### PROJECT NUMBER: PR-2024-011242

Application Number: SI-2025-00079

**Is an Infrastructure List required?** (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

#### DFT SITE DEVELOPMENT PLAN APPROVAL:

Ernest armijer	Jun 23, 2025
Traffic Engineering, Transportation Division	Date
Die Gul	Jun 27, 2025
ABCWUA	Date
thilling, Biles	Jun 20, 2025
Parks and Recreation Department	Date
Theque Che	Jun 20, 2025
Hydrology	Date
Jeff Pathel, Jun 20, 2025 13:48 MDT)	Jun 20, 2025
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Jay Rodenbeck	Jun 20, 2025
Planning Department	Date

\*Environmental Health, if necessary



13/2025



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LEGEND			
SYMBOL	DESCRIPTION		
	PROPERTY LINE		
	EXISTING EASEMENT		
o <sup>V,</sup> MH, CB	EX STRUCTURES		
$\langle \dot{\phi} \rangle$	EX TREES/VEGETATIONS		
	EX MINOR CONTOUR		
	EX MAJOR CONTOUR		
⊕ FH	EX FIRE HYDRANT		
$\bigcirc$	EX WELL		
SS	EX SEWER MAIN LINE		
SD	EX STORM DRAIN MAIN LINE		
W	EX WATER MAIN LINE		
T	EX COMMUNICATIONS LINE		
<u> </u>	EX SIGN		

TOPO PREPARED BY: LW SURVEY CO

#### GRADING NARRATIVE:

E/

SDCB

`NV OUT 5489.79 (NW)∕∕

THE EXISTING SITE IS UNDEVELOPED AND RANGES FROM ELEVATIONS 5489 TO 5495. THE ADJACENT PROPERTY IS FLAT WITH OFFICE BUILDINGS TO THE WEST AND SOUTH AND ROADWAYS. INNOVATION PARKWAY TO THE EAST SLOPES TOWARDS THE EAST INTERSECTION OF INNOVATION PARKWAY AND GIBSON BLVD. GIBSON BLVD TO THE NORTH SLOPES TOWARDS THE WEST. THE PROPOSED PROJECT WILL BE GRADED WITH A 2:1 MAX SLOPE FROM EXISTING GROUND UP TO ELEVATION 5496-5499 TO PROTECT THE PROPOSED INFRASTRUCTURE.









MBOL	QTY	SIZE	COMMON / BOTANICAL NAME	WATER USE
ES				
D	8	2" Cal.	Gambel Oak Quercus gambelii	Low - Medium
	18	2" Cal.	Golden Rain Tree Koelreuteria paniculata	Low – Medium
	10	2" Cal.	Red Oak Quercus gravesii	Low - Medium
	6	2" Cal.	Redbud Cercis occidentalis'Pink pom poms'	Very low – Medium
	3	4'- 6'	Scotch Pine Pinus sylvestris	Medium
al Tree SUBS	40 40			
022	37	5 gal.	Apache Plume Fallugia paradoxa	Very low – Low
	28	5 gal.	Blue Mist Bluebeard Caryopteris x clandonensis 'Blue Mist'	Low – Medium
	37	5 gal.	Buffalo Juniper Juniperus sabina 'Buffalo'	Low
0	44	5 gal.	Chamisa Ericameria nauseosa nauseosa	Very low – Low
٥	19	5 gal.	Gro-Low Fragrant Sumac Rhus aromatica 'Gro-Low'	Very low – Medium
3	39	5 gal.	Indian Hawthorn Rhaphiolepis indica	Low
٩	4	5 gal.	Lilac Syringa x 'Bailbelle'	Medium
0	42	5 gal.	Red Yucca Hesperaloe parviflora	Very low - Low
	17	5 gal.	Yellow Bird of Paradise Caesalpinia gilliesii	Low

and Other Landscape Co.
luded in Landscape Calculation
Pipe     Other Fabric       + + + + + + +     Yei : 11% of landscape a
+ + + + + + + + + + + + + + + + + + +
SCAPE CALCULATIONS
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CALP - 40'-0







- 1. Landscape maintenance shall be the responsibility of the Property Owner.
- 2. The Property Owner shall maintain landscaping in a living, healthy, and attractive condition. Shrubs shall be left to grow in to natural form, and shall not be pruned, sheared or otherwise decimated. Trees shall not be pollarded. Only licensed, insured Certified Arborist shall be allowed to prune or shape trees.
- 3. It is the intent of this plan to comply with the City Of Albuquerque Water, IDO Ordinance.
- 4. It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.
- 5. Water management is the sole responsibility of the Property Owner.
- 6. Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.

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# raue Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided

Table 5-6-2: Credits for Preserving Trees Diameter at Breast Height (in.) Number of Trees Credite

5-6( $\Delta$ X5) contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscape should be designed to retain soil moisture, prevent erosion, encourage the growth of abutting plantings, and mitigate urban heat-island effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and alare.

5-6(AX6) Providing screening of some types of facilities, structures, and equipment. 5-6(A)(7) Providing shade and comfort for pedestrians and visually narrowing streets, which has been shown to reduce vehicle speeding and

accidents. 5-6(B) APPLICABILITY

5-6(B)(1) The provisions of this Section 14-16-5-6 shall apply to any of the following, unless specified otherwise this IDO: 5-6(BXIXa) Construction of a new building containing multi-family, mixed-use,

or non-residential development or an accessory parking structure. 5-6(BXIXb) Construction of a new parking lot containing 25 or more spaces, or expansion of an existing parking lot by 25 spaces or more.

5-6(BXIXc) Expansion of the gross floor area of an existing building containing multi-family, mixed-use, or non-residential development by 2,500 square feet or more, or 25 percent or more, whichever is less. 5-6(BX1)(d) Renovation or redevelopment of an existing building containing

multi-family, mixed-use, or non-residential development, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, indicated by building permits, is \$5*00,000* or more. 5-6(B(2) In the case of walls provided for buffering or screening

requirements with conflicting standards in this Section 14-16-5-6, Section 14-16-5-5 (Parking and

Loading), and Section 14-16-5-9 (Neighborhood Edges), the highest specified wall height allowance prevails.

5-6(BX3) Requirements for walls provided to meet buffering and screening requirements prevail over maximum wall height regulations in Section 14-16-5-7 (Walls and Fences), but shall be subject to any other applicable material and design requirements in Subsection 14-16-5-7(E).

5-6(C) GENERAL LANDSCAPING STANDARDS The following standards apply to all landscaping, screening, or buffering required by this Section 14-16-5-6.

5-6(C)(1) Landscape Plan Required

A landscape plan with designed landscaped areas shall be submitted as a part of all development applications where landscaping, buffering, or screening is required, unless the relevant decision-making body determines that compliance with the provisions of this Section 14-16-5-6 can be demonstrated without the use of a landscape plan. A landscape plan may be combined with other required application materials if compliance with this Section 14-16-5-6 can be demonstrated in the combined materials. Landscaping shall be maintained pursuant to the requirements of Subsection

14-16-5-13(B)(6). 5-6(C)(2) Minimum Landscape Area

5-6(C)(2)(a) Except as noted in Subsection (b) below, a minimum of 15 percent of the net lot area of each development shall contain landscaping. 5-6(C)(2)(b) In DT-UC-MS-PT areas, a minimum of 10 percent of the net lot area of each development shall contain landscaping. In these area landscaping required to meet this requirement need not be at ground level. (See figure below.)

5-6( $C\chi^2\chi_c$ ) The mature realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows. Tree canopies and ground-level plants shall cover a minimum

of 75 percent of the total landscape area as measured by canopy width or the area beneath the dripline of the mature

2. size of the actual vegetation. Of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the mature size of the actual vegetation. (See figure below.) 5-6(CX2Xd) See also Subsections 14-16-5-6(D) (Street Frontage

Landscaping, 14-16-5-6(E) (Edge Buffer Landscaping), and 14-16-5-6(F) (Parking Lot

Landscaping) for additional landscaping requirements. 5-6(C)(3) Overlapping Requirements

5-6(CX3Xa) If areas required to be landscaped by 2 or more provisions of this Section 14-16-5-6 overlap each other, the provision requiring the greater amount of landscaping shall apply, and landscaping provided that meets the greater requirement shall count toward fulfilling the overlapping requirements. 1. See Subsection 14-16-5-6(C)(12) (Existing Vegetation Credit).

See Subsection 14-16-5-6(CX13) (Stormwater Management Features)

See Subsection 14-16-5-6(D) (Street Frontage Landscaping). See Subsection 14-16-5-6(E) (Edge Buffer Landscaping).

See Subsection 14-16-5-6(F) (Parking Lot Landscaping).

5-6(CX3Xb) Landscaped areas may count toward satisfying usable open space requirements specified for Residential zone districts in Table 5-1-1 and for Mixed-use zone districts in Table 5-1-2. 5-6(CX3Xc) Gardens and community gardens provided may count toward

satisfying the requirements of Subsection 14-16-5-6(C)(2) (Minimum Landscape 5-6(CX3Xd) Any landscaping provided to meet requirements in Subsection

16-5-2(1) (Major Arroyo Standards) may count toward any required landscaping in this Section 14-16-5-6 but shall be subject to Subsection

14-16-5-6(C) (General Landscaping Standards). 5-6(CX3Xe) Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-16-5-11(EX3) (Outdoor Seating and Gathering Areas) may count toward up to 1/3 of required landscaping in Section 14-16-5-6 but shall be subject to standards in Subsection 14-16-5-6(C) (General Landscaping Standards). 5-6(C)(4) Required Plant Materials and Site Amenities 5-6(CX4Xa) A minimum of 5 species must be used in the landscaped area. 5-6(CX4Xb) Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown

on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards), except that, upon presentation of evidence, the relevant decision-making body may authorize alternative species or cultivars that meet all of the following requirements: Meet the intended purpose of that type of landscaping.

Are not hazardous. Are not identified as invasive on a City or State plant list.

Are not listed in the City's Weed Identification Handbook Are equally hardy to the New Mexico climate.

5-6(CX4Xc) installation of any trees, shrubs, or other vegetation included in a State list of prohibited or invasive species or listed as noxious weeds in the City'fs Weed Identification Handbook is prohibited. 5-6(CX4)(d) No more than 10 percent of required landscape areas shall be cool season grass species. Irrigated cool season grass shall not be planted on slopes exceeding 1:4 rise:run or planted in narrow or irregularly shaped areas (10 feet or less in any dimension) in order to avoid water waste. Any cool season grass shall be installed at



Plant material type (ANSI types)	Minimum size
Deciduous Street Trees	2 in. caliper 6 in. above grade
Deciduous Accent Troes	1.5 in. caliper 8 in. above grade or 6 ft. in height
Evergreen Tree	is ft, in height
Multi-trunk Tree	Minimum 2 thurks with a combined caliper of 2 in.
Shrubs	I gallon container size
Ground over and turf	Adequate to provide general ground cover within 1 growing season after planting

ree planting requirements are based areas occupied by driveways and drive aisle alculating the number of trees required to be pla ld otherwise be required in driveways or drive aisles · landscaped front yard areas. lanning Director may authorize adjustments ed due to topography, drair



I turf shall not be allowed within the







occupancy,

island reductions.

5-6( $\dot{C}$ X15 $\ddot{X}$ c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of spacing designed to minimize sound and light impacts of the proposed plant materials that have been approved by the applicable public utility as development on the adjacent property. part of a plan for landscaping, screening, or buffering on the public right The side facing the low-density residential development shall be at of-way shall be the responsibility of such public utility. If a public utility least as finished in appearance as the side facing the multi-family, mixed-use, disturbs landscaping, screening, or buffering in a public right-of-way, private or non-residential development. way, or easement, it shall make every reasonable effort to preserve the If there is an existing wall between the two properties, it may count landscaping materials and return them to their prior locations after the utility toward satisfying the requirements of Subsection 14-16-5-6(EX2Xb)2 if it work. If the plant materials die despite those efforts, it is the obligation of meets, or is improved to meet, the height and design standards above. the abutting property owner to replace the plant materials. 5-6(E)(3) Development Next to a Multi-family Residential Zone District 5-6(CX15Xd) Property owners acknowledge that approved landscaping and Where mixed-use or non-residential development other than industrial trees installed and maintained in a public right-of-way, private way, or development occurs on any lot abutting or across an alley from a lot in the easement abutting private properties are the property of the City, and that R-ML or R-MH zone districts with townhouse development or multi-family that the City reserves the right to remove them if necessary for a residential development, a buffer shall be provided along the lot line, as transportation project without compensation, but at no cost to the property specified in Table 5-6-4 and for the relevant area below. owner. Landscaping installed in an abutting public right-of-way, private way, 5-6(EX3Xa) General or easement by property owners and later removed by the City shall not An edge buffer area shall be provided on the subject property along the impact previously approved net lot area calculations for required property line between the two properties. landscaping.

5-6(C)(16) Alternative Landscape Plans The Planning Director may approve alternative landscape plans that do not meet the specific requirements stated in this Section 14-16-5-6 if the Planning Director determines that the alternatives meet all of the following criteria

5-6(CX16Xa) Are consistent with the purposes of this Section 14-16-5-6. 5-6(CX16Xb) Do not include invasive vegetation included in a City or State list of prohibited or invasive species or listed as a noxious weed in the minimize sound, light, and noise impacts. City's Weed Identification Handbook 5-6(EX3Xb) Downtown, Urban Centers, and Main Street and Premium 5-6(C)(16)(c) Do not include a reduction of tree planting requirements. Transit Areas 5-6(CX16Xd) Provide equal or superior buffering of adjacent properties An opaque wall, fence, or vegetative screen at least 6 feet tall from anticipated impacts of the proposed development. shall be provided at the property line between the two 5-6(CX16Xe) Provide equal or superior visual appearance of the property properties, and both of the following requirements shall be when viewed from the street. 5-6(CX16Xf) Provide equal or superior carbon dioxide absorption and heat



s, surface runoff rected into depressed wa ape areas and that meet all app

vernmental entity, and located in a required e in a parking lot, shall be counted toward require in those areas, provided that the area includes ve ) Where pedestrian walkways and multi-use trails cross r

requirements of Subsection 14-16-5-6(C)(2) gation systems shall comply with Section 8 of th

shall be installed prior to the issuance of a final certificate of

e planted every 30 feet along the length of park or trail, Major Public Open Space, or major arr intown, Urban Centers, and Main Street and Pr percent of any front setback an

Development	Development	Specific	General Buffering	Buffecing in
Түре	Next to	Standards		DT-UC-MS-PT
and shares	Non-industrial	14-16-5-	10020000000000	
Inductrial	development	6(E)(4)	Landscaped	
and the second second second	Industrial 14-16-5- buffer area 225 ft	buffer area 225 ft.		
Multi-family	development	6(13(4)	2012/00/2212	in a second
Mixed-use or	R-ML or R-MH	14-16-5-	Landscaped	Wall, fence, ar wegetative screen 26 ft.
other han- residential	R-ML OF R-MH	6(1)(3)	buffer area 220 ft.	
Multi-family, mixed-use, er	8-A, 8-1, 8- MC, 8-T, or 8-	14-15-5-	Landscaped	
other non- residential	ML ML	6(5)(2)	buffer area 235 ft.	

levant area	below.

buffer area shall be provided on e property line between the two propert at least 3 feet in height is provided or exists between the 2 properties, I tree at least 8 feet ime of planting shall be provided every for 15 feet all, with spacing designed to minimize sound and of the proposed development on the adjacent

all is provided or exists, I tree at least 6 feet tall and at least 25 feet tall at maturity and 3 rovided for every 25 feet along the lot li ed to minimize sound, light, and noise



If a wall at least 3 feet in height is provided or exists along the property line between the two properties, I tree at least 8 feet high at the time of planting shall be provided every for 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed

development on the adjacent property. If no wall is provided or exists, I tree at least 6 feet tall at the time of planting and at least 25 feet tall at maturity and 3 shrubs shall be provided for every 25 feet along the lot line, with spacing designed to

a. One (1) tree at least 8 feet high at the time of planting shall be provided every for 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property. b. The side facing the multi-family development shall be at least as finished in appearance as the side facing the

mixed-use, or non-residential development. 2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(EX3Xb) if it meets, or is improved to meet, the height

and design standards above. ustrial zoning or develo ng or development, including, bu , development in an NR-LM or NR-GM zone jacent to any lot that is not in an NR-LM or NRG light manufacturing theavy manufacturing topecial natural resource extraction± non-linear portions o e facility, or other major utility± or any primary use i category in Table 4-2-1 is developed on a lot al lot with a use other than one of these specifi familu residential development is adjace



an Centers, and Mai que wall or fence at least 6 feet operty along any lot line abutting or acro istrial development. tree at least 8 feet high at the time of planting sha very for 15 feet along the wall, with spacing designed it impacts of the proposed development on the ad of the wall facing the non-industrial development n appearance as the side facing the industr existing wall between the two propert

and light

cross the street from t

the wall may be se

quirements of Subsection 14-16 meet, the height and d

Lot in Area of Change Next to	Specific Standards	General Buffering	Buttering in DT-UC-MS-PT
Area of Consistency in R-A, R- 1, R-MC, or R-T	14-16-5-6(E)(2)		
Area of Consistency in R-ML or 8-MH	14-16-5-6(E)(3)	Londscaped buffer area 215 ft.	Wall, fence, or vegetative screen 26 ft.
Area of Consistency in Mixed- use, NR-C, or NR-PO	14-16-5-6(1)(4)		

rict, the requirements of Subsections 14-16-5-6

parking lot is abutting an R-A, R-I, I is related to parking area in Subsection through Or Drive-up Facilities, and Loading here development is coordinated on 2 or more abut

om front, side, a

ible barking areas are located on a single lot, or on areas controlled by Site Plans, these requirements sl entire development area unless otherwise appro andscape buffers may be crossed by drive aisles co

o parking is allowed within a required landscape bu scape approved within the abutting public be counted toward this requirement if there lewalk between such landscape and the pr of the on-site landscape buffer be cape area may be reduced by

or vehicle circulation area

provides equal or better screening of the headling Downtown, Urban Centers, and Main Street and Premium Transit Areas

Any parking lot located within 30 feet of the front lot line shall be screened from the street by a masonry wall as described in Subsection a above. Openings in the masonry wall no more than 4 feet wide to allow passage of bicycles and pedestrians from the street into the parking lot are

2. Side and Rear Lot Edges Where no side or rear lot line buffer is required by Subsection 14-16-5-6(E) above, the following standards apply where the side or rear lot line abuts a public street. a. General

Any parking lot located within 20 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles. b. Downtown, Urban Centers, and Main Street and Premium

Transit Areas Any parking lot located within 20 feet of a side or rear lot line shall be screened by a landscaped buffer at least 5 feet wide containing one tree and 3 shrubs per 25 feet of the parking lot edge closest to the lot line, or by a masonry wall constructed of a material other than cement block, at least 3 but not more than 4 feet tall.

5-6(F)(2) Parking Lot Interior

5-6(FX2Xa) General

At least 10 percent of the parking lot area of lots containing 50 or fewer spaces, and at least 15 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped. 5-6(FX2Xb) Downtown, Urban Centers, and Main Street and Premium Transit Areas At least 5 percent of the parking lot area of lots containing 50 or fewer spaces, and at least 10 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped.

5-6(F)(2)(c) Tree Requirements

One (1) tree is required per 10 parking spaces. No parking space may be more than 100 feet in any direction

from a tree trunk. 3. At least 15 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.



and trees sufficient to act as a scree 75 percent obaque. ENING OF MECHANICAL EQUIPMENT AND SU

sted below shall comply with the following standards. I

orative wall or fence is required or installed, chain lir t slats) shall not satisfy the requirement. mounted Mechanical Equipment ening is required for rooftop solar R-MH. Mixed-use, NR-0 ted mecha

BP, NR-SU, and NR-PO Zone D chanical equipment shall be located wh parks or trails, Major Public Open Space, o lot or from adjacent properties with low-dens to the maximum extent practicable.

ot practicable to locate ground-mounted mechanical ( osections (a) and (b) above, such equipment shal paque decorative wall or fence or a vegeta ence shall be of a height equal to or anical equipment being scree materials an

ıbsters shall be in se a lid covering and shall be c does not reach storm drain inlets obment Abutting Low-density R lensitu residential development or lots zoned R ers for solid waste, but not for recycling, are prohibit etback or landscape buffer area that is contiguous w esidential development.

R-ML, R-MH, and Mixed-use Zone Districts Outdo se areas shall be integrated into the buil ocated where they are not visib Iblic Open Space, or

ions (c) and (d) above, they shall be s e decorative wall or fence at least 6 feet tall but no ncorporates at least I of the primaru materials

ed outside and are typically not moved -day period, and that are adjacent to any Resi containing a residential use in any Mixed-use zone Public Open Space, public trail, or major

the nearest wall of the prim getative screen planted along the full length o

and at least 8 feet high at the time of planting. Batellite Dishes ounted satellite dishes that are larger than 3 feet one district, or that are larger than 6 feet dential zone district, the base <u>o</u>f

on, and Landscaping and Weeds, Litter the Albuquerque Bernalillo County Water Author egislation and Ordinances (Water Waste Reduct

#### after notice from the City. The replacement is the responsibility of the property owner. trees shall be maintained a

IDO 4-3(B)(8) Dwelling, Multi-Family (landscape requirements)

4-3(B)(8)(c) in other areas, this use shall meet all of the following landscape standards, in addition to all applicable standards in Section 14-16-5-6 (Landscaping, Buffering, and Screening).

- This use shall provide, somewhere on the lot, at least 1 tree per ground floor dwelling unit and at least I tree per second floor dwelling unit no additional trees are required for additional dwelling units on the third or higher floors.
- Twenty-five (25) percent of the net lot area shall contain landscaping± playgrounds, sports courts, swimming pools, or similar features may count up to 10 percent of net lot landscaping. Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscaped area, and the maximum a tree canopy shall count toward this requirement is 600 square feet.
- Cool season grasses are restricted to 20 percent of the landscape area. Warm season grasses may cover up to an additional 70 percent of the landscape area.

4-3(B)(8)(d) At least 50 percent of the trees required by Subsection (b) or (c) above shall be deciduous canopy-style shade trees or coniferous trees capable of attaining a mature canopy diameter of at least 25



5-6(CX5Xd) A minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended. 5-6( $C\tilde{X}5Xe$ ) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the In these areas, weed barrier fabric is prohibited.

15 percent of any landscaped area, or 50 b

IDO 14-16-5-13(B) MAINTENANCE STANDARDS

5-13(B)(7) Landscaping, Buffering, and Screening

5-13(BX1Xb) Landscaping, screening and buffering areas shall be naintained in

compliance with Articles 6-6 and 9-8 of ROA 1994 (Trees, Vegetation, and Landscaping and Weeds, Litter, and Snow) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance).

5-13(BX1Xb) All landscaped areas shall be maintained with a neat and orderlu appearance, which includes pruning, removal and replacement of dead

or diseased plants and trees, disposal of litter, repair of damaged walls and hard surface areas, and upkeep of irrigation systems. 5-13(B)(T)(c) Landscaped areas that become bare shall be re-vegetated to avoid erosion.

5-13(BXTXd) Where landscaping was installed pursuant to a Site Plan or development approval, the landscaping shall be replaced according to any landscaping and maintenance plan under that approval.

5-13(BX1Xe) Trees or plants that die shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 calendar days after notice from the City. The replacement of dead vegetation is the responsibility of the property owner.

5-13(BXTXf) Street trees shall be maintained alive and healthy. Maintaining and replacing street trees or other trees planted in the public right-of-way are the responsibility of abutting property owners.









dk JOB NO: 24-1013





DMA 1 AREA SUMMARY					
TOTAL TREATABLE AREA	IMPERVIOUS AREA	REQUIRED TREATMENT	PROVIDED TREATMENT		
159,378 SF	25,041	0.032 AC-FOOT	0.036 AC-FOOT		



dk JOB NO: 24-1013



### GENERAL NOTES

- 1. FOR CONSTRUCTION AND DIMENSIONS OF WATER METER BOX AND CONCRETE PAD, SEE STANDARD DRAWINGS 2362, 2363 & 2368
- 2. BECAUSE OF LIMITED SPACE, METER BOXES MAY BE ROTATED 90°. CONNECTIONS TO BE MADE PER WATER AUTHORITY APPROVAL.
- 3. DOUBLE METER BOXES SHALL BE CENTERED ON ADJOINING PROPERTY LINES.
- 4. DOUBLE METER BOX CONFIGURATIONS SHALL BE USED TO THE EXTENT POSSIBLE.
- METER BOXES SHALL NOT BE CONSTRUCTED IN DRIVEWAYS OR DRIVEPADS UNLESS AUTHORIZED IN WRITING BY THE WATER AUTHORITY.
- WHERE METER BOXES EXIST WITHOUT THE DRIVEWAY OR DRIVEPAD IN PLACE, CONSTRUCTION OF NEW DRIVEWAYS AND/OR DRIVEPADS SHALL INCLUDE RELOCATION OF THE EXISTING METER BOXES.
- WHERE CURB AND GUTTER EXISTS WITHOUT SIDEWALK, CONCRETE PAD SHALL MATCH THE TOP OF CURB ELEVATION, AND SLOPE DOWNWARDS TOWARD CURB AT 2% (MAX) IN CONFORMANCE WITH STANDARD DRAWING 2430.

#### CONSTRUCTION NOTES A. CURB

- B. BACK OF CURB
- C. SIDEWALK
- D. METER BOX COVER, SEE STANDARD DRAWING 2368
- E. 1/2" EXPANSION JOINT F. EDGE OF UNCURBED STREET OR GRADED STREET
- G. PROPERTY LINE
- H. DRIVEPAD
- J. CONCRETE PAD, SEE STANDARD DRAWING 2362 K. #4 REBAR CONTINUOUS ALL AROUND METER BOX

REVISIONS	WATER AU	THORITY
AUG. 2013	WATE TYPICAL ME INSTALLA	TER BOX
	DWG. 2361	AUG. 2013

#### GENERAL NOTES

- . The meter shall be set utilizing a copper-setter. Copper-setter height 10" for 1" meter. 7" for 3/4" meter. THE VALVE AND METER REGISTER SHALL BE LOCATED UNDER THE LID OPENING. WHERE TWO METERS ARE TO BE INSTALLED IN A SINGLE METER BOX, THE METER REGISTERS SHALL BE WITHIN READING RANGE OF THE LID OPENING.
- 3. METER BOX LOCATION SHALL CONFORM TO STANDARD DRAWING 2361.
- WHEN CONTRACTOR DOES NOT INSTALL METER, CONTRACTOR SHALL PROVIDE REMOVABLE PLUGS FOR END OF COPPER-SETTER.
- 5. EXISTING CONCRETE SHALL BE SAWCUT.
- 6. CROSS CONNECTION CONTROL. SEE STANDARD SPECIFICATION SECTION 802.3.9 THE (PRIVATE) TAILPIECE IS TO BE INSTALLED BY THE CONTRACTOR AND IS TO BE OWNED AND MAINTAINED BY THE CUSTOMER PER WATER AUTHORITY ORDINANCE.

#### CONSTRUCTION NOTES

- A. STREET SURFACE B. BACK OF CURB
- C. METER BOX COVER AND LID. SEE STANDARD DRAWING 2368.
- D. 1/2" EXPANSION JOINT
- E. CURB STOP, LOCATE INSIDE METER BOX.
- F. SIDEWALK OR DRIVEPAD
- G. METER. TOP OF METER SHALL BE 12" TO 18" BELOW COVER.
- H. CORP STOP J. MAIN WATER LINE
- K. TAPPING SADDLE
- L. COPPER SERVICE LINE
- M. COPPER SETTER. PROVIDE WITH DUAL CHECK VALVE IN PRESSURE ZONES 0W, 1W, 1E, AND FOR PRIVATE WELLS. SEE SPECIFICATION SECTION 802.3.9 FOR PRIVATE WELL PROVISIONS.
- N. TAILPIECE. 3 FT LONG, APPROVED COPPER TUBING WITH A CLEAN CUT AT END AND WITH A TEMPORARY PLUG. DUAL CHECK VALVE SHALL BE INSTALLED IN WATER ZONES OW, 1W, 1E AND FOR PRIVATE WELLS. SEE SPECIFICATION SECTION 802.3.9 FOR PRIVATE WELL PROVISIONS.
- Q. CONCRETE PAD REQUIRED IN ALL AREAS PER SECTION 101. EXTERIOR CONCRETE, f'c = 3000 psi AT 28 DAYS.
- R. #4 REBAR CONTINUOUS ALL AROUND METER BOX.
- S. STABILIZER BAR. USE FOR SINGLE METER ONLY. 12" LONG  $\times$  1/2" DIA. GALVANIZED STEEL PIPE.
- T. METER BOX LID SHALL BE FLUSH WITH SURROUNDING SIDEWALK.
- U. ELECTRONIC MARKER DEVICE (EMD). SEE STANDARD SPECIFICATION SECTION 170.
- V. METER BOX PER STANDARD DRAWING 2366.
- W. "W" STAMP ON CURB WHERE SERVICE LINE CROSSES.

REVISIONS	WATER AUTHORITY
JAN. 2011	WATER 3/4" TO 1" METERED SERVICE LINE INSTALLATION DWG. 2362 MAY 2019



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DMA 1 AREA SUMMARY						
TOTAL TREATABLE AREA	IMPERVIOUS AREA	REQUIRED TREATMENT	PROVIDED TREATMENT			
159,378 SF	25,041	0.032 AC-FOOT	0.036 AC-FOOT			
ALDUQUEDQUE DESIGN MANULAL DATED 2020.						



Q. CURB TO MATCH SLOPE OF SIDEWALK. REVISIONS CITY OF ALBUQUERQUE PAVING CORNER ACCESS RAMP DWG. 2441 JUNE 2019 . PROVIDE DETECTABLE WARNINGS ON ANY CURB RAMP OR LANDING WHERE THE ACCESSIBLE ROUTE CROSSES A PUBLIC STREET. DETECTABLE WARNINGS ARE NOT PODUC STREET. DETECTABLE WARNINGS ARE NOT REQUIRED AT DRIVEWAYS UNLESS THE DRIVEWAY IS PROVIDED WITH TRAFFIC CONTROL DEVICES OR IS PERMITTED TO OPERATE LIKE A PUBLIC STREET AS DETERMINED BY THE CITY ENGINEER. 2. SELECT A DETECTABLE WARNING SURFACE THAT CONTRASTS VISUALLY (LIGHT-ON-DARK OR DARK-ON-LIGHT) WITH ADJACENT SURFACES. 3. IN NEW CONSTRUCTION, INSTALL CAST-IN-PLACE REPLACEABLE DETECTABLE WARNING PLATES, PANELS, TILES, OR PAVERS. IN RETROFITS, INSTALL SURFACE-APPLIED DETECTABLE WARNING PANELS WITH BEVELED EDGES. SURFACE APPLIED PANELS SHALL BE MECHANICALLY ANCHORED.

CONSTRUCTION NOTES A. INSTALL DETECTABLE WARNING SURFACE SO THAT IT EXTENDS 24" IN THE DIRECTION OF TRAVEL FOR THE EXTENDS 24" IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH (NOT INCLUDING SIDE FLARES) OF THE RAMP OR LANDING.

B. PLACE DETECTABLE WARNINGS SO THAT THE ROWS OF TRUNCATED DOMES ARE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP OR LANDING AND THE

C. ON PARALLEL CURB RAMPS, PLACE DETECTABLE WARNINGS ON THE RAMP SURFACE AT THE GRADE BREAK IF GRADE BREAK IS WITHIN 5' FROM BACK OF CURB. IF THE GRADE BREAK IS GREATER THAN 5' FROM BACK OF CURB, PLACE DETECTABLE WARNINGS AT A DIAGONAL USING A MAXIMUM DISTANCE OF 5' FROM FACE OF CURB. ). ON PERPENDICULAR CURB RAMPS, PLACE DETECTABLE WARNINGS AT THE BACK OF CURB.

ON CUT-THROUGH ISLANDS, PLACE DETECTABLE WARNINGS IN LINE WITH THE BACK OF CURB IF DETECTABLE WARNING SURFACES ON THE ENTRANCE AND EXIT SIDES OF THE ISLAND CAN BE SEPARATED BY 2'

MIN. OF WALKWAY. IF NECESSARY TO ACHIEVE 2' MIN. SEPARATION, PLACE DETECTABLE WARNINGS IN LINE WITH THE FACE OF CURB. IF THE ISLAND HAS NO CURB, PLACE DETECTABLE WARNINGS AT THE EDGE OF ROADWAY. SEE COA STD. DWG. 2448. F. PLACE DETECTABLE WARNINGS AT RAIL CROSSINGS SO

THAT THE EDGE NEAREST THE RAIL IS 6' TO 15' FROM THE CENTERLINE OF THE NEAREST RAIL. ALIGN ROWS OF TRUNCATED DOMES PARALLEL TO THE DIRECTION OF G. RECESS OR CAST-IN DETECTABLE WARNINGS SO THAT THE SURFACE TO WHICH THE TRUNCATED DOMES ARE ATTACHED IS FLUSH WITH THE ADJACENT CONCRETE.

H. IN RETROFITS, DETECTABLE WARNING MAT MAY BE MECHANICALLY ANCHORED TO THE SURFACE OF THE CONCRETE IF THE MAT EDGE IS BEVELED WITH A MAXIMUM SLOPE OF 2H:1V.

J. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE. . SIDE FLARED SLOPES.

DWG. 2446

REVISIONS CITY OF ALBUQUERQUE PAVING DETECTABLE WARNINGS

JUNE 2019





SCALE: 1"=10'

NOTE: ALL CONCRETE WORK TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARD SECTION 101 PORTLAND CEMENT CONCRETE.



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LIGHTING POLE SPECIFICATIONS:       1         1. POLE SHAFTS SHALL BE FABRICATED FROM HOT ROLLED AND WELDED STEEL TUBING OF ONE-PIECE CONSTRUCTION, WITH A MINIMUM YIELD STRENGTH OF 55KSI. WALL THICKNESS SHALL BE NOT LESS THAN 7-GAUGE (3/16-INCHES).       1         2. OPENINGS IN THE POLE TUBE SHALL BE CENERALLY SQUARE OR RECTANCULAR, BASED ON THE DETAILS PROVIDED. ALL OPENINGS SHALL HAVE ROUNDED CORNERS TO RELIEVE STRESS IN THE TUBE.       9185 E PIMA CENTER PARKWAY #100 SUJACE OR NECTANCULAR, BASED ON THE DETAILS PROVIDED. ALL OPENINGS SHALL HAVE ROUNDED CORNERS TO RELIEVE STRESS IN THE TUBE.       1         3. BASE COVERS SHALL BE TWO (2) PIECE AND SHALL BE FABRICATED STEEL, WITH A DULL GALVANIZED FINISH.       ANCHOR BOLTS SHALL CONFORM TO ASTM F1554, GRADE 55 AND SHALL INCLUDE TWO (2) HEX NUTS AND TWO (2) FLAT WASHERS. ANCHOR BOLTS SHALL HAVE AN "L" BEND ON ONE (1) END AND SHALL BE GALVANIZED FOR NOT LESS THAN       A WORD WEIL CONFORM TO ASTM F1554, GRADE 55 AND SHALL INCLUDE TWO (2) HEX NUTS AND TWO (2) FLAT WASHERS. ANCHOR BOLTS SHALL HAVE AN "L" BEND ON ONE (1) END AND SHALL BE GALVANIZED FOR NOT LESS THAN       A WORD WEIL CONFORM TO ASTM F1554, GRADE 55 AND SHALL DOLL FOR NOT LESS THAN       3
<ul> <li>2. OPENINGS IN THE POLE TUBE SHALL BE GENERALLY SQUARE OR RECTANGULAR, BASED ON THE DETAILS PROVIDED. ALL OPENINGS SHALL HAVE ROUNDED CORNERS TO RELIEVE STRESS IN THE TUBE.</li> <li>3. BASE COVERS SHALL BE TWO (2) PIECE AND SHALL BE FABRICATED STEEL, WITH A DULL GALVANIZED FINISH.</li> <li>4. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554, GRADE 55 AND SHALL INCLUDE TWO (2) HEX NUTS AND TWO (2) FLAT WASHERS. ANCHOR BOLTS SHALL HAVE AN '1." BEND ON ONE (1) END AND SHALL BE GALVANIZED FOR NOT LESS THAN</li> </ul>
<ul> <li>3. BASE COVERS SHALL BE TWO (2) PIECE AND SHALL BE FABRICATED STEEL, WITH A DULL GALVANIZED FINISH.</li> <li>4. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554, GRADE 55 AND SHALL INCLUDE TWO (2) HEX NUTS AND TWO (2) FLAT WASHERS. ANCHOR BOLTS SHALL HAVE AN "L" BEND ON ONE (1) END AND SHALL BE GALVANIZED FOR NOT LESS THAN</li> </ul>
GRADE 55 AND SHALL INCLUDE TWO (2) HEX NUTS AND TWO (2) FLAT WASHERS. ANCHOR BOLTS SHALL HAVE AN "L" BEND ON ONE (1) END AND SHALL BE GALVANIZED FOR NOT LESS THAN
10-INCHES ON THE THREADED END. ANCHOR BOLTS SHALL BE NOMINALLY 3-FOOT LONG X 4-INCH HOOK X 1-INCH DIAMETER. FOR THE FREE-STANDING LOCATIONS AND WASHERED RODS FOR TRANSFORMER PAD LOCATIONS, SEE STRUCTURAL DRAWINGS.
5. ALL STRUCTURAL BOLTS OR FASTENERS SHALL BE GALVANIZED, HIGH STRENGTH CARBON STEEL. NON-STRUCTURAL FASTENERS AND HARDWARE SHALL BE STAINLESS STEEL OR BRASS.
6. POLES AND COVERS SHALL BE FINISHED IN A DULL, NON-REFLECTIVE GALVANIZED COATING.
7. POLES SHALL BE DESIGNED FOR A MAXIMUM EFFECTIVE PROJECTED AREA (EPA) OF NOT LESS THAN 10.7 SQ. FT., A MAXIMUM LOAD OF 265-POUNDS WITH AN 80 MPH WIND FORCE AND A GUST FACTOR OF 1.3.
7. POLES SHALL BE DESIGNED FOR A MAXIMUM EFFECTIVE PROJECTED AREA (EPA) OF NOT LESS THAN 10.7 SQ. FT., A MAXIMUM LOAD OF 265-POUNDS WITH AN 80 MPH WIND FORCE AND A GUST FACTOR OF 1.3. 8. TRANSFORMER BASE SHALL BE WELDED STEEL WITH A HOT-DIPPED GALVANIZED DULL FINISH. BASE SHALL BE NOMINALLY 20-INCHES HIGH X 15.5-INCHES AT THE BASE. BASE SHALL INCLUDE A NOMINALLY 11-INCH HIGH X 8.5-INCHES WIDE DOOR. BASE SHALL BE GROUNDED TO THE #4/0AWG GROUND CABLE WITH 2 X 1/2-INCHES STADE DOUL STEEL THROUGH BOLTS, FLAT WASHERS, LOCK WASHERS AND HEX-NUTS AND A NEMA STANDARD 2-HOLE LUG - LUGS AND HARDWARE TO BE FURNISHED BY BOS SUBCONTRACTOR. FASTENING BOLTS FOR THE POLES TO THE BASE SHALL BE FURNISHED AND SHALL BE GALVANIZED, HIGH STRENGTH CARBON STEEL. NON-STRUCTURAL FASTENERS AND HARDWARE SHALL BE STAINLESS STEEL OR BRASS. 515EL OR BRASS.
6
APP A
7 (Lec)
CONSTRUCTION (IFC)
02-28-25 DATE
SHEET TITLE:
LIGHTING CONTROL AND POLE DETAIL
ENGINEER: DR. BY: CHK. BY: WALKER WENTZLER LC CV DEPCOM JOB No: SCALE:
W. NEW DEPCOM PROJECT CODE:
(30055) DRAWNG NUMBER: REV:
2-28-25 ENGINE ENGINE ENGINE OF 57

Models Showing Light Output at Night. The lighting is designed to be contained within the perimeter of the site







В	11/05/24	90% DESIGN REV
А	08/21/24	60% DESIGN REV
REV	DATE	DESCRIPTION







### SCHEDULE:



RAB FIELD-ADJUSTABLE FLOOD LIGHTS MOUNTED AT 35', TILTED AT A 45 DEGREE ANGLE FROM GROUND.

TS	DEPCOM POWER-SANDIA SUBSTATION STORAGE PROJECT 115/34.5kV SUBSTATION	FILE NAME 23231-E-415
27/23	115/34.3KV SUDSTATION	JOB NUMBER
TW	TITLE SUBSTATION LIGHTING PLAN	23231
AM	SUDSTATION LIGHTING PLAN	DRAWING NUMBER
DJ	LOCATION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO	E - 415













## PR-2024-011242 - SI-2025-00079 - 4.4.2025 Signature Sheet

**Final Audit Report** 

2025-06-27

Created:	2025-06-20
By:	Jacob Boylan (jboylan@cabq.gov)
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