

PROJECT NUMBER: PR-2024-011242

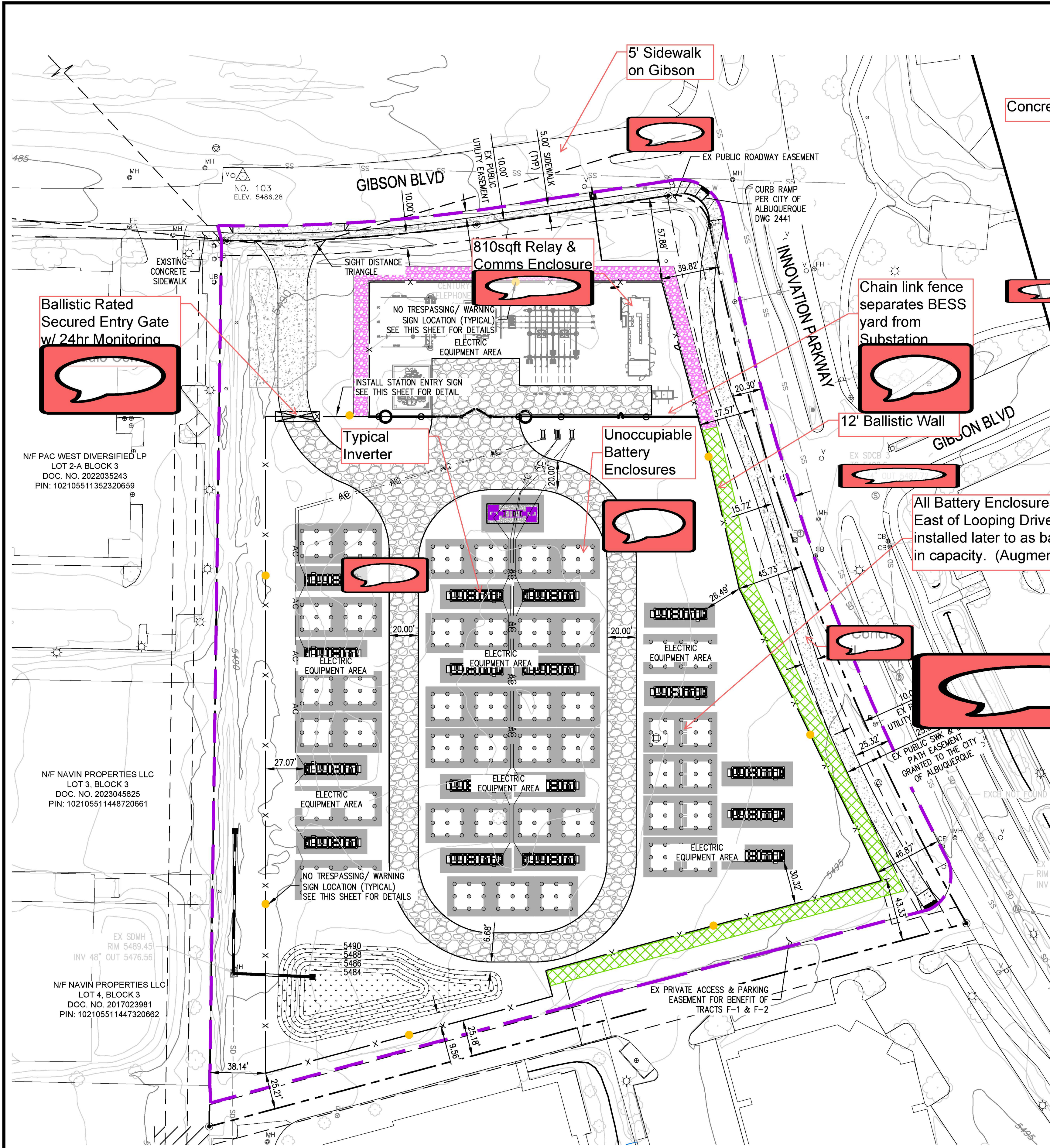
Application Number: SI-2025-00079

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

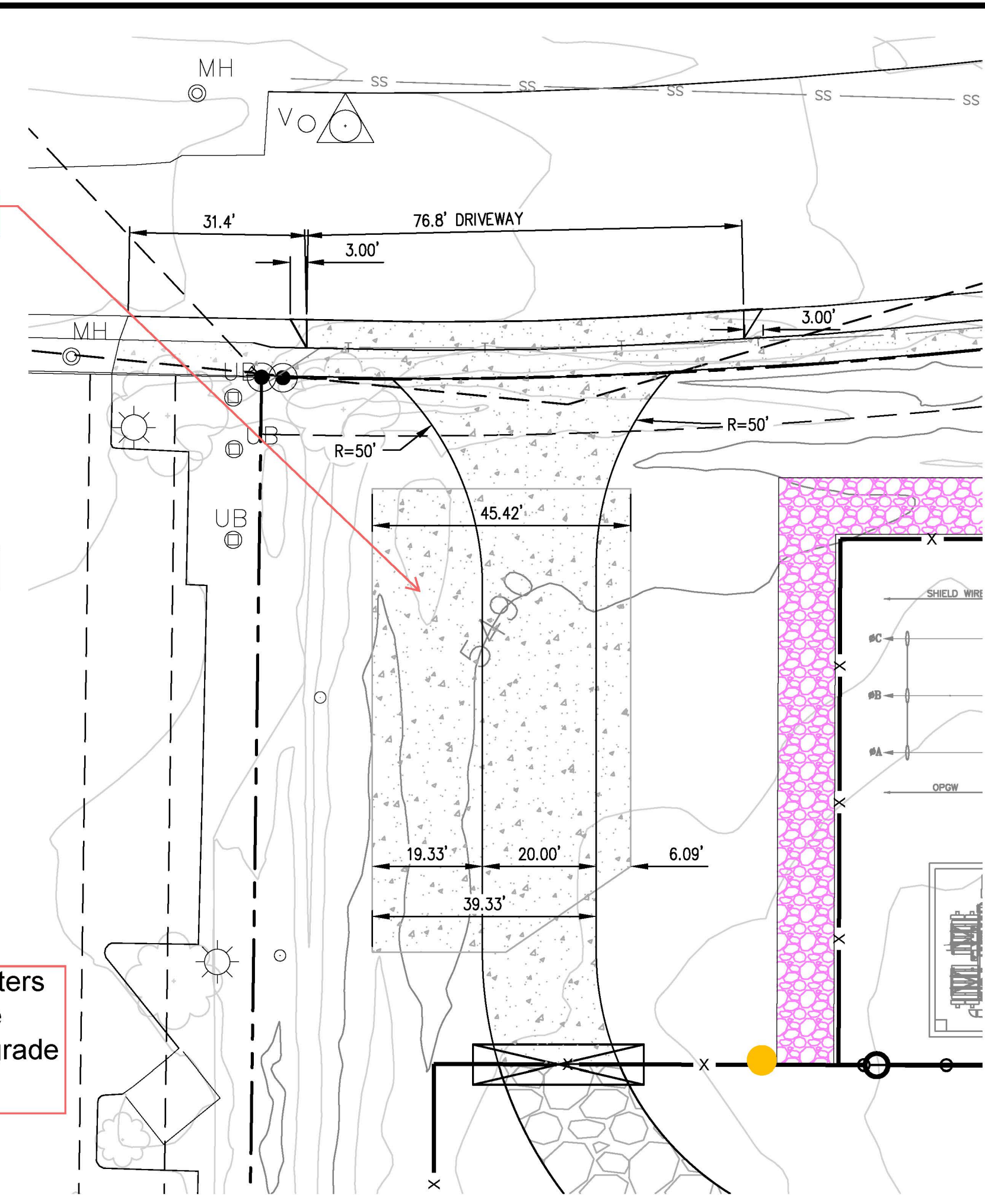
DFT SITE DEVELOPMENT PLAN APPROVAL:

<u>Ernest Armijo</u> Traffic Engineering, Transportation Division	<u>Jun 23, 2025</u> Date
<u>David G. Smith</u> ABCWUA	<u>Jun 27, 2025</u> Date
<u>William P. P. P.</u> Parks and Recreation Department	<u>Jun 20, 2025</u> Date
<u>Regina Chen</u> Hydrology	<u>Jun 20, 2025</u> Date
<u>Jeff P. P. P.</u> Code Enforcement	<u>Jun 20, 2025</u> Date
<u>* Environmental Health Department (conditional)</u>	<u> </u> Date
<u>Solid Waste Management</u>	<u> </u> Date
<u>Jay Rodenbeck</u> Planning Department	<u>Jun 20, 2025</u> Date

*Environmental Health, if necessary

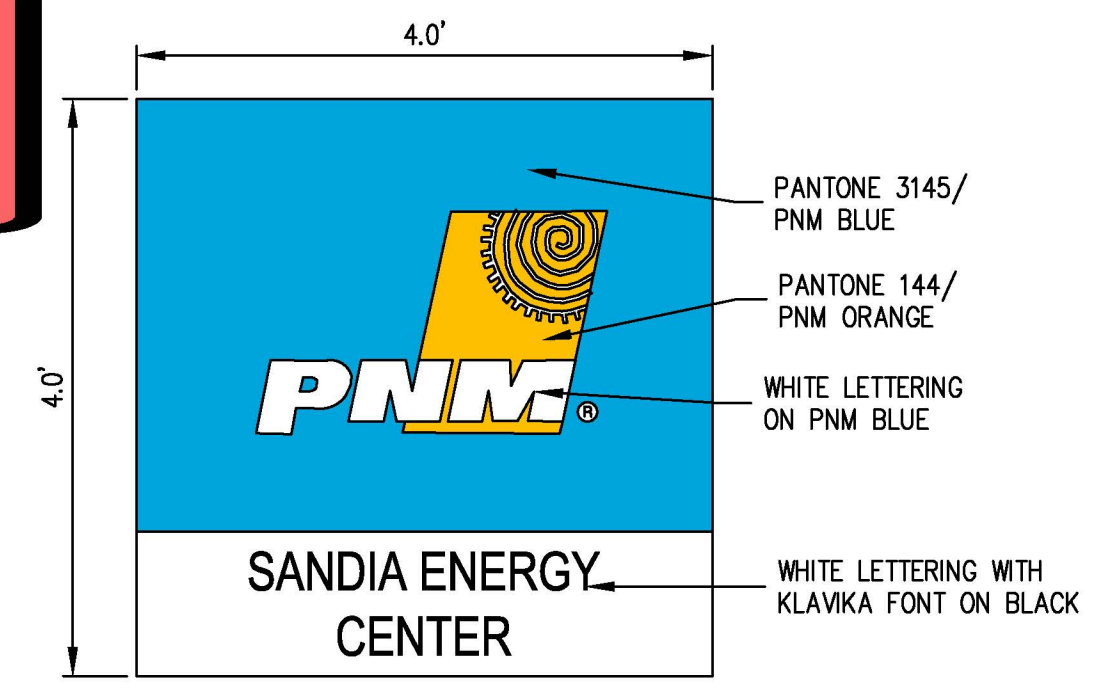
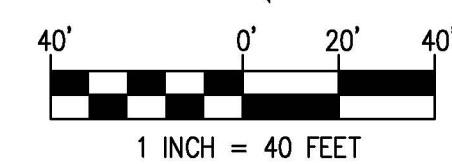


Concrete Surface



DRIVEWAY DETAIL
SCALE: 1"=20'

PR-2024-011242
SI-2025-00079



STATION ENTRY SIGN
NOT TO SCALE



WARNING SIGN
NOT TO SCALE



NO TRESPASSING SIGN
NOT TO SCALE

LEGEND	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	EXISTING EASEMENT
AC	UNDERGROUND AC
X	PERIMETER WALL (DESIGN BY OTHERS)
○	SUBSTATION FENCE
- - - -	LIMIT OF DISTURBANCE
[Orange Box]	AUGMENTATION GROUP 1
[Green Box]	AUGMENTATION GROUP 2
[Purple Box]	AUGMENTATION GROUP 3
[Blue Box]	AUGMENTATION GROUP 4
[Red Box]	AUGMENTATION GROUP 5
○ V, MH, CB	POWER CONTROLLER
○	EX STRUCTURES
○	EX TREES/VEGETATIONS
○	EX MINOR CONTOUR
○	EX MAJOR CONTOUR
---	STORM DRAIN MAIN AND STRUCTURE
---	IRRIGATION SERVICE LINE & METER
---	PROPOSED CONCRETE
---	PROPOSED GRAVEL ROADWAY
---	PROPOSED DRAINAGE SWALE
---	PROPOSED STORMWATER BASIN
○	EX WELL
○	DETECTABLE WARNING
○	"NO TRESPASSING" AND "WARNING" SIGN LOCATION. DETAILS ON THIS SHEET.
---	ELECTRICALLY RESISTIVE ROCK (SEE NOTES BELOW)
---	LANDSCAPE BUFFER

- NOTES:
- ELECTRICALLY RESISTIVE ROCK WILL BE PROVIDED BY DEPCOM OR ITS SUBCONTRACTOR AND IS TO BE INSTALLED BY LANDSCAPE CONTRACTOR WITHIN THE SPECIFIED BOUNDARY AS SHOWN ON THE LAYOUT.
 - SEE DRAWING E-501 FOR REFERENCE OF YARD ROCK REQUIREMENTS. PLEASE NOTE THIS IS FOR SAFETY PURPOSES NOT AESTHETIC.

N/F PAC WEST DIVERSIFIED LP
LOT 2-A BLOCK 3
DOC. NO. 2022035243
PIN: 102105511352320659

N/F NAVIN PROPERTIES LLC
LOT 3, BLOCK 3
DOC. NO. 2023045625
PIN: 102105511448720661

N/F NAVIN PROPERTIES LLC
LOT 4, BLOCK 3
DOC. NO. 2017023981
PIN: 102105511447320662

PR-2024-011242
SI-2025-00079

3/11/2025
DATE

1
NO.

ISSUED FOR CONSTRUCTION
DESCRIPTION

AGENCY

dk

STACEY GELLA
NEW MEXICO
29498
PROFESSIONAL ENGINEER

PUBLIC SERVICE COMPANY OF NEW MEXICO
SANDIA BESS SITE
PROJECT SITE PLAN
CONSTRUCTION DOCUMENTS
APN 1-021-055-162-512-2-06-67
CITY OF ALBUQUERQUE
NEW MEXICO

PNM

ENGINEERING
SURVEYING • PLANNING

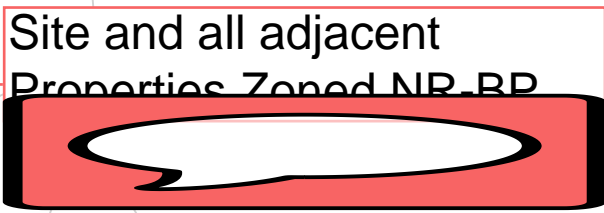
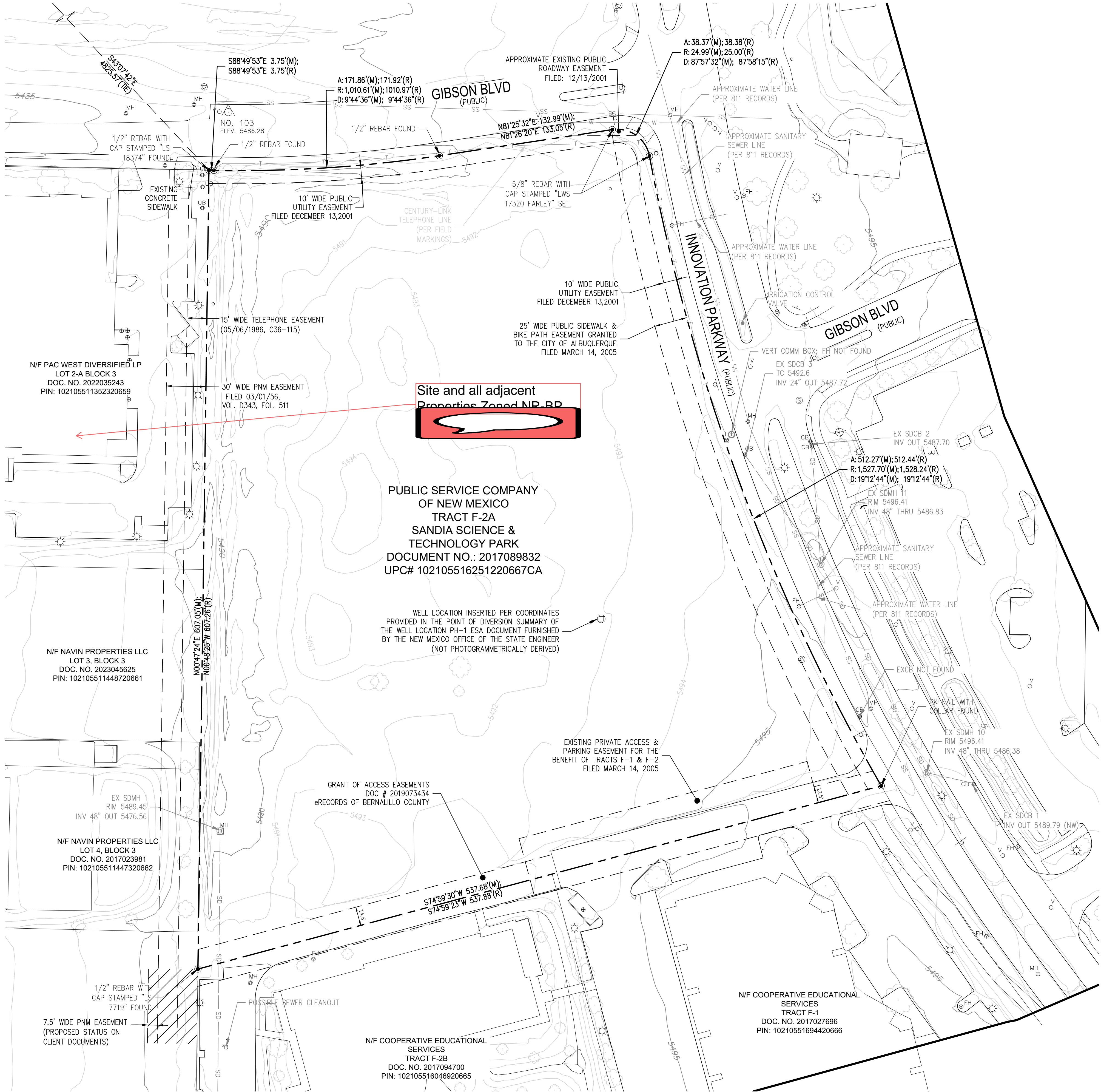
PHONE (505) 326-8888
WWW.PSCNM.COM

DATE: 03/13/2025
SCALE: 1"=40'
HORIZ. N/A
VERT. N/A
DESIGNED BY: AMP
REVIEWED BY: SDG
C3.00
PAGE 7 OF 15

dk JOB NO: 24-1013



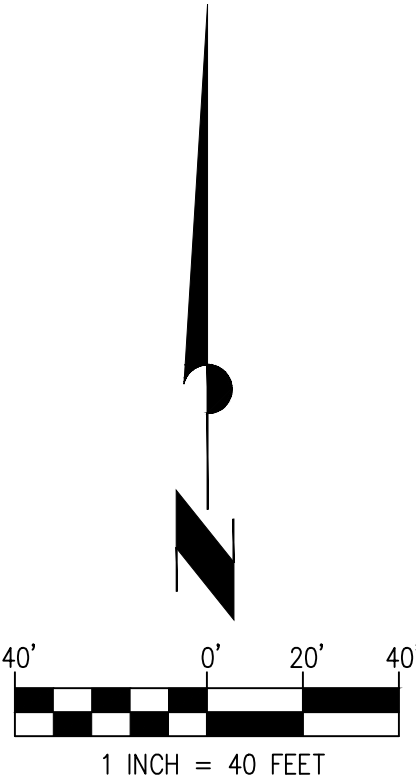
dk JOB NO: 24-1013



LEGEND	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	EXISTING EASEMENT
○ V, MH, CB	EX STRUCTURES
○	EX TREES/VEGETATIONS
---	EX MINOR CONTOUR
---	EX MAJOR CONTOUR
○ FH	EX FIRE HYDRANT
○	EX WELL
SS	EX SEWER MAIN LINE
SD	EX STORM DRAIN MAIN LINE
W	EX WATER MAIN LINE
T	EX COMMUNICATIONS LINE
+	EX SIGN

TOPO PREPARED BY: LW SURVEY CO

GRADING NARRATIVE:
THE EXISTING SITE IS UNDEVELOPED AND RANGES FROM ELEVATIONS 5489 TO 5495. THE ADJACENT PROPERTY IS FLAT WITH OFFICE BUILDINGS TO THE EAST SLOPES TOWARDS THE EAST INTERSECTION OF INNOVATION PARKWAY AND GIBSON BLVD. GIBSON BLVD TO THE NORTH SLOPES TOWARDS THE WEST. THE PROPOSED PROJECT WILL BE GRADED WITH A 2:1 MAX SLOPE FROM EXISTING GROUND UP TO ELEVATION 5496-5499 TO PROTECT THE PROPOSED INFRASTRUCTURE.



STACEY GELLA
NEW MEXICO
29498
PROFESSIONAL ENGINEER

PUBLIC SERVICE COMPANY OF NEW MEXICO

SANDIA BESS SITE

EXISTING CONDITIONS

CONSTRUCTION DOCUMENTS

APN 1-021-055-162-512-2-06-67

ENGINEERING
SURVEYING • PLANNING

1851 SAN ANGELO DRIVE, SUITE 100
IRVING, TEXAS 75039
PHONE (972) 650-8888
DACSUR.COM

DATE: 03/13/2025

SCALE: 1"=40'

DESIGNED BY: AMP

REVIEWED BY: SDG

C1.00

PAGE 3 OF 15

AGENCY

DESCRIPTION

DATE

NO.

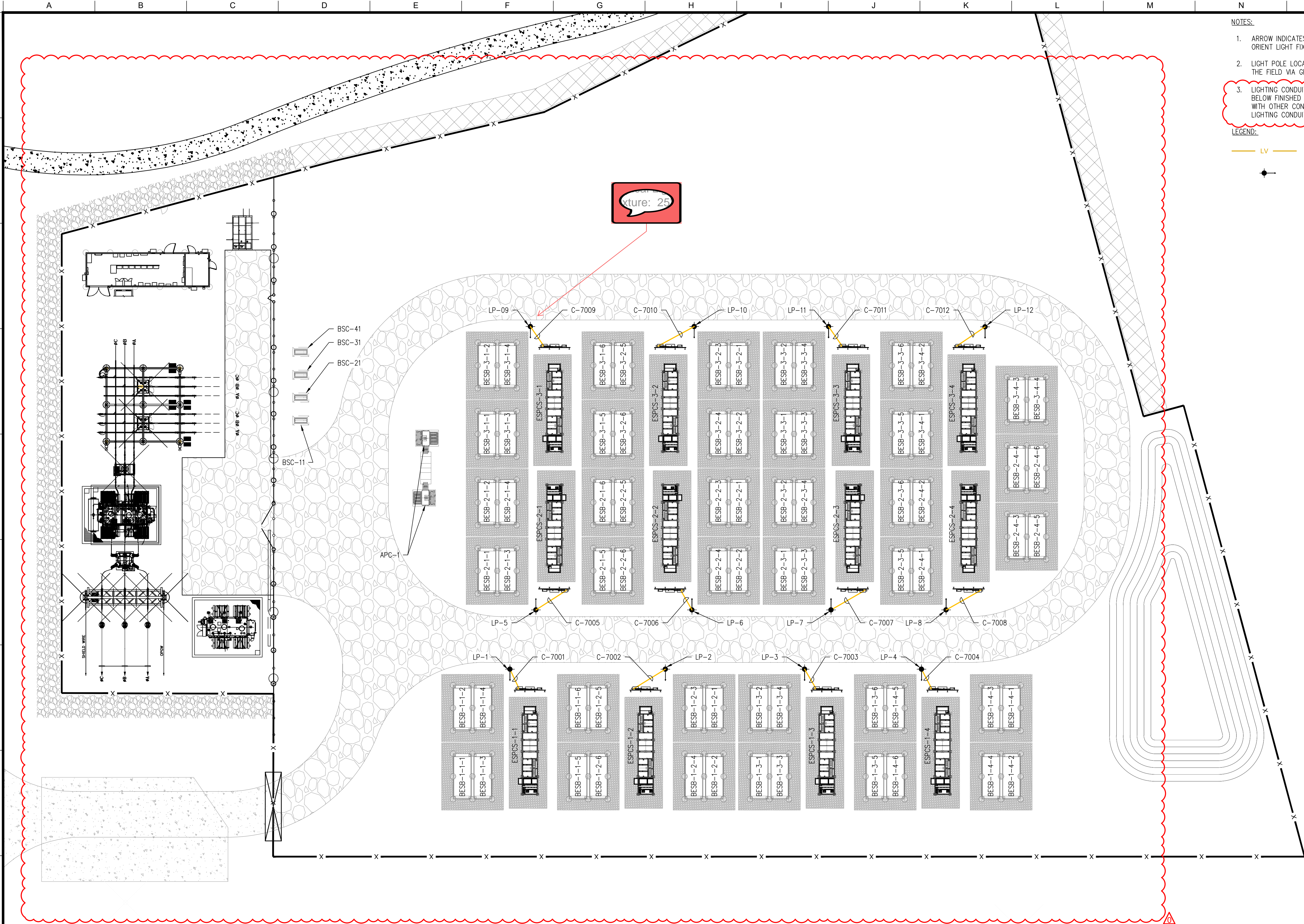
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3/11/2025

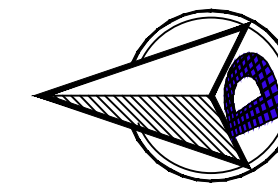
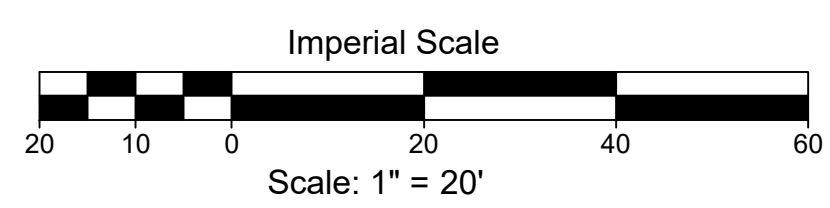
ISSUED FOR CONSTRUCTION

dk

J:\depcom-engineering\public service of new mexico\nm\240b4 - sandia\EPC\electrical\NM240b4_E-5001 - 2/28/2025 4:02 PM



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LIGHTING PLAN

SCALE: 1" = 20'

- NOTES:
1. ARROW INDICATES GENERAL DIRECTION TO ORIENT LIGHT FIXTURE ARM.
 2. LIGHT POLE LOCATIONS SHALL BE PROVIDED TO THE FIELD VIA GPS COORDINATES.
 3. LIGHTING CONDUITS SHALL BE BURIED 18" BELOW FINISHED GRADE. WHEN CONFLICTING WITH OTHER CONDUITS AT THE SAME DEPTH, LIGHTING CONDUITS SHALL GO BENEATH.
- LEGEND:
- LV 277V AC
 - LIGHT POLE (SEE NOTE 1)

DEPCOM POWER
9185 E PIMA CENTER PARKWAY #100
SCOTTSDALE, AZ 85258
PHONE: (480) 270-6910
WWW.DEPCOMPOWER.COM

A KOCH ENGINEERED SOLUTIONS COMPANY



SANDIA BESS
(60MW/240MWh)
ALBUQUERQUE,
BERNALILLO COUNTY
NM, USA

TITLE:

REV	DATE	REVISION DESCRIPTION	BY	CHK	APP
0	02-28-25	ISSUED FOR CONSTRUCTION (FC)	LC	EB	WW
C	09-27-24	ISSUED FOR 90% REVIEW (FR)	LC	CV	WW

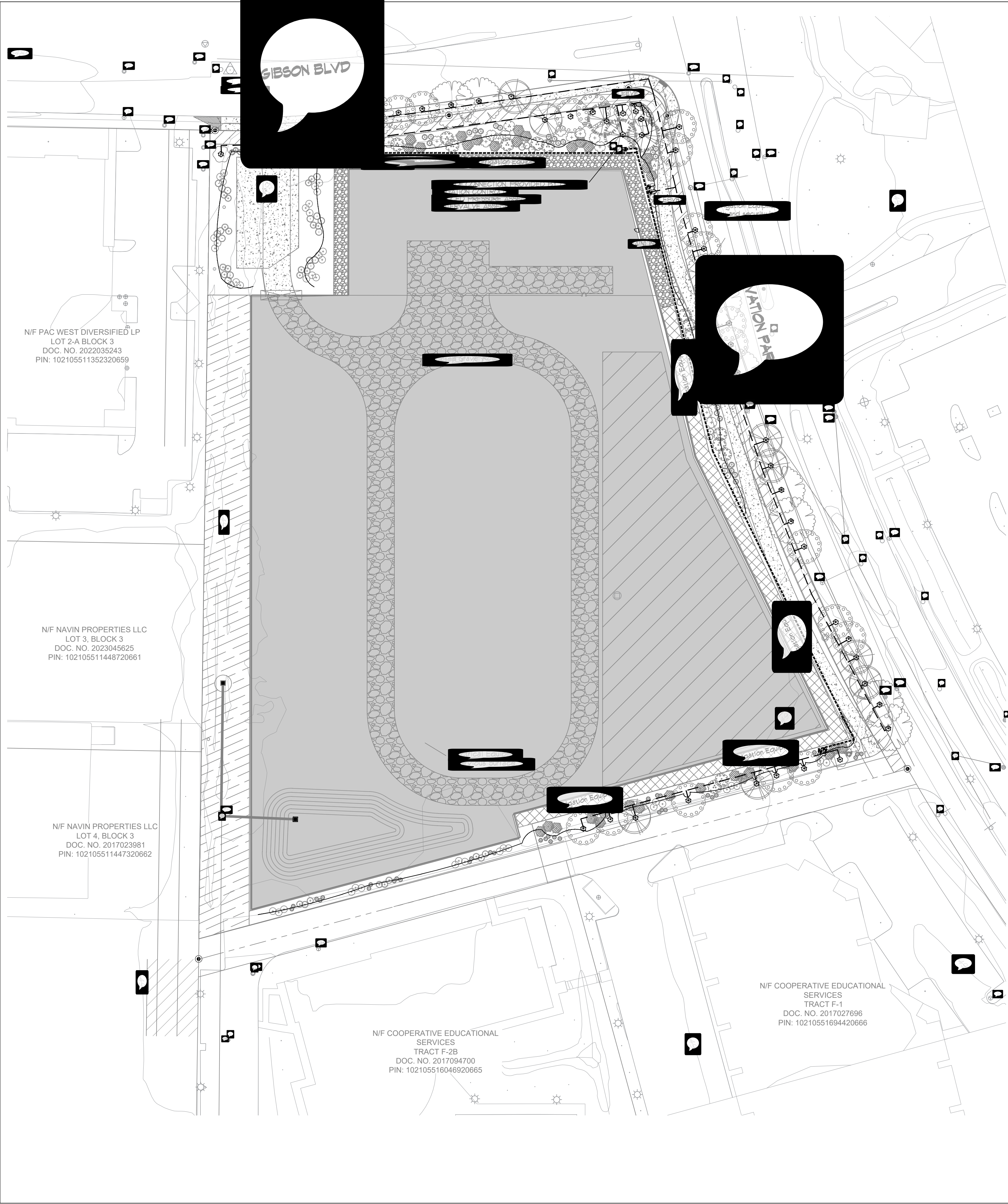
SHEET TITLE:

LIGHTING PLAN

ENGINEER: WALKER WENTZLER	DR. BY: LC	CHK. BY: CV
DEPCOM JOB No: 23-0024-00	SCALE: AS NOTED	
DEPCOM PROJECT CODE: NM240b4	DRAWING NUMBER: E-5001	REV: 0
SHEET 42	OF 57	







IRRIGATION NOTES:

1. The location of controller to be field determined and the wiring for controller to be provided by the contractor.

2. Maintenance shall be the responsibility of the owner.

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, AND STATE REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION SYSTEMS MEET GOVERNMENT REGULATIONS, CONTRACT REQUIREMENTS, AND BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND APPROVALS.

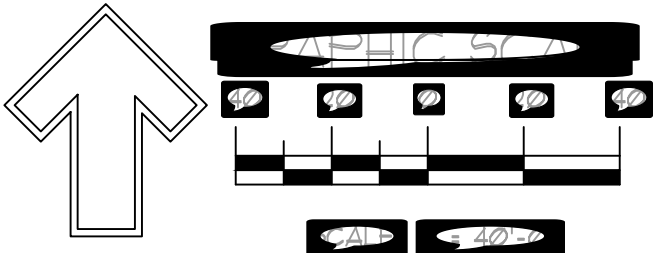
2. THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION, FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT THE SYSTEMS CONNECTED TO POTABLE WATER. A BACKFLOW PREVENTER SHALL BE INSTALLED.

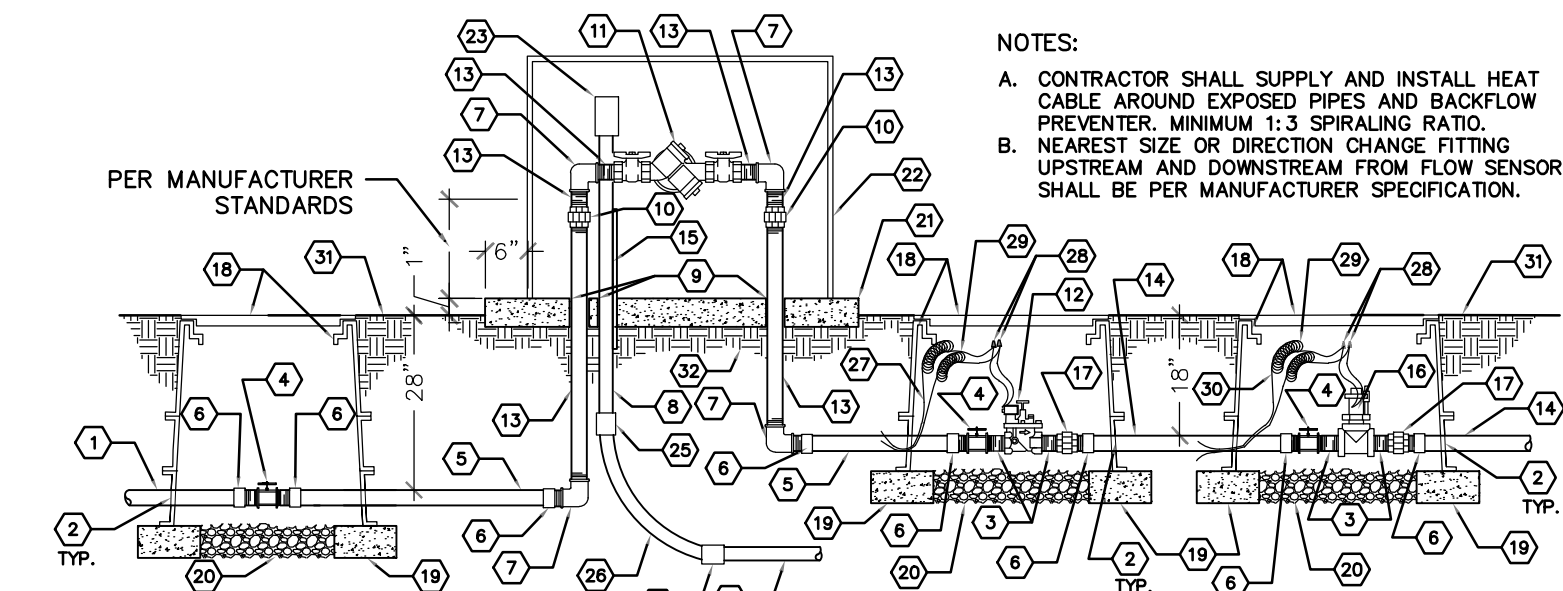
3. ALL IRRIGATION LINES, MAIN LINES AND EJECTOR PUMPS SHALL BE THE PROPERTY LINES ON THIS PROJECT. ANY OTHER PROPERTY LINES ARE THE RESPONSIBILITY OF THE OWNER.

IRRIGATION LAYOUT

1. IRRIGATION LAYOUT

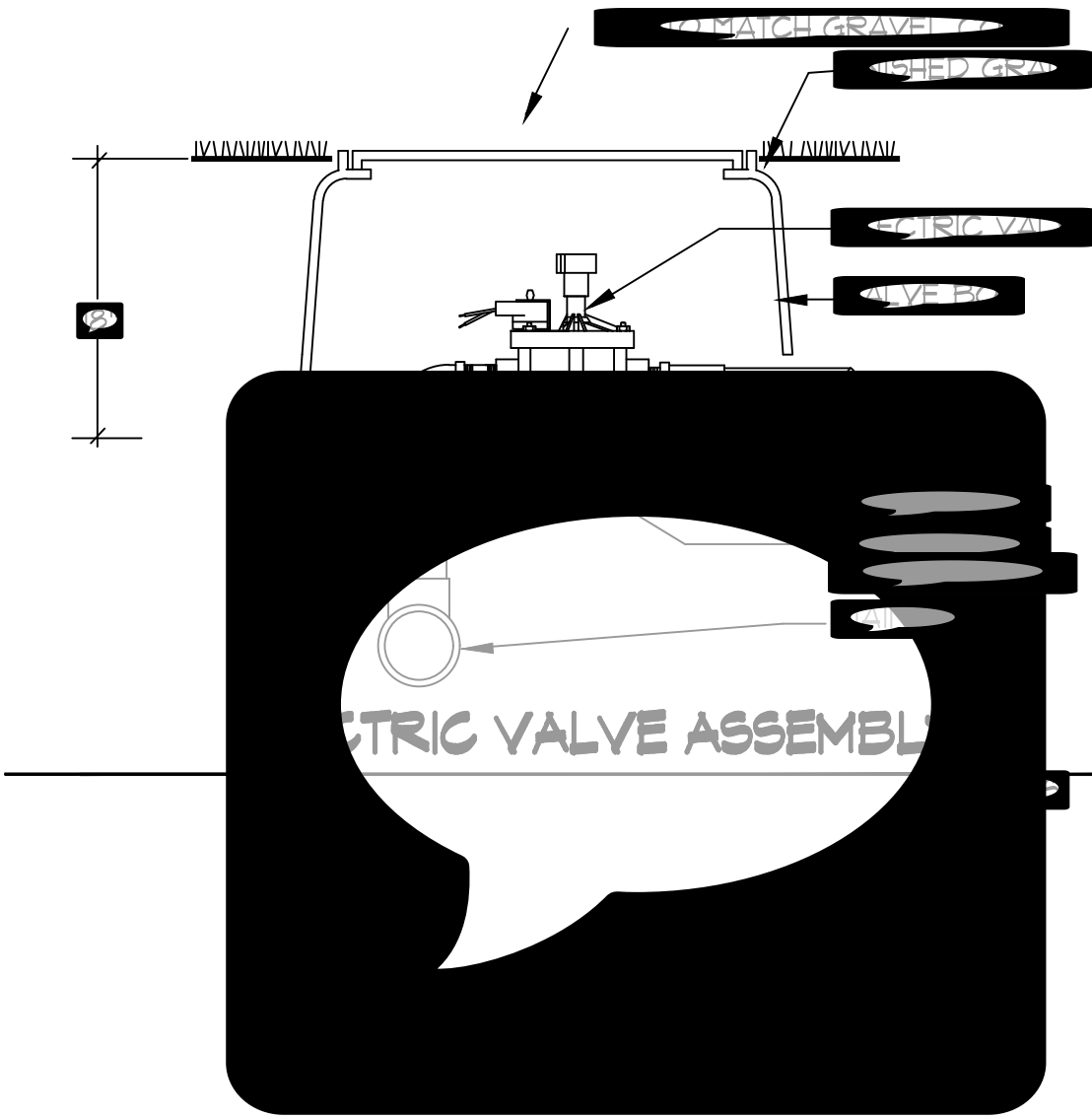
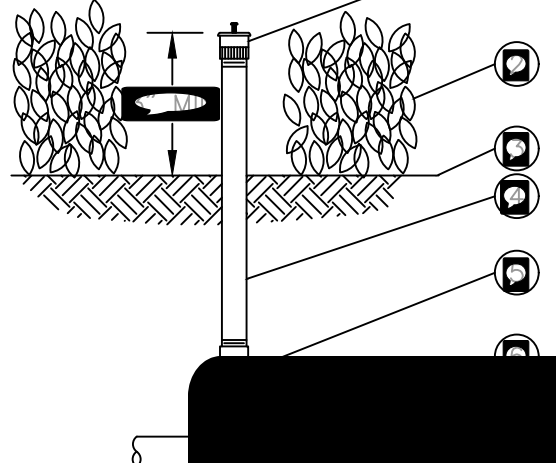
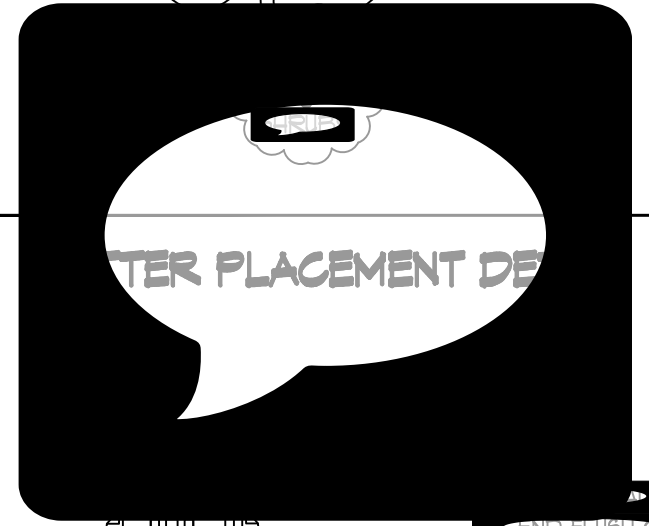
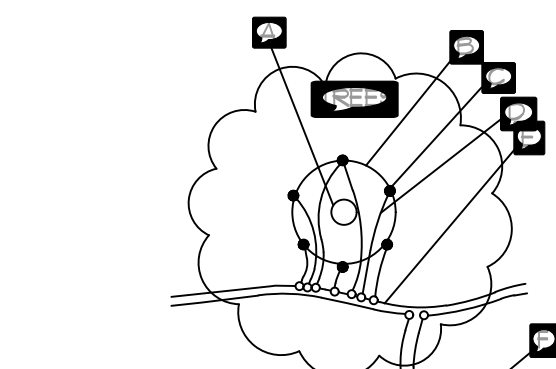
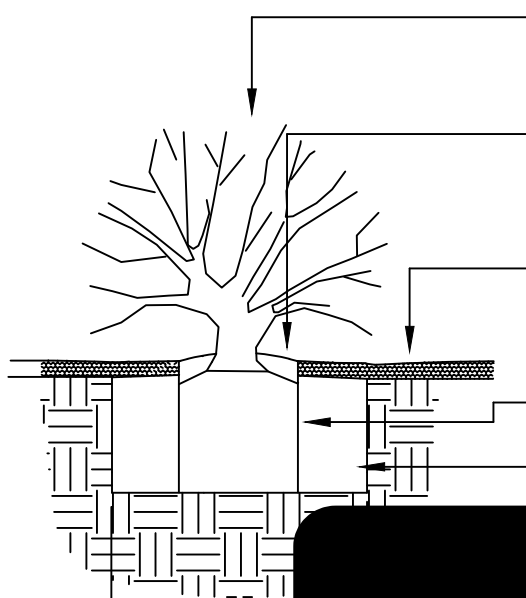
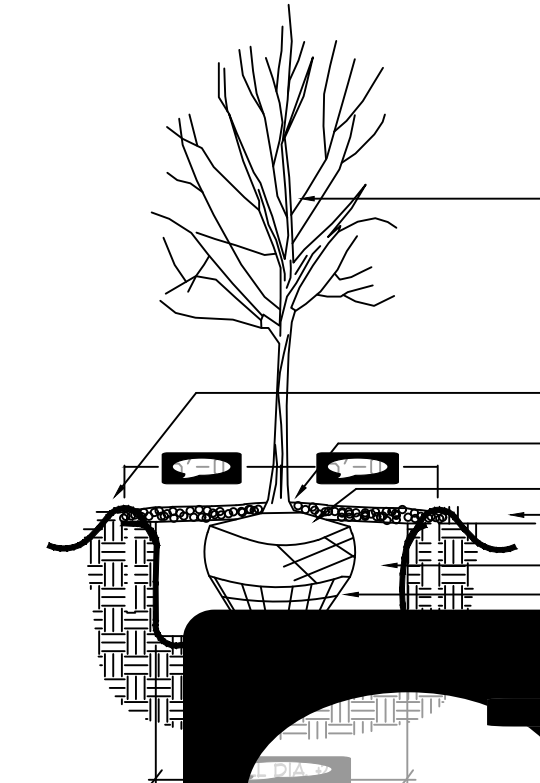
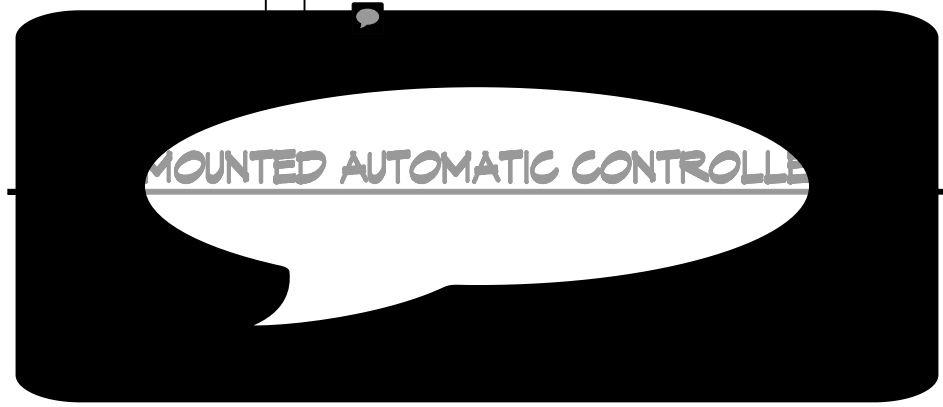
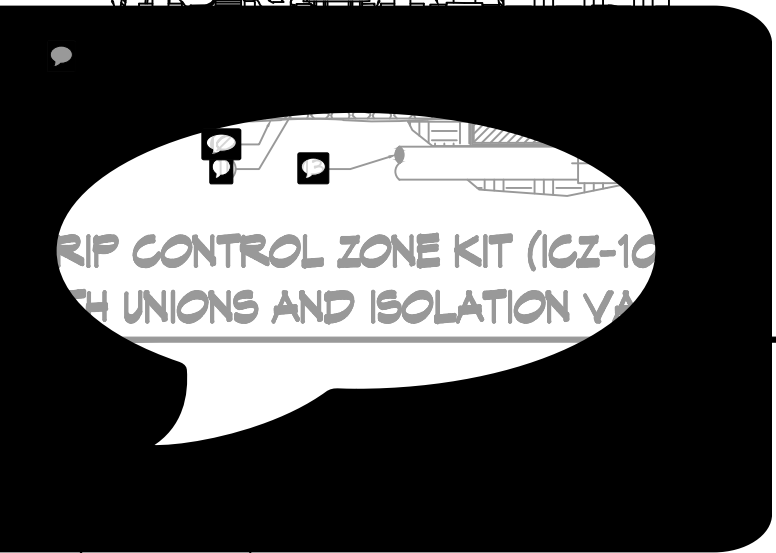
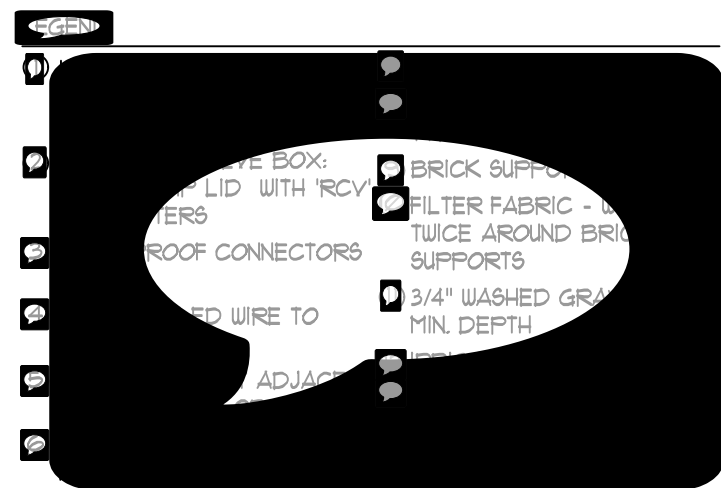
2. IRRIGATION LAYOUT





- CONSTRUCTION KEYED NOTES:
1. MAINLINE FROM METER
 2. DRILLED HOLE THROUGH VALVE BOX EXTENSION. DIAMETER SHALL BE 1/2" LARGER THAN PIPE
 3. SCH. 80 PVC NIPPLE
 4. SCH. 80 PVC TRUE UNION BALL VALVE
 5. CONSTANT PRESSURE IRRIGATION MAINLINE
 6. SCH. 80 TOE NIPPLE WITH SLIP COUPLER
 7. GALVANIZED ELL
 8. RIGID ELECTRICAL CONDUIT SECURED TO UNISTRUT
 9. PVC SLEEVE AND INSULATION (MIN. 1" THICK)
 10. GALVANIZED UNION (MIN. 4" ABOVE CONCRETE SLAB)
 11. REDUCED PRESSURE BACKFLOW PREVENTION DEVICE-SEE IRRIGATION LEGEND
 12. AUTOMATIC MASTER VALVE - SEE IRRIGATION LEGEND
 13. GALVANIZED NIPPLE
 14. NON-CONSTANT PRESSURE IRRIGATION MAINLINE
 15. UNISTRUT BRACING MINIMUM 2" CLEARANCE FROM ANY EQUIPMENT OR PIPING
 16. FLOW SENSOR - SEE IRRIGATION LEGEND
 17. SCH. 80 PVC UNION
 18. 17"x30" VALVE BOX WITH T-STYLE BOLT DOWN COVER AND EXTENSIONS AS REQUIRED - SEE IRRIGATION LEGEND
 19. 4"x 8"x 16" SOLID CMU BLOCK, EIGHT PER VALVE BOX
 20. 6" DEPTH OF 1" DIAMETER WASHED
 21. 110V ELECTRICAL GFI OUTLET FOR HEAT CABLE. PLACE AWAY FROM RELIEF VALVE
 22. GRAY ELECTRICAL CONDUIT - DEPTH OF BURY SHALL BE 36"
 23. WATER TIGHT CONNECTOR
 24. GRAY ELECTRICAL SWEEP ELL
 25. MASTER VALVE CONTROL WIRE
 26. WATERPROOF WIRE CONNECTOR
 27. 36" LENGTH WIRE EXPANSION LOOP
 28. FLOW SENSOR COMMUNICATION WIRE
 29. FINISH GRADE
 30. 95% COMPACTED SUBGRADE

NOTES:
A. CONTRACTOR SHALL SUPPLY AND INSTALL HEAT CABLE AROUND EXPOSED PIPES AND BACKFLOW PREVENTER. MINIMUM 1:3 SPIRALING RATIO.
B. NEAREST SIZE OR DIRECTION CHANGE FITTING UPSTREAM AND DOWNSTREAM FROM FLOW SENSOR SHALL BE PER MANUFACTURER SPECIFICATION.



Value Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided

Diameter at Breast Height (in.)	Number of Trees Credited
≥25	1

5-6(A)X5) Contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscapes should be designed to retain soil moisture, prevent erosion, encourage the growth of abutting plantings, and mitigate urban heat-island effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and glare.

5-6(A)X6) Providing screening of some types of facilities, structures, and equipment.

5-6(A)X7) Providing shade and comfort for pedestrians and visually

5-6(B) APPLICABILITY

5-6-6(BX7) The provisions of this Section 14-6-1-6 shall apply to any of the following unless specified otherwise in the DDO:

- 5-6-6(BX7)(a) Existing building containing multi-family mixed-use, or non-residential development, or an accessory parking structure.
- 5-6-6(BX7)(b) Construction of a new parking lot containing 20 or more spaces.
- 5-6-6(BX7)(c) Construction of a new parking structure containing 20 or more spaces.
- 5-6-6(BX7)(d) Expansion of the gross floor area of an existing building containing multi-family mixed-use, or non-residential development, by 2500 square feet, or more, or 25 percent or more, whichever is less.
- 5-6-6(BX7)(e) Construction of a new building containing multi-family mixed-use, or non-residential development, including but not limited to reconstruction after fire, flood, or other damage, where the value of the building or redevelopment, indicated by building permits, is \$500,000 or more.

5-6-6(BX7) In the case of walls provided for buffering or screening, the standards in this Section shall apply to the following:

- 14-6-5-5 (Parking and

Loading, and Section 14-16-5-9 (Neighborhood Edges), the highest specified wall height allowance prevails.

5-6(B)(3) Requirements for walls provided to meet buffering and screening requirements prevail over maximum wall height regulations in Section 14-16-5-7 (Walls and Fences), but shall be subject to any other applicable material and design requirements in Subsection 14-16-5-7(E).

5-6(C) GENERAL LANDSCAPING STANDARDS

The following standards apply to all landscaping, screening, or buffering required by this Section 14-16-5-6.

5-6(CX1) Landscape Plan Required

A landscape plan with designed landscaped areas shall be submitted as a part of all development applications where landscaping, buffering, or screening is required, unless the relevant decision-making body determines that compliance with the provisions of this Section 14-16-5-6 can be demonstrated without the use of a landscape plan. A landscape plan may be combined with other required application materials if compliance with this Section 14-16-5-6 can be demonstrated in the combined materials. Landscaping shall be maintained pursuant to the requirements of Subsection 14-16-5-13(B)(6).

5-6(CX2) Minimum Landscape Area

5-6(CX1A8) except as noted in subsection (b) below, a minimum of 10 percent of the net lot area of each development shall contain landscaping.

5-6(CX2XB) In DT-UC-MS-FT areas, a minimum of 10 percent of the net lot area in each development shall contain landscaping. In these areas, landscaping required to meet this requirement need not be at ground level. (See figure below.)

5-6(CX2XC) The mature realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows.

1. Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscape area as measured by canopy width or the area beneath the dripline of the mature
2. size of the actual vegetation. Of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the mature size of the actual vegetation. (See figure below.)

5-6(CX2d) See also Subsections 14-16-5-6(D) (Street Frontage Landscaping), 14-16-5-6(E) (Edge Buffer Landscaping), and 14-16-5-6(F) (Parking Lot Landscaping) for additional landscaping requirements.
5-6(CX3) Overlapping Requirements

5-6(CX3Xa) If areas required to be landscaped by 2 or more provisions of this Section 14-16-5-6 overlap each other, the provision requiring the greater amount of landscaping shall apply, and landscaping provided that meets the greater requirement shall count toward fulfilling the overlapping requirements.

1. See Subsection 14-16-5-6(C)(12) (Existing Vegetation Credit).
2. See Subsection 14-16-5-6(C)(13) (Stormwater Management Features).

3. See Subsection 14-16-5-6(D) (Street Frontage Landscaping).
4. See Subsection 14-16-5-6(E) (Edge Buffer Landscaping).
5. See Subsection 14-16-5-6(F) (Parking Lot Landscaping).

5-6(CX3Xb) Landscaped areas may count toward satisfying usable open space requirements specified for Residential zone districts in Table 5-1-1 and for Mixed-use zone districts in Table 5-1-2.

5-6(CX3Xc) Gardens and community gardens provided may count toward satisfying the requirements of Subsection 14-16-5-6(CX2) (Minimum Landscape Area).

14-16-2(1) (Major Arroyo Standards) may count toward any required landscaping in this Section 14-16-5-6 but shall be subject to Subsection 14-16-5-6(C) (General Landscaping Standards).

5-6(CX4) Required Plant Materials and Site Amenities
5-6(CX4Xa) A minimum of 5 species must be used in the landscaped area.

5-6(CX4Xb) Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards), except that, upon presentation of evidence, the relevant decision-making body may authorize

1. Meet the intended purpose of that type of landscaping.
2. Are not hazardous.
3. Are not identified as invasive on a City or State plant list.
4. Are not listed in the City's Weed Identification Handbook.

5. Are equally hardy to the New Mexico climate.
5-6(CX4Xc) Installation of any trees, shrubs, or other vegetation included in a State list of prohibited or invasive species or listed as noxious weeds in the City's Weed Identification Handbook is prohibited.
5-6(CX4Xd) No more than 10 percent of required landscape areas shall be

cool season grass species. Irrigated cool season grass shall not be planted on slopes exceeding 1:4 rise:run or planted in narrow or irregularly shaped areas (10 feet or less in any dimension) in order to avoid water waste. Any cool season grass shall be installed at

Development Type	Development Next to	Spec'd Dimensions	General Buffering	Buffering in DT-UC MS-PT
Industrial	Non-industrial development	14-18 ft 60 (3)	Landscape buffer area 125 ft ²	
Multi-family	Industrial development	16-16.5 ft 60 (3)	Landscape buffer area 125 ft ²	
Mixed-use or other non-residential	R-M, or R-MH	16-16.5 ft 60 (3)	Landscape buffer area 120 ft ²	Wall, fence, or vegetative screen 26 ft.
Multi-family, mixed-use, or other non-residential	R-A, R-3, R-MC, R-T, or R-M	16-16.5 ft 60 (3)	Landscape buffer area 125 ft ²	

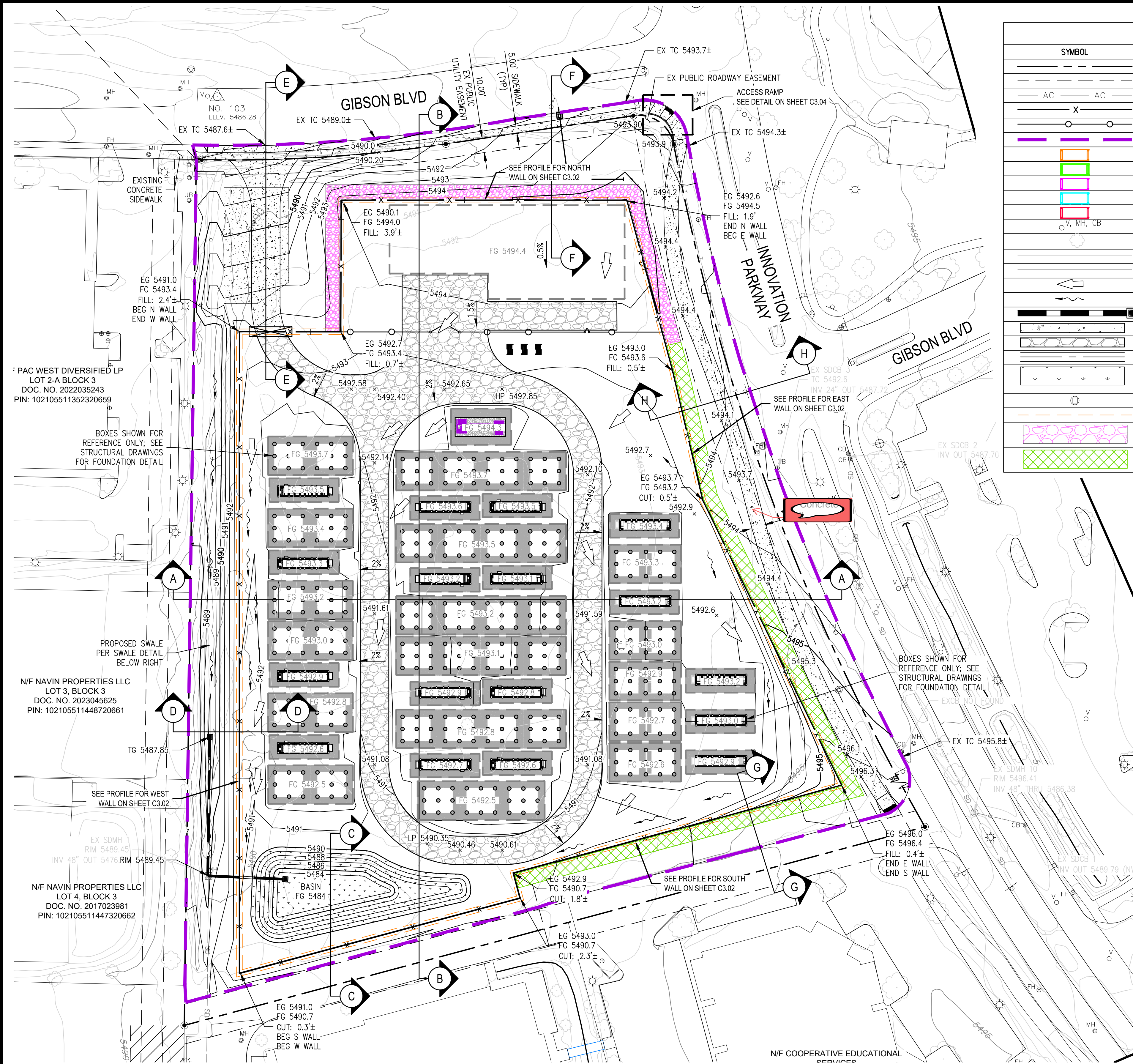
Set in Area of Change Next to	Specific Standards	General Buffering	Buffering in DE-UC-AES-PF
Area of Consistency in R-B, R-L, R-M, or R-T	14-16-5-6(f)(2)	Landscaped buffer area 215 ft.	Wall, fence, or vegetative screen 16 ft.
Area of Consistency in R-M or R-NH	14-16-5-6(f)(3)		
Area of Consistency in Mixed-Use, NR-C, or NR-PD	14-16-5-6(f)(4)		

⁽¹⁾ See subsections 14-16-5-6(f)(5)(a), 14-16-5-6(f)(5)(b), and 14-16-5-6(f)(5)(c) for the complete buffer.

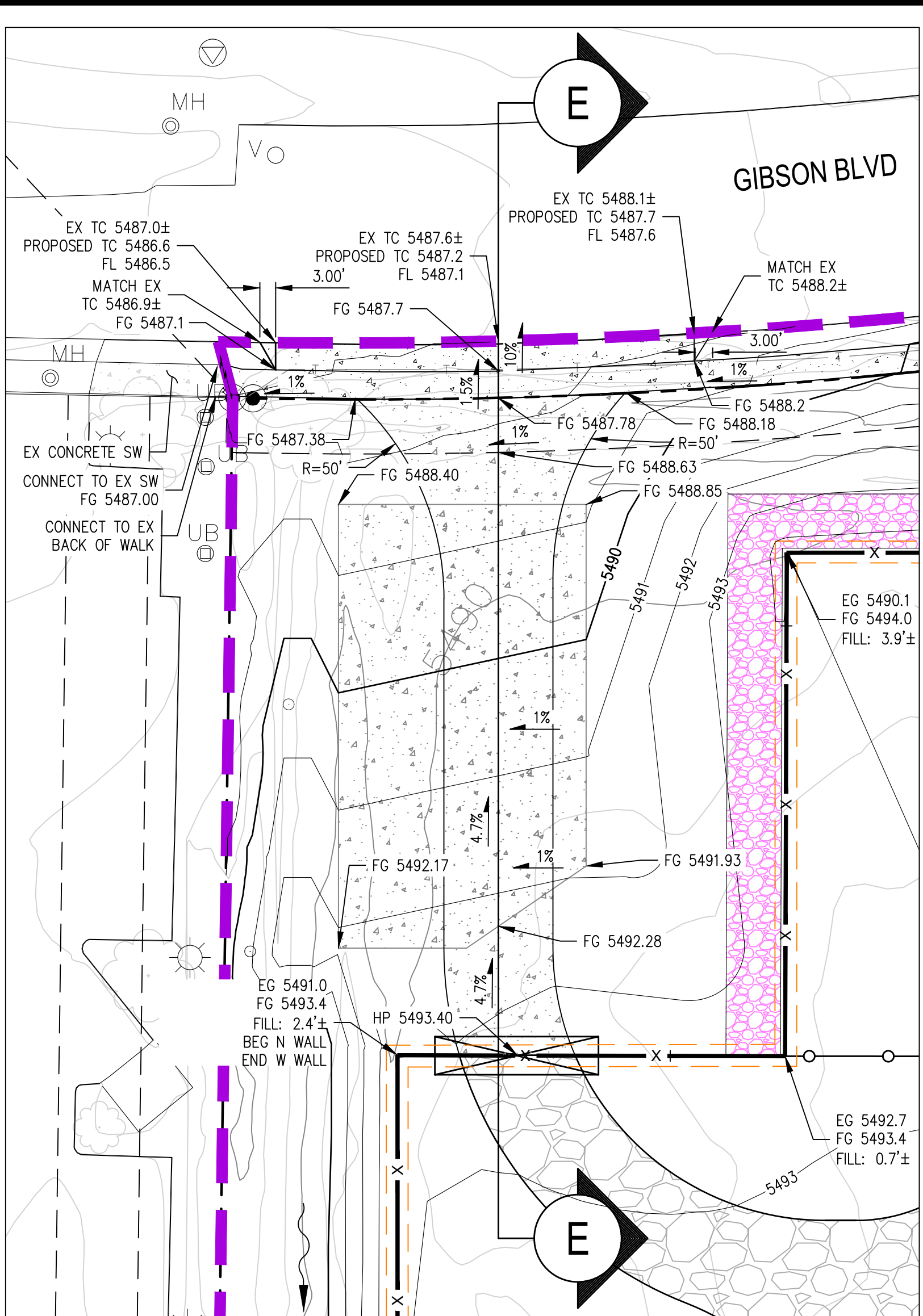
Plant material type (AND types)	Minimum size
Deciduous Street Trees	7 in. caliper @ 6 in. above grade
Deciduous Accent Trees	1.5 in. caliper @ 6 in. above grade or 6 ft. in height
Evergreen Tree	6 ft. in height
Multi-trunk Tree	Minimum 2 trunks with a combined caliper of 2 in.
Shrubs	1 gallon container size
Ground cover and turf	Adequate to provide general ground cover within 1 growing season after planting

Tree Height at Maturity (ft.)	Minimum Planting Area (ft.)
0-20	4 x 4
>20-40	5 x 5
>40	6 x 6

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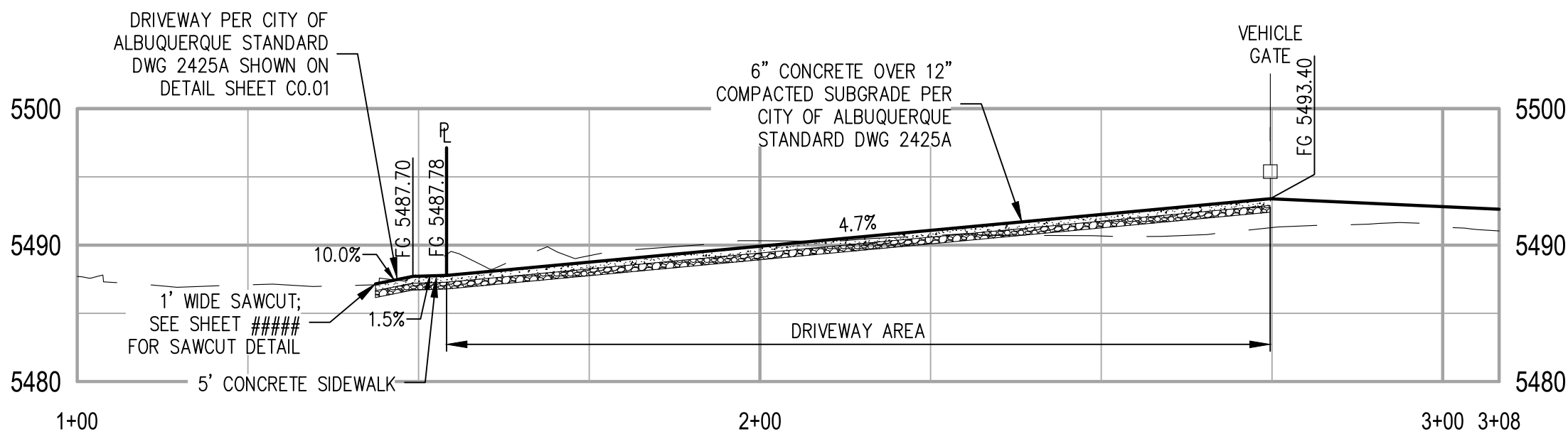


LEGEND	
SYMBOL	DESCRIPTION
	PROPERTY LINE
	EXISTING EASEMENT
	UNDERGROUND AC
	PERIMETER WALL (DESIGN BY OTHERS)
	SUBSTATION FENCE
	LIMIT OF DISTURBANCE
	AUGMENTATION GROUP 1
	AUGMENTATION GROUP 2
	AUGMENTATION GROUP 3
	AUGMENTATION GROUP 4
	AUGMENTATION GROUP 5
	EX STRUCTURES
	EX TREES/VEGETATIONS
	EX MINOR CONTOUR
	EX MAJOR CONTOUR
	OVERLAND DRAINAGE DIRECTION
	DRAINAGE SWALE
	STORM DRAIN MAIN AND STRUCTURE
	PROPOSED CONCRETE
	PROPOSED GRAVEL ROADWAY
	PROPOSED DRAINAGE SWALE
	PROPOSED STORMWATER BASIN
	EX WELL
	GRADE BREAK
	ELECTRICALLY RESISTIVE ROCK
	LANDSCAPE BUFFER



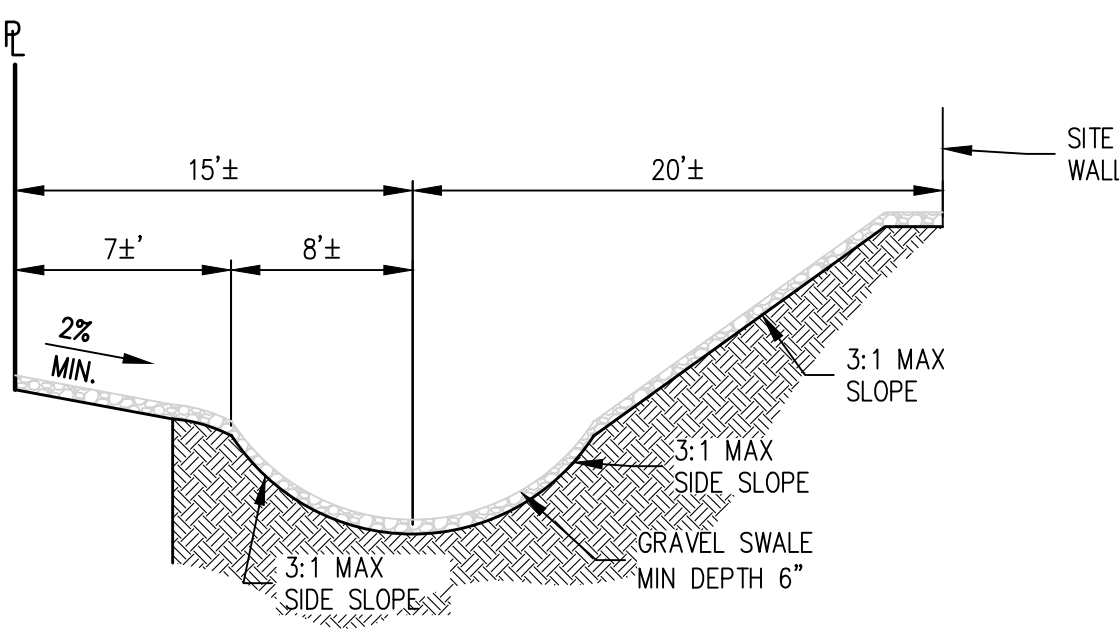
DRIVEWAY DESIGN DETAIL

SCALE: 1"=20'
NOTE: DRIVEWAY SECTION PER CITY OF ALBUQUERQUE STANDARD DWG 2425A
SHOWN ON DETAIL SHEET C0.01



SECTION E

HORIZ: 1"=20'
VERT: 1"=10'



SEWER DETAIL

NOT TO SCALE

EARTHWORK ESTIMATE

	CUT	FILL
RAW GRADING	4,546 CY	6,537 CY
SUBSTATION GRAVEL	233 CY	CY
BESS GRAVEL	942 CY	CY
ROADWAY GRAVEL	650 CY	CY
CONCRETE	166 CY	CY
SUBTOTAL	6,537 CY	6,537 CY
NET EXPORT	0 CY	

GRADING NARRATIVE:
THE EXISTING SITE IS UNDEVELOPED AND RANGES FROM ELEVATIONS 5489 TO 5495. THE ADJACENT PROPERTY IS FLAT WITH OFFICE BUILDINGS TO THE WEST AND SOUTH AND ROADWAYS. INNOVATION PARKWAY TO THE EAST SLOPES TOWARDS THE EAST INTERSECTION OF INNOVATION PARKWAY AND GIBSON BLVD. GIBSON BLVD TO THE NORTH SLOPES TOWARDS THE WEST. THE PROPOSED PROJECT WILL BE GRADED WITH A 2:1 MAX SLOPE FROM EXISTING GROUND UP TO ELEVATION 5496-5499 TO PROTECT THE PROPOSED INFRASTRUCTURE.



STACEY GELLA
NEW MEXICO
29498
PROFESSIONAL ENGINEER

PUBLIC SERVICE COMPANY OF NEW MEXICO

SANDIA BESS SITE

SITE LAYOUT AND GRADING PLAN

CONSTRUCTION DOCUMENTS

ENGINEERING
SURVEYING • PLANNING

1801 SAN ANGELO DRIVE, SUITE 100
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 836-8888
WWW.PNH.COM

DATE: 03/13/2025

SCALE: 1"=40'

HORIZ: N/A

VERT: N/A

DESIGNED BY: AMP

REVIEWED BY: SDG

C3.01

PAGE 8 OF 15

ISSUED FOR CONSTRUCTION

3/11/2025

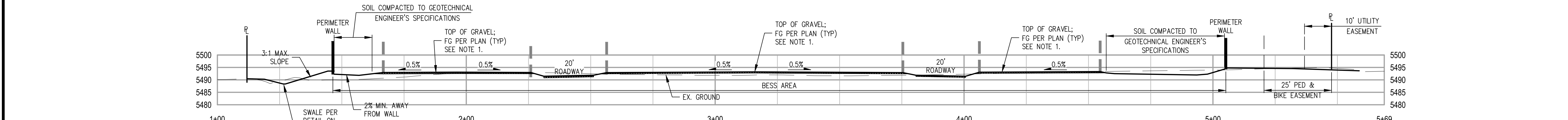
DATE

NO.

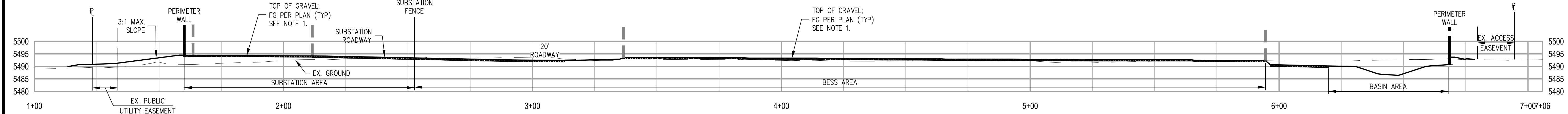
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AGENCY

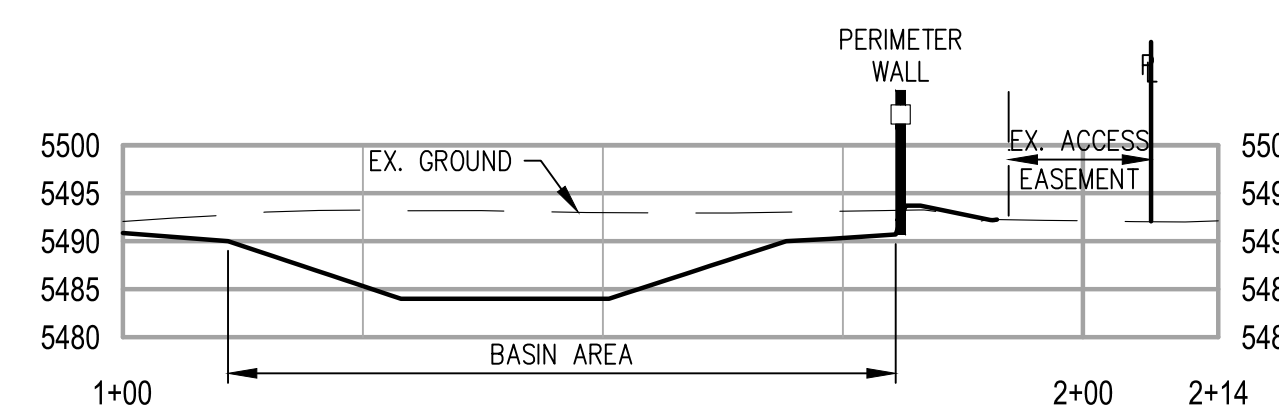
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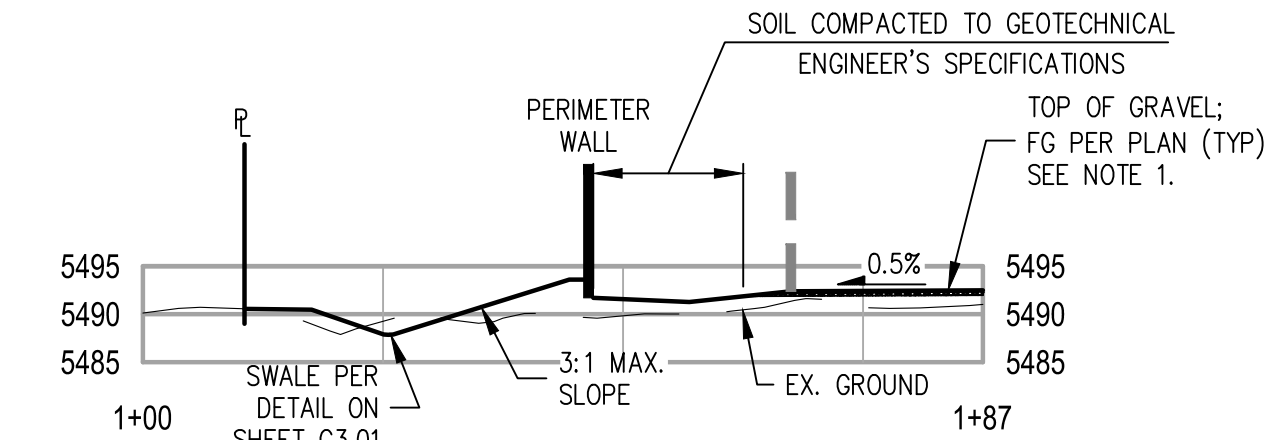
SECTION A
HORZ: 1"=20'
VERT: 1"=20'



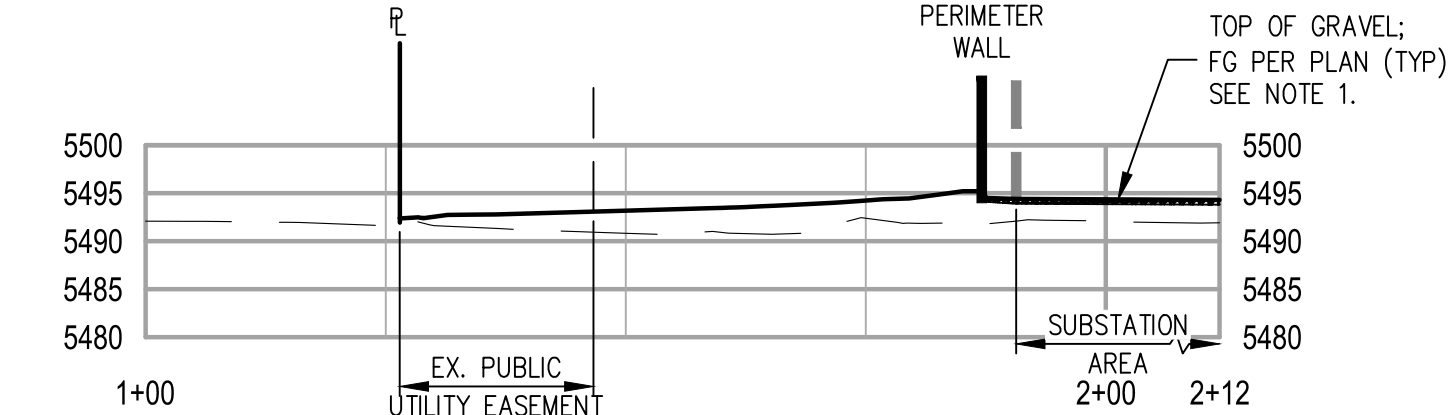
SECTION B
HORZ: 1"=20'
VERT: 1"=20'



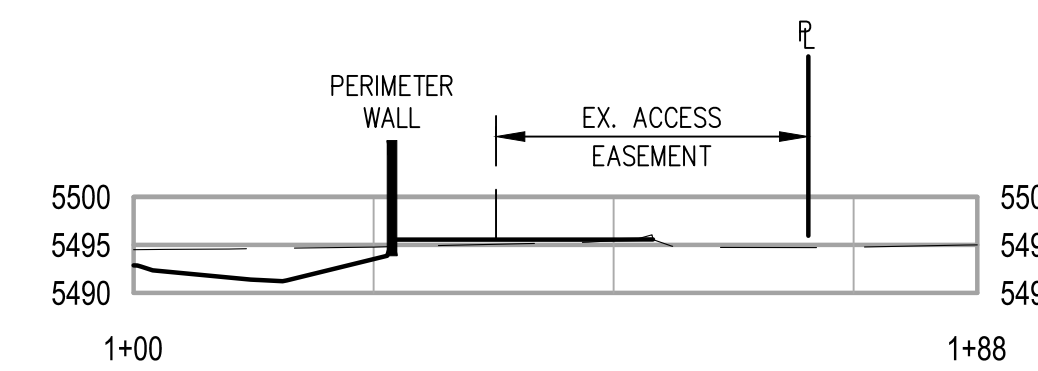
SECTION C
HORZ: 1"=20'
VERT: 1"=20'



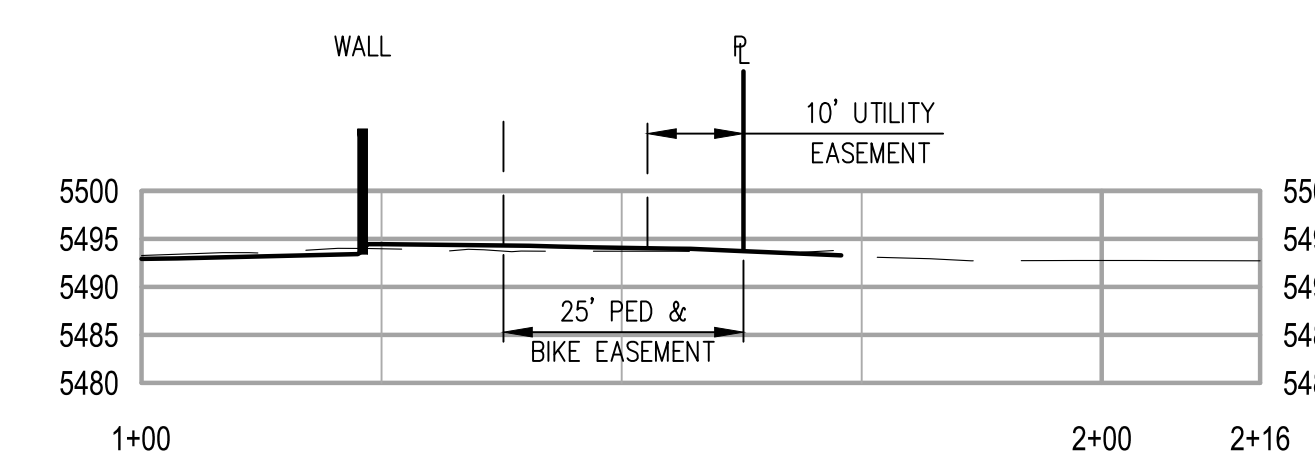
SECTION D
HORZ: 1"=20'
VERT: 1"=20'



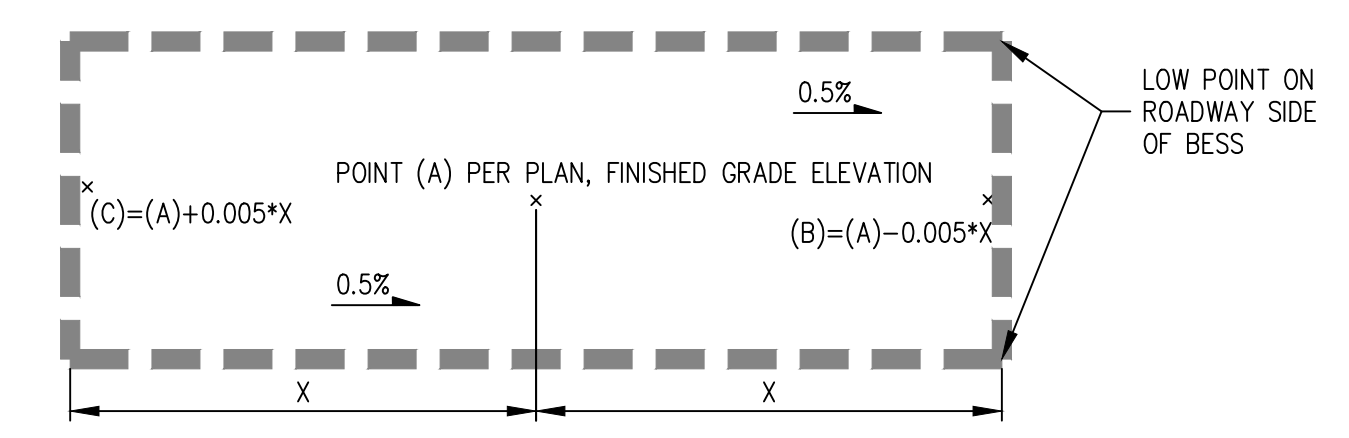
SECTION F
HORZ: 1"=20'
VERT: 1"=20'



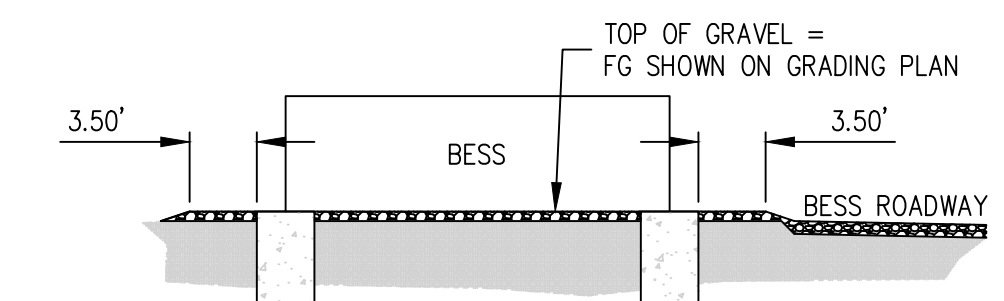
SECTION G
HORZ: 1"=20'
VERT: 1"=20'



SECTION H
HORZ: 1"=20'
VERT: 1"=20'



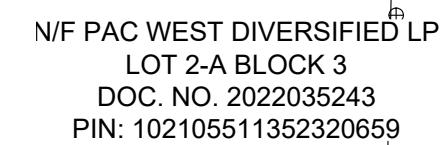
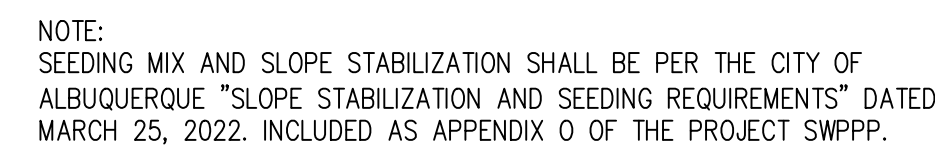
TYPICAL BESS GRADING DETAIL
NOT TO SCALE



TYPICAL FOUNDATION SECTION
NOT TO SCALE
SEE STRUCTURAL PLANS PREPARED BY OTHERS FOR
FOUNDATION DESIGN DETAILS AND REQUIREMENTS

NOTE:
1. SEE STRUCTURAL PLANS FOR TYPICAL FOUNDATION
SECTIONS FOR BESS, PCS, AND SUB-STATION.

AGENCY	dk
ISSUED FOR CONSTRUCTION	DESCRIPTION
1	3/11/2025
NO.	DATE
STACEY GELLA NEW MEXICO 29498 PROFESSIONAL ENGINEER	
PUBLIC SERVICE COMPANY OF NEW MEXICO SANDIA BESS SITE GRADING SECTIONS CONSTRUCTION DOCUMENTS APN 1-021-055-162-512-2-06-67 NEW MEXICO CITY OF ALBUQUERQUE	
PNM PHONE (505) 824-8888 DASH@PNM.COM	
ENGINEERING SURVEYING • PLANNING 1821 SAN ANGELO DRIVE, SUITE 100 IRVING, TEXAS 75039	
DATE: 03/13/2025	
SCALE: HORZ: 1"=40' VERT: N/A	
DESIGNED BY: AMP	
REVIEWED BY: SDG	
C3.03	
PAGE 10	OF 15









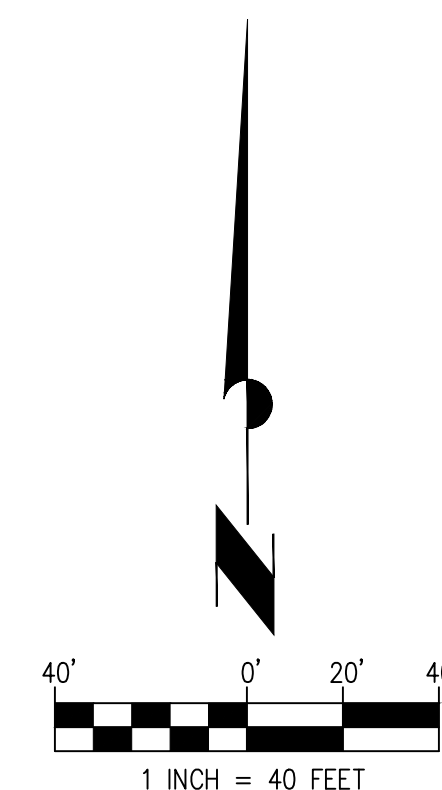
N/F NAVIN PROPERTIES LLC
LOT 3, BLOCK 3
DOC. NO. 2023045625
PIN: 102105511448720661

N/F NAVIN PROPERTIES LLC
LOT 4, BLOCK 3
DOC. NO. 2017023981
PIN: 102105511447320662

DMA 1 AREA SUMMARY			
TOTAL TREATABLE AREA	IMPERVIOUS AREA	REQUIRED TREATMENT	PROVIDED TREATMENT
159,378 SF	25,041	0.032 AC-FOOT	0.036 AC-FOOT

CITY OF ALBUQUERQUE DESIGN MANUAL DATED 2020:
FOR REQUIRED TREATMENT VOLUME (GALLONS), MULTIPLY THE PROPOSED IMPERVIOUS AREA BY 0.42 INCHES.

LEGEND	
SYMBOL	DESCRIPTION
	PROPOSED TREATMENT AREA
	PROPOSED IMPERVIOUS AREA TREATED BY BASIN
	PROPOSED BASIN FOOTPRINT
	PROPOSED IMPERVIOUS AREA OUTSIDE TREATMENT AREA, DIRECTED TO ADJACENT LANDSCAPING
	ELECTRICALLY RESISTIVE ROCK(SEE ELECTRICAL DRAWINGS)
	LANDSCAPE BUFFER



DATE: 03/13/2025

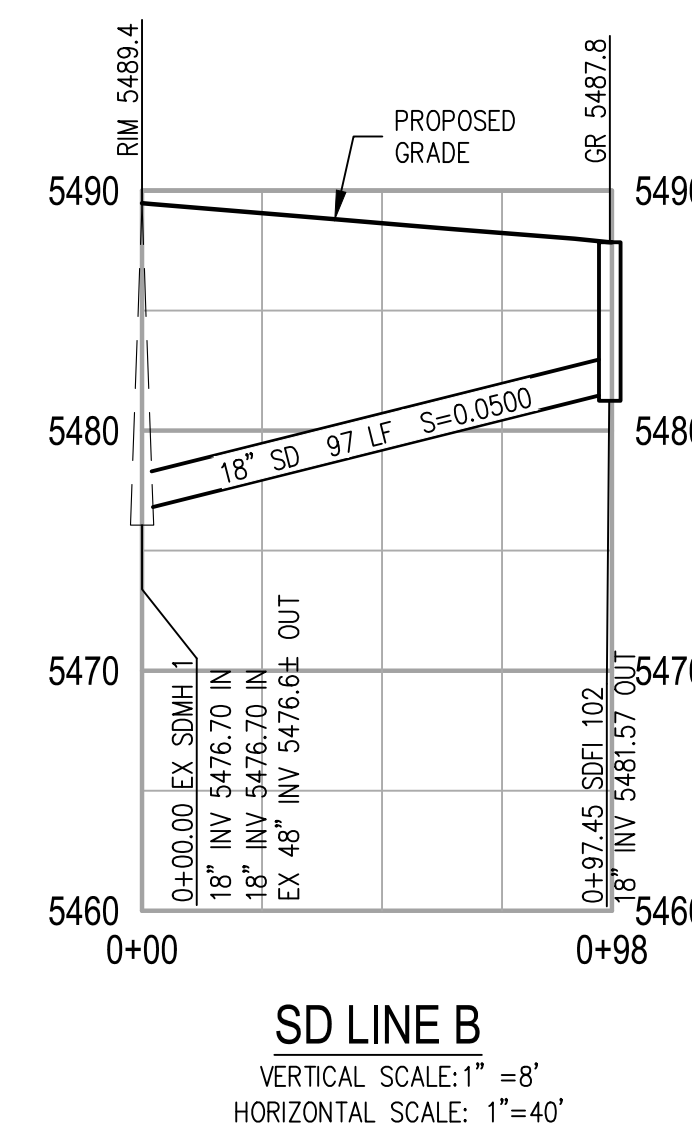
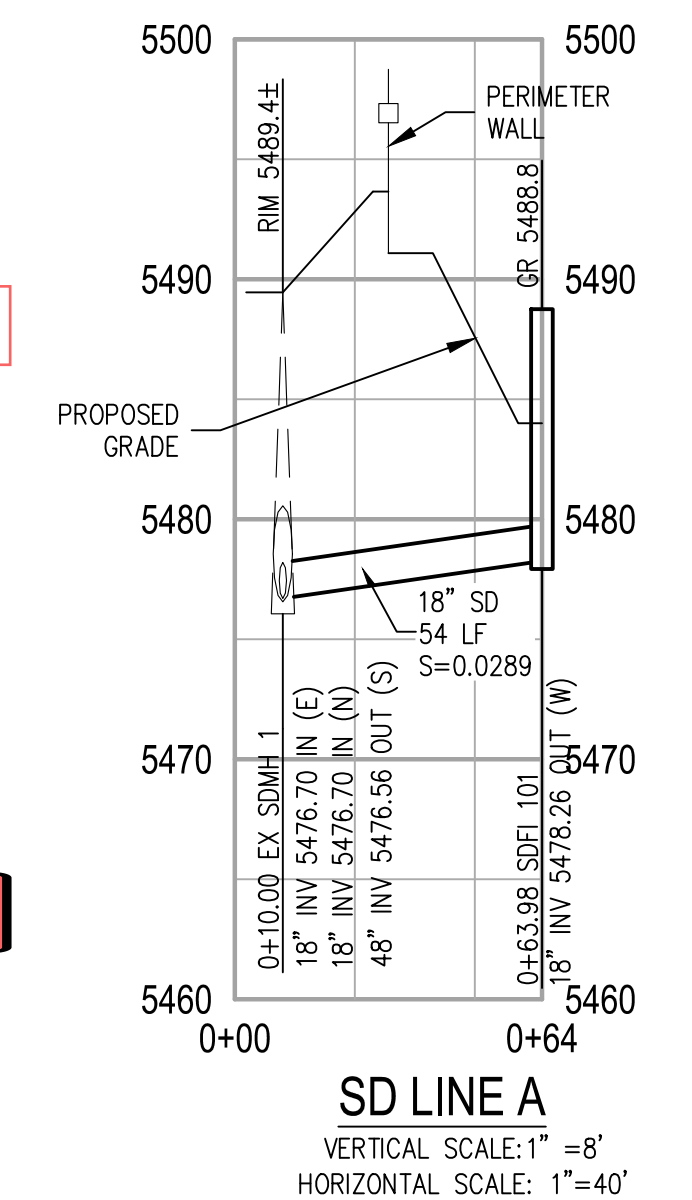
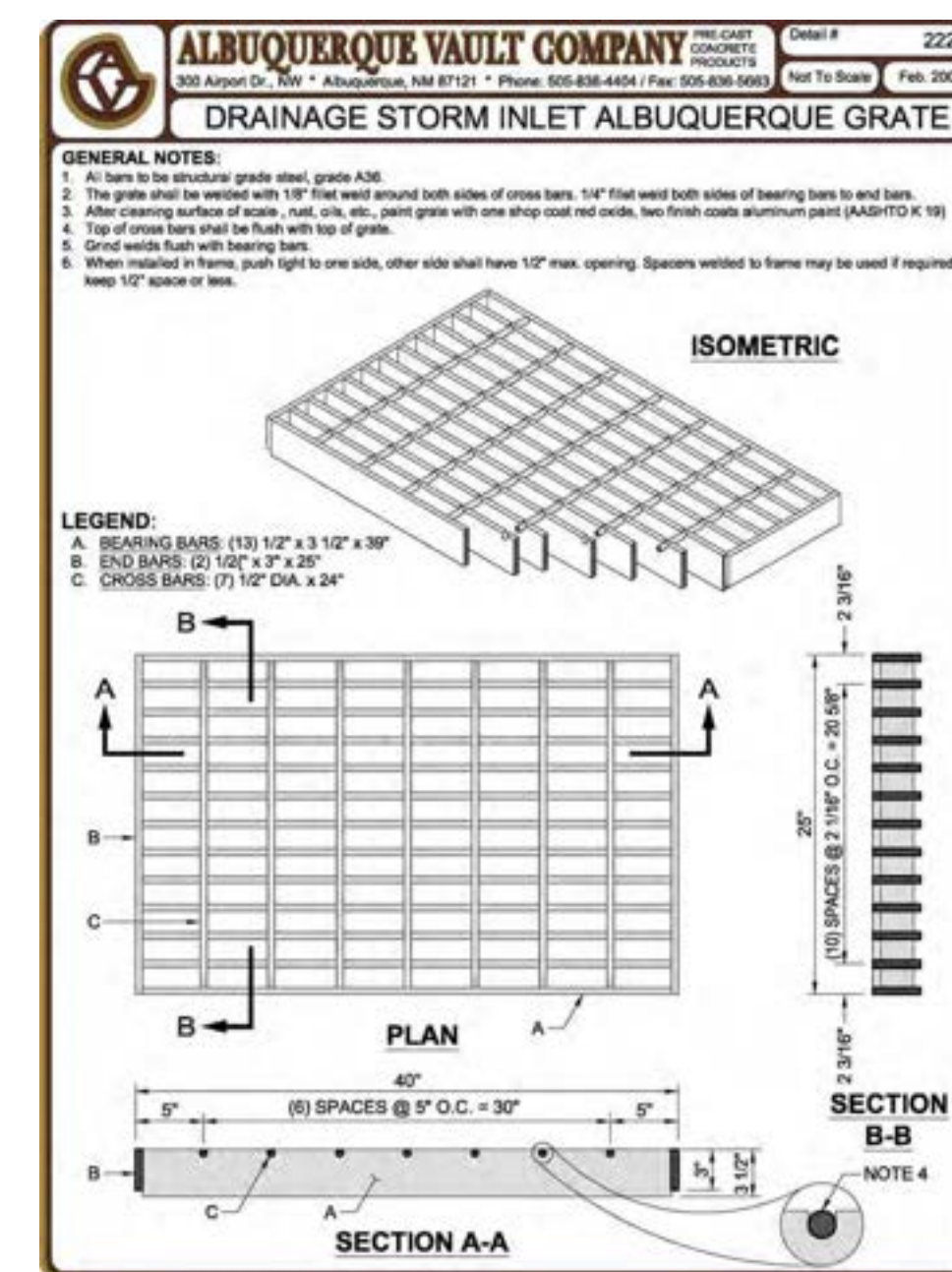
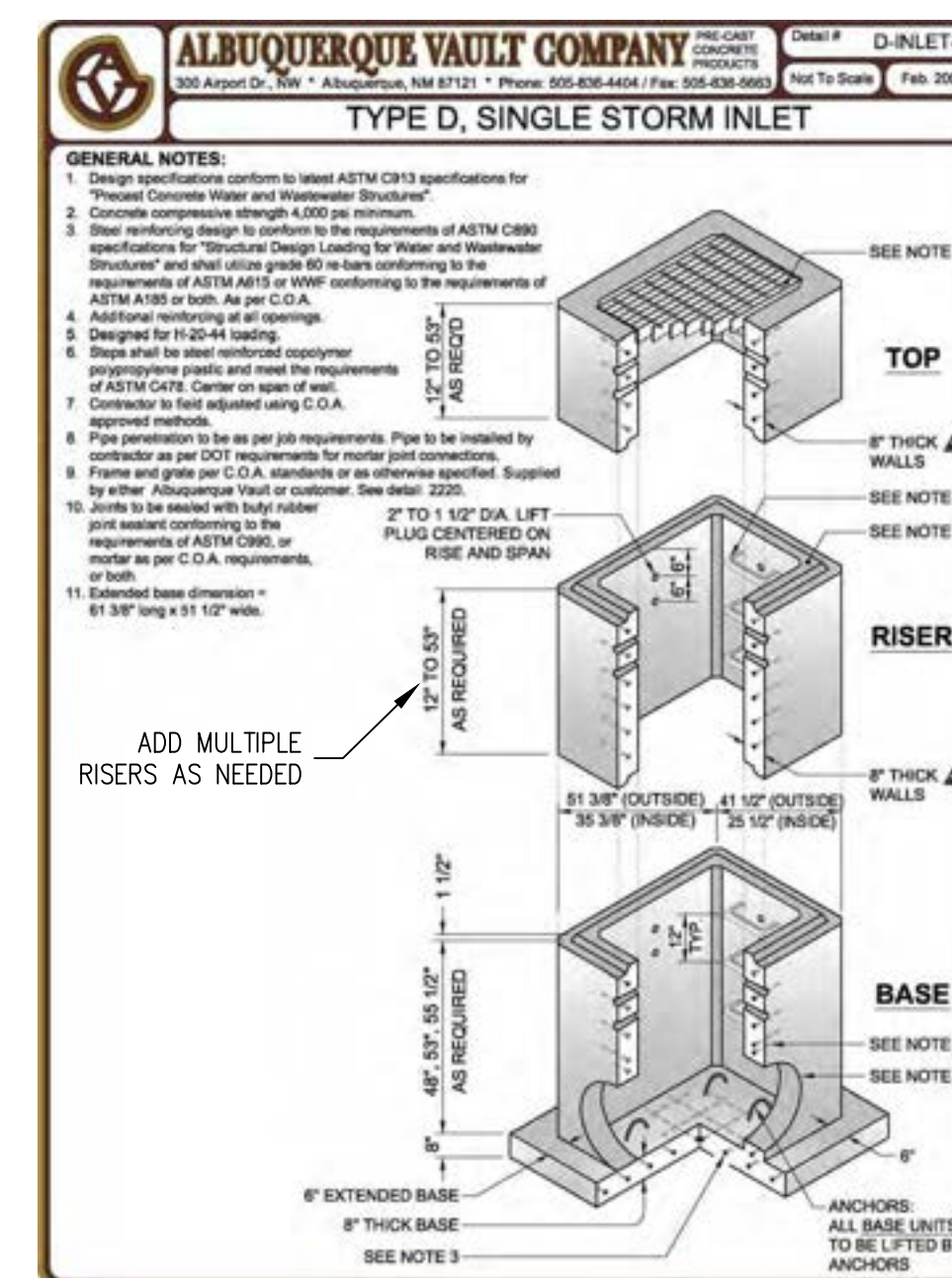
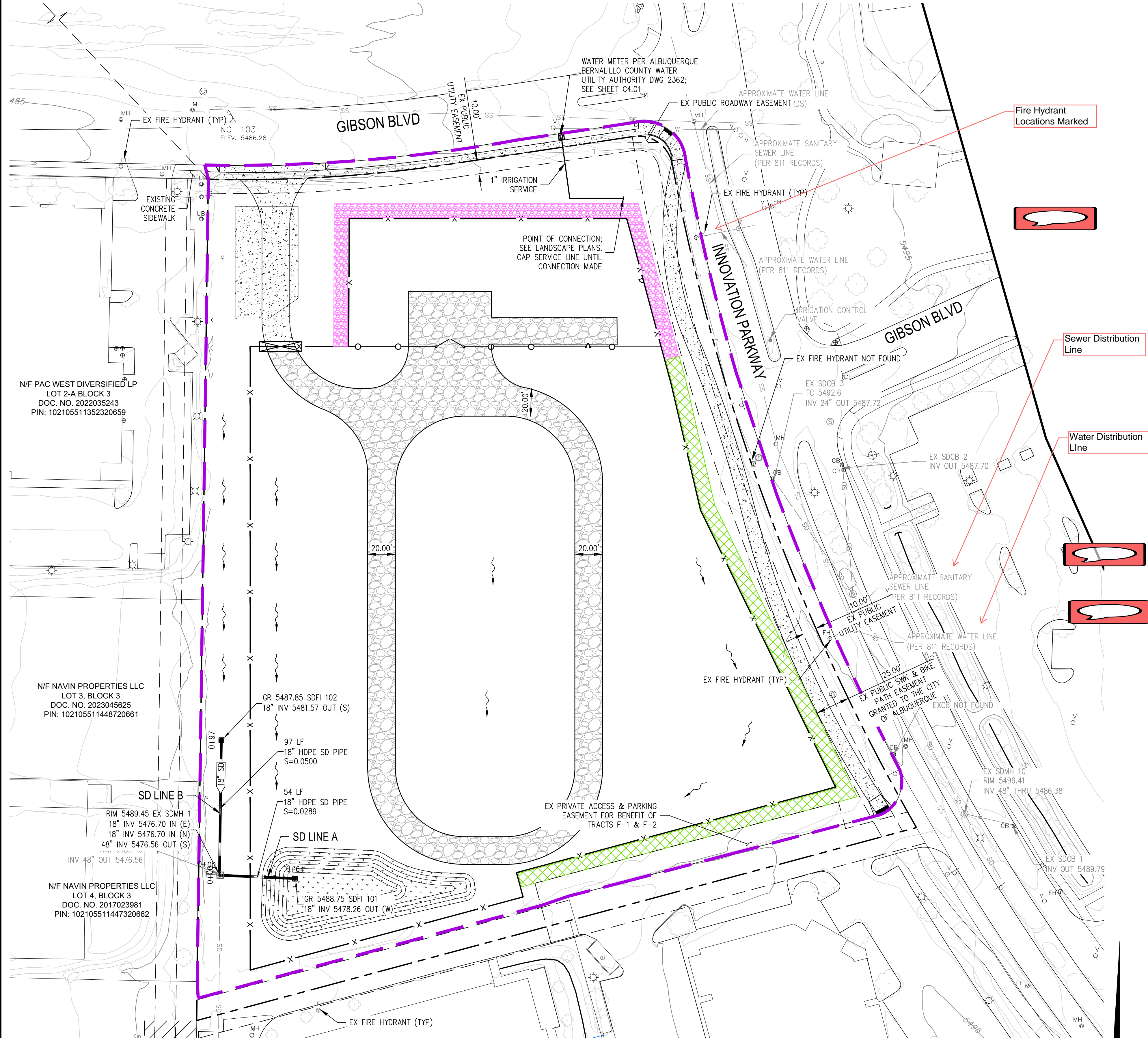
SCALE:
HORZ. 1"=40'
VERT. N/A

DESIGNED BY: AMP

REVIEWED BY: SDG

C5.00

PAGE 15 OF 15



LEGEND	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	EXISTING EASEMENT
X	PERIMETER WALL (DESIGN BY OTHERS)
---	SUBSTATION FENCE
---	LIMIT OF DISTURBANCE
---	EX STRUCTURES
---	EX TREES/VEGETATIONS
---	EX MINOR CONTOUR
---	EX MAJOR CONTOUR
---	DRAINAGE SWALE
---	STORM DRAIN MAIN AND STRUCTURE
---	IRRIGATION SERVICE LINE & METER
---	PROPOSED CONCRETE
---	PROPOSED GRAVEL ROADWAY
---	PROPOSED BASIN
---	EX FIRE HYDRANT
---	EX SEWER MAIN LINE
---	EX STORM DRAIN MAIN LINE
---	EX WATER MAIN LINE
---	EX COMMUNICATIONS LINE
---	ELECTRICALLY RESISTIVE ROCK (SEE ELECTRICAL DRAWINGS)
---	PROPOSED MONOPOLE LOCATION
---	LANDSCAPE BUFFER

IRRIGATION LINE SCHEDULE		
DESCRIPTION	DETAIL	QUANTITY
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY WATER METER	SEE SHEET C4.01	1 EA
PIPES		
1" IRRIGATION SERVICE		90 LF

STORM DRAIN SCHEDULE			
DESCRIPTION	STRUCTURE	DETAIL	QUANTITY
ALBUQUERQUE VAULT COMPANY DRAINAGE STORM INLET ALBUQUERQUE GRATE	SDFI 101-105	SEE THIS SHEET	2 EA
ALBUQUERQUE VAULT COMPANY TYPE D, SINGLE STORM INLET	SDFI 101-105	SEE THIS SHEET	2 EA
PIPES			
18" PVC (SDR 35)			151 LF



AGENCY

DESCRIPTION

DATE

NO.

1

3/11/2025

ISSUED FOR CONSTRUCTION

STACEY GELLA

NEW MEXICO

29498

PROFESSIONAL ENGINEER

PUBLIC SERVICE COMPANY OF NEW MEXICO

SANDIA BESS SITE

UTILITY PLAN

CONSTRUCTION DOCUMENTS

APN 1-021-055-162-512-2-06-67

CITY OF ALBUQUERQUE

NEW MEXICO

ENGINEERING

SURVEYING • PLANNING

1801 SAN ANGELO DRIVE, SUITE 100

ALBUQUERQUE, NM 87102

PHONE (505) 262-8888

DAC@PJM.COM

DATE:

03/13/2025

SCALE:

HORIZ. 1"=40'

VERT. N/A

DESIGNED BY:

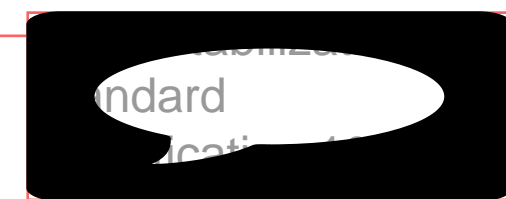
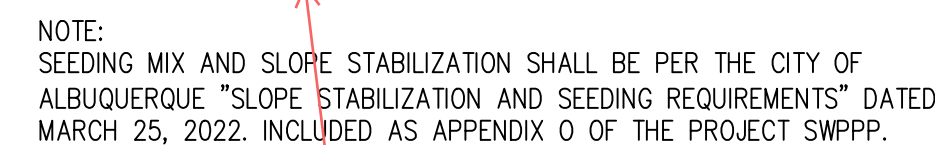
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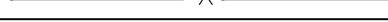


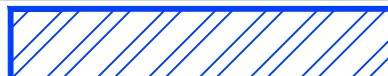


REVIEWED BY:

SDG

C4.00

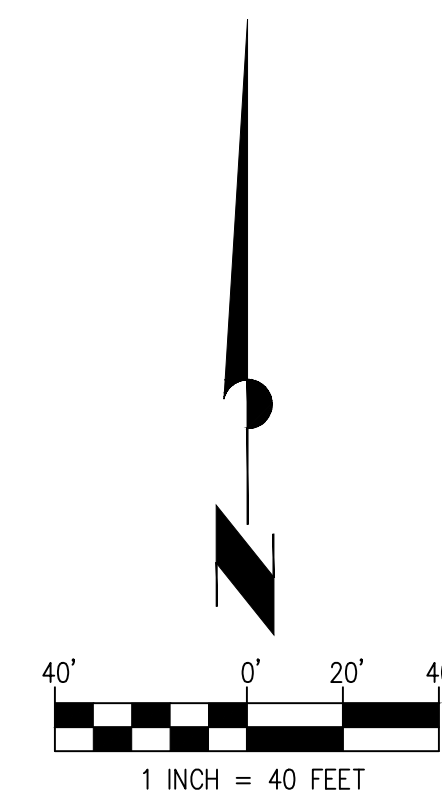
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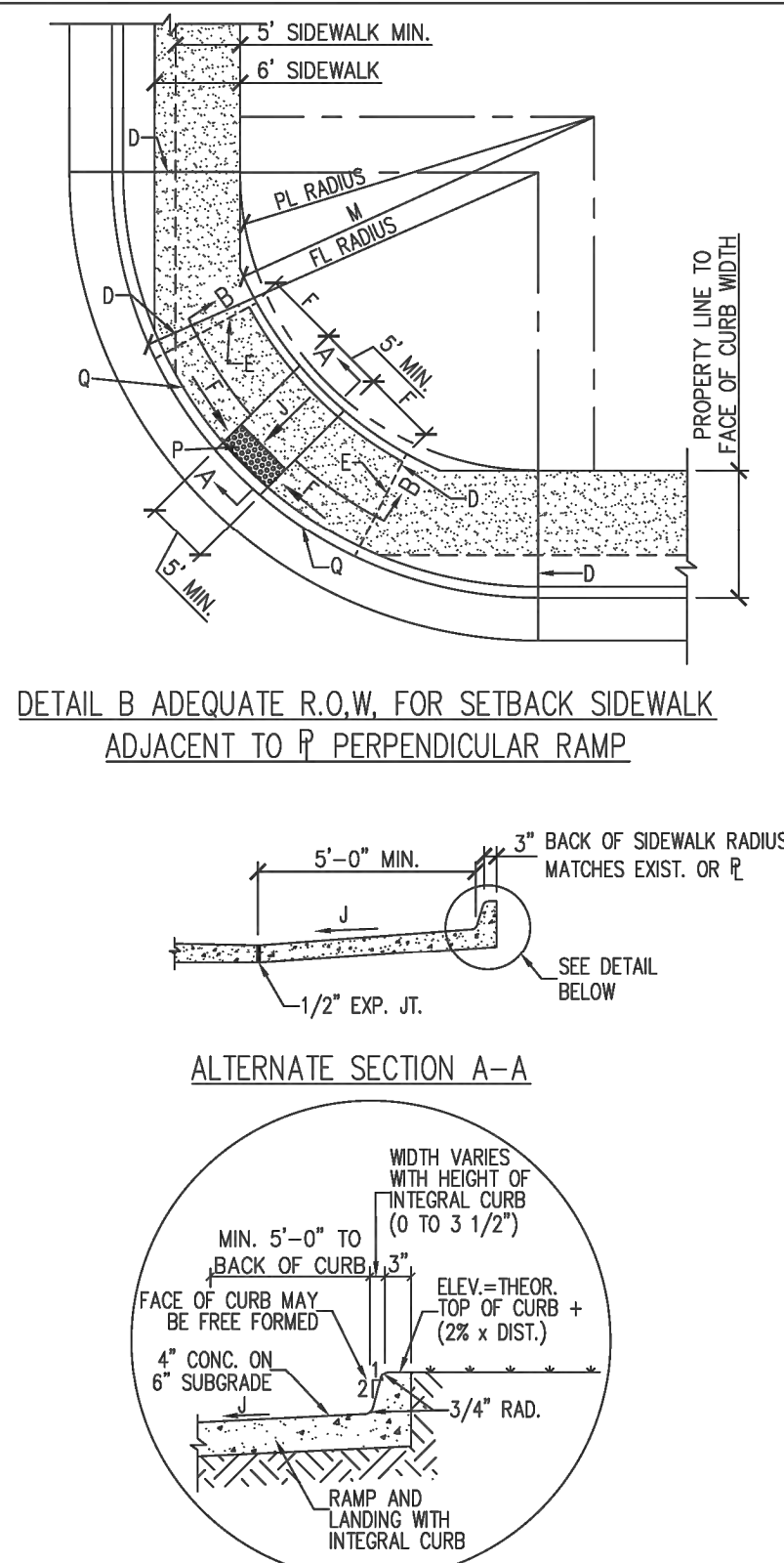
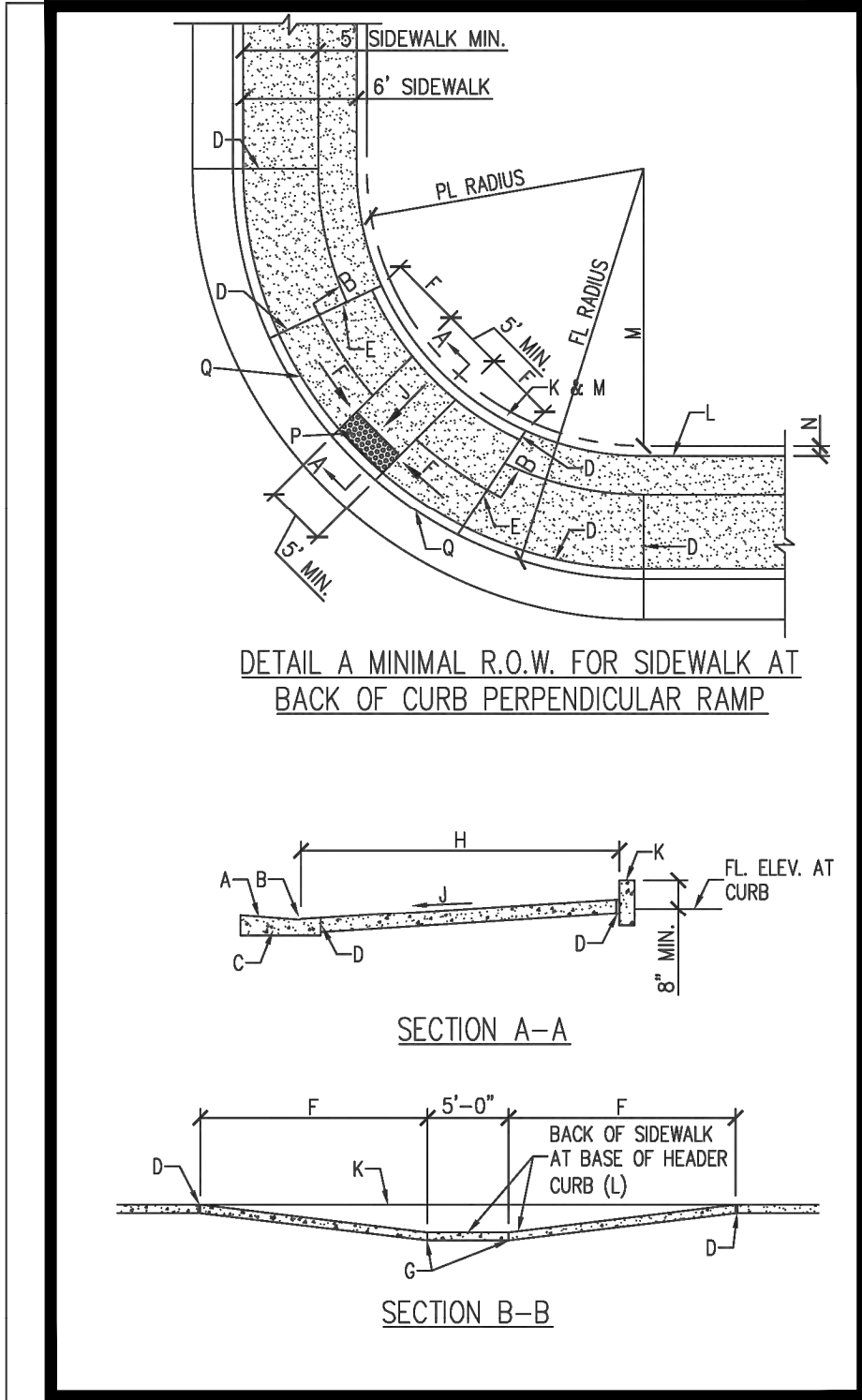


LEGEND	
SYMBOL	DESCRIPTION
	PROPOSED TREATMENT AREA
	PROPOSED IMPERVIOUS AREA TREATED BY BASIN
	PROPOSED BASIN FOOTPRINT
	PROPOSED IMPERVIOUS AREA OUTSIDE TREATMENT AREA, DIRECTED TO ADJACENT LANDSCAPING
	ELECTRICALLY RESISTIVE ROCK(SEE ELECTRICAL DRAWINGS
	LANDSCAPE BUFFER

DMA 1 AREA SUMMARY			
TOTAL TREATABLE AREA	IMPERVIOUS AREA	REQUIRED TREATMENT	PROVIDED TREATMENT
159,378 SF	25,041	0.032 AC-FOOT	0.036 AC-FOOT

CITY OF ALBUQUERQUE DESIGN MANUAL DATED 2020:
FOR REQUIRED TREATMENT VOLUME (GALLONS), MULTIPLY THE PROPOSED IMPERVIOUS AREA BY 0.42 INCHES.





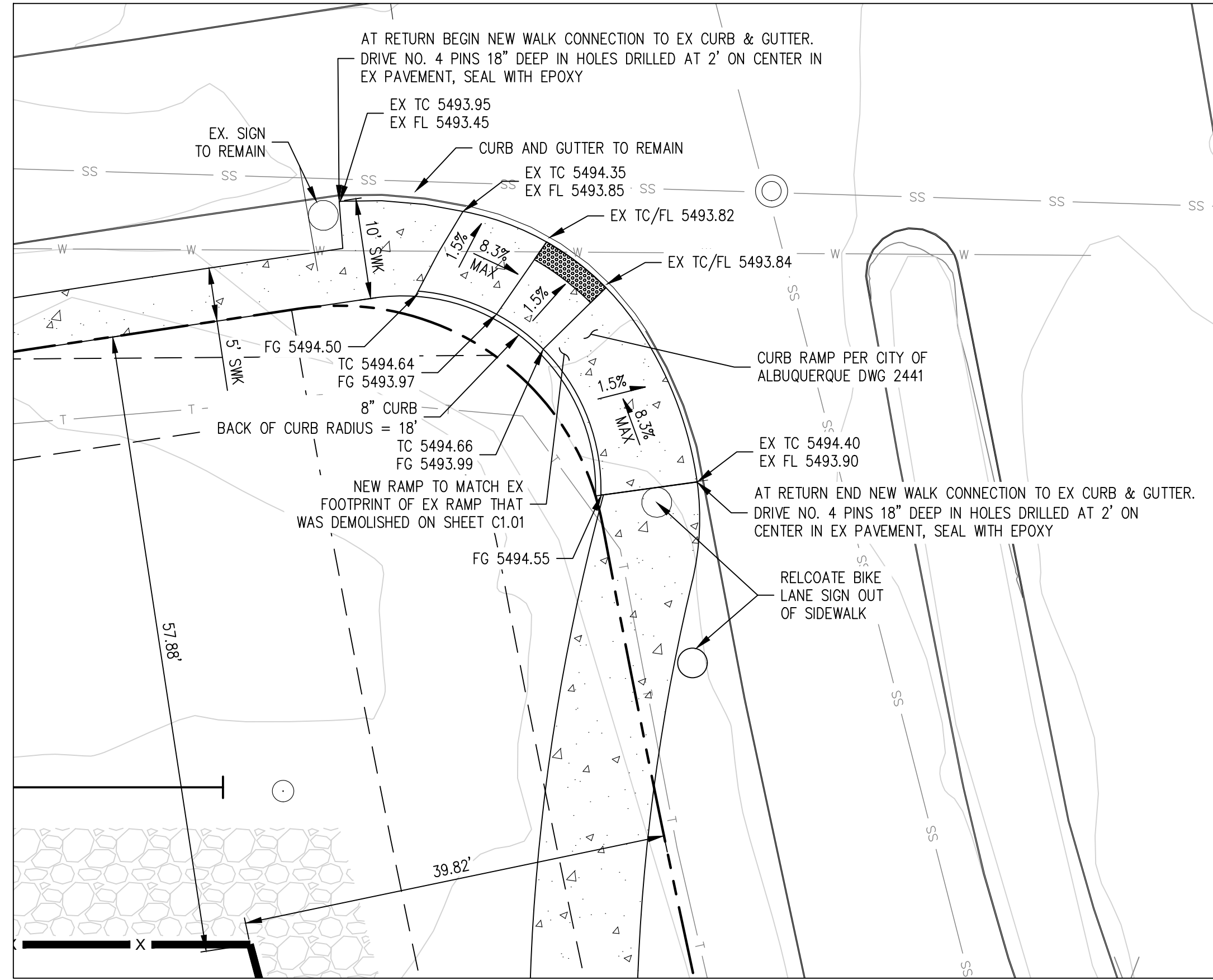
GENERAL NOTES

- CURB ACCESS RAMPS ARE NORMALLY TO BE LOCATED AT THE CENTER OF THE RETURN OR AS DIRECTED BY THE CITY TRAFFIC ENGINEER.
- WHEN MODIFYING ONE QUADRANT OF AN INTERSECTION TO IMPROVE ACCESSIBILITY, MODIFY THE REMAINING QUADRANTS SO THAT ALL QUADRANTS OF THE INTERSECTION COMPLY WITH ADA (PROWAG) REGULATIONS AS SHOWN ON PLANS.
- SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY HEAVY BROOMING (TEXTURE DEPTH .0625"), TRANSVERSE TO THE SLOPE OF THE RAMP.
- GUTTER FLOW-LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP. DRAINAGE CATCH BASIN STRUCTURES SHALL NOT BE PLACED IN LINE WITH RAMPS.
- WIDTH OF SIDEWALK AND RAMP MUST BE MAINTAINED AT A MINIMUM OF 5'-0" THROUGH ENTIRE RAMP LENGTH.

CONSTRUCTION NOTES

- SLOPE OF GUTTER NOT TO EXCEED 2% ADJACENT TO RAMP. 1.5% PREFERRED.
- FLUSH WITH RAMP AND GUTTER.
- CURB AND GUTTER (SEE STD. DWG. 2415 - GUTTER AT CURB ACCESS RAMP).
- 1/2" EXPANSION JOINT.
- RADIAL LINES - TOP AND BOTTOM OF RAMP.
- 8.3% MAX. SLOPE OF RAMP, 7% PREFERRED SLOPE OF RAMP.
- CONTRACTION JOINT.
- VARIES WITH AVAILABLE R.O.W.
- 2% MAXIMUM CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.
- HEADER CURB, SEE DWG. 2415C.
- BACK OF SIDEWALK.
- BACK OF SIDEWALK RADIUS TO BE ESTABLISHED SO AS TO MAINTAIN A 5'-0" RAMP WIDTH (MINIMUM) THROUGHOUT. SEE STD. DWG. 2440 (NOTE 6) IF LESS THAN 5'-0" IS AVAILABLE DUE TO UNRESOLVABLE CONSTRAINTS.
- 4-1/2" MAX.
- DETECTABLE WARNINGS (SEE STD. DWG. 2446).
- CURB TO MATCH SLOPE OF SIDEWALK.

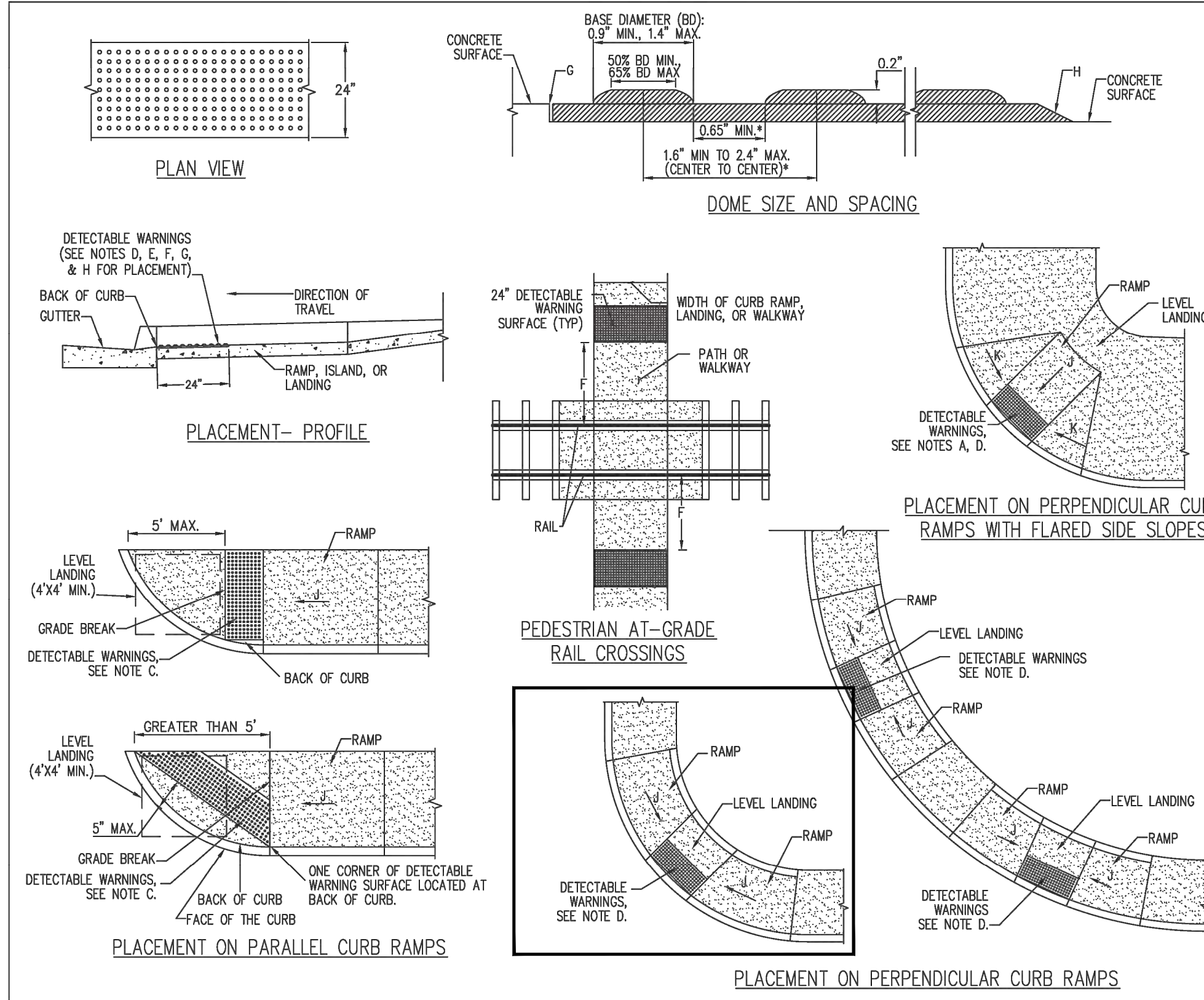
REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CORNER ACCESS RAMP
	DWG. 2441
	JUNE 2019



NOTE:
ALL CONCRETE WORK TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARD SECTION 101 PORTLAND CEMENT CONCRETE.

LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	EXISTING EASEMENT
---	UNDERGROUND AC
X	PERIMETER WALL (DESIGN BY OTHERS)
---	SUBSTATION FENCE
---	LIMIT OF DISTURBANCE
---	POWER CONTROLLER
○ V, MH, CB	EX STRUCTURES
---	EX TREES/VEGETATIONS
---	EX MINOR CONTOUR
---	EX MAJOR CONTOUR
---	PROPOSED CONCRETE
---	PROPOSED GRAVEL ROADWAY
---	PROPOSED DRAINAGE SWALE
---	PROPOSED STORMWATER BASIN
○	EX WELL
---	DETECTABLE WARNING



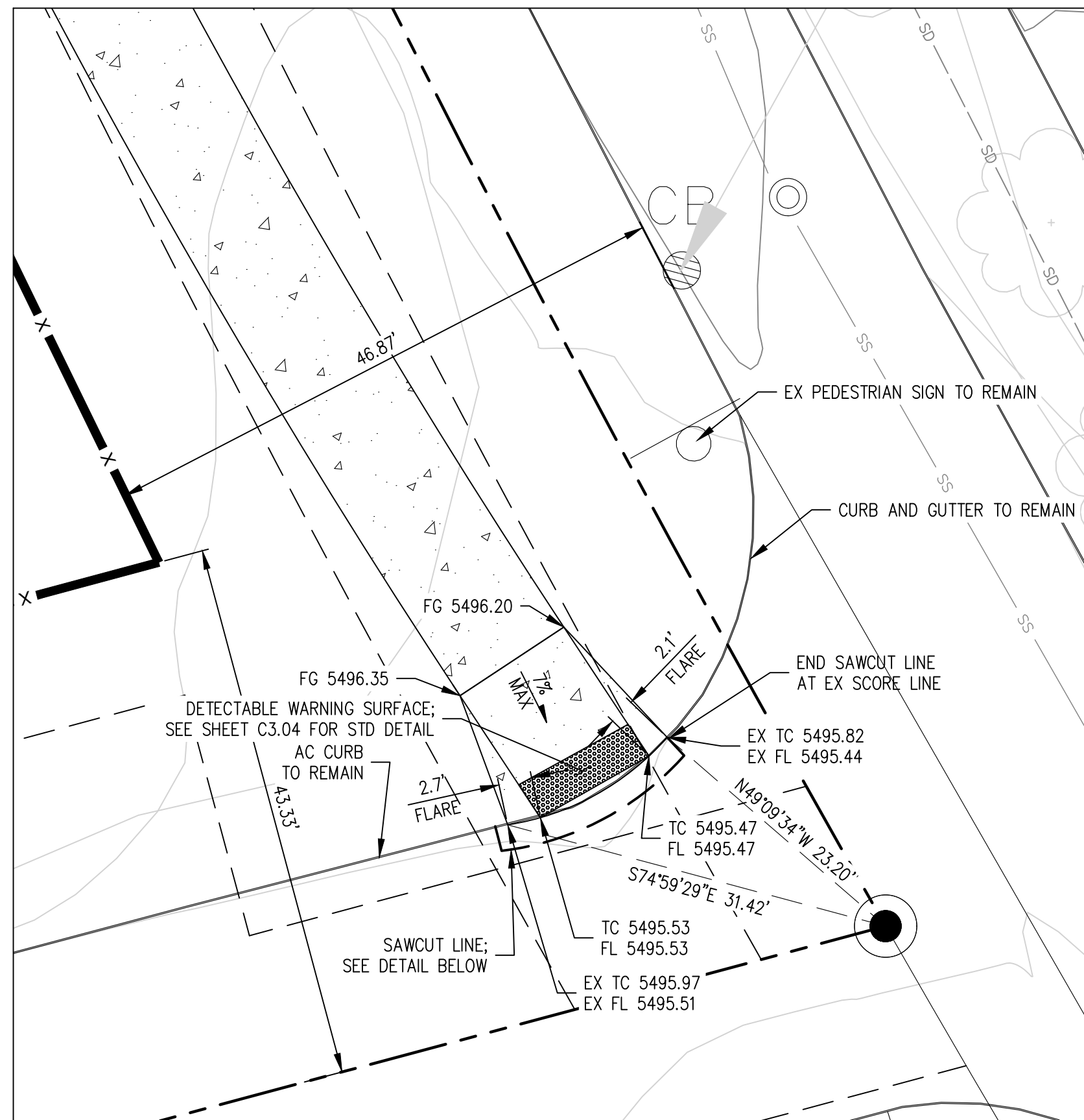
GENERAL NOTES

- PROVIDE DETECTABLE WARNINGS ON ANY CURB RAMP OR LANDING WHERE THE ACCESSIBLE ROUTE CROSSES A PUBLIC STREET. DETECTABLE WARNINGS ARE NOT REQUIRED AT DRIVEWAYS UNLESS THE DRIVEWAY IS PROVIDED WITH TRAFFIC CONTROL DEVICES OR IS PERMITTED TO OPERATE LIKE A PUBLIC STREET AS DETERMINED BY THE CITY ENGINEER.
- SELECT A DETECTABLE WARNING SURFACE THAT CONTRASTS VISUALLY (LIGHT-ON-DARK OR DARK-ON-LIGHT) WITH ADJACENT SURFACES.
- IN NEW CONSTRUCTION, INSTALL CAST-IN-PLACE REPLACEMENT DETECTABLE WARNING PLATES, PANELS, TILES, OR PAVERS. IN RETROFITS, INSTALL SURFACE-APPLIED DETECTABLE WARNING PANELS WITH BEVELED EDGES. SURFACE APPLIED PANELS SHALL BE MECHANICALLY ANCHORED.

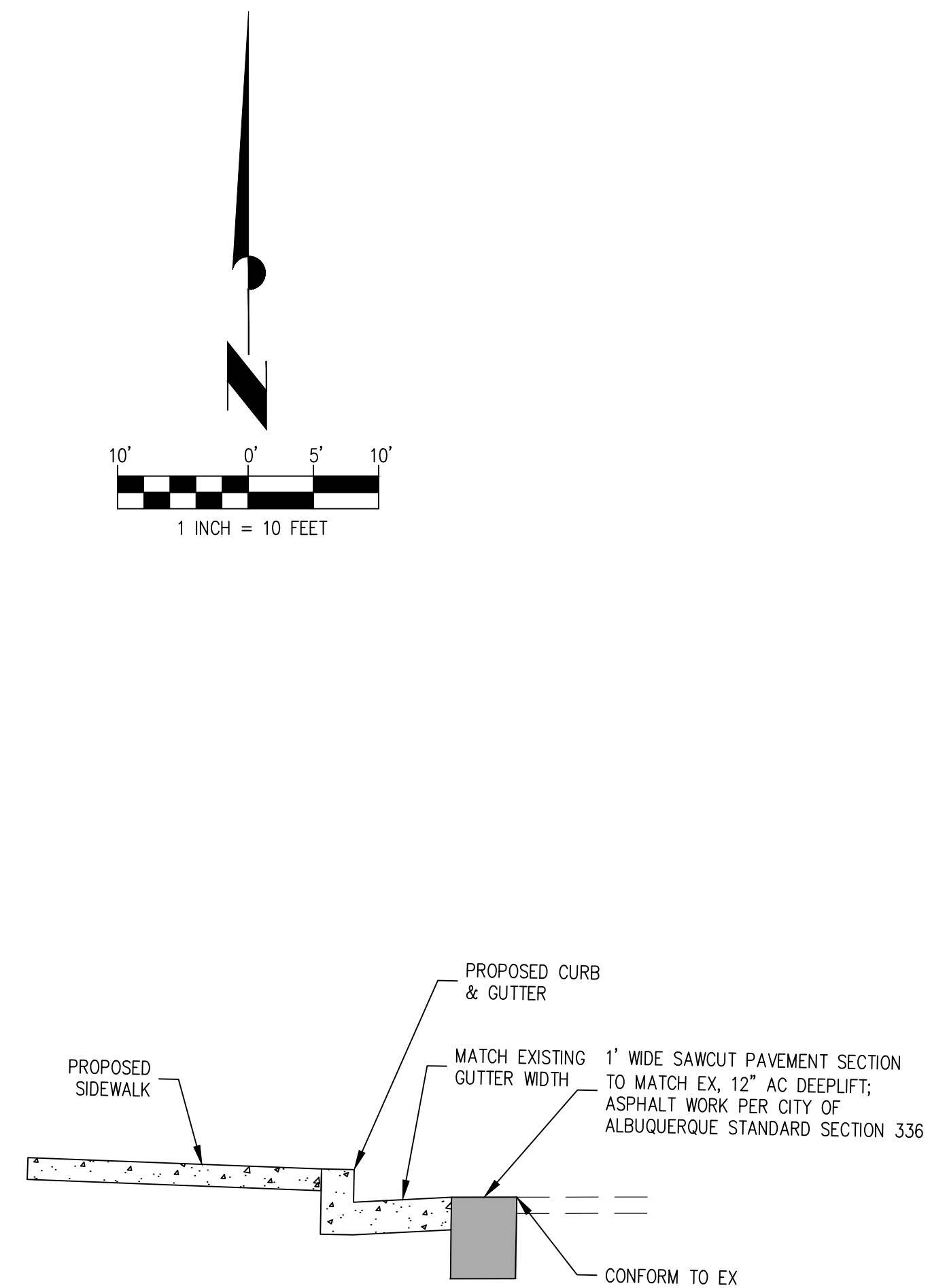
CONSTRUCTION NOTES

- INSTALL DETECTABLE WARNING SURFACE SO THAT IT EXTENDS 24" IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH (NOT INCLUDING SIDE FLARES) OF THE RAMP OR LANDING.
- PLACE DETECTABLE WARNINGS SO THAT THE ROWS OF TRUNCATED DOMES ARE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP OR LANDING AND THE ROADWAY.
- ON PARALLEL CURB RAMPS, PLACE DETECTABLE WARNINGS ON THE RAMP SURFACE AT THE GRADE BREAK IF GRADE BREAK IS WITHIN 5' FROM BACK OF CURB; IF THE GRADE BREAK IS GREATER THAN 5' FROM BACK OF CURB, PLACE DETECTABLE WARNINGS AT A DIAGONAL USING A MAXIMUM DISTANCE OF 5' FROM FACE OF CURB.
- ON PERPENDICULAR CURB RAMPS, PLACE DETECTABLE WARNINGS AT THE BACK OF CURB.
- ON CUT-THROUGH ISLANDS, PLACE DETECTABLE WARNINGS IN LINE WITH THE BACK OF CURB IF DETECTABLE WARNING SURFACES ON THE ENTRANCE AND EXIT SIDES OF THE ISLAND CAN BE SEPARATED BY 2' MIN. OF WALKWAY. IF NECESSARY TO ACHIEVE 2' MIN. SEPARATION, PLACE DETECTABLE WARNINGS IN LINE WITH THE FACE OF CURB. IF THE ISLAND HAS NO CURB, PLACE DETECTABLE WARNINGS AT THE EDGE OF ROADWAY. SEE CDA STD. DWG. 2448.
- PLACE DETECTABLE WARNINGS AT RAIL CROSSINGS SO THAT THE EDGE NEAREST THE RAIL IS 6' TO 15' FROM THE CENTERLINE OF THE NEAREST RAIL. ALIGN ROWS OF TRUNCATED DOMES PARALLEL TO THE DIRECTION OF TRAVEL.
- RECESS OR CAST-IN DETECTABLE WARNINGS SO THAT THE SURFACE TO WHICH THE TRUNCATED DOMES ARE ATTACHED IS FLUSH WITH THE ADJACENT CONCRETE.
- IN RETROFITS, DETECTABLE WARNING MAT MAY BE MECHANICALLY ANCHORED TO THE SURFACE OF THE CONCRETE IF THE MAT EDGE IS BEVELED WITH A MAXIMUM SLOPE OF 2H:1V.
- 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
- SIDE FLARED SLOPES.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	DETECTABLE WARNINGS
	DWG. 2446
	JUNE 2019



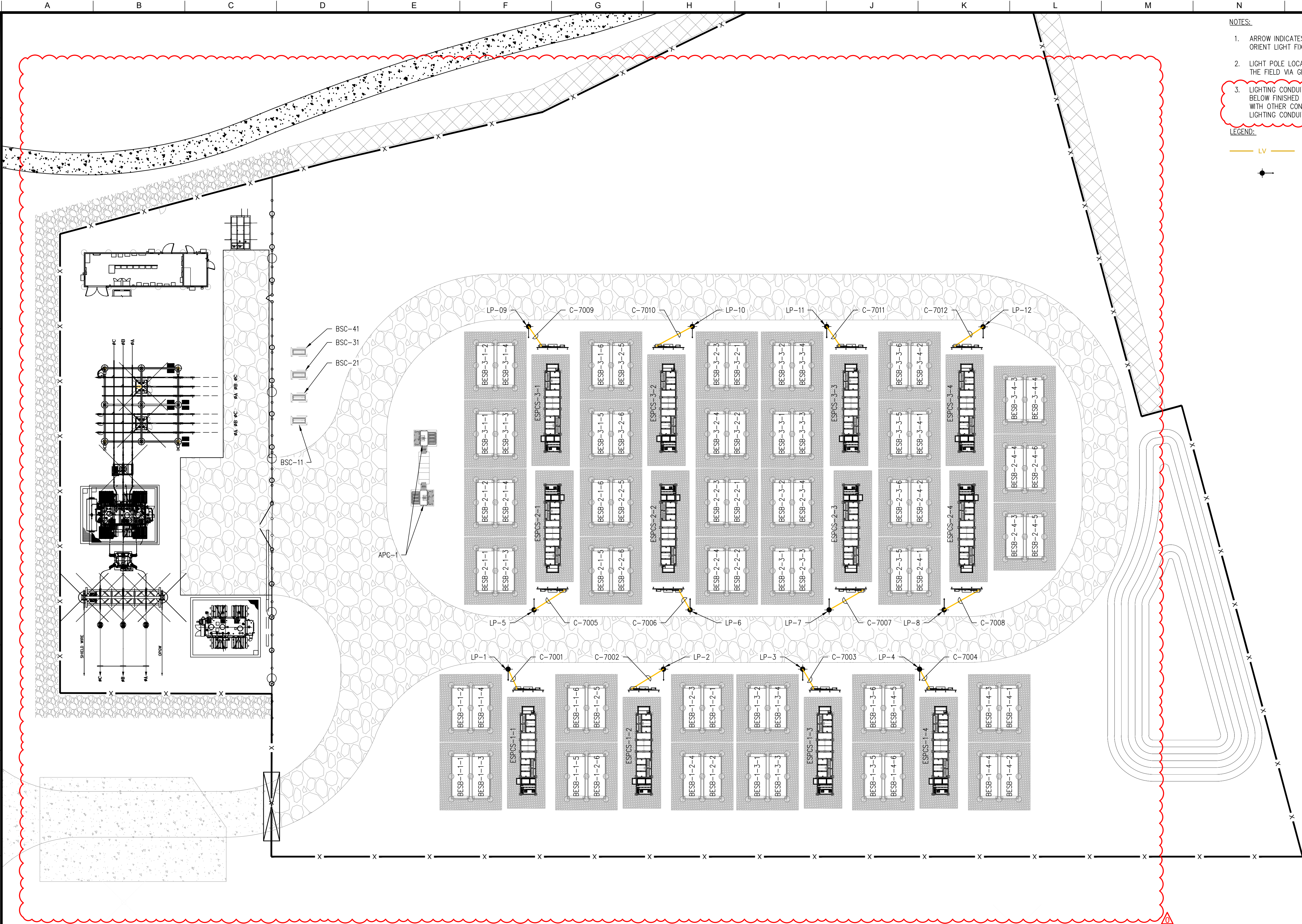
NOTE:
ALL CONCRETE WORK TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARD SECTION 101 PORTLAND CEMENT CONCRETE.



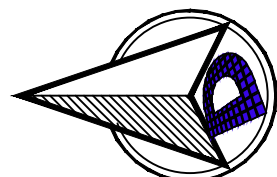
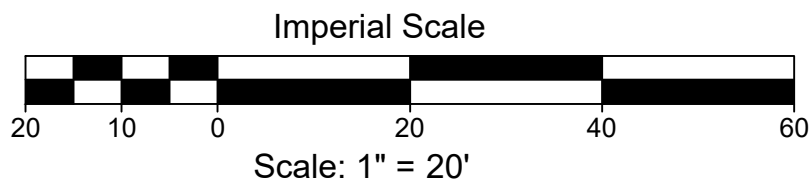
SAWCUT DETAIL

SCALE: 1"=10'

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LIGHTING PLAN

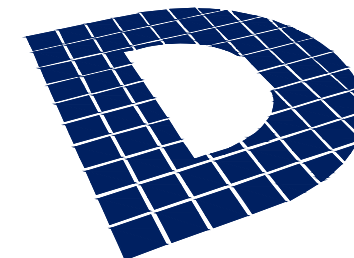
SCALE: 1" = 20'

NOTES:

1. ARROW INDICATES GENERAL DIRECTION TO ORIENT LIGHT FIXTURE ARM.
2. LIGHT POLE LOCATIONS SHALL BE PROVIDED TO THE FIELD VIA GPS COORDINATES.
3. LIGHTING CONDUITS SHALL BE BURIED 18" BELOW FINISHED GRADE. WHEN CONFLICTING WITH OTHER CONDUITS AT THE SAME DEPTH, LIGHTING CONDUITS SHALL GO BENEATH.

LEGEND:

- LV — 277V AC
- LIGHT POLE (SEE NOTE 1)



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SCOTTSDALE, AZ 85258
PHONE: (480) 270-6910
WWW.DEPCOMPOWER.COM

A KOCH ENGINEERED SOLUTIONS COMPANY



SANDIA BESS
(60MW/240MWh)
ALBUQUERQUE,
BERNALILLO COUNTY
NM, USA

TITLE:

REV	DATE	REVISION DESCRIPTION	BY	CHK	APP
0	02-28-25	ISSUED FOR CONSTRUCTION (FC)	LC	EB	WW
C	09-27-24	ISSUED FOR 90% REVIEW (FR)	LC	CV	WW

SHEET TITLE:

LIGHTING PLAN

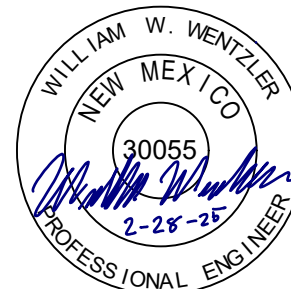
ENGINEER: WALKER WENTZLER DR. BY: LC CHK. BY: CV

DEPCOM JOB No: 23-0024-00 SCALE: AS NOTED

DEPCOM PROJECT CODE: NM240b4

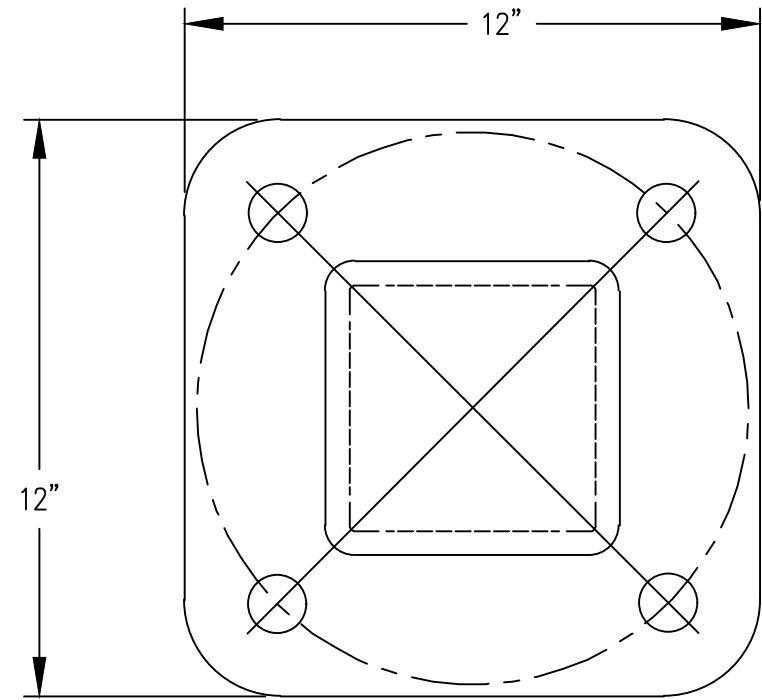
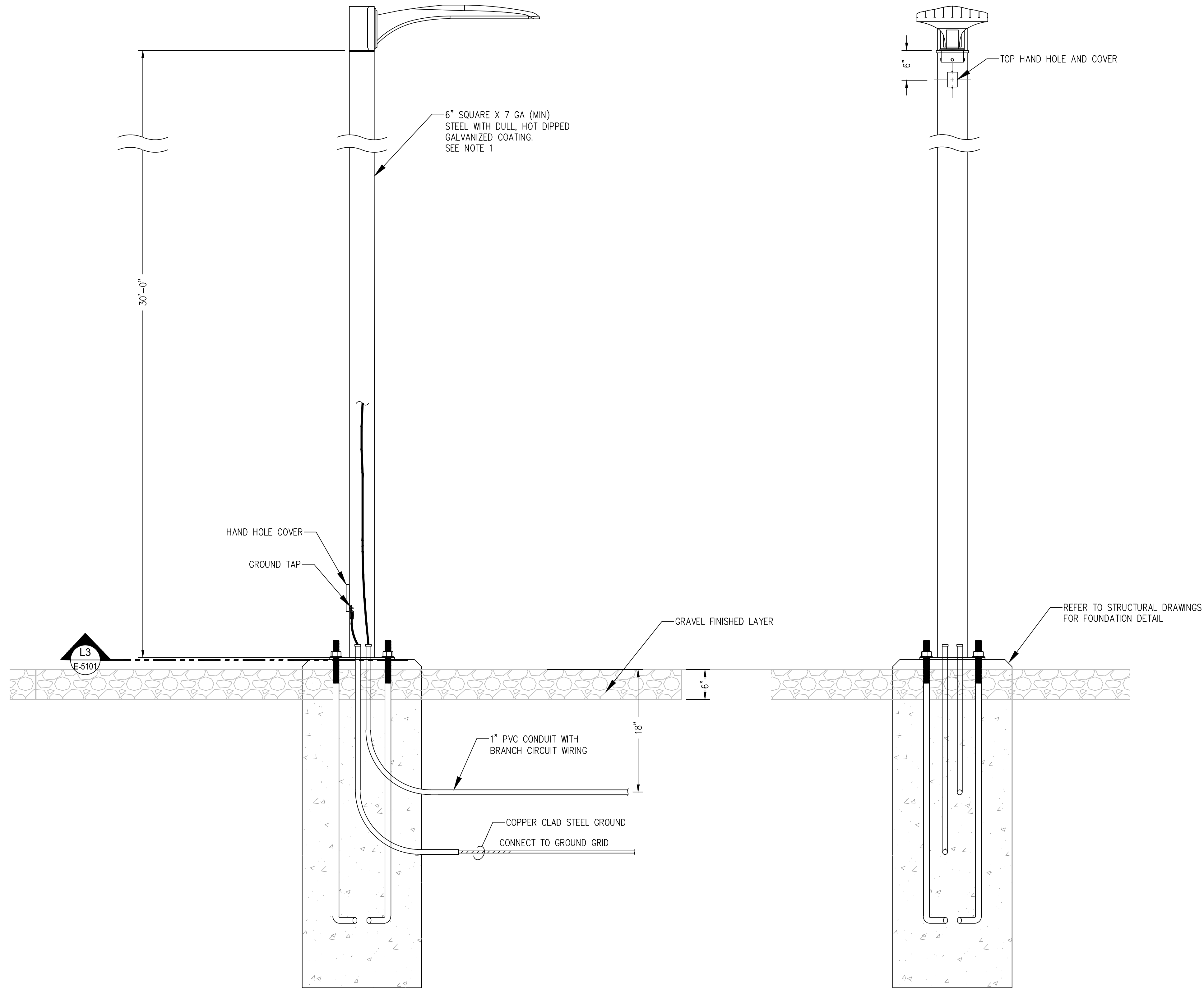
DRAWING NUMBER: E-5001 REV: 0

SHEET 42 OF 57



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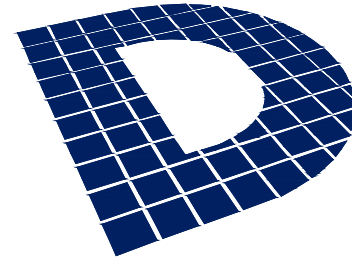
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DETAIL L3
LIGHTING POLE BASE
SCALE: NTS

LIGHTING POLE SPECIFICATIONS:

- POLE SHAFTS SHALL BE FABRICATED FROM HOT ROLLED AND WELDED STEEL TUBING OF ONE-PIECE CONSTRUCTION, WITH A MINIMUM YIELD STRENGTH OF 55KSI. WALL THICKNESS SHALL BE NOT LESS THAN 7-GAUGE (3/16-INCHES).
- OPENINGS IN THE POLE TUBE SHALL BE GENERALLY SQUARE OR RECTANGULAR, BASED ON THE DETAILS PROVIDED. ALL OPENINGS SHALL HAVE ROUNDED CORNERS TO RELIEVE STRESS IN THE TUBE.
- BASE COVERS SHALL BE TWO (2) PIECE AND SHALL BE FABRICATED STEEL, WITH A DULL GALVANIZED FINISH.
- ANCHOR BOLTS SHALL CONFORM TO ASTM F1554, GRADE 55 AND SHALL INCLUDE TWO (2) HEX NUTS AND TWO (2) FLAT WASHERS. ANCHOR BOLTS SHALL HAVE AN "L" BEND ON ONE (1) END AND SHALL BE GALVANIZED FOR NOT LESS THAN 10-INCHES ON THE THREADED END. ANCHOR BOLTS SHALL BE NOMINALLY 3-FOOT LONG X 4-INCH HOOK X 1-INCH DIAMETER. FOR THE FREE-STANDING LOCATIONS AND WASHERED RODS FOR TRANSFORMER PAD LOCATIONS, SEE STRUCTURAL DRAWINGS.
- ALL STRUCTURAL BOLTS OR FASTENERS SHALL BE GALVANIZED, HIGH STRENGTH CARBON STEEL. NON-STRUCTURAL FASTENERS AND HARDWARE SHALL BE STAINLESS STEEL OR BRASS.
- POLES AND COVERS SHALL BE FINISHED IN A DULL, NON-REFLECTIVE GALVANIZED COATING.
- POLES SHALL BE DESIGNED FOR A MAXIMUM EFFECTIVE PROJECTED AREA (EPA) OF NOT LESS THAN 10.7 SQ. FT. A MAXIMUM LOAD OF 265-POUNDS WITH AN 80 MPH WIND FORCE AND A GUST FACTOR OF 1.3.
- TRANSFORMER BASE SHALL BE WELDED STEEL WITH A HOT-DIPPED GALVANIZED DULL FINISH. BASE SHALL BE NOMINALLY 20-INCHES HIGH X 15.5-INCHES AT THE BASE. BASE SHALL INCLUDE A NOMINALLY 11-INCH HIGH X 8.5-INCHES WIDE DOOR. BASE SHALL BE GROUNDED TO THE #4/OAWG GROUND CABLE WITH 2 X 1/2-INCH STAINLESS STEEL THROUGH BOLTS, FLAT WASHERS, LOCK WASHERS AND HEX-NUTS AND A NEMA STANDARD 2-HOLE LUG - LUGS AND HARDWARE TO BE FURNISHED BY BOS SUBCONTRACTOR. FASTENING BOLTS FOR THE POLES TO THE BASE SHALL BE FURNISHED AND SHALL BE GALVANIZED, HIGH STRENGTH CARBON STEEL. NON-STRUCTURAL FASTENERS AND HARDWARE SHALL BE STAINLESS STEEL OR BRASS.



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9185 E PIMA CENTER PARKWAY #100
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A KOCH ENGINEERED SOLUTIONS COMPANY



SANDIA BESS
(60MW/240MWh)
ALBUQUERQUE,
BERNALILLO COUNTY
NM, USA

TITLE:

REV	DATE	REVISION DESCRIPTION	BY	CHK	APP
0	02-28-25	ISSUED FOR CONSTRUCTION (FC)	LC	EB	WW

SHEET TITLE:

LIGHTING
CONTROL AND
POLE DETAIL

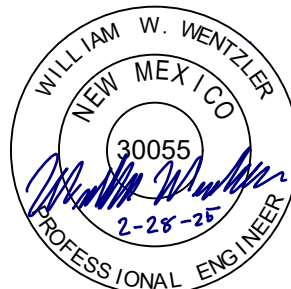
ENGINEER: WALKER WENTZLER DR. BY: LC CHK. BY: CV

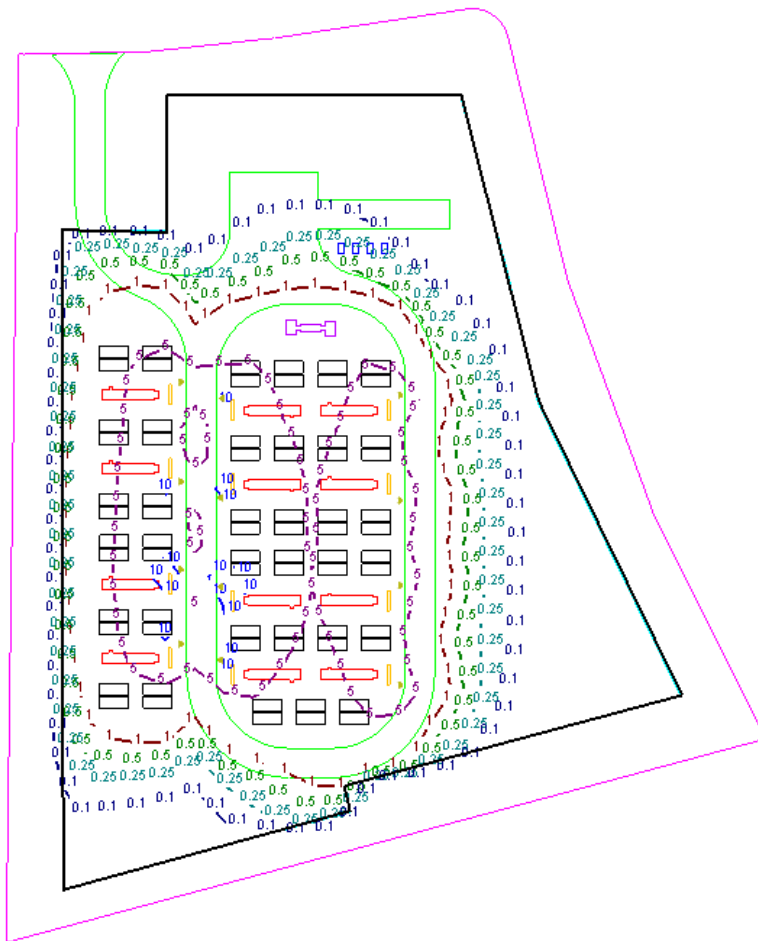
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DEPCOM PROJECT CODE: NM240b4

DRAWING NUMBER: E-5101 REV: 0

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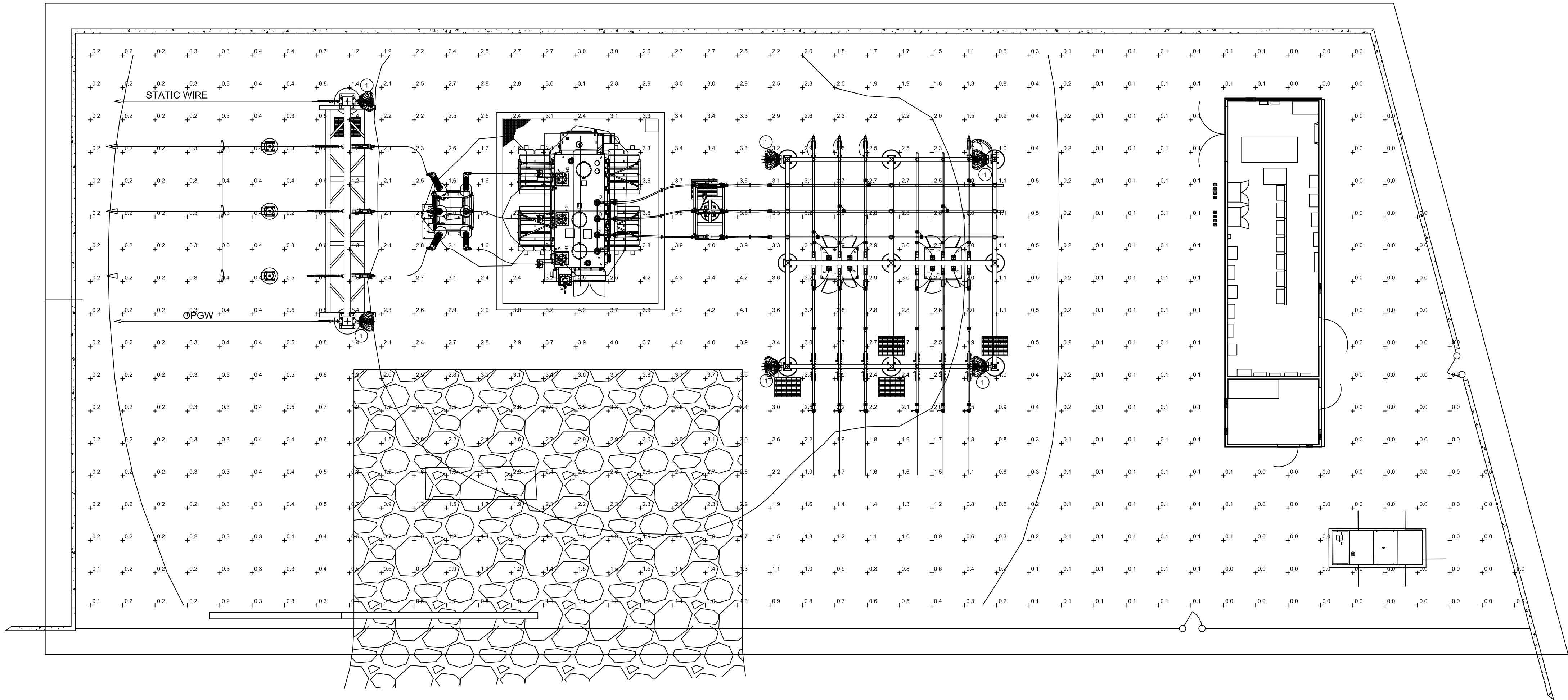




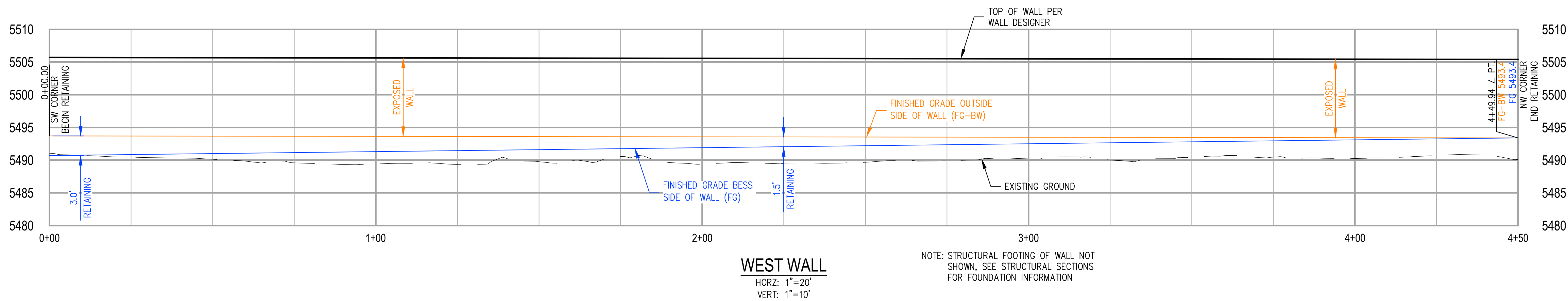
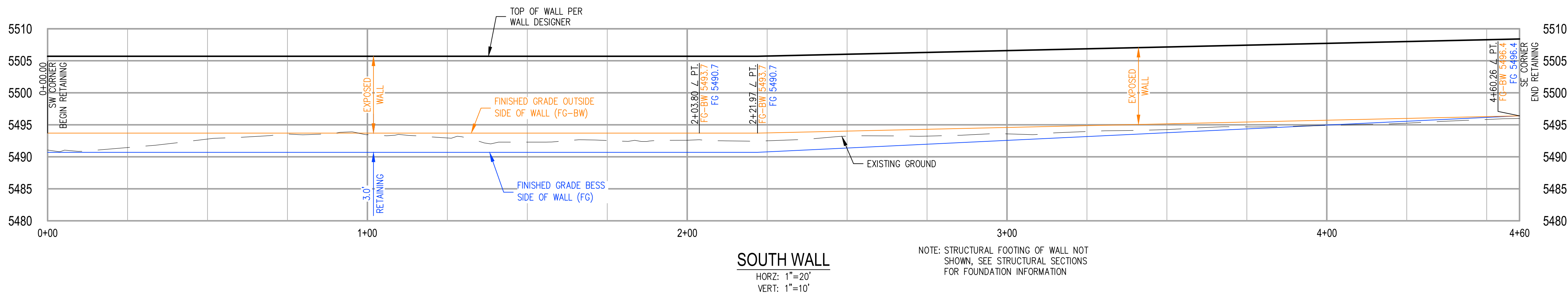
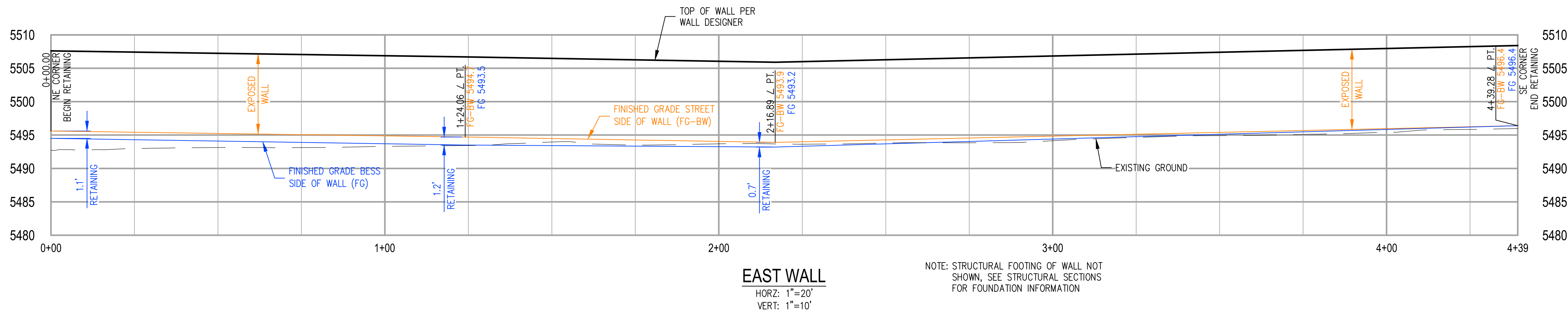
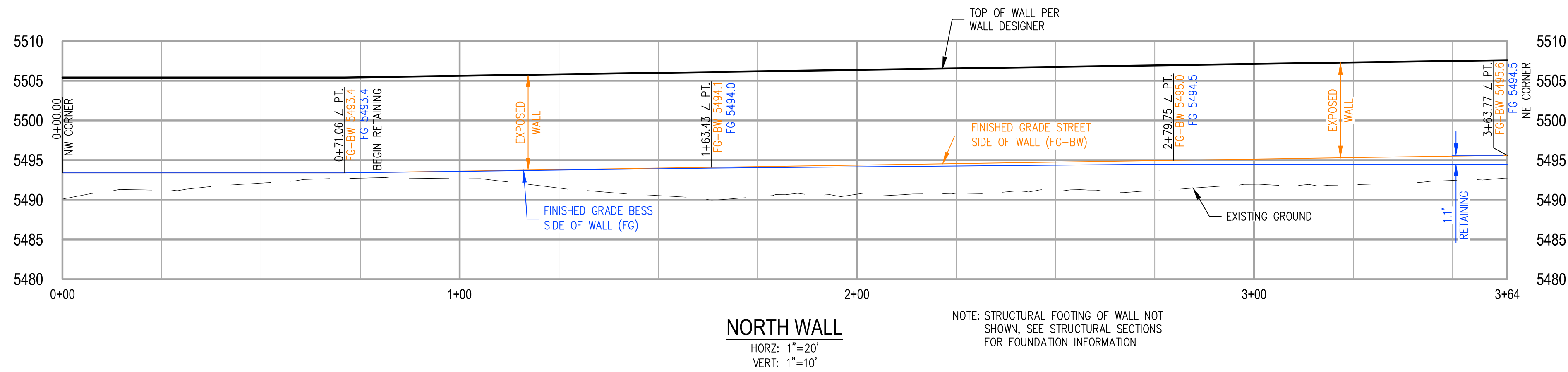


- SCHEDULE:
- 1

RAB FIELD-ADJUSTABLE FLOOD LIGHTS MOUNTED AT 35', TILTED AT A 45 DEGREE ANGLE FROM GROUND.



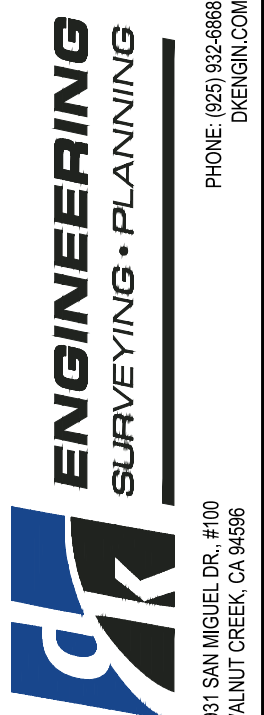
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NO.	DATE	DESCRIPTION	AGENCY
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PUBLIC SERVICE COMPANY OF NEW MEXICO
SANDIA BESS SITE
WALL PROFILES
CONSTRUCTION DOCUMENTS
APN 1-021-055-162-512-2-06-67
CITY OF ALBUQUERQUE
NEW MEXICO



DATE:	03/13/2025
SCALE:	1"=40'
HORIZ:	N/A
VERT:	N/A
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Final Audit Report

2025-06-27

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