04.19.24





NOT FOR CONSTRUCTION

GRADING LEGEND	
ST	STORM PIPE (≤ 10" NEW)
ST	STORM PIPE (≥ 12" NEW)
ST	STORM PIPE (≥ 12" EXISTING)
FD	FRENCH DRAIN
CD	BACK OF CURB DRAIN
ADA	ADA PATH OF TRAVEL
XXXX	MAJOR CONTOUR (NEW)
XXXX	MINOR CONTOUR (NEW)
XXX	MAJOR CONTOUR (EXISTING)
XXX	MINOR CONTOUR (EXISTING)
---	LIMITS OF DISTURBANCE
TC XXXX.XX	TOP OF CURB ELEVATION (NEW)
G XXXX.XX	GUTTER ELEVATION (NEW)
FG XXXX.XX	FINISHED GRADE ELEVATION (NEW)
FG XXXX.XX	SPOT ELEVATION (EXISTING)
SG	STORM GRATE (NEW)

**GRADING NARRATIVE**

**PROJECT DESCRIPTION:**  
THE SUBJECT TRACT IS LOCATED AT THE SOUTHWEST CORNER INTERSECTION OF UNSER BLVD. N.W. AND LOS VOLCANES ROAD N.W. AND THE NORTHWEST CORNER INTERSECTION OF SAUL BELL ROAD AND UNSER BLVD. N.W. REFERENCED PROPERTY IS IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INDICATED ON FEMA PANEL NO. 328 OF 825, MAP NO. 35001C0328J, DATED: NOVEMBER 4, 2016.

**EXISTING CONDITIONS:**  
THE SUBJECT PROPERTY, LOT A-2-C-2, IS UNDEVELOPED WITH SPARSE GROUND COVER OF NATIVE VEGETATION. THE SITE GENERALLY SLOPES NORTH TO SOUTH. THE SITE IS ADJACENT TO LOT A-2-C-1 WHICH IS CURRENTLY FULLY DEVELOPED AND CONSISTS OF WHAT APPEARS TO BE INDUSTRIAL/COMMERCIAL APPLICATIONS. THE SUBJECT PROPERTY EXISTING CONTOURS CAN BE SEEN WITHIN THESE PLANS AND ARE IN CORRELATION WITH THE PREVIOUSLY APPROVED DRAINAGE DESIGN/EVALUATION SEEN WITHIN THE GATEWAY WEST BUSINESS PARK PLAN SET, APPLICATION NUMBER 051119.

**PROPOSED CONDITIONS:**  
THE SUBJECT PROPERTY IS BEING PROPOSED AS A LIGHT FUELING GAS STATION AND SERVICE STATION INCLUDING THE SUBJECT PARKING AREA. THE PROPERTY WILL CONSIST OF AN UNDERGROUND STORM SEWER SYSTEM THAT CAN WITHSTAND THE 100 YEAR STORM EVENT AND WILL DISCHARGE INTO THE SHARED DETENTION POND LYING ALONG THE SHARED LOT BETWEEN LOTS A-2-C-1 AND A-2-C-2. THE GENERAL ROUTING OF THE STORM SEWER AND DRAINAGE CAN BE SEEN WITHIN THE PROVIDED PRELIMINARY PLAN SET.

**PREVIOUSLY APPROVED DETENTION POND:**  
THE GATEWAY WEST BUSINESS PARK DEVELOPMENT PLAN, PREVIOUSLY APPROVED AS APPLICATION NUMBER 051119, HAVE THE APPROVED AND DESIGNED DETENTION POND RATES, VOLUME, AND CALCULATIONS ASSOCIATED WITH THE OVERALL DEVELOPMENT. REVISION 2 WITHIN THE PLANS SET STATES THE POND WAS DESIGNED TO ACCOMMODATE THE OVERALL ULTIMATE DEVELOPMENT OF BOTH LOTS. THE MOST UP TO DATE SURVEY SHOWS THE POND WAS BUILT ACCORDING TO THE PROPOSED AND THE PROPOSED DEVELOPMENT WITHIN LOT A-2-C-2 SHOULD USE THE POND FOR DETENTION REQUIREMENT.

JOHN MARK MATAMOROS  
NEW MEXICO  
21937  
PROFESSIONAL ENGINEER

PROJECT NO.: 7001.01

**MATKINHOOPER**  
ENGINEERING  
& SURVEYING

8 SPENCER ROAD SUITE 100  
BIENES, TEXAS 76009  
CONTACT: JMATKINHOOPER.COM  
TX AS REGISTERED: ENGINEERING  
P-C004676 SURVEYING: STATE P-0006000

**QuikTrip No. 7001**  
521 UNSER BLVD. NW  
ALBUQUERQUE, NEW MEXICO

**QT**

© COPYRIGHT QUIKTRIP CORPORATION 2011  
ANY UNAUTHORIZED USE, REPRODUCTION,  
PUBLICATION, DISTRIBUTION, OR SALE IN  
WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE: P-116 (12/01/23)  
DIVISION: 001  
VERSION: 001  
DESIGNED BY: GSC  
DRAWN BY: MIM  
REVIEWED BY: CGW

REV	DATE	DESCRIPTION

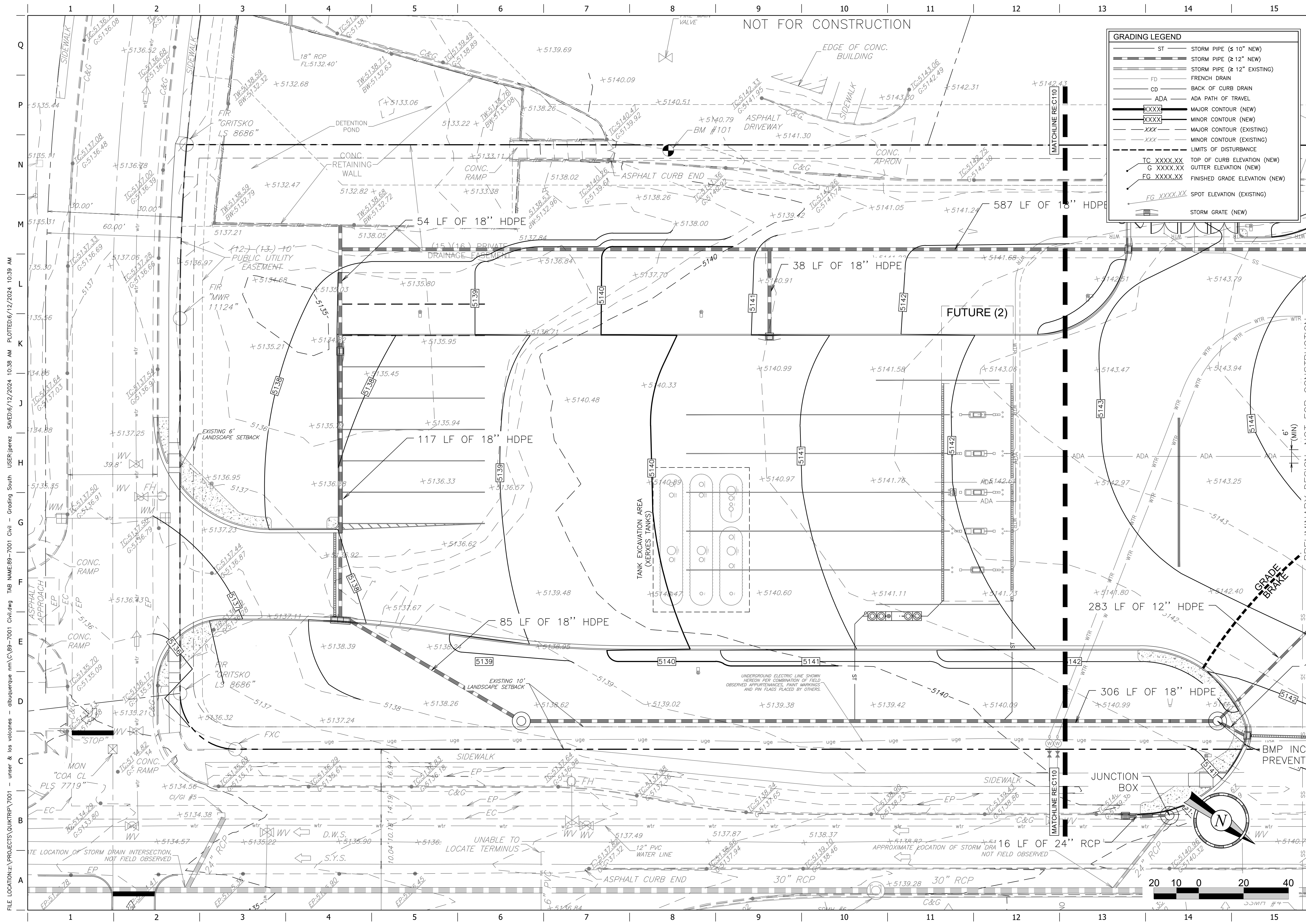
ORIGINAL ISSUE DATE: 04.19.24

SHEET TITLE:  
CONCEPTUAL GRADING  
PLAN NORTH

SHEET NUMBER:  
**C111**  
11 OF 25

FILE LOCATION: Z:\PROJECTS\QUIKTRIP\7001 - unser & los volcanes - albuquerque mm\CAD\89-7001 Civil - Grading North USER: jgomez SAVES: 6/12/2024 10:38 AM PLOTTED: 6/12/2024 10:39 AM



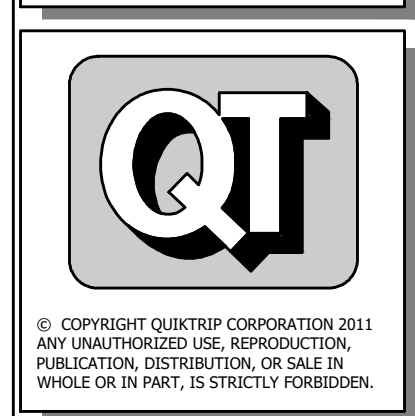


GRADING LEGEND	
ST	STORM PIPE (≤ 10" NEW)
ST	STORM PIPE (≥ 12" NEW)
ST	STORM PIPE (≥ 12" EXISTING)
FD	FRENCH DRAIN
CD	BACK OF CURB DRAIN
ADA	ADA PATH OF TRAVEL
XXXX	MAJOR CONTOUR (NEW)
XXXX	MINOR CONTOUR (NEW)
XXX	MAJOR CONTOUR (EXISTING)
XXX	MINOR CONTOUR (EXISTING)
---	LIMITS OF DISTURBANCE
TC XXXX.XX	TOP OF CURB ELEVATION (NEW)
G XXXX.XX	GUTTER ELEVATION (NEW)
FG XXXX.XX	FINISHED GRADE ELEVATION (NEW)
FG XXXX.XX	SPOT ELEVATION (EXISTING)
SG	STORM GRATE (NEW)



PROJECT NO.: 7001.01  
**MATKINHOOPER**  
 ENGINEERING & SURVEYING  
 8 SPENCER ROAD, SUITE 100  
 BIRMINGHAM, TEXAS 75008  
 CONTACT: JMATKINHOOPER.COM  
 P-004616 - SURVEYING FROM 1/10/2000

**QuikTrip No. 7001**  
 521 UNSER BLVD. NW  
 ALBUQUERQUE, NEW MEXICO



PRELIMINARY DESIGN, NOT FOR CONSTRUCTION

PROTOTYPE: P-116 (12/01/23)

DIVISION:

VERSION: 001

DESIGNED BY: GSC

DRAWN BY: MJM

REVIEWED BY: CGW

REV	DATE	DESCRIPTION

SHEET TITLE:  
 CONCEPTUAL GRADING  
 PLAN SOUTH

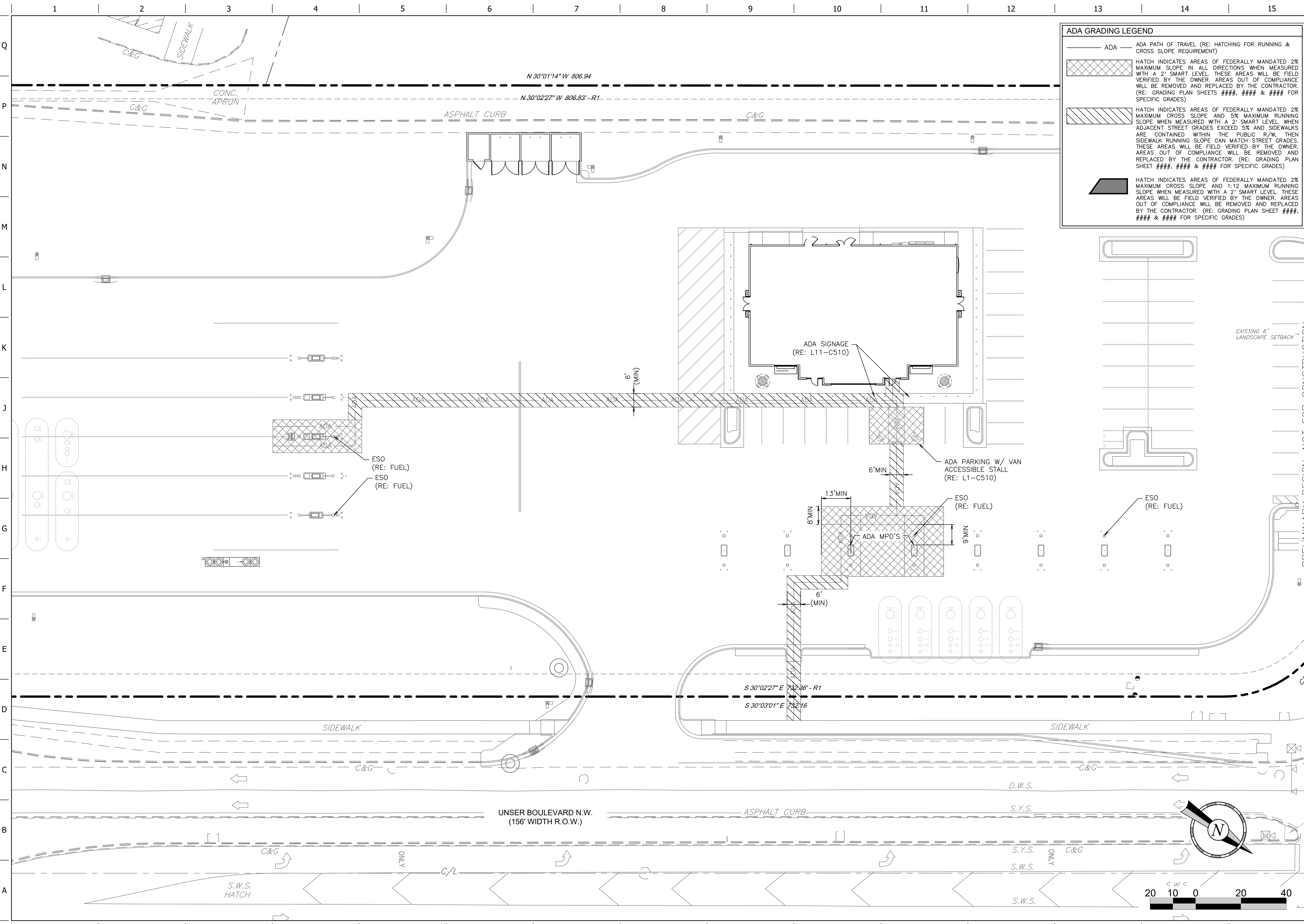
SHEET NUMBER:  
**C112**  
 12 OF 25

FILE LOCATION: \\PROJECTS\QUIKTRIP\7001 - unser & los volcanes - albuquerque mm\C\89-7001 Civil - Grading South USER:perez SAVED:6/12/2024 10:38 AM PLOTTED:6/12/2024 10:38 AM

ORIGINAL ISSUE DATE: 04.19.24



FILE LOCATION: z:\PROJECTS\QUIKTRIP\7001 - unsers & los volcanes - albuquerque mm\C\89-7001 Civil - ADA Compliance Plan USER: gpcokk SAVED: 6/5/2024 3:10 PM PLOTTED: 6/5/2024 3:11 PM



**ADA GRADING LEGEND**

- ADA — ADA PATH OF TRAVEL (RE: HATCHING FOR RUNNING & CROSS SLOPE REQUIREMENT)
- [Hatched Box] HATCH INDICATES AREAS OF FEDERALLY MANDATED 2% MAXIMUM CROSS SLOPE IN ALL DIRECTIONS WHEN MEASURED WITH A 2' SMART LEVEL. THESE AREAS WILL BE FIELD VERIFIED BY THE OWNER. AREAS OUT OF COMPLIANCE WILL BE REMOVED AND REPLACED BY THE CONTRACTOR. (RE: GRADING PLAN SHEETS #####, ##### & ##### FOR SPECIFIC GRADES)
- [Hatched Box] HATCH INDICATES AREAS OF FEDERALLY MANDATED 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM RUNNING SLOPE WHEN MEASURED WITH A 2' SMART LEVEL. WHEN ADJACENT STREET GRADES EXCEED 5% AND SIDEWALKS ARE CONTAINED WITHIN THE PUBLIC R/W, THEN SIDEWALK RUNNING SLOPE CAN MATCH STREET GRADES. THESE AREAS WILL BE FIELD VERIFIED BY THE OWNER. AREAS OUT OF COMPLIANCE WILL BE REMOVED AND REPLACED BY THE CONTRACTOR. (RE: GRADING PLAN SHEET #####, ##### & ##### FOR SPECIFIC GRADES)
- [Hatched Box] HATCH INDICATES AREAS OF FEDERALLY MANDATED 2% MAXIMUM CROSS SLOPE AND 1:12 MAXIMUM RUNNING SLOPE WHEN MEASURED WITH A 2' SMART LEVEL. THESE AREAS WILL BE FIELD VERIFIED BY THE OWNER. AREAS OUT OF COMPLIANCE WILL BE REMOVED AND REPLACED BY THE CONTRACTOR. (RE: GRADING PLAN SHEET #####, ##### & ##### FOR SPECIFIC GRADES)

JOHN MARK MATYIA  
NEW MEXICO  
21937  
PROFESSIONAL ENGINEER  
5/31/24

PROJECT NO.: 7001.01

**MATKINHOOPER**  
ENGINEERING  
& SURVEYING  
8 SPENCER ROAD, SUITE 100  
BIENHE, TEXAS 76008  
CONTACT: JMATKINHOOPER.COM

TEXAS REG. NO. 21937  
LICENSED PROFESSIONAL ENGINEER  
P. 0004876 SURVEYING FROM P. 0004900

**QuikTrip No. 7001**  
521 UNSER BLVD. NW  
ALBUQUERQUE, NEW MEXICO

**QT**

© COPYRIGHT QUIKTRIP CORPORATION 2011  
ANY UNAUTHORIZED USE, REPRODUCTION,  
PUBLICATION, DISTRIBUTION, OR SALE IN  
WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

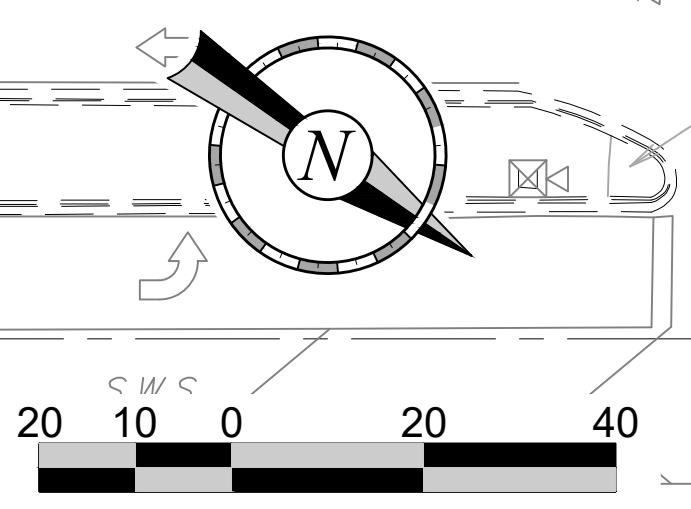
PROTOTYPE: P-116 (12/01/23)  
DIVISION:  
VERSION: 001  
DESIGNED BY: GSC  
DRAWN BY: MJM  
REVIEWED BY: CGW

REV	DATE	DESCRIPTION

SHEET TITLE:  
**ADA COMPLIANCE PLAN**

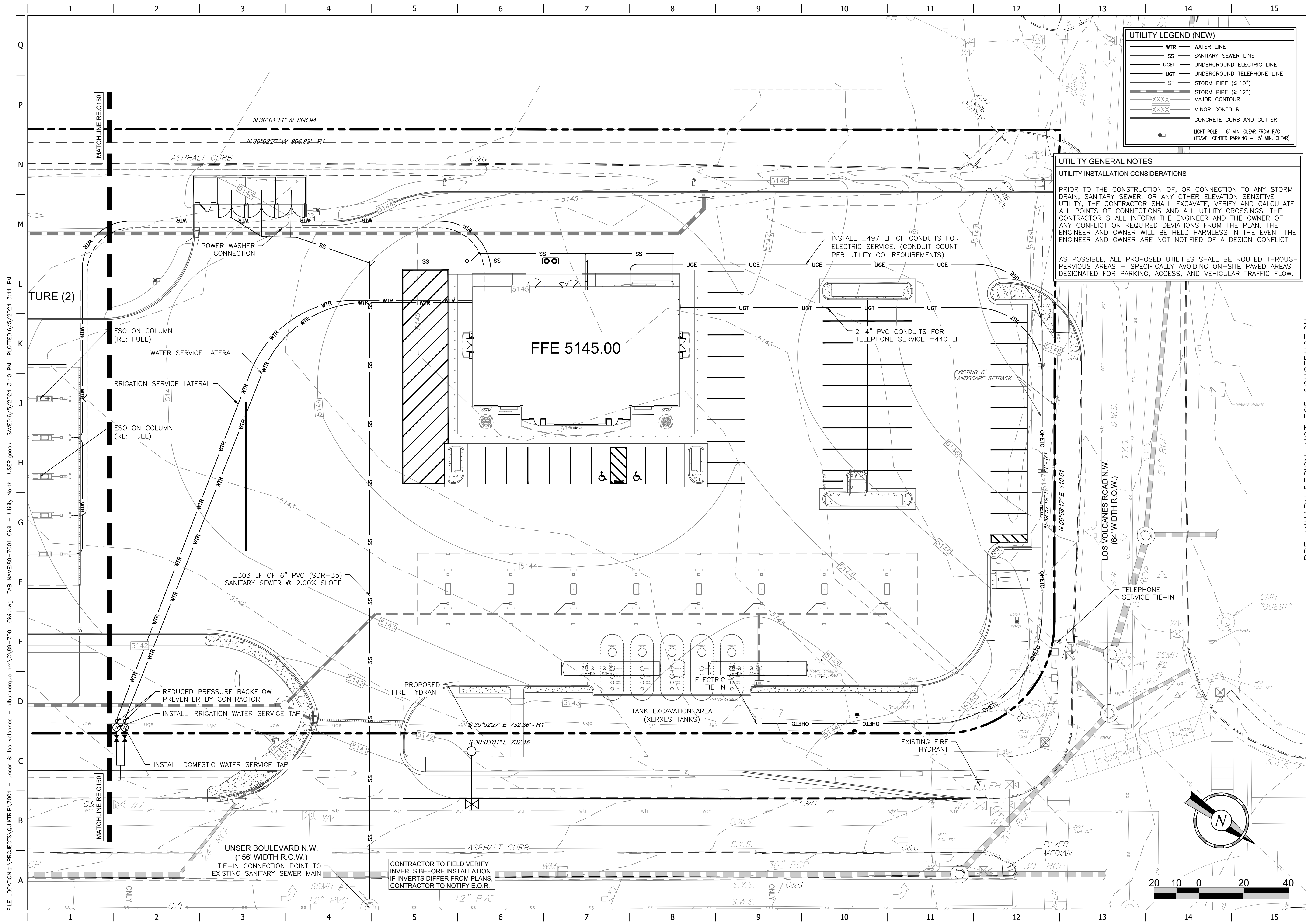
SHEET NUMBER:  
**C113**  
13 OF 25

ORIGINAL ISSUE DATE: 04.19.24



PRELIMINARY DESIGN, NOT FOR CONSTRUCTION





**UTILITY LEGEND (NEW)**

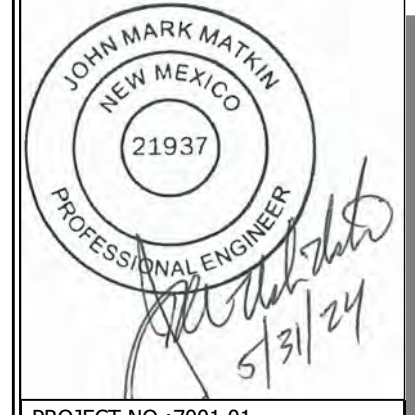
- WTR — WATER LINE
- SS — SANITARY SEWER LINE
- UGET — UNDERGROUND ELECTRIC LINE
- UGT — UNDERGROUND TELEPHONE LINE
- ST — STORM PIPE (≤ 10")
- ST — STORM PIPE (≥ 12")
- XXXX — MAJOR CONTOUR
- XXXX — MINOR CONTOUR
- — CONCRETE CURB AND GUTTER
- — LIGHT POLE - 6" MIN. CLEAR FROM F/C (TRAVEL CENTER PARKING - 15' MIN. CLEAR)

**UTILITY GENERAL NOTES**

**UTILITY INSTALLATION CONSIDERATIONS**

PRIOR TO THE CONSTRUCTION OF, OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, OR ANY OTHER ELEVATION SENSITIVE UTILITY, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTIONS AND ALL UTILITY CROSSINGS. THE CONTRACTOR SHALL INFORM THE ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. THE ENGINEER AND OWNER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER AND OWNER ARE NOT NOTIFIED OF A DESIGN CONFLICT.

AS POSSIBLE, ALL PROPOSED UTILITIES SHALL BE ROUTED THROUGH PERVIOUS AREAS - SPECIFICALLY AVOIDING ON-SITE PAVED AREAS DESIGNATED FOR PARKING, ACCESS, AND VEHICULAR TRAFFIC FLOW.



PROJECT NO.: 7001.01

**MATKINHOOPER**  
ENGINEERING & SURVEYING  
8 SPENCER ROAD, SUITE 100  
BUREAU, TEXAS 76008  
CONTACT: JMATKINHOOPER.COM

STATE OF NEW MEXICO  
REGISTERED ENGINEERING FIRM  
P-004876 - SUBMITTING FIRM P-0000000

**QuikTrip No. 7001**  
521 UNSER BLVD. NW  
ALBUQUERQUE, NEW MEXICO



© COPYRIGHT QUIKTRIP CORPORATION 2011  
ANY UNAUTHORIZED USE, REPRODUCTION,  
PUBLICATION, DISTRIBUTION, OR SALE IN  
WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE: P-116 (12/01/23)  
DIVISION: \_\_\_\_\_  
VERSION: 001  
DESIGNED BY: GSC  
DRAWN BY: MJM  
REVIEWED BY: CGW

REV	DATE	DESCRIPTION

SHEET TITLE:  
UTILITY PLAN NORTH

SHEET NUMBER:  
**C150**  
14 OF 25

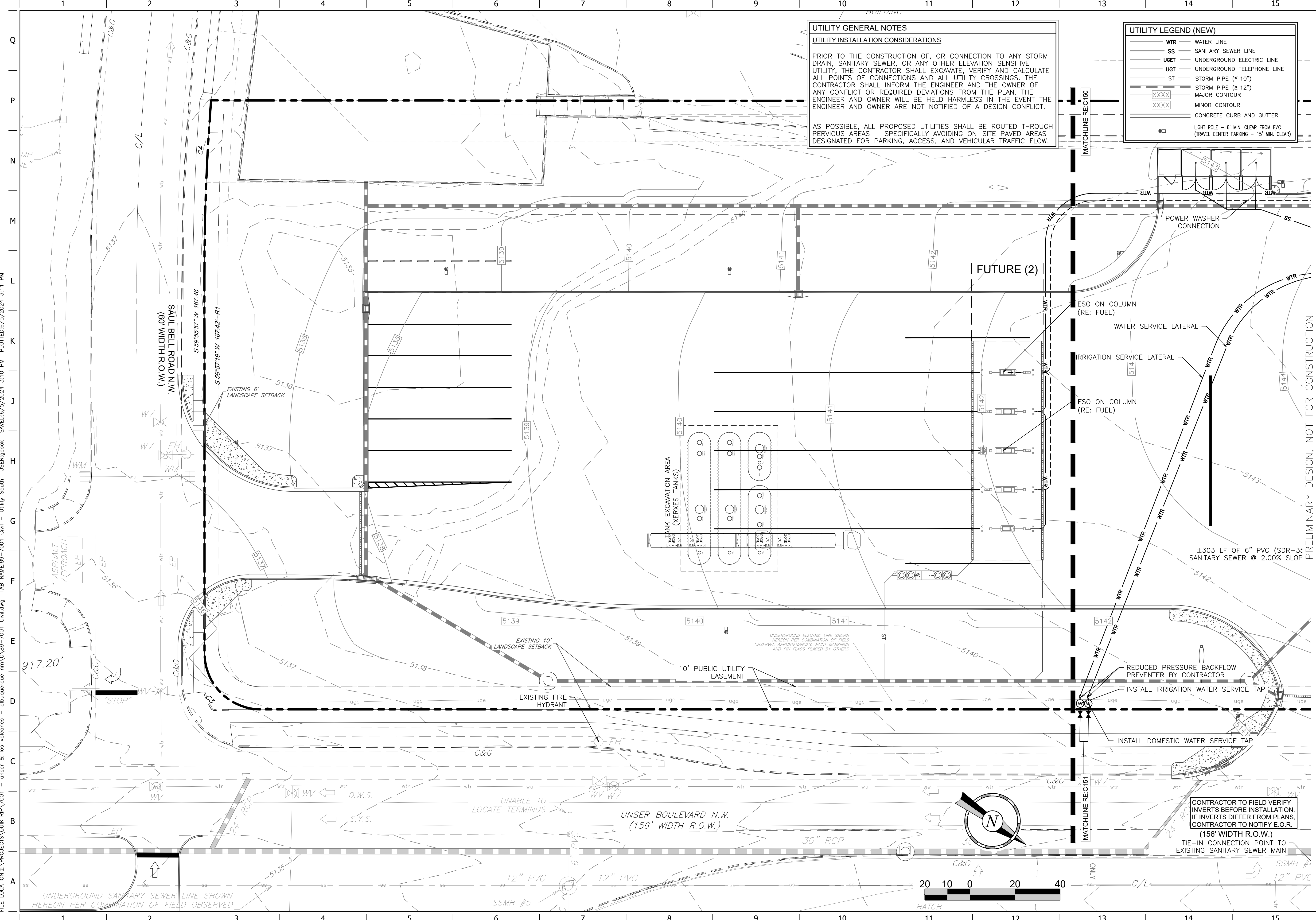
FILE LOCATION: z:\PROJECTS\QUIKTRIP\7001 - unser & los volcanes - albuquerque mm\C\89-7001 Civil - Utility North USEEgbook SAVE6/5/2024 3:10 PM PLOTTED: 6/5/2024 3:11 PM

PRELIMINARY DESIGN, NOT FOR CONSTRUCTION

ORIGINAL ISSUE DATE: 04.19.24



FILE LOCATION: \\PROJECTS\QUICKTRIP\7001 - unser & los volcanes - albuquerque mm\C\89-7001 Civil - Utility South USER: gcook SAVED: 5/5/2024 3:10 PM PLOTTED: 5/5/2024 3:11 PM



**UTILITY GENERAL NOTES**  
**UTILITY INSTALLATION CONSIDERATIONS**  
 PRIOR TO THE CONSTRUCTION OF, OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, OR ANY OTHER ELEVATION SENSITIVE UTILITY, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTIONS AND ALL UTILITY CROSSINGS. THE CONTRACTOR SHALL INFORM THE ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. THE ENGINEER AND OWNER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER AND OWNER ARE NOT NOTIFIED OF A DESIGN CONFLICT.

AS POSSIBLE, ALL PROPOSED UTILITIES SHALL BE ROUTED THROUGH PERVIOUS AREAS - SPECIFICALLY AVOIDING ON-SITE PAVED AREAS DESIGNATED FOR PARKING, ACCESS, AND VEHICULAR TRAFFIC FLOW.

**UTILITY LEGEND (NEW)**

WTR	WATER LINE
SS	SANITARY SEWER LINE
UGET	UNDERGROUND ELECTRIC LINE
UGT	UNDERGROUND TELEPHONE LINE
ST	STORM PIPE (≤ 10")
ST	STORM PIPE (≥ 12")
XXXX	MAJOR CONTOUR
XXXX	MINOR CONTOUR
---	CONCRETE CURB AND GUTTER
○	LIGHT POLE - 6" MIN. CLEAR FROM F/C (TRAVEL CENTER PARKING - 15' MIN. CLEAR)

JOHN MARK MATIN  
 NEW MEXICO  
 21937  
 PROFESSIONAL ENGINEER  
 PROJECT NO.: 7001.01

**MATKINHOOPER**  
 ENGINEERING  
 & SURVEYING  
 8 SPENCER ROAD, SUITE 100  
 BURENE, TEXAS 76008  
 CONTACT: JMATKINHOOPER.COM  
 FAX: 817-552-8282  
 LICENSE # 1994  
 P-004876 - SURVEYING FROM 10/06/00

**QuikTrip No. 7001**  
 521 UNSER BLVD. NW  
 ALBUQUERQUE, NEW MEXICO

**QT**

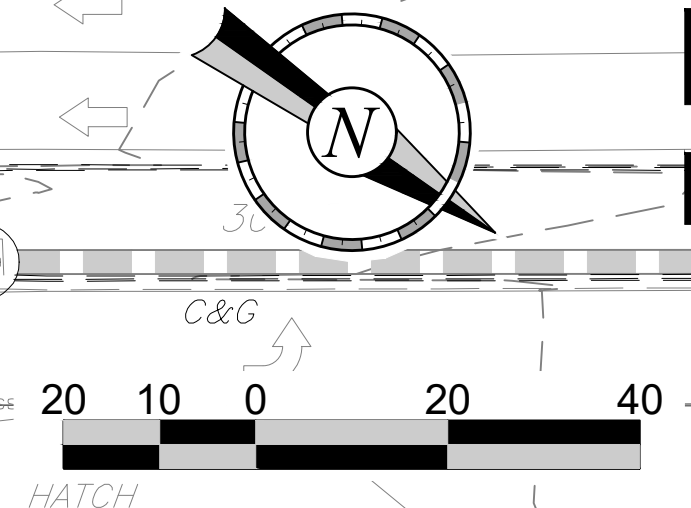
© COPYRIGHT QUICKTRIP CORPORATION 2011  
 ANY UNAUTHORIZED USE, REPRODUCTION,  
 PUBLICATION, DISTRIBUTION, OR SALE IN  
 WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE:	P-116 (12/01/23)
DIVISION:	
VERSION:	001
DESIGNED BY:	GSC
DRAWN BY:	MJM
REVIEWED BY:	CGW

REV	DATE	DESCRIPTION

SHEET TITLE:  
 UTILITY PLAN SOUTH

SHEET NUMBER:  
**C151**  
 15 OF 25



PRELIMINARY DESIGN, NOT FOR CONSTRUCTION

±303 LF OF 6" PVC (SDR-35) SANITARY SEWER @ 2.00% SLOP

INSTALL IRRIGATION WATER SERVICE TAP

INSTALL DOMESTIC WATER SERVICE TAP

CONTRACTOR TO FIELD VERIFY INVERTS BEFORE INSTALLATION. IF INVERTS DIFFER FROM PLANS, CONTRACTOR TO NOTIFY E.O.R.

TIE-IN CONNECTION POINT TO EXISTING SANITARY SEWER MAIN

UNDERGROUND ELECTRIC LINE SHOWN HEREON PER COMBINATION OF FIELD OBSERVED APPURTENANCES, PAINT MARKINGS AND PIN FLAGS PLACED BY OTHERS.

10' PUBLIC UTILITY EASEMENT

EXISTING FIRE HYDRANT

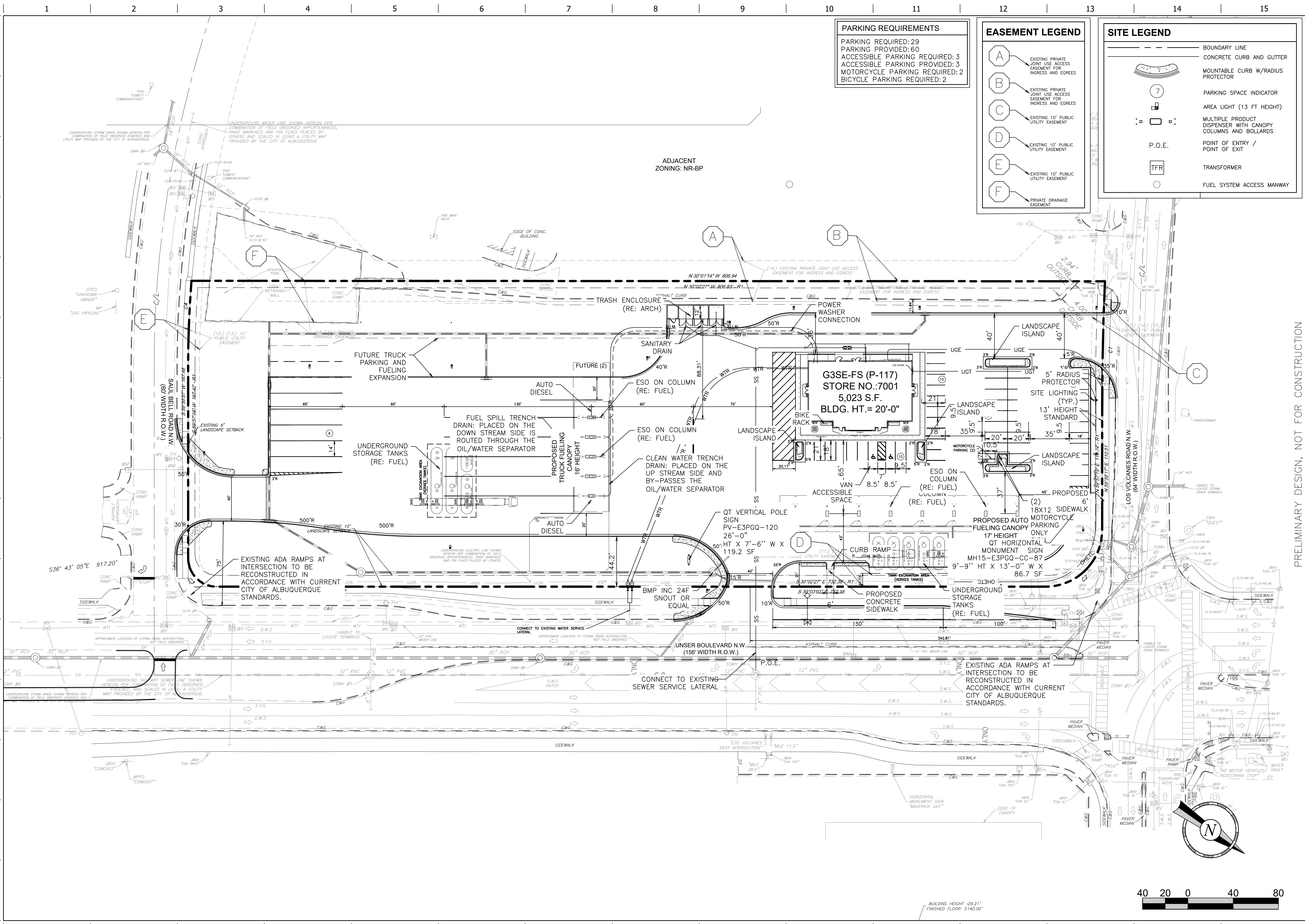
UNSER BOULEVARD N.W. (156' WIDTH R.O.W.)

UNABLE TO LOCATE TERMINUS

UNDERGROUND SANITARY SEWER LINE SHOWN HEREON PER COMBINATION OF FIELD OBSERVED



FILE LOCATION: z:\PROJECTS\QUIKTRIP\7001 - unser & los volcanes - albuquerque mm\089-7001 Civil - Solid Waste Management Plan USER:gcook SAVED:6/5/2024 3:10 PM PLOTTED:6/5/2024 3:11 PM



**PARKING REQUIREMENTS**

PARKING REQUIRED:	29
PARKING PROVIDED:	60
ACCESSIBLE PARKING REQUIRED:	3
ACCESSIBLE PARKING PROVIDED:	3
MOTORCYCLE PARKING REQUIRED:	2
BICYCLE PARKING REQUIRED:	2

**EASEMENT LEGEND**

A	EXISTING PRIVATE JOINT USE ACCESS EASEMENT FOR INGRESS AND EGRESS
B	EXISTING PRIVATE JOINT USE ACCESS EASEMENT FOR INGRESS AND EGRESS
C	EXISTING 10' PUBLIC UTILITY EASEMENT
D	EXISTING 10' PUBLIC UTILITY EASEMENT
E	EXISTING 10' PUBLIC UTILITY EASEMENT
F	PRIVATE DRAINAGE EASEMENT

**SITE LEGEND**

---	BOUNDARY LINE
---	CONCRETE CURB AND GUTTER
○	MOUNTABLE CURB W/RADIUS PROTECTOR
○	PARKING SPACE INDICATOR
○	AREA LIGHT (13 FT HEIGHT)
○	MULTIPLE PRODUCT DISPENSER WITH CANOPY COLUMNS AND BOLLARDS
P.O.E.	POINT OF ENTRY / POINT OF EXIT
TFR	TRANSFORMER
○	FUEL SYSTEM ACCESS MANWAY

**JOHN MARK MATIN**  
NEW MEXICO  
21937  
PROFESSIONAL ENGINEER  
5/31/24

PROJECT NO.: 7001.01

**MATKINHOOPER**  
ENGINEERING  
& SURVEYING  
8 SPENCER ROAD SUITE 100  
BIENHE, TEXAS 76009  
CONTACT: JMATKINHOOPER.COM

STATE REGISTERED ENGINEER  
LICENSE NUMBER: 21937  
P-004876 SURVEYING STATE P-008400

**QuikTrip No. 7001**  
521 UNSER BLVD. NW  
ALBUQUERQUE, NEW MEXICO

**QT**

© COPYRIGHT QUIKTRIP CORPORATION 2011  
ANY UNAUTHORIZED USE, REPRODUCTION,  
PUBLICATION, DISTRIBUTION, OR SALE IN  
WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE:	P-116 (12/01/23)
DIVISION:	
VERSION:	001
DESIGNED BY:	GSC
DRAWN BY:	MJM
REVIEWED BY:	CGW

REV	DATE	DESCRIPTION

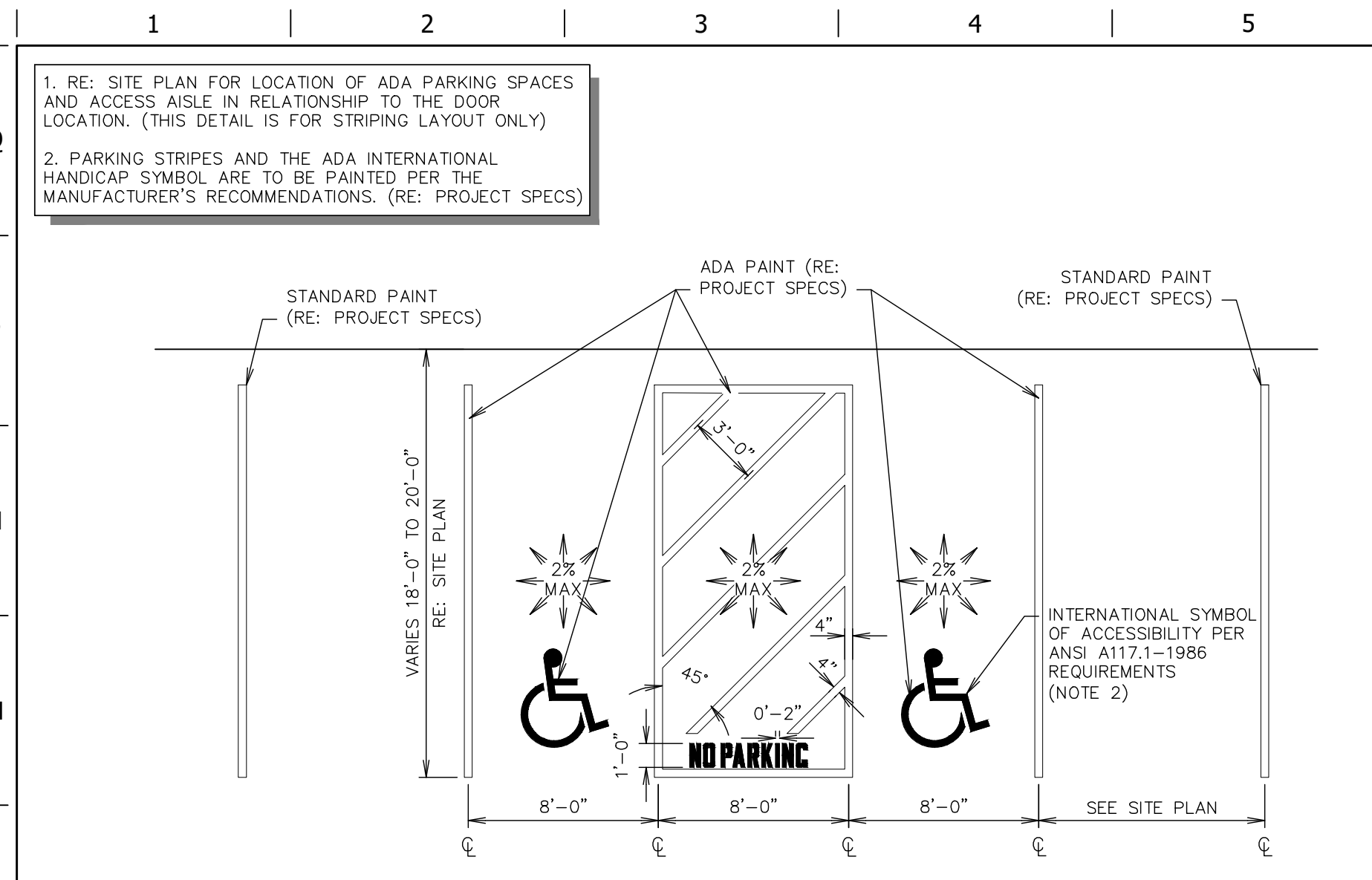
PRELIMINARY DESIGN, NOT FOR CONSTRUCTION

SHEET TITLE:  
SOLID WASTE  
MANAGEMENT PLAN -  
1"=40' SCALE

SHEET NUMBER:  
**C160**  
16 OF 25

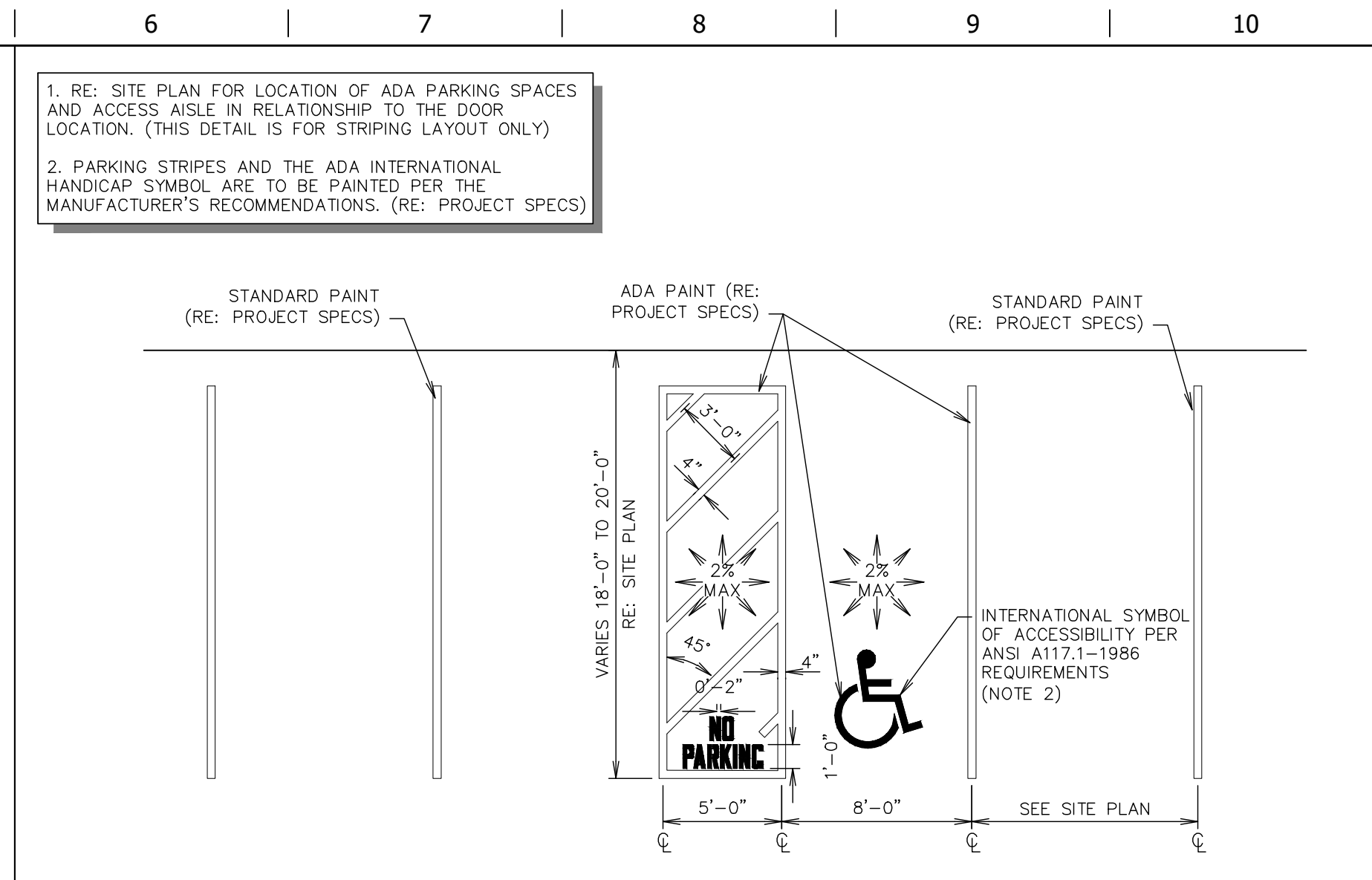
ORIGINAL ISSUE DATE: 04.19.24





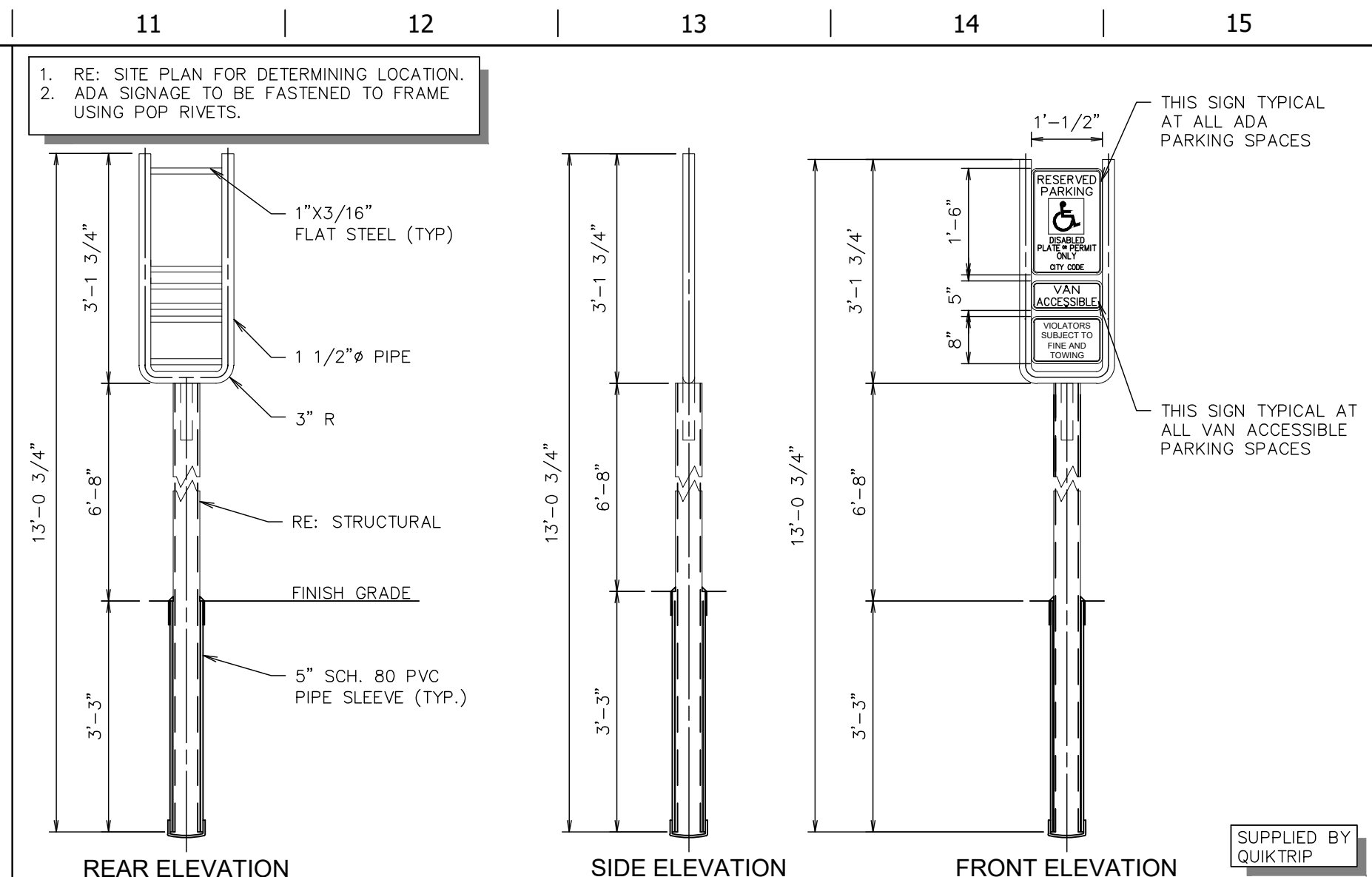
**L1** DOUBLE STALL ADA PARKING STRIPING DETAIL

NTS SN: AD001D009



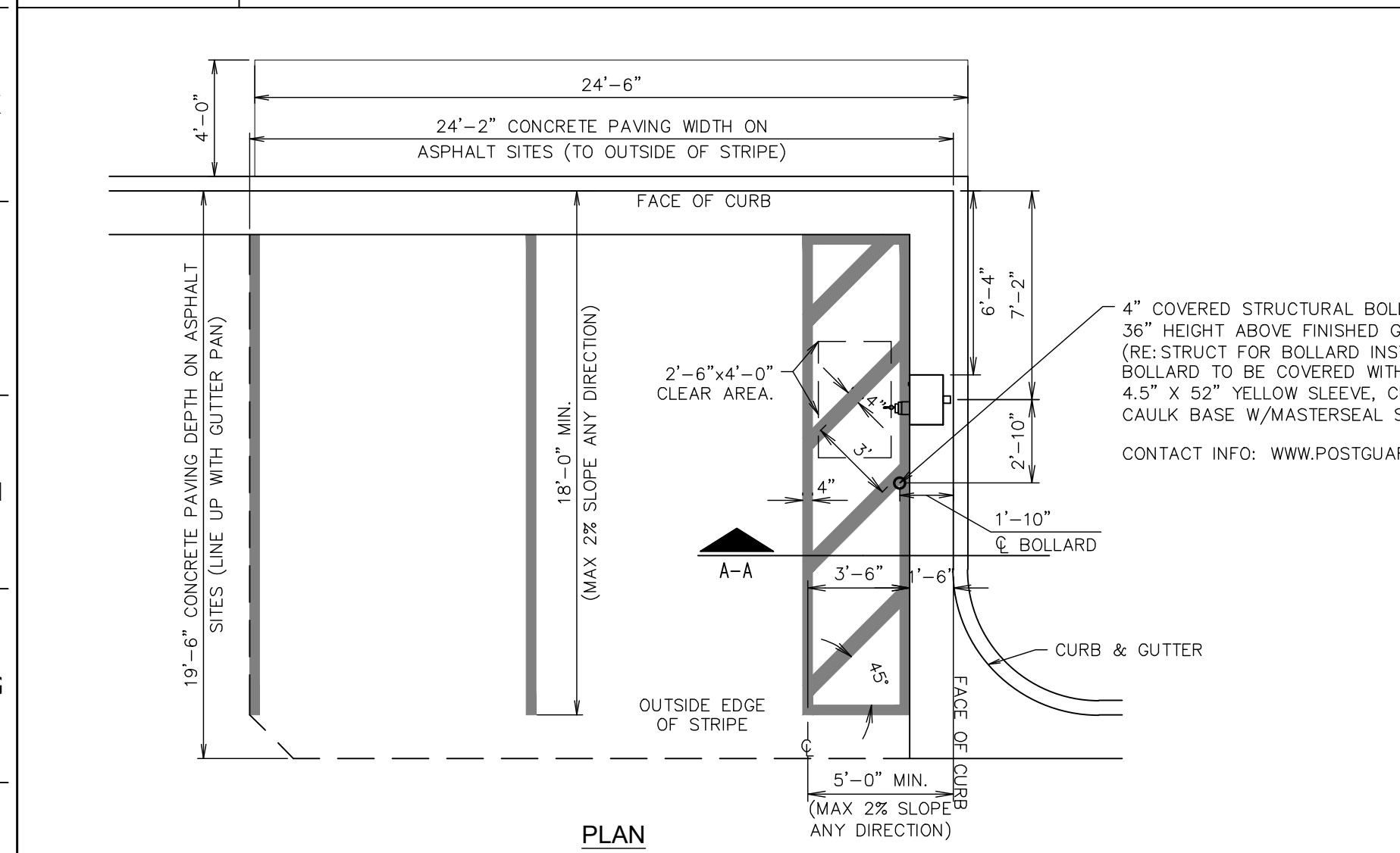
**L6** SINGLE STALL ADA PARKING STRIPING DETAIL

NTS SN: AD002D009



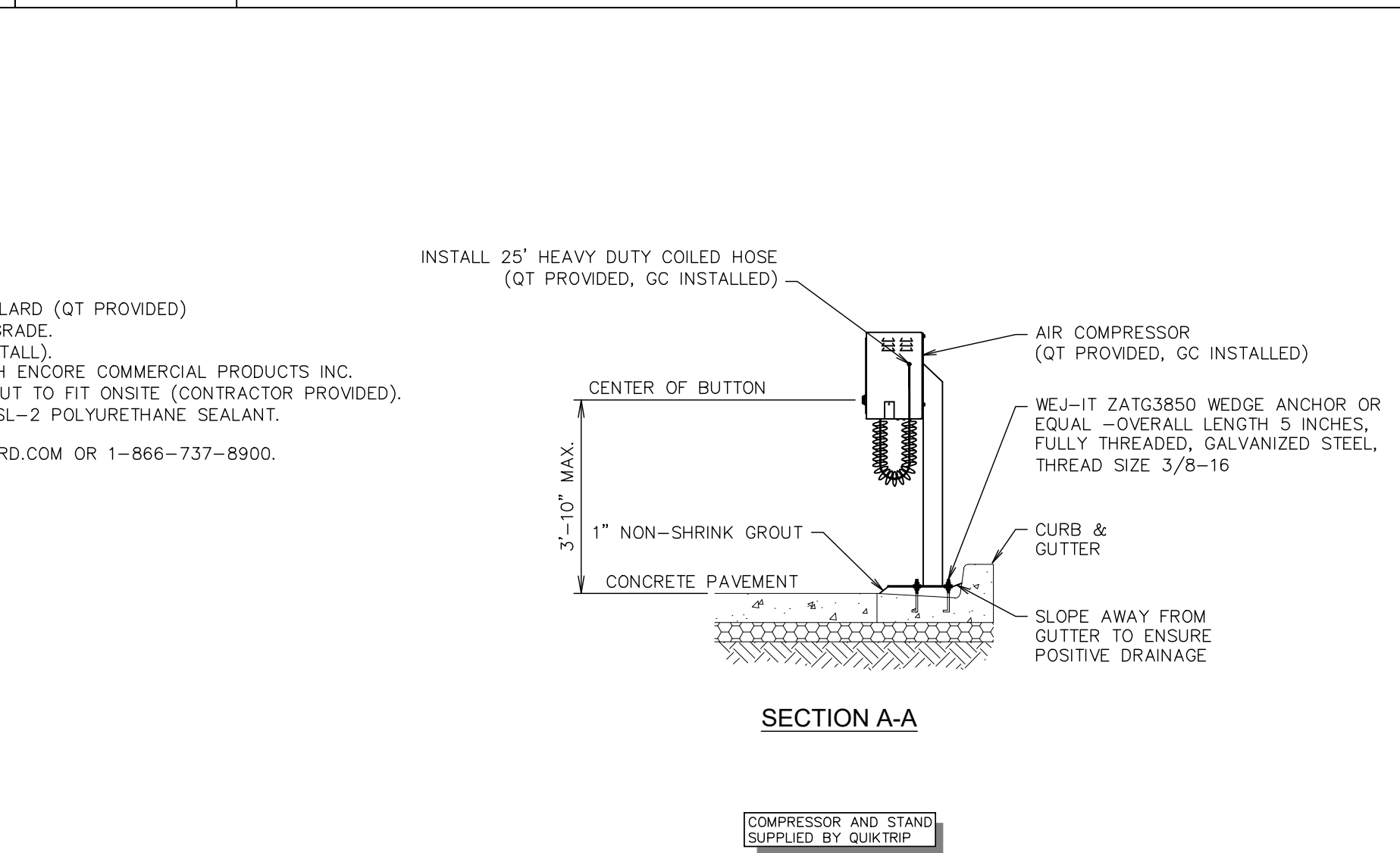
**L11** ADA SIGN IN BOLLARD

NTS SN: AD003D0011



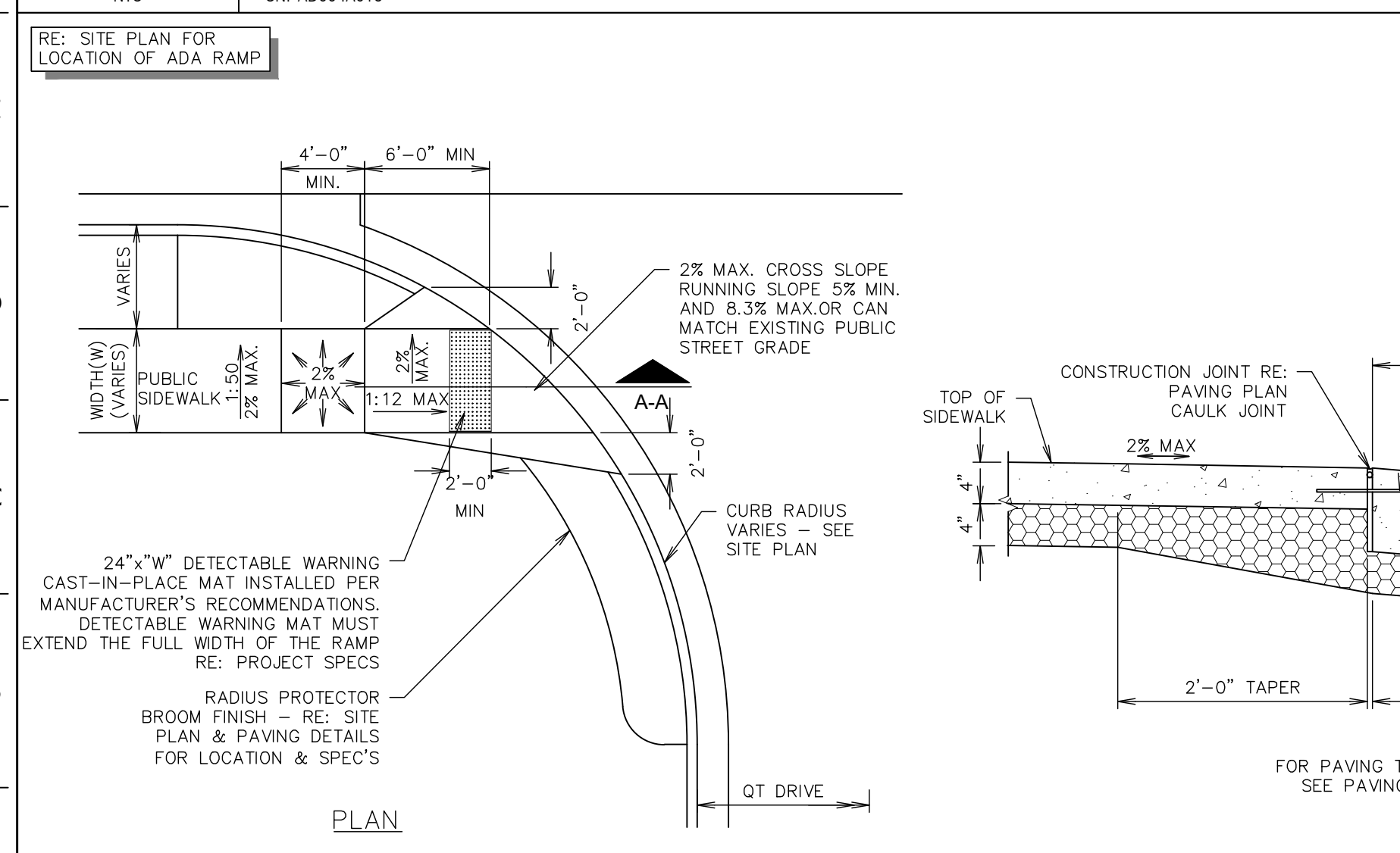
**F1** AIR SERVICE INSTALL PLAN (RIGHT HAND INSTALL)

NTS SN: AD004A018



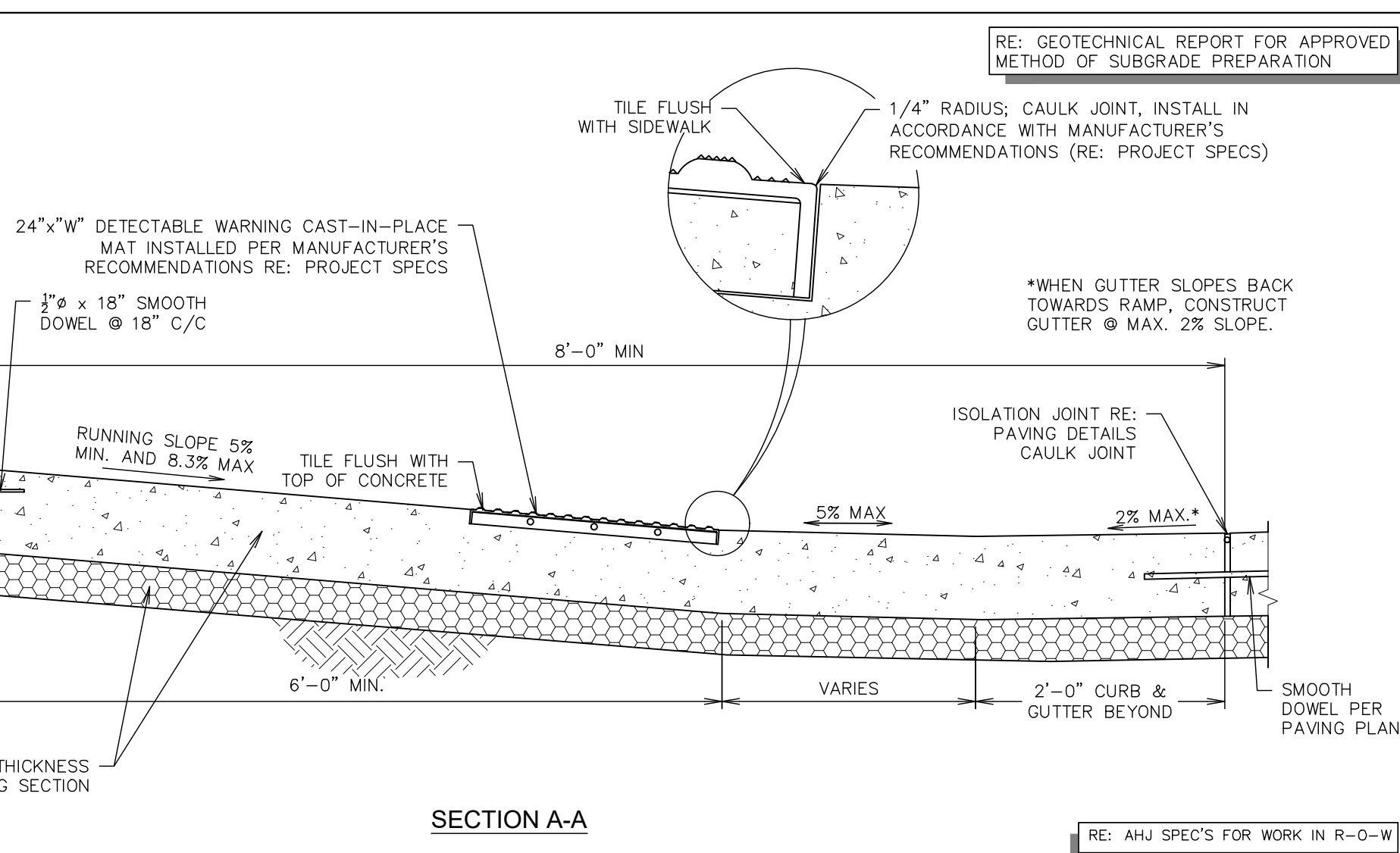
**F11** RAMP - CURB TRANSITION PAINTING DETAIL

NTS SN: AD015A002



**A1** ADA ACCESS RAMP AT DRIVE

NTS SN: AD006A014



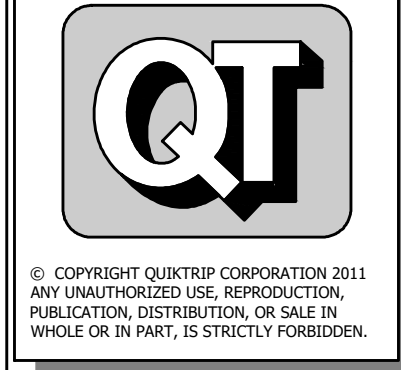
**A11** BICYCLE PARKING RACK - PLAN

NTS SN:



PROJECT NO.: 7970.01  
**MATKINHOOPER**  
 ENGINEERING & SURVEYING  
 8 SPENCER ROAD SUITE 103  
 BUBINE, TEXAS 75006  
 CONTACT: @MATKINHOOPER.COM  
 TEXAS REGISTERED ENGINEERING FIRM  
 LICENSE NO. 114592-0000000000

**QuikTrip No. 7970**  
 NWC CANE ISLAND PKWY & KINGSLAND BLVD  
 KATY, TEXAS



PROTOTYPE: P-118 (5/14/24)  
 DIVISION: 89  
 VERSION: 001  
 DESIGNED BY: CW  
 DRAWN BY: CWR  
 REVIEWED BY: JJV

REV	DATE	DESCRIPTION

SHEET TITLE:  
 ADA DETAILS SHEET 1

SHEET NUMBER:  
 C510

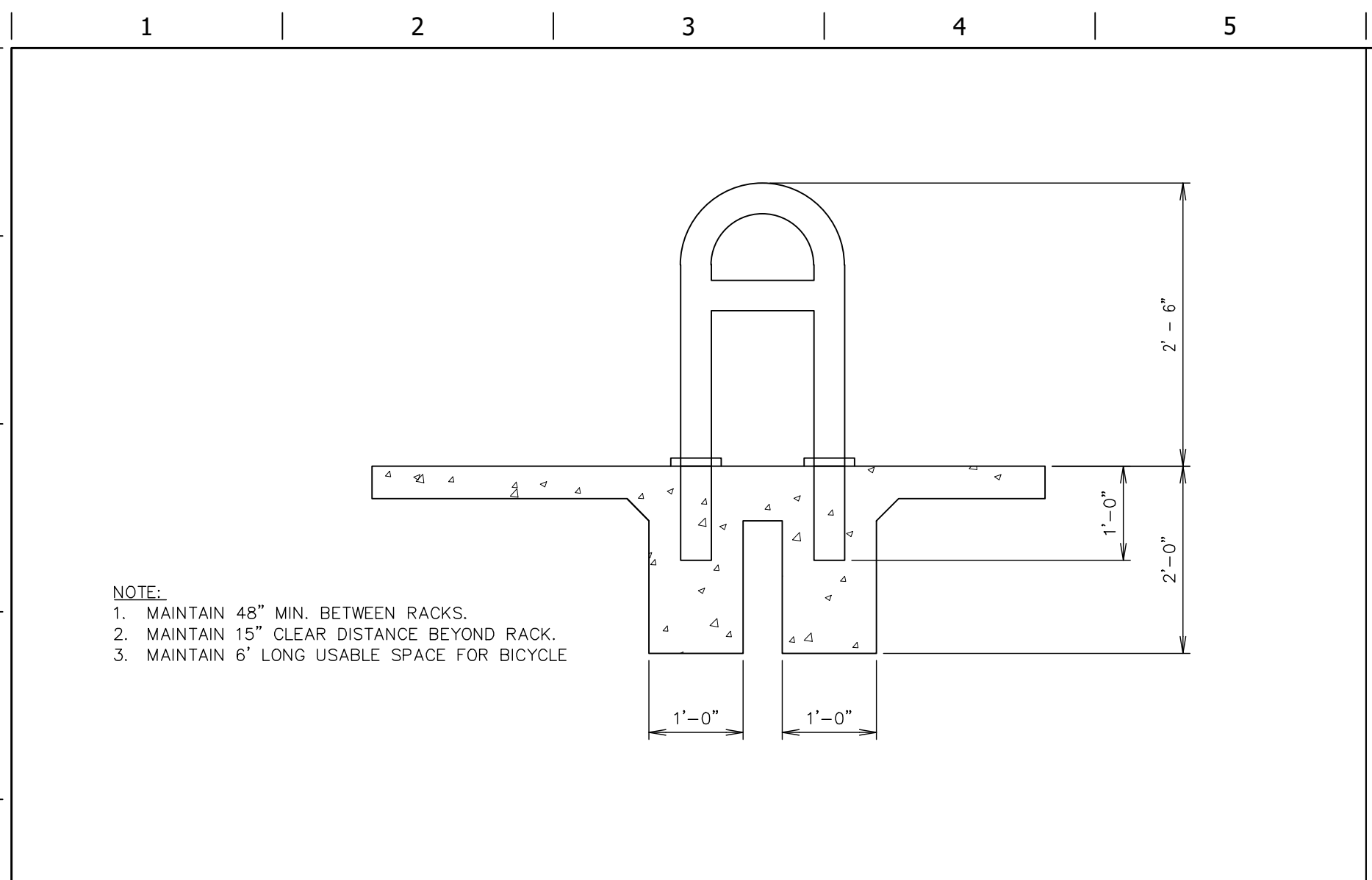
17 OF 25

ORIGINAL ISSUE DATE: 6/03/2024

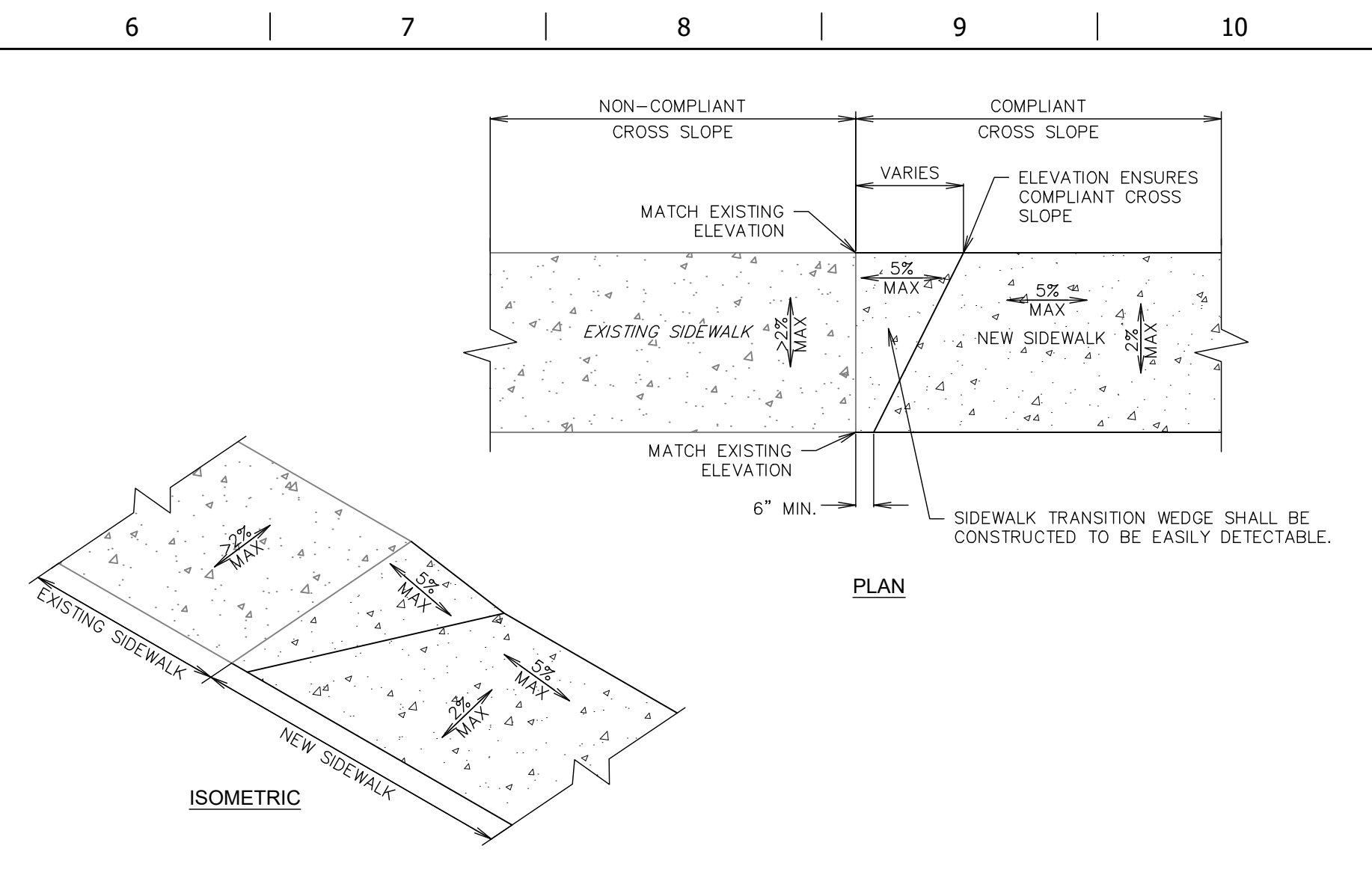
FILE LOCATION: z:\PROJECTS\QUIKTRIP\7001 - unscr & los volcomas - abbuquerque nm\CADetails\DETAILS ADA.dwg TAB NAME: ADA Detail Sheet 1 USER: gcook SAVED: 6/5/2024 3:15 PM PLOTTED: 6/5/2024 3:16 PM



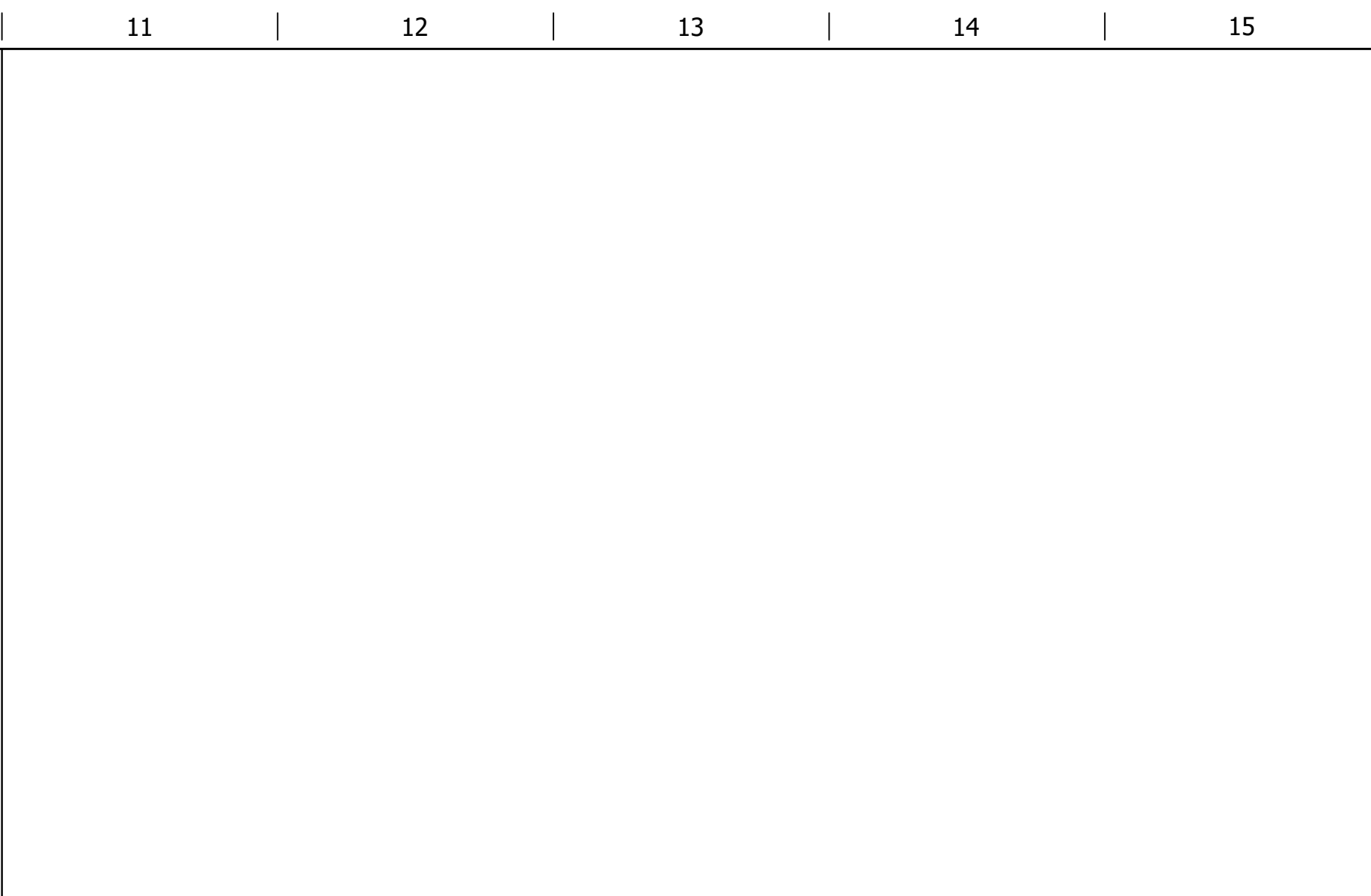
FILE LOCATION: z:\PROJECTS\QUICKTRIP\7001 - unscr & los volcanes - abbuquerque nm\CADetails\DETAILS\ADA.dwg TAB NAME: ADA Detail Sheet 2 USER: gbook SAVED: 6/5/2024 3:15 PM PLOTTED: 6/5/2024 3:16 PM



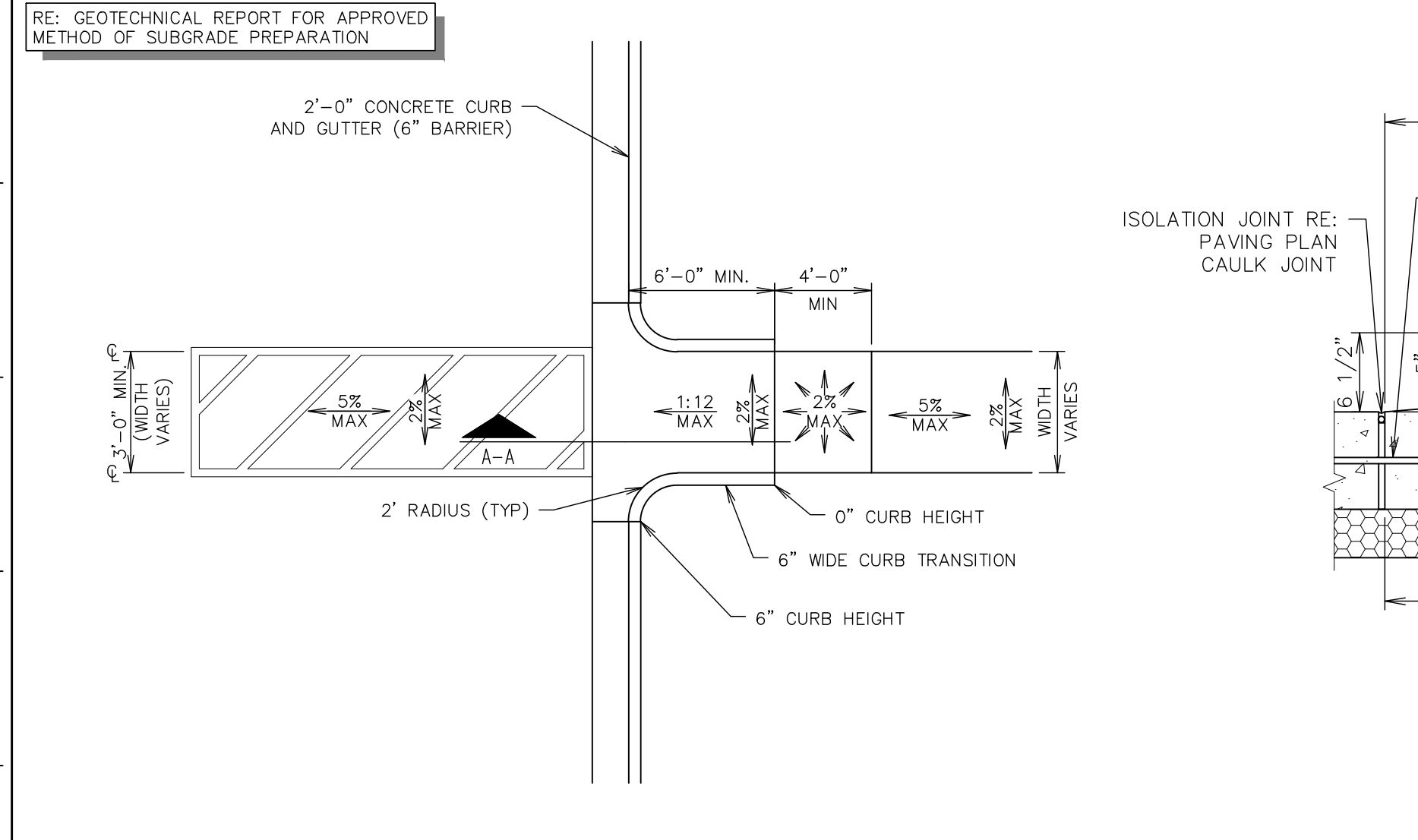
**L1** BICYCLE PARKING RACK - SECTION A-A  
NTS SN:



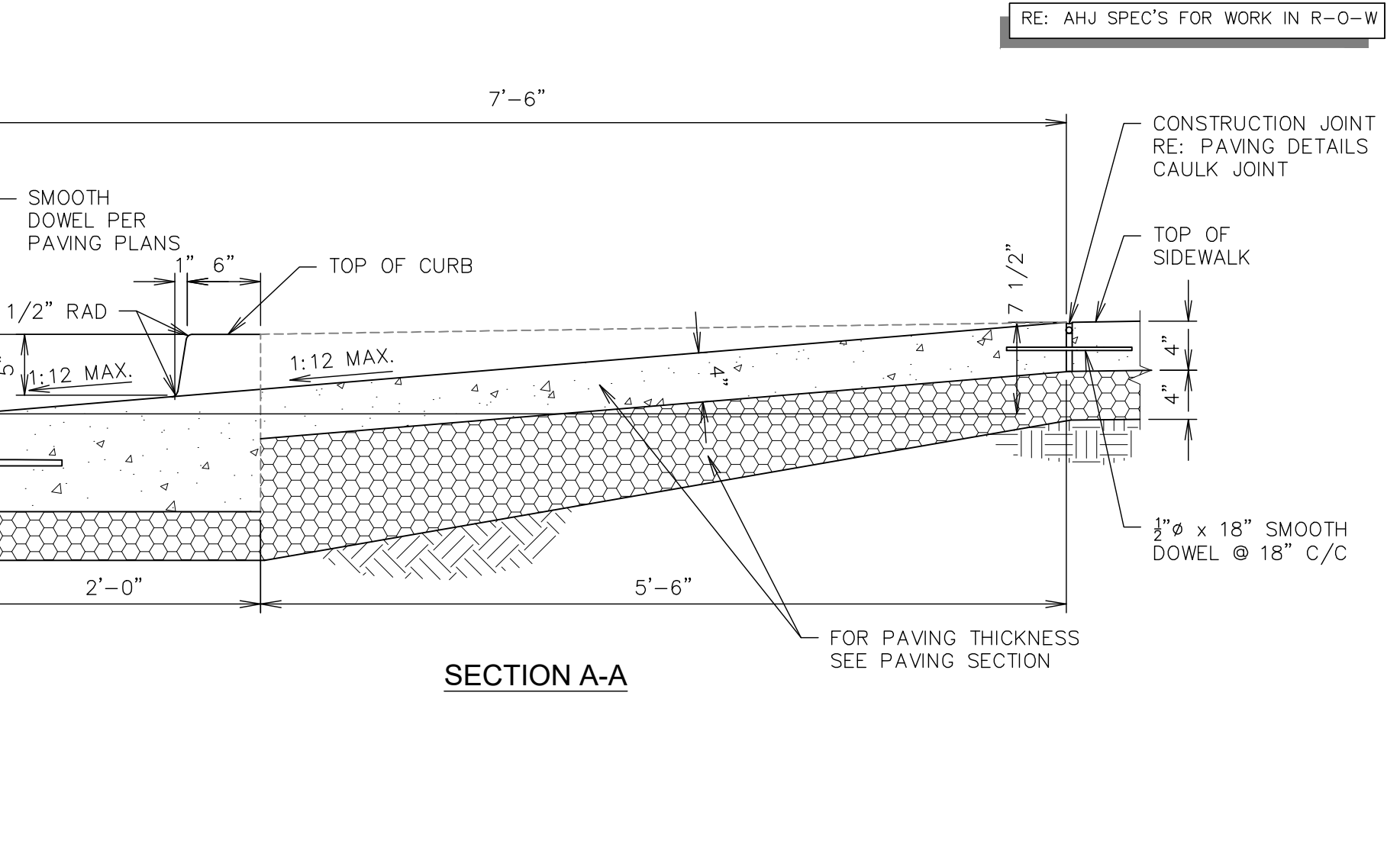
**L6** SIDEWALK TRANSITION WEDGE DETAIL  
NTS SN: AD013A002



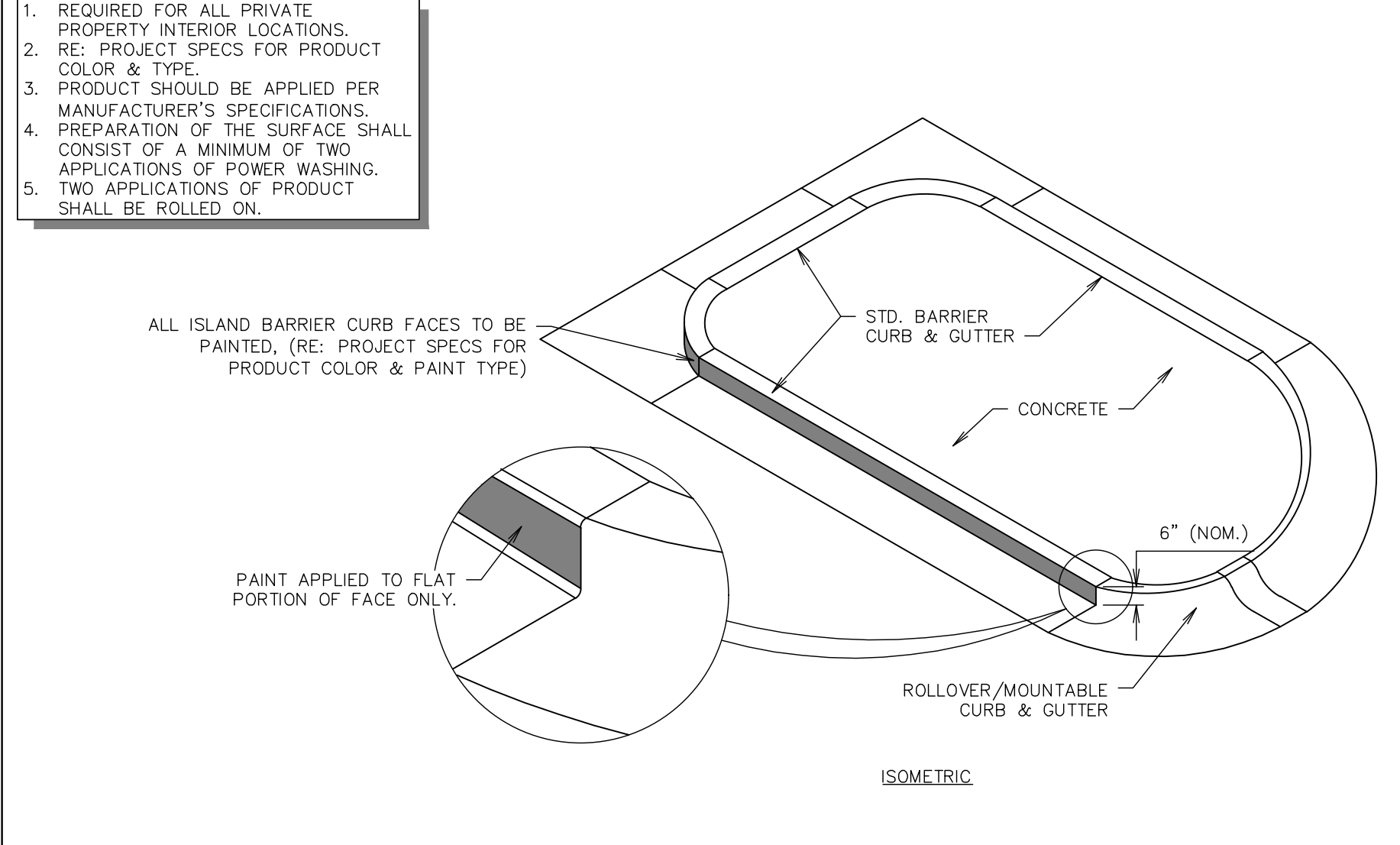
**L11** NOT USED  
NTS SN:



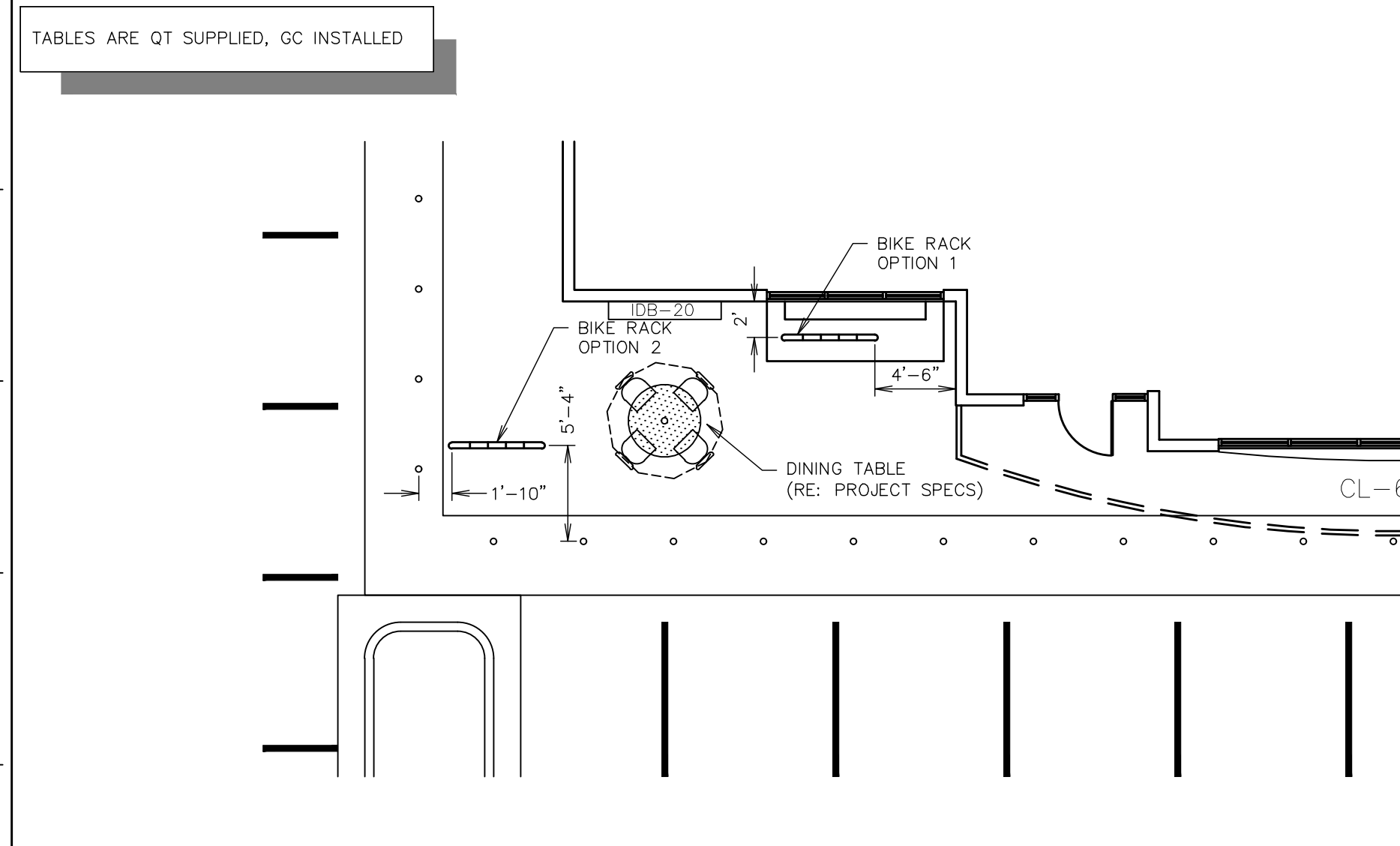
**F1** PARKING LOT CURB RAMP @ ADA CROSSING  
NTS SN: AD012A007



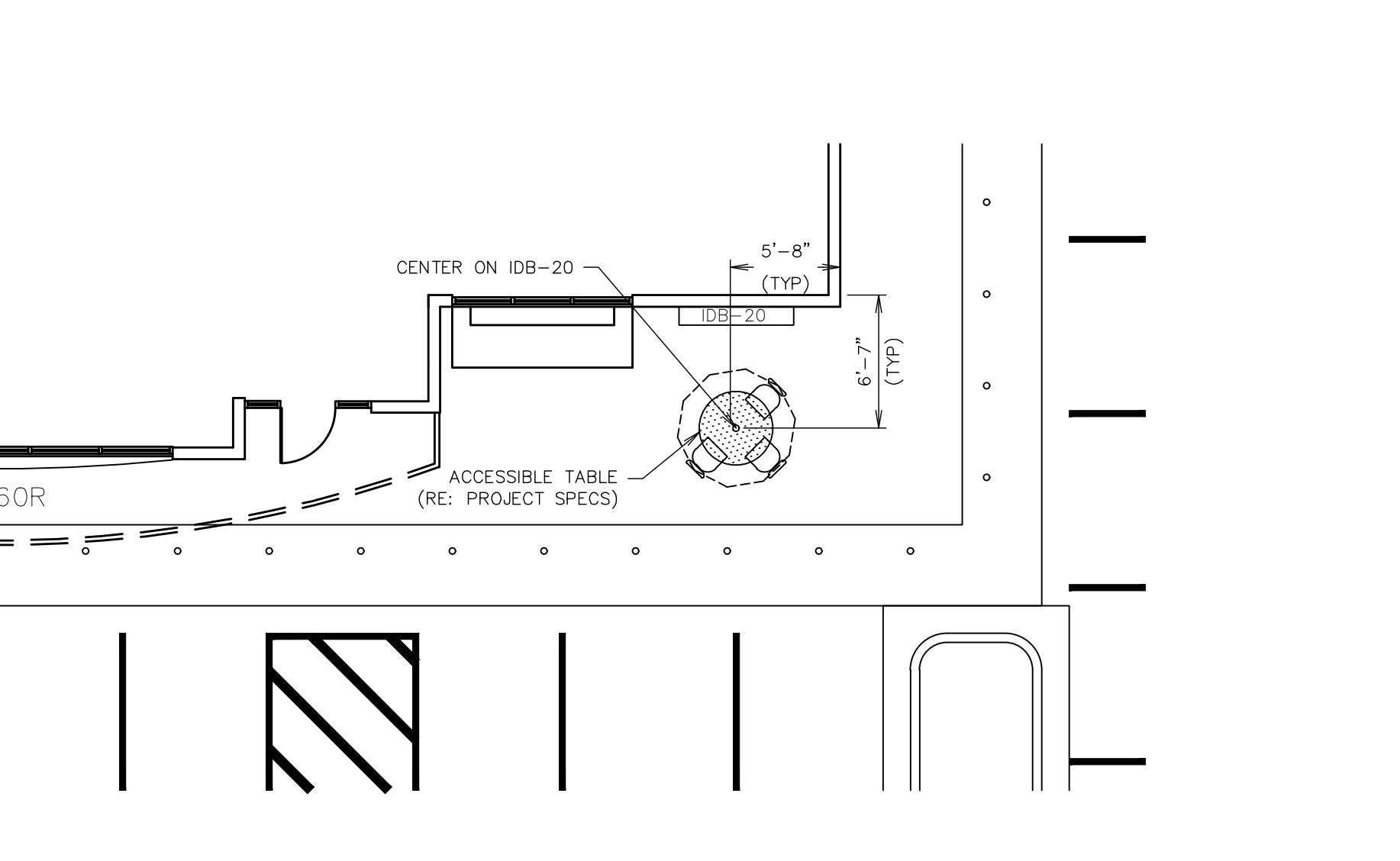
**SECTION A-A**  
FOR PAVING THICKNESS SEE PAVING SECTION



**F11** ISLAND - BARRIER CURB PAINTING DETAIL (NON-LANDSCAPED)  
NTS SN: AD016A001



**A1** OUTSIDE TABLE PLACEMENT  
NTS SN: SD024A004



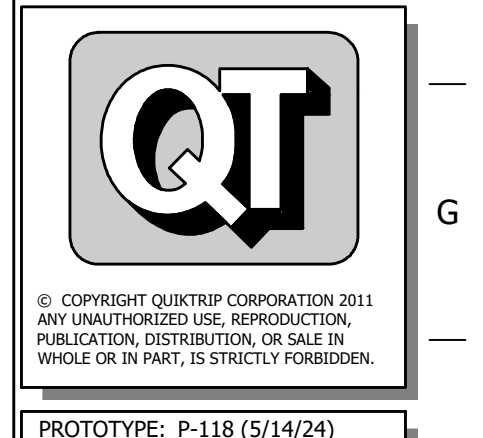
**A11** NOT USED  
NTS SN:

STATE OF TEXAS  
JOSHUA VALENTA  
114592  
LICENSED PROFESSIONAL ENGINEER  
6/1/2024

PROJECT NO.: 7970.01

**MATKINHOOPER**  
ENGINEERING & SURVEYING  
8 SPENCER ROAD, SUITE 103  
BUBINE, TEXAS 75006  
CONTACT: @MATKINHOOPER.COM  
TEXAS REGISTERED ENGINEERING FIRM #10069400

**QuikTrip No. 7970**  
NWC CANE ISLAND PKWY & KINGSLAND BLVD  
KATY, TEXAS



PROTOTYPE: P-118 (5/14/24)
DIVISION: 89
VERSION: 001
DESIGNED BY: CWR
DRAWN BY: CWR
REVIEWED BY: JJV

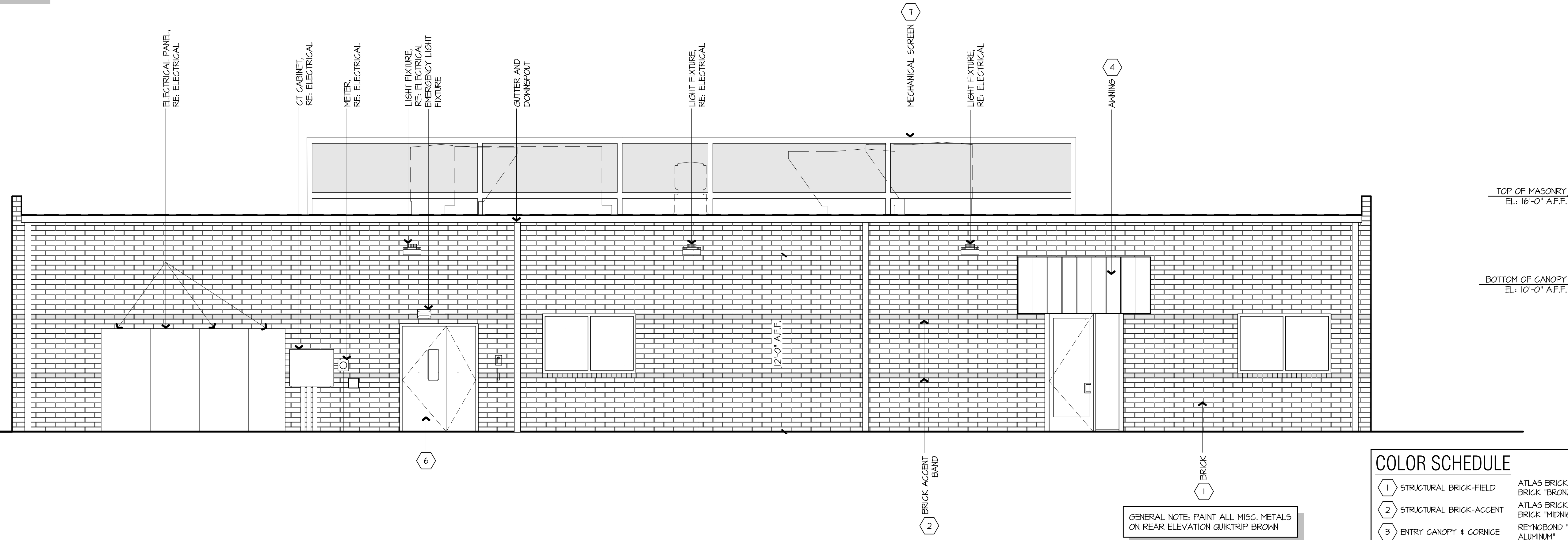
REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 6/03/2024

SHEET TITLE:  
ADA DETAILS SHEET 2

SHEET NUMBER:  
**C511**  
18 OF 25

GENERAL NOTE: ALL MECHANICAL EQUIPMENT SHALL BE EQUAL TO OR LOWER THAN ADJACENT BUILDING



TOP OF MASONRY  
EL: 16'-0" A.F.F.

BOTTOM OF CANOPY  
EL: 10'-0" A.F.F.

GENERAL NOTE: PAINT ALL MISC. METALS ON REAR ELEVATION QUIKTRIP BROWN

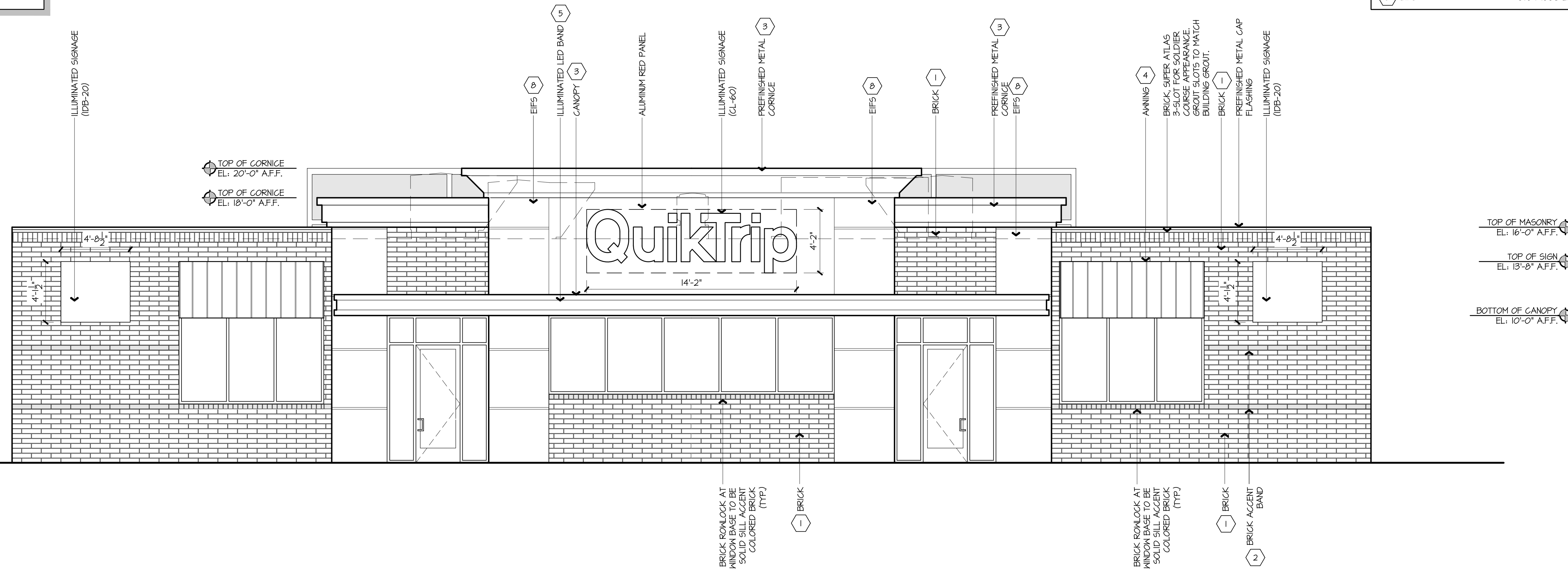
**COLOR SCHEDULE**

1	STRUCTURAL BRICK-FIELD	ATLAS BRICK - INTERSTATE BRICK "BRONZESTONE"
2	STRUCTURAL BRICK-ACCENT	ATLAS BRICK - INTERSTATE BRICK "MIDNIGHT"
3	ENTRY CANOPY & CORNICE	REYNOLDS "BRUSHED ALUMINUM"
4	WINDOW ANNING	LANE CANOPY - STRANDING SEAM ANNING "QT RED"
5	ILLUMINATED BAND	RED POLYCARBONATE
6	DOOR PAINT	"QT BROWN"
7	MECHANICAL SCREEN	POLYPRO 95 MESH "BLACK"
8	EIFS	STO A1006 EIFS "GRANITE"

**H1** SOUTHWEST ELEVATION

1/4" = 1'-0" A1-A101

GENERAL NOTE: ALL MECHANICAL EQUIPMENT SHALL BE EQUAL TO OR LOWER THAN ADJACENT BUILDING



TOP OF CORNICE  
EL: 20'-0" A.F.F.

TOP OF CORNICE  
EL: 18'-0" A.F.F.

TOP OF MASONRY  
EL: 16'-0" A.F.F.

TOP OF SIGN  
EL: 13'-8" A.F.F.

BOTTOM OF CANOPY  
EL: 10'-0" A.F.F.

BRICK R/ONLOCK AT WINDOW BASE TO BE SOLID SILL ACCENT COLORED BRICK (TYP)

BRICK R/ONLOCK AT WINDOW BASE TO BE SOLID SILL ACCENT COLORED BRICK (TYP)

**A1** NORTHEAST ELEVATION - UNSER BLVD NW

1/4" = 1'-0" A1-A101

PRELIMINARY  
NOT FOR CONSTRUCTION

DDF JOB #: 24.0011  
Registered Architect in:  
AZ, CO, FL, IL, MO, MT, NV, NM, OK, OR,  
TX, UT, WA, WI, WY  
Daniel D. Fluk, Architect  
1747 E. Warren Avenue, Suite 111  
Phoenix, Arizona, 85020  
O: 602-234-1868 / F: 602-234-1413

**QuikTrip No. 7001**  
521 UNSER BLVD NW  
ALBUQUERQUE, NM

**QT**

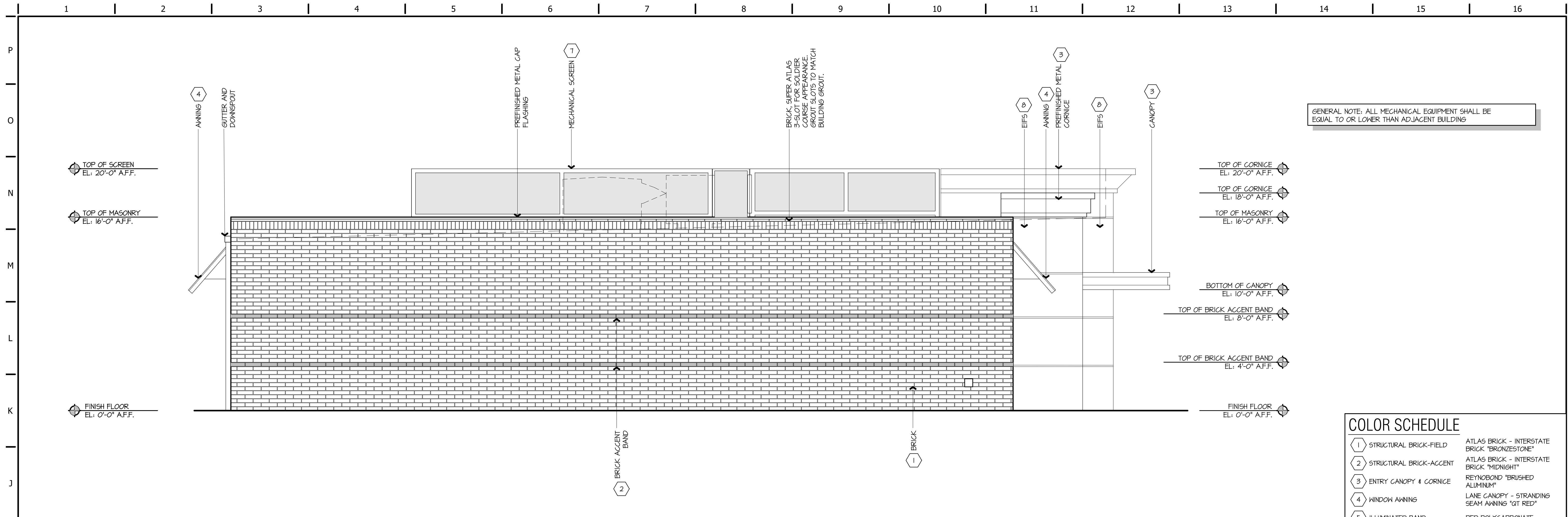
PROTOTYPE P-116  
DIVISION Division  
VERSION G3SE - F5  
DATE 11-01-2023

REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: xx/xx/2023

SHEET TITLE:  
EXTERIOR ELEVATIONS

SHEET NUMBER:  
**A201**



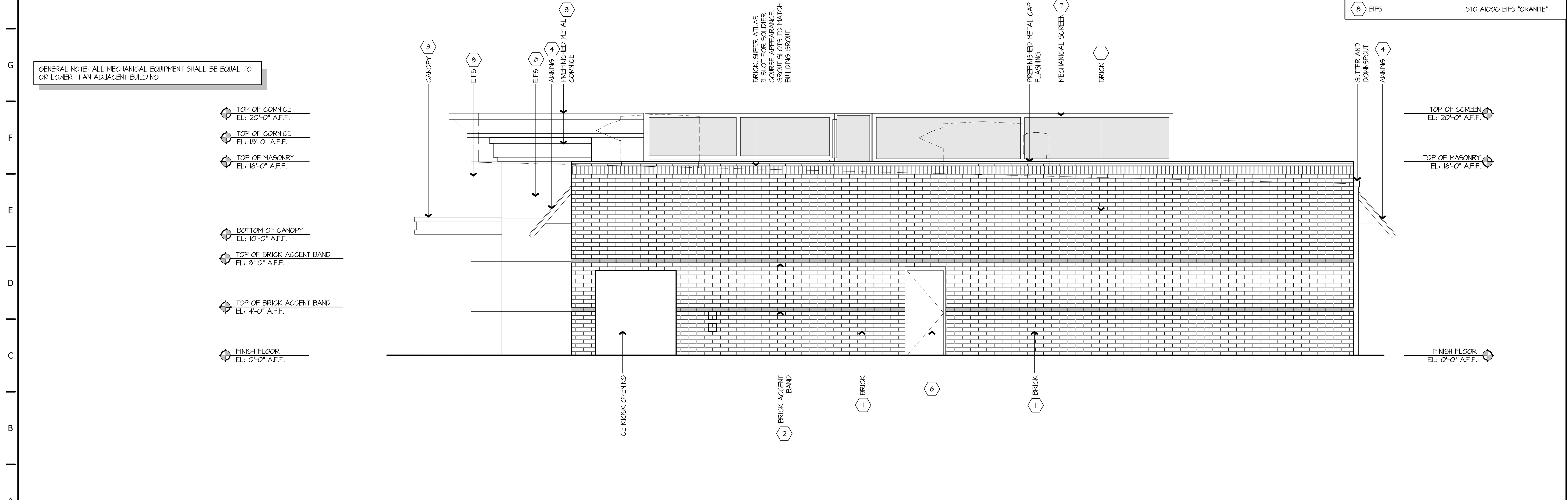
GENERAL NOTE: ALL MECHANICAL EQUIPMENT SHALL BE EQUAL TO OR LOWER THAN ADJACENT BUILDING

**COLOR SCHEDULE**

1	STRUCTURAL BRICK-FIELD	ATLAS BRICK - INTERSTATE BRICK "BRONZESTONE"
2	STRUCTURAL BRICK-ACCENT	ATLAS BRICK - INTERSTATE BRICK "MIDNIGHT"
3	ENTRY CANOPY & CORNICE	REYNOLDS "BRUSHED ALUMINUM"
4	WINDOW ANNING	LANE CANOPY - STRANDING SEAM ANNING "QT RED"
5	ILLUMINATED BAND	RED POLYCARBONATE
6	DOOR PAINT	"QT BROWN"
7	MECHANICAL SCREEN	POLYPRO 95 MESH "BLACK"
8	EIFS	STO A1006 EIFS "GRANITE"

**H1** SOUTHEAST ELEVATION

1/4" = 1'-0" A1-A101



GENERAL NOTE: ALL MECHANICAL EQUIPMENT SHALL BE EQUAL TO OR LOWER THAN ADJACENT BUILDING

**A1** NORTHEAST ELEVATION - LOS VOLCANES RD

1/4" = 1'-0" A1-A101

PRELIMINARY  
NOT FOR CONSTRUCTION

DDF JOB #: 24.0011

Registered Architect in:  
AZ, CO, FL, IL, MO, MT, NV, NM, OK, OR,  
TX, UT, WA, WI, WY

Daniel D. Fluk, Architect  
1747 E. Moren Avenue, Suite 111  
Phoenix, Arizona, 85020  
O: 602-234-1868 / F: 602-234-1413

**QuikTrip No. 7001**

521 UNSER BLVD NW  
ALBUQUERQUE, NM

PROTOTYPE P-116  
DIVISION Division  
VERSION G3SE - F5  
DATE 11-01-2023

REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: xx/xx/2023

SHEET TITLE:  
EXTERIOR ELEVATIONS

SHEET NUMBER:  
**A202**

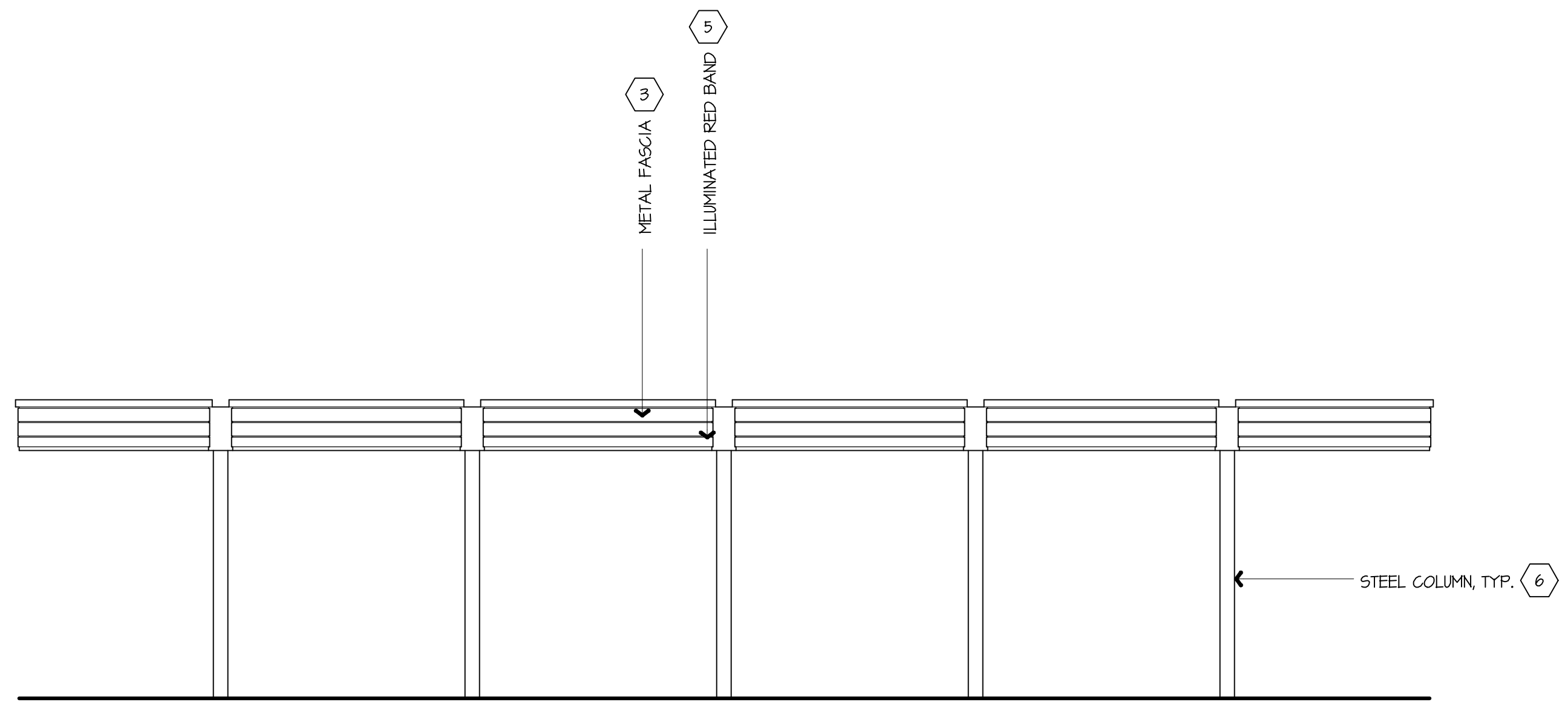
**COLOR SCHEDULE**

1	STRUCTURAL BRICK-FIELD	ATLAS BRICK - INTERSTATE BRICK "BRONZESTONE"
2	NOT USED	
3	CANOPY FASCIA	REYNOLDBOND "BRUSHED ALUMINUM"
4	NOT USED	
5	ILLUMINATED BAND	RED POLYCARBONATE
6	CANOPY COLUMN & DOOR PAINT	"GT BROWN"
7	TRASH ENCLOSURE GATES	POLYPRO 45 MESH "BLACK"
8	NOT USED	

PRELIMINARY  
NOT FOR CONSTRUCTION

DDF JOB #: 24.0011  
Registered Architect in:  
AZ, CO, FL, IL, MO, MT, NV, NM, OK, OR,  
TX, UT, WA, WI, WY  
Daniel D. Fluk, Architect  
1747 E. Moren Avenue, Suite 111  
Phoenix, Arizona, 85020  
O: 602-234-1868 / F: 602-234-1413

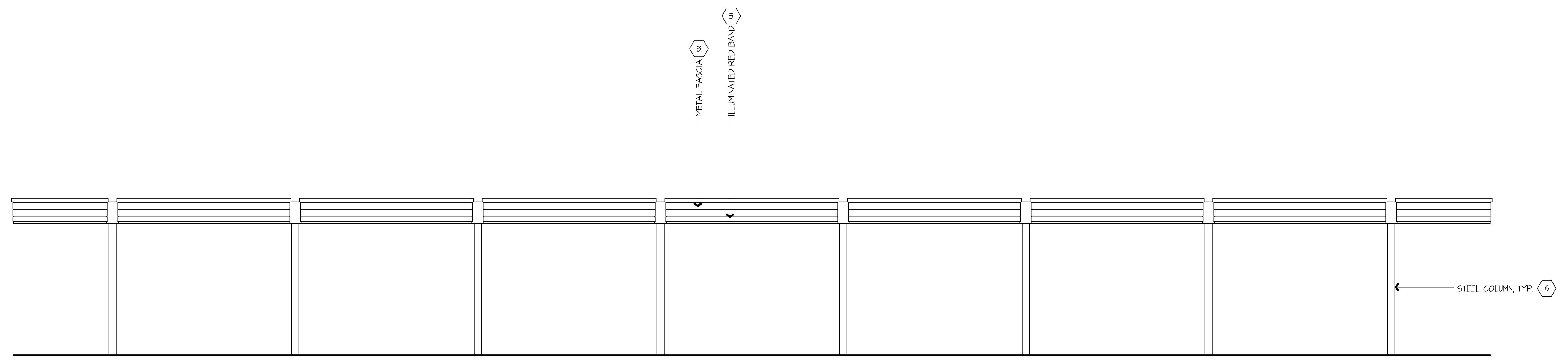
TOP OF CANOPY  
EL: 19'-6" MIN. / 24'-6" MAX.  
CANOPY CLEARANCE  
EL: 16'-0" MIN. / 21'-0" MAX.



**K1** 4 BAY DIESEL CANOPY ELEVATION - NORTHWEST ELEVATION

1/8" = 1'-0"

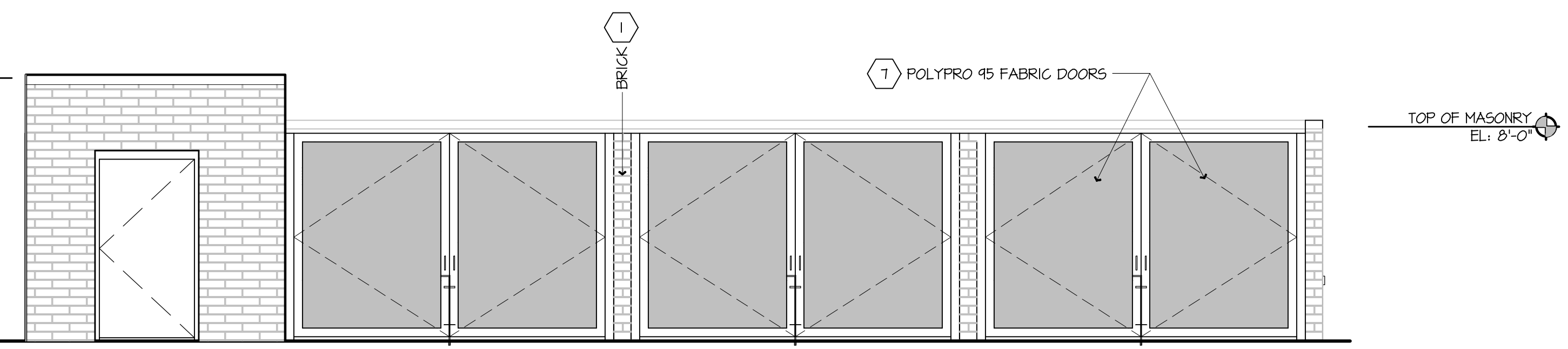
TOP OF CANOPY  
EL: 20'-6" MIN. / 22'-6" MAX.  
CANOPY CLEARANCE  
EL: 17'-0" MIN. / 19'-0" MAX.



**E1** VERTICAL 8 GAS CANOPY ELEVATION - NORTHEAST ELEVATION - UNSER BLVD

1/8" = 1'-0"

TOP OF MASONRY  
EL: 10'-0"



**A1** TRASH ENCLOSURE ELEVATION - NORTHEAST ELEVATION

1/8" = 1'-0"

**QuikTrip No. 7001**  
521 UNSER BLVD NW  
ALBUQUERQUE, NM



© QUIKTRIP CORPORATION 2011  
ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED AND NOT FOR DISTRIBUTION OUTSIDE THE QUIKTRIP CORPORATION.

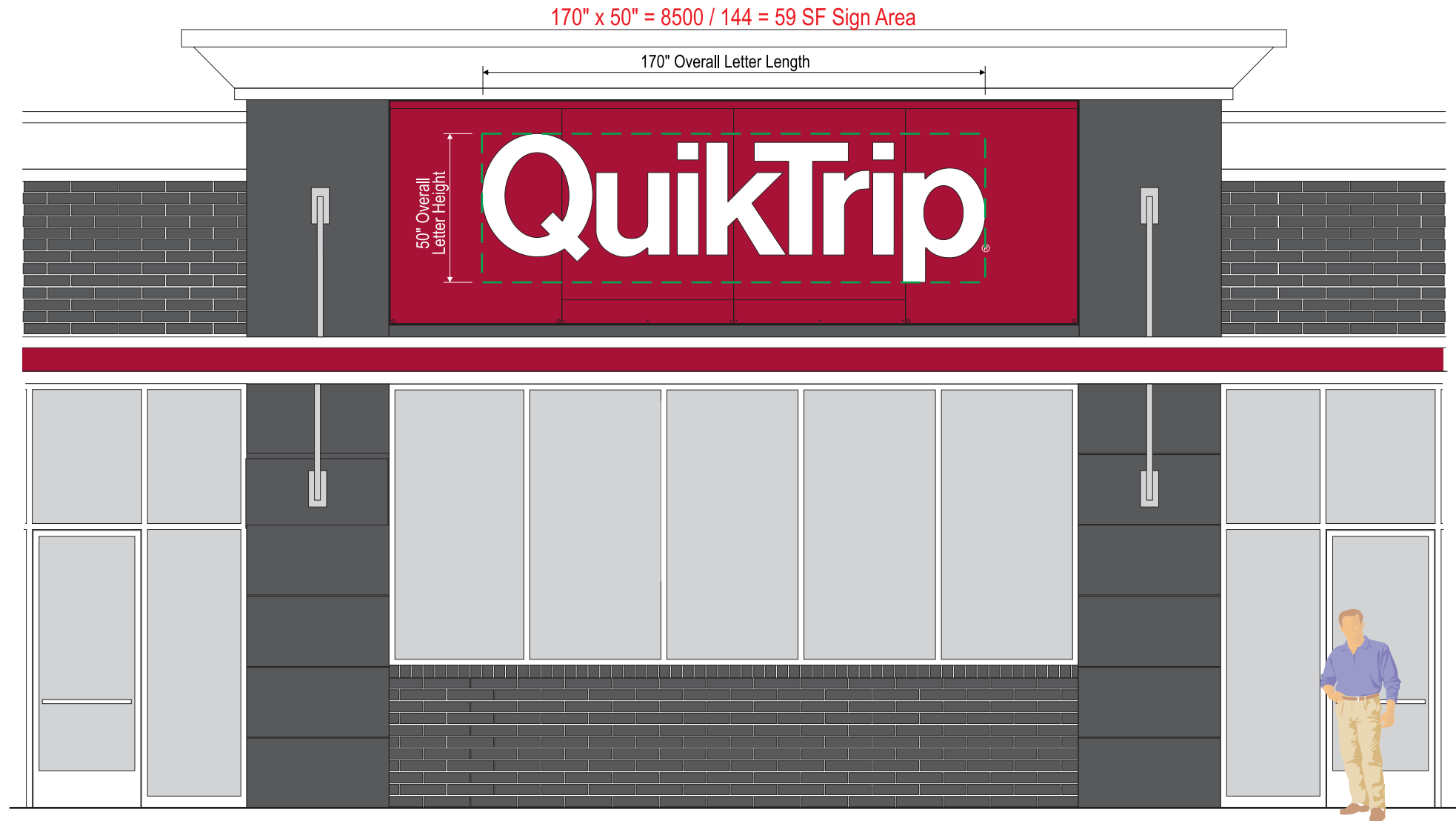
PROTOTYPE	P-116
DIVISION	Division
VERSION	G3SE - F5
DATE	11-01-2023

REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: xx/xx/2023

SHEET TITLE:  
GAS CANOPY  
COORDINATION  
ELEVATIONS

SHEET NUMBER:  
**N201**



**Front View - Sign Type CL-60F-LD - Flat Front Aluminum Wall Sign**  
**Projected Channel Letters with White LED Illuminated LD Poly Faces & Red LED Halo**  
 Scale 1/4" = 1'-0"



**Client Review Status**

Allen Industries, Inc. requires that an  **Approved** drawing be obtained from the client prior to any production release or production release revision.  
 **Approved**    **Approved as Noted**    **Revise & Resubmit**

Name \_\_\_\_\_  
 Title \_\_\_\_\_ Date \_\_\_\_\_

**Declaration**

The Drawing / Design illustrated is the property of **QuikTrip Corporation and Allen Industries, Inc.** The production, copying, or use hereof is prohibited without written consent. Any infringement will be subject to legal action.

**Date / Description**

03/18/19 Issue Date  
 03/19/19 Rev. 1

**Project Information**

Client **QuikTrip Corporation - Gen III Exterior Sign Program**  
 Item **QT-CL60F-LD**

File **QT CL-60R-LD**  
 Sales **Tom Allen** Design **CT** PM **James Gentry**



Corporate Signage Division  
 6434 Burnt Poplar Road, Greensboro, NC 27409  
 Phone 800-967-2553 Fax 336-668-7875

*Because Image Is Everything™*



## IDB-20 20 SF Building ID Sign

- Flat Bowed Face Panel and 3/4" Wide Face Retainers
- 19.42 Square Feet Sign Area



Item #QT-IDB-20

### Project Information

Client  
**QuikTrip**

Location  
**Various**

File  
**QT-IDB-20\_100**

Sales	Design	Project Manager
<b>House</b>	<b>CT</b>	<b>James Gentry</b>

### Date / Description

Date	Description	Initial
04/07/20	Issue Date	

### Notes

### Client Review Status

Allen Industries, Inc. requires that an  "Approved" drawing be obtained from the client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

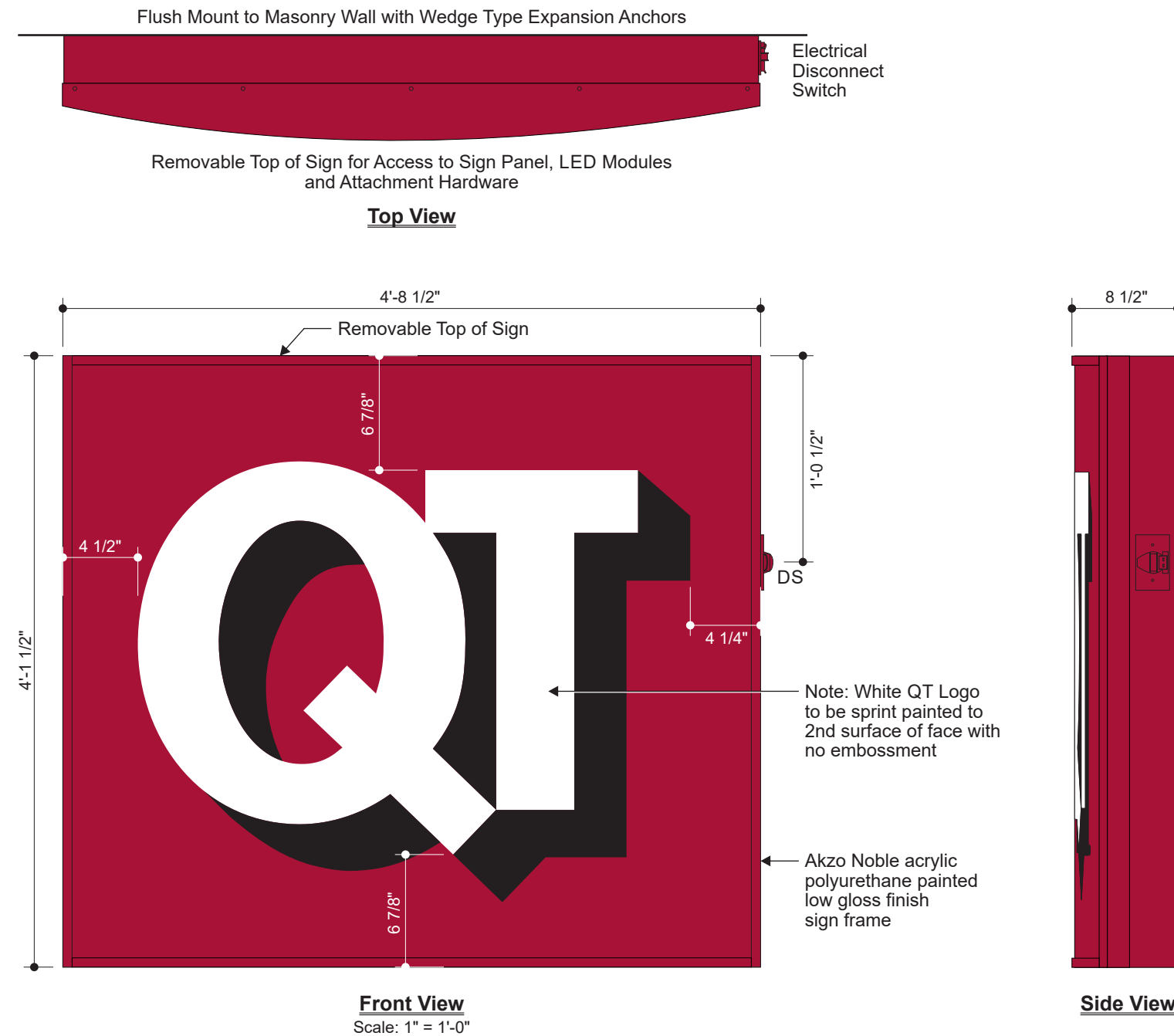
Name \_\_\_\_\_

Title \_\_\_\_\_ Date \_\_\_\_\_

### Declaration

Copyright © 2020 Allen Industries, Inc.

This is an original, unpublished drawing, created by Allen Industries, Inc. This drawing is submitted to you in confidence for your use solely in connection with the project being planned for you by Allen Industries, Inc. and is not to be shown to anyone outside your organization, nor used, reproduced, copied or exhibited in any fashion whatsoever. The designs shown on the drawing (except for any registered trademarks that may belong to a client of Allen Industries, Inc.) remain the property of Allen Industries, Inc.



### Color Specifications

All Paint Finishes to be Akzo Nobel

- Opaque Silver
- Translucent White
- Black - Low Gloss
- Matte White (Interior of Sign)
- Match 3M Cardinal Red #3632-53
- Match PMS 349C

### Regarding Fabrication Fit & Finish of All QT Signs:

- Visible fabrication seams and welded joints are to be sanded smooth, filled and finished to QT specifications.
- Any visible fasteners are to be countersunk and have painted heads.
- Face retainers must fit flush and have even, minimal seams.
- Any variation from this directive must be brought to the attention of the QT Quality Control Manager without delay.

<p>FILE NUMBER: E212503</p>	<p>Listed Electric Sign Complies with UL48 CSA C22.2 No. 207 A1 017510</p>	<p>GROUNDING AND BONDING OF THE SIGN.</p>
	<p>THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.</p>	

**Allen Industries**  
YOUR BRAND AT ITS BEST™

**1-800-967-2553**  
[www.allenindustries.com](http://www.allenindustries.com)

# Construction Details



Item #QT-IDB-20

## Project Information

Client: QuikTrip  
 Location: Various

File: QT-IDB-20\_100

Sales: House      Design: CT      Project Manager: James Gentry

## Date / Description

Date	Description	Initial
04/07/20	Issue Date	
1		
2		
3		
4		
5		
6		
7		
8		
9		

## Notes

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

## Client Review Status

Allen Industries, Inc. requires that an "Approved" drawing be obtained from the client prior to any production release or production release revision.

Approved   
  Approved as Noted   
  Revise & Resubmit

Name \_\_\_\_\_

Title \_\_\_\_\_ Date \_\_\_\_\_

## Declaration

Copyright © 2020 Allen Industries, Inc.

This is an original, unpublished drawing, created by Allen Industries, Inc. This drawing is submitted to you in confidence for your use solely in connection with the project being planned for you by Allen Industries, Inc. and is not to be shown to anyone outside your organization, nor used, reproduced, copied or exhibited in any fashion whatsoever. The designs shown on the drawing (except for any registered trademarks that may belong to a client of Allen Industries, Inc.) remain the property of Allen Industries, Inc.

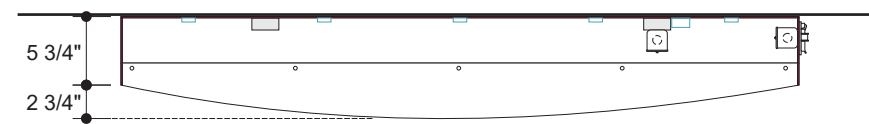
**Allen Industries**  
 YOUR BRAND AT ITS BEST™  
**1-800-967-2553**  
[www.allenindustries.com](http://www.allenindustries.com)

## LED Specification

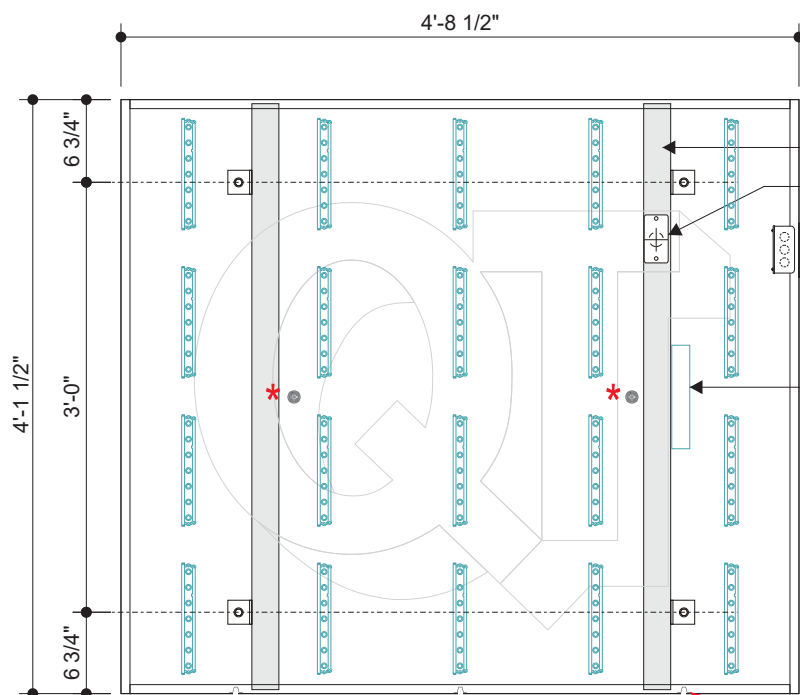
- E** 20 ea. GESS2471-2
- 1 ea. GEPS24-100U-NA
- Total Electrical Amp Load = 1.1 Amps
- One (1) 120 Volt - 20 Amp
- Circuit Breaker Required for Sign



**LED DETAIL**  
 #GESS2471-2 24 VOLT SINGLE SIDED  
 LED Internal Illumination powered by  
 GE Power Supply #GEPS24-100U-NA  
 120-277 VAC 50/60 HZ  
 Input Current 1.1 Amp  
 Output Current 4.0 Amps Single Output  
 Note: 36 Module Max. Load per Power Supply

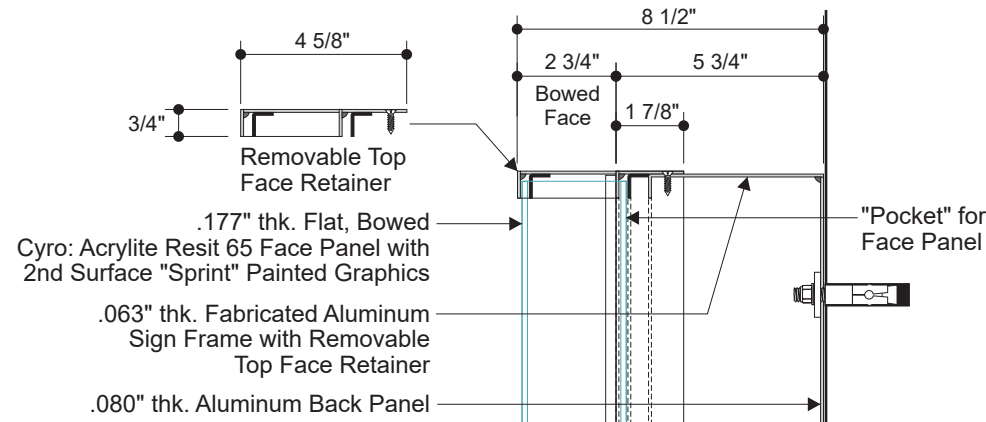


Top View

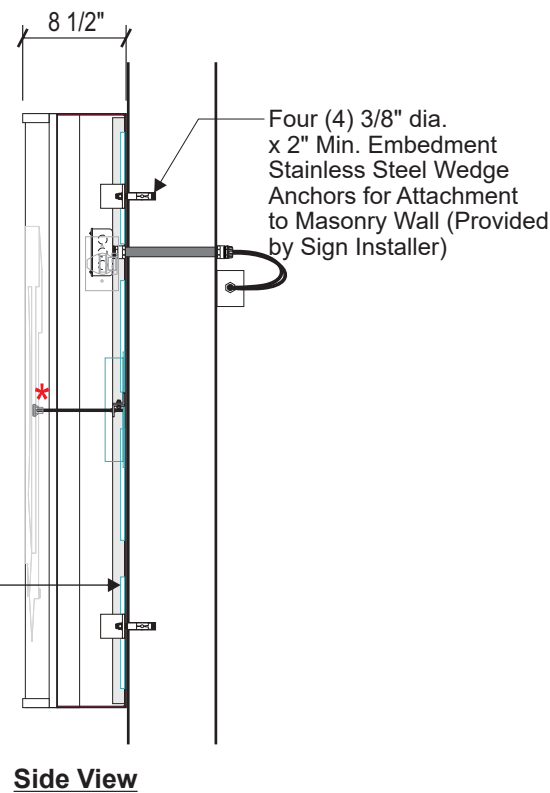


Front View  
 Scale: 3/4" = 1'-0"

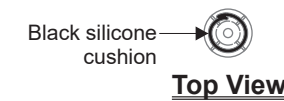
1/4" dia. Water Drain Holes with .040" Fab. Aluminum Light Baffle



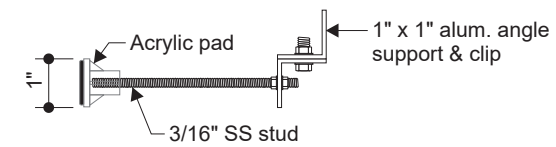
Side Section View  
 Scale: 3/16" = 1"



Side View



Top View



\* Face Support Bumpers  
 Scale: NTS

1" dia. perforated acrylic pad with applied black silicone adhesive cushion and 3/16" dia. SS stud, attached to vertical rails

Acrylic face bumpers to be installed in the Black drop shadow area of the QT Logo.

### Regarding Fabrication Fit & Finish of All QT Signs:

- Visible fabrication seams and welded joints are to be sanded smooth, filled and finished to QT specifications.
- Any visible fasteners are to be countersunk and have painted heads.
- Face retainers must fit flush and have even, minimal seams.
- Any variation from this directive must be brought to the attention of the QT Quality Control Manager without delay.

**Allen Industries**  
 FILE NUMBER: E212503

Listed Electric Sign Complies with  
 UL48  
 CSA C22.2 No. 207  
 MET E212503 A11 017510

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

**GROUNDING ELECTRICAL CONNECTIONS**

## Installation Detail



Item #QT-IDB-20

### Project Information

Client  
**QuikTrip**  
Location  
**Various**

File  
**QT-IDB-20\_100**

Sales <b>House</b>	Design <b>CT</b>	Project Manager <b>James Gentry</b>
-----------------------	---------------------	--

### Date / Description

Date	Issue Date	Initial
04/07/20		
1		
2		
3		
4		
5		
6		
7		
8		
9		

### Notes

### Client Review Status

Allen Industries, Inc. requires that an "Approved" drawing be obtained from the client prior to any production release or production release revision.

Approved
  Approved as Noted
  Revise & Resubmit

Name \_\_\_\_\_

Title \_\_\_\_\_ Date \_\_\_\_\_

### Declaration

#### Copyright © 2020 Allen Industries, Inc.

This is an original, unpublished drawing, created by Allen Industries, Inc. This drawing is submitted to you in confidence for your use solely in connection with the project being planned for you by Allen Industries, Inc. and is not to be shown to anyone outside your organization, nor used, reproduced, copied or exhibited in any fashion whatsoever. The designs shown on the drawing (except for any registered trademarks that may belong to a client of Allen Industries, Inc.) remain the property of Allen Industries, Inc.



**Building Elevation**  
Scale: NTS

#### Regarding Fabrication Fit & Finish of All QT Signs:

- Visible fabrication seams and welded joints are to be sanded smooth, filled and finished to QT specifications.
- Any visible fasteners are to be countersunk and have painted heads.
- Face retainers must fit flush and have even, minimal seams.
- Any variation from this directive must be brought to the attention of the QT Quality Control Manager without delay.

<b>Allen Industries</b> FILE NUMBER: E212503	Listed Electric Sign Complies with UL48 CSA C22.2 No. 207 A11 017510 E212503	
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.		

**Allen Industries**  
YOUR BRAND AT ITS BEST™  
**1-800-967-2553**  
**www.allenindustries.com**

























Ashley DISTRIBUTION CENTER

Make Your Home a Masterpiece.

AMSCO









Make Your Home  
a Masterpiece.

AMSCO  
WINDOWS

LONGHORN

5





LONGUS

5







LAND FOR SALE  
got space  
John Halverson  
Commercial Realtor  
505.878.0001  
N SunVista  
1.5 ACRES



















































