## PROJECT NUMBER: PR-2024-011242

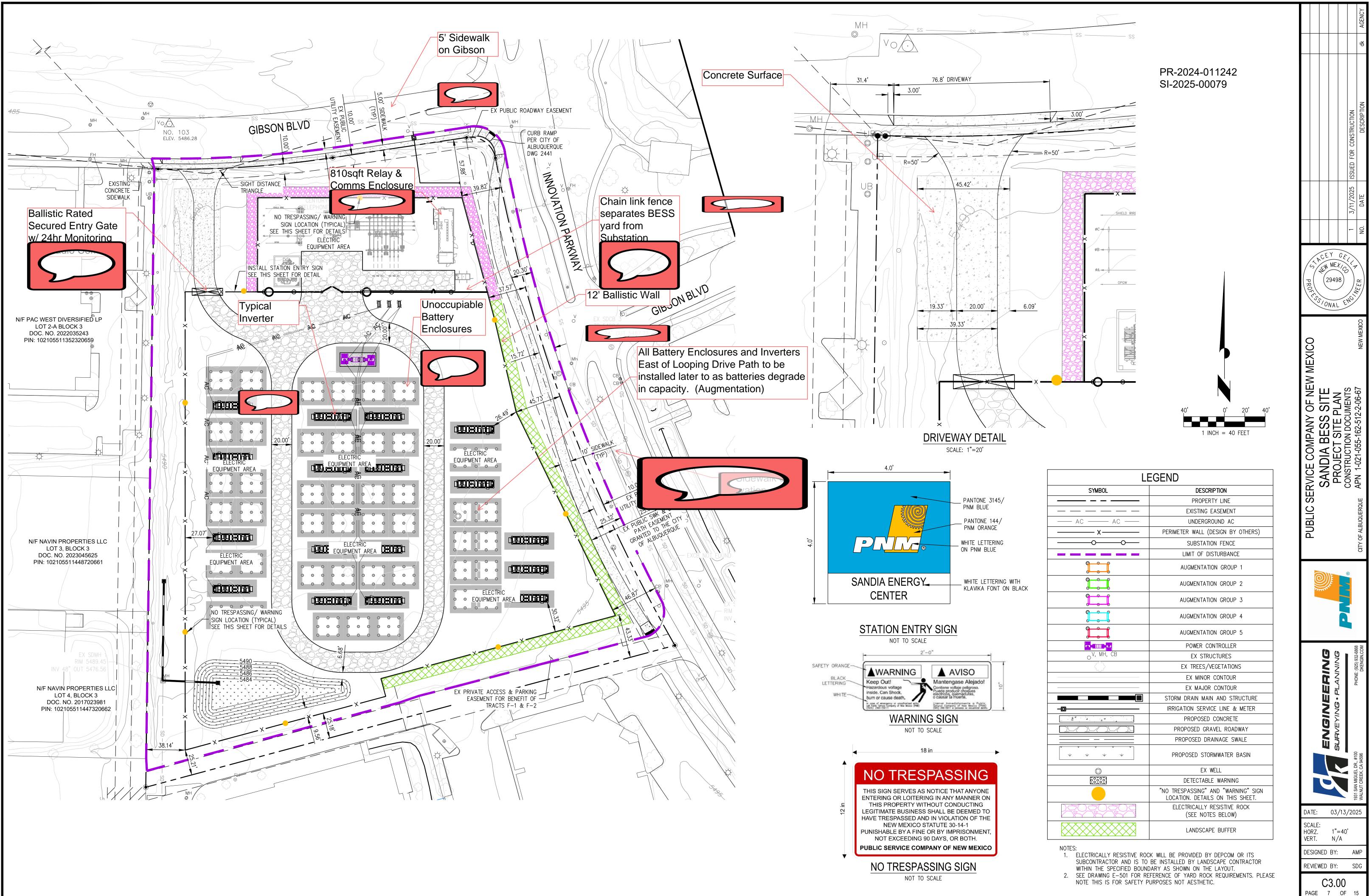
Application Number: SI-2025-00079

**Is an Infrastructure List required?** (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

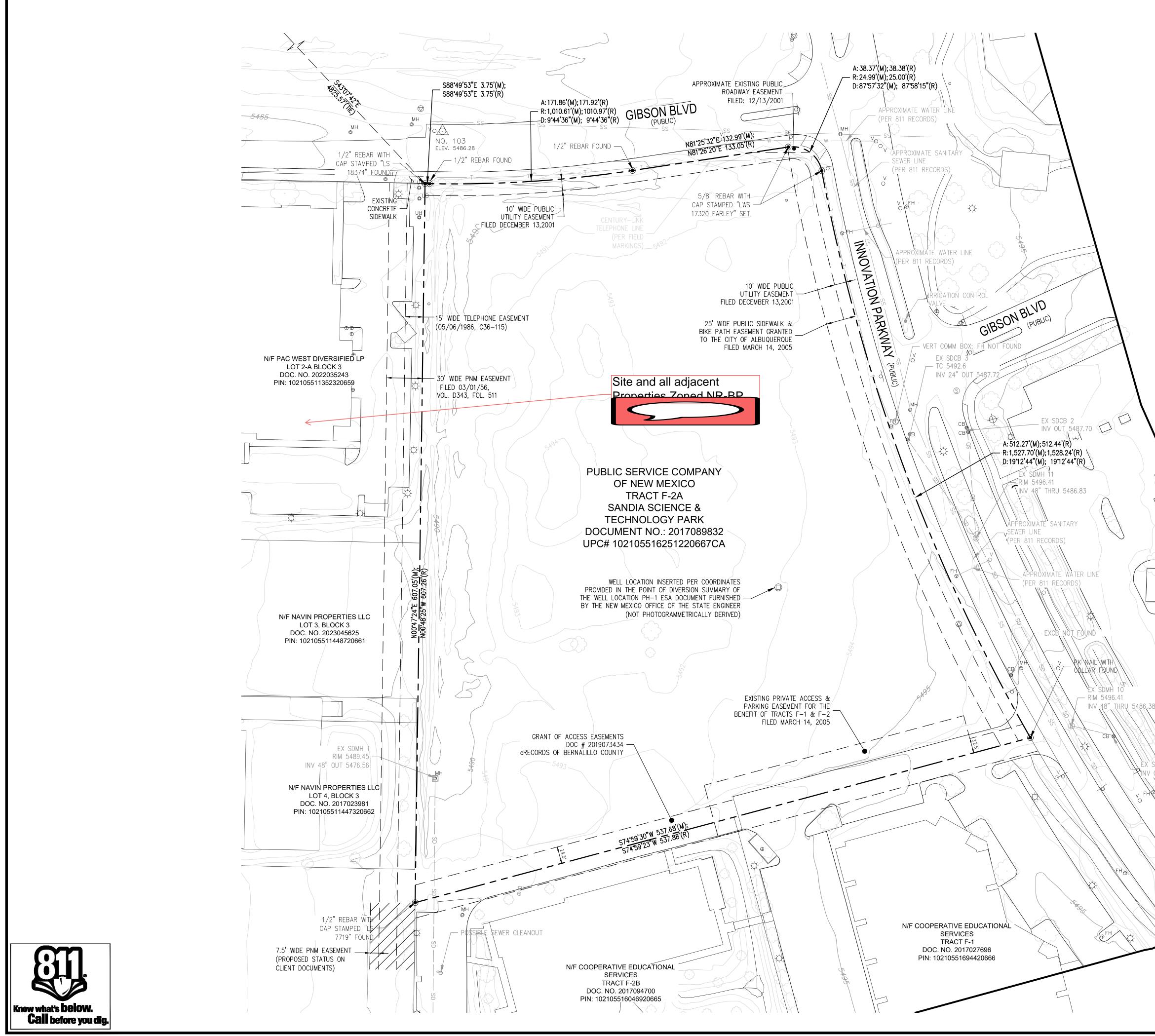
## DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

\*Environmental Health, if necessary



13/2025



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	931 SAN MIGUEL DR., #10 MALNUT CREEK, CA 9459
	1931 SAN MI-
	DATE: 03/13/2025
	SCALE: HORZ. 1"=40' VERT. N/A
	DESIGNED BY: AMP
	REVIEWED BY: SDG
	PAGE 3 OF 15

LEGEND				
SYMBOL	DESCRIPTION			
	PROPERTY LINE			
	EXISTING EASEMENT			
<sub>o</sub> v, MH, CB	EX STRUCTURES			
$\Leftrightarrow$	EX TREES/VEGETATIONS			
	EX MINOR CONTOUR			
	EX MAJOR CONTOUR			
⊖ <sup>FH</sup>	EX FIRE HYDRANT			
	EX WELL			
SS	EX SEWER MAIN LINE			
SD	EX STORM DRAIN MAIN LINE			
W	EX WATER MAIN LINE			
T	EX COMMUNICATIONS LINE			
<u> </u>	EX SIGN			

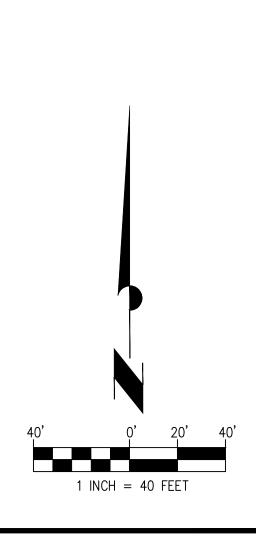
TOPO PREPARED BY: LW SURVEY CO

## GRADING NARRATIVE:

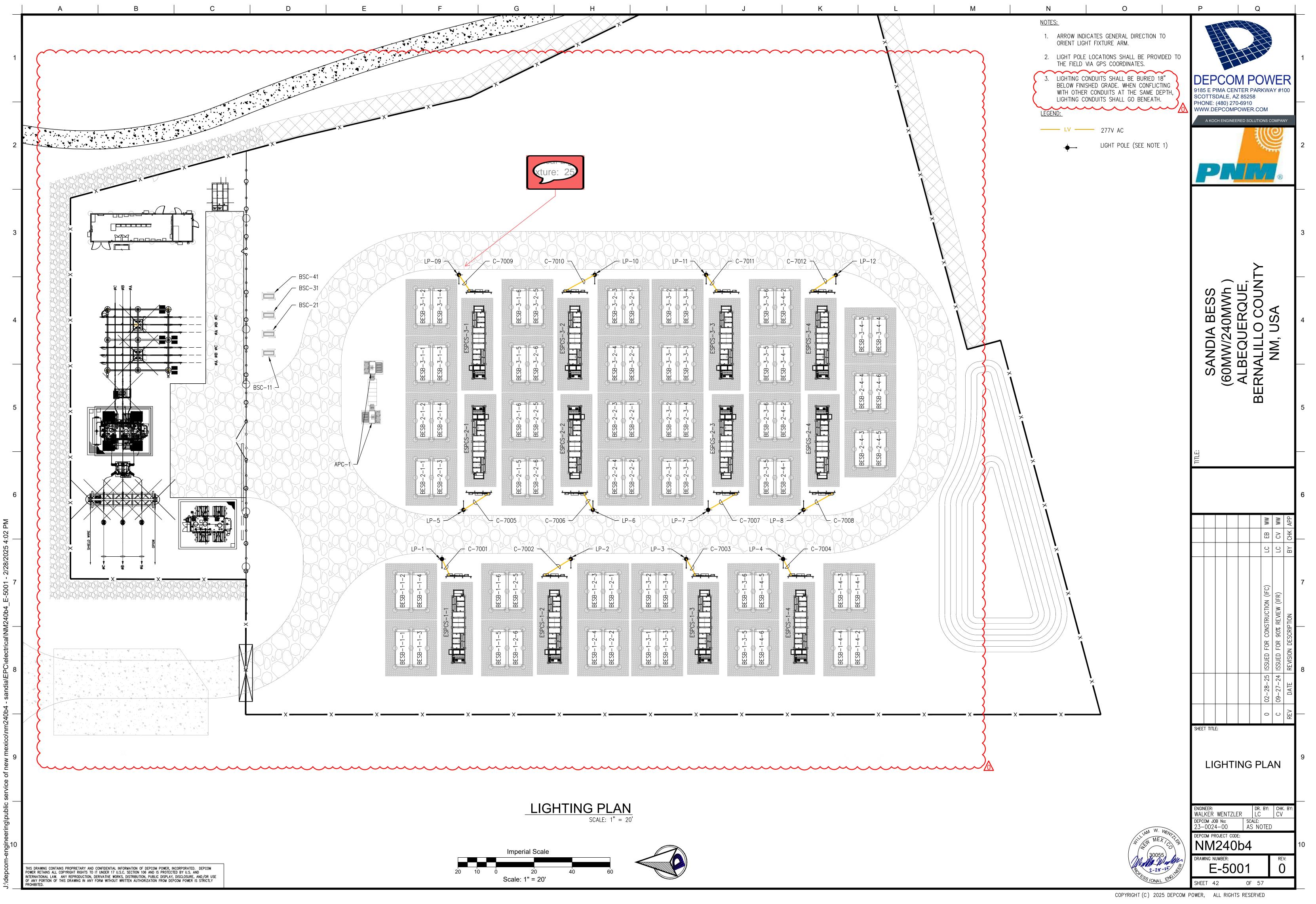
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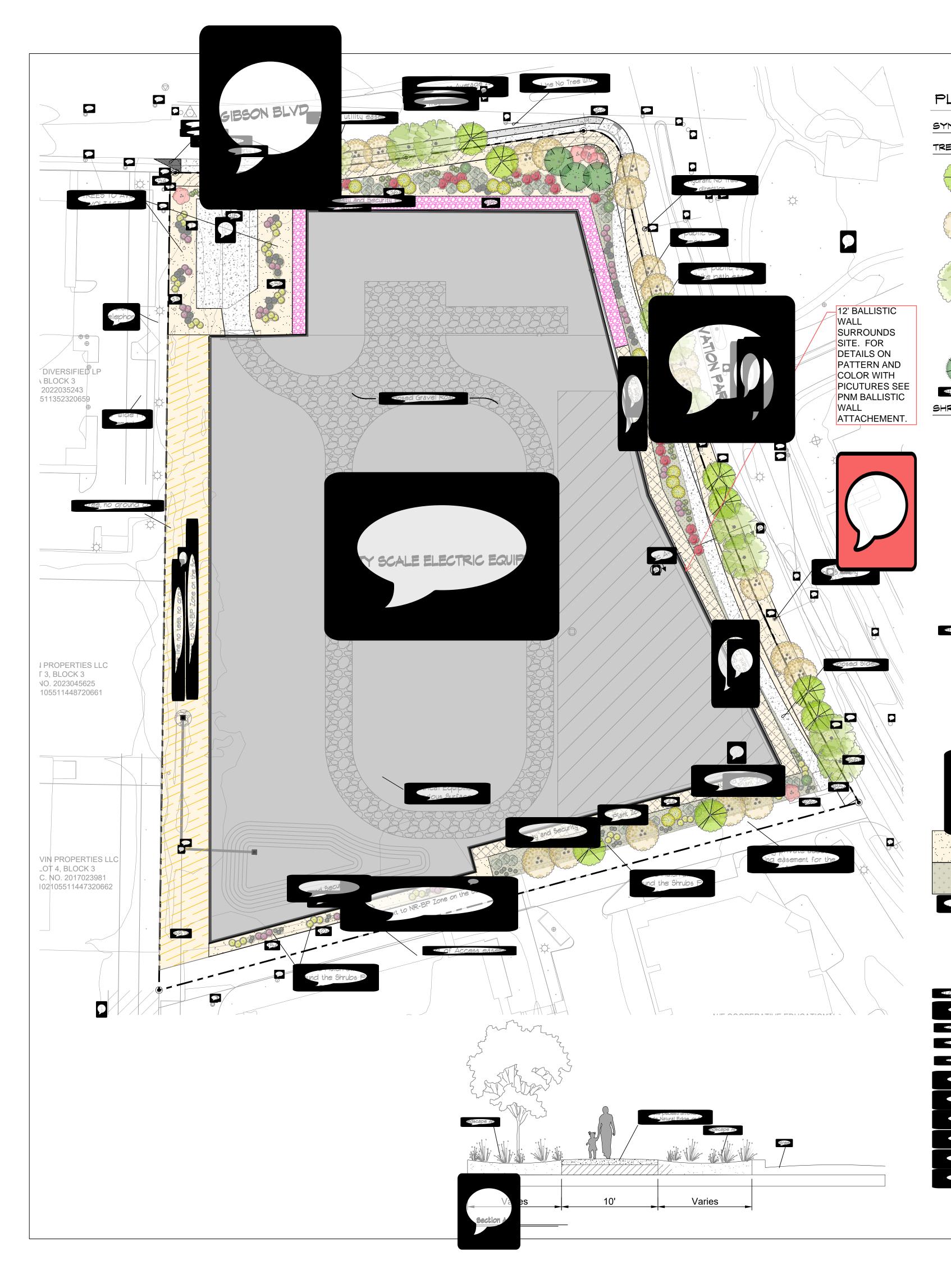
OUT 5489.79 (NW)>

THE EXISTING SITE IS UNDEVELOPED AND RANGES FROM ELEVATIONS 5489 TO 5495. THE ADJACENT PROPERTY IS FLAT WITH OFFICE BUILDINGS TO THE WEST AND SOUTH AND ROADWAYS. INNOVATION PARKWAY TO THE EAST SLOPES TOWARDS THE EAST INTERSECTION OF INNOVATION PARKWAY AND GIBSON BLVD. GIBSON BLVD TO THE NORTH SLOPES TOWARDS THE WEST. THE PROPOSED PROJECT WILL BE GRADED WITH A 2:1 MAX SLOPE FROM EXISTING GROUND UP TO ELEVATION 5496-5499 TO PROTECT THE PROPOSED INFRASTRUCTURE.



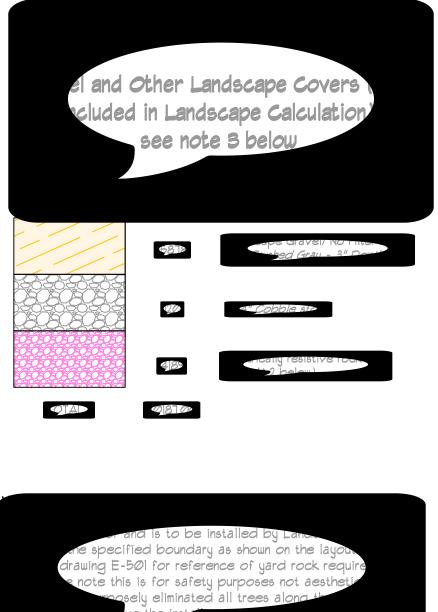
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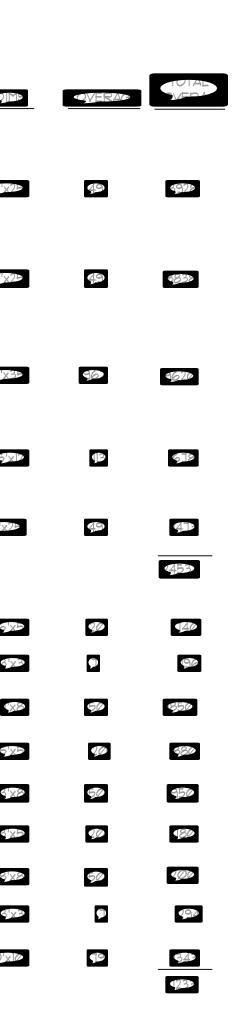


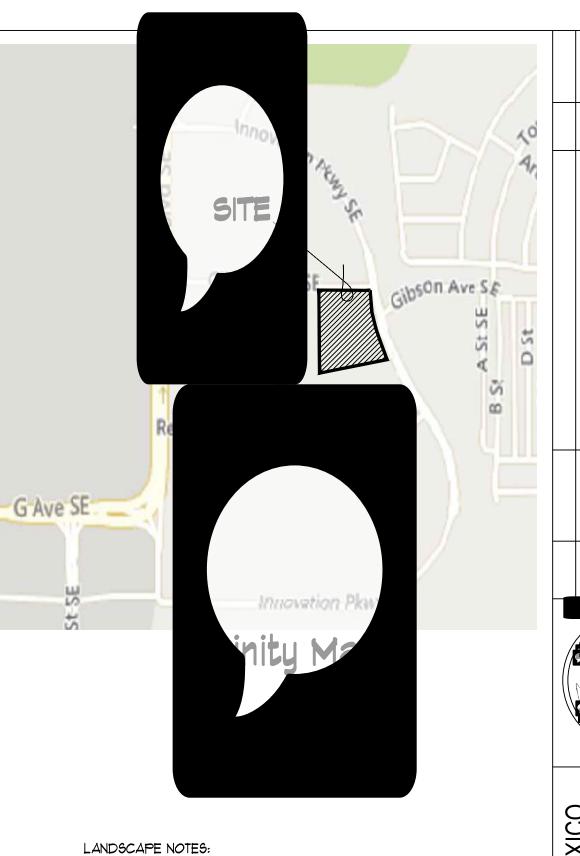
1BOL	QTY	SIZE	COMMON / BOTANICAL NAME	WATER USE
ES				
X	8	2" Cal.	Gambel Oak Quercus gambelii	Low - Medium
	18	2" Cal.	Golden Rain Tree Koelreuteria paniculata	Low – Medium
	10	2" Cal.	Red Oak Quercus gravesii	Low - Medium
	6	2" Cal.	Redbud Cercis occidentalis'Pink pom poms'	Very low – Medium
	3	4'- 6'	Scotch Pine Pinus sylvestris	Medium
Tree	49			
UBS ()	37	5 gal.	Apache Plume Fallugia paradoxa	Very low - Low
	28	5 gal.	Blue Mist Bluebeard Caryopteris x clandonensis 'Blue Mist'	Low – Medium
	37	5 gal.	Buffalo Juniper Juniperus sabina 'Buffalo'	Low
0	44	5 gal.	Chamisa Ericameria nauseosa nauseosa	Very low - Low
٥	19	5 gal.	Gro-Low Fragrant Sumac Rhus aromatica 'Gro-Low'	Very low – Medium
3	39	5 gal.	Indian Hawthorn Rhaphiolepis indica	Low
0	4	5 gal.	Lilac Syringa x 'Bailbelle'	Medium
0	42	5 gal.	Red Yucca Hesperaloe parviflora	Very low – Low
	17	5 gal.	Yellow Bird of Paradise Caesalpinia gilliesii	Low

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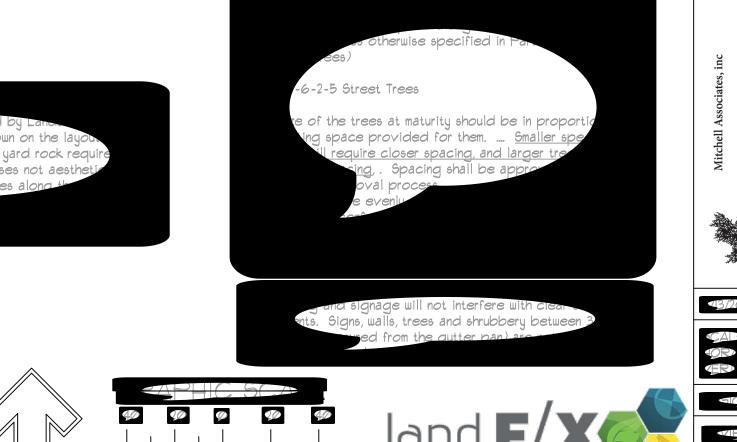


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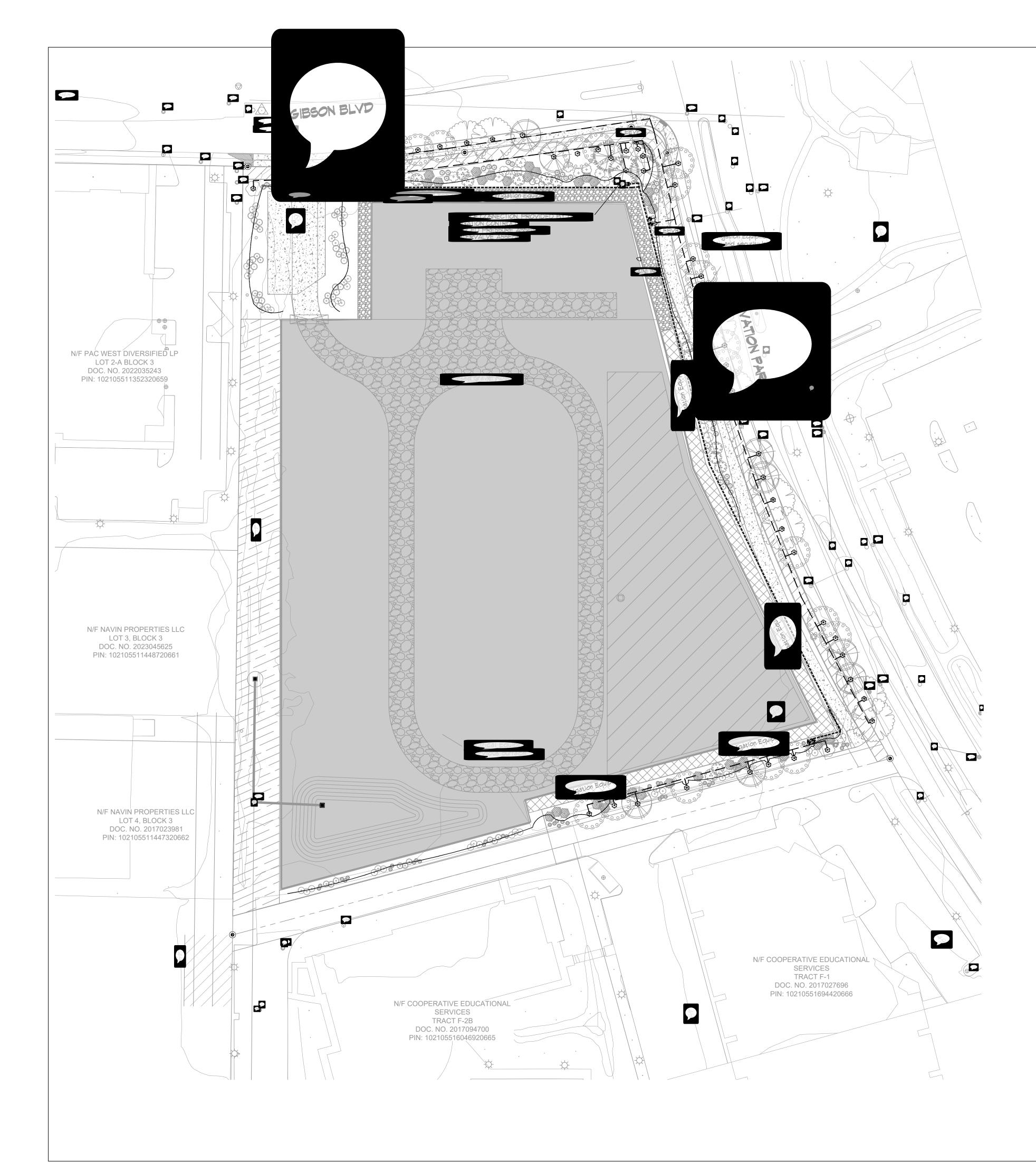
- 1. Landscape maintenance shall be the responsibility of the Property Owner.
- 2. The Property Owner shall maintain landscaping in a living, healthy, and attractive condition. Shrubs shall be left to grow in to natural form, and shall not be pruned, sheared or otherwise decimated. Trees shall not be pollarded. Only licensed, insured Certified Arborist shall be allowed to prune or shape trees.
- 3. It is the intent of this plan to comply with the City Of Albuquerque Water, IDO Ordinance.
- 4. It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.
- 5. Water management is the sole responsibility of the Property Owner.
- 6. Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.
- 7. Contractor shall supply to the owner samples of various gravel samples for approval prior to installing.
- 8. 25% of landscape area shall be covered with organic mulch per City of Albuquerque mandate. Mulch shall be a minimum of 4" deep in areas as shown on the plan. Landscape maintenance providers shall ensure that all organic mulch areas are maintained and freshened on a regular basis. Filter Fabric shall not be placed in areas to receive organic mulch.
- Landscape shall be watered by a complete underground irrigation system operated by automatic timer.
- 10. Trees and shrubs shall be zoned separately.
- II. Landscaping shall be installed according to the approved plan: Installation shall be completed within 60 days of the related project's completion.
- 12. No substitutions or alterations to this plan without the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit set.

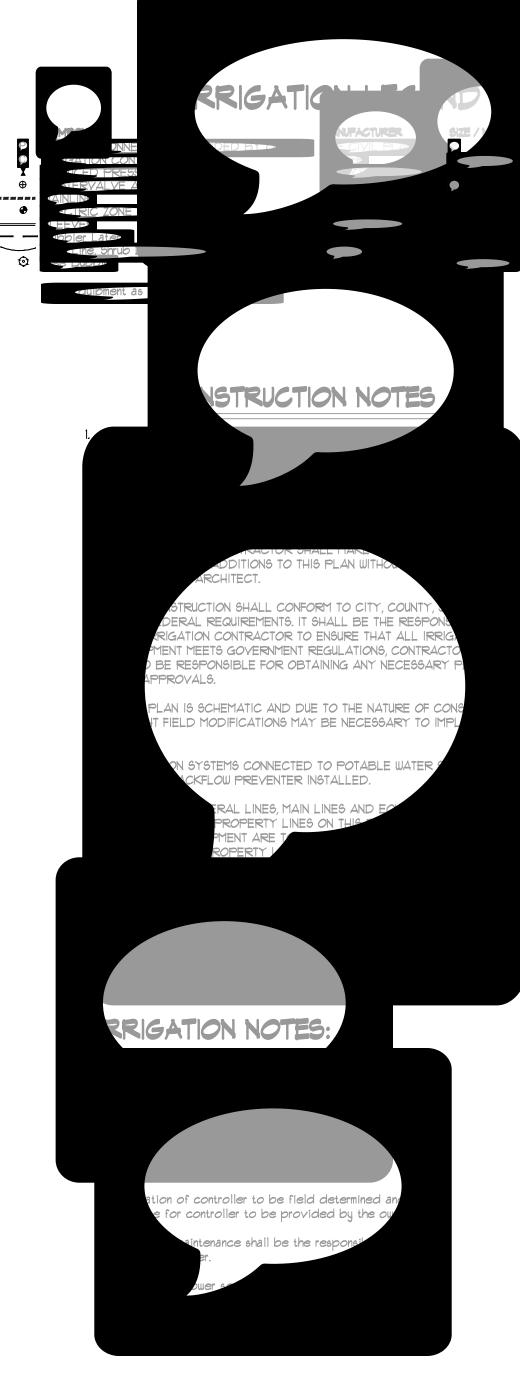


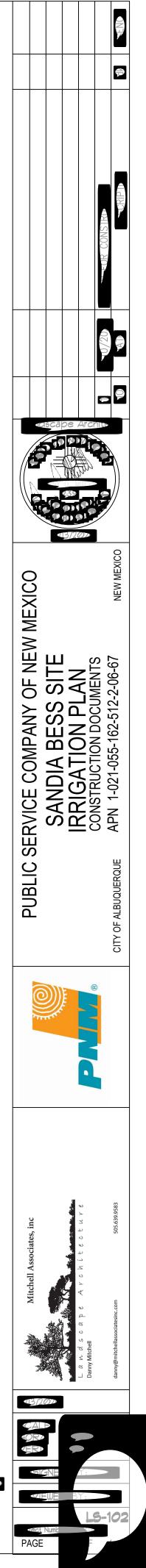
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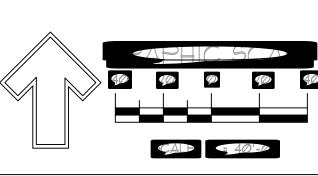
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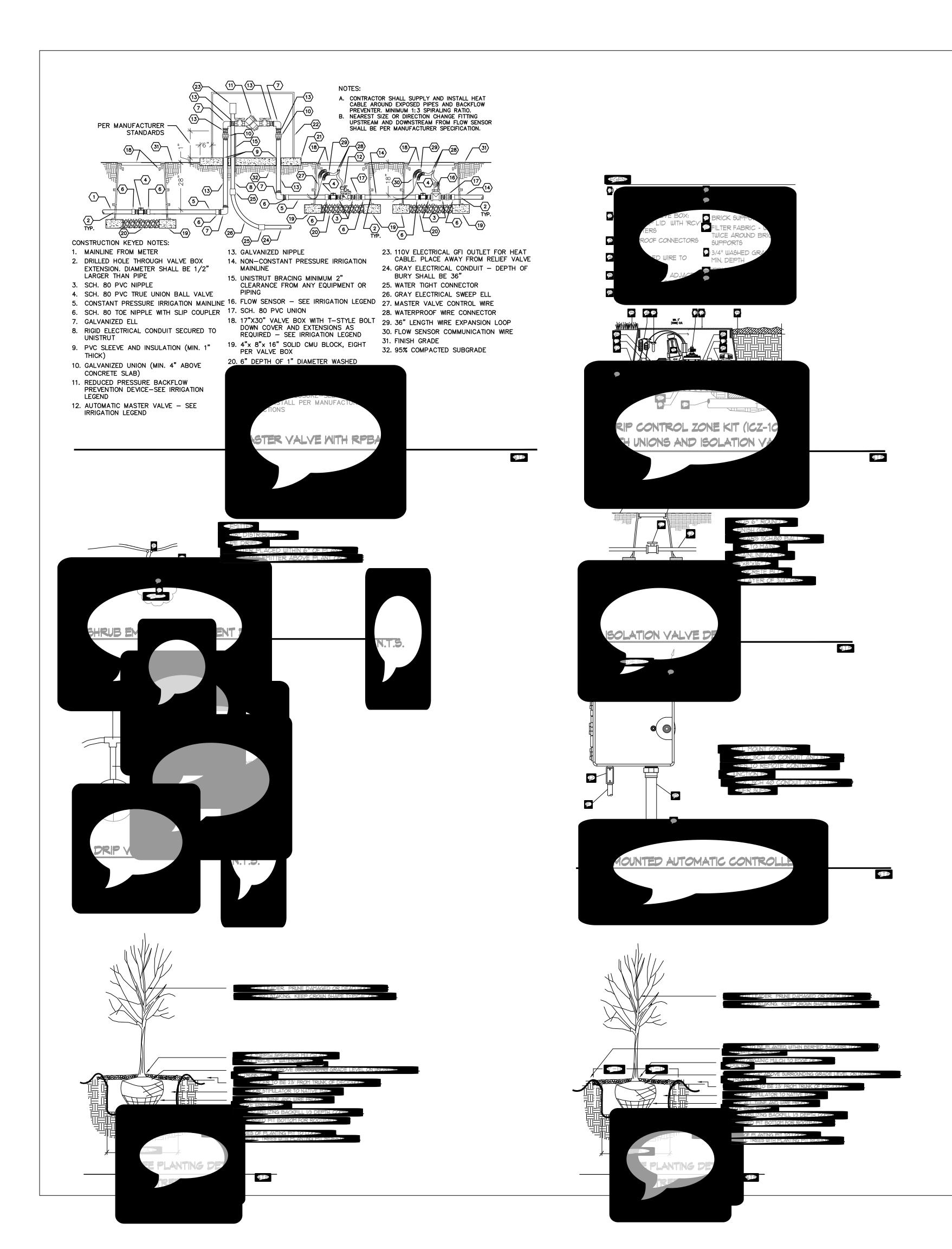
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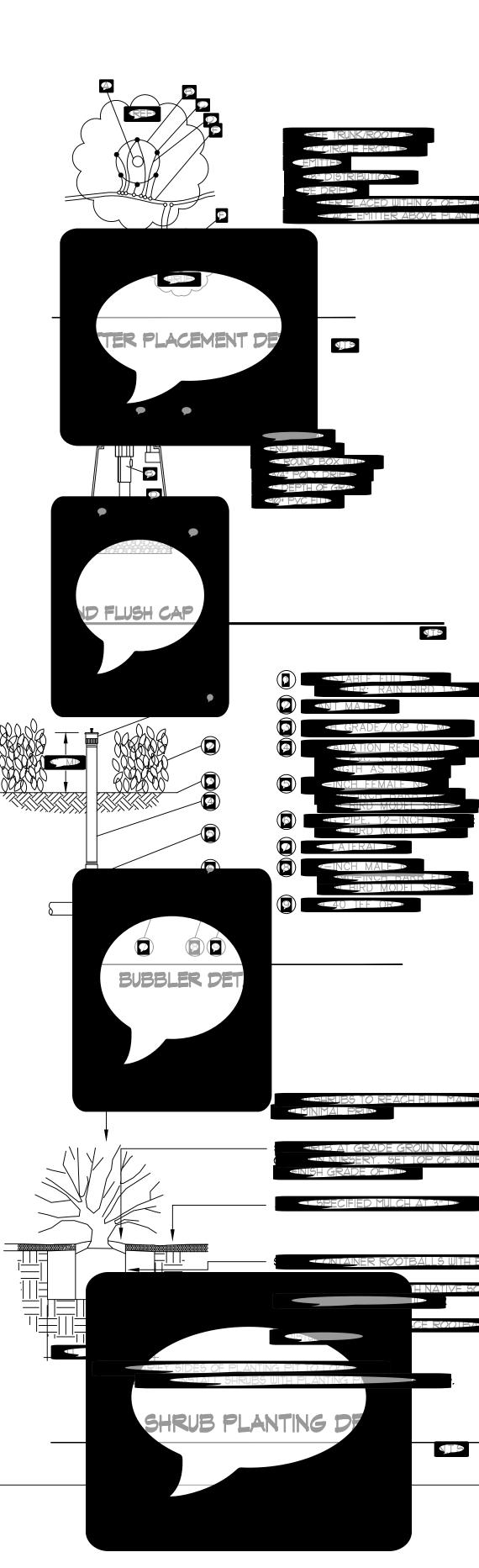


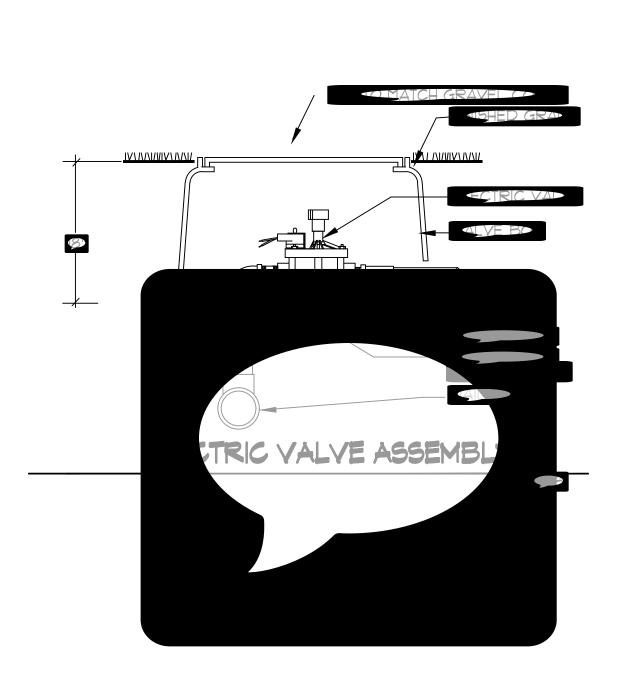














# raue Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided

Table 5-6-2: Credits for Preserving Trees Diameter at Breast Height (in.) Number of Trees Credite

5-6( $\Delta$ X5) contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscape should be designed to retain soil moisture, prevent erosion, encourage the growth of abutting plantings, and mitigate urban heat-island effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and alare.

5-6(AX6) Providing screening of some types of facilities, structures, and equipment. 5-6(A)(7) Providing shade and comfort for pedestrians and visually narrowing streets, which has been shown to reduce vehicle speeding and

accidents. 5-6(B) APPLICABILITY

5-6(B)(1) The provisions of this Section 14-16-5-6 shall apply to any of the following, unless specified otherwise this IDO: 5-6(BXIXa) Construction of a new building containing multi-family, mixed-use,

or non-residential development or an accessory parking structure. 5-6(BXIXb) Construction of a new parking lot containing 25 or more spaces, or expansion of an existing parking lot by 25 spaces or more.

5-6( $\dot{B}\chi I\chi c$ ) Expansion of the gross floor area of an existing building containing multi-family, mixed-use, or non-residential development by 2,500 square feet or more, or 25 percent or more, whichever is less. 5-6(BX1)(d) Renovation or redevelopment of an existing building containing

multi-family, mixed-use, or non-residential development, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, indicated by building permits, is \$5*00,000* or more. 5-6(B(2) In the case of walls provided for buffering or screening

requirements with conflicting standards in this Section 14-16-5-6, Section 14-16-5-5 (Parking and

Loading), and Section 14-16-5-9 (Neighborhood Edges), the highest specified wall height allowance prevails.

5-6(BX3) Requirements for walls provided to meet buffering and screening requirements prevail over maximum wall height regulations in Section 14-16-5-7 (Walls and Fences), but shall be subject to any other applicable material and design requirements in Subsection 14-16-5-7(E).

5-6(C) GENERAL LANDSCAPING STANDARDS The following standards apply to all landscaping, screening, or buffering required by this Section 14-16-5-6.

5-6(C)(1) Landscape Plan Required

A landscape plan with designed landscaped areas shall be submitted as a part of all development applications where landscaping, buffering, or screening is required, unless the relevant decision-making body determines that compliance with the provisions of this Section 14-16-5-6 can be demonstrated without the use of a landscape plan. A landscape plan may be combined with other required application materials if compliance with this Section 14-16-5-6 can be demonstrated in the combined materials. Landscaping shall be maintained pursuant to the requirements of Subsection

14-16-5-13(B)(6). 5-6(C)(2) Minimum Landscape Area

5-6(CX2Xa) Except as noted in Subsection (b) below, a minimum of 15 percent of the net lot area of each development shall contain landscaping. 5-6(C)(2)(b) In DT-UC-MS-PT areas, a minimum of 10 percent of the net lot area of each development shall contain landscaping. In these area landscaping required to meet this requirement need not be at ground level. (See figure below.)

5-6( $C\chi^2\chi_c$ ) The mature realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows. Tree canopies and ground-level plants shall cover a minimum

of 75 percent of the total landscape area as measured by canopy width or the area beneath the dripline of the mature

2. size of the actual vegetation. Of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the mature size of the actual vegetation. (See figure below.) 5-6(CX2Xd) See also Subsections 14-16-5-6(D) (Street Frontage

Landscaping, 14-16-5-6(E) (Edge Buffer Landscaping), and 14-16-5-6(F) (Parking Lot

Landscaping) for additional landscaping requirements. 5-6(C)(3) Overlapping Requirements

5-6(CX3Xa) If areas required to be landscaped by 2 or more provisions of this Section 14-16-5-6 overlap each other, the provision requiring the greater amount of landscaping shall apply, and landscaping provided that meets the greater requirement shall count toward fulfilling the overlapping requirements. 1. See Subsection 14-16-5-6(C)(12) (Existing Vegetation Credit).

See Subsection 14-16-5-6(C)(13) (Stormwater Management Features)

See Subsection 14-16-5-6(D) (Street Frontage Landscaping). See Subsection 14-16-5-6(E) (Edge Buffer Landscaping).

See Subsection 14-16-5-6(F) (Parking Lot Landscaping).

5-6(CX3Xb) Landscaped areas may count toward satisfying usable open space requirements specified for Residential zone districts in Table 5-1-1 and for Mixed-use zone districts in Table 5-1-2. 5-6(CX3Xc) Gardens and community gardens provided may count toward

satisfying the requirements of Subsection 14-16-5-6(C)(2) (Minimum Landscape 5-6(CX3Xd) Any landscaping provided to meet requirements in Subsection

16-5-2(1) (Major Arroyo Standards) may count toward any required landscaping in this Section 14-16-5-6 but shall be subject to Subsection

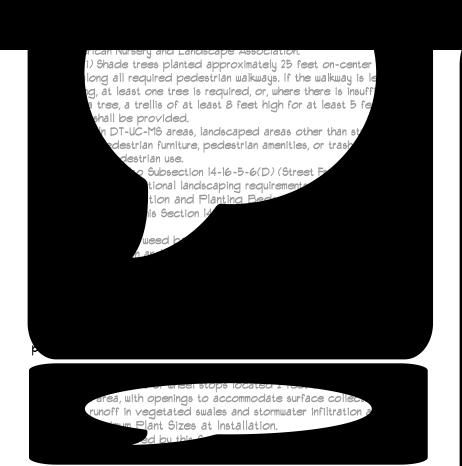
14-16-5-6(C) (General Landscaping Standards). 5-6(CX3Xe) Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-16-5-11(EX3) (Outdoor Seating and Gathering Areas) may count toward up to 1/3 of required landscaping in Section 14-16-5-6 but shall be subject to standards in Subsection 14-16-5-6(C) (General Landscaping Standards). 5-6(C)(4) Required Plant Materials and Site Amenities 5-6(CX4Xa) A minimum of 5 species must be used in the landscaped area. 5-6(CX4Xb) Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown

on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards), except that, upon presentation of evidence, the relevant decision-making body may authorize alternative species or cultivars that meet all of the following requirements: Meet the intended purpose of that type of landscaping.

Are not hazardous. Are not identified as invasive on a City or State plant list.

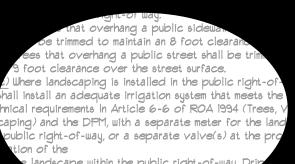
Are not listed in the City's Weed Identification Handbook Are equally hardy to the New Mexico climate.

5-6(CX4Xc) installation of any trees, shrubs, or other vegetation included in a State list of prohibited or invasive species or listed as noxious weeds in the City'fs Weed Identification Handbook is prohibited. 5-6(CX4)(d) No more than 10 percent of required landscape areas shall be cool season grass species. Irrigated cool season grass shall not be planted on slopes exceeding 1:4 rise:run or planted in narrow or irregularly shaped areas (10 feet or less in any dimension) in order to avoid water waste. Any cool season grass shall be installed at

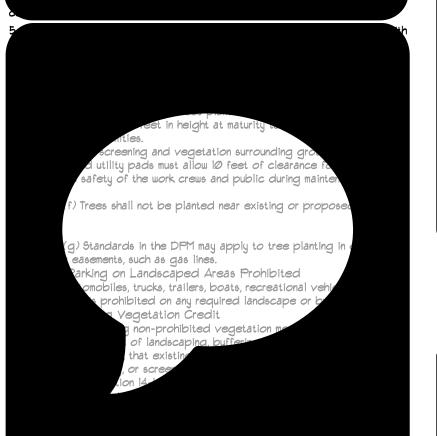


Plant material type (ANSI types)	Minimum size		
Deciduous Street Trees	2 in. caliper 6 in. above grade		
Deciduous Accent Trees	1.5 in. caliper 6 in. above grade or 6 ft. in height		
Evergreen Tree	6 ft. in height		
Multi-trunk Tree	Minimum 2 trunks with a combined caliper of 2 in.		
Shrubs	1 gallon container size		
Ground cover and turf	Adequate to provide general ground cover within 1 growing season after planting		

ree blantina requirements are based areas occupied by driveways and drive aisle alculating the number of trees required to be pla d otherwise be required in driveways or drive aisles landscaped front yard areas. lanning Director may authorize adjustments ed due to topography, drair



ndscape within the public right-of-way. Dri I turf shall not be allowed within the



eas created to meet stormwater manadement is Section 14-16-5-6.

scabe Area).



occupancy, 5-6( $\dot{C}$ X15 $\ddot{X}$ c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of spacing designed to minimize sound and light impacts of the proposed plant materials that have been approved by the applicable public utility as development on the adjacent property. part of a plan for landscaping, screening, or buffering on the public right The side facing the low-density residential development shall be at of-way shall be the responsibility of such public utility. If a public utility least as finished in appearance as the side facing the multi-family, mixed-use, disturbs landscaping, screening, or buffering in a public right-of-way, private or non-residential development. way, or easement, it shall make every reasonable effort to preserve the If there is an existing wall between the two properties, it may count landscaping materials and return them to their prior locations after the utility toward satisfying the requirements of Subsection 14-16-5-6(EX2Xb)2 if it work. If the plant materials die despite those efforts, it is the obligation of meets, or is improved to meet, the height and design standards above. the abutting property owner to replace the plant materials. 5-6(E)(3) Development Next to a Multi-family Residential Zone District 5-6(CXI5Xd) Property owners acknowledge that approved landscaping and Where mixed-use or non-residential development other than industrial trees installed and maintained in a public right-of-way, private way, or development occurs on any lot abutting or across an alley from a lot in the easement abutting private properties are the property of the City, and that R-ML or R-MH zone districts with townhouse development or multi-family that the City reserves the right to remove them if necessary for a residential development, a buffer shall be provided along the lot line, as transportation project without compensation, but at no cost to the property specified in Table 5-6-4 and for the relevant area below. owner. Landscaping installed in an abutting public right-of-way, private way, 5-6(EX3Xa) General or easement by property owners and later removed by the City shall not An edge buffer area shall be provided on the subject property along the impact previously approved net lot area calculations for required property line between the two properties.

landscaping. 5-6(C)(16) Alternative Landscape Plans The Planning Director may approve alternative landscape plans that do not meet the specific requirements stated in this Section 14-16-5-6 if the Planning Director determines that the alternatives meet all of the following

criteria 5-6(CX16Xa) Are consistent with the purposes of this Section 14-16-5-6. 5-6(CX16Xb) Do not include invasive vegetation included in a City or State list of prohibited or invasive species or listed as a noxious weed in the City's Weed Identification Handbook 5-6(C)(16)(c) Do not include a reduction of tree planting requirements. 5-6(CX16Xd) Provide equal or superior buffering of adjacent properties from anticipated impacts of the proposed development. 5-6(CX16Xe) Provide equal or superior visual appearance of the property when viewed from the street. 5-6(CX16Xf) Provide equal or superior carbon dioxide absorption and heat

a along street rerwise in Part 6 inere street trees a back of curb of t
<ul> <li>o) Only trees select.</li> <li>use, drought tole</li> <li>can count towa</li> <li>cireet Fronta</li> <li>or large</li> <li>they ap</li> <li>areas r</li> </ul>
Table 5-6-3: Minimum
Maturity
Tree Height at Maturity (ft
0-20
>20-40

island reductions.

cross the street from t the wall may be set

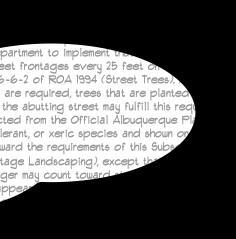
## s, surface runoff rected into depressed wat ape areas and that meet all app

 $\sim$ ernmental entity, and located in a required s in a parking lot, shall be counted toward requir in those areas, provided that the area includes ve ) Where bedestrian walkwaus and multi-use trails cross re

reas, permeable paving may be used and may count tou requirements of Subsection 14-16-5-6(C)(2) dation Sustems

gation systems shall comply with Section 8 of th

shall be installed prior to the issuance of a final certificate of



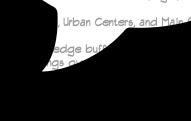
iting Area by Tree Height at

non-residential de e planted every 30 feet along the length of park or trail, Major Public Open Space, or major arr intown, Urban Centers, and Main Street and F percent of any front setback an

	ige Buffer – De	velopment	Type Summary <sup>[1]</sup>		
Development Type	Development Next to	Specific Standards	General Buffering	Buffering in DT-UC-MS-PT	
Industrial	Non-industrial development	14-16-5- 6(E)(4)	Landscaped buffer area ≥25 ft.		
Multi-family	Industrial development	14-16-5- 6(E)(4)		Wall, fence, or vegetative screen ≥6 ft.	
Mixed-use or other non- residential	R-ML or R-MH	14-16-5- 6(E)(3)	Landscaped buffer area ≥20 ft.		
Multi-family, mixed-use, or other non- residential	R-A, R-1, R- MC, R-T, or R- ML	14-16-5- 6(E)(2)	Landscaped buffer area ≥15 ft.		

evant area below.
ge buffer area shall be provided on the
the property line between the two properties.
Il at least 3 feet in height is provided or exists at a between the 2 properties, I tree at least 8 feet
time of planting shall be provided every for 15 feet
all, with spacing designed to minimize sound and
s of the proposed development on the adjacent

all is provided or exists, I tree at least 6 feet tall and at least 25 feet tall at maturity and 3 ovided for every 25 feet along the lot I ed to minimize sound, light, and noise



If a wall at least 3 feet in height is provided or exists along the property line between the two properties, I tree at least 8 feet high at the time of planting shall be provided every for 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed

development on the adjacent property. If no wall is provided or exists, I tree at least 6 feet tall at the time of planting and at least 25 feet tall at maturity and 3 shrubs shall be provided for every 25 feet along the lot line, with spacing designed to

minimize sound, light, and noise impacts. 5-6(EX3Xb) Downtown, Urban Centers, and Main Street and Premium Transit Areas An opaque wall, fence, or vegetative screen at least 6 feet tall

shall be provided at the property line between the two properties, and both of the following requirements shall be

a. One (1) tree at least 8 feet high at the time of planting shall be provided every for 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property. b. The side facing the multi-family development shall be at least as finished in appearance as the side facing the

mixed-use, or non-residential development. 2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-16-5-6(EX3Xb)I if it meets, or is improved to meet, the height

and design standards above. ustrial zoning or develo ng or development, including, bu , development in an NR-LM or NR-GM zone jacent to any lot that is not in an NR-LM or NRG light manufacturing theavy manufacturing topecial natural resource extraction± non-linear portions c le facility, or other major utility± or any primary use category in Table 4-2-1 is developed on a lot al lot with a use other than one of these specific familu residential development is adjace elopment.

tree at least 8 feet high at the time of planting sha very for 15 feet along the wall, with spacing designed impacts of the proposed development on the adj of the wall facing the non-industrial development in appearance as the side facing the industr existing wall between the two propert quirements of Subsection 14-16 meet, the height and

an Centers, and Mair

istrial development.

que wall or fence at least 6 feet

perty along any lot line abutting or acro

Lot in Area of Change Next to	Standards	General Buffering	DT-UC-MS-PT	
Area of Consistency in R-A, R- 1, R-MC, or R-T	14-16-5-6(E)(2)		Well Generation	
Area of Consistency in R-ML or R-MH	14- <mark>16-5-6(E)(3)</mark>	Landscaped buffer area ≥15 ft.	Wall, fence, or vegetative screen ≥6 ft.	
Area of Consistency in Mixed- use, NR-C, or NR-PO	14-16-5-6(E)(4)			
[1] See subsections 14-16-5-6(E)(5)(a), standards for Development Areas.	14-16-5-6(E)(5)(b), and	14-16-5-6(E)(5)(c) for the	complete buffer	

trict, the requirements of Subsections 14-16-5-6

om front, side, a parking lot is abutting an R-A, R-I, I is related to parking area in Subsection through Or Drive-up Facilities, and Loading

here development is coordinated on 2 or more abut ible barking areas are located on a single lot, or on areas controlled by Site Plans, these requirements sl entire development area unless otherwise appro andscape buffers may be crossed by drive aisles co

o parking is allowed within a required landscape bu scape approved within the abutting public be counted toward this requirement if there lewalk between such landscape and the pr of the on-site landscape buffer be cape area may be reduced by

or vehicle circulation area provides equal or better screening of the headligh

Downtown, Urban Centers, and Main Street and Premium

Transit Areas Any parking lot located within 30 feet of the front lot line shall be screened from the street by a masonry wall as described in Subsection a above. Openings in the masonry wall no more than 4 feet wide to allow passage of bicycles and pedestrians from the street into the parking lot are

2. Side and Rear Lot Edges Where no side or rear lot line buffer is required by Subsection 14-16-5-6(E) above, the following standards apply where the side or rear lot line abuts a public street. a. General

Any parking lot located within 20 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles. b. Downtown, Urban Centers, and Main Street and Premium

Transit Areas Any parking lot located within 20 feet of a side or rear lot line shall be screened by a landscaped buffer at least 5 feet wide containing one tree and 3 shrubs per 25 feet of the parking lot edge closest to the lot line, or by a masonry wall constructed of a material other than cement block, at least 3 but not more than 4 feet tall.

5-6(F)(2) Parking Lot Interior

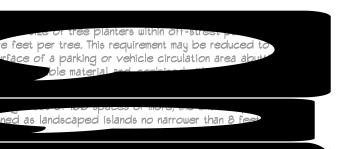
5-6(FX2Xa) General

At least 10 percent of the parking lot area of lots containing 50 or fewer spaces, and at least 15 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped. 5-6(FX2Xb) Downtown, Urban Centers, and Main Street and Premium Transit Areas At least 5 percent of the parking lot area of lots containing 50 or fewer spaces, and at least 10 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped.

5-6(F $(2\tilde{\chi}c)$  Tree Requirements

One (1) tree is required per 10 parking spaces. No parking space may be more than 100 feet in any direction

from a tree trunk. 3. At least 15 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.



and trees sufficient to act as a scree 75 percent obaque. ENING OF MECHANICAL EQUIPMENT AND SU

sted below shall comply with the following standards. I orative wall or fence is required or installed, chain lir t slats) shall not satisfy the requirement. mounted Mechanical Equipment ening is required for rooftop solar R-MH. Mixed-use, NR-0 ted mecha

BP, NR-SU, and NR-PO Zone D chanical equipment shall be located wh parks or trails, Major Public Open Space, o lot or from adjacent properties with low-dens to the maximum extent bracticable.

ot practicable to locate ground-mounted mechanical ( osections (a) and (b) above, such equipment shal paque decorative wall or fence or a vegeta ence shall be of a height equal to or anical equipment being scree materials an

psters shall be in se a lid covering and shall be c does not reach storm drain inlets obment Abutting Low-density R lensity residential development or lots zoned F ers for solid waste, but not for recycling, are prohibi etback or landscape buffer area that is contiguous w esidential development.

R-ML, R-MH, and Mixed-use Zone Districts Outdo se areas shall be integrated into the buil ocated where they are not visib Iblic Open Space, or

ons (c) and (d) above, they shall be s e decorative wall or fence at least 6 feet tall but n ncorporates at least 1 of the primary materials

ed outside and are typically not move -day period, and that are adjacent to any Resi ontaining a residential use in any Mixed-use zone Public Open Space, public trail, or major a

the nearest wall of the prim getative screen planted along the full length o

and at least 8 feet high at the time of planting. Batellite Dishes ounted satellite dishes that are larger than 3 feet one district, or that are larger than 6 feet dential zone district, the base g

on, and Landscaping and Weeds, Litte the Albuquerque Bernalillo County Water Autho egislation and Ordinances (Water Waste Reduct

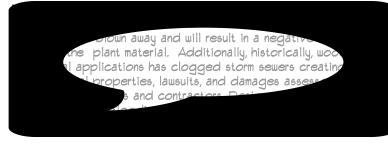
## after notice from the City. The replacement is the responsibility of the property owner. trees shall be maintained a

IDO 4-3(B)(8) Dwelling, Multi-Family (landscape requirements)

4-3(B)(8)(c) in other areas, this use shall meet all of the following landscape standards, in addition to all applicable standards in Section 14-16-5-6 (Landscaping, Buffering, and Screening).

- This use shall provide, somewhere on the lot, at least 1 tree per ground floor dwelling unit and at least I tree per second floor dwelling unit no additional trees are required for additional dwelling units on the third or higher floors.
- Twenty-five (25) percent of the net lot area shall contain landscaping± playgrounds, sports courts, swimming pools, or similar features may count up to 10 percent of net lot landscaping. Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscaped area, and the maximum a tree canopy shall count toward this requirement is 600 square feet.
- Cool season grasses are restricted to 20 percent of the landscape area. Warm season grasses may cover up to an additional 70 percent of the landscape area.

4-3(B)(8)(d) At least 50 percent of the trees required by Subsection (b) or (c) above shall be deciduous canopy-style shade trees or coniferous trees capable of attaining a mature canopy diameter of at least 25



5-6(CX5Xd) A minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended. 5-6( $C\tilde{X}5Xe$ ) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the In these areas, weed barrier fabric is prohibited.

15 percent of any landscaped area, or 50 p

IDO 14-16-5-13(B) MAINTENANCE STANDARDS

5-13(B)(7) Landscaping, Buffering, and Screening

5-13(BX1Xb) Landscaping, screening and buffering areas shall be naintained in

compliance with Articles 6-6 and 9-8 of ROA 1994 (Trees, vegetation, and Landscaping and Weeds, Litter, and Snow) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance).

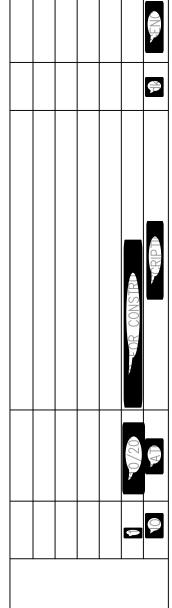
5-13(BX1Xb) All landscaped areas shall be maintained with a neat and orderlu appearance, which includes pruning, removal and replacement of dead

or diseased plants and trees, disposal of litter, repair of damaged walls and hard surface areas, and upkeep of irrigation systems. 5-13(B)(T)(c) Landscaped areas that become bare shall be re-vegetated to avoid erosion.

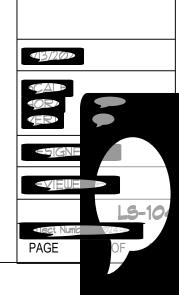
5-13(BXTXd) Where landscaping was installed pursuant to a Site Plan or development approval, the landscaping shall be replaced according to any landscaping and maintenance plan under that approval.

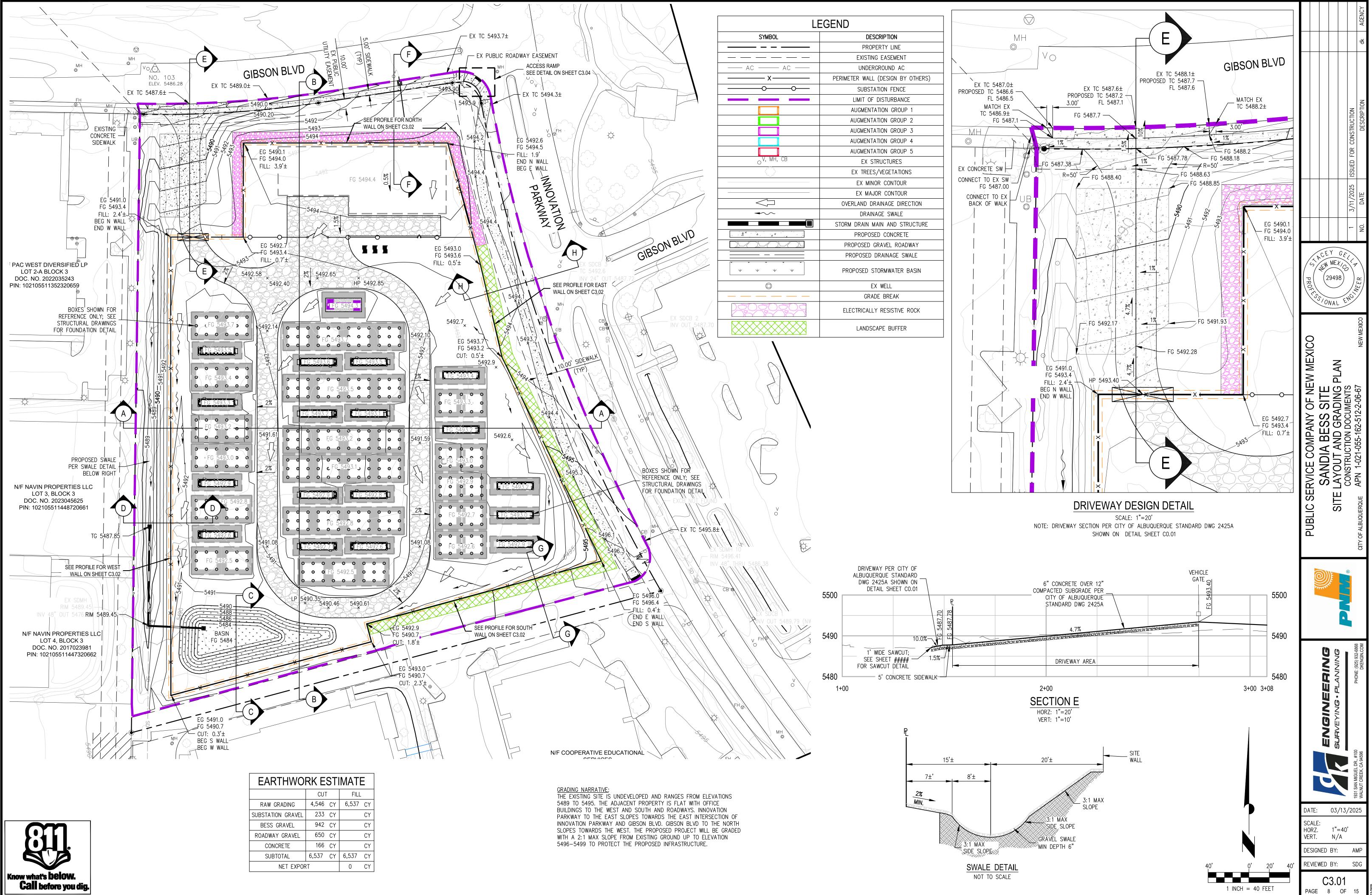
5-13(B)(T)(e) Trees or plants that die shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 calendar days after notice from the City. The replacement of dead vegetation is the responsibility of the property owner.

5-13(BXTXf) Street trees shall be maintained alive and healthy. Maintaining and replacing street trees or other trees planted in the public right-of-way are the responsibility of abutting property owners.

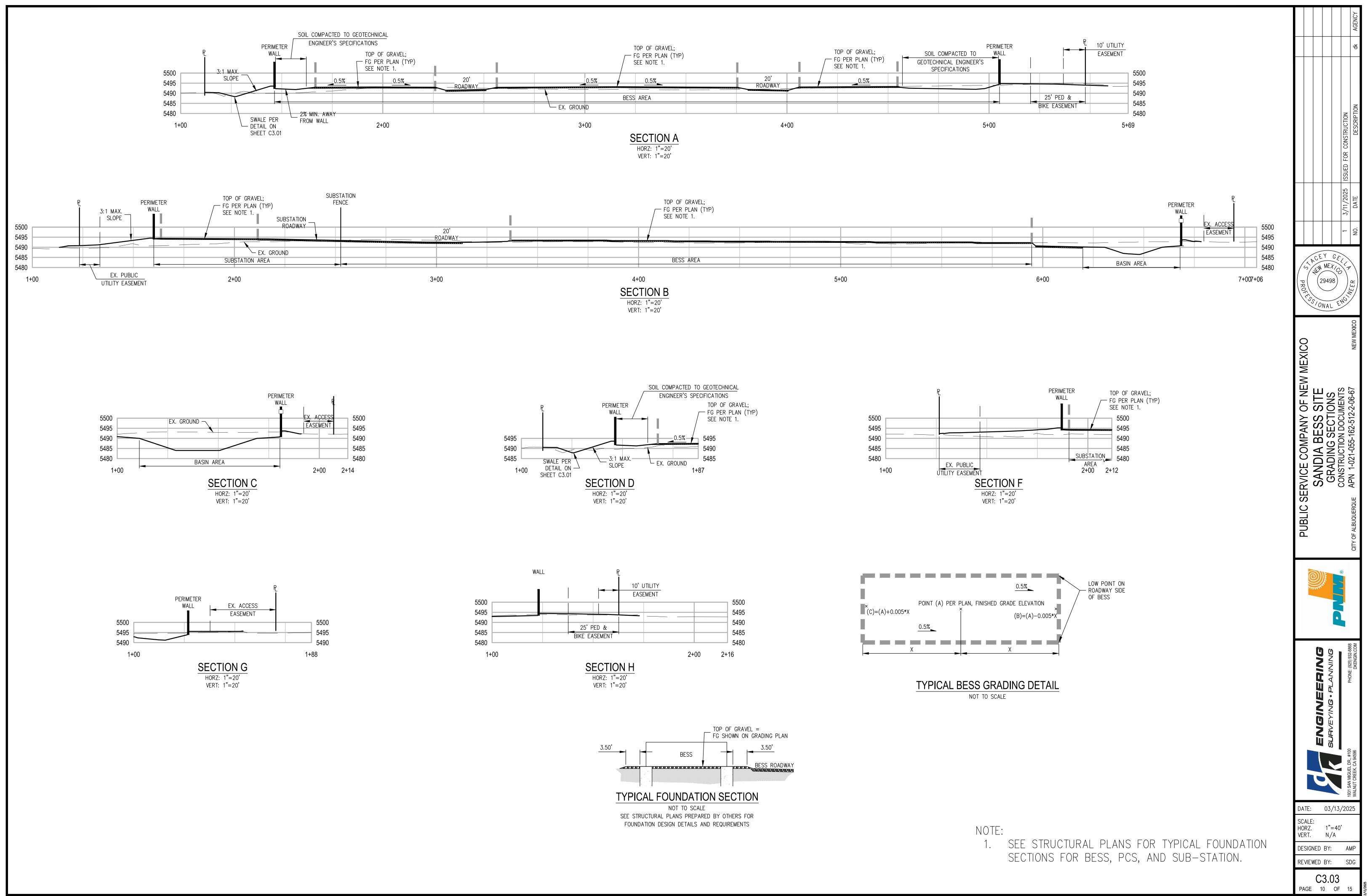






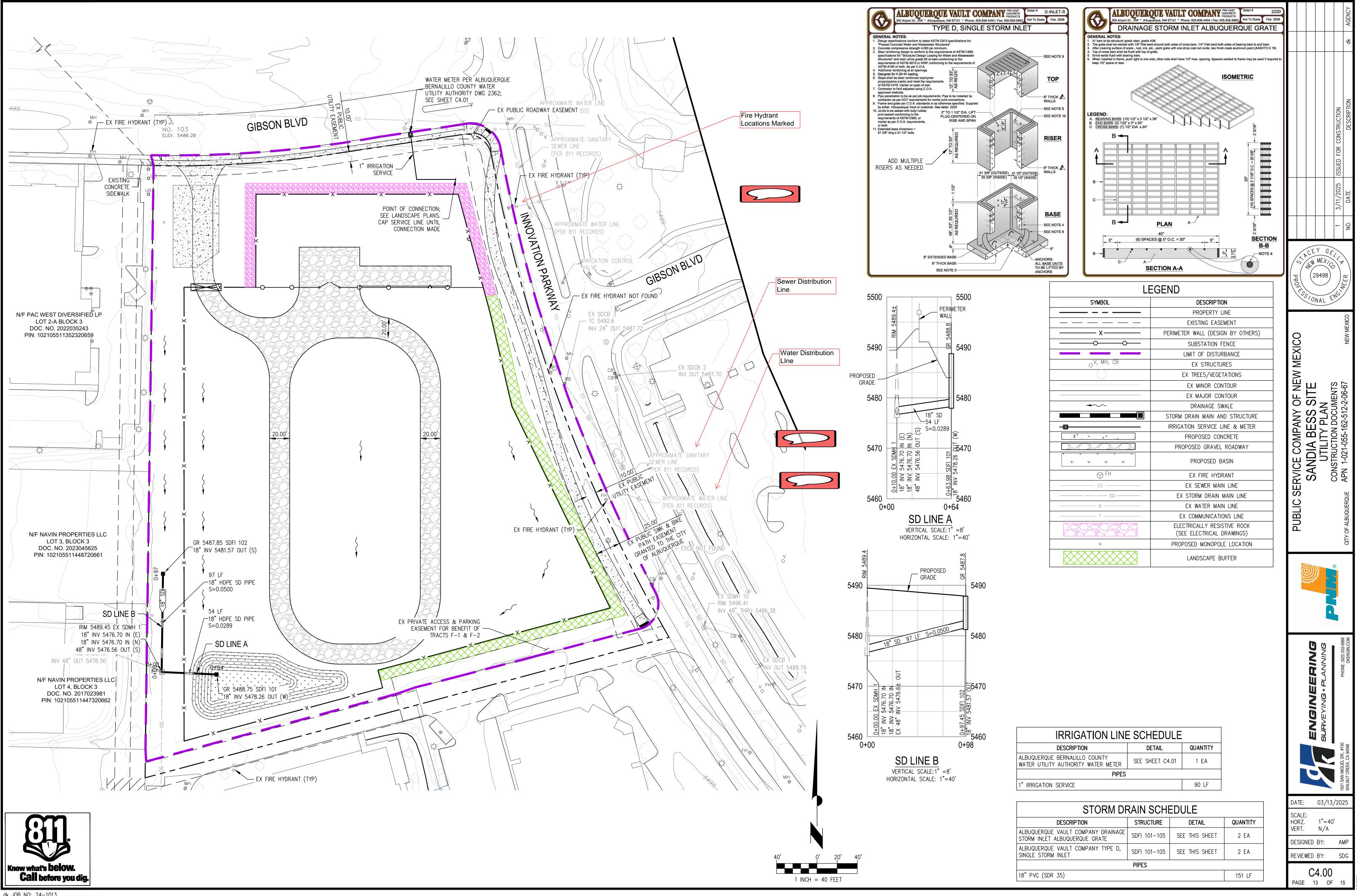


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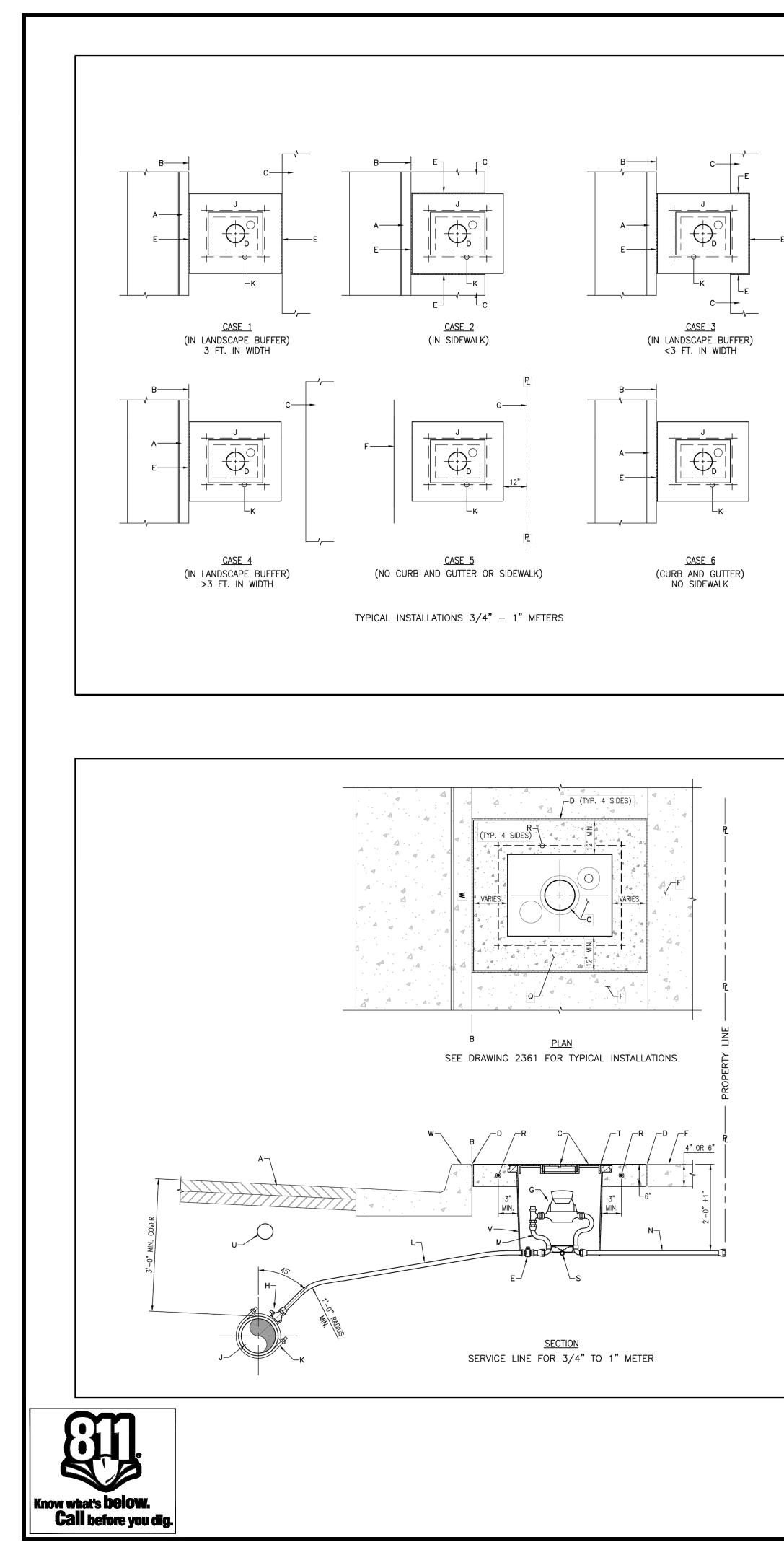




DMA 1 AREA SUMMARY				
TOTAL TREATABLE AREA	IMPERVIOUS AREA	REQUIRED TREATMENT	PROVIDED TREATMENT	
159,378 SF	25,041	0.032 AC-FOOT	0.036 AC-FOOT	
ALDUALEDALE DESIGN MANULAL DATED 2020.				



dk JOB NO: 24-1013



## GENERAL NOTES

- 1. FOR CONSTRUCTION AND DIMENSIONS OF WATER METER BOX AND CONCRETE PAD, SEE STANDARD DRAWINGS 2362, 2363 & 2368
- 2. BECAUSE OF LIMITED SPACE, METER BOXES MAY BE ROTATED 90°. CONNECTIONS TO BE MADE PER WATER AUTHORITY APPROVAL.
- 3. DOUBLE METER BOXES SHALL BE CENTERED ON ADJOINING PROPERTY LINES.
- 4. DOUBLE METER BOX CONFIGURATIONS SHALL BE USED TO THE EXTENT POSSIBLE.
- METER BOXES SHALL NOT BE CONSTRUCTED IN DRIVEWAYS OR DRIVEPADS UNLESS AUTHORIZED IN WRITING BY THE WATER AUTHORITY.
- WHERE METER BOXES EXIST WITHOUT THE DRIVEWAY OR DRIVEPAD IN PLACE, CONSTRUCTION OF NEW DRIVEWAYS AND/OR DRIVEPADS SHALL INCLUDE RELOCATION OF THE EXISTING METER BOXES.
- WHERE CURB AND GUTTER EXISTS WITHOUT SIDEWALK, CONCRETE PAD SHALL MATCH THE TOP OF CURB ELEVATION, AND SLOPE DOWNWARDS TOWARD CURB AT 2% (MAX) IN CONFORMANCE WITH STANDARD DRAWING 2430.

## CONSTRUCTION NOTES A. CURB

- B. BACK OF CURB
- C. SIDEWALK
- D. METER BOX COVER, SEE STANDARD DRAWING 2368
- E. 1/2" EXPANSION JOINT F. EDGE OF UNCURBED STREET OR GRADED STREET
- G. PROPERTY LINE
- H. DRIVEPAD
- J. CONCRETE PAD, SEE STANDARD DRAWING 2362 K. #4 REBAR CONTINUOUS ALL AROUND METER BOX

RE	VISIONS	WATER AU	JTHORITY
UA	G. 2013	WAT TYPICAL M INSTALL	ETER BOX
		DWG. 2361	AUG. 2013

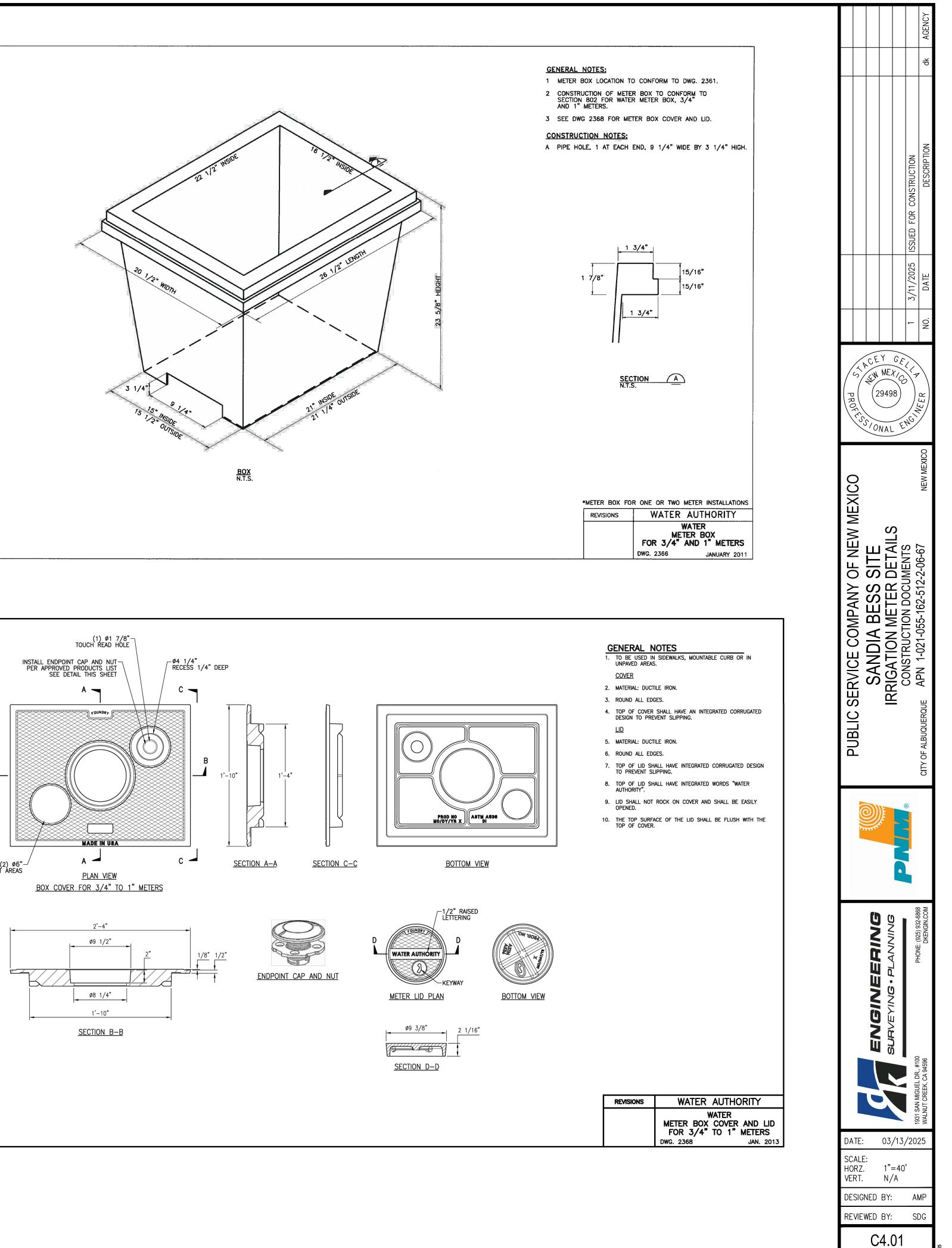
## GENERAL NOTES

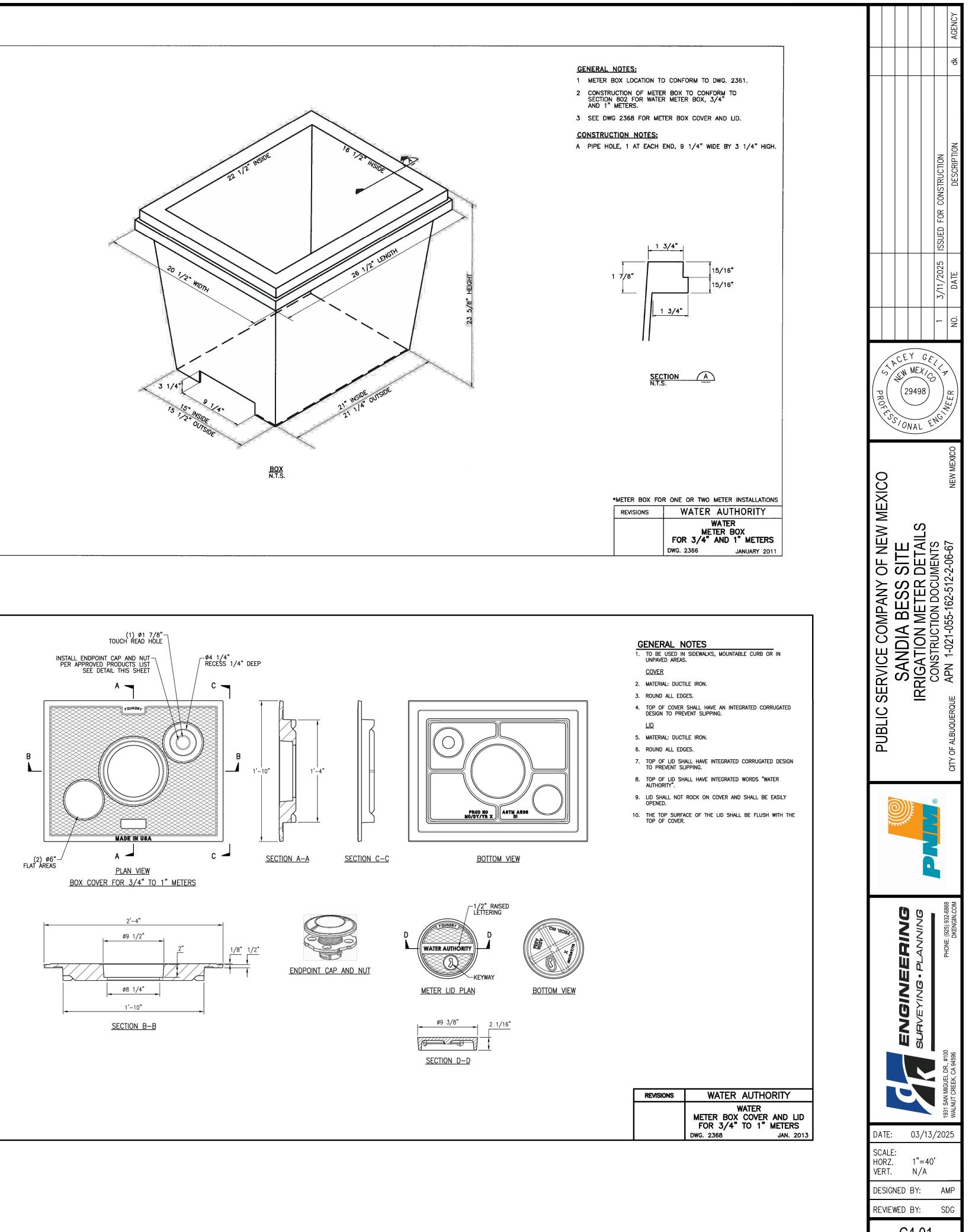
- . The meter shall be set utilizing a copper-setter. Copper-setter height 10" for 1" meter. 7" for 3/4" meter. THE VALVE AND METER REGISTER SHALL BE LOCATED UNDER THE LID OPENING. WHERE TWO METERS ARE TO BE INSTALLED IN A SINGLE METER BOX, THE METER REGISTERS SHALL BE WITHIN READING RANGE OF THE LID OPENING.
- 3. METER BOX LOCATION SHALL CONFORM TO STANDARD DRAWING 2361.
- WHEN CONTRACTOR DOES NOT INSTALL METER, CONTRACTOR SHALL PROVIDE REMOVABLE PLUGS FOR END OF COPPER-SETTER.
- 5. EXISTING CONCRETE SHALL BE SAWCUT.
- 6. CROSS CONNECTION CONTROL. SEE STANDARD SPECIFICATION SECTION 802.3.9 THE (PRIVATE) TAILPIECE IS TO BE INSTALLED BY THE CONTRACTOR AND IS TO BE OWNED AND MAINTAINED BY THE CUSTOMER PER WATER AUTHORITY ORDINANCE.

## CONSTRUCTION NOTES

- A. STREET SURFACE B. BACK OF CURB
- C. METER BOX COVER AND LID. SEE STANDARD DRAWING 2368.
- D. 1/2" EXPANSION JOINT
- E. CURB STOP, LOCATE INSIDE METER BOX.
- F. SIDEWALK OR DRIVEPAD
- G. METER. TOP OF METER SHALL BE 12" TO 18" BELOW COVER.
- H. CORP STOP J. MAIN WATER LINE
- K. TAPPING SADDLE
- L. COPPER SERVICE LINE
- M. COPPER SETTER. PROVIDE WITH DUAL CHECK VALVE IN PRESSURE ZONES 0W, 1W, 1E, AND FOR PRIVATE WELLS. SEE SPECIFICATION SECTION 802.3.9 FOR PRIVATE WELL PROVISIONS.
- N. TAILPIECE. 3 FT LONG, APPROVED COPPER TUBING WITH A CLEAN CUT AT END AND WITH A TEMPORARY PLUG. DUAL CHECK VALVE SHALL BE INSTALLED IN WATER ZONES OW, 1W, 1E AND FOR PRIVATE WELLS. SEE SPECIFICATION SECTION 802.3.9 FOR PRIVATE WELL PROVISIONS.
- Q. CONCRETE PAD REQUIRED IN ALL AREAS PER SECTION 101. EXTERIOR CONCRETE, f'c = 3000 psi AT 28 DAYS.
- R. #4 REBAR CONTINUOUS ALL AROUND METER BOX.
- S. STABILIZER BAR. USE FOR SINGLE METER ONLY. 12" LONG  $\times$  1/2" DIA. GALVANIZED STEEL PIPE.
- T. METER BOX LID SHALL BE FLUSH WITH SURROUNDING SIDEWALK.
- U. ELECTRONIC MARKER DEVICE (EMD). SEE STANDARD SPECIFICATION SECTION 170.
- V. METER BOX PER STANDARD DRAWING 2366.
- W. "W" STAMP ON CURB WHERE SERVICE LINE CROSSES.

REVISIONS	WATER AUTHORITY
JAN. 2011	WATER 3/4" TO 1" METERED SERVICE LINE INSTALLATION DWG. 2362 MAY 2019



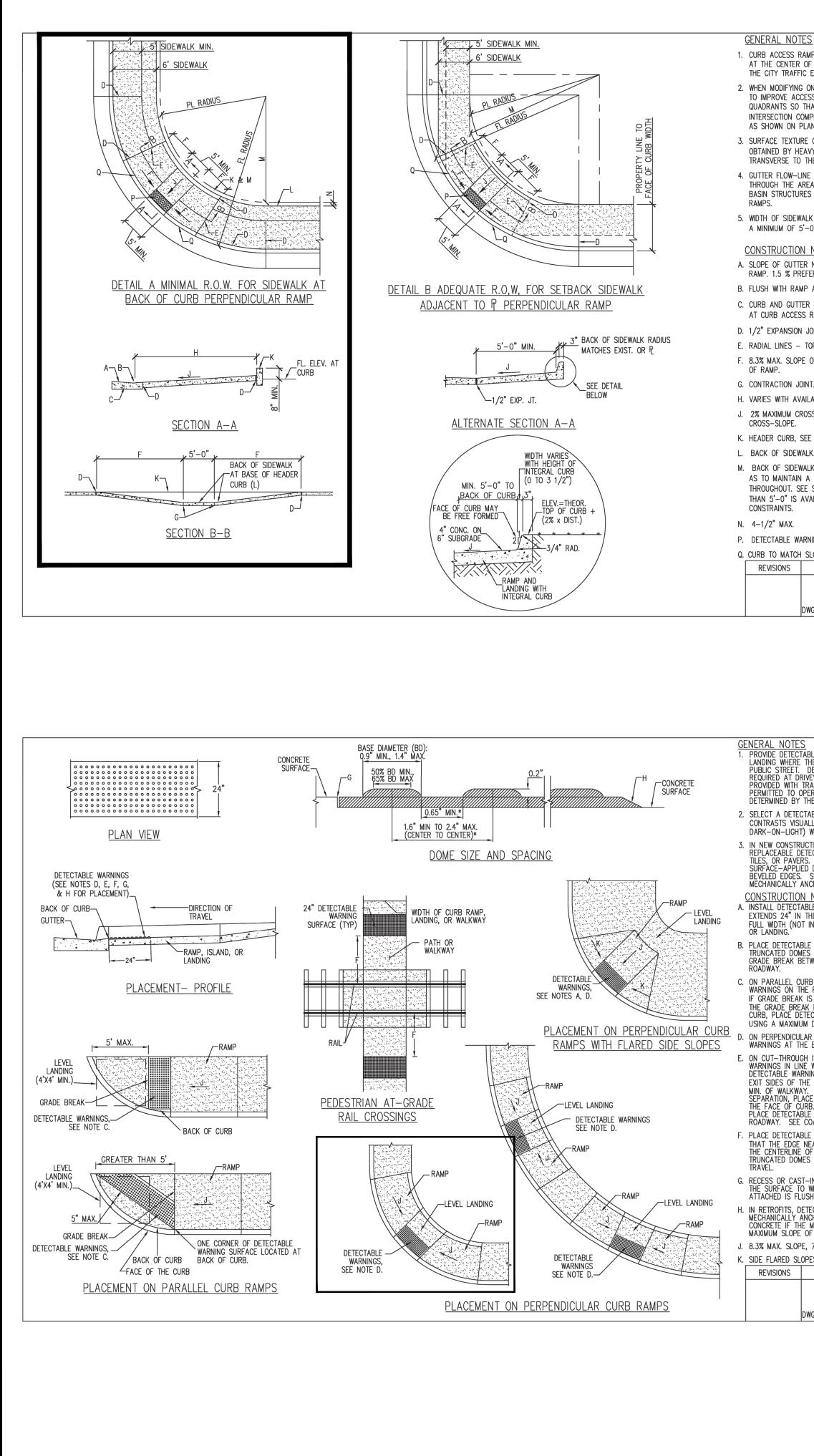




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DMA 1 AREA SUMMARY							
TOTAL TREATABLE AREA	IMPERVIOUS AREA	REQUIRED TREATMENT	PROVIDED TREATMENT				
159,378 SF	25,041	0.032 AC-FOOT	0.036 AC-FOOT				



1. CURB ACCESS RAMPS ARE NORMALLY TO BE LOCATED AT THE CENTER OF THE RETURN OR AS DIRECTED BY THE CITY TRAFFIC ENGINEER. 2. WHEN MODIFYING ONE QUADRANT OF AN INTERSECTION TO IMPROVE ACCESSIBILITY, MODIFY THE REMAINING QUADRANTS SO THAT ALL QUADRANTS OF THE INTERSECTION COMPLY WITH ADA (PROWAG) REGULATIONS AS SHOWN ON PLANS. 3. SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY HEAVY BROOMING (TEXTURE DEPTH .0625"), TRANSVERSE TO THE SLOPE OF THE RAMP. 4. GUTTER FLOW-LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP. DRAINAGE CATCH BASIN STRUCTURES SHALL NOT BE PLACED IN LINE WITH

RAMPS. 5. WIDTH OF SIDEWALK AND RAMP MUST BE MAINTAINED AT A MINIMUM OF 5'-0" THROUGH ENTIRE RAMP LENGTH.

CONSTRUCTION NOTES A. SLOPE OF GUTTER NOT TO EXCEED 2% ADJACENT TO

RAMP. 1.5 % PREFERRED. B. FLUSH WITH RAMP AND GUTTER.

C. CURB AND GUTTER (SEE STD. DWG. 2415 - GUTTER AT CURB ACCESS RAMP). D. 1/2" EXPANSION JOINT.

E. RADIAL LINES - TOP AND BOTTOM OF RAMP. F. 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE

G. CONTRACTION JOINT.

H. VARIES WITH AVAILABLE R.O.W.

J. 2% MAXIMUM CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.

K. HEADER CURB, SEE DWG. 2415C.

L. BACK OF SIDEWALK.

M. BACK OF SIDEWALK RADIUS TO BE ESTABLISHED SO AS TO MAINTAIN A 5'-0" RAMP WIDTH (MINIMUM) THROUGHOUT. SEE STD. DWG. 2440 (NOTE 6) IF LESS THAN 5'-0" IS AVAILABLE DUE TO UNRESOLVABLE

N. 4-1/2"MAX.

P. DETECTABLE WARNINGS (SEE STD. DWG. 2446). Q. CURB TO MATCH SLOPE OF SIDEWALK.

REVISIONS CITY OF ALBUQUERQUE PAVING

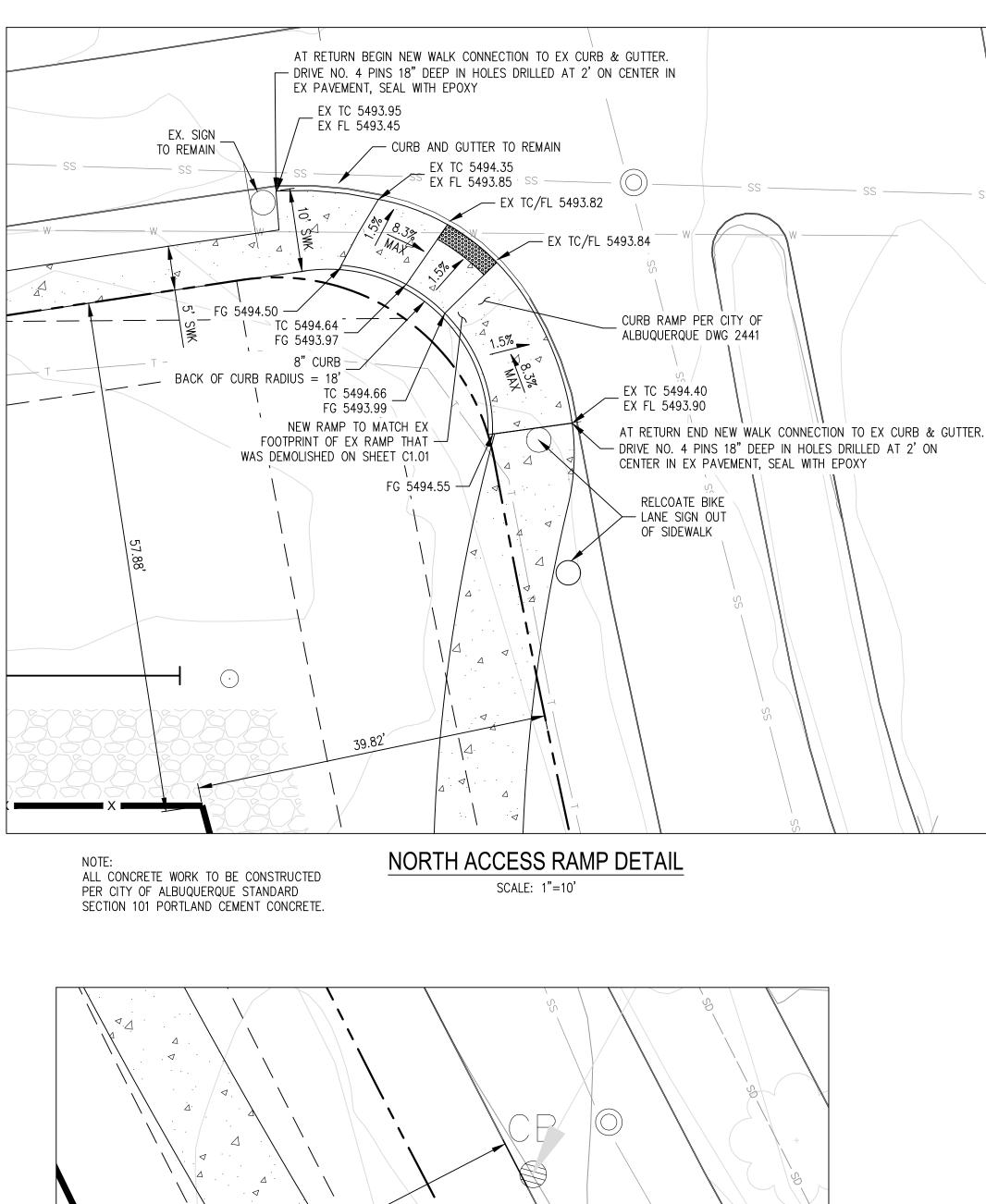
CORNER ACCESS RAMP DWG. 2441 JUNE 2019

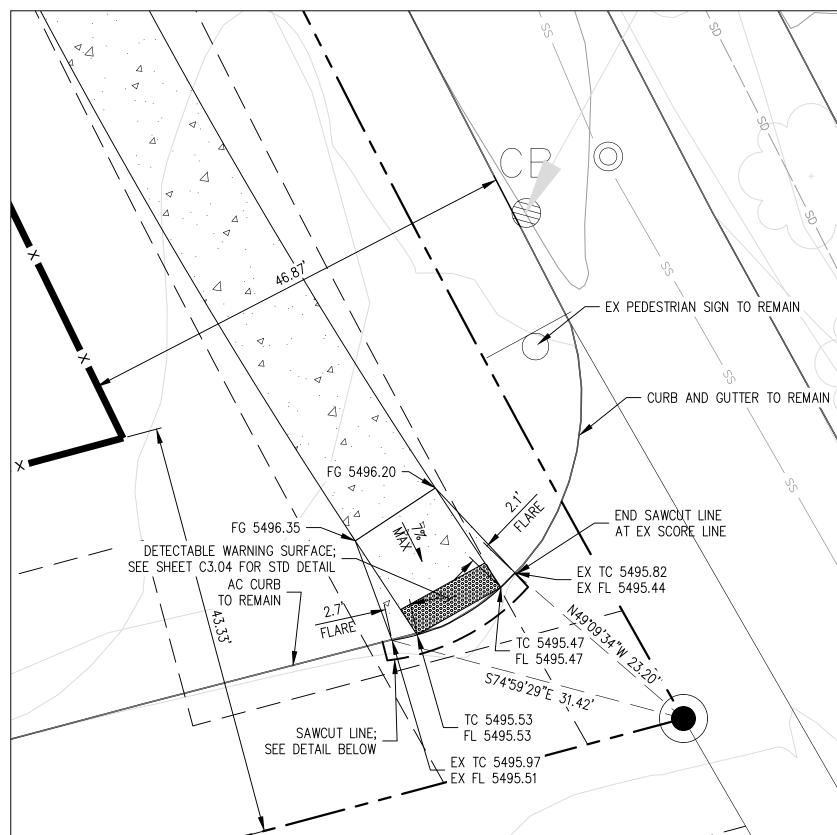
I. PROVIDE DETECTABLE WARNINGS ON ANY CURB RAMP OR LANDING WHERE THE ACCESSIBLE ROUTE CROSSES A PUBLIC STREFT. DETECTABLE WARNINGS ARE NOT PODUC STREET. DETECTABLE WARNINGS ARE NOT REQUIRED AT DRIVEWAYS UNLESS THE DRIVEWAY IS PROVIDED WITH TRAFFIC CONTROL DEVICES OR IS PERMITTED TO OPERATE LIKE A PUBLIC STREET AS DETERMINED BY THE CITY ENGINEER. 2. SELECT A DETECTABLE WARNING SURFACE THAT CONTRASTS VISUALLY (LIGHT-ON-DARK OR DARK-ON-LIGHT) WITH ADJACENT SURFACES. 3. IN NEW CONSTRUCTION, INSTALL CAST-IN-PLACE REPLACEABLE DETECTABLE WARNING PLATES, PANELS, TILES, OR PAVERS. IN RETROFITS, INSTALL SURFACE-APPLIED DETECTABLE WARNING PANELS WITH BEVELED EDGES. SURFACE APPLIED PANELS SHALL BE MECHANICALLY ANCHORED. CONSTRUCTION NOTES A. INSTALL DETECTABLE WARNING SURFACE SO THAT IT EXTENDS 24" IN THE DIRECTION OF TRAVEL FOR THE EXTENDS 24" IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH (NOT INCLUDING SIDE FLARES) OF THE RAMP OR LANDING. B. PLACE DETECTABLE WARNINGS SO THAT THE ROWS OF TRUNCATED DOMES ARE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP OR LANDING AND THE C. ON PARALLEL CURB RAMPS, PLACE DETECTABLE WARNINGS ON THE RAMP SURFACE AT THE GRADE BREAK IF GRADE BREAK IS WITHIN 5' FROM BACK OF CURB. IF THE GRADE BREAK IS GREATER THAN 5' FROM BACK OF CURB, PLACE DETECTABLE WARNINGS AT A DIAGONAL USING A MAXIMUM DISTANCE OF 5' FROM FACE OF CURB. D. ON PERPENDICULAR CURB RAMPS, PLACE DETECTABLE WARNINGS AT THE BACK OF CURB. ON CUT-THROUGH ISLANDS, PLACE DETECTABLE WARNINGS IN LINE WITH THE BACK OF CURB IF DETECTABLE WARNING SURFACES ON THE ENTRANCE AND EXIT SIDES OF THE ISLAND CAN BE SEPARATED BY 2' MIN. OF WALKWAY. IF NECESSARY TO ACHEVE 2' MIN. SEPARATION, PLACE DETECTABLE WARNINGS IN LINE WITH THE FACE OF CURB. IF THE ISLAND HAS NO CURB, PLACE DETECTABLE WARNINGS AT THE EDGE OF ROADWAY. SEE COA STD. DWG. 2448. F. PLACE DETECTABLE WARNINGS AT RAIL CROSSINGS SO THAT THE EDGE NEAREST THE RAIL IS 6' TO 15' FROM THE CENTERLINE OF THE NEAREST RAIL. ALIGN ROWS OF TRUNCATED DOMES PARALLEL TO THE DIRECTION OF TRAVEL. G. RECESS OR CAST-IN DETECTABLE WARNINGS SO THAT THE SURFACE TO WHICH THE TRUNCATED DOMES ARE ATTACHED IS FLUSH WITH THE ADJACENT CONCRETE. H. IN RETROFITS, DETECTABLE WARNING MAT MAY BE MECHANICALLY ANCHORED TO THE SURFACE OF THE CONCRETE IF THE MAT EDGE IS BEVELED WITH A MAXIMUM SLOPE OF 2H:1V.

J. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE. . SIDE FLARED SLOPES. REVISIONS CITY OF ALBUQUERQUE PAVING DETECTABLE WARNINGS

JUNE 2019

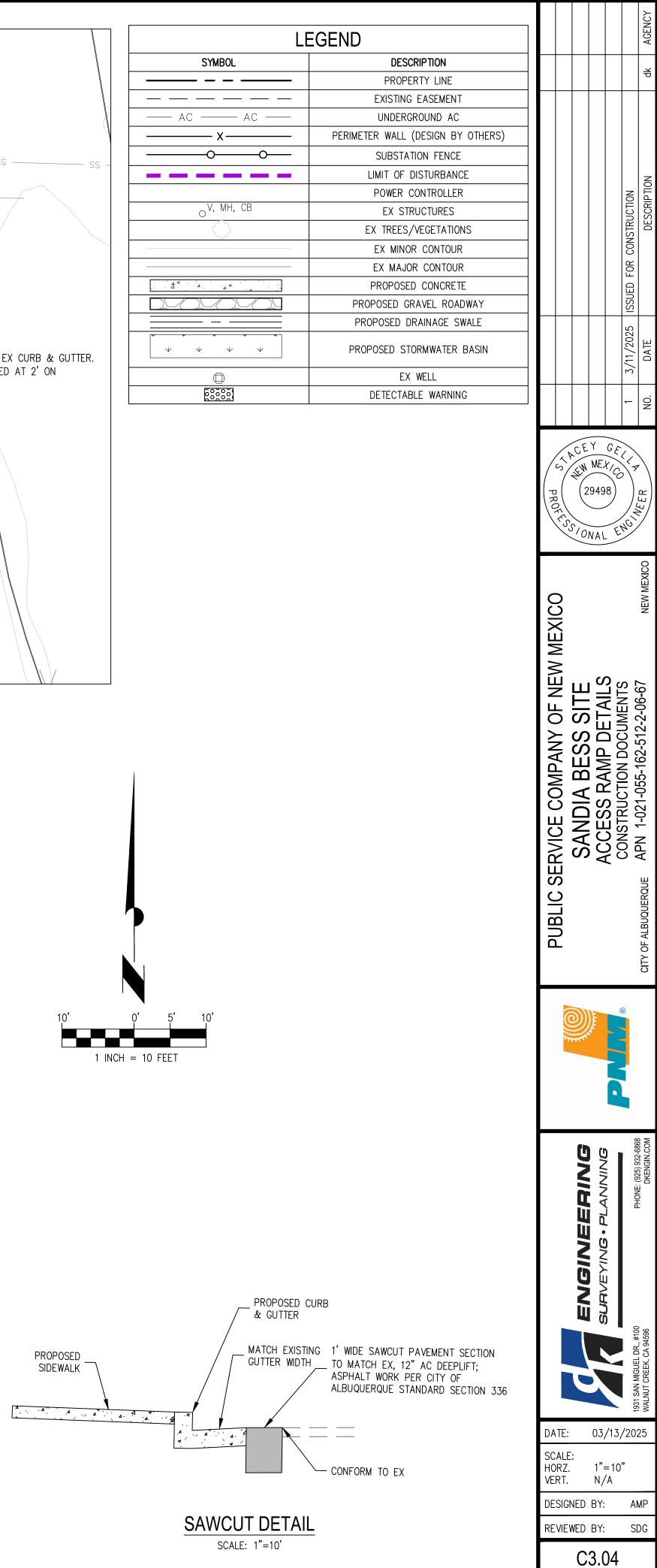
DWG. 2446



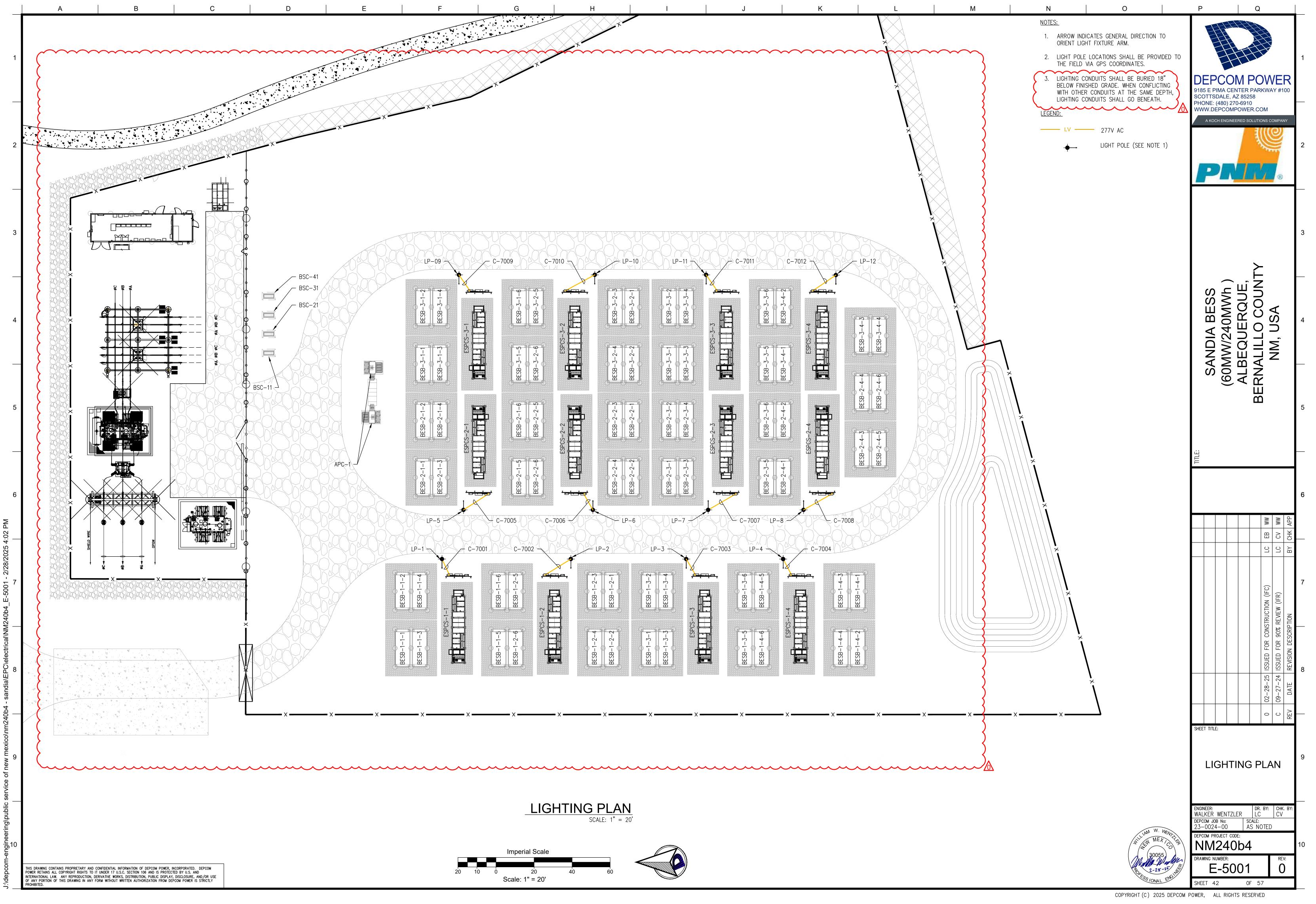


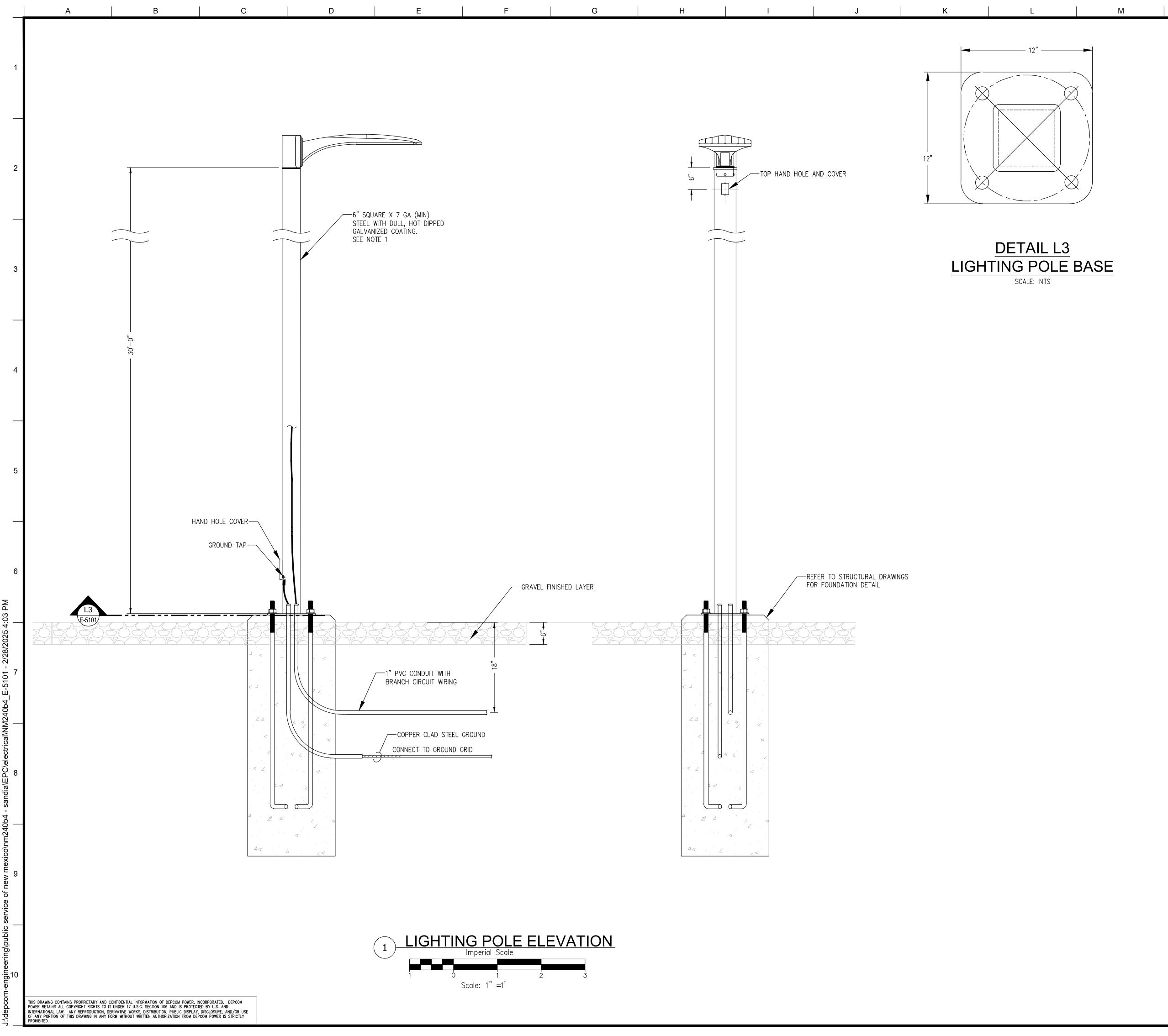
SOUTH ACCESS RAMP DETAIL SCALE: 1"=10'

NOTE: ALL CONCRETE WORK TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARD SECTION 101 PORTLAND CEMENT CONCRETE.



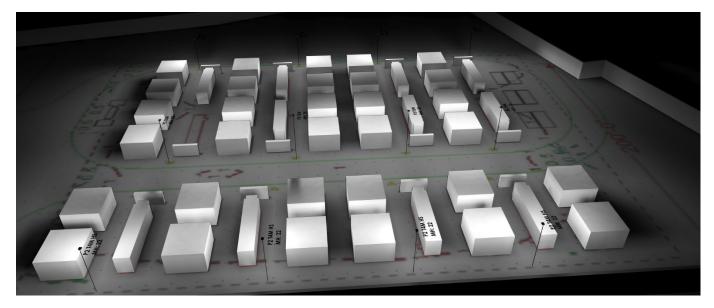
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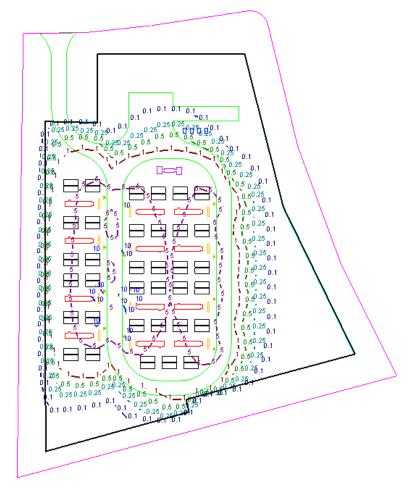




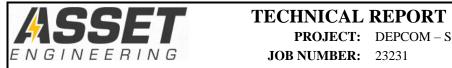
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Models Showing Light Output at Night. The lighting is designed to be contained within the perimeter of the site





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# **PROJECT:** DEPCOM – Sandia

**SUBJECT:** <u>Site Lighting Study</u>

BY: <u>ASSET Engineering</u>

**DATE:** <u>11/12/24</u>

CALC NO.: <u>E-416</u> **SHEET NO.:** <u>2 OF 6</u> **REV:** <u>B</u>

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1.0	Purpose and Scope	. 3
2.0	Design Requirements	. 3
3.0	Design Methodology	. 3
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5.0	References	. 5
6.0	Revision Control	. 5

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ENG	INE	ERING	JOB NUMBER:	23231			
SUBJE	CT:	Site Lighting Study			CALC	NO.:	<u>E-416</u>
DV.		ACCET Engineering	DATE.	11/12/24	SHEET		
BY:		ASSET Engineering	DATE:	<u>11/12/24</u>	1	REV:	<u>B</u>
1.0	Purp	oose and Scope					
		Purpose of this Site Lig 34.5 kV Substation, wh			ighting levels within the exico.	DEP	COM POWER
	direc detai	tly associated with th	e substation yard v wings. The study d	which include	<b>ing levels</b> , fixtures, lames the control building unt for light from exist	's ext	erior lights, as
2.0	Desig	gn Requirements					
	engin 1 – I	neering practice. NES	C Foot-candle Reco Lighting levels ran	mmendations	the NESC/IEEE stand are presented in Attach foot-candles (fc) for g	nment	C "Table 111-
	(LLF	-	ion 3.3 below, and	represents the	nd value incorporates the minimum target-main		
		ghts used in the yard a querque Acres and Sar		nt to conform	with the "Outdoor Lig	hting	Code for North
3.0	Desig	gn Methodology					
	3.1	Computer Software					
		by Acuity Brands I facility, locate ligh height and orientation	Lighting, Inc. This ting fixtures in plan on (direction and tilt	s software all n, assign fix t angle) of the	020 (Version 2.11.0094 ows the user to impor sure/lamp properties, an e fixtures. The software ed further in this section	t a C nd set also	AD file of the the mounting
	3.2	Fixtures and Mount	ing				
		• •	table Area Lights.	-	t the facility: LED wa ure information in the		-
	3.3	Light Loss Factor					
					or the physical condition orld" losses or gains cor		
I							

	S	SET	TECHNICAL PROJECT:	<b>REPORT</b> DEPCOM – Sandia	
ENG	INE	ERING	JOB NUMBER:		
SUBJE	ECT:	Site Lighting Study			<b>CALC NO.:</b> <u>E-416</u> <b>SHEET NO.:</b> 4 OF 6
BY:		ASSET Engineering	DATE:	<u>11/12/24</u>	<b>REV:</b> $\underline{\underline{B}}$
			e		vorld" losses or gains compared to the uding the following:
		(lumens) as	-		ants for the diminished light output dependent on the lamp type (mercury
		fixtures. A	<b>1</b> ,		its for dirt accumulation on lamps and or, which reflects cleaning every two
		6			tion of light output (lumens) due to the used for outdoor lighting.
		The resulting LLF =	= LLD * LDD * VE	is calculated to be	0.60 for LED fixtures.
	3.4	Design Clarification	<u>18</u>		
		The following desig	gn assumptions and l	imitations are noted	d:
		1. Outdoor ligl	nting designs conside	er direct lighting or	ly and do not consider reflectance.
		2. The mounting	ng angle of the lights	are at a fixed angle	e of 45°.
		3. RAB Field-	Adjustable Flood lig	hts are at a height c	of 35'.
		-	will be updated wit vings are received.	h the control buil	ding's exterior lights evaluated once
4.0	Desi	gn Results			
	level	-	contoured lighting le		plan view, which shows spot lighting e walking surface. A summary of the
	4.1	General Yard Light	ing		
		lighting levels drav areas and 2 fc for C	vn at 0.2 and 2 fc.	The minimum targ g are well maintair	view in Attachment B, with contoured get lighting levels of 0.2 fc for remote ned. Lighting levels are lost around the
	4.2	Other Consideration	18		
		several years. T	The lead time for lam	ps is expected to b	nd should not need to be replaced for e relatively short, perhaps stock to two at the time of the first failure, and that



## TECHNICAL REPORT PROJECT: DEPCOM – Sandia

**JOB NUMBER:** 23231

SUBJECT:	Site Lighting Study			CALC NO.:	<u>E-416</u>
				SHEET NO.:	<u>5 OF 6</u>
BY:	ASSET Engineering	DATE:	<u>11/12/24</u>	<b>REV:</b>	<u>B</u>

all lamps be replaced at one time for preventive maintenance. Stocking of spare lamps is at the Customer's discretion.

2. It is recommended that fixtures be cleaned as part of a regularly scheduled maintenance plan.

## 5.0 References

- 5.1 National Electric Safety Code, 2023 Edition.
- 5.2 Visual 2020 (version 2.11.0094).
- 5.3 *Outdoor Lighting Code for the City of Tucson, Arizona and Prima County Arizona, 2012.*

## 6.0 Revision Control

Rev. No.	By	Date	Purpose	Description
А	CTW	08/21/24	Issued For Construction	Original Issue
В	CTW	11/12/24	Issued For Construction	Original Issue

ASSE	NG TECHNICAL REPORT PROJECT: DEPCOM – Sandia JOB NUMBER: 23231	
	<u>Study</u> <u>Engineering</u> <b>DATE:</b> <u>11/12/24</u>	CALC NO.: <u>E-416</u> SHEET NO.: <u>6 OF 6</u> REV: <u>B</u>
Attachment	Description	Page No.
А	Lighting Fixture Information	7
В	Design Results	10
С	Selected Project Data	12

	SET E R I N G	TECHNICAL PROJECT: JOB NUMBER:	DEPCOM – Sandia		
SUBJECT:	Site Lighting Study			CALC NO.:	<u>E-416</u>
BY:	ASSET Engineering	DATE:	<u>11/12/24</u>	<b>REV:</b>	<u>B</u>

# **Attachment A**

**Lighting Fixture Information** 

## FXLED78SFN

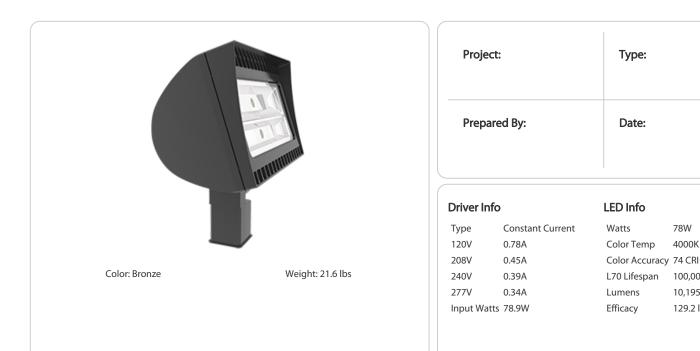
78W

4000K (Neutral)

100,000 Hours

10,195 lm

129.2 lm/W



## **Technical Specifications**

### Compliance

#### **UL Listed:**

Suitable for wet locations. Suitable for mounting within 4ft (1.2m) of the ground.

#### IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

**IP Rating:** Ingress protection rating of IP66 for dust and water

#### Performance

Lifespan: 100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency: Equivalent to 250W Metal Halide

## LED Characteristics

LEDs: Long-life, high-efficacy, surface-mount LEDs

#### **Color Stability:**

LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period

#### **Color Uniformity:**

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

#### Construction

EPA:

2

**Ambient Temperature:** Suitable for use in up to -40°C (-40°F) to 40°C (104°F)

Lens: Tempered glass lens included

Housing: Die-cast aluminum housing and door frame

Mounting: Heavy-duty slipfitter for 2 3/8"OD pipe

Finish: Formulated for high durability and long-lasting color

Tilt Increment: Rotates in 6 degree increments

#### Other

#### Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

#### **Buy American Act Compliance:**

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

#### Electrical

Driver:

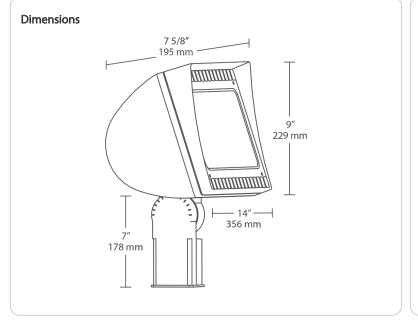
Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.66A, 208V: 0.38A, 240V: 0.33A, 277V: 0.29A

THD: 6.1% at 120V, 7.67% at 277V

**Power Factor:** 99.8% at 120V, 95% at 277V

## FXLED78SFN





#### Features

66% energy cost savings vs. HID NEMA Type - 6H x 6V "Air-Flow" technology heat dissipation

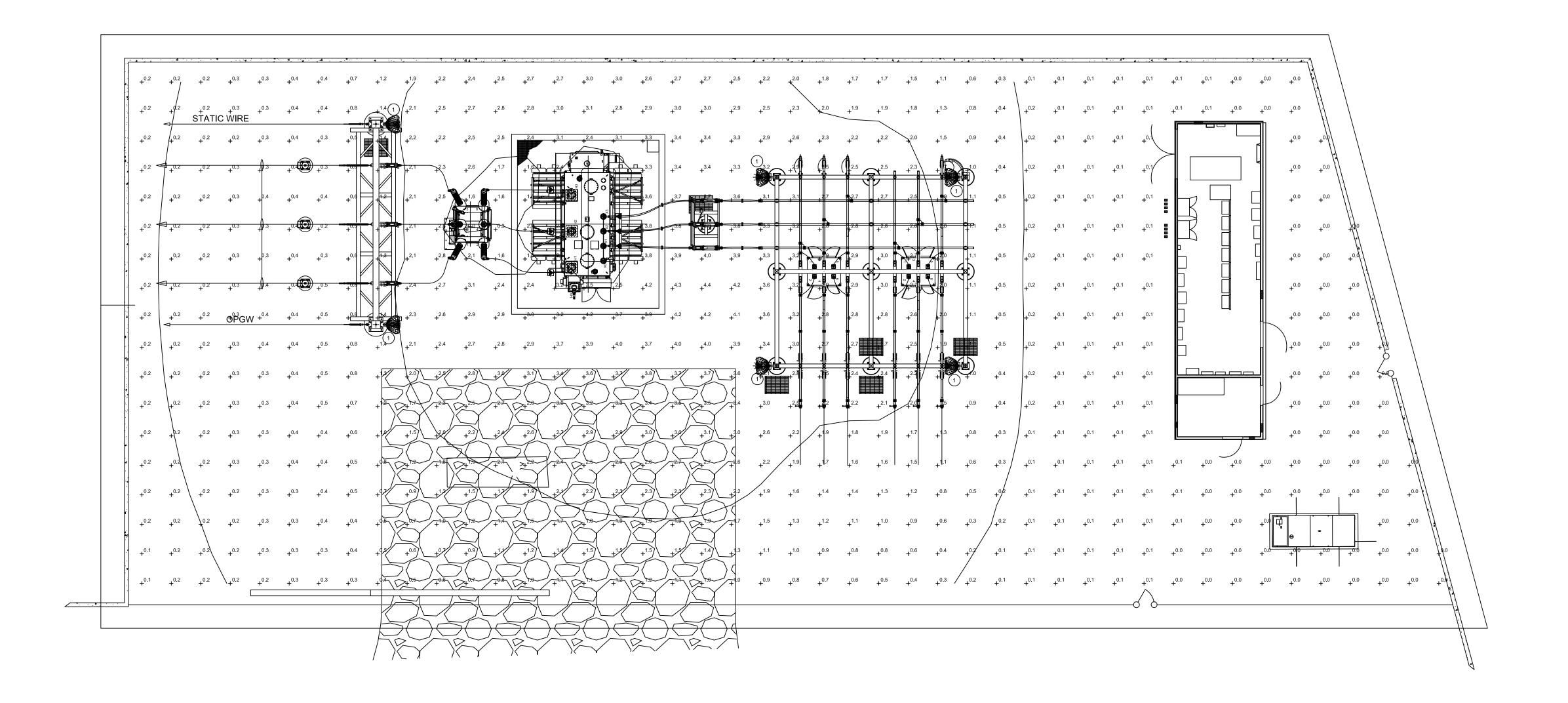
- 100,000-hour LED lifespan
- 5-Year, No-Compromise Warranty

Ordering Matrix									
Family	Wattage	Mounting	Color Temp	Finish	Driver	Options	Other Option		
FXLED	78	SF	Ν						
	<b>105 =</b> 105W <b>125 =</b> 125W <b>150 =</b> 150W <b>78 =</b> 78W	<b>SF =</b> Slipfitter <b>T =</b> Trunnion	Blank = 5000K Cool N = 4000K Neutral Y = 3000K Warm	W = White Blank = Bronze	Blank = Standard /D10 = 0-10V Dimming /BL = Bi-Level /480 = 480V	Blank = No Option /LC = Lightcloud Controller /PCT = 100-277V Twistlock /PCT4 = 480V Twistlock	<b>Blank =</b> Standard <b>USA =</b> BAA Compliant		

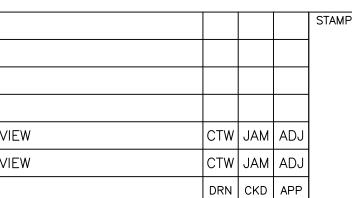
	SET	TECHNICAL PROJECT: JOB NUMBER:	DEPCOM – Sandia		
SUBJECT:	Site Lighting Study			CALC NO.:	<u>E-416</u>
BY:	ASSET Engineering	DATE:	<u>11/12/24</u>	<b>REV:</b>	<u>B</u>

# **Attachment B**

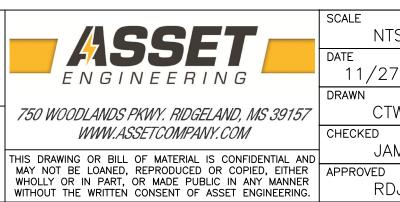
**Design Results** 



В	11/05/24	90% DESIGN REV
А	08/21/24	60% DESIGN REV
REV	DATE	DESCRIPTION







## SCHEDULE:



RAB FIELD-ADJUSTABLE FLOOD LIGHTS MOUNTED AT 35', TILTED AT A 45 DEGREE ANGLE FROM GROUND.

NTS	DEPCOM POWER-SANDIA SUBSTATION STORAGE PROJECT 115/34.5kV SUBSTATION	FILE NAME 23231-E-415
1/27/23		JOB NUMBER
CTW	SUBSTATION LIGHTING PLAN	23231
sked JAM	SUDSTATION LIGHTING FLAN	DRAWING NUMBER
RDJ	LOCATION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO	E - 415

	SET E R I N G	TECHNICAL PROJECT: JOB NUMBER:	DEPCOM – Sandia		
SUBJECT:	Site Lighting Study			CALC NO.:	<u>E-416</u>
BY:	ASSET Engineering	DATE:	11/12/24	<b>REV:</b>	<u>B</u>

# **Attachment C**

**Selected Project Documentation** 

### Sec. 30-181. Title.

This division shall be known as the North Albuquerque Acres and Sandia Heights Light Pollution Ordinance. (Ord. No. 1997-18, § 1, 11-4-97)

## Sec. 30-182. Declaration of necessity.

WHEREAS, the regulation of the use of outdoor light fixtures can reduce light pollution and conserve energy; and

WHEREAS, the night sky is an important aspect of our environment; and

WHEREAS, it is pleasing to the senses and intellect of mankind to be able to gaze at the night sky with minimum interference from light pollution; and

WHEREAS, many of the residents of North Albuquerque Acres and Sandia Heights enjoy amateur astronomy, but light pollution interferes with their enjoyment; and

WHEREAS, light pollution interferes with astronomical research facilities which are engaged in the study of planets, comets, stars, galaxies, and satellites; and

WHEREAS, the residents of North Albuquerque Acres and Sandia Heights reside in an area of the unincorporated area of Bernalillo County that contain highly significant views; and

WHEREAS, North Albuquerque Acres and Sandia Heights are bounded on the North by the Sandia Indian Reservation; on the South by the City of Albuquerque; on the East by the Sandia Mountain and the West by the City of Albuquerque.

NOW, THEREFORE, the Board of County Commissioners for the County of Bernalillo hereby, finds and declares that the night sky is an important aspect of our environment and that it is essential for the County of Bernalillo to regulate the use of outdoor light fixtures in North Albuquerque Acres and Sandia Heights.

(Ord. No. 1997-18, § 2, 11-4-97)

## Sec. 30-183. Intent and purpose.

This division is intended to create standards for outdoor lighting so that its use does not unreasonably interfere with the enjoyment of adjacent property owners, and with astronomical observations, and to promote energy conservation without jeopardizing safety, utility, security and productivity. The purpose of this division is to minimize light pollution, which has a detrimental effect on the night sky environment, interferes with the enjoyment of the night sky, and causes unnecessary illumination of adjacent properties.

(Ord. No. 1997-18, § 3, 11-4-97)

## Sec. 30-184. Conformance with applicable codes.

All outdoor electrically powered illuminating devices within the area controlled by this division, including outdoor light futures on facilities or lands owned, operated, controlled or protected by the State of New Mexico, the County of Bernalillo, the City of Albuquerque, or other public entity or public agencies, must comply with the requirements of this division, unless exempted through the provisions of section 30-190 of this division, and shall be installed and thereafter maintained in conformance with the provisions of this division, the Zoning Ordinance, the Building Code, the Electrical Code and all other applicable provisions of the Bernalillo County Code.

Federally funded and state funded roadway construction projects, such as Paseo Del Norte and its intersections with other local streets and roadways are exempted from the requirements of this division only to the extent it is necessary to comply with federal and state requirements.

(Ord. No. 1997-18, § 4, 11-4-97)

## Sec. 30-185. Definitions.

The following words, terms and phrases, when used in this division, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning. The "IES" (Illuminating Engineering Society of North America) Lighting Handbook, 1981 most recent edition Application Volume, the Bernalillo County Zoning Ordinance, Building Code, and Electrical Code shall be used for the definition of terms used in this division but not defined herein. In the case where a definition of a term of this division is found to be in conflict with a definition of a term of any other ordinance, "IES" handbook or regulation, the more restrictive definition will apply.

Automatic timing device means a device that automatically controls the operation of a light fixture or fixtures, circuit or circuits. Photocells and light and or motion sensors shall be considered automatic-timing devices

*Cutoff* means a light fixture designed, installed, and operated so that the light distribution meets the following criteria: the candlepower per 1,000 lamp lumens does not numerically exceed 25 (2½ percent) at an angle of 90 degrees above nadir (horizontal), and 100 (10 percent) at an angle of 80 degrees above nadir. This applies to any lateral angle around the light fixture.

Filtration means outdoor light fixtures, which have glass, acrylic or translucent enclosures.

Installed means the attachment or assembly fixed in place whether or not connected to a power source.

*Light pollution* means artificial light which causes a detrimental effect on the night sky environment, interferes with astronomical observation, or diminishes enjoyment of the night sky.

*Outdoor light fixtures* means outdoor electrically powered illuminating devices, outdoor lighting, internally illuminated or reflective surfaces, bare lamps, and similar devices, permanently installed or portable. Such devices may be used for but are not limited to:

- (1) Outdoor lighting of buildings and structures, including building overhangs and canopies;
- (2) Outdoor lighting of recreational areas or parking lots;
- (3) Security lighting;
- (4) On-premises signs;
- (5) Street lighting;
- (6) Landscape lighting;
- (7) Building mounted area lighting; and
- (8) Building facade lighting.

*Person* means any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, business trust, receiver, syndicate, political subdivision, or other group or combination, acting as a unit.

Premises means a tract, lot or parcel of land together with all buildings and structures thereon.

*Private area light* means a light installed by a public utility company under a public utility company's rate schedule for private use and owned by the public utility company.

Semicutoff means a light fixture designed, installed, and operated so that the light distribution meets the following criteria: the candlepower per 1000 lamp lumens does not numerically exceed 50 (five percent) at an angle of 90 degrees above nadir (horizontal) and 200 (20 percent) at a vertical angle of 80 degrees above nadir. This applies to any lateral angle around the light fixture.

*Shielded* means a technique or method of construction which causes all the light emitted from an outdoor light fixture to be projected below a horizontal plane passing through the fixture.

Shielded aimable means a technique or method of construction which causes all the light emitted to be directed to the surface or area to be illuminated, so that the emanating source of light is not visible from any angle except those angles that exist between the fixture and the target to be illuminated. The emanating source shall not be visible from any adjacent properties or roadways to minimize light pollution.

(Ord. No. 1997-18, § 5, 11-4-97)

#### Sec. 30-186. General requirements.

Searchlights, spotlights, floodlights or lighting fixtures used to illuminate off-premises signs are hereby prohibited. Any other outdoor light fixtures or illuminated on-premises signs installed after the effective date of this division shall comply with all applicable county ordinances and with the following:

- (1) All outdoor light fixtures and illuminated on-premises signs shall be (1) designed and operated as cutoff or shielded aimable fixtures, (2) equipped with and controlled by light and motion sensors or automatic timing devices, and (3) shall remain off between 11:00 p.m. and sunrise except for illuminating walkways or driveways.
- (2) Outdoor light poles and standards shall not exceed 16 feet in height above existing grade. Public streetlight poles and standards are exempt from this height requirement.
- (3) All outdoor lighting fixtures mounted on buildings or structures shall be mounted at a height no more than 16 feet above finished grade.
- (4) All outdoor lighting systems shall be designed, or re-designed, and operated so that the area ten feet beyond the property line of the premises receives no more than 0.25 (one quarter) of a footcandle of light from the premises lighting system.

(Ord. No. 1997-18, § 6, 11-4-97)

## Sec. 30-187. Approved materials and methods of installation.

The provisions of this division are not intended to prevent the use of any design, material or method of installation or operation not specifically prohibited by this division, provided such alternative design, material or method conforms with the intent of this division and has been approved by the zoning administrator.

- (1) The zoning administrator may approve any such proposed alternative design provided he finds that;
  - a. It complies with the applicable specific requirements of this division; or
  - b. It has been designed or approved by a registered professional engineer and complies with the intent of this division.
- (2) Such determination shall be made in accordance with the procedures in the Administrative Section 24.A.4, of the Bernalillo County Zoning Ordinance.

(Ord. No. 1997-18, § 7, 11-4-97)

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(Supp. No. 87)
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## Sec. 30-188. Nonconforming outdoor fixtures.

All non-conforming outdoor fixtures installed prior to and operable on the effective date of this division shall he removed or converted to a conforming use within three years for non-residential use and five years for residential use.

(Ord. No. 1997-18, § 8, 11-4-97)

## Sec. 30-189. Exemptions.

Existing public streetlights installed before the effective date of this division are exempt from the requirements of this division; however, when they become unrepairable, their replacements are subject to all provisions of this division.

(Ord. No. 1997-18, § 9, 11-4-97)

## Sec. 30-190. Administrative exemption.

Any person may submit an application for an administrative exemption from the requirements of the division. This request shall be done in accordance with the procedures enumerated in the Administrative Section 24.A.4, of the Bernalillo County Zoning Ordinance. In addition the request shall state fully:

- (1) The circumstances and conditions relied upon as grounds for administrative exemptions; and
- (2) The circumstances and conditions by which strict application of the provisions of this division would deprive the applicant reasonable use of the land, building or outdoor light fixtures; and
- (3) The grounds by which the granting of the administrative exemption will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

(Ord. No. 1997-18, § 10, 11-4-97)

## Sec. 30-191. Penalty.

Any owner, tenant, agent, or person in charge of any premises or any other person who violates any of the provisions of this division, shall be deemed guilty of a misdemeanor, and upon conviction thereof, shall be punished by a fine not exceeding \$300.00 per day of the violation, or imprisonment in the county jail for a period not exceeding 90 days, or both fine and imprisonment. Unless otherwise specified, each day that a prohibited condition exists shall constitute a separate offense.

(Ord. No. 1997-18, § 11, 11-4-97)

## Sec. 30-192. Severability.

The provisions of this division are severable, and if any provision, sentence, clause, section, or part thereof is held illegal, invalid, unconstitutional, or inapplicable to any person or circumstance, the illegality, invalidity, unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, sentences, clauses, sections or parts of this division or their application to the persons or circumstances.

It is hereby declared to be the intent of the board of county commissioners that this division would have been adopted if such illegal, invalid, or unconstitutional provision, sentence, clause, section, or part had not been

(Supp. No. 87)

included therein, and if the person or circumstance to which this division or part thereof is inapplicable had been specifically exempted therefrom.

(Ord. No. 1997-18, § 12, 11-4-97)

Secs. 30-193-30-200. Reserved.

Receptacles in damp or wet locations abled of boolnod ton garabent, and another agreed an bee E.

All 120 V ac permanent receptacles shall be provided with one or more of the following:

- Ground-fault circuit interrupter (GFCI) protection. 1.
- Be on a grounded circuit that is tested at such intervals as experience has shown to be 2. necessary.
- Be applied in conjunction with a GFCI device between the receptacle and the load. 3.00

# Table 111-1—Illumination levels

footcandles	112. Fixulies, flo
104 of 1125 1941 Co	slugy . 270 stug
15	160
10	A. 011073
l have eten surfaq	[sde z10:55]
	10 1241251170 201 15

107 Copyright © 2022 IEEE. All rights reserved.

#### Table 111-1

## Part 1: Safety Rules for Electric Supply Stations

Rule 112A

Location	footcandles	alam Olux and
Generating station (exterior)	to miniving vol !	generally avoids
Building pedestrian main entrance	10	110
Critical areas <sup>5</sup> and a side and a side areas a side to be the boot areas and a	- to have done to	ool with 55 availa
	2. materia	22
Areas occupied occasionally by vehicles <sup>7</sup>	1	11
Areas occupied infrequently <sup>8</sup>	0.5	5.5
Remote areas <sup>9</sup>	0.2	2.2
e grounding type. Receptaules connected to circuits has noise	fold of the stars	ac branch c
Control building interior	HINTICHES, OF LYDER	55
General exterior horizontal and equipment vertical	2	22
Remote areas 10 111 shot reacted about to solve bits about 1491 st	ni GEO 0.2 MA 2011	2.2 50 8

## Table 111-1—Illumination levels (continued)

<sup>1</sup> Such as: Chemical laboratory, large centralized control room 66 in (1.68 m) above floor, section of duplex facing away from operator, bench boards (horizontal level), dispatch boards—horizontal plane (desk level), dispatch boards—vertical face of board [48 in (1.22 m) above floor, facing operator]—system load dispatch room.

<sup>2</sup> Such as: Ordinary control room 66 in (1.68 m) above floor, secondary dispatch room, turbine room.

<sup>3</sup> Such as: Auxiliaries, battery areas, boiler feed pumps, tanks, compressors, gage area, burner platforms, hydrogen and carbon dioxide manifold area, screen house, power switchgear, communications equipment room, turbine bay sub-basement, visitors' gallery, water treating area.

<sup>4</sup> Such as: Air-conditioning equipment, air preheater and fan floor, ash sluicing, boiler platforms, cable room, circulator, or pump bay, coal conveyor, crusher, feeder, scale area, pulverizer, fan area, transfer tower, condensers, de-aerator floor, evaporator floor, heater floors, area inside duplex switchboards, rear of all switchboard panels (vertical), precipitators, soot or slag blower platform, steam headers and throttles, piping tunnels or galleries.

<sup>5</sup> Such as: Coal unloading dock (loading or unloading zone), coal unloading car dumper, gate house conveyor entrance, fuel-oil delivery headers, platforms—boiler, turbine deck.

<sup>6</sup> Such as: Catwalks, coal unloading tipple, conveyors, secondary building entrances.<sup>10000</sup>

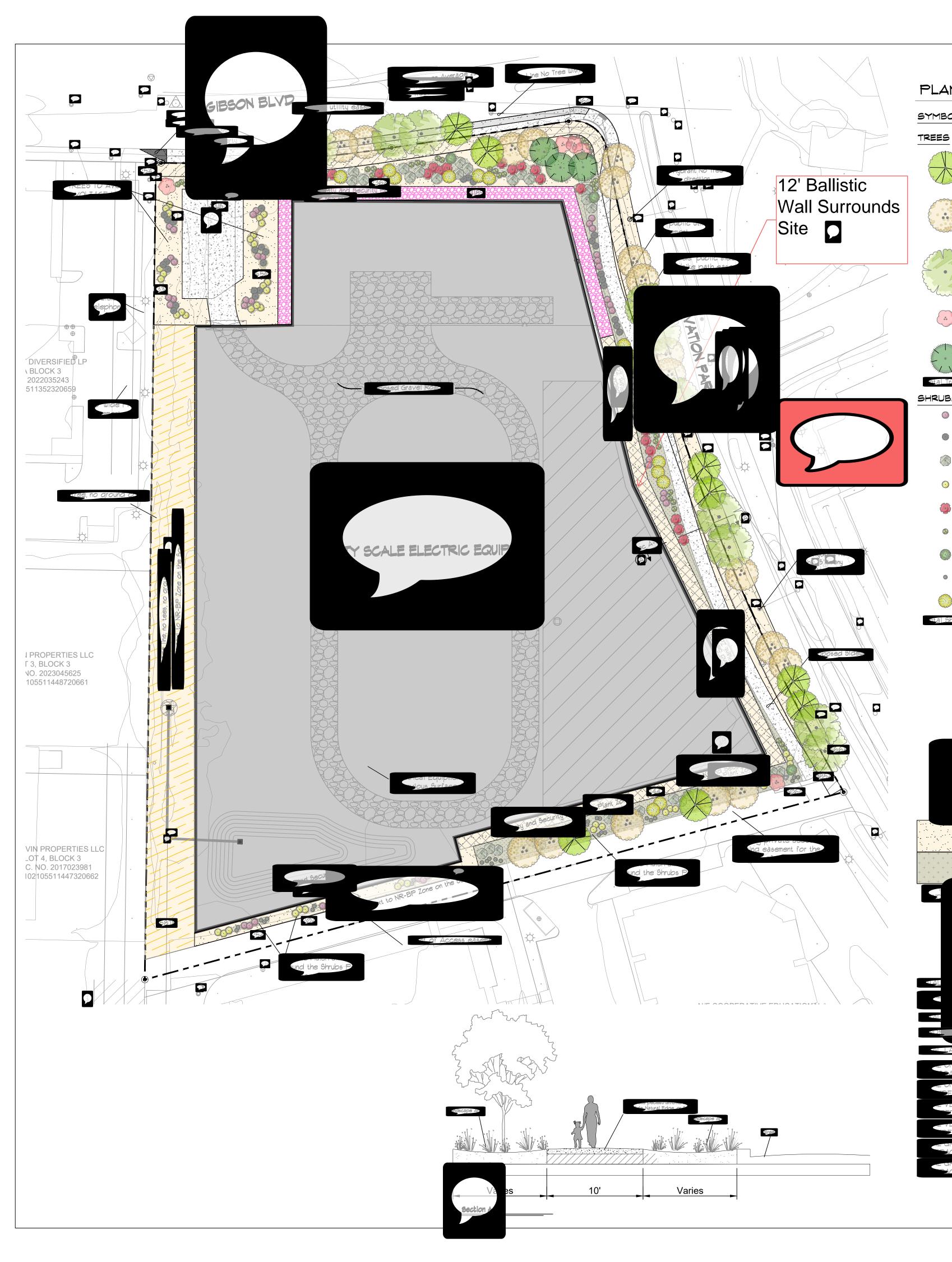
<sup>7</sup> Such as: Oil storage tanks, roadway between or along buildings.

8 Such as: Coal unloading barge storage area, roadway not bordered by buildings. 100001 to who quilds ni colour good R

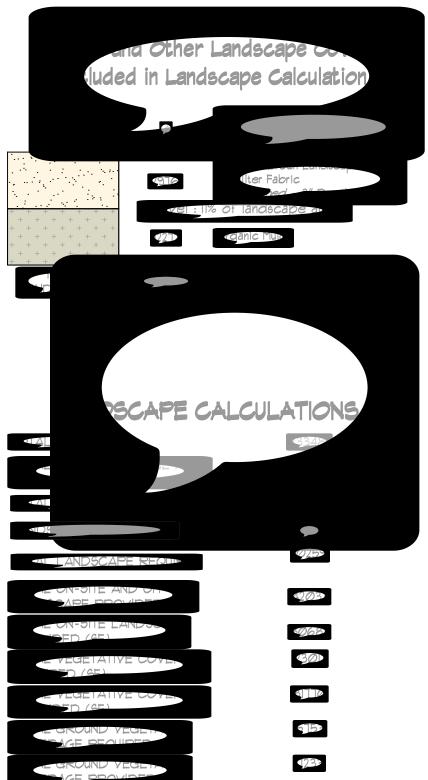
<sup>9</sup> Such as: Cinder dumps, fence, open yard.

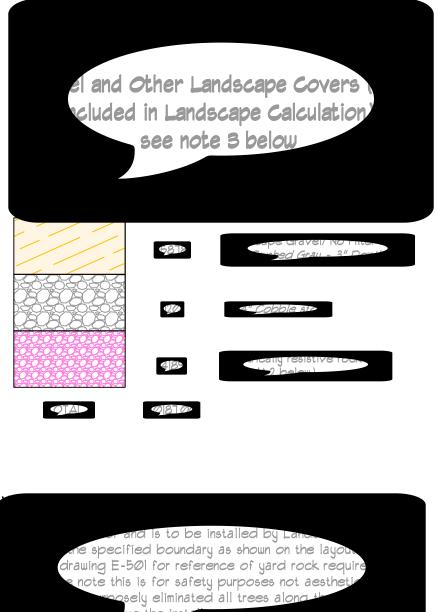
<sup>10</sup>Such as: Fence, open yard. <sup>10</sup>Such as: Fence, open yard.



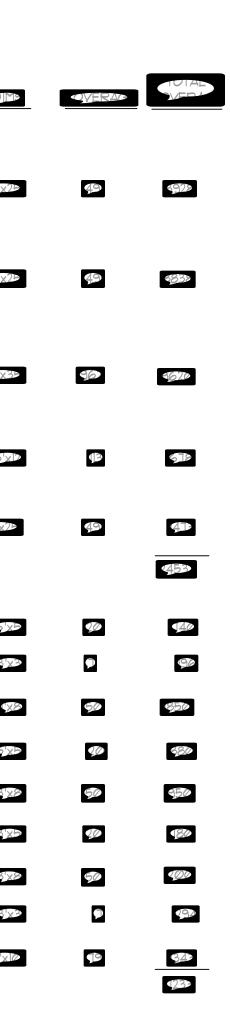


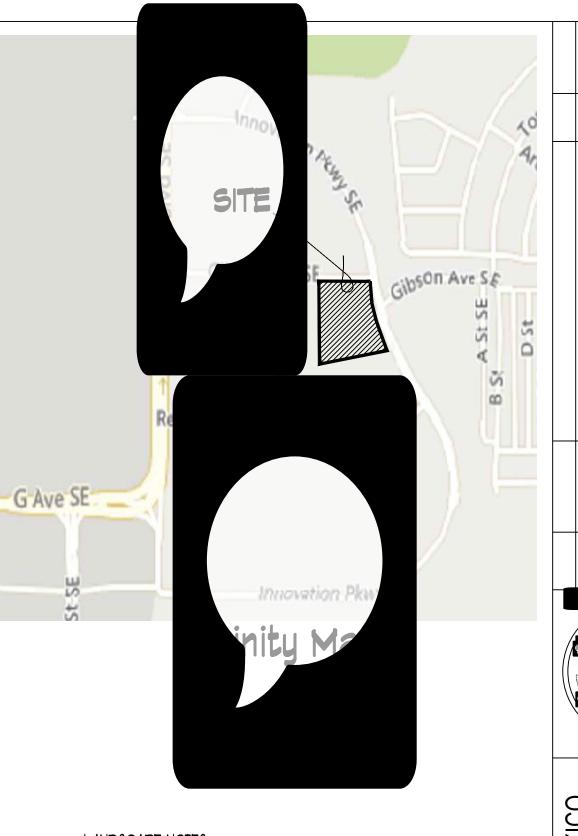
PLANT SCHEDULE									
SYMBOL	QTY	SIZE	COMMON / BOTANICAL NAME	WATER USE					
TREES									
	8	2" Cal.	Gambel Oak Quercus gambelii	Low - Medium 5'x2					
	18	2" Cal.	Golden Rain Tree Koelreuteria paniculata	Low – Medium 5'x2					
	10	2" Cal.	Red Oak Quercus gravesii	Low - Medium 🤝 😒					
	6	2" Cal.	Redbud Cercis occidentalis'Pink pom poms'	Very low - Medium 5'x					
Stal Tre	3	4'- 6'	Scotch Pine Pinus sylvestris	Medium 🛷 🗐					
SHRUBS									
0	37	5 gal.	Apache Plume Fallugia paradoxa	Very low – Low					
۲	28	5 gal.	Blue Mist Bluebeard Caryopteris x clandonensis 'Blue Mist'	Low - Medium					
	37	5 gal.	Buffalo Juniper Juniperus sabina 'Buffalo'	Low					
$\odot$	44	5 gal.	Chamisa Ericameria nauseosa nauseosa	Very low - Low					
	19	5 gal.	Gro-Low Fragrant Sumac Rhus aromatica 'Gro-Low'	Very low - Medium					
٩	39	5 gal.	Indian Hawthorn Rhaphiolepis indica	Low					
۲	4	5 gal.	Lilac Syringa x 'Bailbelle'	Medium 3'x					
Ø	42	5 gal.	Red Yucca Hesperaloe parviflora	Very low - Low					
	17	5 gal.	Yellow Bird of Paradise Caesalpinia gilliesii	Low					
stal Shruk	16								



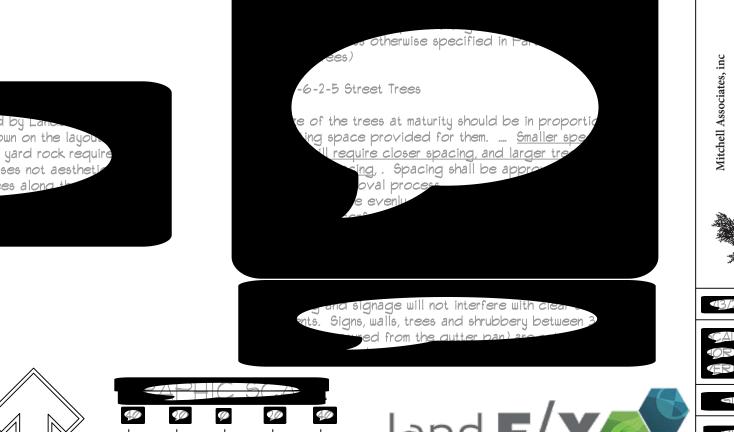


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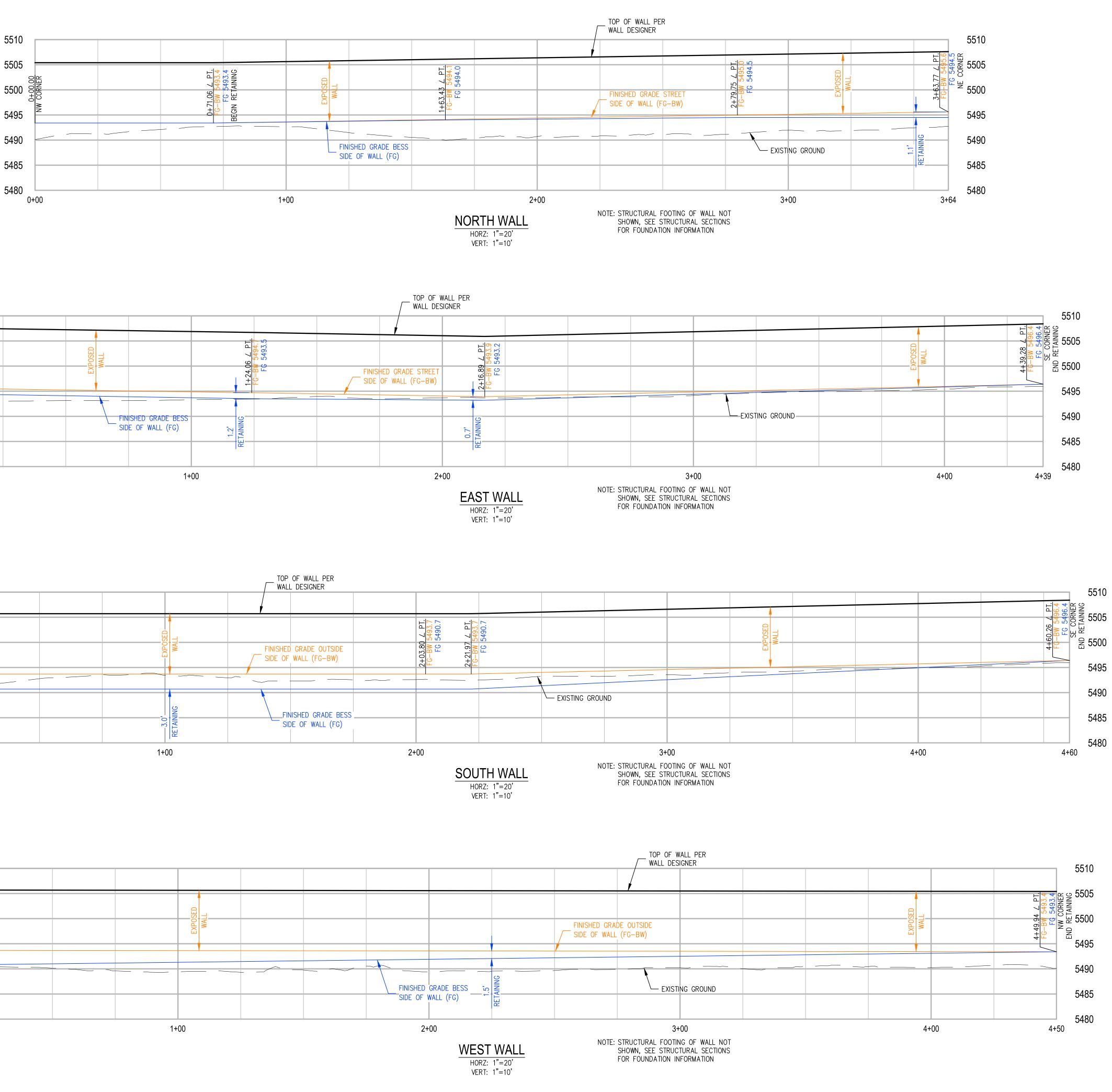


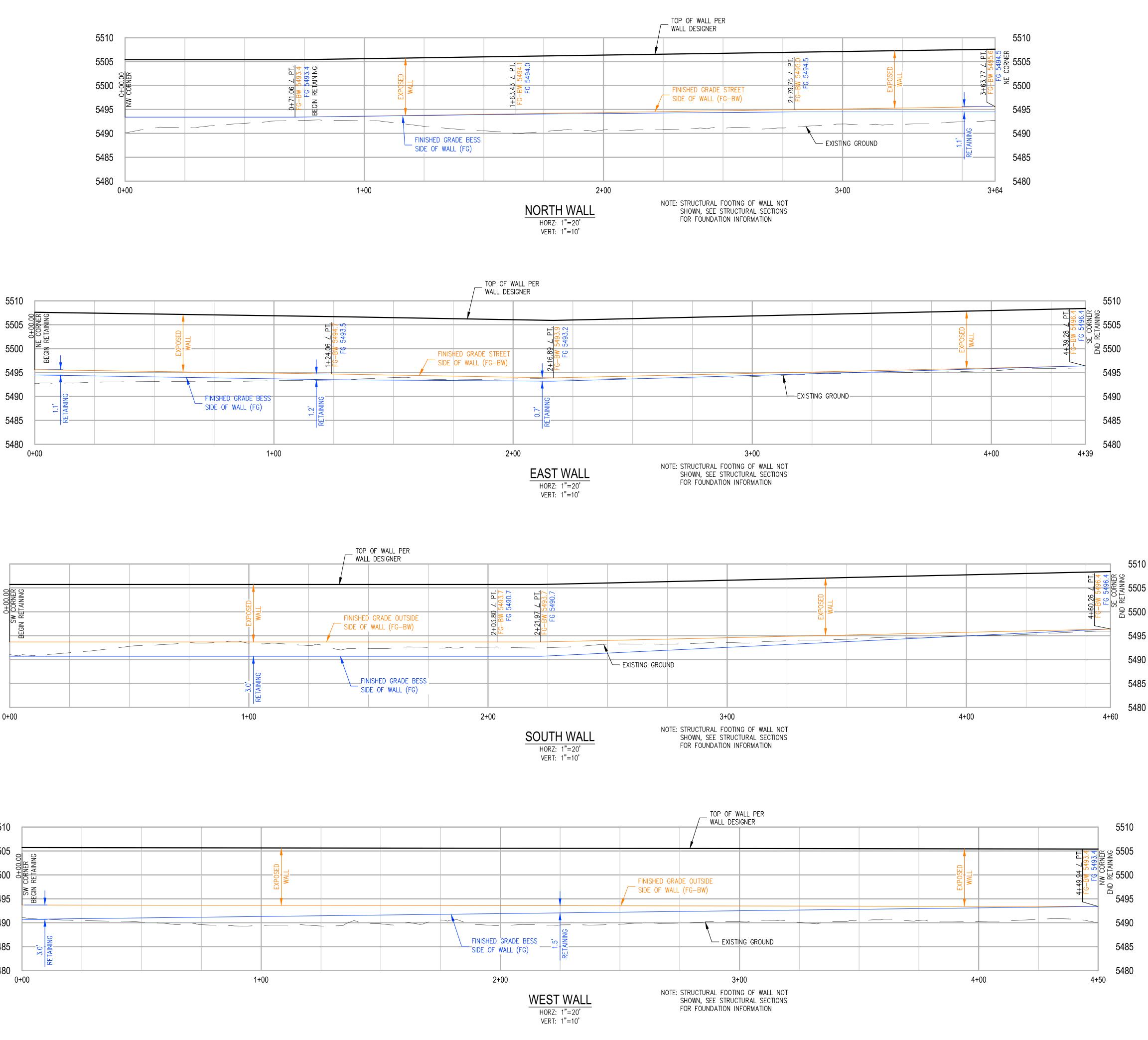
- LANDSCAPE NOTES: 1. Landscape maintenance shall be the responsibility of the Property Owner.
- 2. The Property Owner shall maintain landscaping in a living, healthy, and attractive condition. Shrubs shall be left to grow in to natural form, and shall not be pruned, sheared or otherwise decimated. Trees shall not be pollarded. Only licensed, insured Certified Arborist shall be allowed to prune or shape trees.
- 3. It is the intent of this plan to comply with the City Of Albuquerque Water, IDO Ordinance.
- 4. It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.
- 5. Water management is the sole responsibility of the Property Owner.
- 6. Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.
- 7. Contractor shall supply to the owner samples of various gravel samples for approval prior to installing.
- 8. 25% of landscape area shall be covered with organic mulch per City of Albuquerque mandate. Mulch shall be a minimum of 4" deep in areas as shown on the plan. Landscape maintenance providers shall ensure that all organic mulch areas are maintained and freshened on a regular basis. Filter Fabric shall not be placed in areas to receive organic mulch.
- Landscape shall be watered by a complete underground irrigation system operated by automatic timer.
- 10. Trees and shrubs shall be zoned separately.
- II. Landscaping shall be installed according to the approved plan: Installation shall be completed within 60 days of the related project's completion.
- 12. No substitutions or alterations to this plan without the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit set.

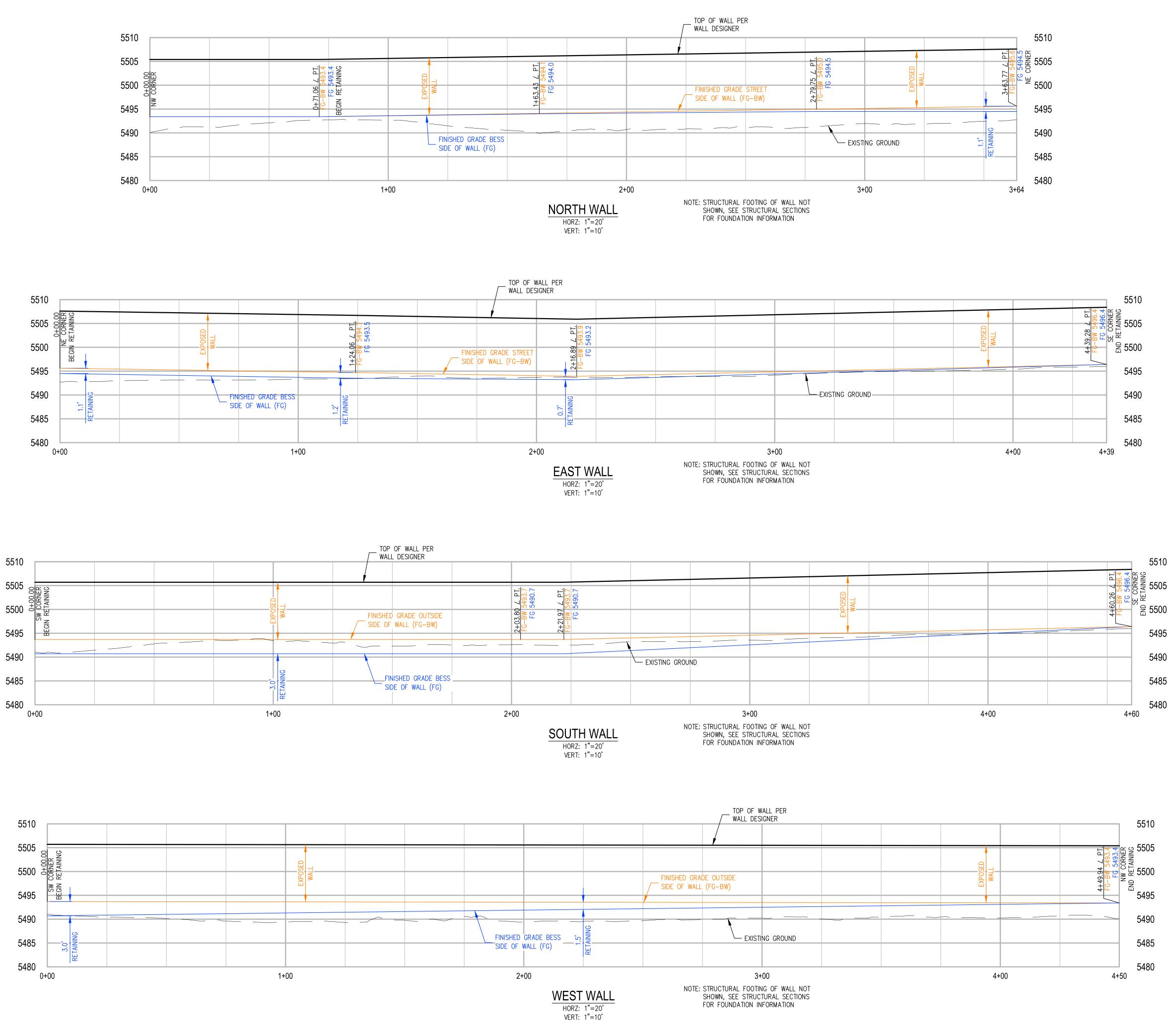


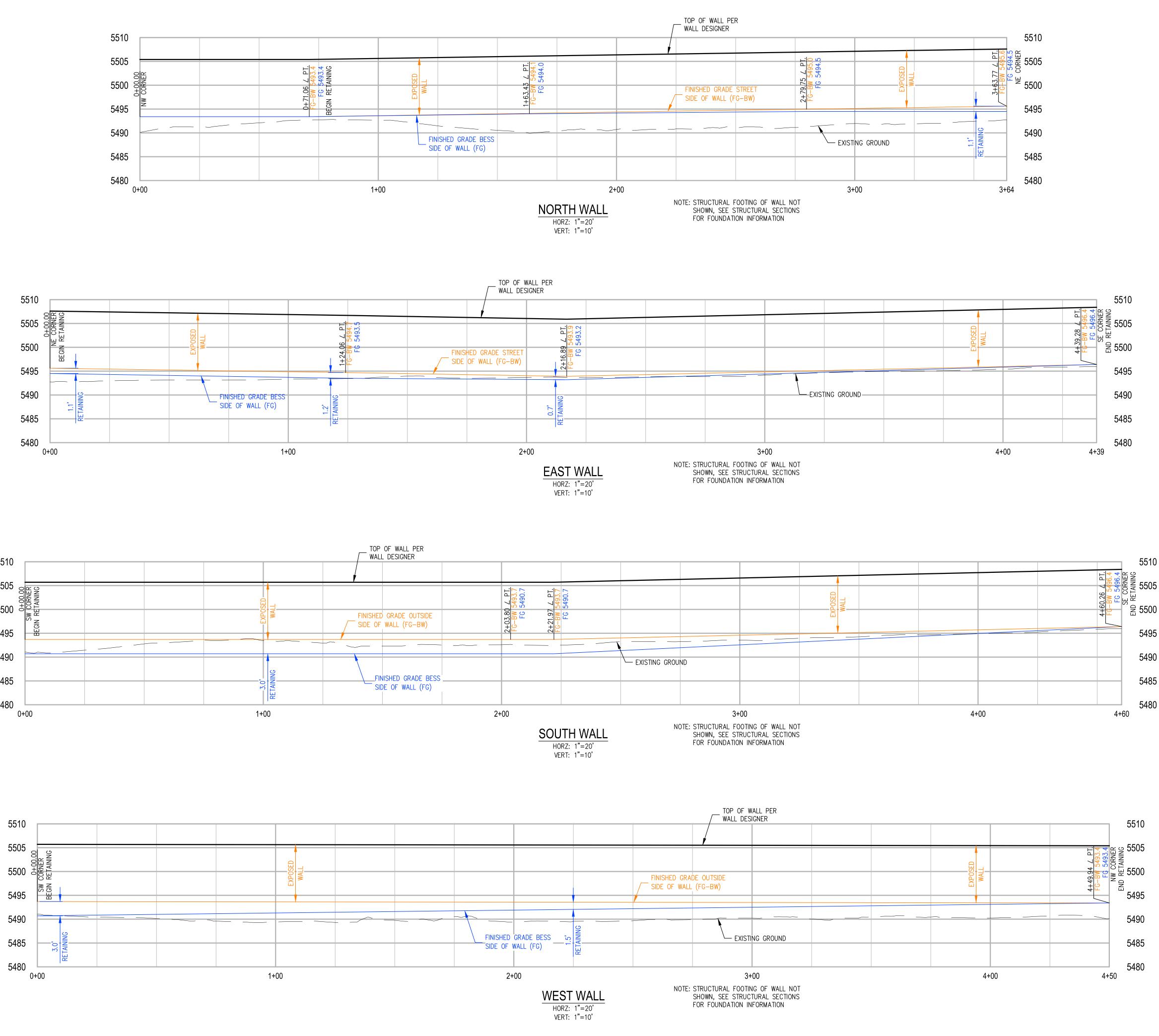
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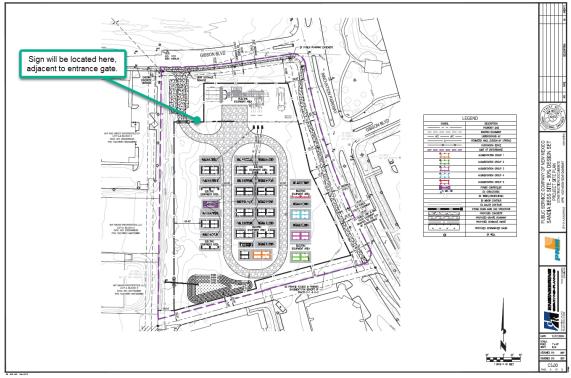








## SANDIA PROJECT SIGNAGE



:

1. Entrance Sign by Gate (Left Side) 4.0' "Sandia Energy Center" 4' x 4' 2. Along Gibson and Innovation Parkway frontages, two 2' x 10" PANTONE 3145/ Warning Signs. PNM BLUE PANTONE 144/ PNM ORANGE PRIC 4.0 WHITE LETTERING ON PNM BLUE SANDIA ENERGY\_ WHITE LETTERING WITH KLAVIKA FONT ON BLACK CENTER 2'-0" SAFETY ORANGE-WARNING AVISO BLACK Keep Out! Mantengase Alejado! LETTERING <u>0</u> Contiene voltaje peligroso. Puede producir choques electricos, quemaduras, o causar la muerte. Hazardous voltage inside. Can Shock, WHITE burn or cause death. Uamar Inmediatamente Service Company of New M (505) 246–5911 si personas se et blc Service Company 246-5011 atouthorized entry of New Mexico (PNN) WARNING SIGN

# REQUEST

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# **CITY OF ALBUQUERQUE**



## FINANCIAL GUARANTY AMOUNT

March 18, 2025

	Type of Estimate:	I.I.A. Procedure B Nor			
	Project Description: Project ID #:	673782	torage si	ite	
	Requested By:	Russell Brito			
		Approved Estimate A	moun <mark>t:</mark>	\$	105,938.08
		Continency Amount:	10.00%	\$	10,593.81
		Subtotal:		\$	1 <b>1</b> 6,531.89
PO Box 1293		NMGRT:	7.625%	<u>\$</u>	8,885.56
. 11		Subtotal:		\$	125,417.44
Albuquerque 🛬		Engineering Fee:	6.60%	\$	8,277.55
New Mexico 8710	3	Testing Fee:	2.00%	\$	2,508.35
		Subtotal:		\$	136,203.34
www.cabq.gov		FINANCIAL GUARANT	Y RATE:		1.25
	TOTAL FINANCIAL GU	ARANTY REQUIRED:		\$	170,254.19

APPROVAL:

Notes: Non work order

DATE:

March 18,2025

## PNM - Sandia ESS

PROJECT N	NO. <u>673782</u> DATE <u>03/3/202</u>	5				SHEET 1	OF <u>1</u>
6.	7.	8.		9.	10.	11.	11.
Item	Short	Est.		Est.	Est.	As-Built.	As-Built.
<u>No.</u>	Description	Unit Price		<u>Quantity</u>	<u>Amount</u>	<u>Quantity</u>	<u>Amount</u>
4.01	STAKING	1.43%		1	\$1,025.34		
4.02	SURVEY	0.74%		1	\$530.60		
6.05	MOB	4.26%		1	\$3,054.48		
6.06	DEMOB	0.30%		1	\$215.11		
30.020	NPDES PERMITTING	0.63%		1	\$451.72		
30.020	NFDES FERMITTING	0.0370		i	<u></u>		
301.020	SUBGRADE PREP, 12"	4.08	SY	415	\$1,693.20		
340.010	SDWK, 4", PCC (10' wide						
	Innovation Parkway)	69.55	SY	576	\$40,060.80		
340.010	SDWK, 4", PCC (5' wide Gibson)		SY	139	\$9,667.45		
340.025	WLCHR ACC RAMP, 4" PCC	2907.36		2	\$5,814.72		
340.020	DRVPD, 6", PCC (Gibson)	101.72	SY	86	\$8,747.92		
801.059	PRESS CONN, w/FIT, WL	2059.18		1	\$2,059.18		· · · · · · · · · · · · · · · · · · ·
802.062	1" WTR SVC, SGL	2312.27		1	\$2,312.27		
340.025	SDWK, 4" PCC, R & D	13.91	SY	9.62	\$133.82		
343.113	RES PVMT, R&R (1" WTR SVC)	39.45	SY	10	\$394.50		
343.08	CURB & GUT, PCC R&D	10.22	LF	80	\$817.60	ed	ed
19.01	Traffic Control & Barricading	3.43%		1	\$2,459.37	-0	
N/A	Drainage Pond	26500		1	\$26,500	00	90
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	TOTAL				\$105,938.08		
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## PNM - Sandia ESS

PROJECT N	O. <u>673782</u> DATE <u>03/3/20</u> 2	25				SHEET 1	DF <u>1</u>
6.	7.	8.		<i>9</i> .	10.	11.	11.
Item	Short	Est.		Est.	Est.	As-Built.	As-Built.
<u>No.</u>	<u>Description</u>	Unit Price		<u>Quantity</u>	<u>Amount</u>	<u>Quantity</u>	<u>Amount</u>
4.01	STAKING	1.43%		1	\$1,025.34		
4.02	SURVEY	0.74%		1	\$530.60	·	
6.05	MOB	4.26%		1	\$3,054.48		
6.06	DEMOB	0.30%		1	\$215.11		
30.020	NPDES PERMITTING	0.63%		<u> </u>			
30.020	NPDES PERMITTING	0.0370		1	\$451.72		
301.020 340.010	SUBGRADE PREP, 12" SDWK, 4", PCC (10' wide	4.08	SY	415	\$1,693.20		
510.010	Innovation Parkway)	69.55	SY	576	\$40,060.80		
340.010	SDWK, 4", PCC (5' wide Gibson		SY	139	\$9,667.45		
340.025	WLCHR ACC RAMP, 4" PCC		51	2	\$5,814.72		
340.020	DRVPD, 6", PCC (Gibson)	101.72	SY		\$8,747.92		
801.059		2059.18	51	86	\$2,059.18		
802.062	PRESS CONN, w/FIT, WL			1	-		
	1" WTR SVC, SGL	2312.27	CN/	1	\$2,312.27		
340.025	SDWK, 4" PCC, R & D	13.91	SY	9.62	\$133.82		
343.113	RES PVMT, R&R (1" WTR SVC)	39.45	SY	10	\$394.50		
343.08	CURB & GUT, PCC R&D	10.22	LF	80	\$817.60		
19.01	Traffic Control & Barricading	3.43%		1	\$2,459.37		
N/A	Drainage Pond	26500		1	\$26,500		
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	TOTAL				\$105,938.08		,