

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: TR I-2 OF TRS I-1 & I-2 MESA DEL SOL INNOVATION PARK II (A REPL OF TR I MESA

DEL SOL INNOVATION PARK II) CONT 5.1099 AC. 2322 Mesa Del Sol SE

Request Description: _____

Hydrology:

- Sensitive Lands Analysis (5-2(C)) Approved NA
- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Regina Chan
Hydrology Department

11/19/2024
Date

Transportation:

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- MRCOG Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Ernest Arroyo
Transportation Department

10/10/2024
Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? Yes No NA
- Availability Statement/Serviceability Letter Number 240817
- Note: Commitment for service is required prior to application approval.

Renee C. Brissett
ABCWUA

11/27/24
Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the Plan Approved NA
- Fire Marshall Signature on the Plan Approved NA

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

November 19, 2024

City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Re: Property Owner Letter of Authorization

To Whom It May Concern,

The purpose of this letter is to authorize Consensus Planning, Inc. to act as agent for (applicant) MDS Storage LLC, Kegan Stephens for all meetings, applications, public hearings, and other formal representation associated with the review and approval of the applications related to development entitlements for Lot I2 of Mesa del Sol Innovation Park II located at the northeast corner Turing Drive and Crick Crossing.

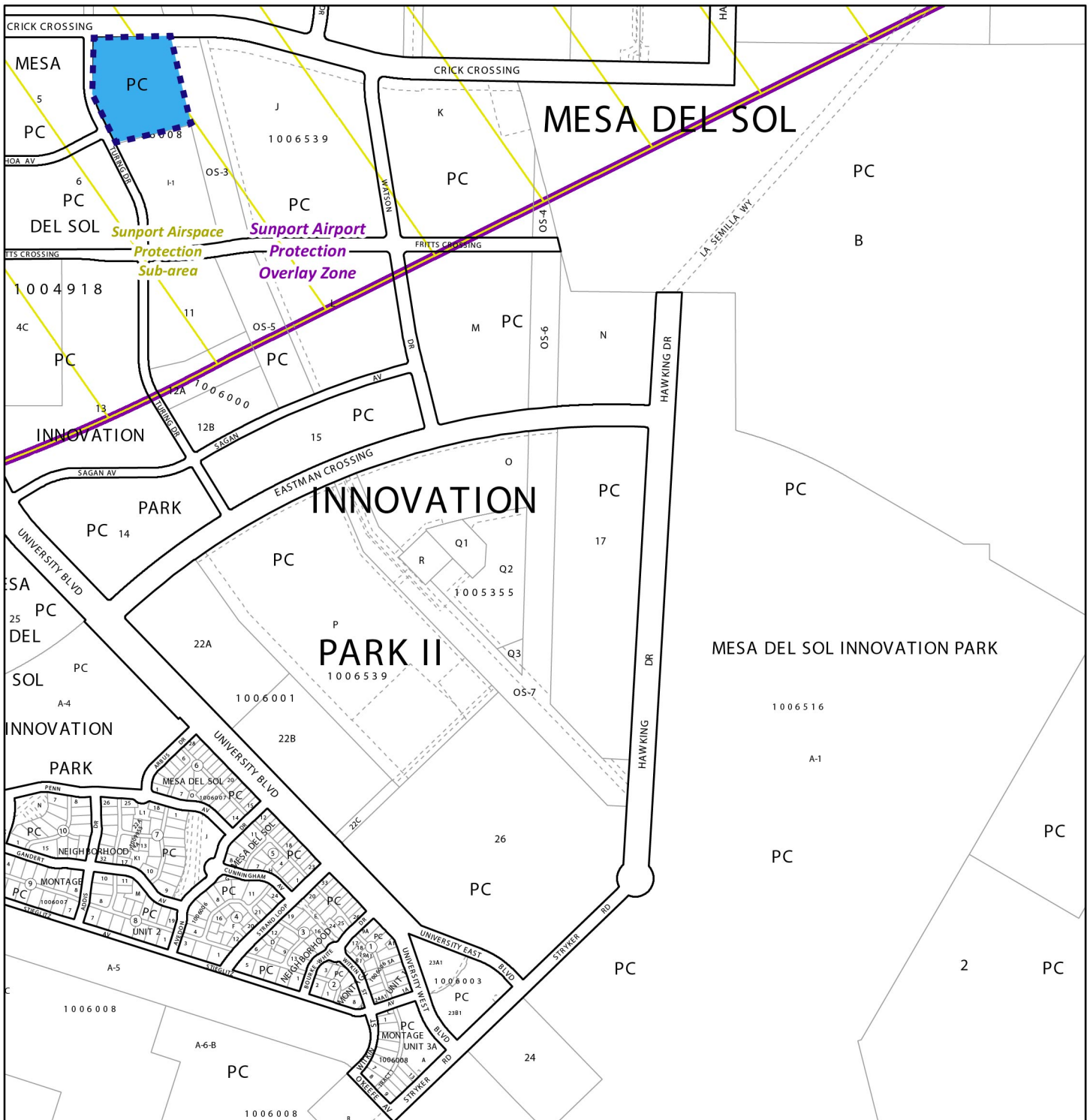
Sincerely,



Signature – MDS Storage, LLC Kegan Stephens


Printed Name/Title

Kegan Stephens / Partner-Owner

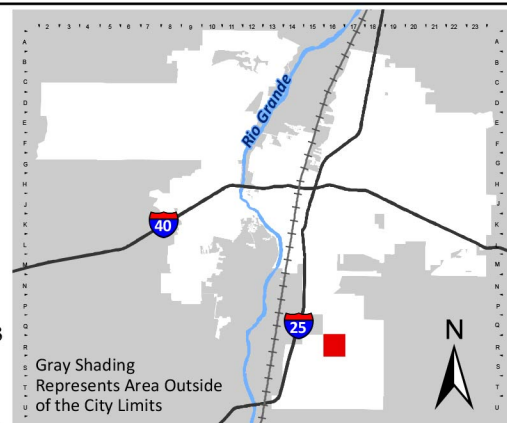


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018











IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

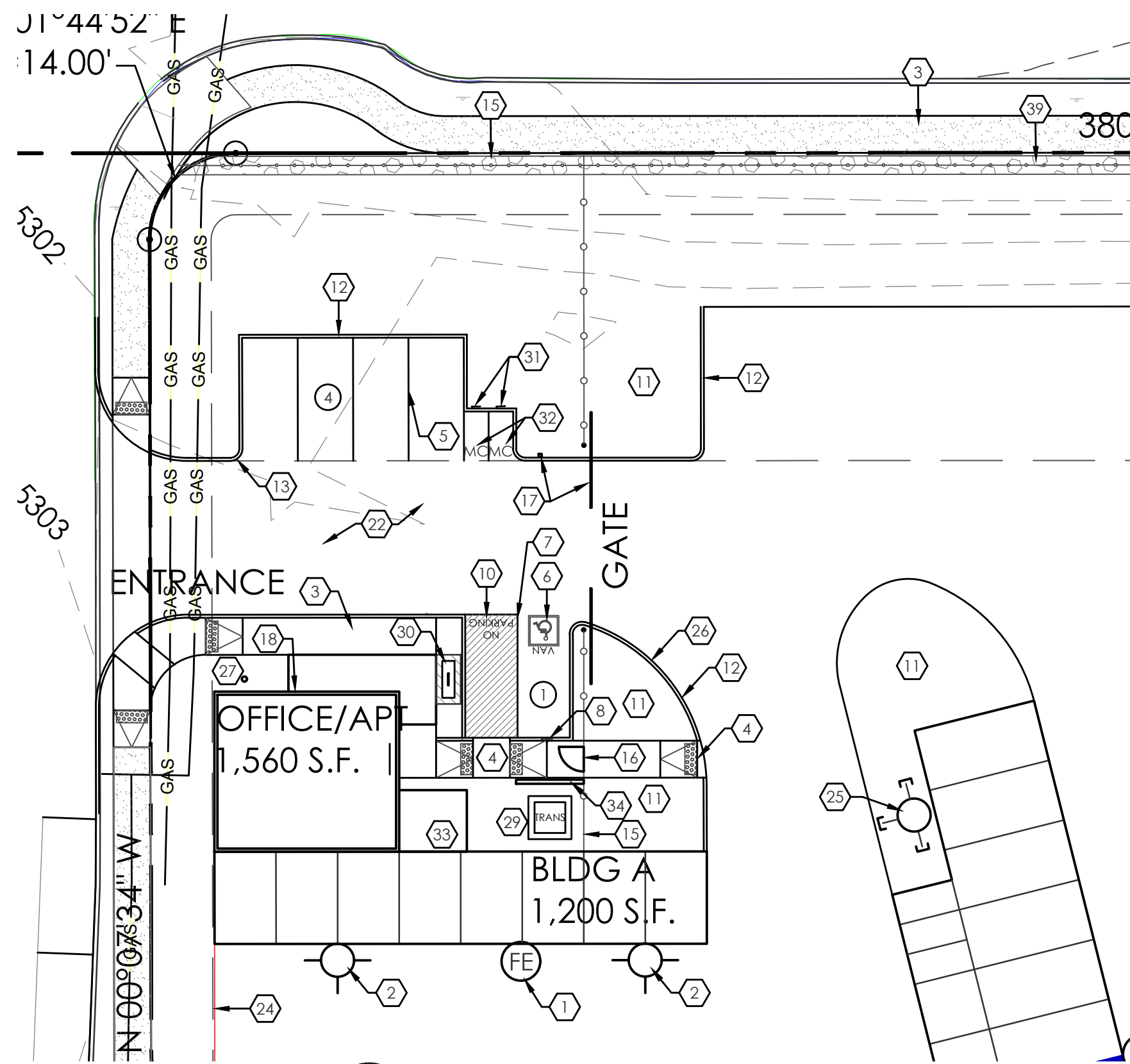


Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
R-16-Z

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



2 ENLARGED SITE PLAN
1"=20'-0"

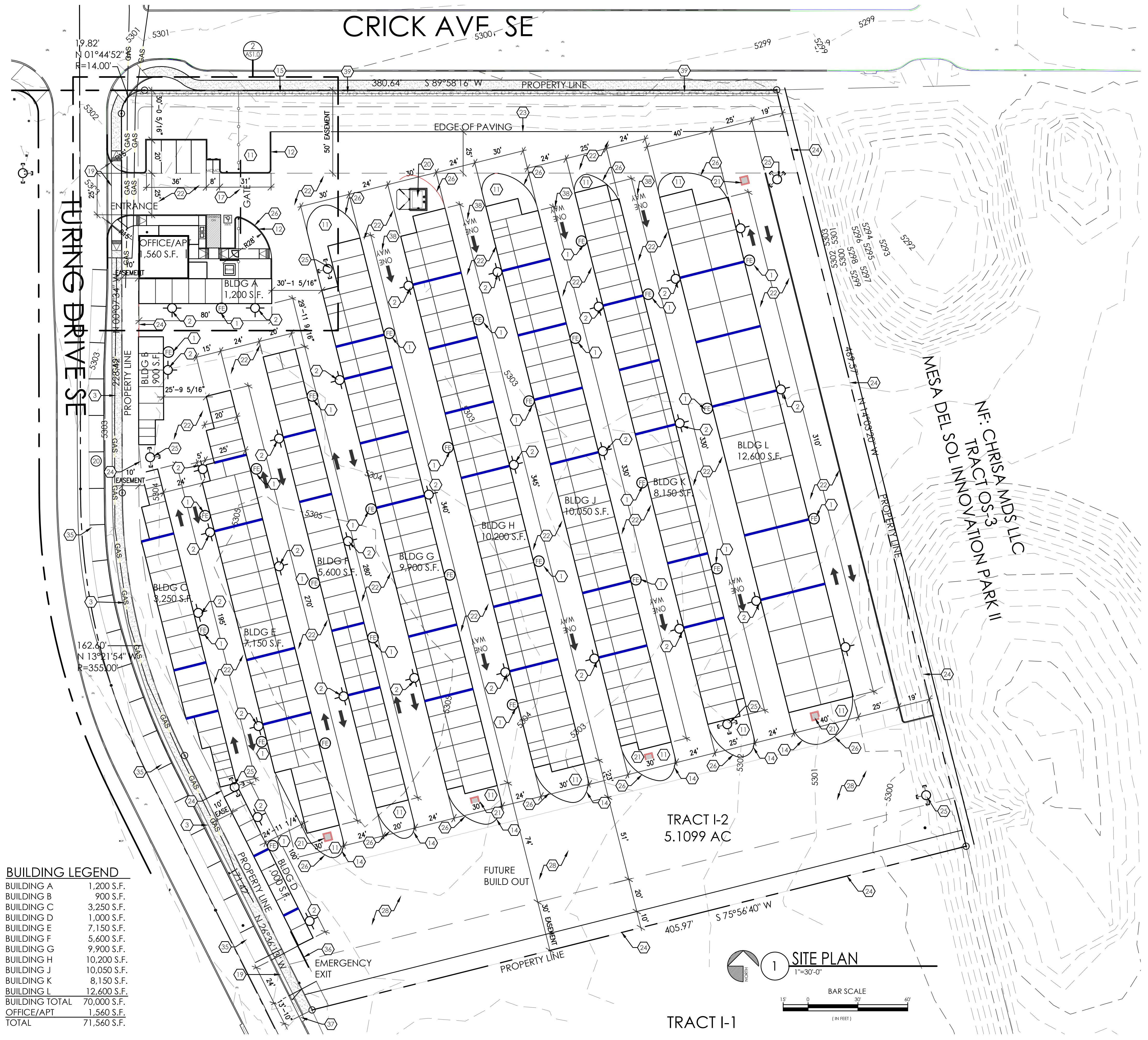
PARKING REQUIREMENTS	
SELF-STORAGE:	1 SPACE / 3,000 S.F. GFA 71,560 S.F./3,000 = 23.85 SPACES (24)
REQUIRED PARKING:	24 SPACES
PROVIDED SPACES:	25 SPACES (1 H.C.) 2 MOTORCYCLE 1 BICYCLE PARKING

KEYED NOTES

- WALL MOUNTED FIRE EXTINGUISHER, 2A-10-BC, 1 AT EVERY 75'-0" MAX., REF: SITE PLAN FOR LOCATIONS.
- WALL MOUNTED PACK LIGHT, REF: ELECTRICAL.
- 6" WIDE x 4" THICK CONC. SIDEWALK, TYP.
- ADA ACCESSIBLE RAMP, REF: DETAIL A8/AS-2.0.
- 2' WIDE PAINTED PARKING STRIPE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: DETAIL A6/AS-2.0.
- 2' WIDE PAINTED STRIPE HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: DETAIL A5/AS-2.0.
- 6" WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY.
- "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACES, [66-1.1-1.8 NMSA 1978].
- LANDSCAPING AREA, REF: LANDSCAPING PLAN.
- 6" HIGH CONC. CURB, REF: GRADING AND DRAINAGE PLAN.
- 2'-0" RADIUS.
- 15'-0" RADIUS.
- NEW 3' HIGH GABION FENCE WITH 3' HIGH WELDED WIRE MESH FENCE ABOVE, AT PARKING ONLY.
- NEW 36" x 4" MAIN GATE WITH KEYED LOCKSET.
- NEW (2) 15' SLIDING AUTOMATIC GATES WITH SECURITY PUSH PAD FOR CUSTOMER ACCESS.
- KNOX BOX LOCATION WITH KEYS FOR OFFICE BUILDING AND MAIN PROPERTY SLIDING GATES FOR FIRE DEPARTMENT USE TO GAIN ACCESS TO PROPERTY IN CASE OF EMERGENCY, KNOX BOX BY OWNER, INSTALLED BY OWNER, VERIFY LOCATION OF KNOX BOX WITH FIRE DEPARTMENT.
- SAW CUT EXIST. CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- DUMPSTER ENCLOSURE, REF: DETAIL A1/AS-2.0.
- STORM DRAIN INLET, REF: GRADING AND DRAINAGE PLAN.
- ASPHALT PAVING, REF: GRADING AND DRAINAGE PLAN.
- EDGE OF ASPHALT PAVING.
- 6' HIGH WELDED WIRE MESH FENCE.
- NEW FIRE HYDRANT.
- 28'-0" RADIUS, TYP. LINE SHOWN FOR RADIUS LAYOUT ONLY.
- FLAGPOLE WITH LIGHT.
- BASE COURSE.
- ELECTRICAL TRANSFORMER, REF: ELECTRICAL PLANS.
- BIKE RACK FOR (1) BICYCLE, REF DETAIL A14-A15/AS-2.0. BIKE PARKING SPACES SHALL BE 6'-0" LONG x 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.
- A. 30" TALL x 18" WIDE.
- B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
- C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
- D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
- E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
- F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
- G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
- MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP. REF: A13/AS-2.0.
- PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ STANDARDS.
- COVERED PATIO W/ BENCH.
- CMU WALL 4" TALL.
- 20' x 9'22" ON STREET PARKING.
- EMERGENCY ACCESS CRASH GATE W/ KNOX BOX.
- EXISTING DROPPED INLET.
- PAINTED "ONE-WAY" - WHITE ON PAVEMENT PER CABQ STANDARDS, REF: DETAIL A18/AS-2.0.
- NEW 2' HIGH GABION FENCE WITH 4' HIGH WELDED WIRE MESH FENCE ABOVE.

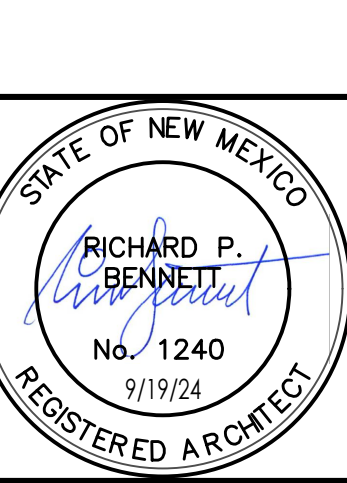
BUILDING LEGEND

BUILDING A	1,200 S.F.
BUILDING B	900 S.F.
BUILDING C	3,250 S.F.
BUILDING D	1,000 S.F.
BUILDING E	7,150 S.F.
BUILDING F	5,600 S.F.
BUILDING G	9,900 S.F.
BUILDING H	10,200 S.F.
BUILDING J	10,050 S.F.
BUILDING K	8,150 S.F.
BUILDING L	12,600 S.F.
BUILDING TOTAL	70,000 S.F.
OFFICE/APT	1,560 S.F.
TOTAL	71,560 S.F.



MESA DEL SOL SELF STORAGE
SITE PLAN
5500 TURING DR SE
ALBUQUERQUE, NM 87106
PROJECT #2322

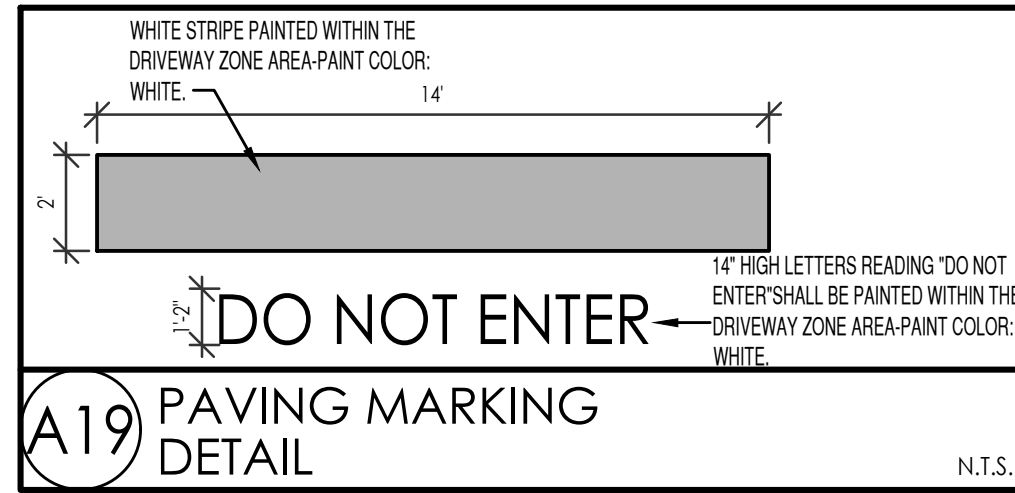
REVISION DATE



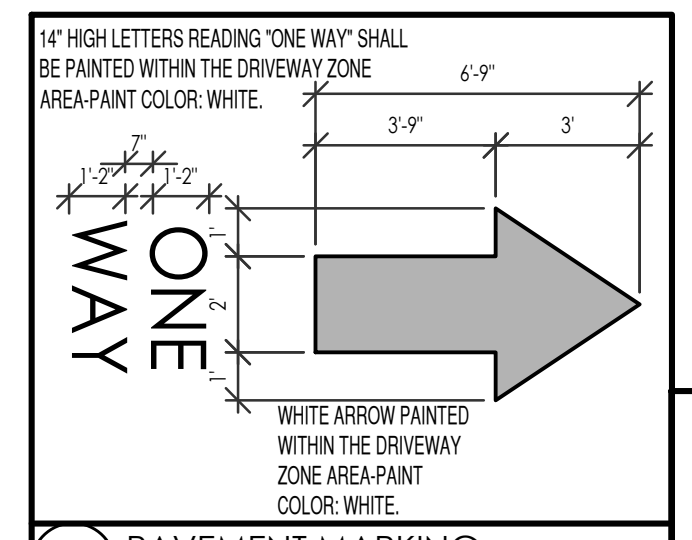
RBA ARCHITECTURE, PC
ARCHITECTURE
PLANNING
DESIGN

DATE
09-19-2024

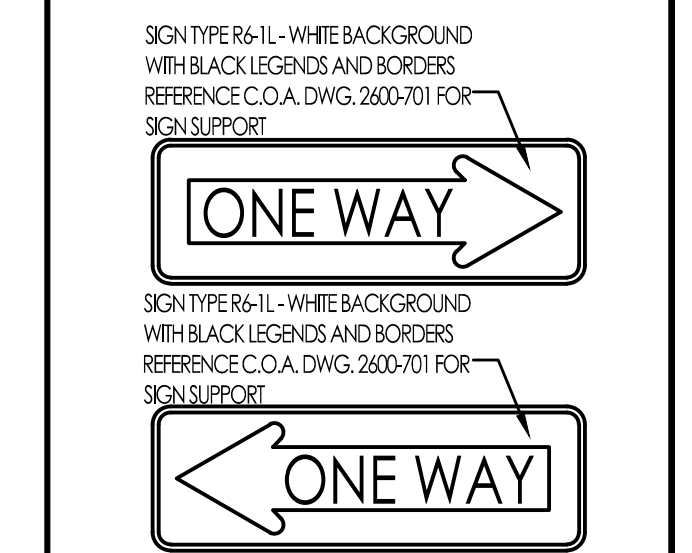
SHEET NUMBER
AS-1.0



A19 PAVING MARKING DETAIL N.T.S.



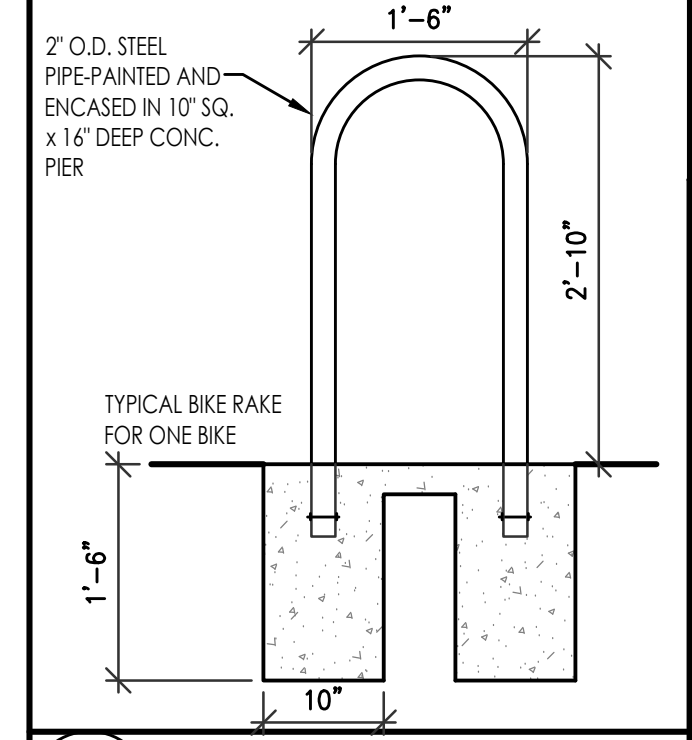
A18 PAVEMENT MARKING DETAIL N.T.S.



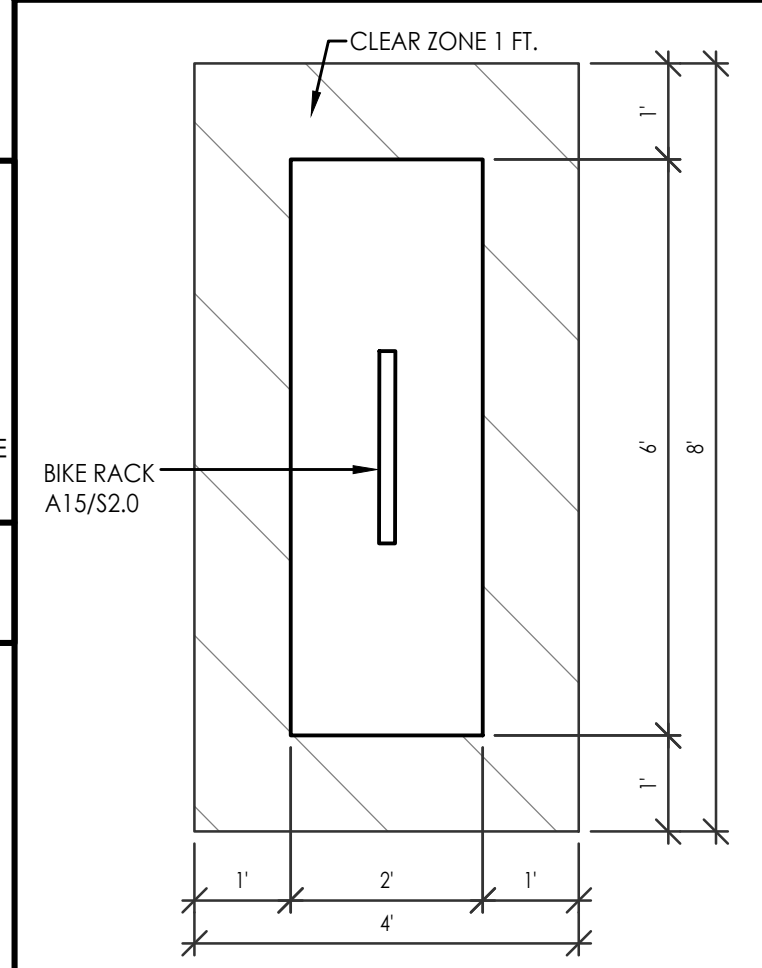
A17 ONE WAY ELEVATIONS 3/4"=1'-0"



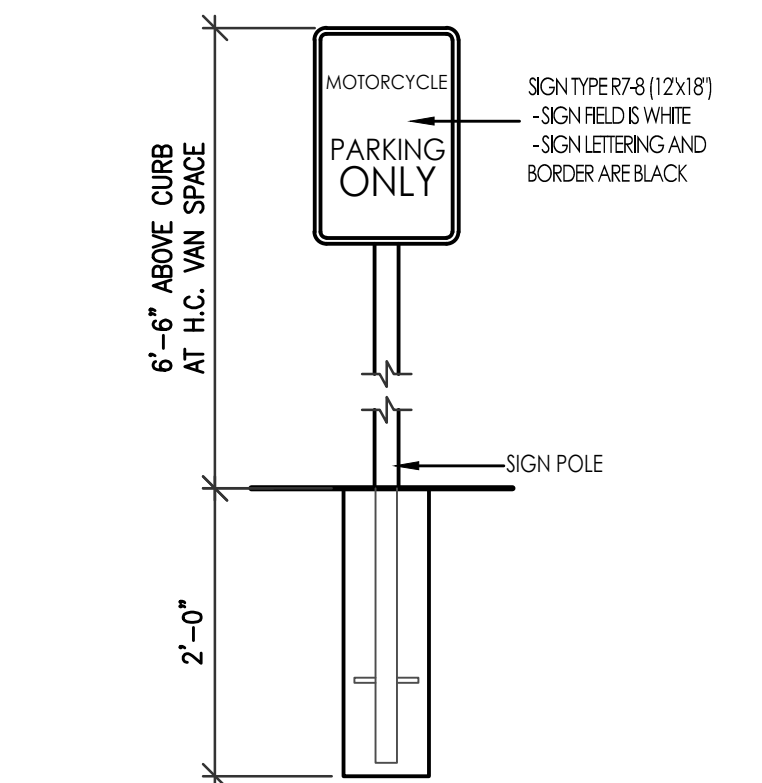
A16 DO NOT ENTER ELEVATIONS 3/4"=1'-0"



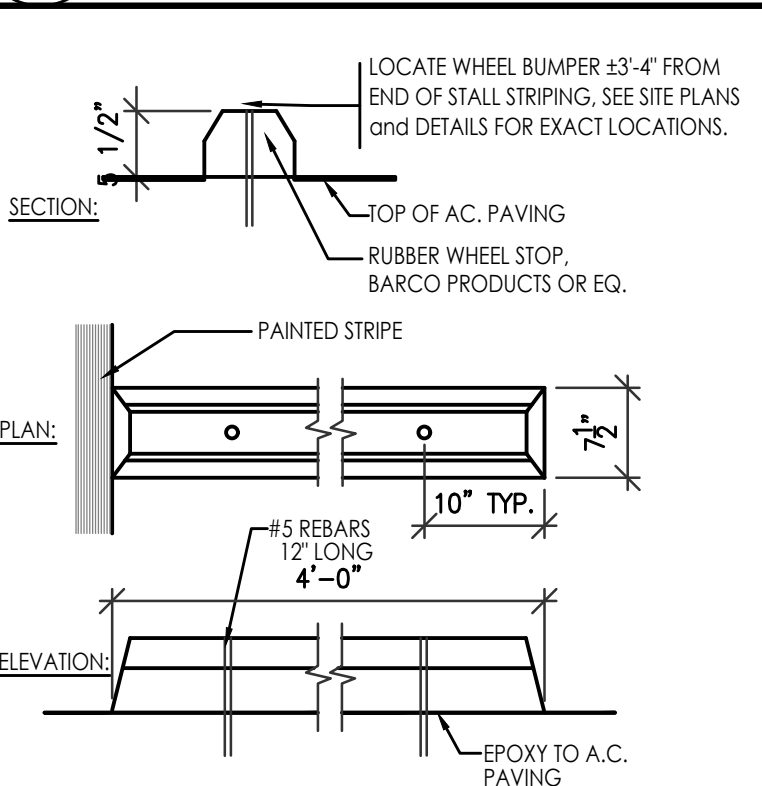
A15 BIKE RACK ELEVATION 3/4"=1'-0"



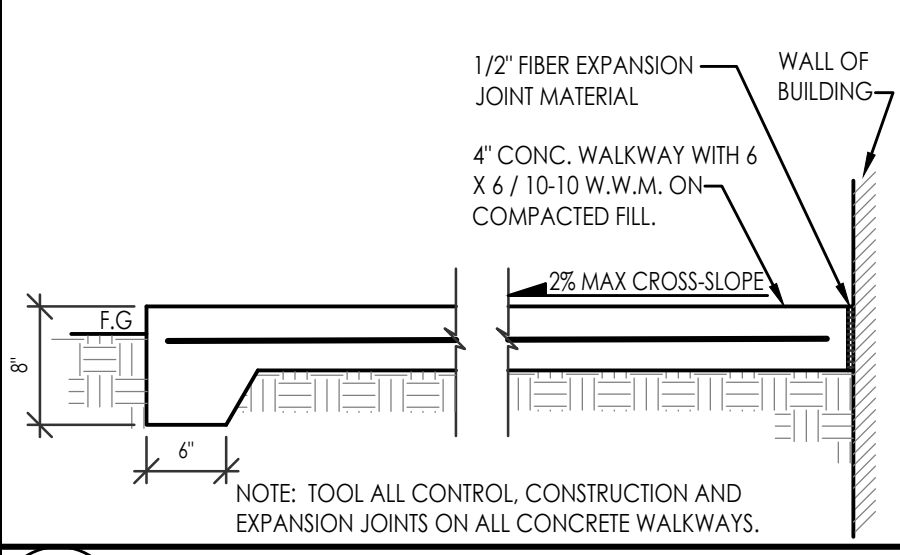
A14 BIKE RACK PLAN 1/2"=1'-0"



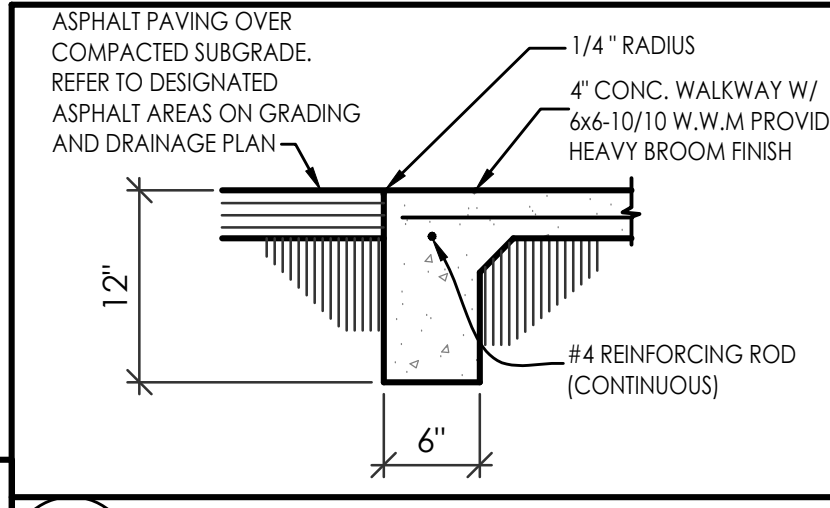
A13 MOTORCYCLE SIGNAGE ELEVATIONS 3/4"=1'-0"



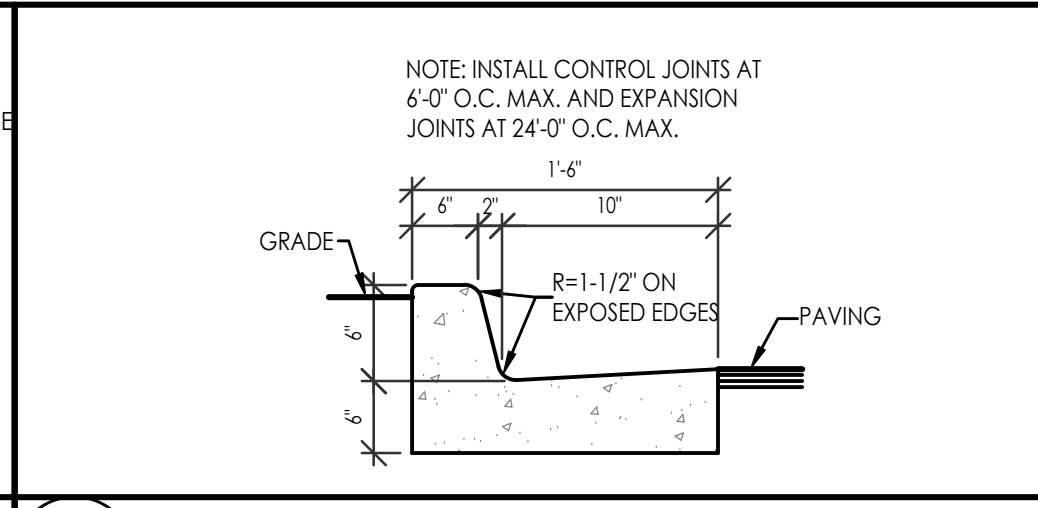
A12 WHEEL BUMPER DETAIL N.T.S.



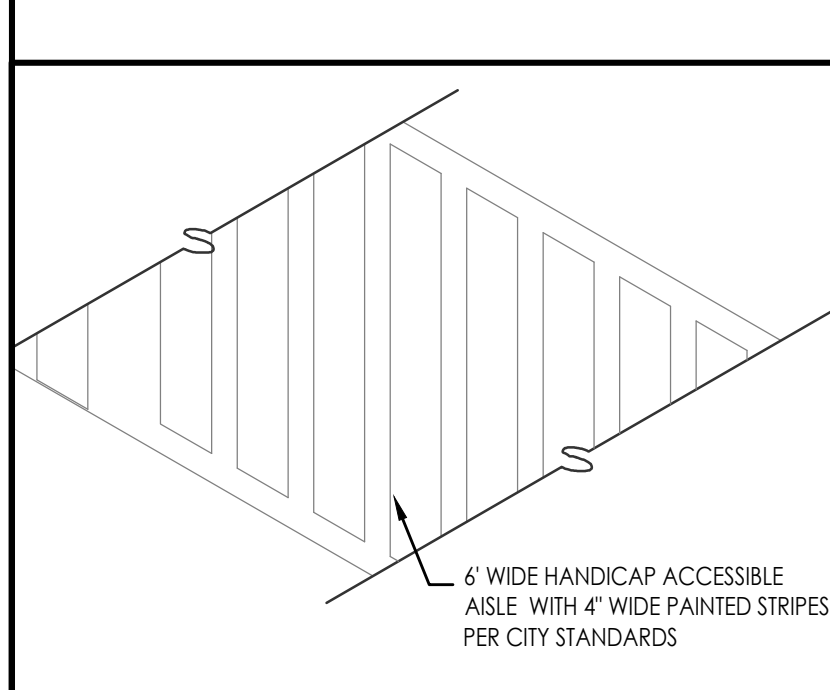
A11 TYPICAL SIDEWALK DETAIL N.T.S.



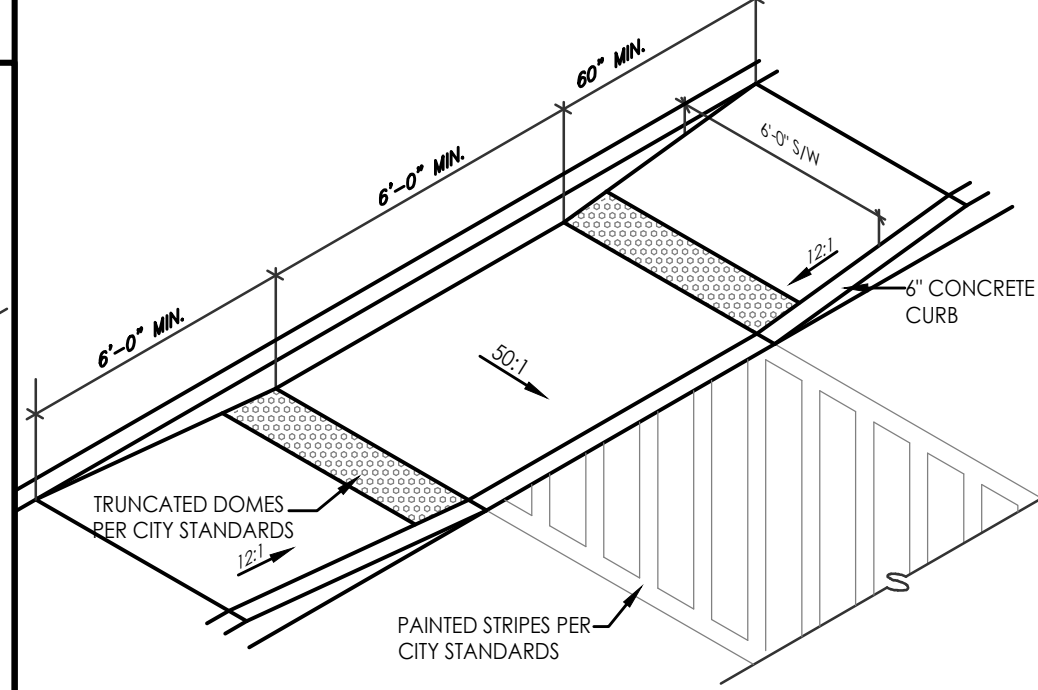
A9 CONCRETE CURB/SIDEWALK ASPHALT PAVING DETAIL N.T.S.



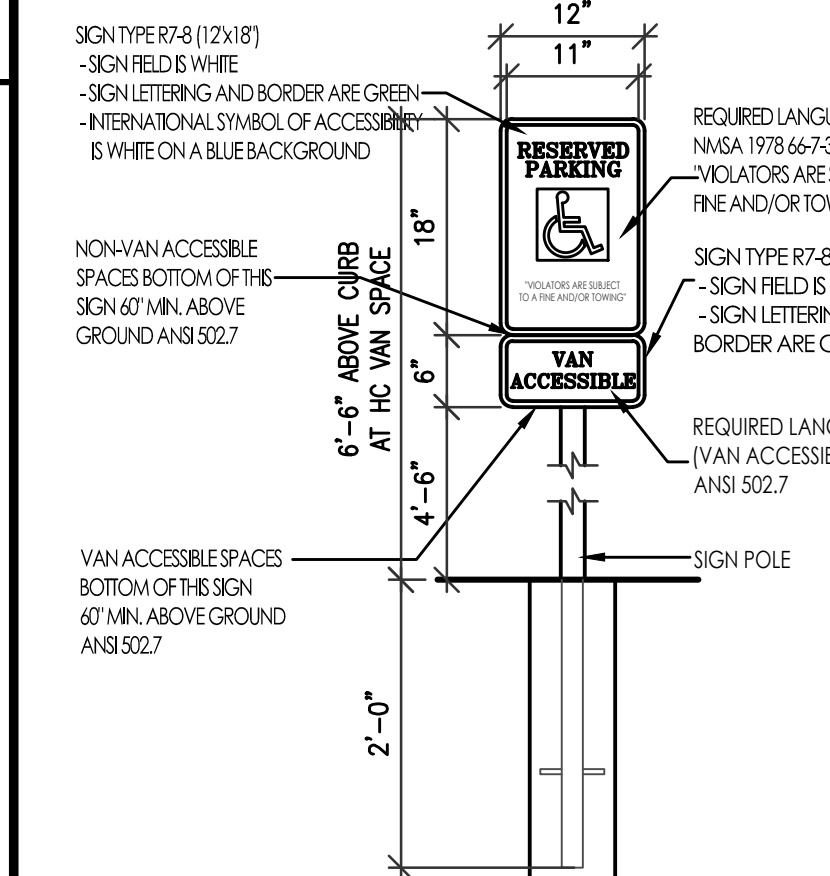
A10 CONCRETE CURB & GUTTER DETAIL N.T.S.



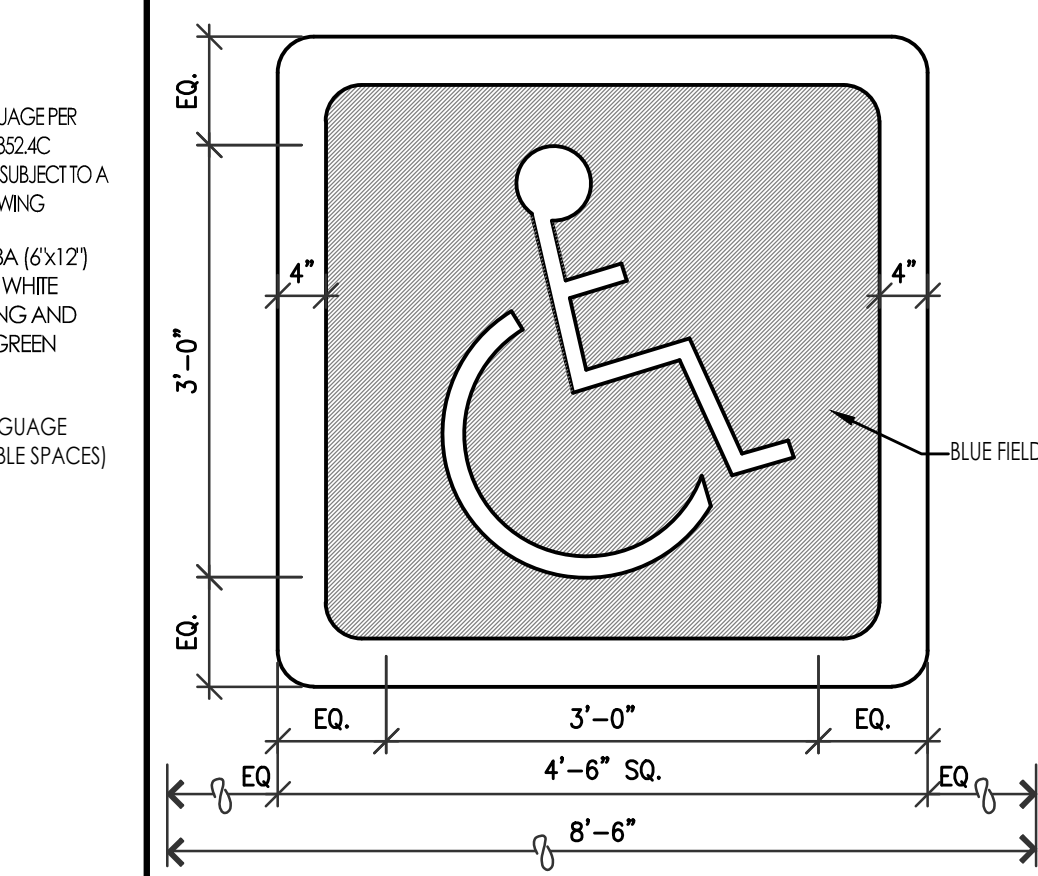
A7 ACCESSIBLE AISLE NOT TO SCALE



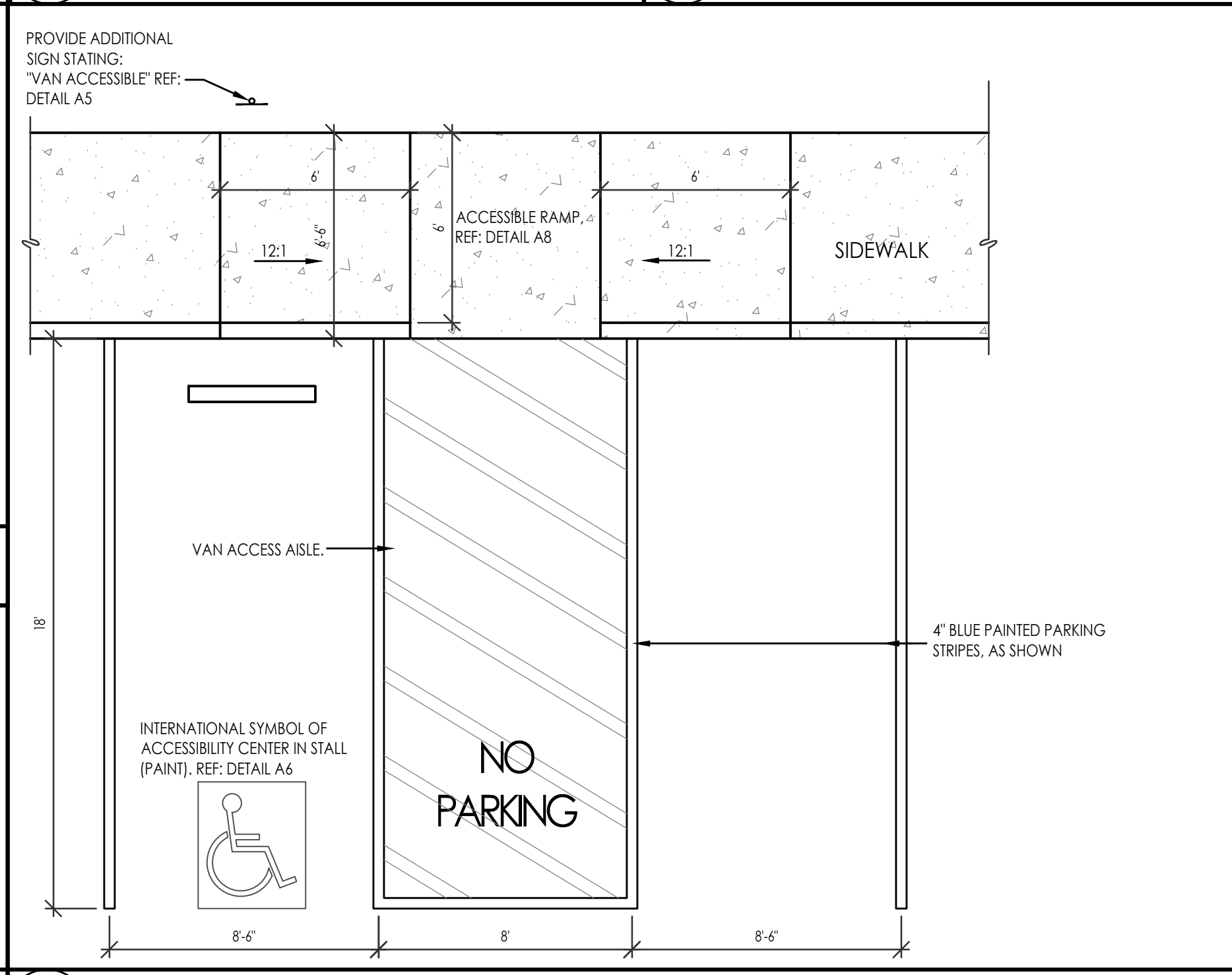
A8 ACCESSIBLE RAMP NOT TO SCALE



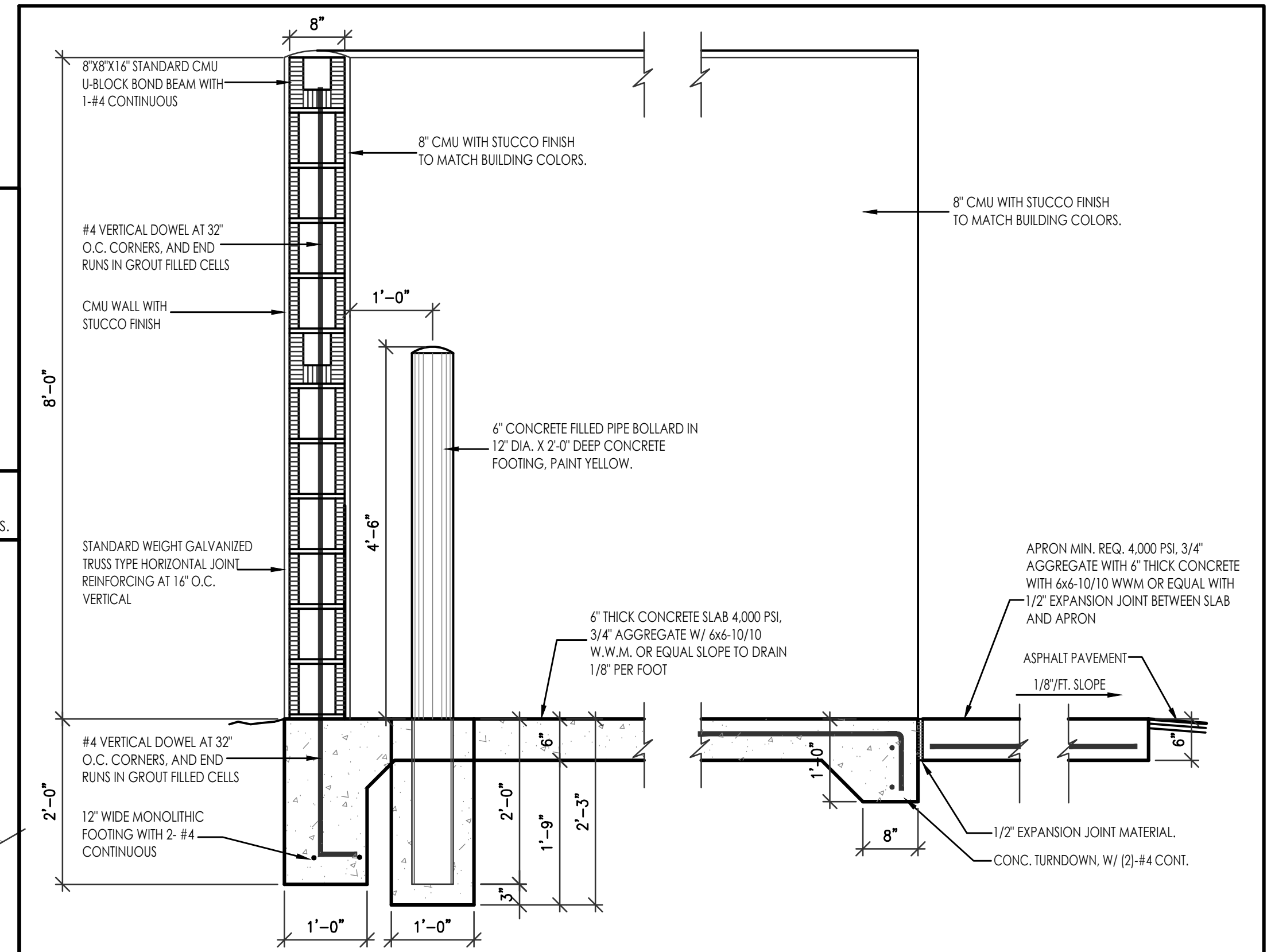
A5 HC PARKING SIGNAGE ELEVATIONS 3/4"=1'-0"



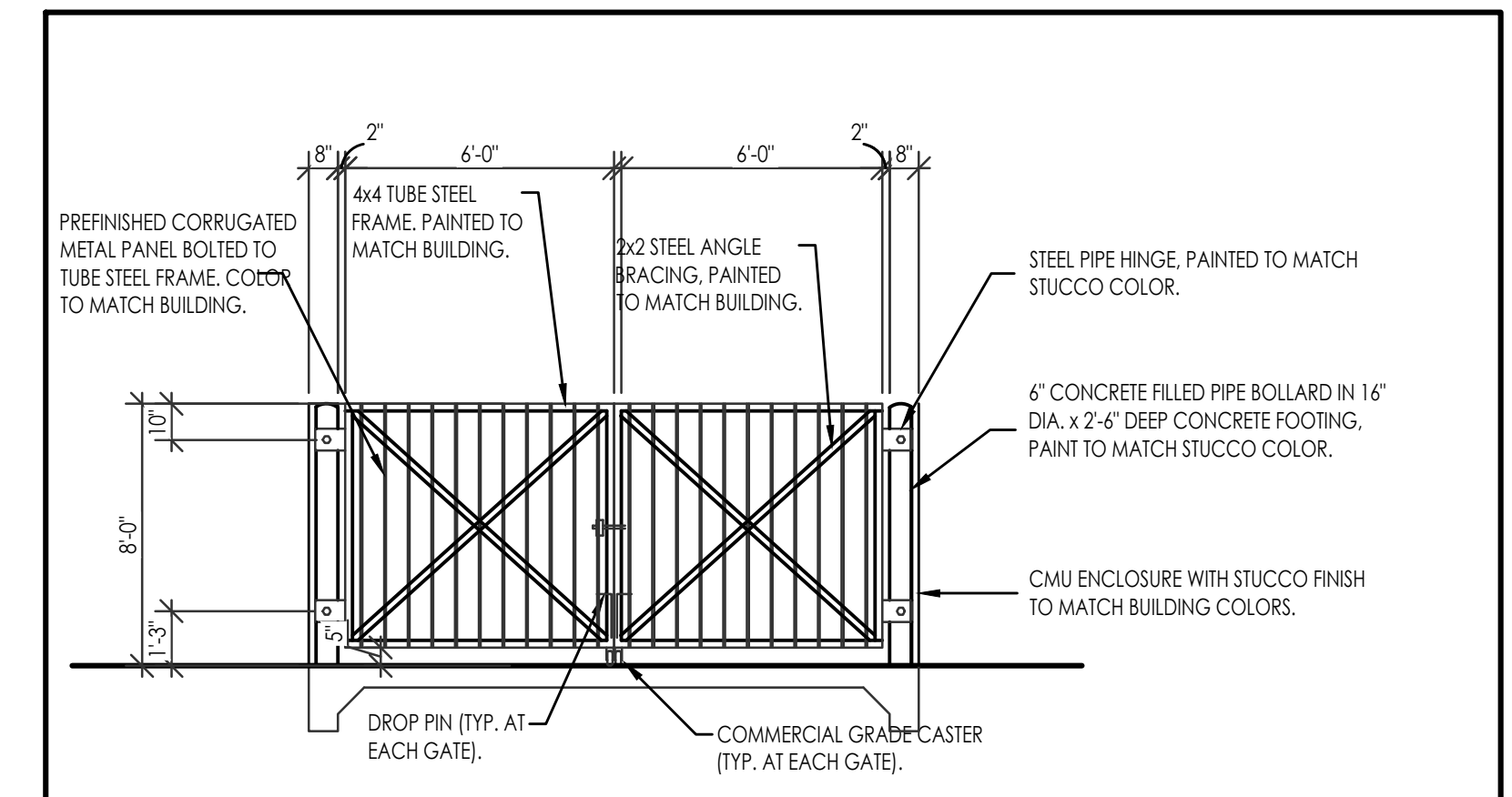
A6 HC PARKING MARKING PLAN 3/4"=1'-0"



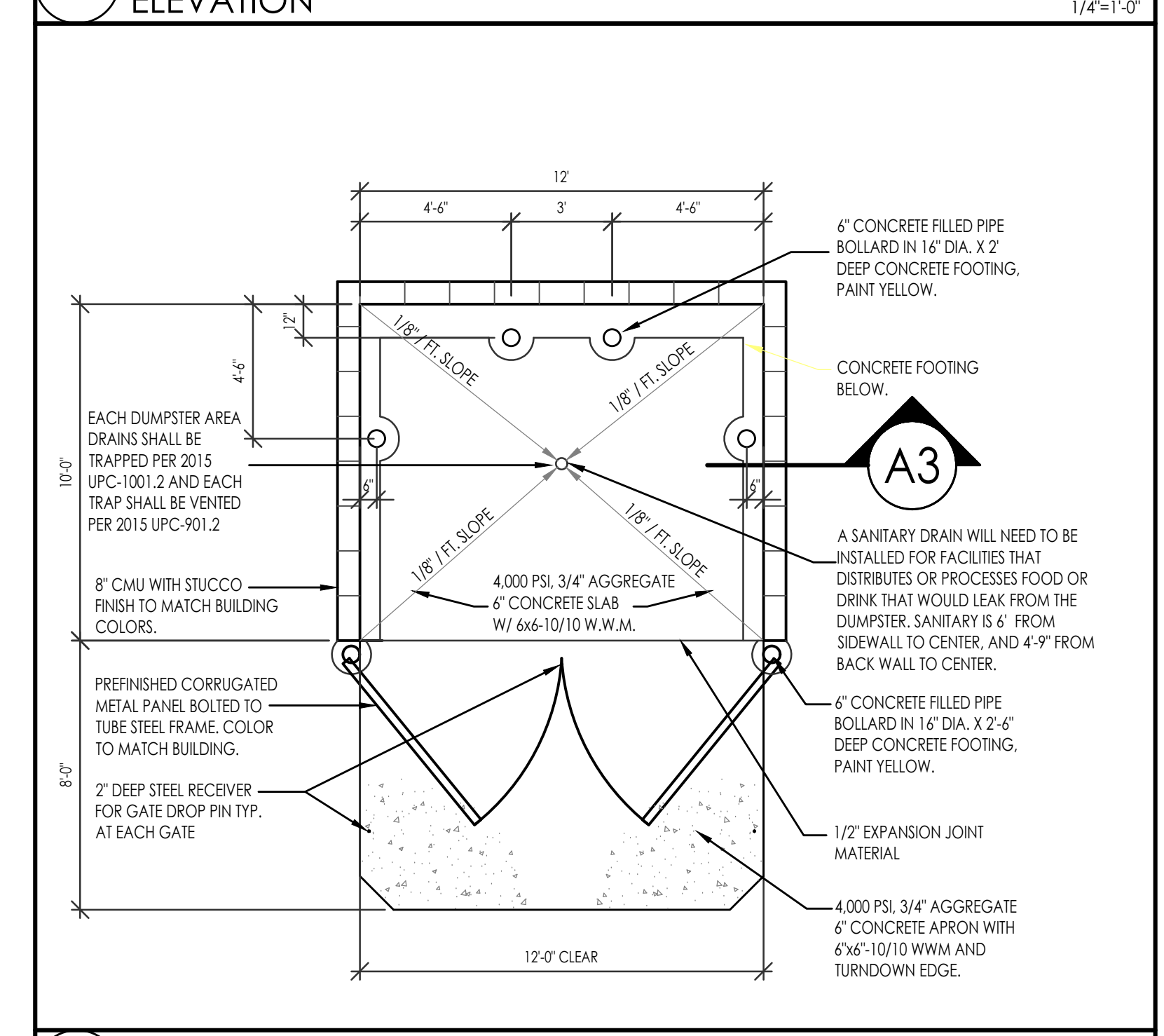
A4 HC PARKING STRIPING PLAN 1/4"=1'-0"



A3 ENCLOSURE CMU WALL DETAIL 3/4"=1'-0"



A2 REFUSE ENCLOSURE ELEVATION 1/4"=1'-0"

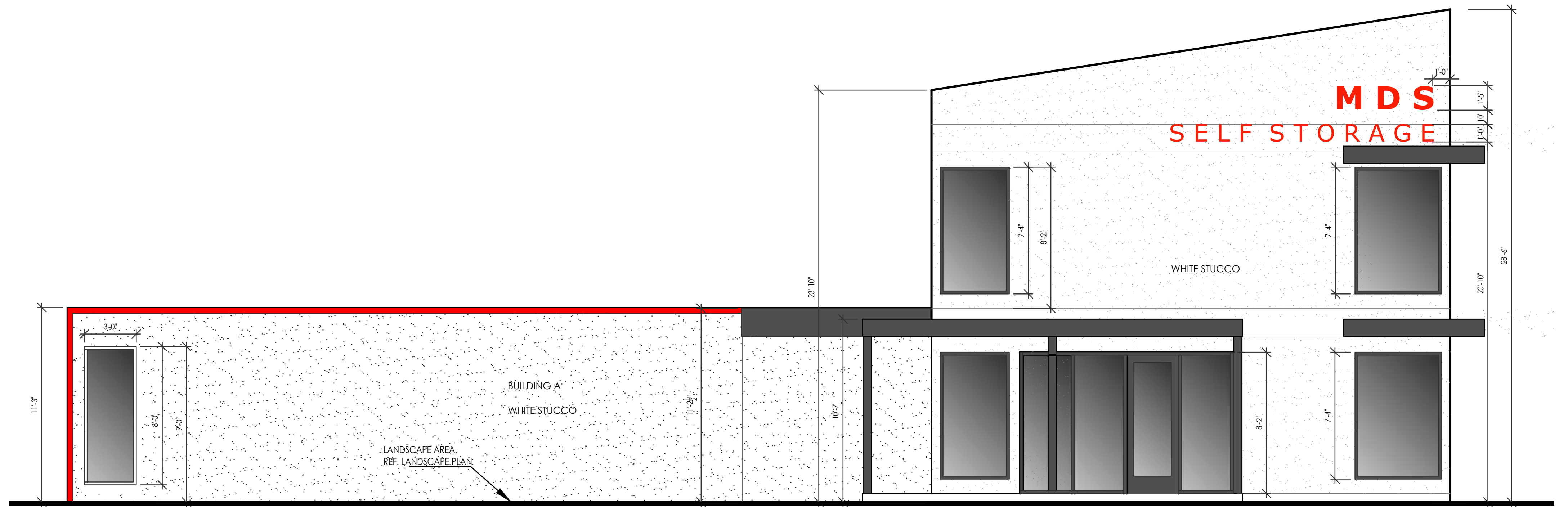


A1 REFUSE ENCLOSURE PLAN 1/4"=1'-0"

MESA DEL SOL SELF STORAGE
SITE DETAILS
5500 TURING DR SE
ALBUQUERQUE, NM 87106
PROJECT #2322

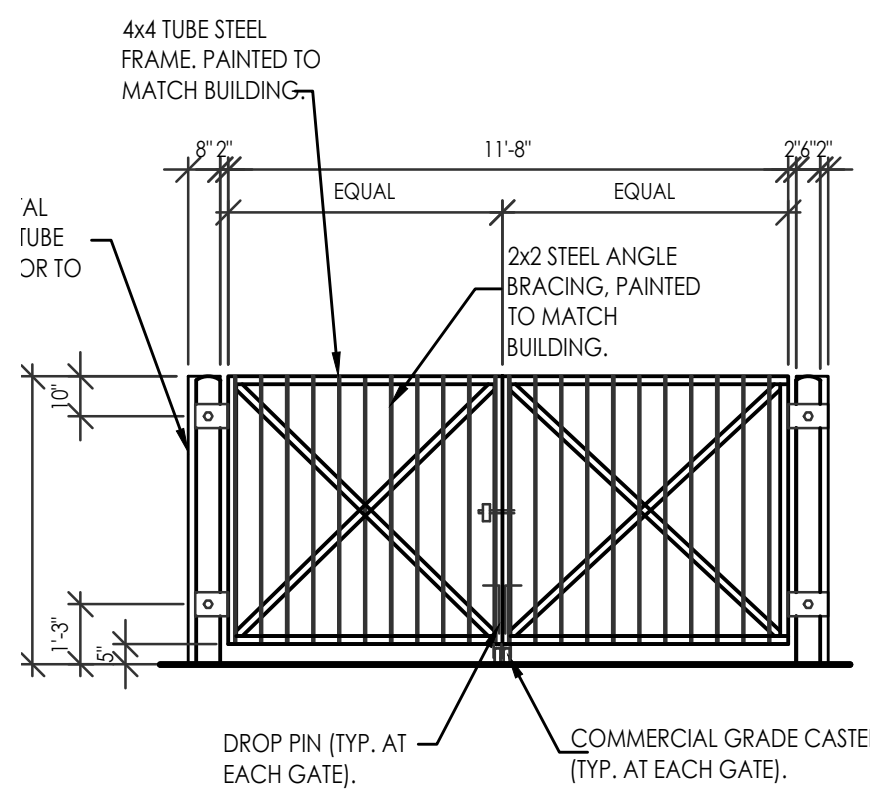
REVISION DATE
DATE
09-12-2024
SHEET NUMBER
AS-2.0

- GENERAL NOTES:
- LANDSCAPING AT ENTRANCE AND COMMON AREAS, MUST BE HEAVILY PLANTED AND RELATED TO THE BUILDING ARCHITECTURE.
- LANDSCAPE CONFIGURATION ON PUBLIC RIGHT OF WAY FOR TREES, MUST BE REPETITIVE PLANTING SCHEMES.
- FRONT LANDSCAPE BUFFERS SHALL BE A MINIMUM OF 10' (OR 6' WITH A SCREEN WALL) MAINTAINED BETWEEN PARKING AREAS AND PRIMARY STREET R.O.W.
- MINIMUM PLANT SIZES DECIDUOUS STREET TREES 2 1/2" CALIPER OR 40" BOX, EVERGREEN TREES 6" IN HEIGHT INSTALLATION, SHRUBS- SLOW GROWING 5 GALLON, FAST GROWING MATURE SIZE 1-2 YEARS - 1 GALLON, GRASSES-1 GALLON, ACCENTS SUCCULENTS 1 GALLON, PERENNIALS-1 GALLON VINES 1-GALLON
- SIDE REAR LANDSCAPE STRIP SHALL BE A MINIMUM OF 6' MAINTAINED BETWEEN PARKING AREAS AND ADJACENT LOTS, REGARDLESS OF SITE SIZE
- LANDSCAPE STREET TREE PLAN SHOULD REFLECT THE MESA DEL SOL STREETScape MASTER PLAN.
- LIGHTNING
- LIGHT FIXTURES ARE REQUIRED TO BE FULL CUTOFF AS DEFINED BY IESNA.
- FIXTURES ON POLES MORE THAN 10' IN HEIGHT OR THAT EXCEED 1800 LUMENS PER LAM SHALL BE FULL CUTOFF FIXTURE
- SITE LIGHTING POLE BASES SHALL NOT EXCEED 30' FROM GRADE.

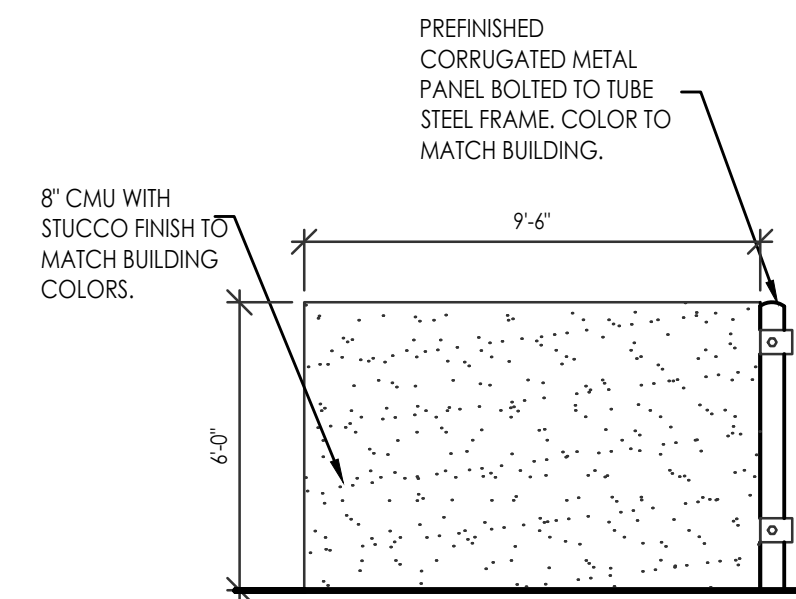


1 NORTH ELEVATION
1/4"=1'-0"
OFFICE AND BUILDING A

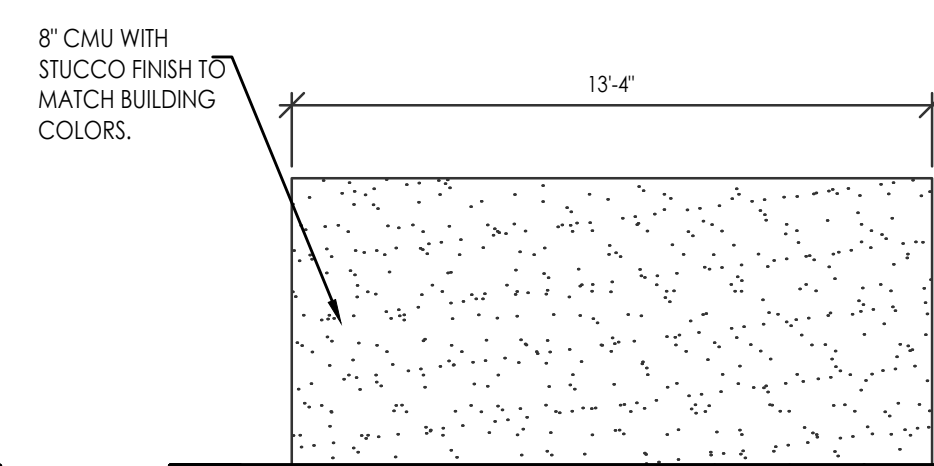
OFFICE BUILDING FACADE AREA: 785 SF
FACADE AREA: 785 SF
FENESTRATION AREA REQ: 196 SF
FENESTRATION AREA PROV: 197 SF



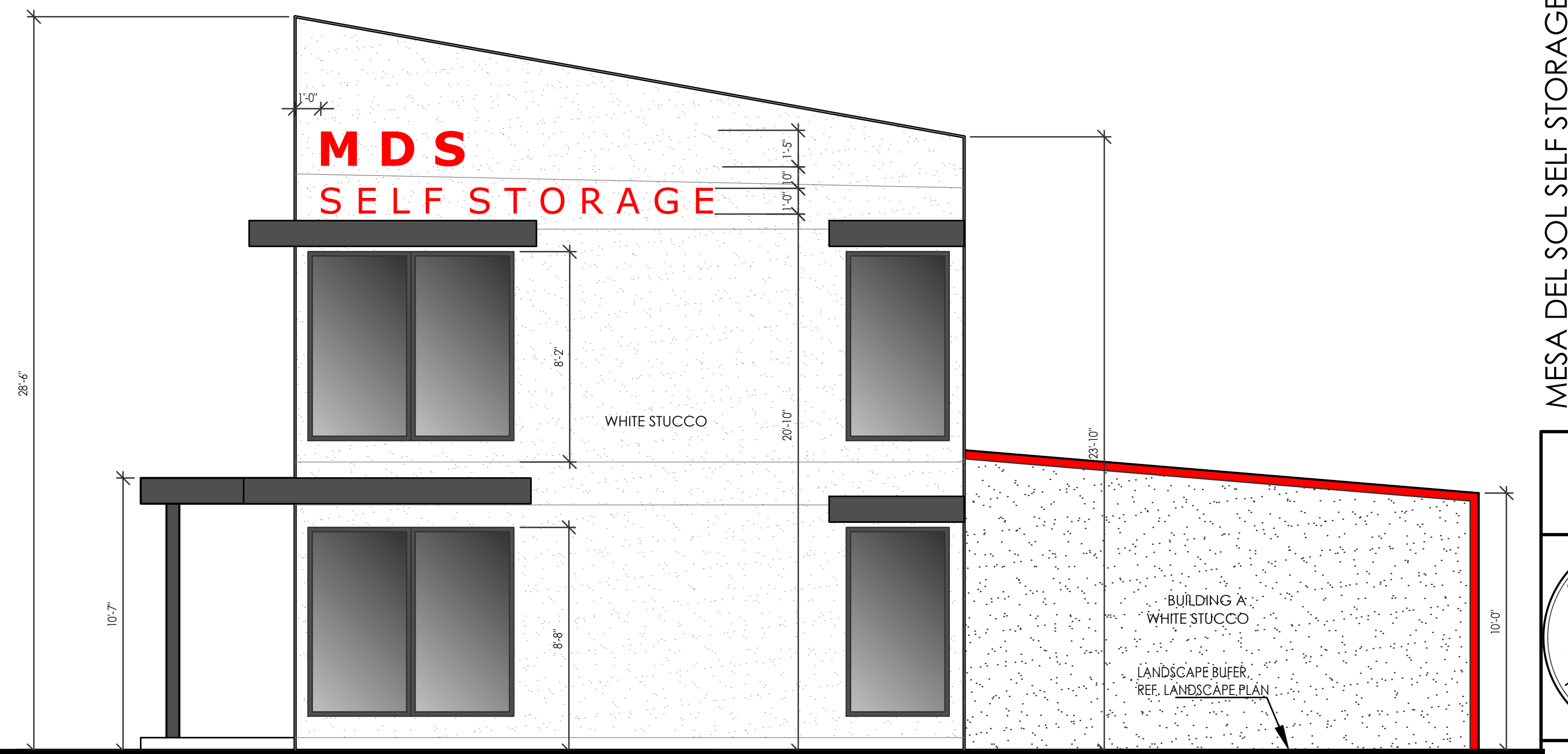
3 FRONT ELEVATION DUMPSTER ELEVATIONS
1/4"=1'-0"



SIDE ELEVATION TYP



REAR ELEVATION



2 WEST ELEVATION
1/4"=1'-0"
OFFICE AND BUILDING A

OFFICE BUILDING FACADE AREA: 480 SF
FACADE AREA: 480 SF
FENESTRATION AREA REQ: 170 SF
FENESTRATION AREA PROV: 174 SF

MESA DEL SOL SELF STORAGE
ELEVATIONS
5500 TURING DR SE
ALBUQUERQUE, NM 87106
PROJECT #2322

REVISION DATE
STATE OF NEW MEXICO RICHARD P. BENNETT No. 1240 9/19/2024 REGISTERED ARCHITECT

RBA ARCHITECTURE, P.C.
ARCHITECTURE
PLANNING
DESIGN
1000 W. 10th St., Suite 100
Albuquerque, NM 87102
www.rbaarch.com

DATE
9/19/2024

SHEET NUMBER
A-5.0



① OFFICE BUILDING
NORTH WEST ELEVATION



② OFFICE BUILDING
WEST ELEVATIONS



② OFFICE BUILDING
NORTH EAST ELEVATION



② OFFICE BUILDING
NORTH ELEVATION



① SITE AERIAL
NORTH ELEVATION - CRICK AVE.



① OFFICE BUILDING
WEST ELEVATION - TURING DR.

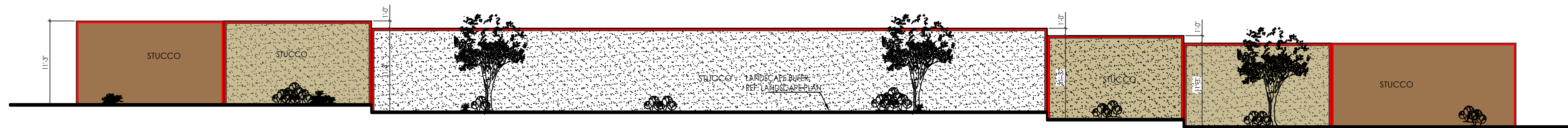
MESA DEL SOL SELF STORAGE
RENDERINGS
5500 TURING DR SE
ALBUQUERQUE, NM 87106
PROJECT #2322

REVISION	DATE
RBA ARCHITECTURE, PC PLANNING DESIGN <small>10000 R Street, NE Albuquerque, NM 87112 (505) 261-1000 www.rbaarch.com</small>	
DATE	9/19/2024
SHEET NUMBER	A-5.2

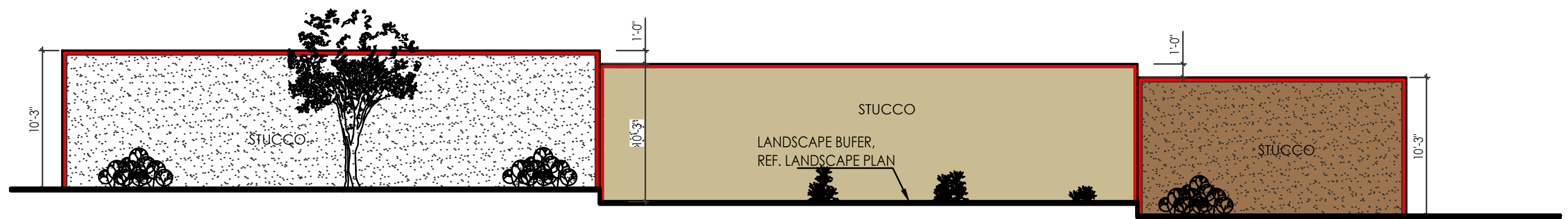
- GENERAL NOTES:
- LANDSCAPING AT ENTRANCE AND COMMON AREAS, MUST BE HEAVILY PLANTED AND RELATED TO THE BUILDING ARCHITECTURE.
- LANDSCAPE CONFIGURATION ON PUBLIC RIGHT OF WAY FOR TREES, MUST BE REPETITIVE PLANTING SCHEMES.
- FRONT LANDSCAPE BUFFERS SHALL BE A MINIMUM OF 10' (OR 6' WITH A SCREEN WALL) MAINTAINED BETWEEN PARKING AREAS AND PRIMARY STREET R.O.W.
- MINIMUM PLANT SIZES DECIDUOUS STREET TREES 2 1/2 CALIPER OR 40" BOX, EVERGREEN TREES 6' IN HEIGHT INSTALLATION, SHRUBS- SLOW GROWING 5 GALLON, FAST GROWING MATURE SIZE 1-2 YEARS - 1 GALLON, GRASSES-1 GALLON, ACCENTS SUCCULENTS 1 GALLON, PERENNIALS-1 GALLON VINES 1-GALLON
- SIDE REAR LANDSCAPE STRIP SHALL BE A MINIMUM OF 6' MAINTAINED BETWEEN PARKING AREAS AND ADJACENT LOTS, REGARDLESS OF SITE SIZE
- LANDSCAPE STREET TREE PLAN SHOULD REFLECT THE MESA DEL SOL STREETSCAPE MASTER PLAN.
- LIGHTNING
- LIGHT FIXTURES ARE REQUIRED TO BE FULL CUTOFF AS DEFINED BY IESNA.
- FIXTURES ON POLES MORE THAN 10' IN HEIGHT OR THAT EXCEED 1800 LUMENS PER LAM SHALL BE FULL CUTOFF FIXTURE
- SITE LIGHTING POLE BASES SHALL NOT EXCEED 30' FROM GRADE.



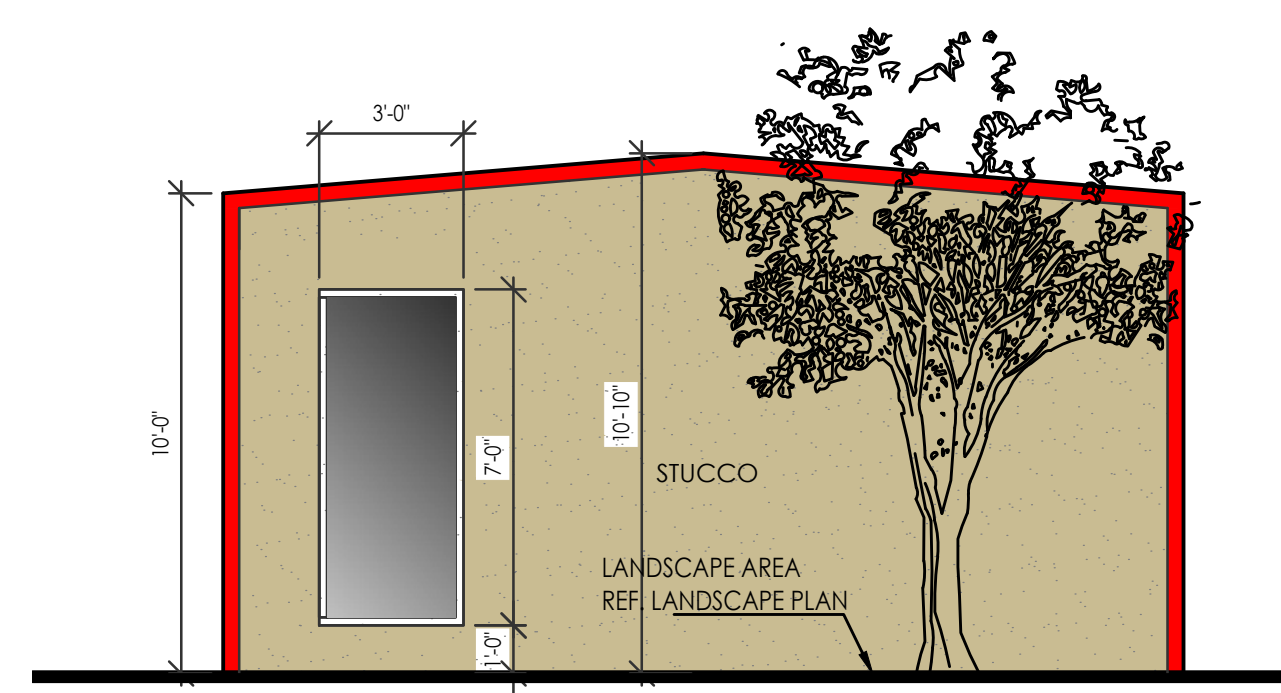
1 **BUILDING B**
1/8"=1'-0"
WEST ELEVATION - STREET: TURING DR.



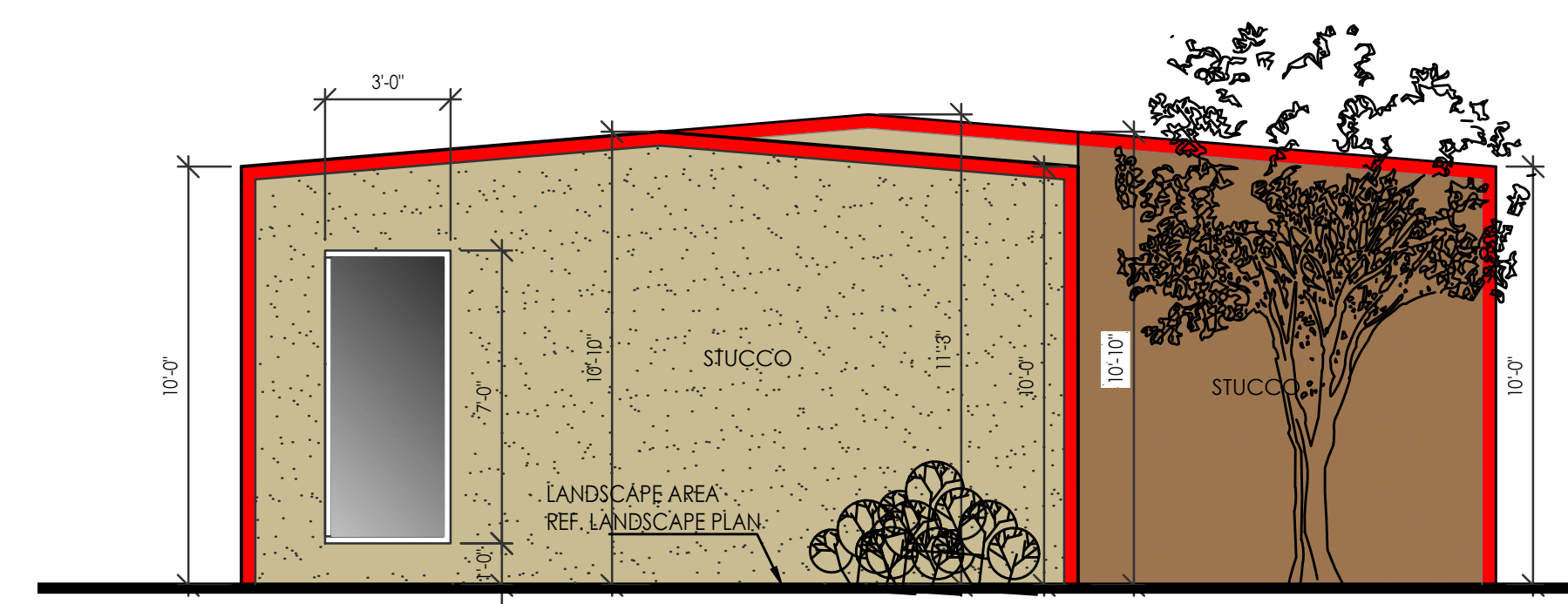
2 **BUILDING C**
1/8"=1'-0"
WEST ELEVATION - STREET: TURING DR.



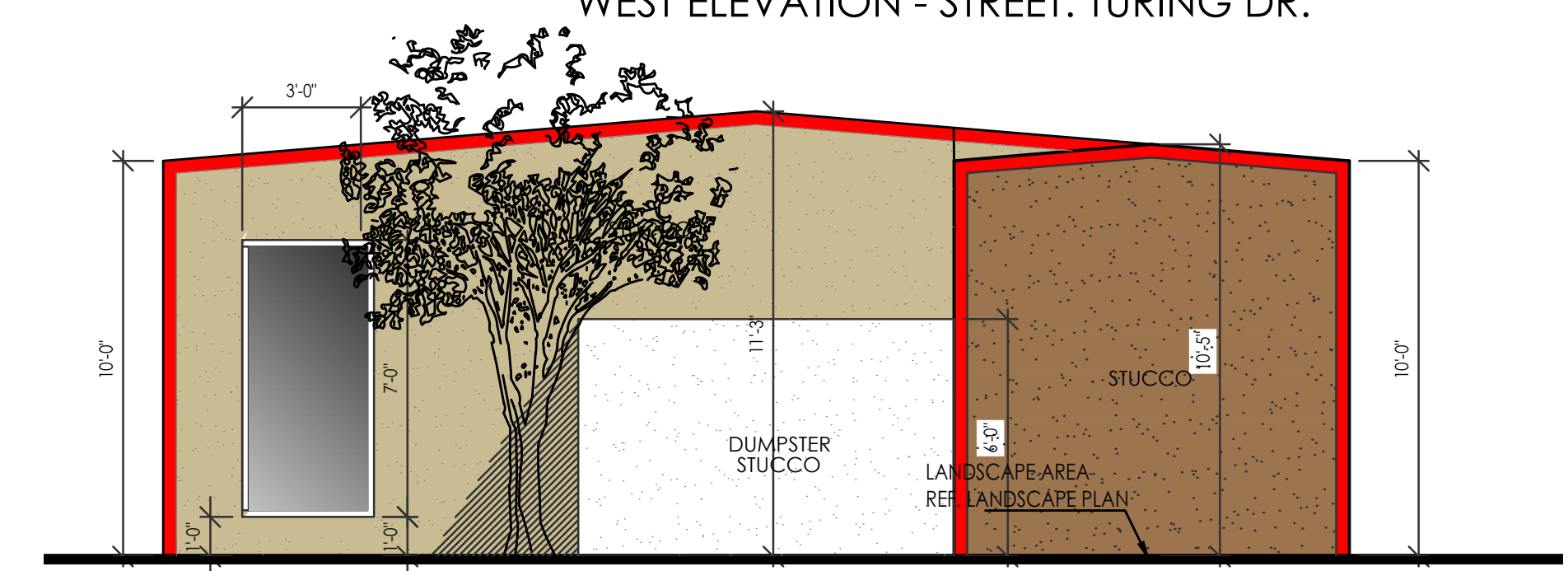
3 **BUILDING D**
1/8"=1'-0"
WEST ELEVATION - STREET: TURING DR.



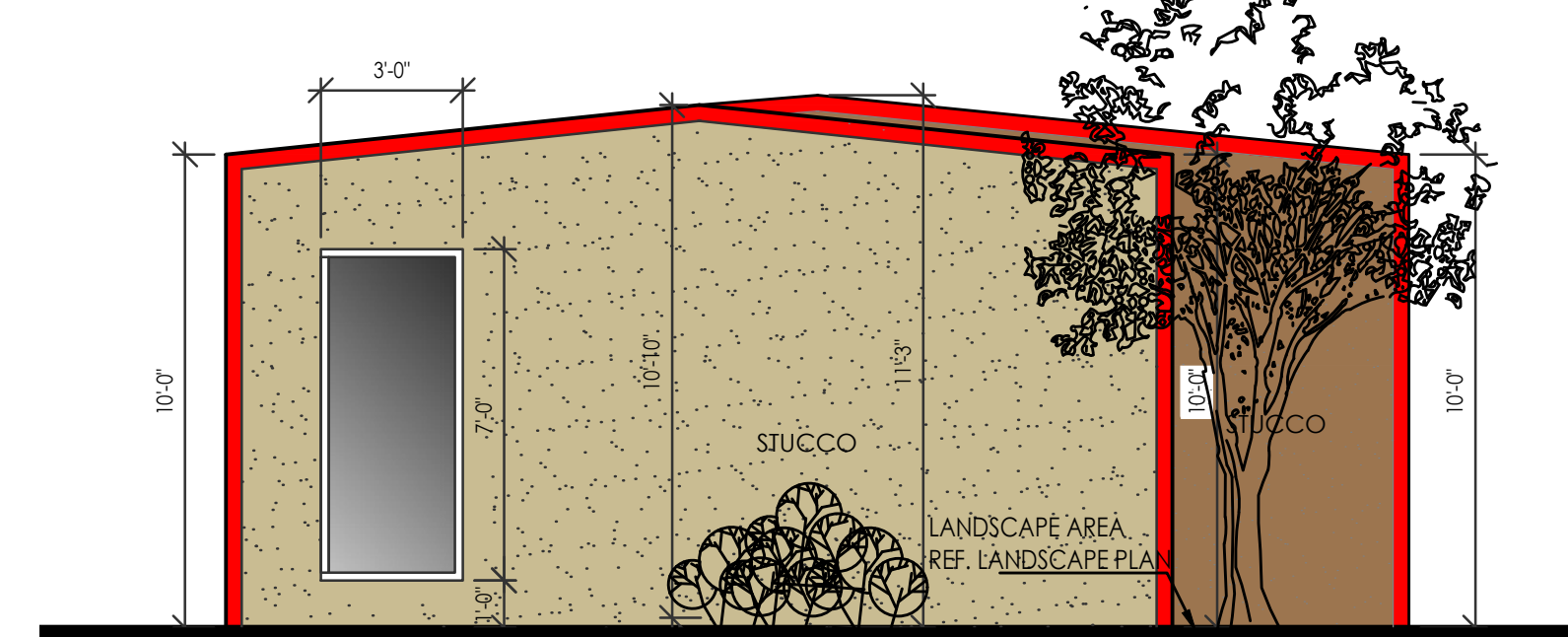
4 **BUILDING F**
1/4"=1'-0"
NORTH ELEVATION - STREET: CRICK AVE.



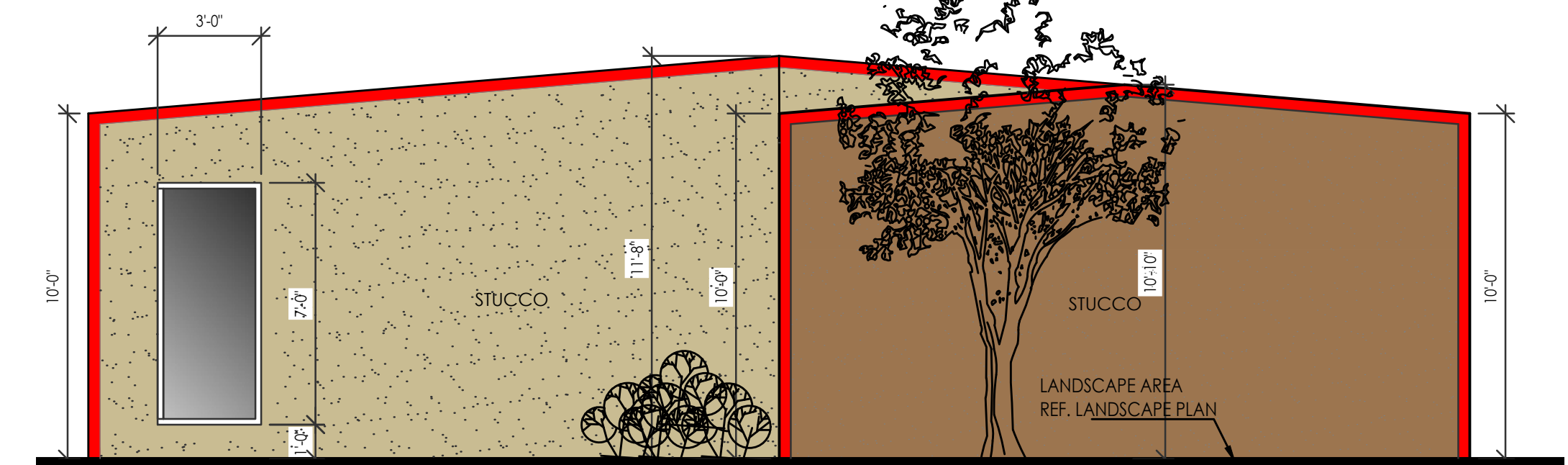
5 **BUILDING G**
1/4"=1'-0"
NORTH ELEVATION - STREET: CRICK AVE.



6 **BUILDING H**
1/4"=1'-0"
NORTH ELEVATION - STREET: CRICK AVE.



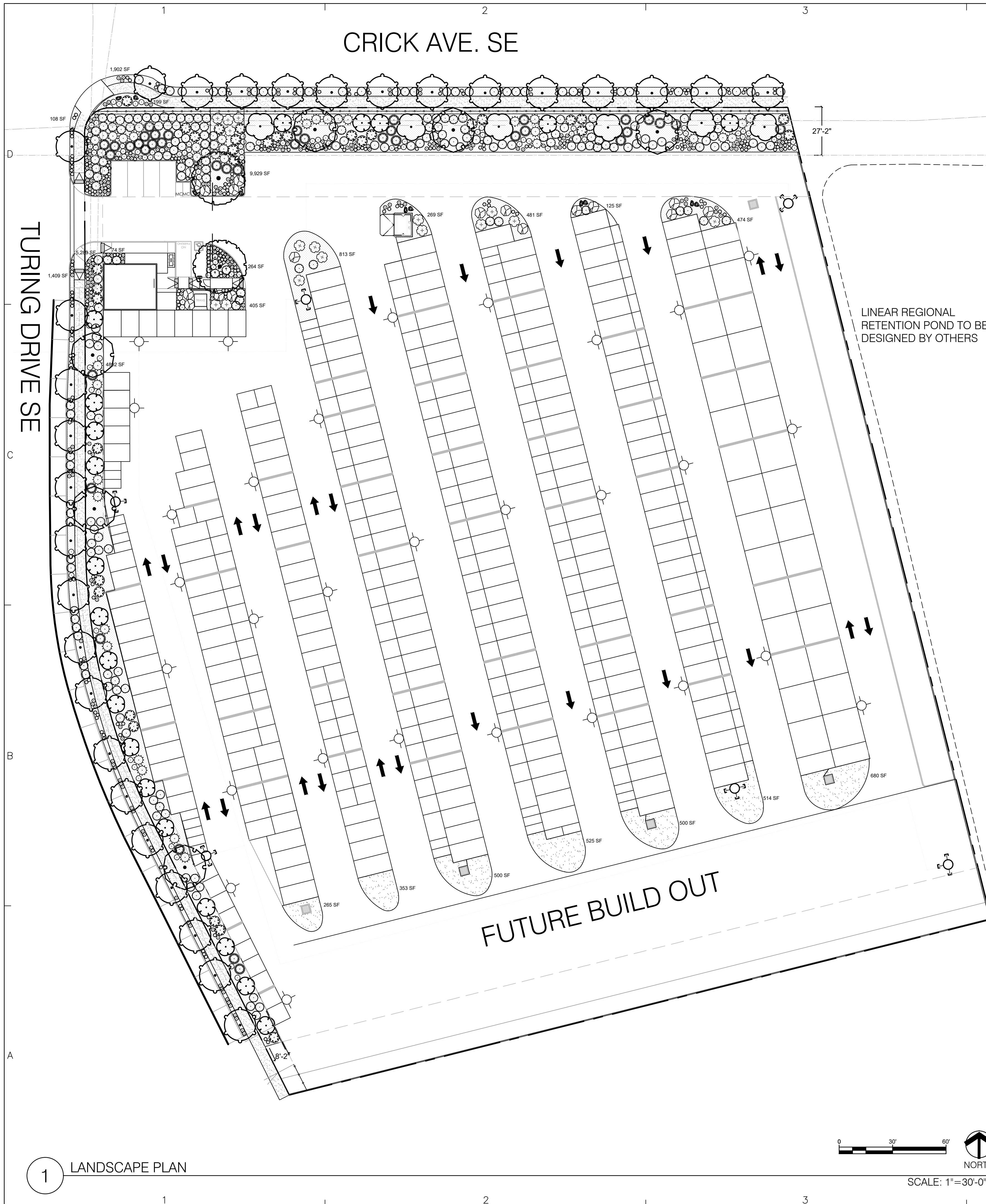
7 **BUILDING J**
1/4"=1'-0"
NORTH ELEVATION - STREET: CRICK AVE.



8 **BUILDING K**
1/4"=1'-0"
NORTH ELEVATION - STREET: CRICK AVE.

MESA DEL SOL SELF STORAGE
ELEVATIONS
5500 TURING DR SE
ALBUQUERQUE, NM 87106
PROJECT #2322

REVISION DATE
DATE
9/19/2024
SHEET NUMBER
A-5.1



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE	WATER USE
TREES					
	6	<i>Celtis laevigata reticulata</i> / Netleaf Hackberry	2.5" cal.	25' x 25'	LOW
	6	<i>Juniperus monosperma</i> / Oneseed Juniper	2.5" cal.	15' x 15'	RW
	3	<i>Prosopis glandulosa</i> 'Maverick' / Maverick Thornless Honey Mesquite	2.5" cal.	25' x 30'	RW
	20	<i>Robinia neomexicana</i> / New Mexico Locust	2.5" cal.	15' x 10'	MED
	29	<i>Ulmus</i> x 'Frontier' / Frontier Elm	2.5" cal.	25' x 25'	LOW
SHRUBS					
	18	<i>Arctostaphylos</i> x <i>coloradensis</i> 'Chieftain' / Chieftain Mock Bearberry Manzanita	5 gal.	2' x 6'	Low - Med.
	216	<i>Calamagrostis</i> x <i>acutiflora</i> 'Karl Foerster' / Karl Foerster Feather Reed Grass	5 gal.	2.5' x 2'	Medium
	56	<i>Leucophyllum langmaniae</i> 'Lynn's Legacy' / Lynn's Legacy Langman's Sage	5 gal.	5' x 5'	Low
	88	<i>Mirabilis multiflora</i> / Colorado Four O'Clock	5 gal.	2' x 5'	Low
	96	<i>Muhlenbergia reverchonii</i> 'PUND01S' / Undaunted® Ruby Muhly	5 gal.	3' x 3'	Low
	32	<i>Rhus trilobata</i> / Three-Leaf Sumac	5 gal.	6' x 6'	Low
	273	<i>Schizachyrium scoparium</i> / Little Bluestem	5 gal.	2' x 2'	Low
DESERT ACCENT					
	37	<i>Agave americana</i> / Century Plant	5 gal.	6' x 6'	RW
	17	<i>Cylindropuntia spinosior</i> / Cane Cholla	5 gal.	8' x 6'	RW
	39	<i>Opuntia engelmannii</i> / Engelmann's Prickly Pear	5 gal.	4' x 6'	RW
	77	<i>Yucca elata</i> / Soaptree Yucca	5 gal.	15' x 5'	RW



CONSENSUS
 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

CONSULTANTS

MDS SELF-STORAGE
 ALBUQUERQUE, NM
 SEPTEMBER 20, 2024

SUBMITTAL: SEPTEMBER 20, 2024

REVISIONS

NO.	DATE	DESCRIPTION

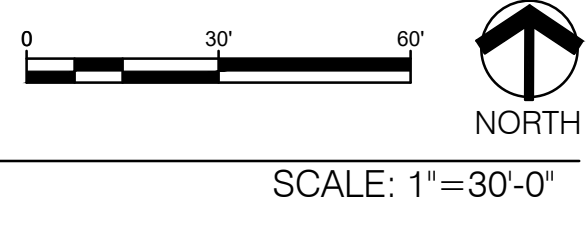
PROJECT NO: X
 CAD DWG FILE:
 DESIGNED BY: AB DATE: 9/20/24
 DRAWN BY: AB DATE: 9/20/24
 CHECKED BY: KR DATE: 9/20/24

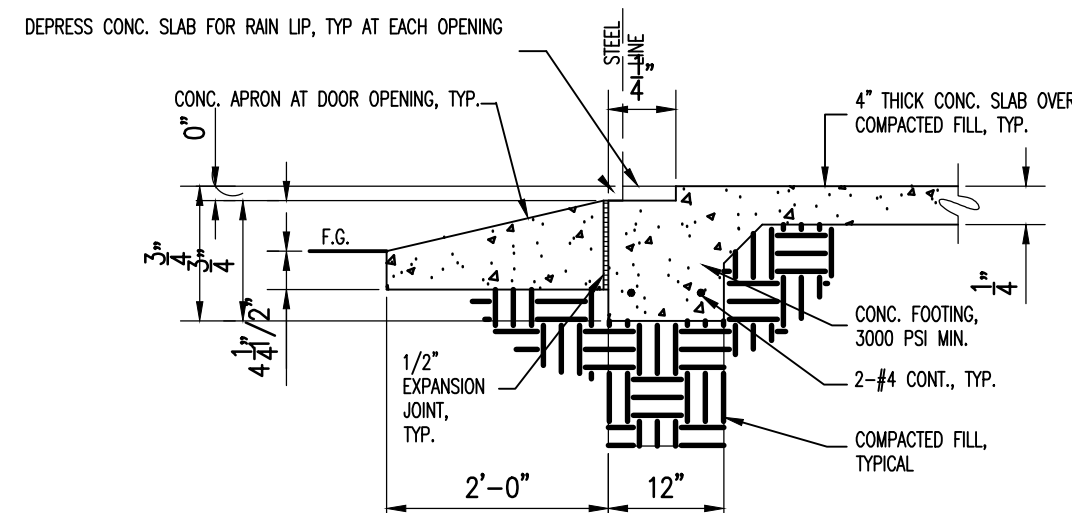
SHEET TITLE

LANDSCAPE PLAN

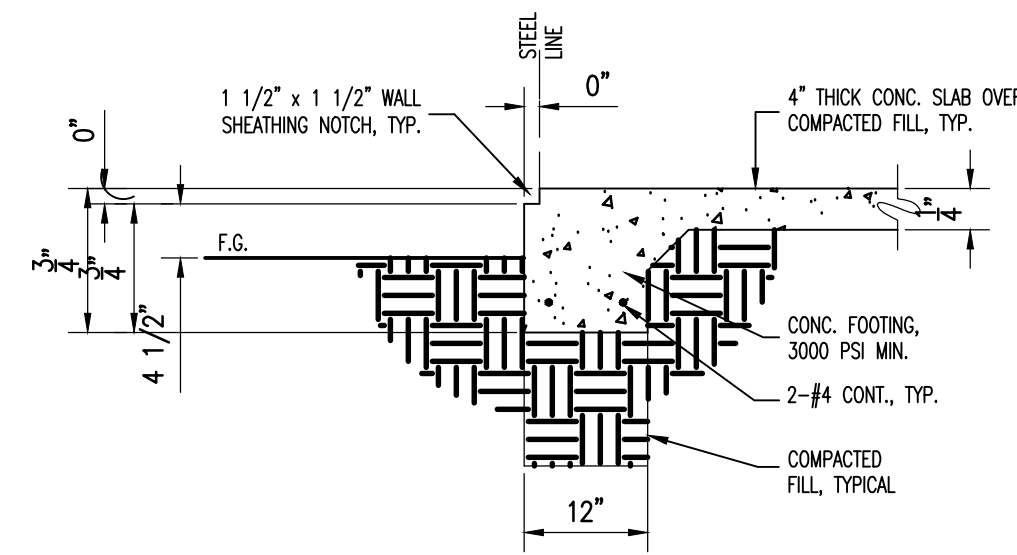
DRAWING SHEET

LS101

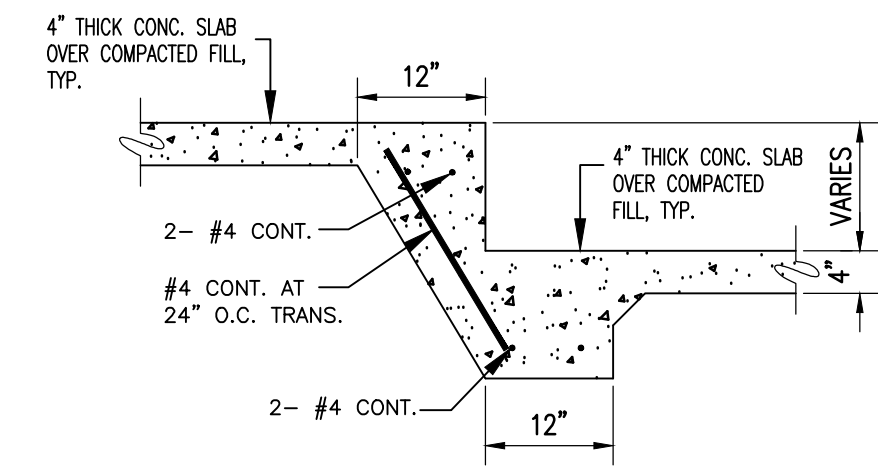




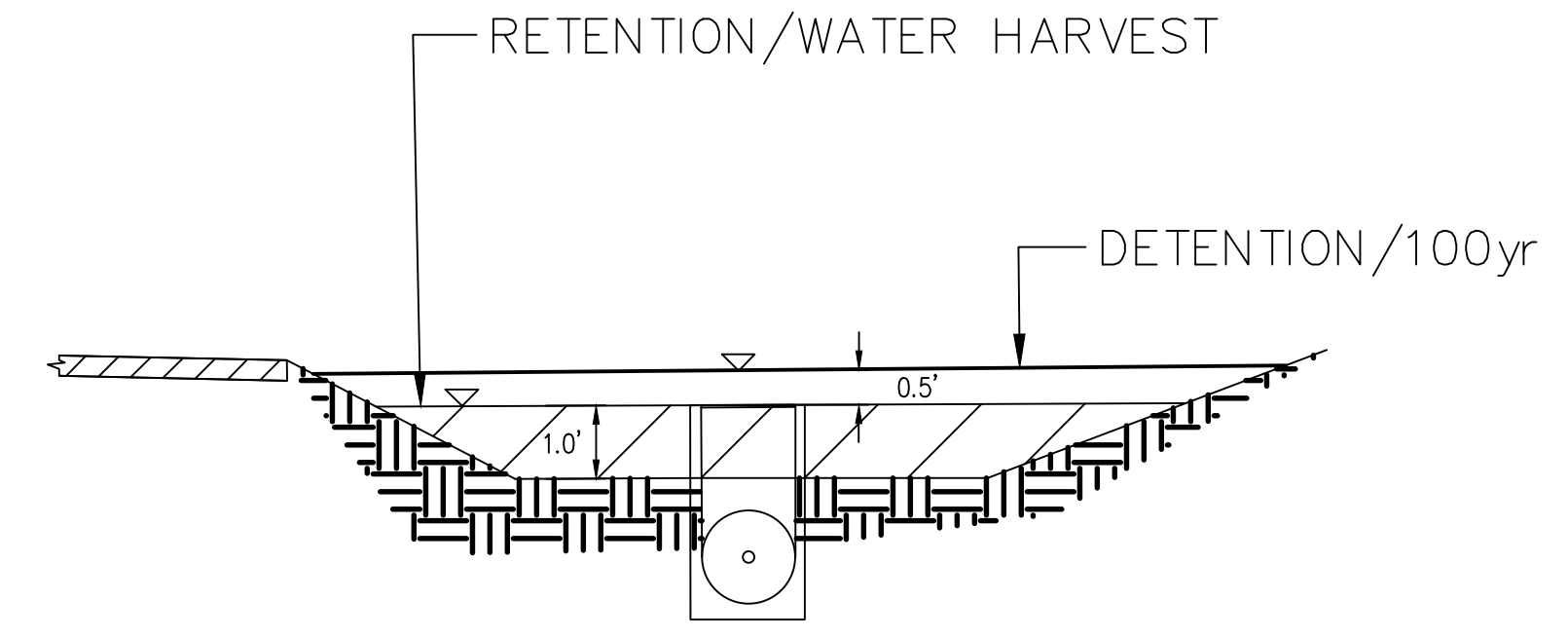
2.1 FOOTING DETAIL
SCALE: N.T.S.



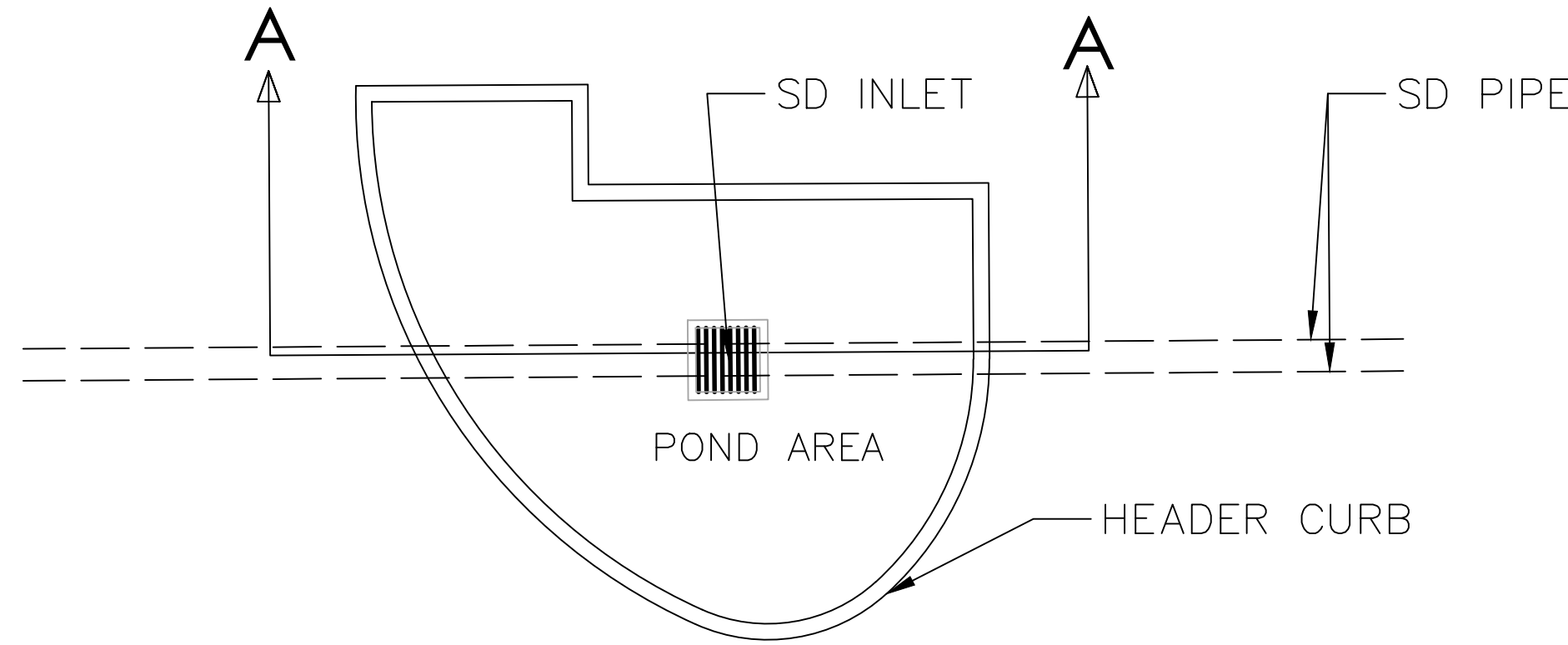
2.2 FOOTING DETAIL
SCALE: N.T.S.



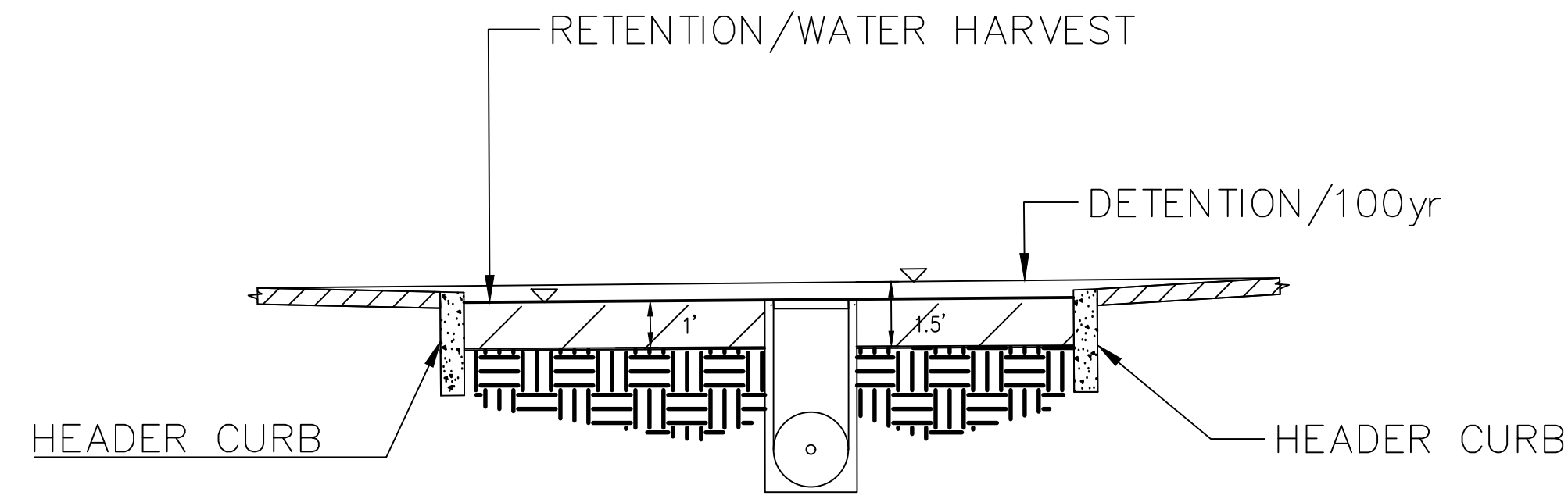
2.3 STEPPED FOOTING DETAIL
SCALE: N.T.S.



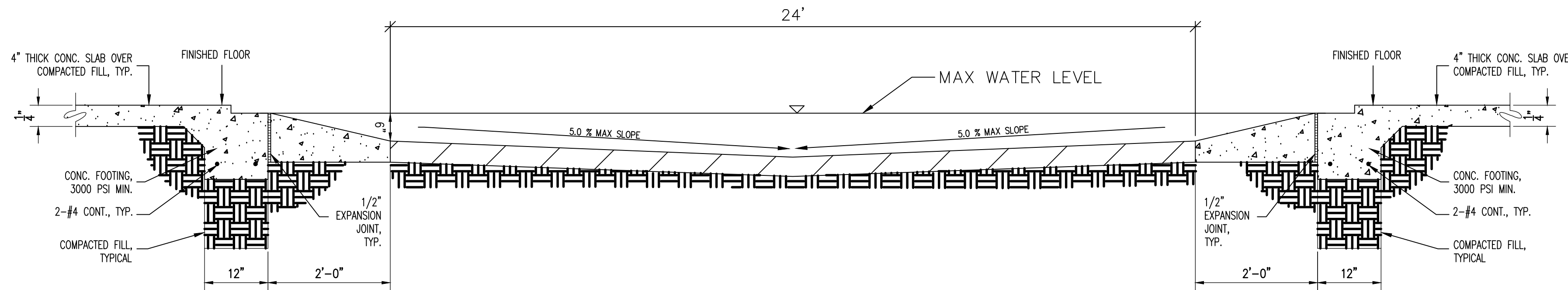
2.5 POND S9 & N5 SECTION DETAIL
SCALE: N.T.S.



2.4A TYPICAL MEDIAN POND SECTION DETAIL
SCALE: N.T.S.





2.4B TYPICAL MEDIAN POND SECTION DETAIL
SCALE: N.T.S.



2.6 TYPICAL ALLY CROSS SECTION
SCALE: N.T.S.

[DATE: 9/27/2024 3:33 PM] [AUTHOR: alex.villal] [PLOTTER: DWG To PDF.pc3] [STYLE: WHP-Standard.ctb] [PATH: P:\MDS Storage, LLC\229024-A000325.00\Execution\Civil\MDS_STORAGE, LLC_PLAN_SET\CIVIL_DETAILS.dwg] [LAYOUT: C-501 CIVIL DETAILS.]





REVISIONS		DATE	REMARKS
NO.	BY		

SHEET INFO			
DRAWN	CHECKED	APPROVED	LAST EDIT
			9/27/2024
PROJECT NUMBER	DRAWING FILE NAME	PLOT DATE	SUBMITTAL
	C-501 CIVIL DETAILS	9/27/2024	

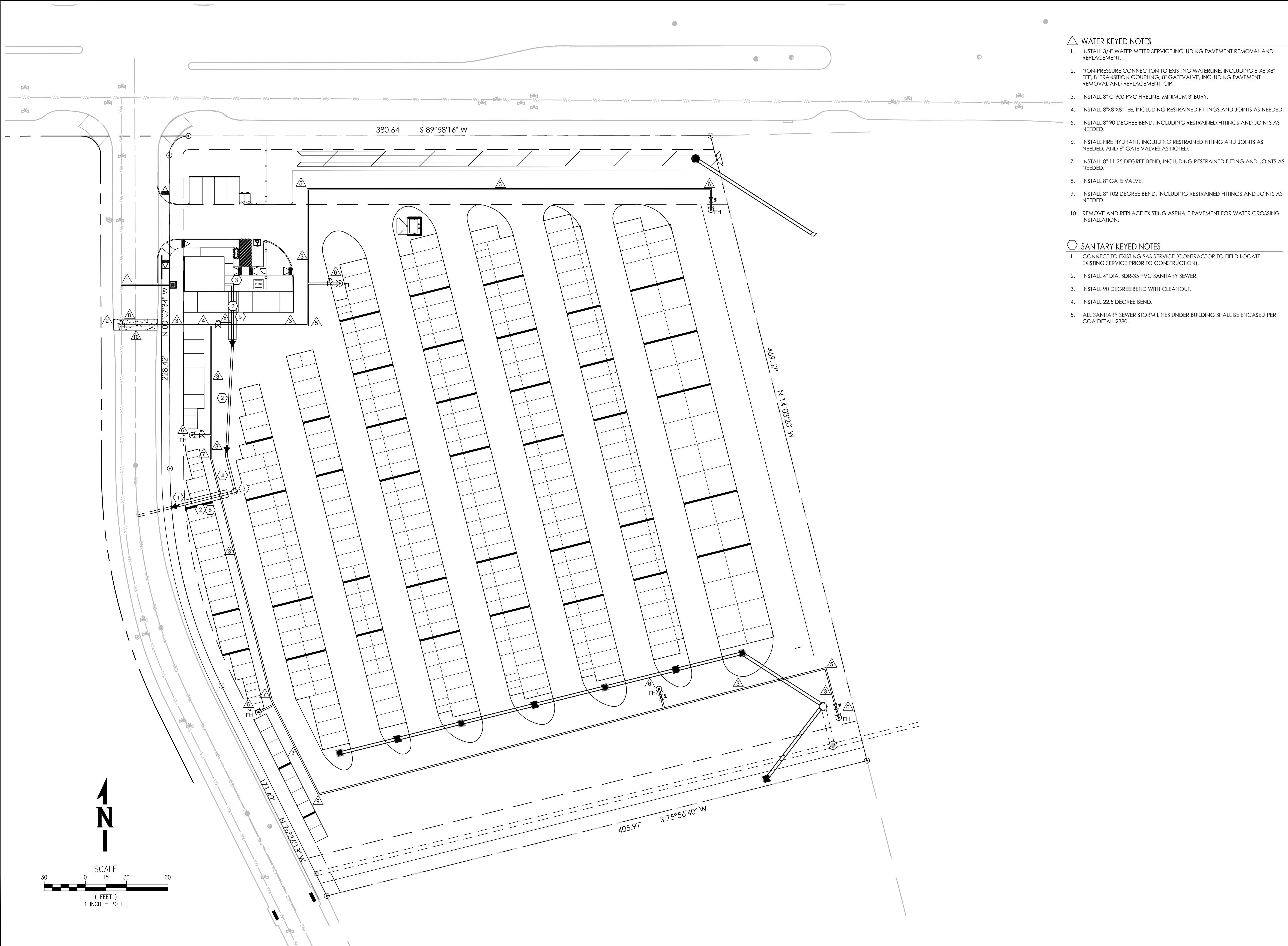
NOT FOR CONSTRUCTION

C-501 CIVIL DETAILS.

SCALE

SHEET NUMBER

C-2.0

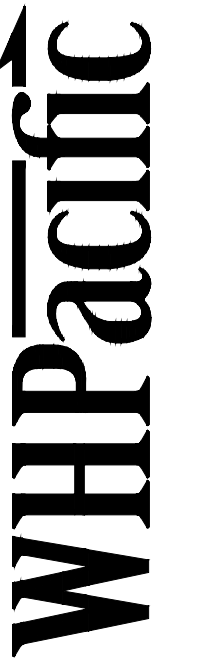



△ WATER KEYED NOTES

1. INSTALL 3/4" WATER METER SERVICE INCLUDING PAVEMENT REMOVAL AND REPLACEMENT.
2. NON-PRESSURE CONNECTION TO EXISTING WATERLINE, INCLUDING 8"X8" TEE, 8" TRANSITION COUPLING, 8" GATEVALVE, INCLUDING PAVEMENT REMOVAL AND REPLACEMENT, CIP.
3. INSTALL 8" C-900 PVC FIRELINE, MINIMUM 3' BURY.
4. INSTALL 8"X8" TEE, INCLUDING RESTRAINED FITTINGS AND JOINTS AS NEEDED.
5. INSTALL 8" 90 DEGREE BEND, INCLUDING RESTRAINED FITTINGS AND JOINTS AS NEEDED.
6. INSTALL FIRE HYDRANT, INCLUDING RESTRAINED FITTING AND JOINTS AS NEEDED, AND 6" GATE VALVES AS NOTED.
7. INSTALL 8" 11.25 DEGREE BEND, INCLUDING RESTRAINED FITTING AND JOINTS AS NEEDED.
8. INSTALL 8" GATE VALVE.
9. INSTALL 8" 102 DEGREE BEND, INCLUDING RESTRAINED FITTINGS AND JOINTS AS NEEDED.
10. REMOVE AND REPLACE EXISTING ASPHALT PAVEMENT FOR WATER CROSSING INSTALLATION.

◇ SANITARY KEYED NOTES

1. CONNECT TO EXISTING SAS SERVICE (CONTRACTOR TO FIELD LOCATE EXISTING SERVICE PRIOR TO CONSTRUCTION).
2. INSTALL 4" DIA. SDR-35 PVC SANITARY SEWER.
3. INSTALL 90 DEGREE BEND WITH CLEANOUT.
4. INSTALL 22.5 DEGREE BEND.
5. ALL SANITARY SEWER STORM LINES UNDER BUILDING SHALL BE ENCASED PER COA DETAIL 2380.





REVISIONS		DATE	REMARKS
NO.	BY		

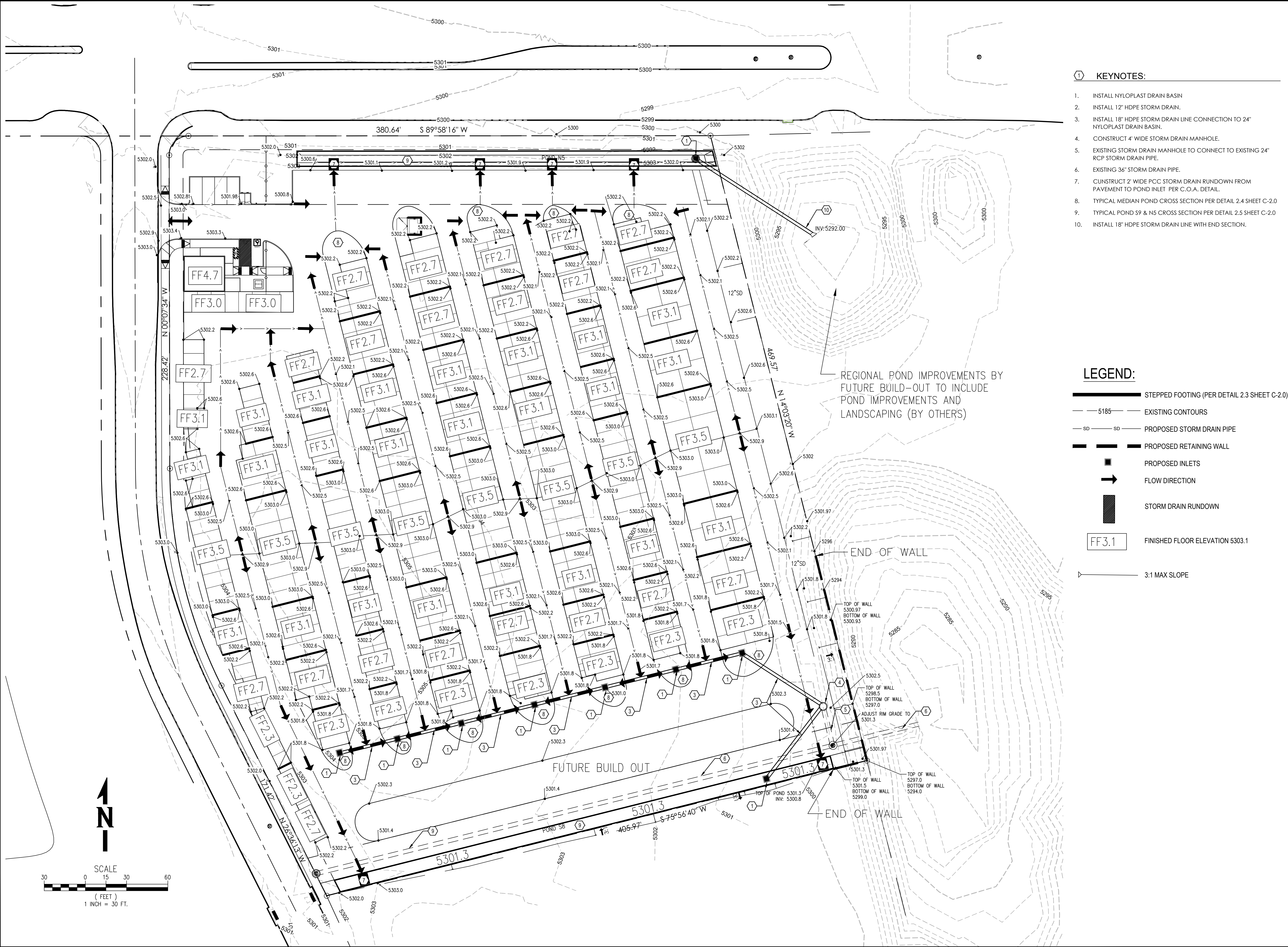
SHEET INFO			
DRAWN	CHECKED	APPROVED	LAST EDIT

UTILITY PLAN
 MESA DEL SOL SELF STORAGE
 PROJECT NUMBER
 DRAWING FILE NAME

NOT FOR CONSTRUCTION

SCALE
 1:30

SHEET NUMBER
 C-3.0

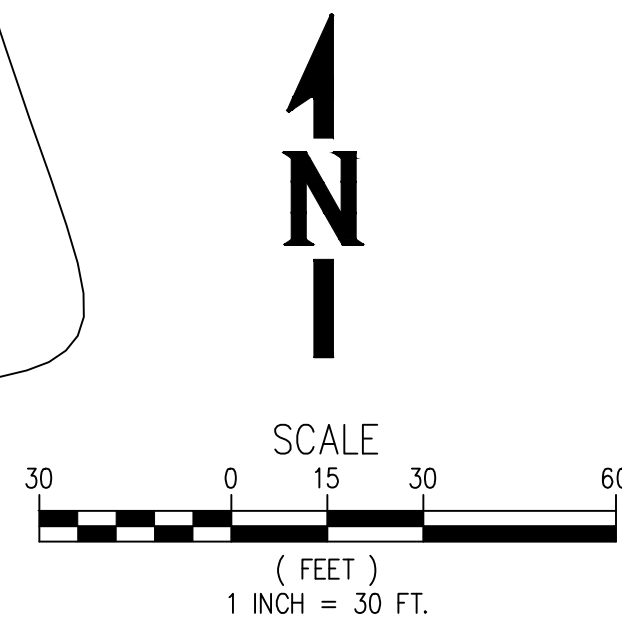


KEYNOTES:

1. INSTALL NYLOPLAST DRAIN BASIN
2. INSTALL 12" HDPE STORM DRAIN.
3. INSTALL 18" HDPE STORM DRAIN LINE CONNECTION TO 24" NYLOPLAST DRAIN BASIN.
4. CONSTRUCT 4' WIDE STORM DRAIN MANHOLE.
5. EXISTING STORM DRAIN MANHOLE TO CONNECT TO EXISTING 24" RCP STORM DRAIN PIPE.
6. EXISTING 36" STORM DRAIN PIPE.
7. CONSTRUCT 2' WIDE PCC STORM DRAIN RUNDOWN FROM PAVEMENT TO POND INLET PER C.O.A. DETAIL.
8. TYPICAL MEDIAN POND CROSS SECTION PER DETAIL 2.4 SHEET C-2.0
9. TYPICAL POND S9 & N5 CROSS SECTION PER DETAIL 2.5 SHEET C-2.0
10. INSTALL 18" HDPE STORM DRAIN LINE WITH END SECTION.

LEGEND:

- 5185 — EXISTING CONTOURS
- SD — SD — PROPOSED STORM DRAIN PIPE
- ■ — PROPOSED RETAINING WALL
- PROPOSED INLETS
- FLOW DIRECTION
- STORM DRAIN RUNDOWN
- FF3.1 FINISHED FLOOR ELEVATION 5303.1
- 3:1 MAX SLOPE



REVISIONS		DATE	REMARKS
NO.	BY		

SHEET INFO			
DRAWN	CHECKED	APPROVED	LAST EDIT
			9/27/2024
PLOT DATE		9/27/2024	
SUBMITTAL			

GRADING AND DRAINAGE PLAN

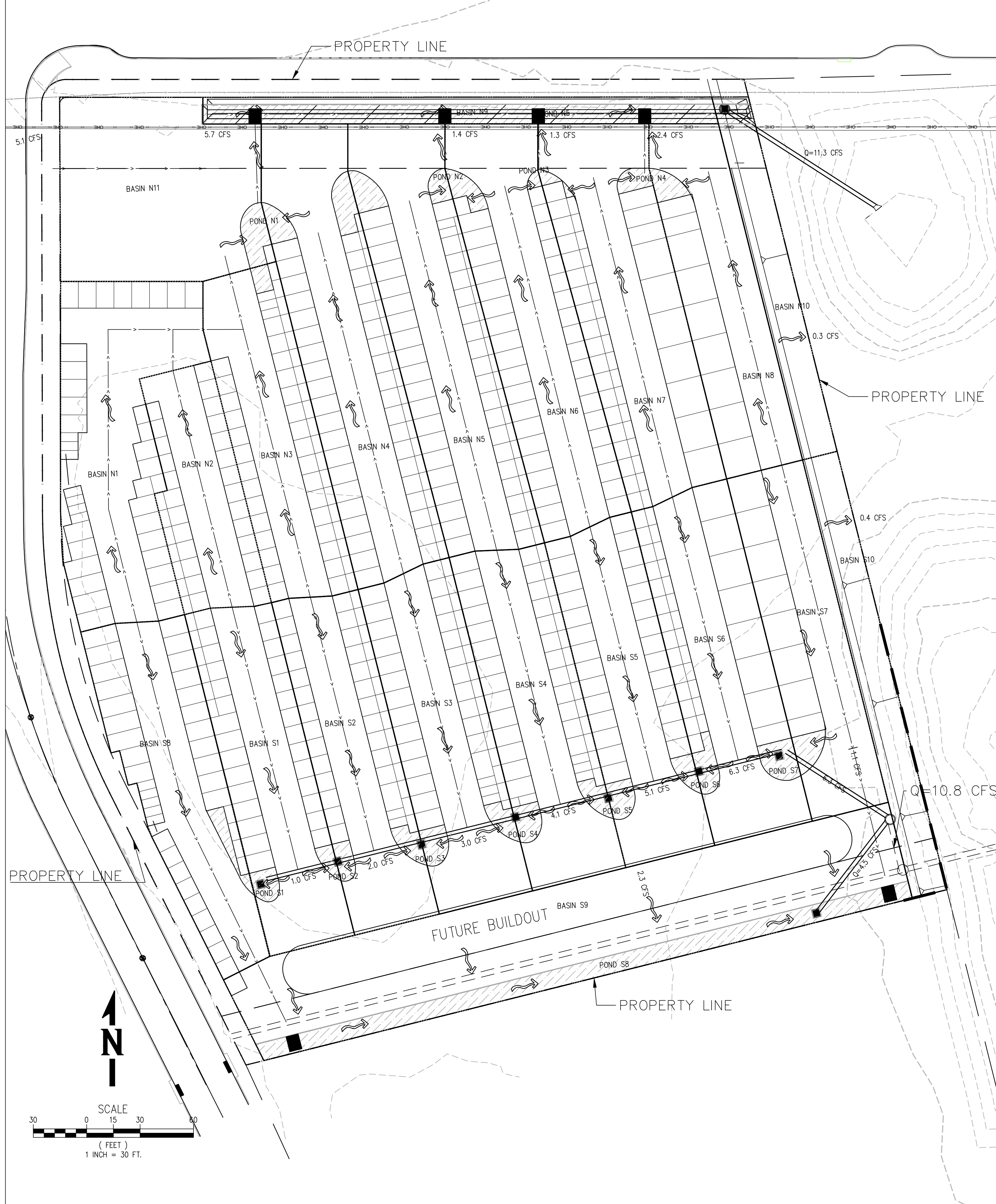
NOT FOR CONSTRUCTION

MESA DEL SOL SELF STORAGE

SCALE 1:30

PROJECT NUMBER
DRAWING FILE NAME

SHEET NUMBER
C-1.0



OVERVIEW Tract 1-2 is planned to be a storage facility including office building, utilizing a wide range of types and sizes of metal storage buildings, located on the 5.1-acre site. Tract 1-2 is located at the intersection of Crick Avenue and Turing Drive. More specifically the site is adjacent to and south of Crick Avenue, and adjacent to and east of Turing Drive. The site has one main vehicular access point from Turing Drive, just south of the Crick Avenue intersection and an emergency only access point from Turing Drive at the far south end of the site. The project is within the Mesa Del Sol (MDS) Drainage Master Plan (DMP) hydrologic basin "DA1", consisting of 49.5 acres, generating 220.8 cfs (4.46 cfs/ac) and 356,897 cf (7,195 cf/ac) of runoff during the 10-year 6-hour storm event, and accommodates the 100-year 10-day storm volume. All runoff from Tract 1-2 drains into a Regional Pond adjacent to and east of the site, Tract OS-3. In addition to the 100-year criteria the Regional Pond also accommodates the 100-year 10-day storm volume. Portions of the pond is constructed and operational. A public storm drain has been constructed as a part of the back-bone infrastructure improvement for the area. An existing 36" storm drain crosses Tract 1-2 along the south boundary and is within a 30' wide public easement. The storm drain serves Tract 1-2 and the Turing Drive and outfalls into the Regional Pond. A portion of the Regional Pond has been constructed along with the storm drain. The existing pond is temporary and will need to be expanded and graded to the ultimate plan.

ONSITE DRAINAGE PLAN Tract 1-2 is 5.1 acres, generating a total of 22.8 cfs (Q100-year/6-hr storm event), which is the design storm for the onsite drainage. Below is a table providing the hydrologic design information (see table provided below). Hydrologically the site is divided in 2 parts, the north half and the south half. The north half of the project (Basins N1 to N7) will drain to various small and shallow retention/detention ponds (Pond N1 thru pond N4), designed to retain on-site the minimum volume of 0.5" of rainfall (as is required) and retain additional volume for "Water Harvesting" purposes. Storm water flows from the alley gutters into the ponds. Once the ponds fill up and reach a minimum elevation, water begins to overflow from the ponds, and drain by surface flow north to pond N9. Pond N9 also provides retention and detention ponding. Ultimately all the minimum ponding requirements are provided. A storm drain system collects and discharges the runoff, sized for the 100-year design storm of 11.5 cfs. Pond 9 is a landscaped area and takes benefit of Water Harvesting. A small portion of the site drains directly to the east, Tract OS-3. This area is a slope area that varies from mild slope to 3:1 (landscape and treated) and in a small area, 2:1 improved slopes with cobble slope armoring. The south half of the project (Basins S1 to S7) will drain to various small and shallow retention/detention ponds (Pond S1 thru pond S7), designed to retain on-site the minimum volume of 0.5" of rainfall (as is required) and retain additional volume for "Water Harvesting" purposes. Storm water flows from the alley gutters into the ponds. Once the ponds fill up and reach a minimum elevation, water begins to flow into storm drain inlets, ponding beyond that elevation is Detention ponding. The downstream storm drain system is design to collect and convey the entire 100-year design storm with no accommodation of detention or retention storage. The ponding system the south storm drain connects to the existing 36" storm drain and discharges to the Regional Pond. A small portion of the site drains directly to the east, Tract OS-3. This area is a slope area that varies from mild slope to 3:1 (landscape and treated) and in a small area, 2:1 improved slopes with cobble slope armoring. Areas south of Ponds S1 thru S7 drain by surface flow to Pond S8, located adjacent to the south boundary. Pond S8 also retains and detains storm water for the minimum retention volumes required and provide Water Harvesting opportunities. Detention ponding then discharges to a storm drain outlet that also connects to the existing 36" storm drain, ultimately discharging to the Regional Pond. The south basins combined discharge 11.3 cfs (100-year storm event) connected to the outfall storm drain system. The outfall storm drain system is a private storm drain of small storm drain lines and storm drain inlets that connect to and discharge into the existing 36" public storm drain. Discharge is computed to be a maximum of 12.3 cfs. The retention ponds consist of 7 ponds located at the south end of the storage buildings and 1 pond located along the south boundary of Tract 1-2. The north basin conveys storm water due north to a proposed retention/detention pond just beyond the paved area. This is also the existing PNM Overhead Power Transmission Line easement (50ft. wide). Multiple curb opening locations are planned to direct the surface water from the site and into the north pond.

WATER HARVESTING PLAN All storm water runoff generated from improved and developed areas of the development discharge into a system of retention/detention ponds that provide the opportunity to harvest storm water for irrigation purposes. Many of the ponds are medians located throughout the site and function as small retention/detention ponds and landscape areas. These ponds, except 1 are all landscaped (refuse bin location). Each pond contributes to retaining stormwater onsite to the minimum retention volumes required (0.5" of runoff volume) and then some. Each pond provides the opportunity to harvest storm water for landscape irrigation at these locations. Two larger ponds also retain and detain storm water runoff. Pond N5 is in the buffer area adjacent to Crick Avenue. Pond N5 is also landscaped. Pond S8 is located on the south boundary of the site and is also proposed to be landscaped. Both Ponds N5 and S8 retain storm water onsite and harvest storm water for landscape irrigation purposes. In summary, every storm, no matter what size, will capture storm water thru retention ponding system, within landscape areas, maximizing the opportunity for water harvesting and reducing the need for irrigation. The Drainage Management Plan shows locations of retention ponds for water harvesting and provides details the various plans.

REGIONAL POND (Tract OS-3) Tract 1-2 does not propose constructing improvements or expanding the Regional Pond as a part of this project directly. Tract OS-3, the Regional Pond is a shared responsibility among 50 acres of land and multiple landowners. Due to ownership issues and final design criteria, the Regional Pond is not ready for final design. Therefore, Tract 1-2 proposes to go forward with the project while the required planning, coordination and final design of the Regional Pond can be properly provided. In the interim Tract 1-2 proposes to provide a Financial Guarantee for the remaining shared responsibility of the Regional Pond drainage and landscape improvements.

LEGEND:

- POND WATER HARVESTING
- FLOW ARROW
- BASIN LINES

FROM MESA DEL SOL MASTER DRAINAGE MANAGEMENT PLAN											
DRAINAGE AREA ID (SQ. FT.)	Area (AC.)	A	Land Treatment				Q(100)/AC (cfs/ac)	Q(100) (cfs)	V(100)6hour (CF)	V(100)10day (CF)	Total Volume Provided (CF)
			B	C	D	E					
DA1	2,156,475	49.5059	0.0%	10.0%	0.0%	90.0%	4.46	220.8	356,897	615,674	765,696
Tract 1-2	222,587	5.1099	0.0%	10.0%	0.0%	90.0%	4.46	22.8	36,838	-	-

TRACT 1-2 SOUTH POND HYDRAULICS 0.5" RETENTION ANALYSIS											
BASIN ID	Area (sf)	Area (ac)	q (cfs/ac)	Q-100yr (cfs)	V100-6hr (cu ft)	BASIN S1	10221	0.2346	4.46	1.0	1692
Median Pond S1	121	0.003	0.296	1.3	2023	BASIN S2	9892	0.2271	4.46	1.0	1637
Median Pond S2	163	0.004	0.362	1.6	2568	BASIN S3	10165	0.2334	4.46	1.0	1682
Median Pond S3	283	0.006	0.522	2.3	3467	BASIN S4	11036	0.2534	4.46	1.1	1826
Median Pond S4	283	0.006	0.517	2.3	3400	BASIN S5	10166	0.2334	4.46	1.0	1682
Median Pond S5	283	0.006	0.522	2.3	3467	BASIN S6	11291	0.2592	4.46	1.2	1869
Median Pond S6	283	0.006	0.533	2.4	3608	BASIN S7	10686	0.2453	4.46	1.1	1768
Median Pond S7	416	0.009	0.702	3.1	4611	BASIN S8	10298	0.2364	4.46	1.1	1704
SUM						BASIN S9	22796	0.5233	4.46	2.3	3773
						BASIN S10	3680	0.0845	4.46	0.4	609
						SUBTOTAL	110231	2.5306		11.3	18,243
						TOTAL	222,587	5.1099		22.8	36,837

TRACT 1-2 NORTH POND HYDRAULICS 0.5" RETENTION ANALYSIS											
BASIN ID	Area (sf)	Area (ac)	q (cfs/ac)	Q-100yr (cfs)	V100-6hr (cu ft)	BASIN S1	10221	0.2346	4.46	1.0	1692
Median Pond N1	834	0.020	0.834	3.7	5343	BASIN N2	6526	0.1498	4.46	0.7	1060
Median Pond N2	476	0.011	0.476	2.1	2943	BASIN N3	9467	0.2173	4.46	1.0	1567
Median Pond N3	124	0.003	0.124	0.5	708	BASIN N4	14160	0.3251	4.46	1.4	2343
Median Pond N4	468	0.011	0.468	2.1	2943	BASIN N5	13026	0.3174	4.46	1.4	2268
						BASIN N6	12793	0.2937	4.46	1.3	2117
						BASIN N7	12835	0.2947	4.46	1.3	2124
						BASIN N8	10566	0.2426	4.46	1.1	1749
						BASIN N9	4569	0.1049	4.46	0.5	756
						BASIN N10	2758	0.0633	4.46	0.3	456
						BASIN N11	12634	0.2900	4.46	1.3	2091
						SUBTOTAL	112,356	2.5793		11.5	18,694
						TOTAL	222,587	5.1099		22.8	36,837

BASIN ID	Area (sf)	Area (ac)	q (cfs/ac)	Q-100yr (cfs)	V100-6hr (cu ft)	BASIN S1	10221	0.2346	4.46	1.0	1692
BASIN S2	9892	0.2271	4.46	1.0	1637	BASIN S3	10165	0.2334	4.46	1.0	1682
BASIN S4	11036	0.2534	4.46	1.1	1826	BASIN S5	10166	0.2334	4.46	1.0	1682
BASIN S6	11291	0.2592	4.46	1.2	1869	BASIN S7	10686	0.2453	4.46	1.1	1768
BASIN S8	10298	0.2364	4.46	1.1	1704	BASIN S9	22796	0.5233	4.46	2.3	3773
BASIN S9	22796	0.5233	4.46	2.3	3773	BASIN S10	3680	0.0845	4.46	0.4	609
BASIN S10	3680	0.0845	4.46	0.4	609	SUBTOTAL	110231	2.5306		11.3	18,243
BASIN S11	12634	0.2900	4.46	1.3	2091	TOTAL	222,587	5.1099		22.8	36,837
SUBTOTAL	112,356	2.5793		11.5	18,694						

DATE: 9/27/2024 3:33 PM | AUTHOR: alex.villa | PLOTTER: DWG To PDF.pc3 | STYLE: WHP-Standard.ctb
 PATH: P:\MDS_Storage, LLC\229024-A000325.00\Execution\Drawings\Civil\PDF_STORAGE, LLC_PLAN_SE\OVERALL DRAINAGE_PLAN.dwg [LAYOUT: DRAINAGE_PLAN]

WHPacific

MINXUAN LIU
NEW MEXICO
20068
PROFESSIONAL ENGINEER

REVISIONS		REMARKS	
NO.	BY	DATE	REMARKS

SHEET INFO

DRAWN	CHECKED	APPROVED	LAST EDIT	9/27/2024

NOT FOR CONSTRUCTION

SCALE 1:30

DRAINAGE MANAGEMENT PLAN
WATER HARVESTING PLAN

MESA DEL SOL SELF STORAGE

DRAWING FILE NAME


SHEET NUMBER

PROJECT NUMBER

1 OF 1

Memorandum

To: City of Albuquerque Planning Department

From: Jim Strozier, Consensus Planning, Inc. 

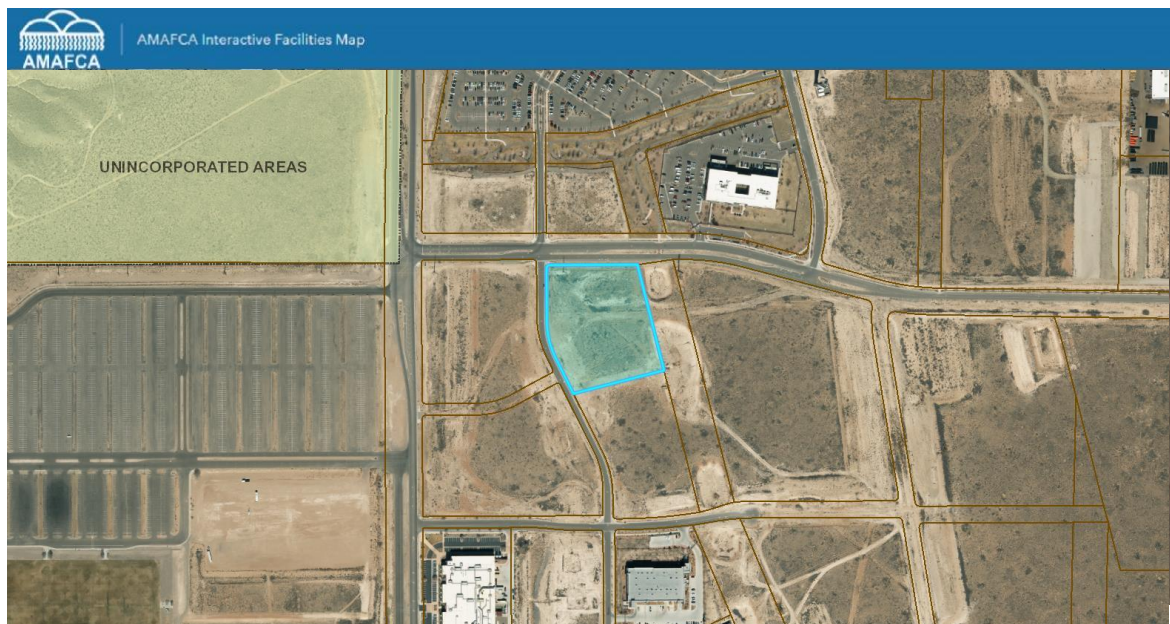
Date: November 19, 2024

Re: Sensitive Lands Analysis in support of MDS STORAGE project

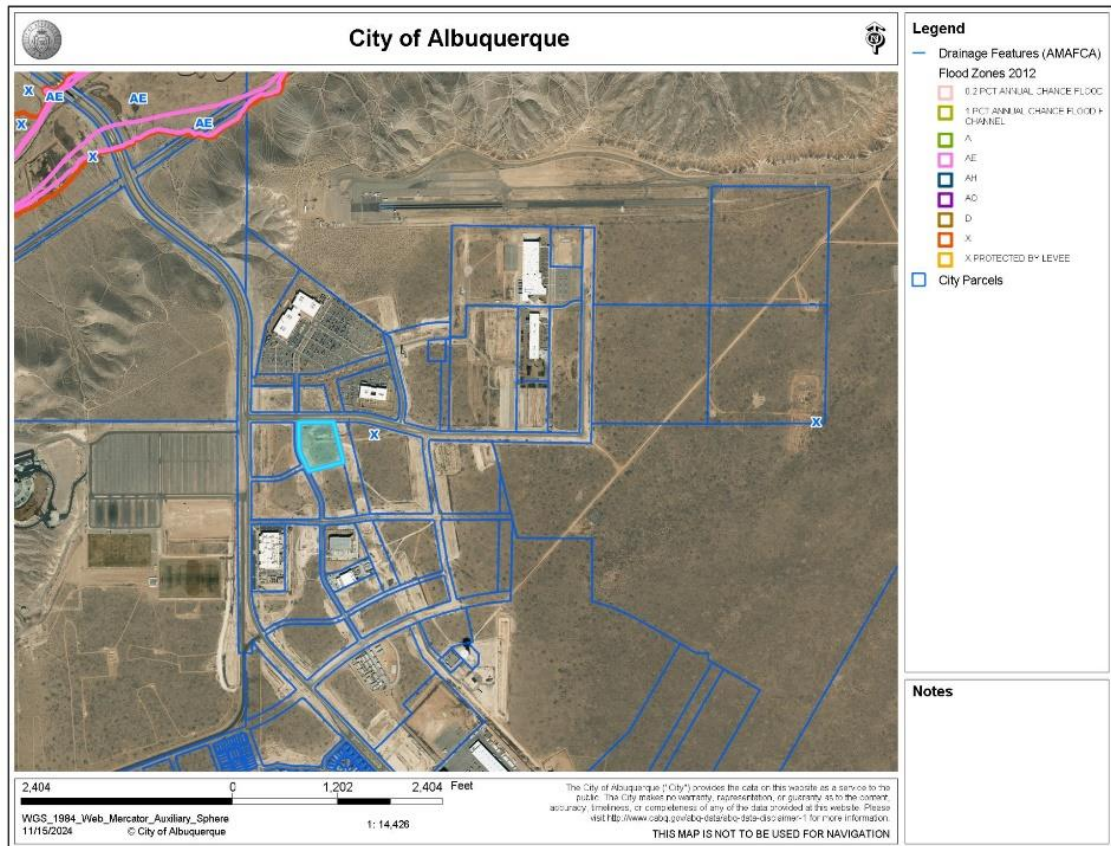
This memo responds to the Sensitive Lands criteria in IDO Section 14-16-5-2. The subject properties are legally described as *TR I-2 PLAT OF TRS I-1 & I-2 MESA DEL SOL INNOVATION PARK II (A REPL OF TR I MESA DEL SOL INNOVATION PARK II)*. The conceptual site plan provides for the development of a self-storage facility within the Employment Center within the Mesa del Sol Master Planned Community.

We have analyzed the project site for the presence of sensitive lands and any constraints related to such lands. The following analysis examines each of the Sensitive Lands elements as defined by the IDO and evaluates their potential impact on the proposed project.

1. Arroyos: Using data provided by AMAFCA's Interactive Facilities Map, there are no arroyos or drainage facilities located on the site. The image below shows the subject site shaded in blue and outlined by a blue line.

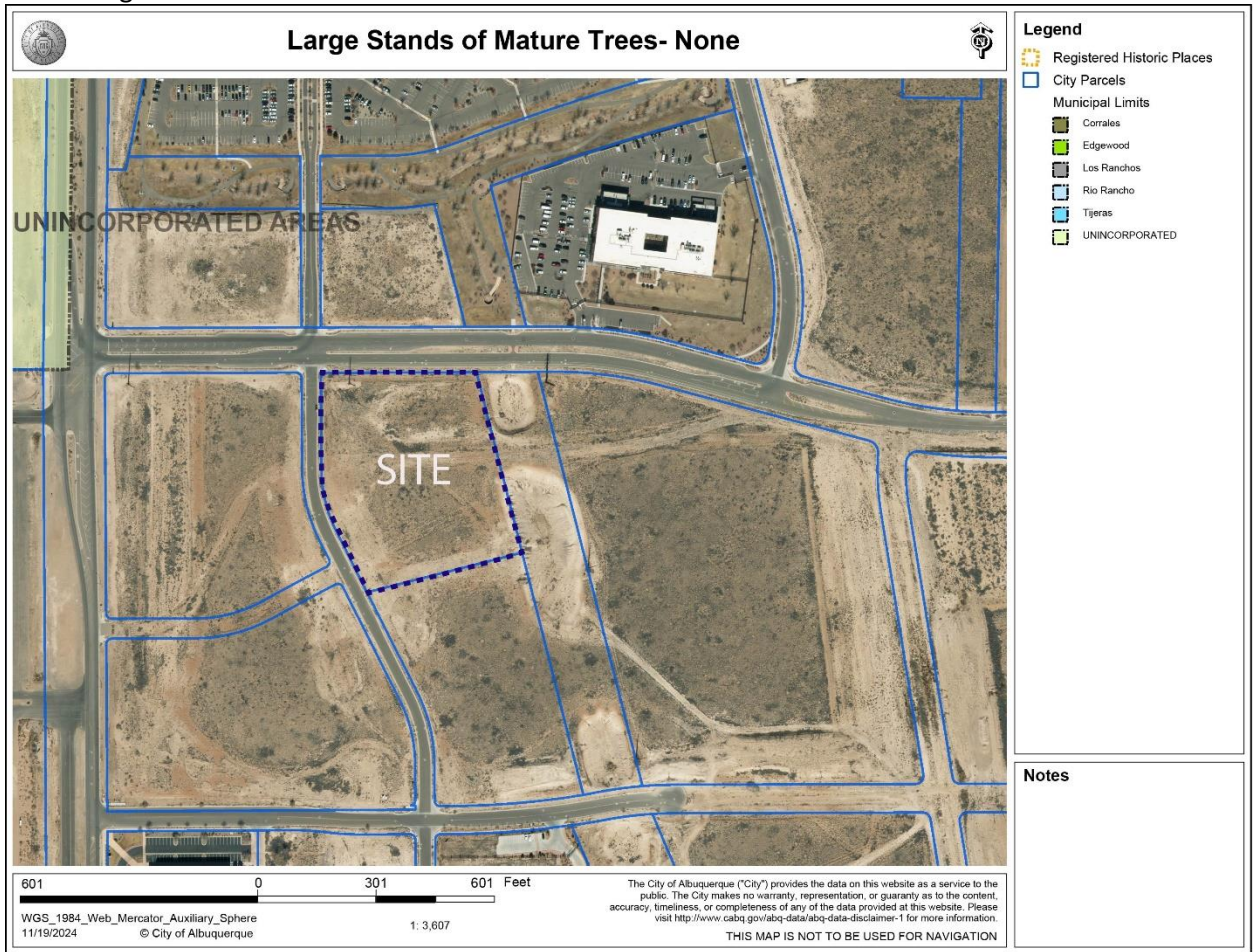


- Floodplains and Special Flood Hazard Areas: The map below the subject area is shaded blue and outlined by a blue line. FEMA's National Flood Hazard Layer projected by the CABQ Advanced Map Viewer is within an unshaded Flood Zone X.



- Irrigation facilities (acequias): Due to the subject site's location and distance from the Rio Grande there are no irrigation facilities or acequias on or near the site.

4. Large stands of mature trees: The subject site is vacant parcels with nominal vegetation. There are no large stands of mature trees.



5. Riparian areas: Data provided by the National Wetlands Inventory shows the subject site is not within a riparian area.

6. Rock outcroppings: There are no rock outcroppings on or adjacent to the site.

7. Significant archaeological sites: The Archaeological Certificate has been submitted to the City of Albuquerque staff archaeologist and they have issued a certificate of no effect.



Tim Keller, Mayor
Sarita Nair, CAO

City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

DATE: March 8, 2023

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s):

Agent: Consensus Planning
Applicant: MDS Investments LLC
Legal Description: See attached
Zoning: PD
Acreage: 3151
Zone Atlas Page(s): See attached

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

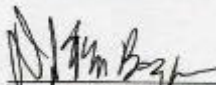
Historic Google Earth images, existing Mesa del Sol Level B plan, NMCRIIS Records

SITE VISIT: N/A

RECOMMENDATIONS:

Some archaeological surveys have taken place in the area covered by the plan, some archaeological sites, have been identified, and many properties within this area have been disturbed by previous development. Any changes to the Level B master plan will have no direct effect on any significant archaeological sites,

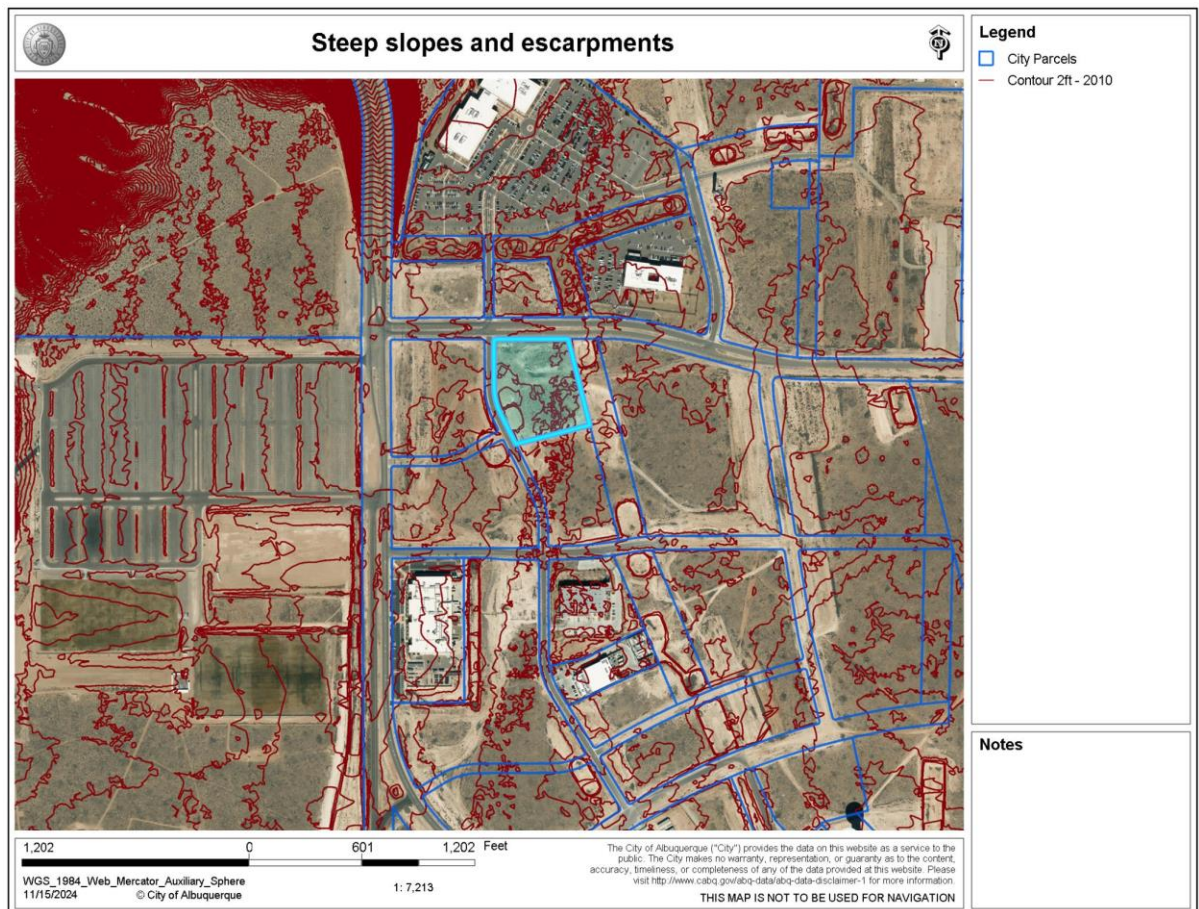
SUBMITTED BY:

 3/8/2023
Date
Douglas H. M. Boggess, MA, RPA
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

SUBMITTED TO:

Planning, Development Services

8. Steep slopes and escarpments: The site is relatively flat and does not contain any steep slopes. The map below depicts the subject site outlined with a blue line.



9. Wetlands: Data provided by the National Wetlands Inventory shows the subject site is not within a wetland area.

Conclusion

Based on the analysis of the subject property, there are no sensitive lands that impact the proposed development of the property. The X flood zone sensitive lands areas are noted and have been taken into account and are addressed with the approved grading and drainage plan.



September 19, 2024

Mesa Del Sol
Architectural Control Committee
5700 University Blvd. SE Suite 300
Albuquerque, New Mexico, 87106

**Re: MDS Self Storage
Architectural Control Committee
Site Development Sustainability**

- SITE PLAN INCLUDING UTILITIES AND EASEMENTS - SEE SHEET AS-1.0.
- LANDSCAPE PLAN - SEE SHEET LS-101.
- OUTDOOR/SITE LIGHTING PLAN FOR SIGNAGE AND FLAGPOLE - SEE SHEET AS-1.0.
- PRELIMINARY GRADING PLAN - SEE SHEET C-1.0.
- BUILDING AND STRUCTURAL ELEVATIONS - SEE ARCHITECTURAL SHEETS A-5.0.
- SIGNAGE PLAN - SEE ARCHITECTURAL SHEETS A-5.0.
- CONCEPTUAL UTILITY PLAN
- WATER HARVESTING PLAN - ALL WATER WILL DRAIN TO THE EAST TO A LANDSCAPED POND.
- SUSTAINABILITY PLAN - SITE AND APARTMENT/OFFICE WILL USE ELECTRICITY AND MINIMAL WATER USAGE. NO WATER USAGE OR ELECTRICITY BY CUSTOMER IN 70,000 S.F. OF STORAGE SPACE
- ARCHEOLOGICAL REPORT - SEE ATTACHED
- LIGHT FIXTURES ARE REQUIRED TO BE FULL CUTOFF AS DEFINED BY IESNA. FIXTURES LOCATED ON POLES OR AT A MOUNTING POINT OF MORE THAN 10' IN HEIGHT OR THAT EXCEED 1800 LUMENS PER LAMP SHALL BE FULL CUTOFF FIXTURES. PAK LIGHTS TO BE AT 8'-0" A.F.F.
- ILLUMINANCE LEVELS SHALL NOT EXCEED 10' CANDLES MEASURED AS INITIAL HORIZONTAL ILLUMINATION.
- ALL ROOFS SHALL MEET ENERGY STAR STANDARDS AND ARC APPROVED STANDARDS. UNHEATED STORAGE UNITS.
- ALL BUILDINGS SHALL HAVE AN APPROVED CONSTRUCTION RECYCLING PROGRAM THAT WILL DIVERT A MINIMUM OF 50% OF THE CONSTRUCTION DEBRIS FROM THE LANDFILL. (FOR MORE DETAILS ON CALCULATIONS, SEE THE LEED REFERENCE GUIDE). NO WASTE.
- ALL BUILDINGS WILL HAVE A MINIMUM OF 5% RECYCLED CONTENT AS MEASURED BY VALUE OF MATERIAL. (FOR MORE DETAILS ON CALCULATIONS, SEE THE LEED REFERENCE GUIDE).

Sincerely,

A handwritten signature in blue ink, appearing to read 'Rick Bennett', with a long, sweeping underline.

Rick Bennett
Architect



December 2, 2024
Ms. Jolene Wolfley, Chair DFT
City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, NM 87102

RE: MdS Storage Site Plan – Administrative - DFT

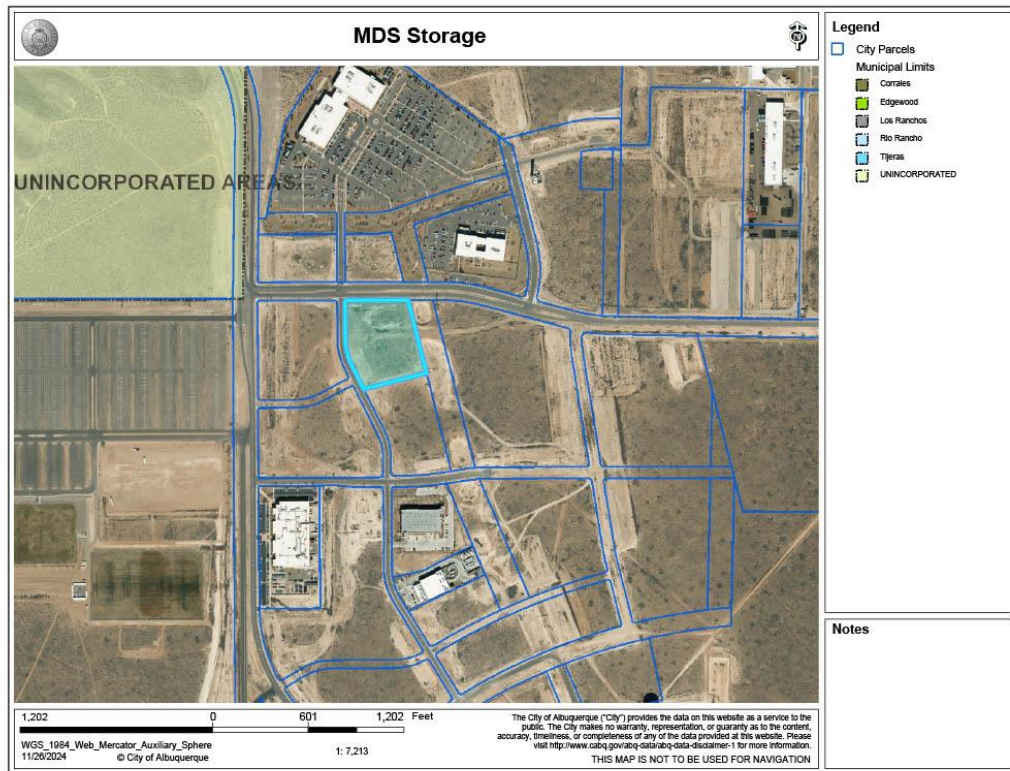
Dear Ms. Wolfley:

The purpose of this letter is to request approval of a Site Plan – Administrative for the construction of a self-storage facility. The property is legally described as Tract I-2 PLAT OF TRS I-1 & I-2 Mesa Del Sol Innovation Park II (A REPL OF Tract I Mesa Del Sol Innovation Park II) containing 5.1099 AC. This request is seeking approval for a Site Plan – Administrative to allow the construction and operation of a new self-storage facility on an approximately 5-acre parcel located at Mesa Del Sol. The Map below depicts the subject site’s location (outlined in light blue).

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com



PRINCIPALS

James K. Strozier, FAICP
Jacqueline Fishman, AICP

ASSOCIATES

Ken Romig, PLA, ASLA
Margaret Ambrosino, AICP

The request meets the applicability requirements in IDO section 6-5(G)(1)(f), specifically line 2, which dictates that all new non-residential development is subject to the Site Plan administrative process.



AREA CONTEXT

The subject site is located in Mesa del Sol planned community, which is an approximately 13,000-acre development that has been designed and planned in accordance with the City of Albuquerque's Planned Communities Criteria. Submittal requirements in accordance with the Planned Communities Criteria outline Level A as the overall Community Master Plan (the framework plan), Level B as the Village Plan. The approved Level B Plan includes the Community Center, Employment Center, the Urban Center, and residential villages. Level C plan address subdivision or site development plan review. The approved Level B Master Plan encompasses a 3,151-acre area within the Level A plan boundary. The Employment Center comprises 1,162 acres of land. Recently a 500-acre parcel that was previously designated as a senior living/ active adult area was incorporated into the Employment Center as part of a text amendment to the Level A and B Master Plans. The Employment Center is designed using the "jobs first, housing second" approach which seeks to maintain a balance between jobs and housing by prioritizing jobs and economic development in that area. The Employment Center is strategically located to attract new employers as well as established locally-owned businesses.

ZONING

The subject site, outlined in light blue, is currently zoned PC - Planned Community, referenced below, may contain any of the uses listed in Table 4-2-1 of the Integrated Development Ordinance (IDO), except those that require NR-SU zoning, for all or part of the PC zone district, provided that those uses do not create adverse impacts on nearby existing neighborhoods, City parks or trails, or Major Public Open Space.



Mesa del Sol Community Master Level A and Level were adopted prior to the adoption Integrated Development Ordinance. The IDO expresses any development prior to the adoption of the Integrated Development Ordinance shall use standards or development standards associated with any pre-IDO approval or zoning designation establish rights and limitations and are exclusive of and prevail over any other provision of this IDO. Where those approvals are silent, provisions in this IDO shall apply, including but not limited to the following: 1-10(A)(2)(a) Subsection 14-16-4-1(E) (Previously Allowed Uses) for the continuity of conditional uses. 1-10(A)(2)(b) Subsection 14-16-6-4(Z) (Amendments of Pre-IDO Approvals) for amending pre-IDO approvals. 1-10(A)(2)(c) Section 14-16-6-8 (Nonconformities) for information about expansions when the use or structure is nonconforming under this IDO.

The proposed site follows the existing Framework Plan, Mesal del Dol Community Master Plan Level A and Master Plan Level B and Employment Center design guidelines. This application includes The Architecture Review Committee (ARC) approval letter signed on October 10, 2024.

6-5(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5- 4(N) and/or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5- 4(O) to add adequate capacity.

***Applicant Response:** There are several public infrastructure improvements that will occur as part of this request. All required public infrastructure will be constructed by the Master Developer.*

An Infrastructure List is being submitted by the project engineer as part of this request to ensure the construction of adequate capacity needed for the proposed project.

6-5(G)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.

***Applicant Response:** All development in the PC zone district is subject to the provisions of Part 14-16-5 (Development Standards) for the type of use or structures in the approved Planned Community unless those standards are modified by the Framework Plan associated with the PC zone district approval.*



The proposed site follows the existing Framework Plan of Mesa del Sol Community Master Plan Level A, Mesa del Sol Community Master Plan Level B, and Mesa del Sol Employment Center Design Standards

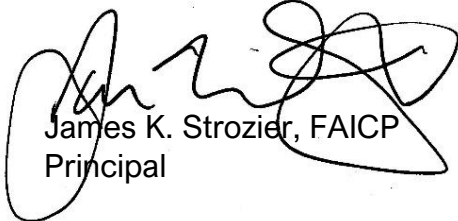
6-5(G)(3)(d) If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

***Applicant Response:** The subject site is within an approved Framework Plan area of Mesa del Sol Community Master Plan A with Development Standard to include permissive uses, development standards, off-street parking, and stormwater management.*

CONCLUSION

Based on the information included in this letter along with the supporting documents, we respectfully ask for the DFT's review and approval of the proposed site plan.

Sincerely,



James K. Strozier, FAICP
Principal



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: March 8, 2023

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s):

Agent: Consensus Planning
Applicant: MDS Investments LLC
Legal Description: See attached
Zoning: PD
Acreage: 3151
Zone Atlas Page(s): See attached

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Historic Google Earth images, existing Mesa del Sol Level B plan, NMCRIS Records

SITE VISIT: N/A


RECOMMENDATIONS:

Some archaeological surveys have taken place in the area covered by the plan, some archaeological sites, have been identified, and many properties within this area have been disturbed by previous development. Any changes to the Level B master plan will have no direct effect on any significant archaeological sites,

SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services



Douglas H. M. Boggess, MA, RPA ^{Date} 3/8/2023
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

Mesa del Sol Architectural Review Committee
5700 University Blvd. SE Ste. 300
Albuquerque, New Mexico 87106

October 7th, 2024

Consensus Planning
302 8th Street NW
Albuquerque, NM 87102

**Re: Mesa del Sol Architectural Review Committee
Step 2 Submission Approval for Mesa del Sol Self Storage**

Dear Consensus Planning Team,

This letter serves as formal confirmation of the Mesa del Sol Architectural Review Committee's (MdS ARC) approval of the Mesa del Sol Self Storage Step 2 Submission. The submission, dated October 1st, 2024, underwent a review on October 7th, 2024. We are pleased to announce that the approval response has been finalized as of October 7th, 2024.

The MdS ARC grants approval for the Step 2 Submission, with the acknowledgments and responses outlined in the aforementioned correspondences. The submission of plans includes the following details:

- Project Title: MESA DEL SOL SELF STORAGE
- Project Address: 5500 TURING DR SE ALBUQUERQUE, NM 87106
- Project Number: 2322
- Project Dated: 09-19-2024

For additional information regarding this submission and its approval, please contact the Mesa del Sol Architectural Review Committee. We anticipate a collaborative effort in the development of Mesa del Sol Self Storage and look forward to working closely with you.

Sincerely,

Jerome Gonzales

Jerome Gonzales
Architectural Review Committee
Mesa del Sol

From: [Flores, Suzanna A.](#)
To: [Michael Wright](#)
Subject: 5500 TURING DR SE_Public Notice Inquiry Sheet Submission
Date: Wednesday, November 27, 2024 1:28:47 PM
Attachments: [image001.png](#)

Dear Applicant:

As of November 27, 2024 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Tuesday, November 26, 2024 5:38 PM
To: Office of Neighborhood Coordination <wright@consensusplanning.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Administrative Decision

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Michael Wright

Telephone Number

5057649801

Email Address

wright@consensusplanning.com

Company Name

Consensus Planning Inc.

Company Address

302 Eighth Street NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TR I-2 PLAT OF TRS I-1 & I-2 MESA DEL SOL INNOVATION PARK II(A REPL OF TR I MESA DEL SOL INNOVATION PARK II)CONT 5.1099 AC

Physical address of subject site:

5500 TURING DR SE

Subject site cross streets:

Crick Ave SE and Turning Drive SE

Other subject site identifiers:

This site is located on the following zone atlas page:

R-16-Z

Captcha

x

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [§14-16-6-4\(K\) Public Notice](#). This notice is being provided to the Neighborhood Representatives on the attached list from the City of Albuquerque’s Office of Neighborhood Coordination.

Project Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Contractor [if other than the property owner] _____
4. Application(s) Type* per IDO [Table 6-1-1](#)
 - Historic Certificate of Appropriateness – Minor
 - Sign Permit
 - Alternative Signage Plan
 - Wall/Fence Permit
 - Site Plan – Administrative

Summary of project/request*:

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 and select option for Development Review Services.

6. Where more information about the project can be found*:

Preferred project contact information:

Name: _____

Email: _____

Phone: _____

[Note: Items with an asterisk (*) are required.]

- Attachments:
 - Neighborhood Association Representative Contact List from the City’s Office of Neighborhood Coordination*
 - Others: _____
- Online website or project page: _____

Project Information Required for Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*¹ _____
2. Project Illustrations, as relevant*²

- Architectural drawings
- Elevations of the proposed building(s)
- Other illustrations of the proposed application

See attachments or the website/project page noted above for the items marked above

3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s)	Variance(s) ³	Waiver(s) ⁴
Explanation*:		

4. **For Site Plan – Administrative Applications only***,

Attach the proposed site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. *
- b. Access and circulation for vehicles and pedestrians. *
- c. Maximum height of any proposed structures, with building elevations. *
- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

¹ Available online here: <http://data.cabq.gov/business/zoneatlas/>

² While not required, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project.

³ Separate notice is required for Variance Applications.

⁴ Separate notice is required for Waiver Applications.

[Note: Items with an asterisk (*) are required.]

Pre-submittal Neighborhood Meeting date, if it occurred: _____

Brief Meeting Summary:

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

Additional Information from IDO Zoning Map⁵:

1. Area of Property [typically in acres] _____
 2. IDO Zone District(s) _____
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
 5. Current Land Use(s) [vacant, if none] _____
-

NOTE: Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice for a Site Plan – Administrative application that proposes more than 100 multi-family dwelling units or more than 50,000 s.f. of nonresidential development. To request a facilitated meeting, contact the Planning Department at devhelp@cabq.gov or 505-924-3860 and select the option for “Development Review Services”.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map:

<https://tinyurl.com/idozoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

Notificación de Acceso Lingüístico.

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaaszil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihgii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

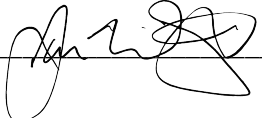
4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

 _____ 12/02/2024
(Applicant or Agent) (Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____



**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**

PERMIT

PERMIT NUMBER: FP 24-020638
APPROVED DATE: 08/20/24

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: 2 HYDRANTS, 2250 GPM

CODE DESIGN DATA I.B.C. 2021

CHAPTER 3 OCCUPANCY AND USE CLASSIFICATION: GROUP B OFFICE
GROUP R2 APARTMENT
SB SPRINKLED

GROUP R2:
TABLE 504.3 ALLOWABLE HEIGHT: 60'
TABLE 504.4 ALLOWABLE STORIES: 3 STORY
TABLE 506.2 ALLOWABLE AREA: 21,000 S.F.

TABLE 508.4 REQUIRED SEPARATION OF OCC. (HOURS): 1 HOUR SEPARATION R2-B
TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS: TYPE 5-B, EXTERIOR-INTERIOR BEARING WALLS, NO FIRE-RESISTANCE RATING REQUIRED.

BUILDING AREAS, REF: SITE PLAN FOR BLDG. LOCATION: 71,560 S.F. NOTE: REF: BUILDING LEGEND FOR EACH BUILDING S.F. (THIS SHEET). NOTE: LARGEST BUILDING S.F. IS BUILDING "L" 11,000 S.F. (ALLOWABLE IS 17,500 S.F.) NOTE: GROUP B & S-1 AT BLDG'S "A" AND "B" SEPARATED BY ONE HOUR FIRE RATED WALL

SECTION 903 AUTOMATIC SPRINKLER SYSTEM: SPRINKLER SYSTEM REQUIRED FOR GROUP R2.

SECTION 1004.1.2 OCCUPANT LOAD TABLE
BUILDING OCCUPANT LOAD:
OFFICE (B): 780 S.F./150 = 5.20 OCC.
APARTMENT (R2): 780 S.F./200 = 3.90 OCC.
TOTAL OCC.: = 9.10 OCC. (10)

SECTION 1005 MEANS OF EGRESS SIZING
OFFICE/APARTMENT
EGRESS WIDTH REQUIRED: 10 x 2 = 2 INCH MIN. WIDTH
EGRESS WIDTH PROVIDED: 2-36" WIDE DOORS = 72"

TABLE 1006.3.1 MINIMUM NUMBER OF EXITS PER STORY
OCCUPANT LOAD PER STORY 1-500 = (2) EXITS REQUIRED, (2) EXITS PROVIDED

CODE DESIGN DATA I.B.C. 2021

CHAPTER 3 OCCUPANCY AND USE CLASSIFICATION: GROUP S1 MODERATE-HAZARD STORAGE

GROUP S1:
TABLE 504.3 ALLOWABLE HEIGHT: 2-B
TABLE 504.4 ALLOWABLE STORIES: 2 STORY
TABLE 506.2 ALLOWABLE AREA: 17,500 S.F.

TABLE 508.4 REQUIRED SEPARATION OF OCC. (HOURS): NO SEPARATION REQUIREMENT
TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS: TYPE 2-B, EXTERIOR-INTERIOR BEARING WALLS, NO FIRE-RESISTANCE RATING REQUIRED.

BUILDING AREAS, REF: SITE PLAN FOR BLDG. LOCATION: 71,560 S.F. NOTE: REF: BUILDING LEGEND FOR EACH BUILDING S.F. (THIS SHEET). NOTE: LARGEST BUILDING S.F. IS BUILDING "L" 11,000 S.F. (ALLOWABLE IS 17,500 S.F.) NOTE: GROUP B & S-1 AT BLDG'S "A" AND "B" SEPARATED BY ONE HOUR FIRE RATED WALL

SECTION 903 AUTOMATIC SPRINKLER SYSTEM: NO SPRINKLER SYSTEM REQUIRED FOR GROUP S1.

SECTION 1004.1.2 OCCUPANT LOAD TABLE
BUILDING OCCUPANT LOAD:
SELF STORAGE (S1): 70,000 S.F./500 = 140.00 OCC.
TOTAL OCC.: 71,560 S.F. = 149.10 OCC. (150)

LIFE SAFETY GENERAL NOTES

- PREMISE IDENTIFICATION - SHALL BE MINIMUM 4 INCHES HIGH x .5 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL NOCK BOX. NOCK BOX TO BE INSTALLED IN AN ACCESSIBLE LOCATION AND BE MOUNTED NO HIGHER THAN 6'-0" ABOVE FINISH FLOOR. THE NOCK BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN ACCESS TO BUILDING AND FIRE RISER ROOM. FINAL LOCATION TO BE APPROVED BY THE FIRE MARSHALL.
- G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 1,500 S.F. (2 PROVIDED PER 2021 IBC TABLE 906.3(1) MODERATE HAZARD), 70,000/1,500 = 47 FIRE EXTINGUISHERS. REF: FLOOR PLANS FOR QUANTITY, LOCATIONS AND TYPE.
- ALL PENETRATIONS THROUGH A FIRE RATED WALL ASSEMBLY TO BE FIRESTOPPED WITH THERMAFIBER AS MANUFACTURED BY THERMAFIBER, LLC, WABASH, 46992 OR OTHER APPROVED EQUAL.
- ALL EXIT SIGNS AND EMERGENCY LIGHTING SHALL HAVE BATTERY BACK-UP. REF: ELECTRICAL.
- SHOP DRAWING TO BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, KITCHEN SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM. NOTE: THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED IF REQUIRED BY THE 2015 INTERNATIONAL FIRE CODE (I.F.C.).

FIRE APPARATUS ACCESS ROADS NOTES:

- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE, OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- ENGINEERING DATA SHALL BE SUBMITTED TO SUBSTANTIATE WEIGHT BEARING CAPACITY AND ALL WEATHER DRIVING CAPABILITIES FOR FIRE APPARATUS ACCESS ROADS.
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.

FIRE FLOW REQUIREMENTS

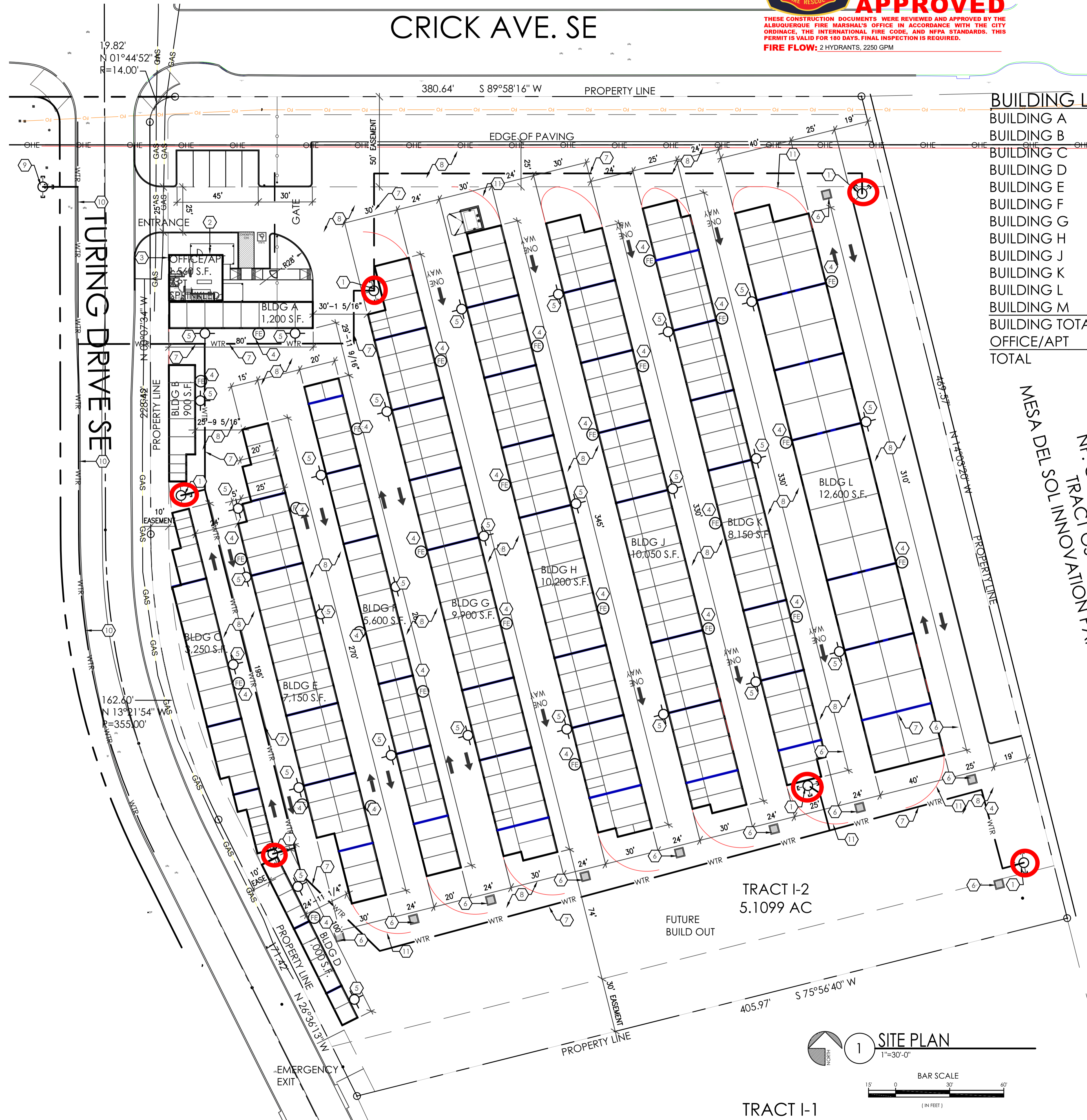
TYPE VB 1,560 S.F. (2 STORY)
0-3,600 S.F. = 1,500 G.P.M. = 2 HOUR FLOW DURATIONS
1,750 OR LESS G.P.M. = 1 HYDRANTS = 500 FEET SPACING = 250 FEET MAX DISTANCE

TYPE IIB 70,000 S.F. (12 BUILDINGS, 1 STORY)
65,401-70,600 S.F. = 5,500 G.P.M. = 4 HOUR FLOW DURATIONS
5,001 - 5,500 G.P.M. = 6 HYDRANTS = 300 FEET SPACING = 180 FEET MAX DISTANCE

TOTAL 6 FIRE HYDRANTS PROVIDED, PLUS 1 EXISTING

KEYED NOTES

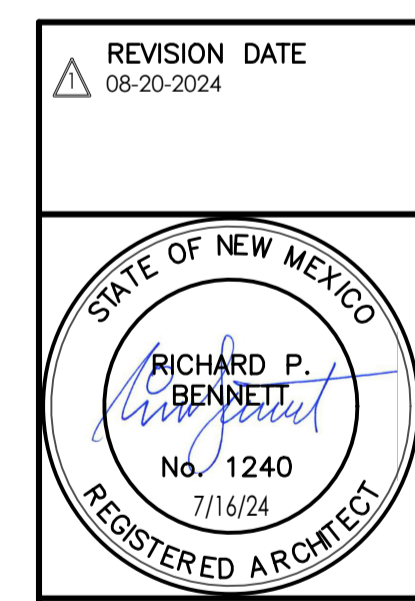
- NEW FIRE HYDRANT LOCATION, REF: UTILITY SITE PLAN.
- KNOX BOX LOCATION BETWEEN 4' AND 6' A.F.F. ILLUMINATED AND IMMEDIATELY VISIBLE.
- PREMISE ID LOCATION COORDINATE WITH FIRE MARSHAL.
- WALL MOUNTED FIRE EXTINGUISHER, 2A-10-BC, 1 AT EVERY 75'-0" MAX., REF: SITE PLAN FOR LOCATIONS.
- WALL MOUNTED SITE LIGHT, REF: ELECTRICAL
- STORM DRAIN INLETS
- 6" C900 FIRE LINE.
- ASPHALT PAVING.
- EXISTING FIRE HYDRANT.
- EXISTING 12" WATER LINE.
- 28'-0" RADIUS, TYP. LINE SHOWN FOR RADIUS LAYOUT ONLY.
-



BUILDING LEGEND

BUILDING A	1,200 S.F.
BUILDING B	900 S.F.
BUILDING C	3,250 S.F.
BUILDING D	1,100 S.F.
BUILDING E	6,250 S.F.
BUILDING F	4,700 S.F.
BUILDING G	8,450 S.F.
BUILDING H	9,500 S.F.
BUILDING J	9,050 S.F.
BUILDING K	7,200 S.F.
BUILDING L	11,000 S.F.
BUILDING M	7,400 S.F.
BUILDING TOTAL	70,000 S.F.
OFFICE/APT	1,560 S.F.
TOTAL	71,560 S.F.

MESA DEL SOL SELF STORAGE
FIRE 1 SITE
5500 TURING DR SE
ALBUQUERQUE, NM 87106
PROJECT #2322



RBA ARCHITECTURE, PC
PLANNING DESIGN

DATE: 07-16-2024

SHEET NUMBER: FIRE-1.0

1 SITE PLAN
1"=30'-0"

BAR SCALE
0 30 60
(IN FEET)

MESA DEL SOL
ARCHITECTURAL CONTROL COMMITTEE
SITE DEVELOPMENT PLAN REVIEW

- SITE PLAN INCLUDING UTILITIES AND EASEMENTS - SEE THIS PLAN.
- LANDSCAPE PLAN - SEE LANDSCAPE PLAN
- OUTDOOR/SITE LIGHTING PLAN FOR SIGNAGE AND FLAGPOLE - SEE THIS PLAN.
- PRELIMINARY GRADING PLAN - SEE GRADING PLAN.
- BUILDING AND STRUCTURAL ELEVATIONS - SEE ARCHITECTURAL
- SIGNAGE PLAN - SEE ARCHITECTURAL
- CONCEPTUAL UTILITY PLAN
- WATER HARVESTING PLAN - ALL WATER WILL DRAIN TO THE EAST TO A LANDSCAPED POND.
- SUSTAINABILITY PLAN - SITE AND APARTMENT/OFFICE WILL USE ELECTRICITY AND MINIMAL WATER USAGE. NO WATER USAGE OR ELECTRICITY BY CUSTOMER IN 70,000 S.F. OF SPACE
- ARCHEOLOGICAL REPORT - SEE ATTACHED



Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up

between the hours of 5AM and 8PM.

Reviewer: *Herman Gallagos*

Date: 08-27-24

Keypad access

Gate will open 25' clear

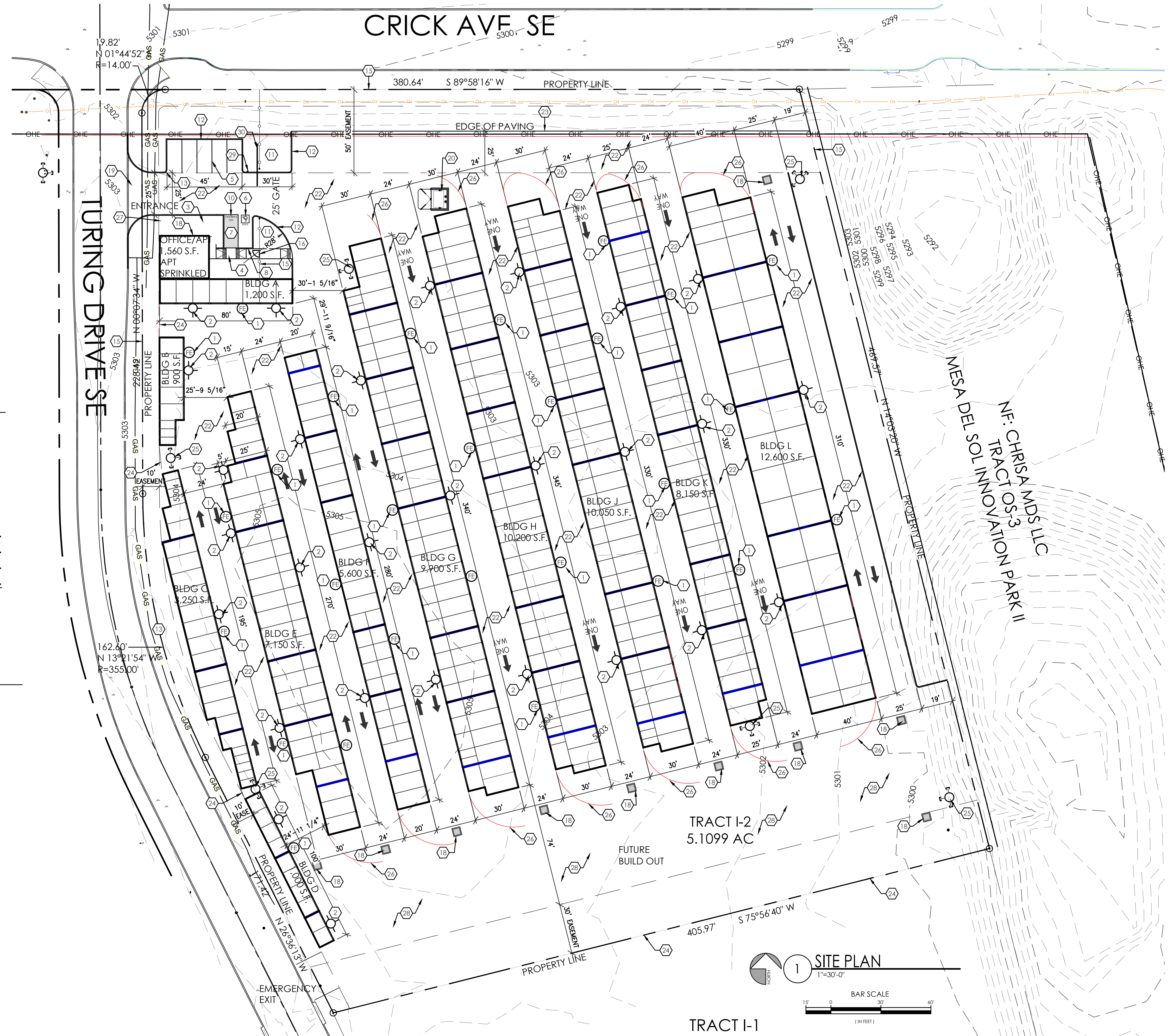
Recycling declined

BUILDING LEGEND

BUILDING A	1,200 S.F.
BUILDING B	900 S.F.
BUILDING C	3,250 S.F.
BUILDING D	1,000 S.F.
BUILDING E	7,150 S.F.
BUILDING F	5,600 S.F.
BUILDING G	9,900 S.F.
BUILDING H	10,200 S.F.
BUILDING J	10,050 S.F.
BUILDING K	8,150 S.F.
BUILDING L	12,600 S.F.
BUILDING TOTAL	70,000 S.F.
OFFICE/APT	1,560 S.F.
TOTAL	71,560 S.F.

KEYED NOTES

1. WALL MOUNTED FIRE EXTINGUISHER, 2A-10-BC, 1 AT EVERY 75'-0" MAX., REF: SITE PLAN FOR LOCATIONS.
2. WALL MOUNTED PACK LIGHT, REF: ELECTRICAL.
3. 6" WIDE x 4" THICK CONC. SIDEWALK, TYP.
4. ADA ACCESSIBLE RAMP, REF: DETAIL.
5. 2" WIDE PAINTED PARKING STRIPE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
6. HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: DETAIL D/AS-1.1.
7. 2" WIDE PAINTED STRIPE HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS.
8. HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: DETAIL C/AS-1.1.
9. 6" WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY.
10. "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACED. (66-1-4.1.B.NMSA 1978).
11. LANDSCAPING AREA, REF: LANDSCAPING PLAN.
12. 6" HIGH CONC. CURB, REF: GRADING AND DRAINAGE PLAN.
13. 2'-0" RADIUS.
14. 15'-0" RADIUS.
15. NEW 6' HIGH WROUGHT IRON FENCE.
16. NEW 36" W x 6" H MAN GATE WITH KEYPAD LOCKSET.
17. NEW (2) 15' SLIDING AUTOMATIC GATES WITH SECURITY PUSH PAD FOR CUSTOMER ACCESS.
18. KNOCK BOX LOCATION WITH KEYS FOR OFFICE BUILDING AND MAIN PROPERTY SLIDING GATES FOR FIRE DEPARTMENT USE TO GAIN ACCESS TO PROPERTY IN CASE OF EMERGENCY, KNOCK BOX BY OWNER, INSTALLED BY OWNER, VERIFY LOCATION OF KNOCK BOX WITH FIRE DEPARTMENT.
19. SAW CUT EXIST. CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DEC. APPROVED PLANS.
20. DOUBLE DUMPSTER ENCLOSURE, REF: DETAIL 2/AS-1.1.
21. STORM DRAIN INLET, REF: GRADING AND DRAINAGE PLAN.
22. ASPHALT PAVING, REF: GRADING AND DRAINAGE PLAN.
23. EDGE OF ASPHALT PAVING.
24. CHAIN LINK FENCE.
25. NEW FIRE HYDRANT.
26. 28'-0" RADIUS, TYP. LINE SHOWN FOR RADIUS LAYOUT ONLY.
27. FLAGPOLE WITH LIGHT.
28. BASE COURSE.
29. GATE KEY PAD.
30. 25' SLIDING GATE.



TRACT I-2
5.1099 AC

TRACT I-1

1 SITE PLAN
1"=30'-0"

BAR SCALE
0 30 60
(IN FEET)

MESA DEL SOL SELF STORAGE
SITE PLAN
5500 TURING DR SE
ALBUQUERQUE, NM 87106
PROJECT #2322

REVISION DATE

STATE OF NEW MEXICO
RICHARD P. BENNETT
No. 1240
8/15/24
REGISTERED ARCHITECT

RBA ARCHITECTURE, PC
ARCHITECTURE
PLANNING
DESIGN

DATE
08-06-2024

SHEET NUMBER
AS-1.0



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: _____ By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 26, 2024

Alejandro Sazo
RBA Architects, PC
1104 Park Ave SW
Albuquerque, NM 87102

alejandro@rba81.com

**Re: Mesa Del Sol Self Storage
2322 Mesa del Sol SE
Traffic Circulation Layout
Engineer's Stamp Dated 9-19-24 (R16DA1004)**

Dear Mr. Sazo,

The TCL submittal received 9-23-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Albuquerque

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

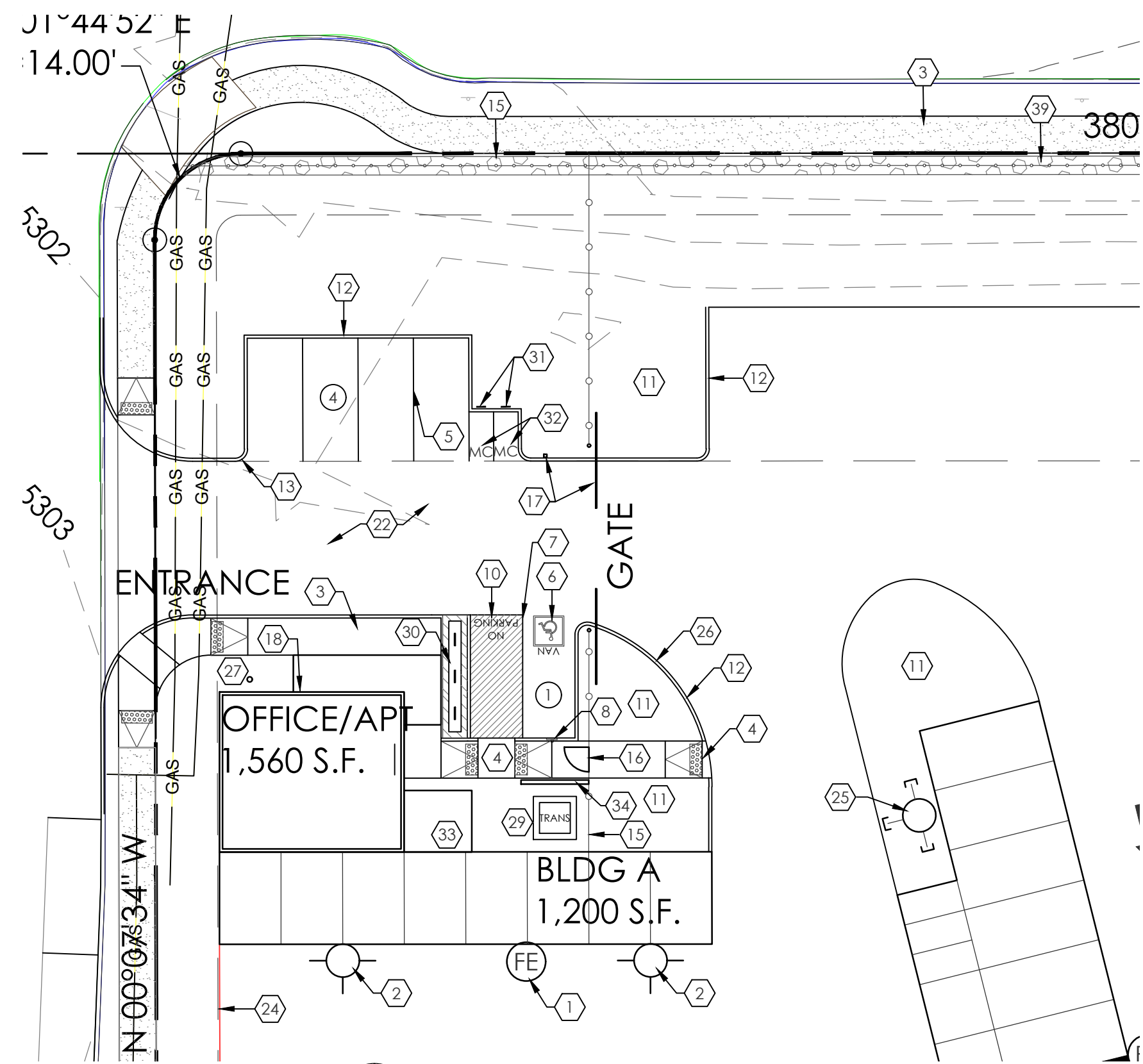
www.cabq.gov

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



2 ENLARGED SITE PLAN
1"=20'-0"

PARKING REQUIREMENTS	
SELF-STORAGE:	1 SPACE / 3,000 S.F. GFA 71,560 S.F./3,000 = 23.85 SPACES (24)
REQUIRED PARKING:	24 SPACES
PROVIDED SPACES:	25 SPACES (1 H.C.) 2 MOTORCYCLE 1 BICYCLE PARKING

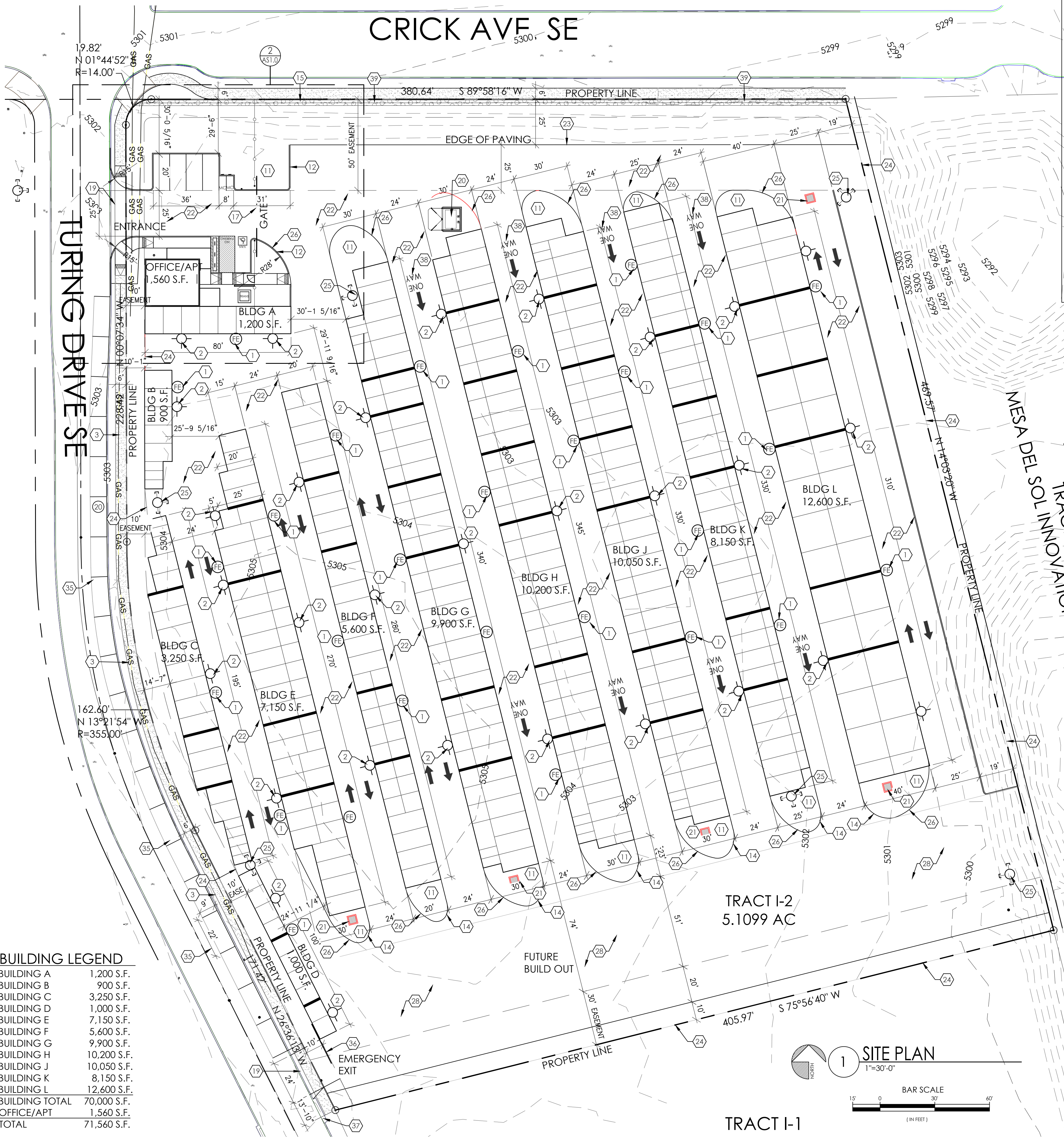
NOTE:
ALL BROKEN OR
CRACKED SIDEWALKS
MUST BE REPLACED WITH
SIDEWALK AND CURB &
GUTTER.

KEYED NOTES

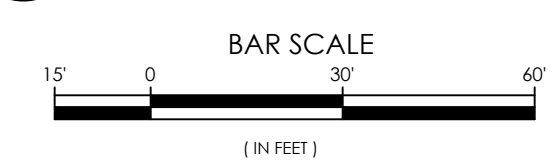
- WALL MOUNTED FIRE EXTINGUISHER, 2A-10-BC, 1 AT EVERY 75'-0" MAX., REF: SITE PLAN FOR LOCATIONS.
- WALL MOUNTED PACK LIGHT, REF: ELECTRICAL.
- 6" WIDE x 4" THICK CONC. SIDEWALK, TYP.
- ADA ACCESSIBLE RAMP, REF: DETAIL A8/AS-2.0.
- 2" WIDE PAINTED PARKING STRIPE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP SYMBOL, PER CITY OF ALBUQUERQUE STANDARDS, REF: DETAIL A6/AS-2.0.
- 2" WIDE PAINTED STRIPE HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: DETAIL A5/AS-2.0.
- 6" WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY.
- "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACES. (66-1-4.1.B NMSA 1978).
- LANDSCAPING AREA, REF: LANDSCAPING PLAN.
- 6" HIGH CONC. CURB, REF: GRADING AND DRAINAGE PLAN.
- 2'-0" RADIUS.
- 15'-0" RADIUS.
- NEW 3" HIGH GABION FENCE WITH 3" HIGH WELDED WIRE MESH FENCE ABOVE, AT PARKING ONLY.
- NEW 36" w x 6" H MAN GATE WITH KEYS LOCKSET.
- NEW (2) 15' SLIDING AUTOMATIC GATES WITH SECURITY PUSH PAD FOR CUSTOMER ACCESS.
- KNOX BOX LOCATION WITH KEYS FOR OFFICE BUILDING AND MAIN PROPERTY SLIDING GATES FOR FIRE DEPARTMENT USE TO GAIN ACCESS TO PROPERTY IN CASE OF EMERGENCY, KNOX BOX BY OWNER, INSTALLED BY OWNER, VERIFY LOCATION OF KNOX BOX WITH FIRE DEPARTMENT.
- SAW CUT EXIST. CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- DUMPSTER ENCLOSURE, REF: DETAIL A1/AS-2.0.
- STORM DRAIN INLET, REF: GRADING AND DRAINAGE PLAN.
- ASPHALT PAVING, REF: GRADING AND DRAINAGE PLAN.
- EDGE OF ASPHALT PAVING.
- 6" HIGH WELDED WIRE MESH FENCE.
- NEW FIRE HYDRANT.
- 28'-0" RADIUS, TYP. LINE SHOWN FOR RADIUS LAYOUT ONLY.
- FLAGPOLE WITH LIGHT.
- BASE COURSE.
- ELECTRICAL TRANSFORMER, REF: ELECTRICAL PLANS.
- BIKE RACK FOR (1) BICYCLE, REF DETAIL A14-A15/AS-2.0, BIKE PARKING SPACES SHALL BE 6'-0" LONG x 2' WIDE FOR EACH BIKE, NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.
A. 30" TALL x 18" WIDE.
B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES.
C. COMB/TOASTER RACKS ARE NOT ALLOWED
C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION, SEE THE IDO FOR ADDITIONAL INFORMATION.
D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
- MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP. REF: A13/AS-2.0.
- PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ STANDARDS.
- COVERED PATIO W/ BENCH.
- CMU WALL 4" TALL.
- 20' x 22' ON STREET PARKING.
- EMERGENCY ACCESS CRASH GATE W/ KNOX BOX.
- EXISTING DROPPED INLET.
- PAINTED "ONE-WAY" - WHITE ON PAVEMENT PER CABQ STANDARDS, REF: DETAIL A18/AS-2.0.
- NEW 2" HIGH GABION FENCE WITH 4" HIGH WELDED WIRE MESH FENCE ABOVE.

BUILDING LEGEND

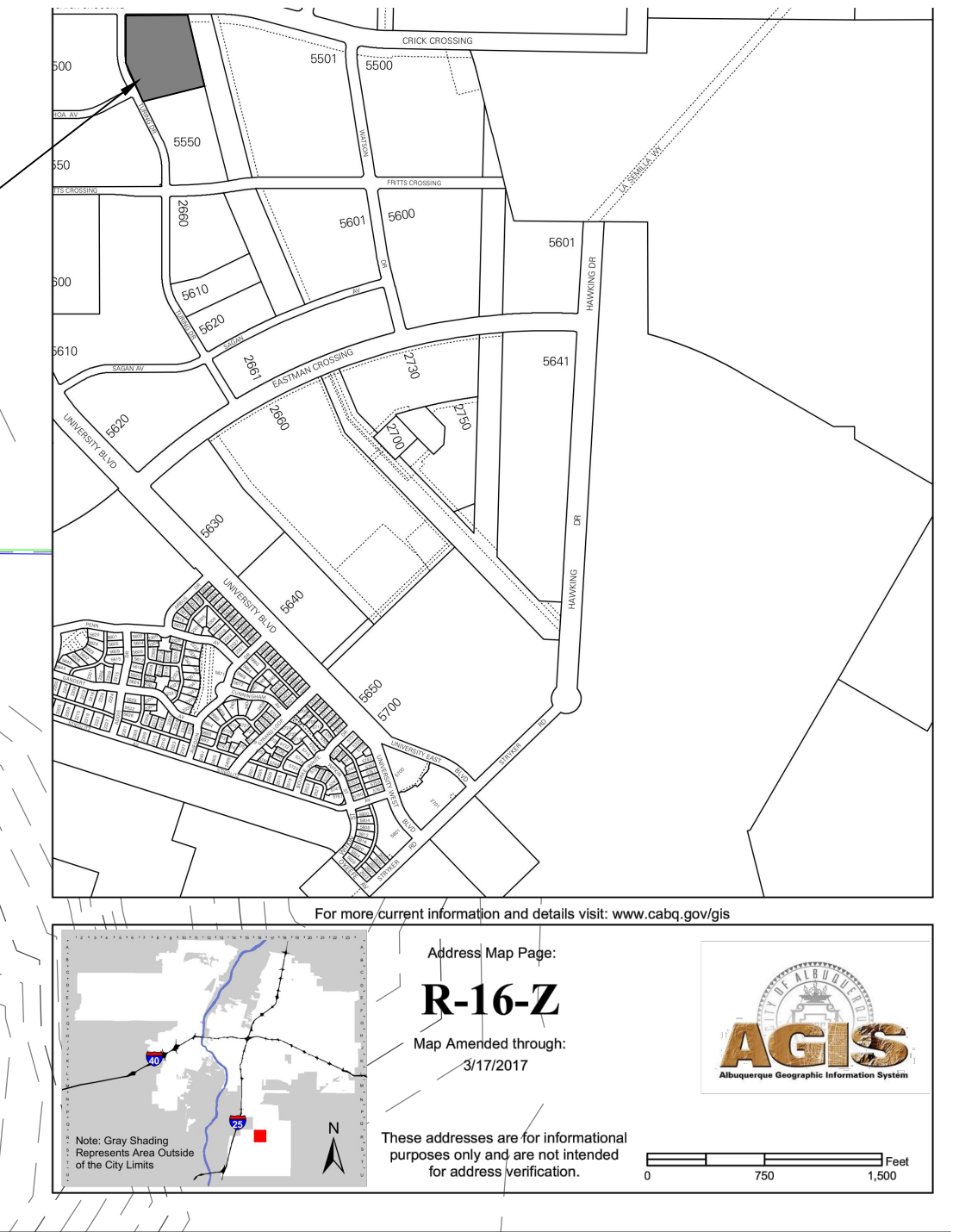
BUILDING A	1,200 S.F.
BUILDING B	900 S.F.
BUILDING C	3,250 S.F.
BUILDING D	1,000 S.F.
BUILDING E	7,150 S.F.
BUILDING F	5,600 S.F.
BUILDING G	9,900 S.F.
BUILDING H	10,200 S.F.
BUILDING J	10,050 S.F.
BUILDING K	8,150 S.F.
BUILDING L	12,600 S.F.
BUILDING TOTAL	70,000 S.F.
OFFICE/APT	1,560 S.F.
TOTAL	71,560 S.F.



1 SITE PLAN
1"=30'-0"



SITE LOCATION



For more current information and details visit: www.cabq.gov/igis

Address Map Page:
R-16-Z
Map Amended through:
9/17/2017

AGIS
ADDRESS MAP

These addresses are for informational purposes only and are not intended for address verification.

TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kawbar 9/26/2024
Signed Date

MESA DEL SOL SELF STORAGE
SITE PLAN
5500 TURNING DR SE
ALBUQUERQUE, NM 87106
PROJECT #2322

REVISION DATE

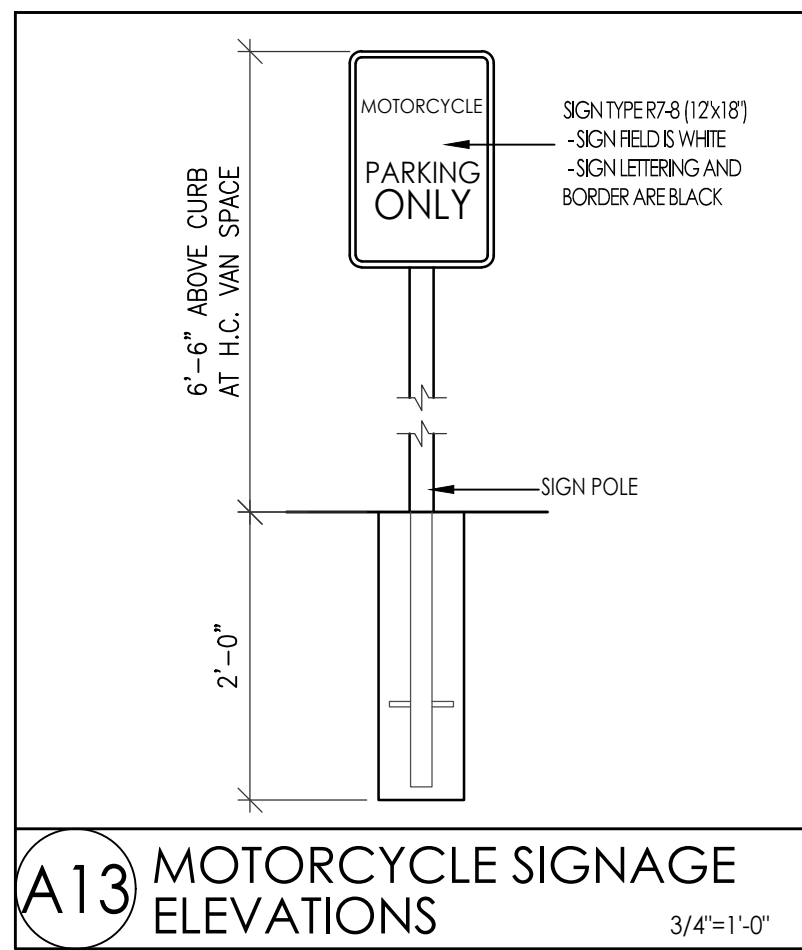
STATE OF NEW MEXICO
RICHARD P. BENNETT
No. 1240
9/19/24
REGISTERED ARCHITECT

RBA
ARCHITECTURE, PC
PLANNING
DESIGN

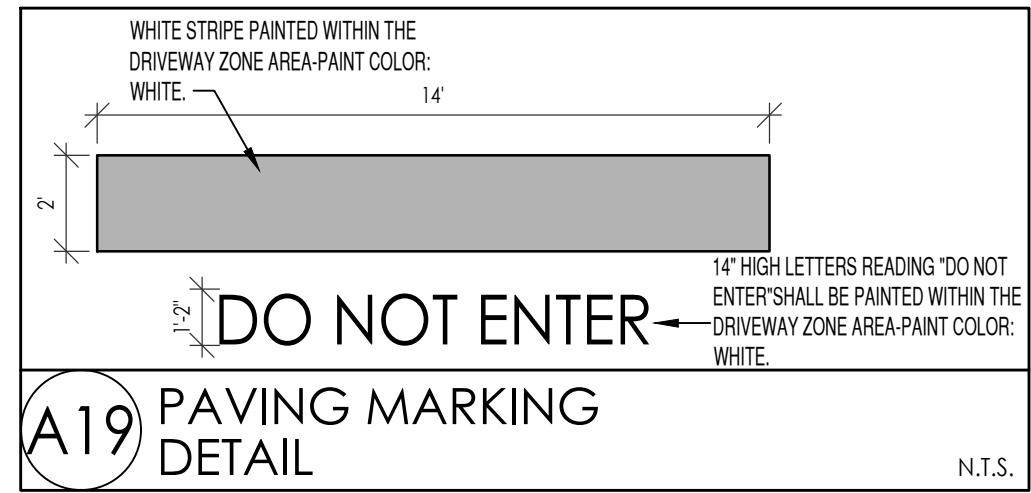
1400 Down Ave. SW, 87102
ALBUQUERQUE, NM 87102
www.rbaarch.com

DATE
09-19-2024

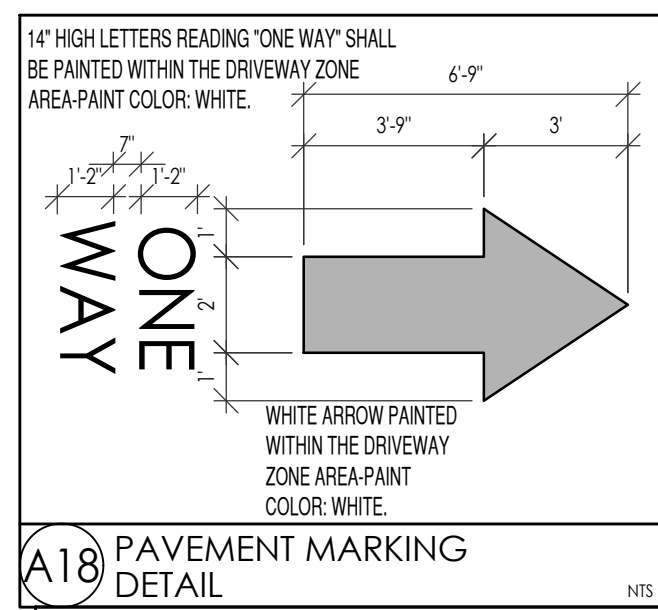
SHEET NUMBER
AS-1.0



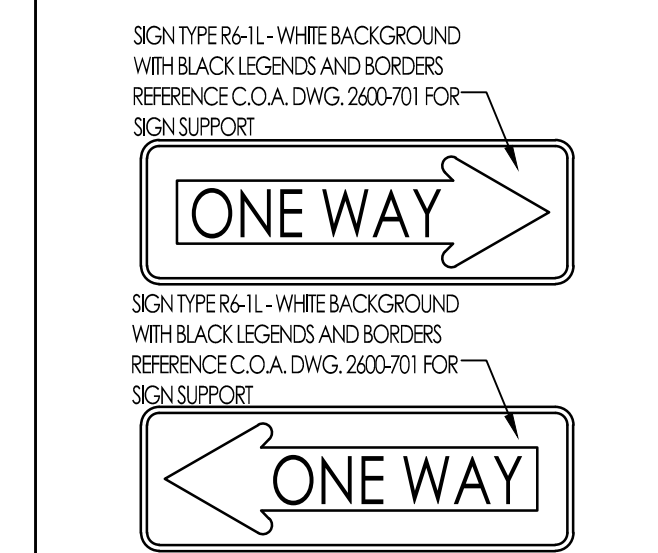
A13 MOTORCYCLE SIGNAGE ELEVATIONS 3/4"=1'-0"



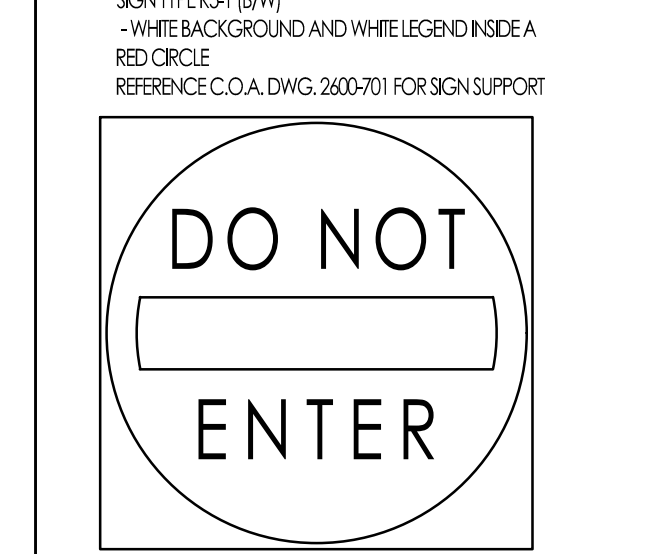
A19 PAVING MARKING DETAIL N.T.S.



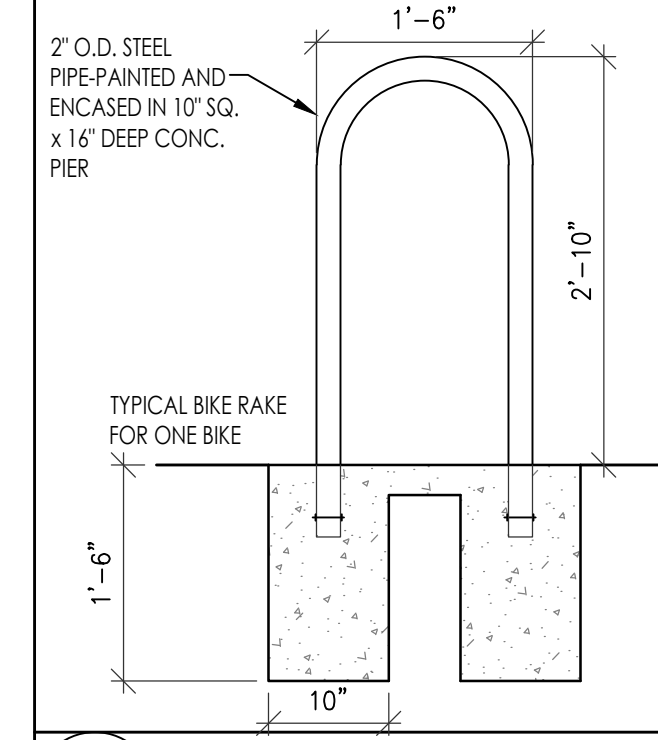
A18 PAVEMENT MARKING DETAIL N.T.S.



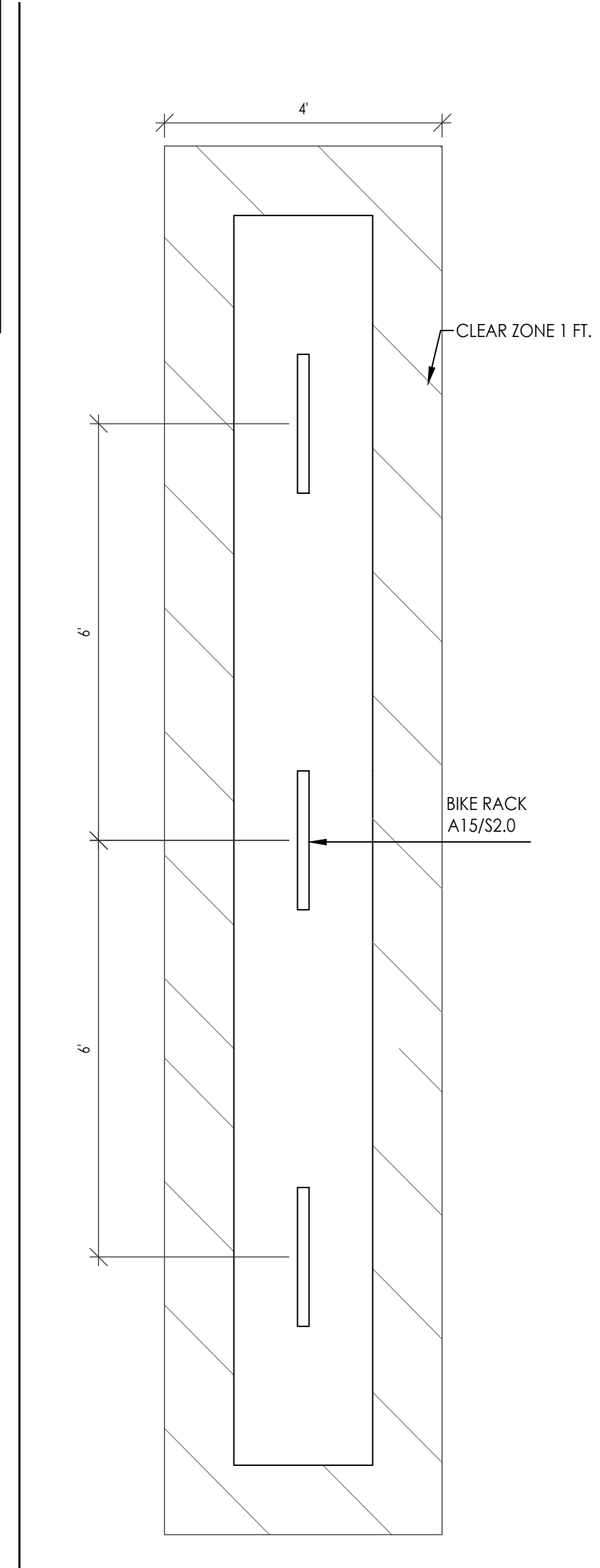
A17 ONE WAY ELEVATIONS 3/4"=1'-0"



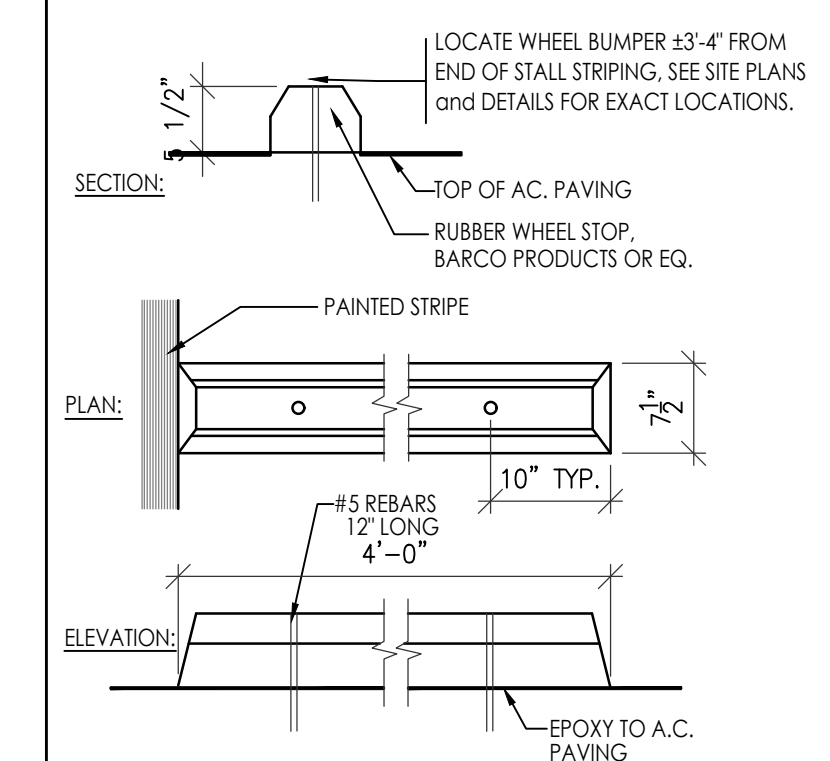
A16 DO NOT ENTER ELEVATIONS 3/4"=1'-0"



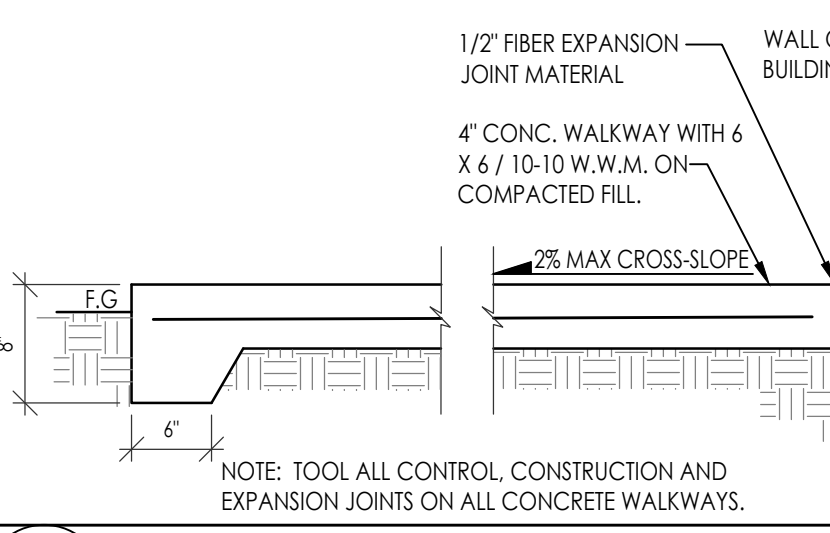
A15 BIKE RACK ELEVATION 3/4"=1'-0"



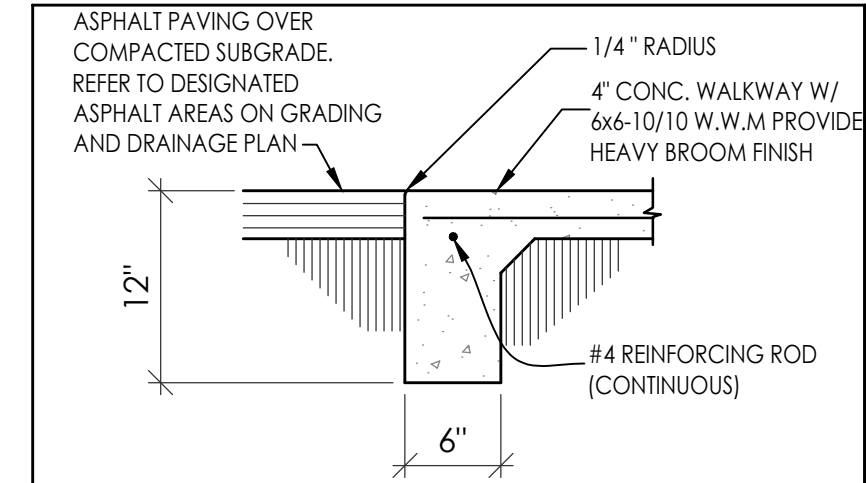
A14 BIKE RACK PLAN DPM 2020-06-02 FIGURE 7.4.115 1/2"=1'-0"



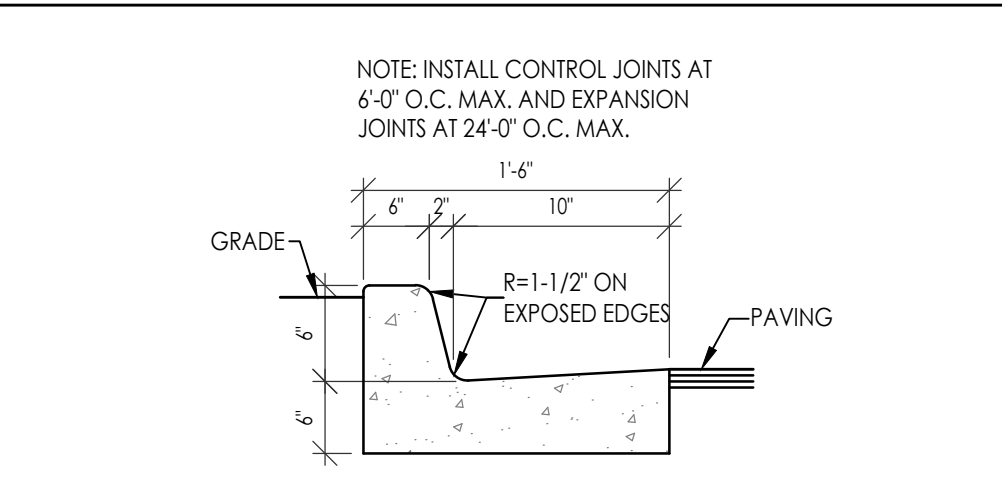
A12 WHEEL BUMPER DETAIL N.T.S.



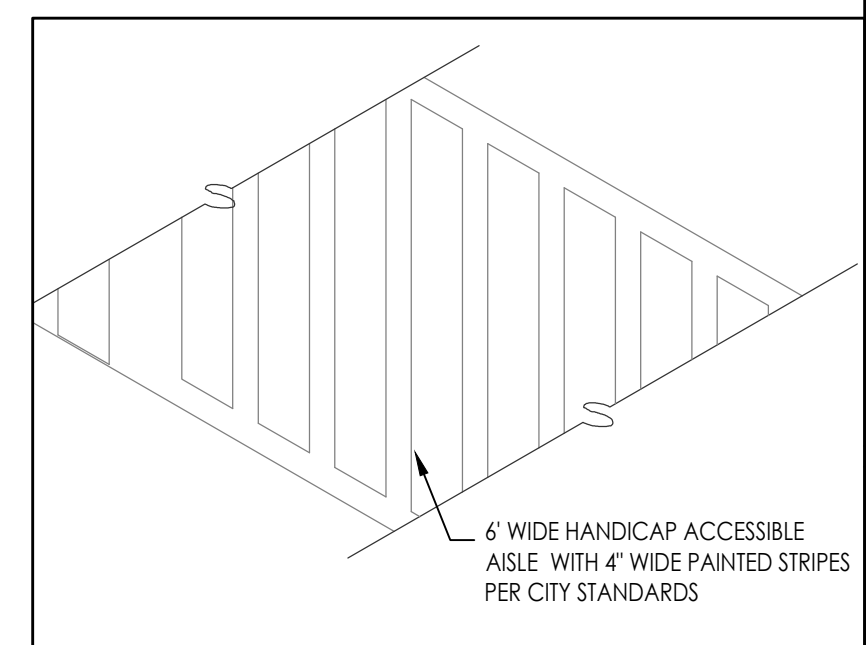
A11 TYPICAL SIDEWALK DETAIL N.T.S.



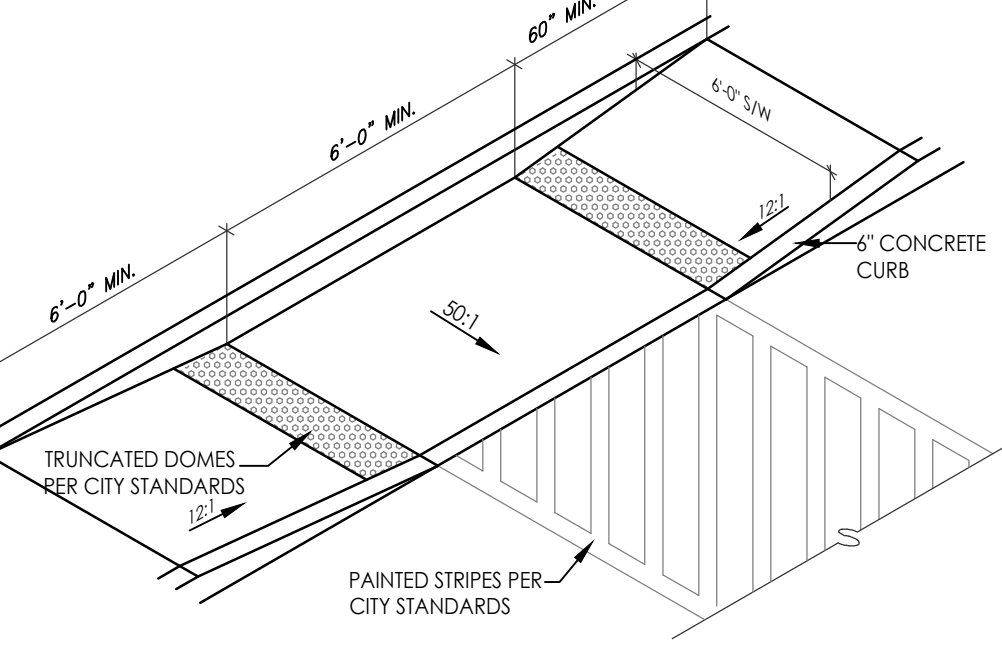
A9 CONCRETE CURB/SIDEWALK ASPHALT PAVING DETAIL N.T.S.



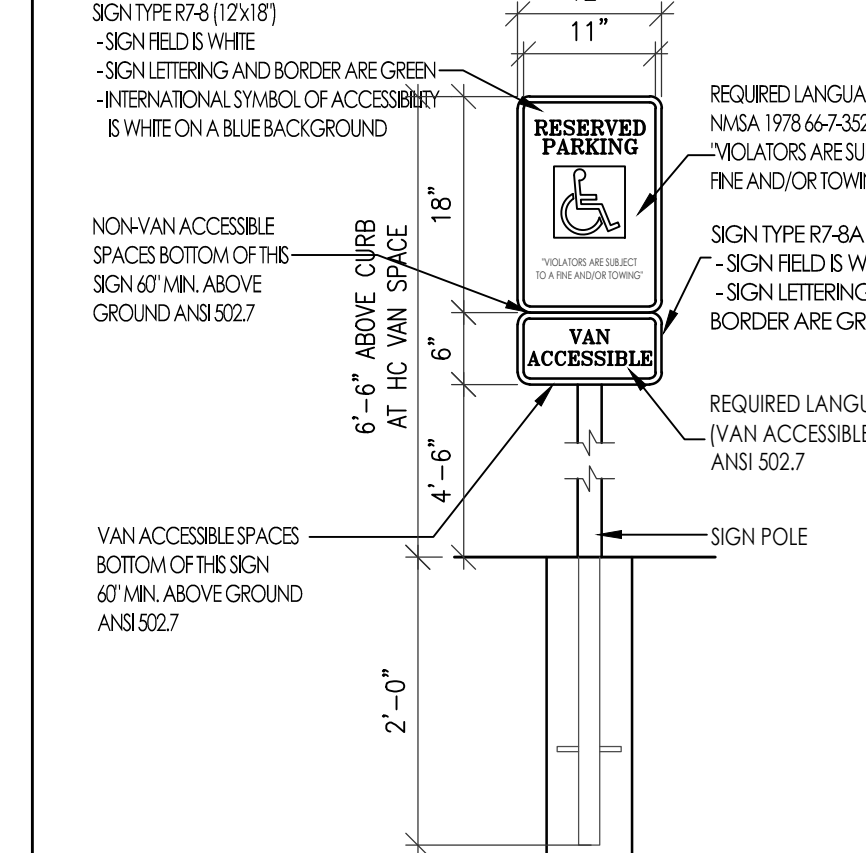
A10 CONCRETE CURB & GUTTER DETAIL N.T.S.



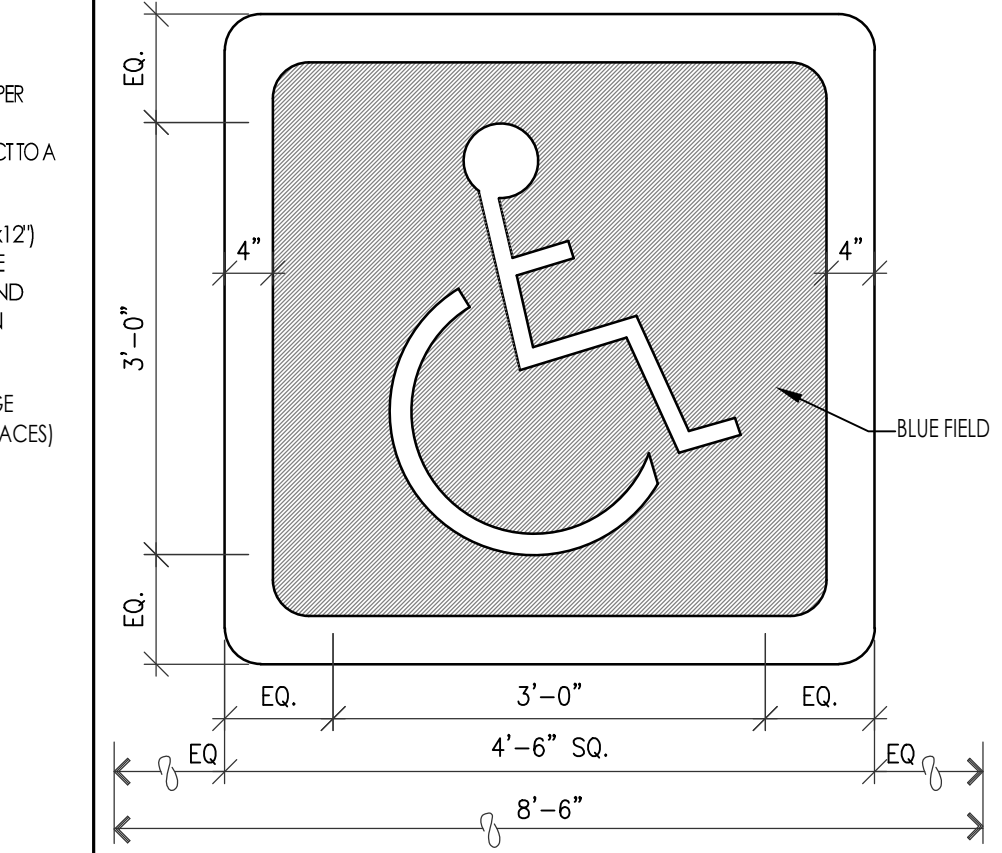
A7 ACCESSIBLE AISLE NOT TO SCALE



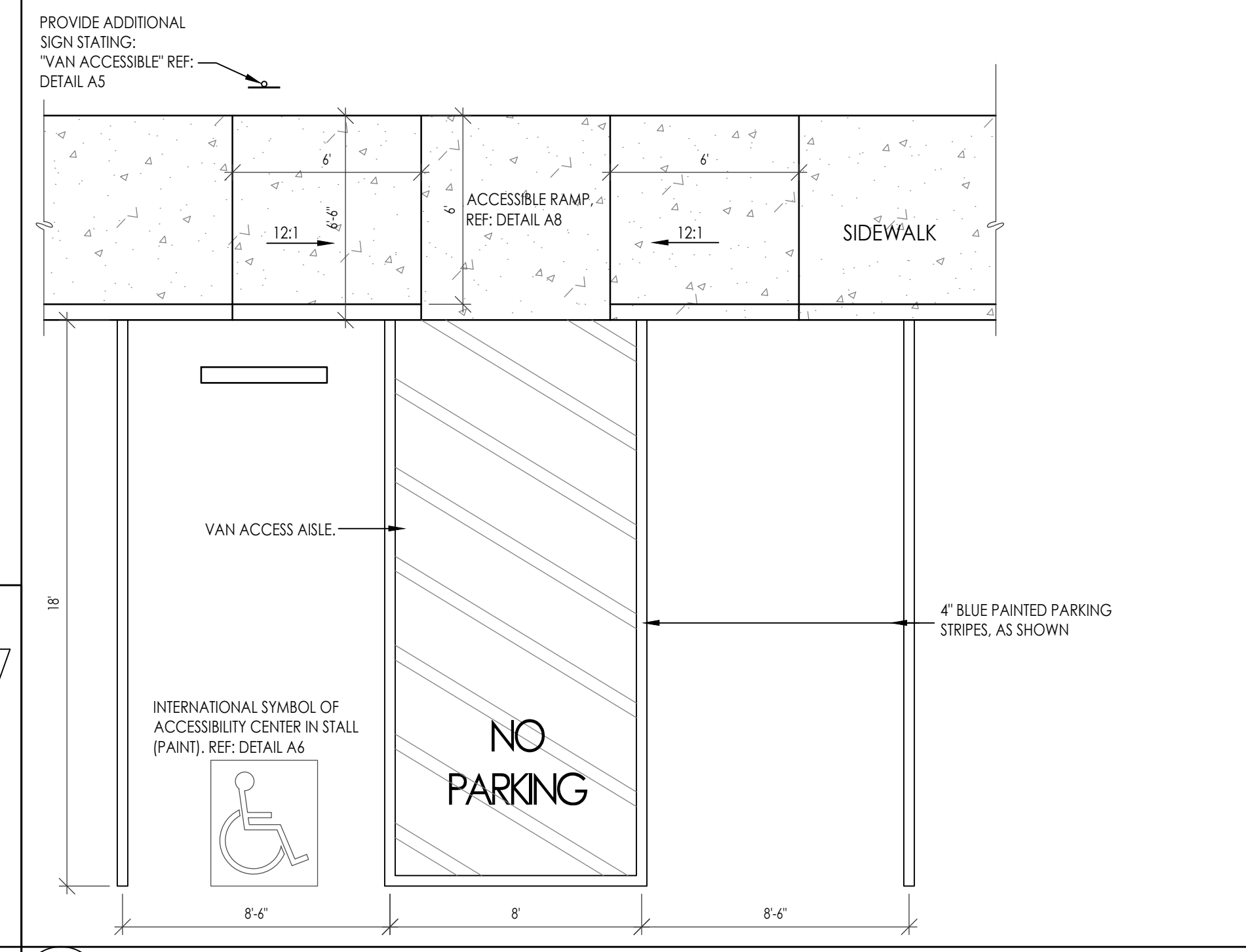
A8 ACCESSIBLE RAMP NOT TO SCALE



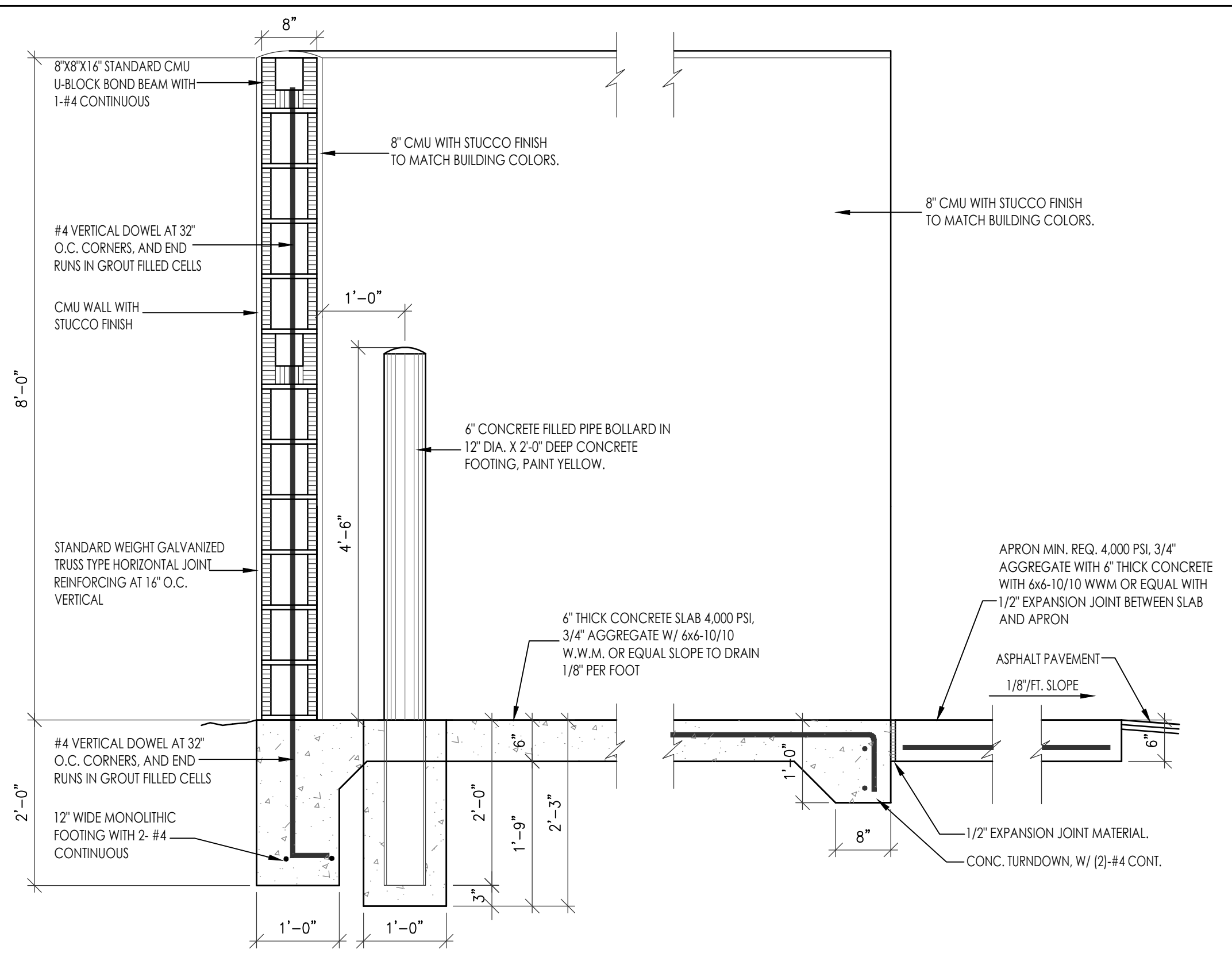
A5 HC PARKING SIGNAGE ELEVATIONS 3/4"=1'-0"



A6 HC PARKING MARKING PLAN 3/4"=1'-0"

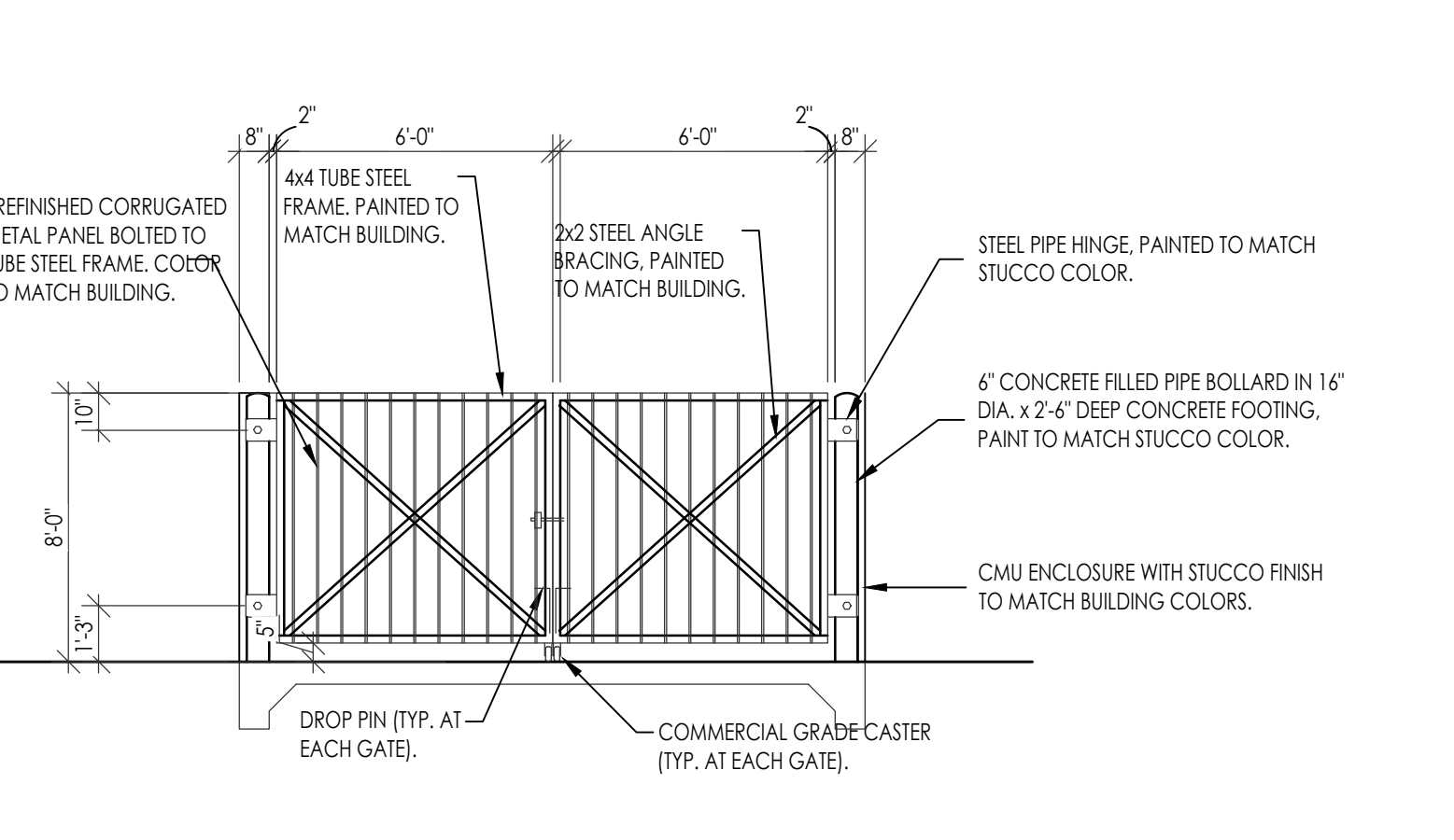


A4 HC PARKING STRIPING PLAN 1/4"=1'-0"

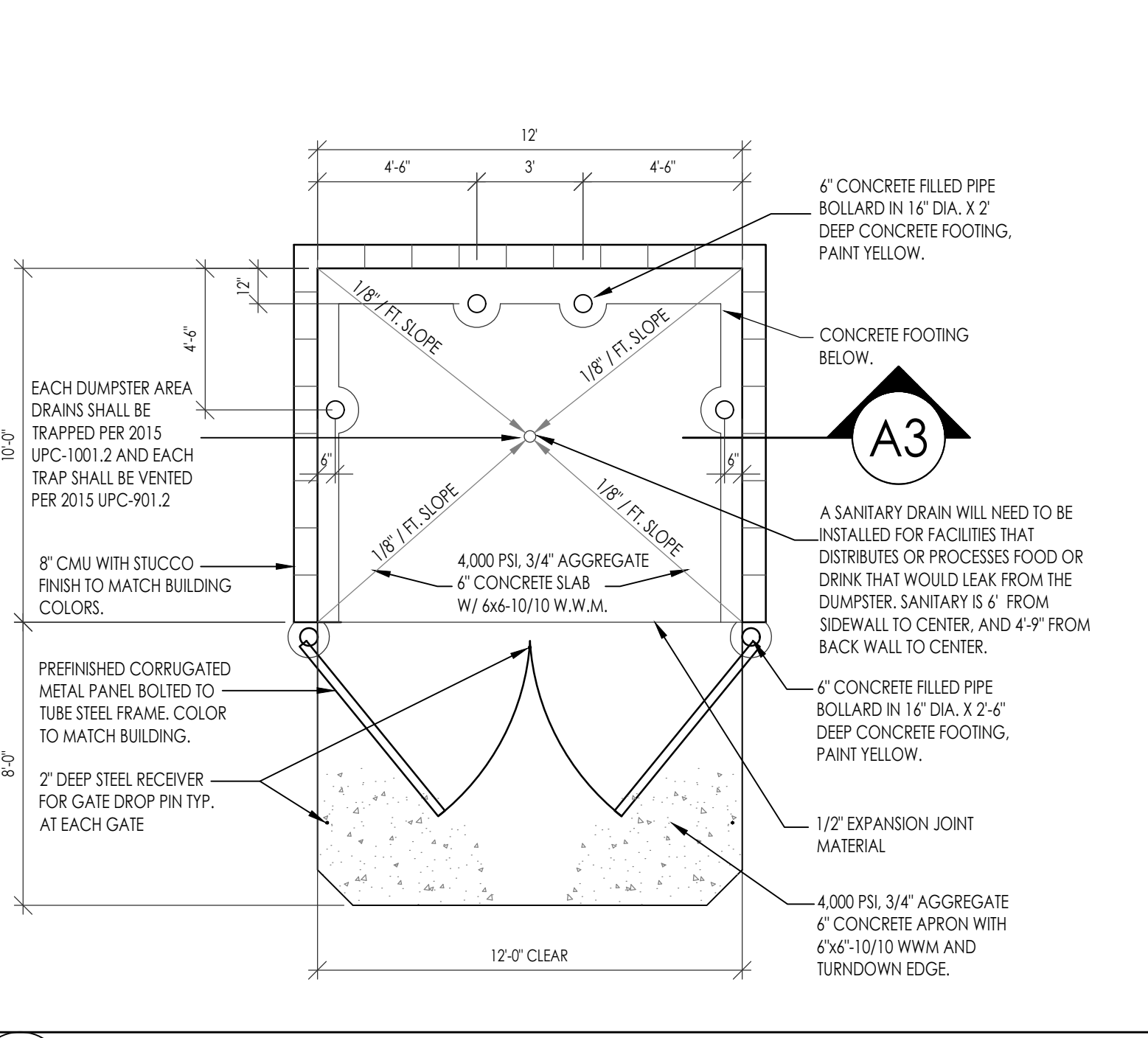


A3 ENCLOSURE CMU WALL DETAIL 3/4"=1'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED
 Sertil A. Kanbar 9/26/2024
 Signed _____ Date _____



A2 REFUSE ENCLOSURE ELEVATION 1/4"=1'-0"



A1 REFUSE ENCLOSURE PLAN 1/4"=1'-0"

MESA DEL SOL SELF STORAGE
 SITE DETAILS
 5500 TURING DR SE
 ALBUQUERQUE, NM 87106
 PROJECT #2322

REVISION DATE
 STATE OF NEW MEXICO
 RICHARD P. BENNETT
 No. 1240
 9/19/24
 REGISTERED ARCHITECT

RBA ARCHITECTURE, P.C.
 ARCHITECTURE
 PLANNING
 DESIGN
 1000 N. 10th St., Ste. 100
 Albuquerque, NM 87102
 www.rbaarch.com

DATE
 09-12-2024
 SHEET NUMBER
AS-2.0

November 19, 2024

Chair
Eric C. Olivas
County of Bernalillo
Commissioner, District 5

Vice Chair
Louie Sanchez
City of Albuquerque
Councilor, District 1

Barbara Baca
County of Bernalillo
Commissioner, District 1

Joaquin Baca
City of Albuquerque
Councilor, District 2

Adriann Barboa
County of Bernalillo
Commissioner, District 3

Klarissa Peña
City of Albuquerque
Councilor, District 3

Timothy M. Keller
City of Albuquerque
Mayor

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Alejandro Sazo
RBA Architecture
1104 Park Avenue SW. 87102

RE: Water and Sanitary Sewer Availability Statement #240817
Project Name: Mesa del Sol Self Storage
Project Address: 5500 Turing Dr SE
Legal Description: Tr I-2 Plat of Tr I-2 Mesa Del Sol Innovation Park II (A Replat of Tr I Mesa DelSol Innovation Park II)
UPC: 101605108150320612
Zone Atlas Map: R-Q-16

Dear Mr. Sazo

Project Description: The subject site is located on the southeast corner of Crick Crossing Avenue and Turing Drive, within the City of Albuquerque. The proposed development consists of approximately 5.1 acres and the property is currently zoned PC for Planned Community. The property lies within the Pressure Zone 3E in the Hubbell Trunk.

The Request for Availability indicates plans to build commercial self-storage units.

Existing Availability Statement: Availability Statement number 181120 has been issued and has expired.

Existing Development Agreement: This property is outside of the Water Authority's Established Service Area. Pursuant to the System Expansion Ordinance, service to this property shall be subject to a Development Agreement approved by the Water Authority Board which will establish the conditions for service; however, since an approved Development Agreement currently exists for the R-07-32, WATER AND SANITARY SEWER SERVICE TO SERVE THE MESA AND FCC 4 PROPERTIES AT MESA DEL SOL property, Board approval is not required. This Availability Statement establishes the conditions of service in addition to those stated in the existing Development Agreement.

Existing Conditions:

Water infrastructure in the area consists of the following:

- 12-inch PVC distribution line (project #26-7754.81-09) along Crick Avenue (A.K.A. Crick Crossing).
- Ten-inch PVC distribution line (project #26-7754.81-09) extending from the 12-inch line into the northeastern quadrant of the property.
- 12-inch PVC distribution line (project #26-7754.81-09) along Turning Drive.
- Eight-inch PVC distribution line (project #26-7754.76-12) extending from the 12-inch line along Turning Drive into the southwesterly quadrant of the property.

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch PVC sanitary sewer collector (project #26-7754.76-12) along Turning Drive.
- Six-inch PVC sanitary sewer collector (project #26-7754.76-12) extending from the eight-inch line along Turning Drive into the property near the midpoint of the western boundary.

Water Service: New metered water service to the property can be provided via routine connection to the existing 12-inch distribution line along Crick Crossing, the ten-inch stub out into the northeastern quadrant of the property, the 12-inch line in Turning Drive, or the eight-inch stub out into the property along the western boundary. The engineer is responsible for determining pressure losses and sizing the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and the collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: New sanitary sewer service can be provided via routine connection to the existing eight-inch collector along Turning Drive, or the six-inch stub out into the western boundary of the property. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 2250 gallons per minute. Two fire hydrants are required. There are no existing hydrants available and six new hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at fire hydrants proposed in the northeast and southeast corners of the property and connected to the existing ten-inch stub out into the northeastern quadrant of the property or the 12-inch line in Turning Drive.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Prevention and Control Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations, or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration, or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker, or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source, or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority recommends that all backflow (containment) devices be located above ground just outside the easement or road right-of-way, the containment backflow device can be installed within the building if there are no tees, branches, possible connection fittings, or openings between the reduced principal backflow prevention assembly and the service connection unless protected by another reduced pressure backflow prevention assembly device. Contact Cross Connection at (505) 289-3465 for more information.

Pretreatment – Fats, Oils, and Greases: The development is for commercial use and has the potential to discharge Fats, Oils, Grease, and/or Solids (FOGS) to the sanitary sewer and/or falls under one of the applicable users in the SUO:

FOGS Applicability SUO Section 3-3-2 A.:

Users "...such as food service establishments, commercial food processors, automotive shops, auto wash racks, car washes, vehicle fueling stations, septic tank pumpers, grease rendering facilities,

breweries/distilleries, bottling plants, commercial and industrial laundries, slaughterhouses & meat packing establishments (fish, fowl, meat, curing, hide curing), oil tank firms and transporters...”

Such Users must comply with all FOGS discharge requirements defined in SUO Section 3-3-2 and FOGS Policy including but not limited to:

1. Installation of an adequately sized Grease Interceptor (GI) approved by the appropriate code enforcement authority (City of Albuquerque, and/or Bernalillo County)
 - a. Interceptors and/or Separators are required for dumpster pads, outdoor pools, and outdoor washdown areas that have the potential to discharge grease, sand, solids, and flammable liquids to the sanitary sewer. The pad shall be installed at an elevation higher than the surrounding grade. It is not required for dumpster pads to have a sewer connection.
 - b. Placement of Interceptors in drive-thru or traffic lanes is not allowed.
2. All FOGS sources within the facility are plumbed to the GI as required by the appropriate plumbing code.
3. Long-term Best Management Practices (BMP), and GI maintenance such as pumping and manifest requirements.
4. Unobstructed access to inspections of the facility and records.

A copy of the Sewer Use and Wastewater Control Ordinance and FOGS Policy can be found on the Pretreatment page of the Water Authority Website:

<https://www.abcwua.org/sewer-system-industrial-pretreatment-overview/>

Contact the Industrial Pretreatment Engineer, Travis Peacock, at (505) 289-3439 or pretreatment@abcwua.org for coordination or clarification of any of the above requirements.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. For larger meters that require a meter vault, a 35-foot by 35-foot easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property is to be transferred to the Water Authority for the installation of facilities to be owned by the Water Authority such as pump stations, reservoirs, wells, lift stations, or any other facility.

The Water Authority shall be granted perpetual, exclusive easement(s) in gross for the construction, installation, maintenance, repair, modification, replacement, and operation of public water and sanitary lines, equipment and facilities reasonably necessary to provide service together with free access on and over the easement and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with use of the easement.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: The design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Connection Permit process. Construction must be performed by a licensed (GF9 or GF98) and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of application for service. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

Water Resource Charge (WRC): Any expansion of water service outside of the Water Authority's Established Service Area will be assessed a Water Resource Charge(s) (WRC) as provided in the Water Authority's Water and Sewer Rate Ordinance for the development of new water resources, rights, and supplies necessary to serve the development. Properties that receive only sewer service will not be charged a WRC.

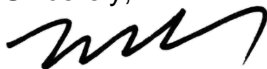
Contact Customer Service at (505) 842-9287 (option 3) for more information regarding WRCs.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,

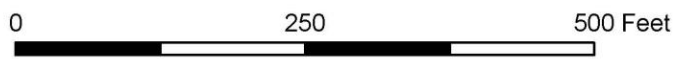
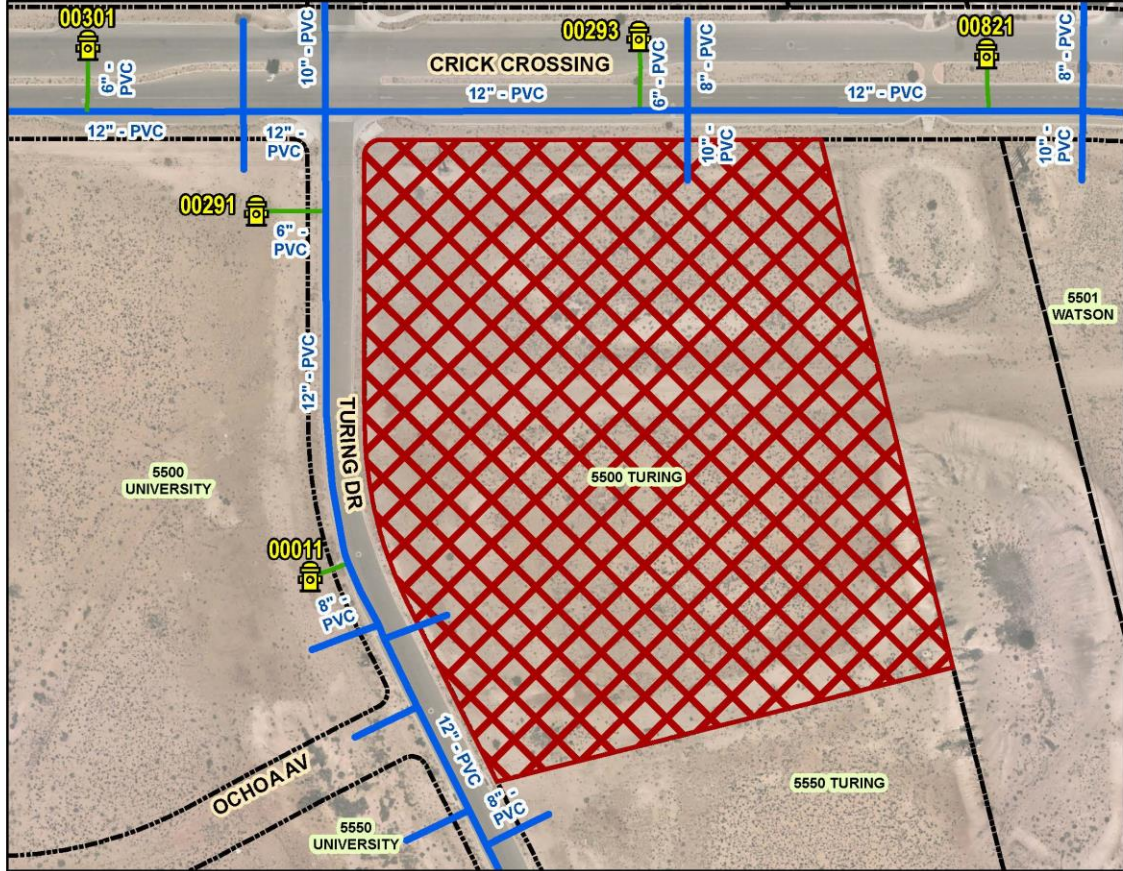


Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps

f/ **Availability Statement #240817**

240817 - Water





Legend

-  Hydrant
-  Project Location

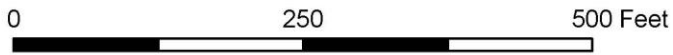
Water Pipe

Subtype

-  Distribution Line
-  Hydrant Leg



240817 - Sanitary Sewer



Legend

-  Sewer Manhole
-  Project Location

Sewer Pipe

Subtype

-  COLLECTOR
-  INTERCEPTOR



SITE PLAN CHECKLIST

Project #: MDS Storage Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



12/02/2024

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- ✓ 3. Bar scale
- ✓ 4. North arrow
- ✓ 5. Legend
- ✓ 6. Scaled vicinity map
- ✓ 7. Property lines (clearly identify)
- ✓ 8. Existing and proposed easements (identify each)
- n/a 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- ✓ A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- ✓ B. Square footage of each structure
- ✓ C. Proposed use of each structure
- ✓ D. Signs (freestanding) and other improvements
- ✓ E. Walls, fences, and screening: indicate height, length, color and materials
- ✓ F. Dimensions of all principal site elements or typical dimensions
- ✓ G. Loading facilities
- ✓ H. Site lighting (indicate height & fixture type)
- ✓ I. Indicate structures within 20 feet of site
- ✓ J. Elevation drawing of refuse container and enclosure, if applicable.
- ✓ K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- ✓ A. Parking layout with spaces numbered per aisle and totaled.
 - ✓ 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - ✓ 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - ✓ 3. On street parking spaces
- ✓ B. Bicycle parking & facilities
 - ✓ 1. Bicycle racks – location and detail
 - n/a 2. Other bicycle facilities, if applicable
- ✓ C. Vehicular Circulation (Refer to DPM and IDO)
 - ✓ 1. Ingress and egress locations, including width and curve radii dimensions
 - ___ 2. Drive aisle locations, including width and curve radii dimensions
 - ✓ 3. End aisle locations, including width and curve radii dimensions
 - ✓ 4. Location & orientation of refuse enclosure, with dimensions
 - ✓ 5. Loading, service area, and refuse service locations and dimensions
- ✓ D. Pedestrian Circulation
 - ✓ 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas
- n/a F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- n/a B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- n/a A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO